

# Red Door Grill - Lee's Summit Streets of Pryor

Streets of Pryor, Lot 1

## Permit Set

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### Project Information

Owner / Developer: PVG Properties II LLC  
3612 Kames Blvd. Suite 111  
Kansas City, MO 64111

Zoning: PMIX

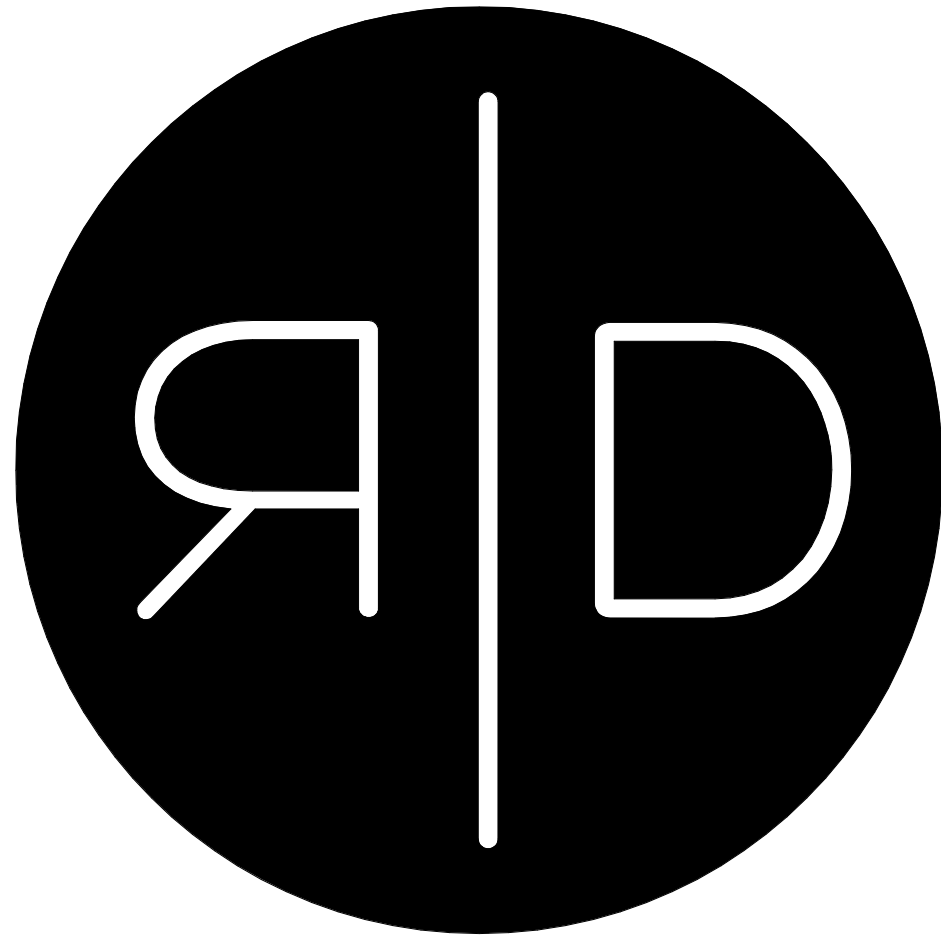
Adjoining Tract Use: Undeveloped commercial tracts zoned PMIX

Project Narrative: The project consists of a new building for a restaurant, Red Door Woodfired Grill. The restaurant is open to the public from 10 a.m. until 11 p.m.

### Annotations and Symbols

Detail Number	A1	Interior Elevation	0' 2' 4' 8'	Graphic Scale
Sheet Number	A201	Name Elevation		Elevation Mark
Detail Number	A1	Door Number	000-0	Door Number
Sheet Number	A251	Room Name	ROOM NAME	Room Name
Detail Number	A1	Room Number	101	Room Number
Detail Number	A1	Revision Reference		Revision Reference
Sheet Number	A251	Ceiling Height	00'-00"	Ceiling Height
Detail Number	A1	View Title		View Title
Sheet Number	A251	Wall Tag		Wall Tag
Detail Number	A1	North Arrow		North Arrow

1/4" = 1'-0"	Symbols Legend
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# RED DOOR WOODFIRED GRILL

### General Notes:

The execution of this project and acceptance thereof shall be governed by the criteria stated in AIA Document A201, General Conditions of the Contract for Construction. This AIA document sets out the rights, responsibilities and relationships of the owner, contractor and architect, and shall be incorporated by this reference into the contractual obligation of the parties noted therein.

The following notes are a partial list of requirements/instructions that are to supplement these "general conditions of the contract for construction". Where one is more restrictive, it shall take precedence.

- The architect appreciates your experience and perspective. If you have questions or observations please bring them to our attention. In a competitive bidding arrangement, we will make public all comments or clarifications so that everyone bidding the work is equally educated. The last thing we want is the bidder with the least information to be awarded the work.
- Means and methods are the prerogative of the contractor; the intent of the documents and the dictated results are not. While we understand there is usually more than one way to skin a cat, just because that's the way you've always done it may not make it right for this project. Get answers to your questions, seek clarification and/or a review of your ideas **BEFORE** you place a bid. Because we respect you and the others who bid this work, once you enter into a contract, we'll hold your feet to the fire. **BID IT AND BUILD IT LIKE IT IS SHOWN OR GET ALTERNATIVES APPROVED IN WRITING BEFORE YOU MAKE A COMMITMENT.**
- There is never perfect weather for the entire duration of a project. The corps of engineers publishes "anticipated" days of inclement weather for specific areas of country. That information will be used to gauge contractor's claims of "unanticipated" weather related increases to construction time and/or construction costs.
- Make allowances in the construction time and/or costs for these "anticipated" weather related disruptions. This includes but is not limited to protecting the project during inclement weather or making seasonal adjustments to the construction process. Contractors who have not lived in this part of the Midwest for the past few years need not submit a bid.
- The work shall be performed by the contractor in accordance with applicable building codes, regulations and ordinances.
- The contractor shall be responsible for applicable fees, permits, inspections, testing and/or licenses unless specifically noted otherwise.
- Do not scale drawings. Follow the written dimensions.
- All dimensions are to face of stud, face of concrete, face of masonry, or to column lines unless noted otherwise.
- All the vertical gypsum board/drywall shall be 5/8" thick unless noted otherwise.
- Anticipate patching areas where walls are to be added and/or openings are req'd during construction.
- New materials and construction move (expand and/or shrink). Make allowances for expansion and/or contraction of the new materials or equipment or building components subject to movement, particularly where dissimilar materials meet.
- Coordinate the work of the different trades. Install the necessary parts, sleeves, recesses and/or openings in work which receives, contacts or connects to other work installed by other trades. The first guy in isn't always right.
- The drawings are in part based on the sizes/relationships of anticipated furnishings, kitchen, bar, &/or mechanical equipment. This may be different from the items actually provided by the contractor. The sooner shop drawings for proposed items are presented and approved, the less likely something will need to be taken apart.
- If you have a question or discover conflicting information, please get clarification from the architect. Thank you.
- Glazing in areas subject to human impact in hazardous locations shall comply with the requirements of section 2406 of the IBC.
- Unless specifically stated otherwise, install products and materials per manufacturer's instructions.
- Contractor shall notify owner if hazardous materials including but not limited to mold, asbestos, lead paint, etc. are suspected and/or detected. Hazardous materials abatement shall be the responsibility of the owner where applicable.

### Construction Cost Scope Information

The General Contractor shall track construction cost of the following scopes:

- Site Work and Utilities (Site Scope)
- Shell Building (Shell Scope)
- Tenant Improvements (T.I. Scope)

The **Site Scope** shall generally include all work 5' beyond the building's footprint, unless noted otherwise. Site scope work will include but not be limited to site earthwork and grading, site utilities (storm water sewer, sanitary sewer, water main / domestic water / fire line service, electrical service), curb and gutter, asphalt pavement, concrete sidewalks, parking lot lighting, landscaping, and irrigation.

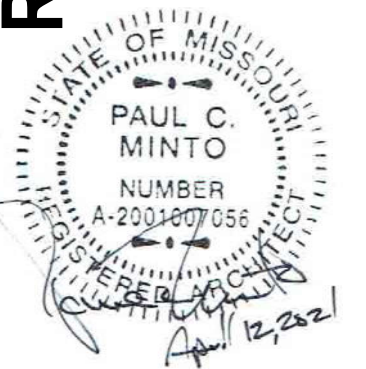
The **Shell Scope** shall generally include work within the building's footprint and within 5' of it's perimeter, unless noted otherwise. Shell scope will include but not be limited to footings and foundations, gravel and low volume change material, the exterior envelope and its framing and structure, thermal insulation, exterior finishes, roofing, exterior doors, windows, and storefront, mezzanine and stair framing and subfloor, plumbing utilities within 5' of the building perimeter (sanitary, grease, and storm lines, domestic water entries, fire line entries, and hydrants), building mounted exterior lighting and emergency fixtures, and electrical house panels and disconnects. Construction including walls, doors, fixtures, and finishes at Mechanical Room 113 and Liquor Storage 102 (roof access) shall be shell scope.

The **T.I. Scope** shall generally include interior construction and finishes, rooftop mechanical equipment, interior mechanical / electrical / plumbing fixtures and associated distribution, metal guardrails and handrails, south patio and fireplace construction.

The following are scope clarifications.

- Shell Scope 1 Interior 5" concrete perimeter ribbons and floor types C1, SC1, and PC3, W.W.F. reinforcement, and 15 mil vapor barrier. Grind and seal finishing of type PC3 shall be excluded from shell scopes.
- Shell Scope 2 Trash enclosure wall, foundation, gate, and paving
- Shell Scope 3 Grease interceptor and associated grease lines and vents
- Shell Scope 4 Walk-in cooler yard enclosure wall, foundation, gate, and paving
- T.I. Scope 1 Interior 5" concrete floor types C2 and PC1, W.W.F. reinforcement, and 15 mil vapor barrier. (4" gravel and 20" low volume change material to be shell scope), finishing of PC3 perimeter ribbon (grind and seal with adjacent PC1 slab), and concrete bar curb type PC4.
- T.I. Scope 2 South patio, including:
  - patio foundation, structure and roof
  - concrete paving (type P2), steps, and metal handrails
  - fireplace structure, foundation, chimney flues, and gas fire
  - fenced enclosure and gate
  - exterior lighting mounted to the patio/chimney structure
- T.I. Scope 3 Plumbing fixtures, waste and supply lines, vents, etc. where indicated.
- T.I. Scope 4 Metal guards and handrails at mezzanine and metal guards and handrails at the mezzanine stairs.
- T.I. Scope 5 Rooftop mechanical equipment. Rooftop equipment shown on A1/A103 roof plan shown for location/reference. Equipment selections and specifications are provided in the mechanical /electrical documents.
- T.I. Scope 6 Interior gyp. board at exterior walls.

Refer to structural for framing for mechanical roof and side wall openings. Coordinate opening size and location, Re: architectural Roof Plan and MEP documents.



### food service

TriMark Hockenbergs

10550 Barkley, Ste. 201  
Overland Park, Kansas 66212  
p. 913.945.2490

### mechanical, electrical, and

plumbing

Welch and Mitchell

4370 W. 109th St., Ste. 203  
Overland Park, KS 66211  
913.544.1627

### structural

Bob D. Campbell

4338 Belleview  
Kansas City, MO 64111  
816.531.4144

### civil

SM Engineering

5507 High Meadow Circle  
Manhattan, Kansas 66503  
785.341.9747

### architectural

URBAN PRAIRIE ARCHITECTURAL  
COLLABORATIVE, P.C.

4523 Mercier Street  
Kansas City, Missouri 64111  
p 816.304.7416  
pinto@urbanprairiekc.com

Missouri Certificate of Authority: #

PROJECT NUMBER: 20-033

ISSUE DATE: 9 April 2021

REVISIONS	DATE

Cover Sheet



# FINAL DEVELOPMENT PLANS

## FOR

# LOT 1

# STREETS OF WEST PRYOR

### LEE'S SUMMIT, MO

UTILITIES  
Electric Service  
Evergy  
Nathan Michael  
913-347-4310  
Nathan.michael@evergy.com

Gas Service  
Spire  
Katie Darnell  
816-969-2247  
Katie.darnell@spireenergy.com

Water/Sanitary Sewer  
Water Utilities Department  
1200 SE Hamblen Road  
Lee's Summit, Mo 64081  
Jeff Thorn  
816-969-1900  
jeff.thorn@cityofls.net

Communication Service  
AT&T Carrie Cilke  
816-703-4386  
cc3527@att.com

Time Warner Cable  
Steve Baxter  
913-643-1928  
steve.baxter@charter.com

Comcast  
Ryan Alkire  
816-795-2218  
ryan.alkire@cable.comcast.com

Google Fiber  
Becky Davis  
913-725-8745  
rebeccadavis@google.com



#### UTILITY STATEMENT:

THE UNDERGROUND UTILITIES SHOWN HEREON ARE FROM FIELD SURVEY INFORMATION OF ONE-CALL LOCATED UTILITIES, FIELD SURVEY INFORMATION OF ABOVE GROUND OBSERVABLE EVIDENCE, AND/OR THE SCALING AND PLOTTING OF EXISTING UTILITY MAPS AND DRAWINGS AVAILABLE TO THE SURVEYOR AT THE TIME OF SURVEY. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHERMORE, THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES BY EXCAVATION UNLESS OTHERWISE NOTED ON THIS SURVEY.

#### SAFETY NOTICE TO CONTRACTOR

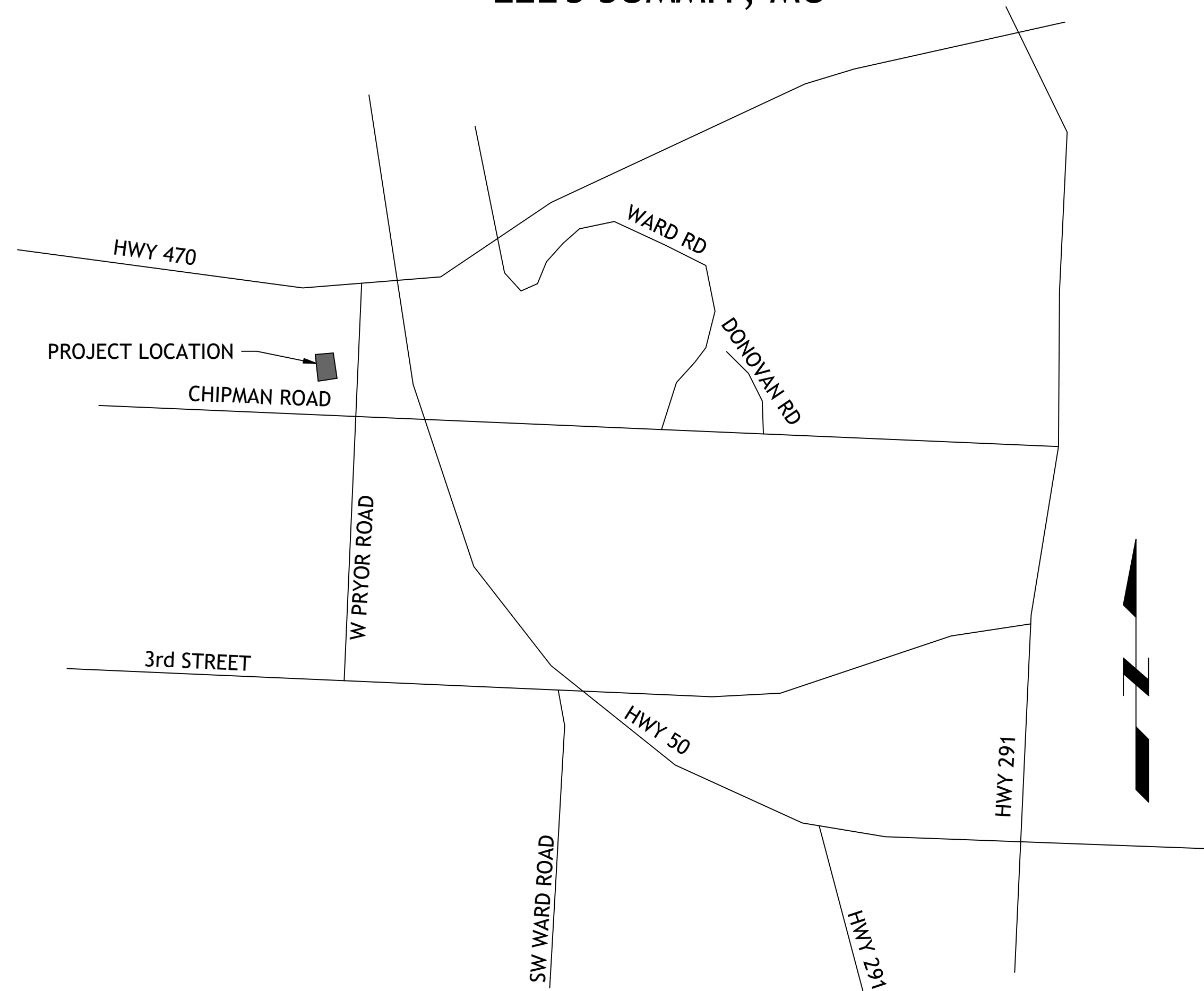
IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICE, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

#### WARRANTY/DISCLAIMER

THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER SM ENGINEERING NOR ITS PERSONNEL CAN OR DO WARRANTY THESE DESIGNS OR PLANS AS CONSTRUCTED, EXCEPT IN THE SPECIFIC CASES WHERE SM ENGINEERING PERSONNEL INSPECT AND CONTROL THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.

#### CAUTION- NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICTS PRIOR TO ANY CONSTRUCTION.



LOCATION MAP

NOTE:  
THERE ARE NO OIL / GAS WELLS ON SITE  
PER ALTA SURVEY

#### LEGAL DESCRIPTION:

LOT 1 & 2 STREET OF WEST PRYOR  
LEE'S SUMMIT, MO, JACKSON COUNTY MISSOURI

ALL EXISTING TOPOGRAPHIC DATA AND INFRASTRUCTURE IMPROVEMENTS SHOWN BASED ON INFORMATION BY KAW VALLEY ENGINEERING

#### BENCHMARKS:

#1 CHISELED "SQUARE" ON TOP OF CURB POINT OF INTERSECTION OF WEST PARK PARKING LOT AT EAST DRIVE ENTRANCE  
ELEVATION 985.05

#2 CHISELED "SQUARE" ON NORTHWEST CORNER AREA INLET, 25' EAST OF CURB LINE AND ON-LINE WITH SOUTH CURB OF LOWENSTEIN DRIVE AT 90° BEND IN ROAD  
ELEVATION 971.06

#### FLOODPLAIN NOTE:

SUBJECT PROPERTY IS SHOWN TO BE LOCATED IN "OTHER AREAS ZONE X" ON THE FLOOD INSURANCE RATE MAP FOR JACKSON COUNTY, MISSOURI AND INCORPORATED AREAS. COMMUNITY PANEL NO. 29095C0416G, REVISED JANUARY 20, 2017. "OTHER AREAS ZONE X" IS DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN". LOCATION DETERMINED BY A SCALED GRAPHICAL PLOT OF THE FLOOD INSURANCE RATE MAP.

#### INDEX OF SHEETS

- C-1 COVER SHEET
- C-2 EXISTING CONDITIONS
- C-3 OVERALL SITE PLAN
- C-4 SITE PLAN
- C-5 UTILITY PLAN
- C-5.1 ROOF DRAIN PLAN AND PROFILE
- C-6 GRADING PLAN / STORM LINE A PLAN & PROFILE
- C-7 ADA PARKING AREA
- C-8 EROSION CONTROL
- C-9 EROSION CONTROL DETAILS
- C-10 DETAILS
- C-11 DETAILS
- C-12 DETAILS
- C-13 DETAILS
- C-14 LANDSCAPE PLAN
- SL101 PHOTOMETRICS
- SL200 LIGHTING SCHEDULE

#### DEVELOPER

SWP III, LLC  
C/O DRAKE DEVELOPMENT, LLC  
7200 W 132nd ST, SUITE 150  
OVERLAND PARK, KS 66213  
913-662-2630

#### ENGINEER

SM ENGINEERING  
SAM MALINOWSKY  
5507 HIGH MEADOW CIRCLE  
MANHATTAN KANSAS, 66503  
SMCIVILENGR@GMAIL.COM  
785.341.9747



SAMUEL D. MALINOWSKY  
PROFESSIONAL ENGINEER

SM Engineering  
**SM E**  
5507 High Meadow Circle  
Manhattan Kansas, 66503  
smcivilengr@gmail.com  
785.341.9747

Drawings and/or Specifications are original proprietary work and property of the Engineer and intended specifically for this project. Use of items contained herein without consent of the Engineer is prohibited. Drawings illustrate best information available to the Engineer. Field verification of actual elements, conditions, and dimensions is required.

Revisions  
4-2-21 CITY COMMENTS  
4-12-21 CLIENT COMMENTS

RED DOOR GRILL  
LOT 1 STREETS OF PRYOR  
LEE'S SUMMIT, MO.

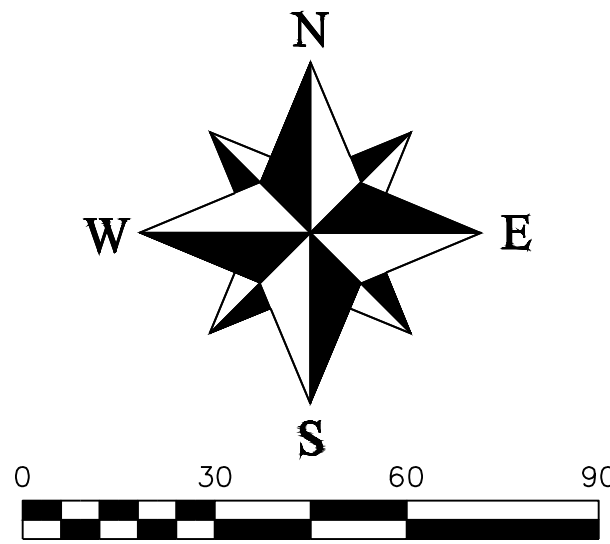
s h e e t

C1.0

Civil  
Site Improvement Plan  
permit  
11 MARCH 2021



Topographic Survey  
Streets of West Pryor Lots 1 & 2  
Section 35, Township 48, Range 32  
Lee's Summit, Jackson County, Missouri



LEGEND

These standard symbols will be found in the drawing.

- Set 1/2" Rebar & Cap
- ⊙ Found Survey Monument (As Noted)
- Ⓜ Exception Document Location

- Existing Fence Line - Chain Link
- - - Existing Water Line
- - - Existing Sanitary Sewer Main
- STORM — Existing Storm Sewer
- - - Existing Gas Line
- t - Existing Underground Telephone
- e - Existing Underground Electric

REVISIONS

DATE	REVISIONS

Streets of West Pryor Lots 1 & 2  
Section 35, Township 48, Range 32  
Lee's Summit, Jackson County, Missouri

Topographic Survey

SHEET	SECTION	TOWNSHIP	RANGE	COUNTY	JOB NO.
1 OF 1	35	48	32	Jackson	Streets of West Pryor
DRAWN BY	SCALE	DATE OF PREPARATION			
M. Schlicht, PLS., PE	1"=30'	February 11, 2021			

PROFESSIONAL SEAL

**ENGINEERING & SURVEYING SOLUTIONS**  
50 SE 30TH STREET  
LEE'S SUMMIT, MO 64082  
P: (816) 623-9888 F: (816) 623-9849

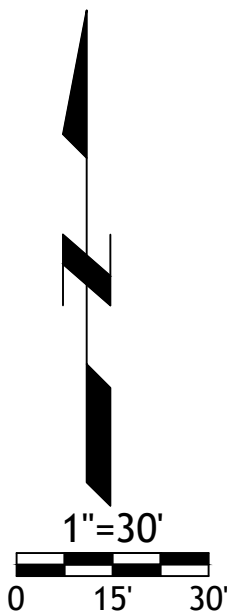
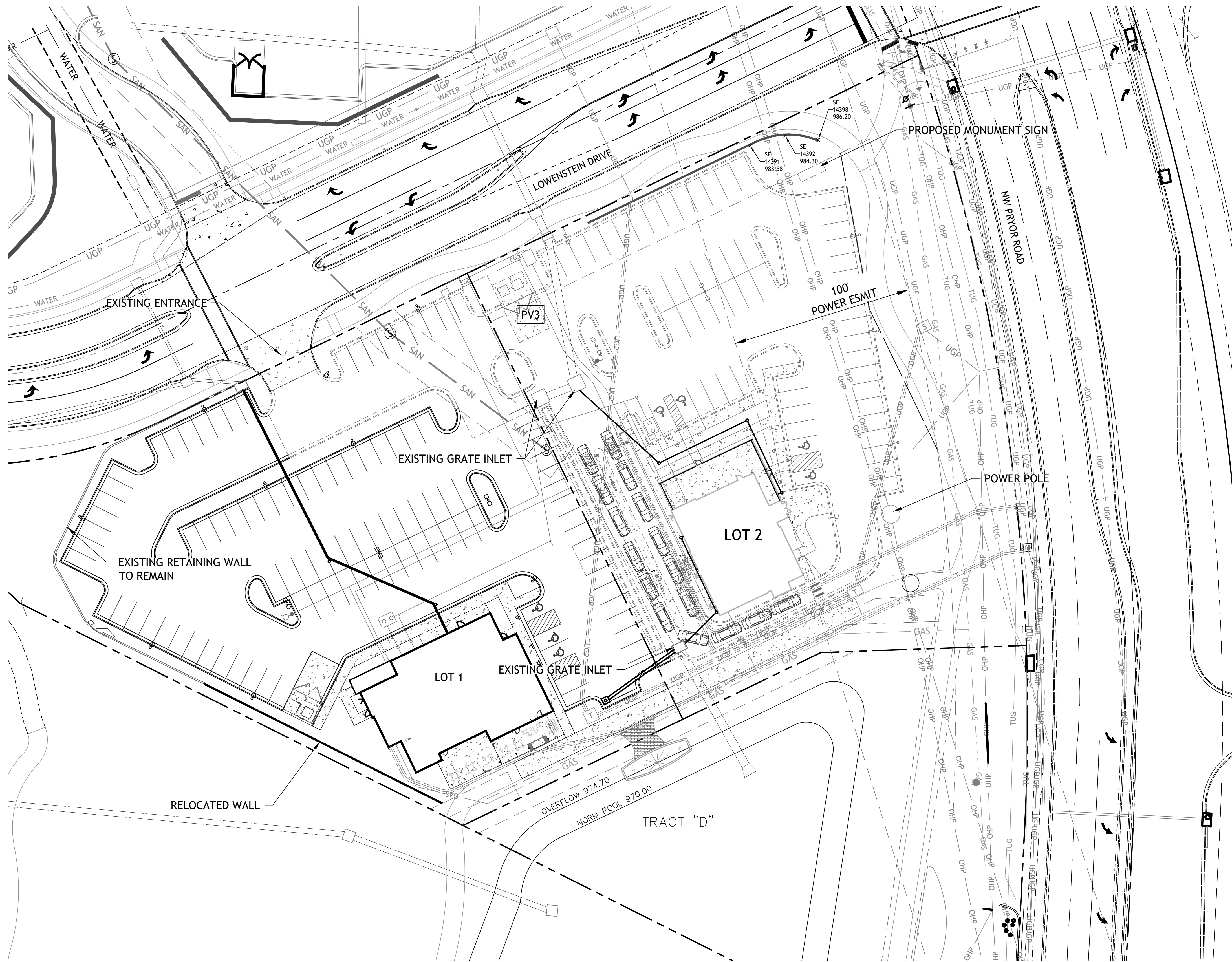
SURVEYOR'S GENERAL NOTES:

- This survey is based upon the following information provided by the client or researched by this surveyor.  
(A). Streets of West Pryor Lots 1 thru 14, Tracts "A", "B", "C", & "D", recorded as Doc. No. 2019E0032538 in Book 183 at Page 28.
- This survey meets or exceeds the accuracy standards of a (SUBURBAN) Property Boundary Survey as defined by the Missouri Standards for Property Boundary Surveys.
- The Title report was furnished by First American Title Insurance Company, Policy No. NCS-1007087-KCTY, dated March 16, 2020 at 8:00 AM.
- Bearings shown hereon are based upon bearings described in the Final Plat of Streets of West Pryor Lots 1 thru 14, Tracts "A", "B", "C", & "D".
- This company assumes no responsibility in the location of existing utilities within the subject premises. This is an above-ground survey. The underground utilities, if shown, are based on information provided by the various utility companies and these locations should be considered approximate. There may be additional underground utilities not shown on this drawing.  
-Locate Ticket # 210210384
- Subsurface and environmental conditions were not surveyed or examined or considered as a part of this survey. No evidence or statement is made concerning the existence or underground or overhead conditions, containers or facilities that may affect the use or development of this property. No attempt has been made to obtain or show data concerning existence, size, depth, conditions, capacity or location of any utility existing on the site, whether private, municipal or public owned.
- This property is located outside the 100 year flood plain, zone "X" as shown on the Firm panel 2009SC0416G, dated January 20, 2017.

PROPERTY DESCRIPTION

Lot 1, Streets of West Pryor, Lots 1 thru 14, Tracts "A", "B", "C", & "D", A Subdivision in the City of Lee's Summit, Jackson County, Missouri.  
and,  
Lot 2, Streets of West Pryor, Lots 1 thru 14, Tracts "A", "B", "C", & "D", A Subdivision in the City of Lee's Summit, Jackson County, Missouri.

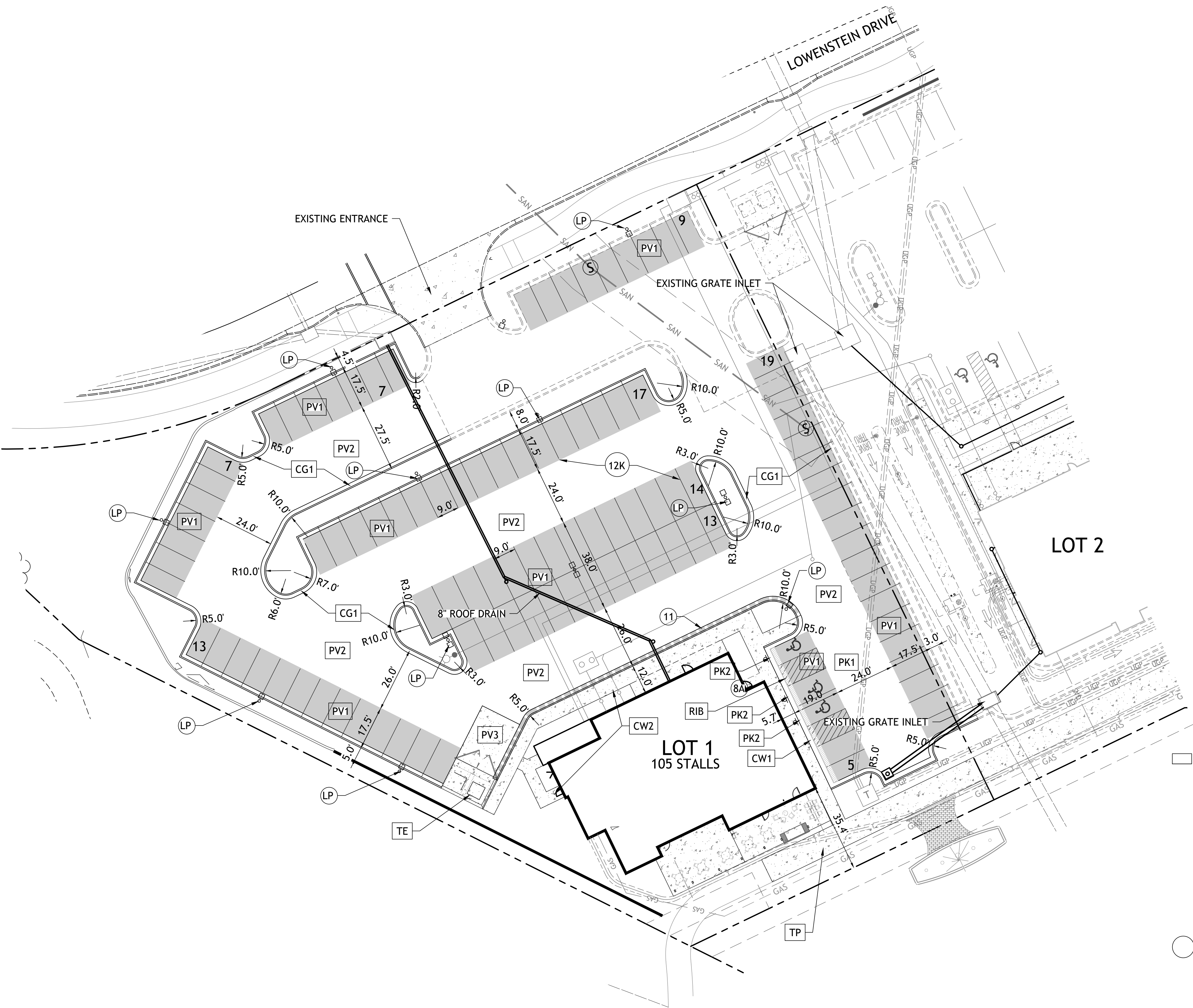




**RED DOOR GRILL**  
**LOT 1 STREETS OF PRYOR**  
 LEE'S SUMMITT, MO.



SITE DATA												
LOT	USE	LOT AREA (SF)	LOT AREA (ACRES)	BLDG AREA SF (ENVELOPE)	# OF FLOORS	PARKING REQUIRED	PARKING PROVIDED	ADA SPACES REQ (VAN)	ADA SPACES PROV (VAN)	PRK LOT COVERAGE	TOTAL IMPERVIOUS COVERAGE	OPEN SPACE
LOT 1	MIXED USE	67,758	1.56	5,549	1	78	105	1	2	43982	49,531	18,227



SITE DATA	
TOTAL SITE	1.56ac (67,758sf)
TOTAL IMPERVIOUS AREA	49,531sf
OPEN SPACE	18,227sf (51.5%)
TOTAL BUILDING	5,549sf
FAR	0.081TOTAL REQUIRED
PARKING REQUIRED	78
PARKING PROVIDED	113

- CONSTRUCTION NOTES:**
- COORDINATE START-UP AND ALL CONSTRUCTION ACTIVITIES WITH OWNER.
  - CONSTRUCTION METHODS AND MATERIALS NOT SPECIFIED IN THESE PLANS ARE TO MEET OR EXCEED THE STANDARD SPECIFICATIONS.
  - ALL CONSTRUCTION WORK AND UTILITY WORK OUTSIDE OF PROPERTY BOUNDARIES SHALL BE PERFORMED IN COOPERATION WITH AND IN ACCORDANCE WITH REGULATIONS OF THE AUTHORITIES CONCERNED.
  - PUBLIC CONVENIENCE AND SAFETY: THE CONTRACTOR SHALL CONDUCT THE WORK IN A MANNER THAT WILL INSURE, AS FAR AS PRACTICABLE, THE LEAST OBSTRUCTION TO TRAFFIC, AND SHALL PROVIDE FOR TI-1E CONVENIENCE AND SAFETY OF THE GENERAL PUBLIC AND RESIDENTS ALONG AND ADJACENT TO STREETS IN THE CONSTRUCTION AREA.
  - ALL DIMENSIONS SHOWN ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
  - ACCESSIBLE STALLS SHOWN WITH A "VAN" SHALL BE 16'-0" MIN. AND SHALL HAVE A SIGN DESIGNATING "VAN-ACCESSIBLE". SEE DETAIL102.

- NOTE:**
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRANCE. SLOPED PAVING, EXIT PORCHES AND RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
  - THESE PLANS HAVE NOT BEEN VERIFIED WITH FINAL ARCHITECTURAL CONTRACT DRAWINGS. CONTRACTOR SHALL VERIFY AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES. CONTRACTOR IS FULLY RESPONSIBLE FOR REVIEW AND COORDINATION OF ALL DRAWINGS AND CONTRACTOR DOCUMENTS.
  - ALL DIMENSIONS ARE PERPENDICULAR TO PROPERTY LINE.
  - ACTUAL SIGN LOCATIONS TO BE COORDINATED WITH CONSTRUCTION MANAGER.

- SEE DETAIL SHEET FOR THE FOLLOWING DETAILS:
- PK-1 96" ACCESSIBLE & VAN ACCESSIBLE SPACE STRIPING
  - PK-2 ACCESSIBLE SIGN
  - CG-1 CURB AND GUTTER
  - CW1 CURB WALK AT BUILDING
  - PV1 REGULAR DUTY PAVEMENT
  - PV2 HEAVY DUTY ASPHALT PAVEMENT
  - PV3 HEAVY DUTY CONCRETE PAVEMENT
  - TP TRAIL PAVING
  - CW2 SIDEWALK
  - ADA-1-7 HANDICAP RAMP SEE GEN-3A DETAIL SHEET C9.0 AND ADA RAMPS SHEET C7.0
  - LP LIGHT POLE BASE
  - TE TRASH ENCLOSURE

- NOTES:**
- 8A DOOR (SEE ARCH. PLANS)
  - 12K YELLOW PARKING LOT STRIPING (SHERWIN-WILLIAMS TM 2160 LEAD FREE OR APPROVED EQUAL)
  - CO CLEAN-OUT (SEE GRADING PLAN)
  - 11 PAINT CURB RED "NO PARKING FIRE LANE"
  - LP LIGHT POLE BASE (SEE LIGHTING PLAN)

SM Engineering  
5507 High Meadow Circle  
Manhattan Kansas, 66503  
smcivilengr@gmail.com  
785.341.9747

Drawings and/or Specifications are original proprietary work and property of the Engineer and intended specifically for this project. Use of items contained herein without consent of the Engineer is prohibited. Drawings illustrate best information available to the Engineer. Field verification of actual elements, conditions, and dimensions is required.

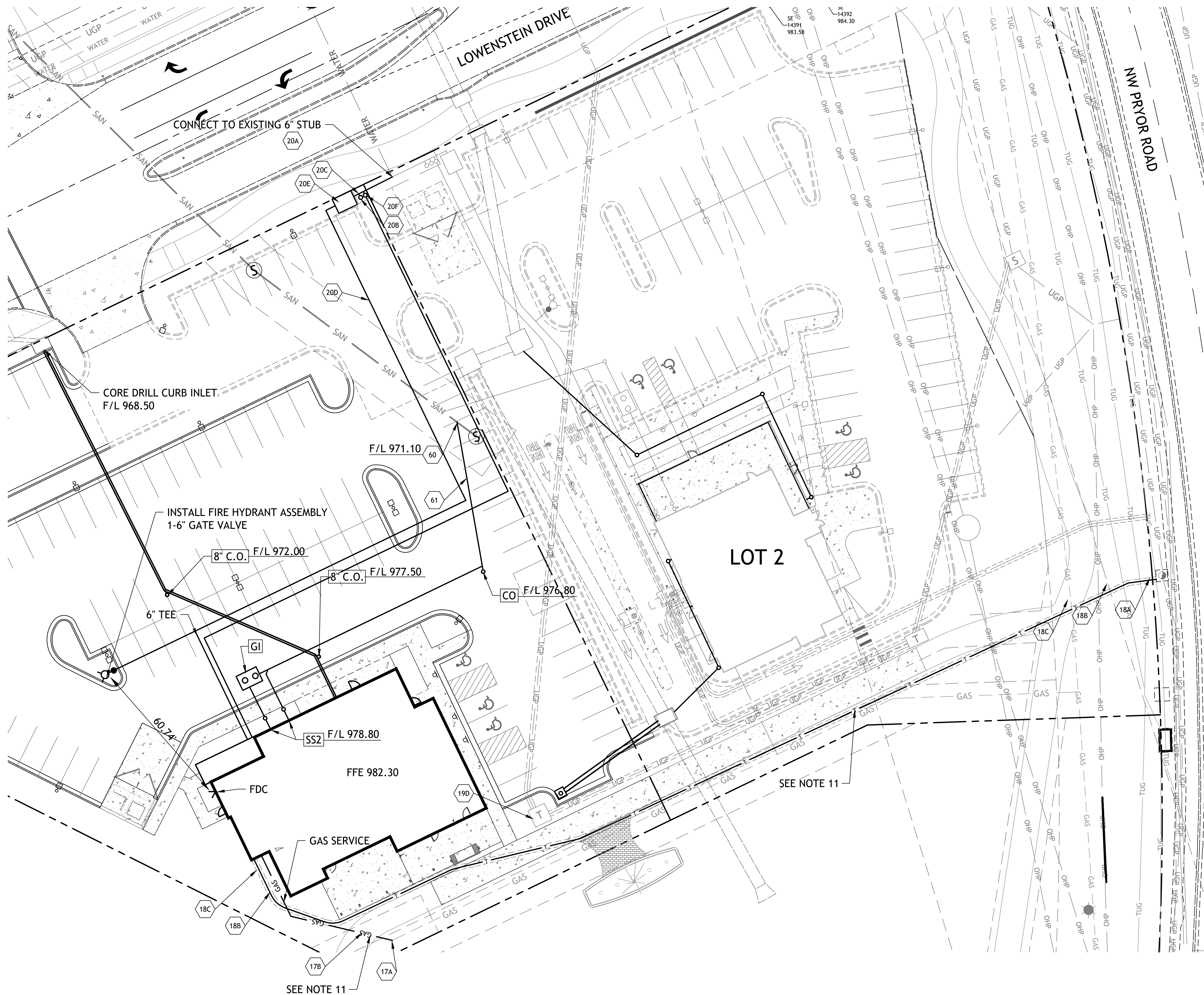


Revisions  
4-2-21 CITY COMMENTS  
4-12-21 CLIENT COMMENTS

LOT 1 RED DOOR GRILL  
LOT 1 STREETS OF PRYOR  
LEE'S SUMMITT, MO.

sheet  
C4.0  
Civil  
SITE PLAN  
permit  
11 MARCH 2021



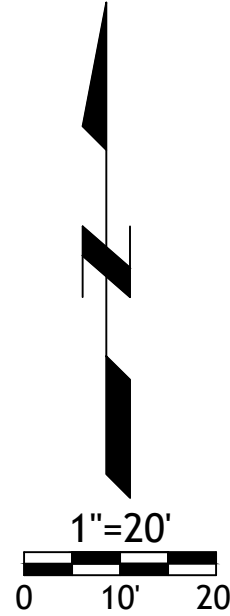


- UTILITY NOTES:
1. ALL UTILITY AND STORM SEWER TRENCHES CONSTRUCTED UNDER AREAS THAT RECEIVE PAVING SHALL BE BACKFILLED TO 18 INCHES ABOVE THE TOP OF THE PIPE WITH SELECT GRANULAR MATERIAL PLACED ON EIGHT-INCH LIFTS, AND COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
  2. CONTRACTOR SHALL NOT OPEN, TURN OFF, INTERFERE WITH, OR ATTACH ANY PIPE OR HOSE TO OR TAP ANY WATER MAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCE OF ANY SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE LIABILITY OF THE CONTRACTOR. SM ENGINEERING AND OWNER ARE TO BE HELD HARMLESS.
  3. ALL WATER AND SANITARY SEWER SYSTEMS THAT ARE TO BE PUBLIC LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS PREVIOUSLY APPROVED BY THE CITY OF LEE'S SUMMIT AND THE STATE OF MISSOURI AND SHALL BE INSPECTED BY THE CITY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASSURE THAT THIS INSPECTION OCCURS.
  4. LOCATIONS SHOWN FOR PROPOSED WATER LINES ARE APPROXIMATE. VARIATIONS MAY BE MADE, WITH APPROVAL OF THE ENGINEER, TO AVOID CONFLICTS.
  5. CONTRACTOR TO INSTALL TRACING TAPE ALONG ALL NON-METALLIC WATER MAINS AND SERVICE LINES PER SPECIFICATIONS.
  6. CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICT AND POINTS OF CONNECTION PRIOR TO ANY CONSTRUCTION OF NEW UTILITIES.
  7. WATER LINES SHALL HAVE A MINIMUM COVER OF 42 INCHES. ALL VALVES ON MAINS AND FIRE HYDRANT LEADS SHALL BE WITH VALVE BOX ASSEMBLIES. THE SIZE OF VALVE BOX ASSEMBLY TO BE INSTALLED IS DETERMINED BY THE TYPE AND SIZE OF VALVE. VALVE BOX CAPS SHALL HAVE THE WORD "WATER".
  8. A MINIMUM HORIZONTAL DISTANCE OF 10 FEET SHALL BE MAINTAINED BETWEEN PARALLEL WATER AND SANITARY SEWER LINES. WHEN IT IS NECESSARY FOR ANY WATER LINE TO CROSS A SANITARY SEWER LINE, THE SEWER LINE SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE AT LEAST 10 FEET EITHER SIDE OF THE WATER LINE UNLESS THE WATER LINE IS AT LEAST 2 FEET CLEAR DISTANCE ABOVE THE SANITARY SEWER LINE.
  9. INSTALL 2" TYPE "K" COPPER FROM THE MAIN TO THE METER AND EITHER TYPE "K" OR POLYETHYLENE PLASTIC TUBING (PE 3608) FROM METER TO STOP AND WASTE VALVE INSIDE BUILDING.
  10. CONTRACTOR RESPONSIBLE FOR PROVIDING CASEMENT FOR ELECTRICAL SERVICE PER KCP&L
  11. CONTRACTOR TO DIRECTIONAL BORE UNDER EXISTING WALKING TRAIL

- DETAILS
- MS1 TRENCH AND BEDDING DETAILS
  - SS2 2-WAY CLEAN-OUT
  - WAT-12 DCD4 VAULT
  - WAT-11 WATER SERVICE CONNECTION
  - WAT-7 FIRE HYDRANT
  - CO CLEANOUT
  - GI GREASE INTERCEPTOR

- NOTES
- 17A POINT OF CONNECTION - GAS SERVICE
  - 17B GAS SERVICE (BY GAS COMPANY)
  - 17C GAS METER
  - 18A POINT OF CONNECTION - TELEPHONE SERVICE - COORDINATE WITH TELEPHONE COMPANY
  - 18B UNDERGROUND TELEPHONE SERVICE PER LOCAL TELEPHONE COMPANY
  - 18C 2-2" CONDUIT INSTALLED BY CONTRACTOR - TELEPHONE SERVICE
  - 19A POINT OF CONNECTION - ELECTRICAL SERVICE
  - 19B ELECTRICAL SERVICE (SEE NOTE 10)
  - 19C 4" CONDUIT INSTALLED BY CONTRACTOR - ELECTRIC SERVICE
  - 19D TRANSFORMER - PER EVERGY DETAIL 700-103
  - 20A POINT OF CONNECTION - WATER SERVICE
  - 20B 1.5" TAP WITH 1.5" SERVICE LINE
  - 20C 1.5" METER
  - 20D 6" FIRE LINE
  - 20E INSTALL 6" BACKFLOW PREVENTION ASSEMBLY IN 8'X6' VAULT OR AS REQUIRED PER CLEARANCE SEE DETAIL WAT-5
  - 20F 1" IRRIGATION METER & BFP
  - 60 4" SANITARY SEWER SERVICE LINE SDR-26 PVC CONNECTION SHALL BE A CUT-IN WYE
  - 61 4" SANITARY SEWER SERVICE LINE SDR 26 PVC

UTILITY STATEMENT:  
THE UNDERGROUND UTILITIES SHOWN HEREON ARE FROM FIELD SURVEY INFORMATION OF ONE-CALL LOCATED UTILITIES, FIELD SURVEY INFORMATION OF ABOVE GROUND OBSERVABLE EVIDENCE, AND/OR THE SCALING AND PLOTTING OF EXISTING UTILITY MAPS AND DRAWINGS AVAILABLE TO THE SURVEYOR AT THE TIME OF SURVEY. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHERMORE, THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES BY EXCAVATION UNLESS OTHERWISE NOTED ON THIS SURVEY.



SM Engineering

**SME**

5507 High Meadow Circle  
Manhattan Kansas, 66503  
smcivilengr@gmail.com  
785.341.9747

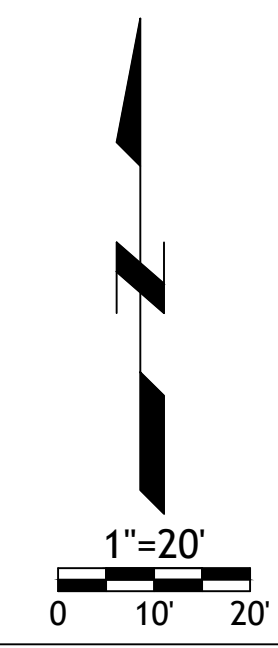
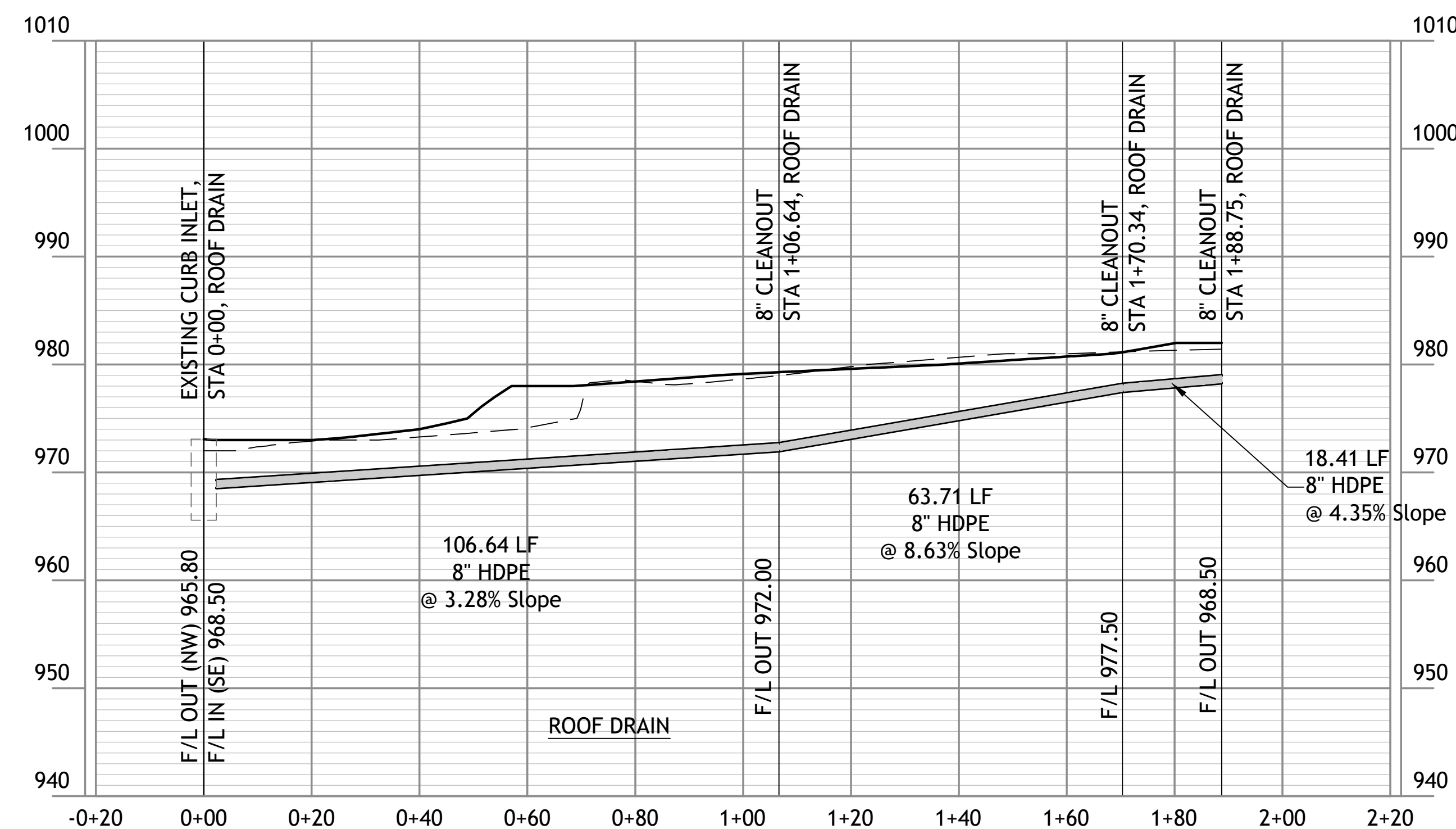
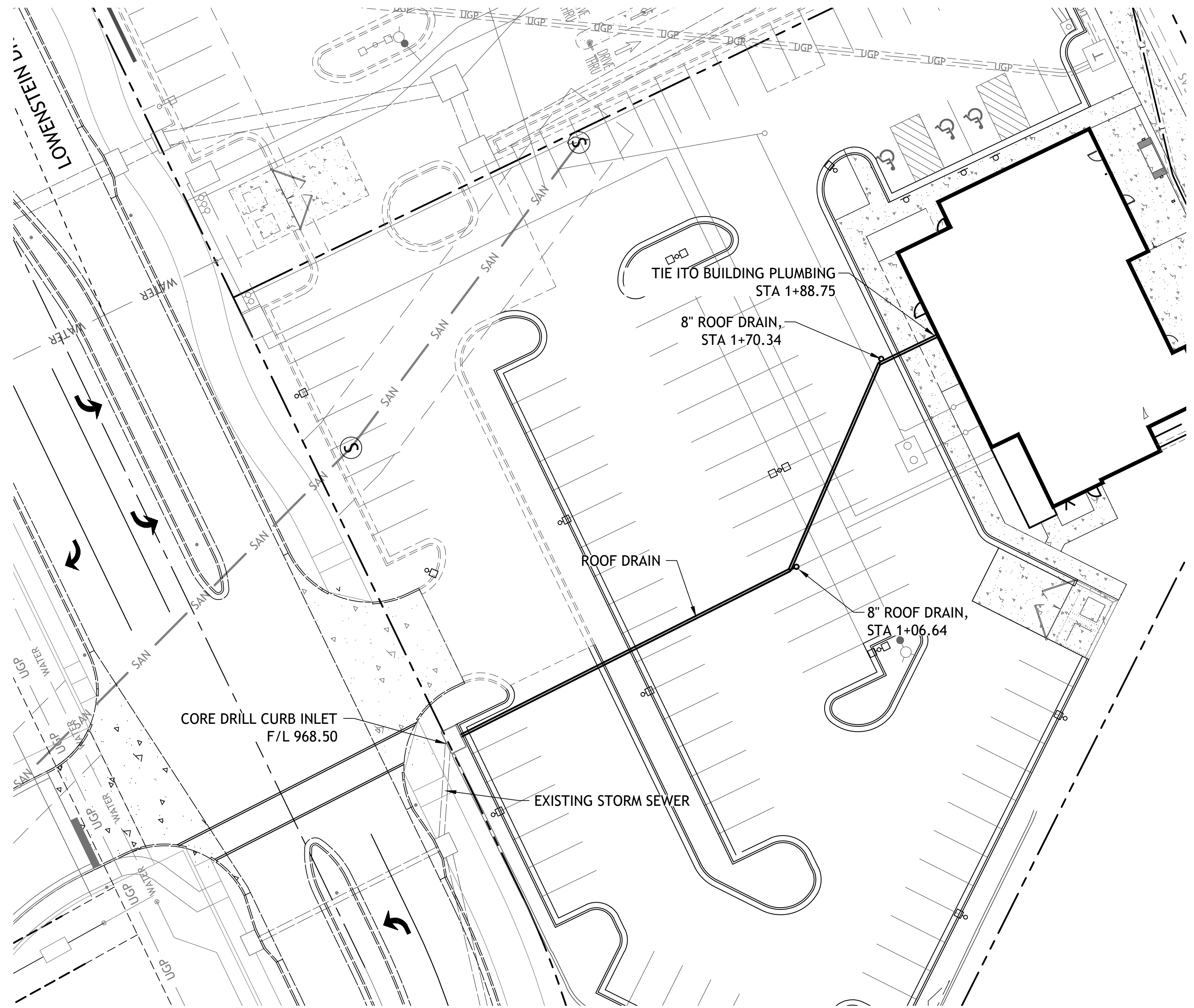
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Revisions  
4-2-21 CITY COMMENTS  
4-12-21 CLIENT COMMENTS

LOT 1 RED DOOR GRILL  
LOT 1 STREETS OF PRYOR  
LEE'S SUMMIT, MO.

sheet  
C5.0  
Civil  
UTILITY  
permit  
11 MARCH 2021





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**SME**  
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Revisions  
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4-12-21 CLIENT COMMENTS

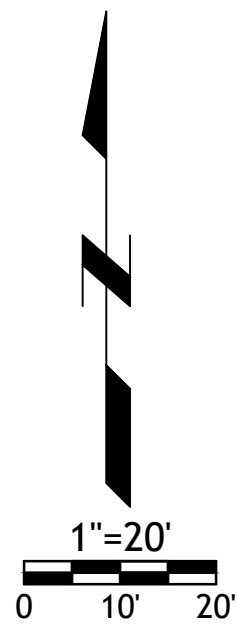
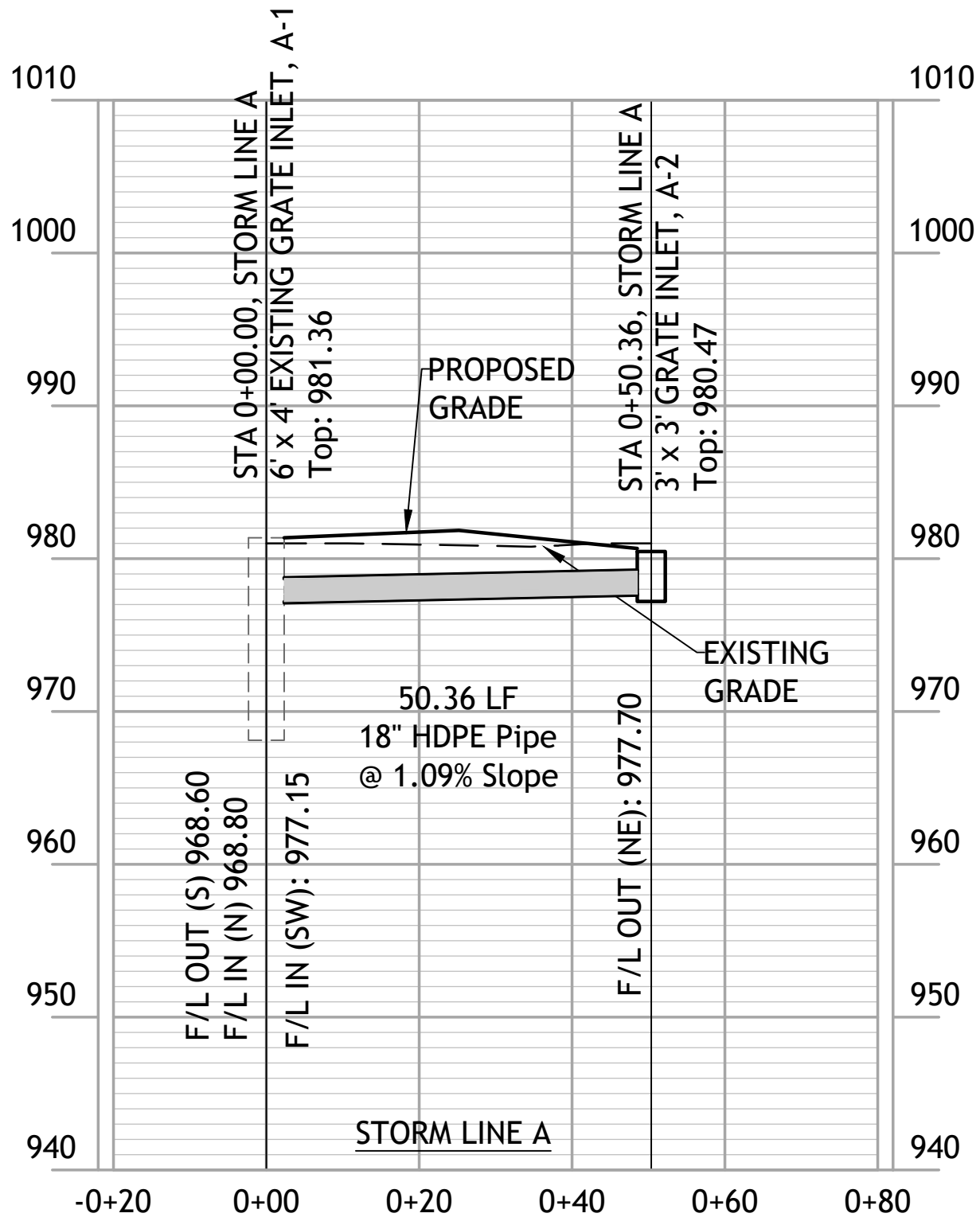
RED DOOR GRILL  
LOT 1 STREETS OF PRYOR  
LEE'S SUMMITT, MO.

sheet  
**C5.1**  
Civil  
ROOF DRAIN  
PLAN AND PROFILE  
11 MARCH 2021



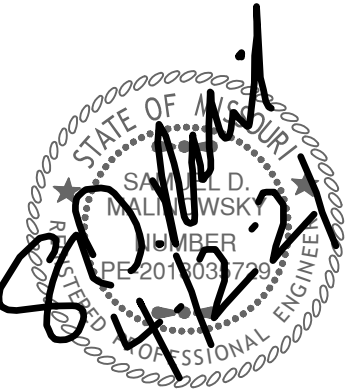


- GRADING NOTES:**
1. EARTHWORK UNDER THE BUILDING SHALL COMPLY WITH THE PROJECT ARCHITECTURAL PLANS. OTHER FILL MATERIAL SHALL BE MADE IN LIFTS NOT TO EXCEED EIGHT INCHES DEPTH COMPACTED TO 95% STANDARD PROCTOR DENSITY. FILL MATERIAL MAY INCLUDE ROCK FROM ON-SITE EXCAVATION IF CAREFULLY PLACED SO THAT LARGE STONES ARE WELL DISTRIBUTED AND VOIDS ARE COMPLETELY FILLED WITH SMALLER STONES, EARTH, SAND OR GRAVEL TO FURNISH A SOLID EMBANKMENT. NO ROCK LARGER THAN THREE INCHES IN ANY DIMENSION NOR ANY SHALE SHALL BE PLACED IN THE TOP 12 INCHES OF EMBANKMENT.
  2. AREAS THAT ARE TO BE CUT TO SUBGRADE LEVELS SHALL BE PROOF ROLLED WITH A MODERATELY HEAVY LOADED DUMP TRUCK OR SIMILAR APPROVED CONSTRUCTION EQUIPMENT TO DETECT UNSUITABLE SOIL CONDITIONS.
  3. IN ALL AREAS OF EXCAVATION, IF UNSUITABLE SOIL CONDITIONS ARE ENCOUNTERED, A QUALIFIED GEOTECHNICAL ENGINEER SHALL RECOMMEND TO THE OWNER THE METHODS OF UNDERCUTTING AND REPLACEMENT OF PROPERLY COMPACTED, APPROVED FILL MATERIAL. ALL PROOF ROLLING AND UNDERCUTTING SHOULD BE PERFORMED DURING A PERIOD OF DRY WEATHER.
  4. CONTRACTOR SHALL USE SILT FENCE OR OTHER MEANS OF CONTROLLING EROSION ALONG THE EDGE OF THE PROPERTY OR OTHER BOTTOM OF SLOPE LOCATIONS.
  5. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS.
  6. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
  7. IT IS NOT THE DUTY OF THE ENGINEER OR THE OWNER TO REVIEW THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE AT ANY TIME DURING CONSTRUCTION.
  8. PIPE LENGTHS ARE CENTER TO CENTER OF STRUCTURE OR TO END OF END SECTIONS.
  9. HANDICAP STALLS SHALL MEET ADA REQUIREMENTS AND SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION AT THE BUILDING ENTRY AND ACCESSIBLE PARKING STALLS. SLOPES EXCEEDING 2.0% WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
  10. CONTRACTOR TO ADJUST DEPTHS OF EXISTING SERVICE LINES AS NECESSARY
  11. ALL CONSTRUCTION TRAFFIC, TEMPORARY TRAFFIC CONTROL DEVICES AND PAVEMENT MARKINGS SHALL CONFORM TO REQUIREMENTS OF THE LATEST MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
  12. SITE BEING ROUGH GRADED TO 12.5" BELOW FINISHED GRADE
  13. CONTRACTOR TO PLACE 8" LOW PERMEABILITY LVC FOR BUILDING PAD



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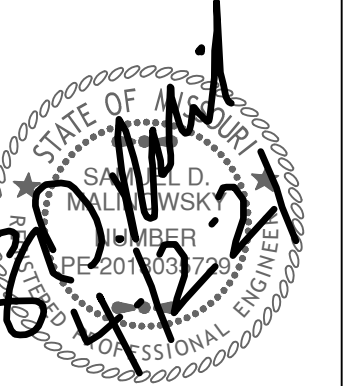
Revisions  
4-2-21 CITY COMMENTS  
4-12-21 CLIENT COMMENTS

RED DOOR GRILL  
LOT 1 STREETS OF PRYOR  
LEE'S SUMMITT, MO.

sheet  
**C6.0**  
GRADING PLAN &  
STORM LINE A  
PLAN & PROFILE  
11 MARCH 2021



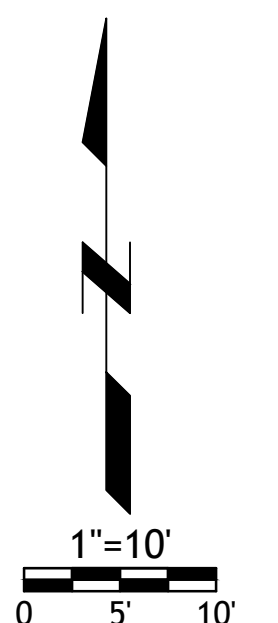
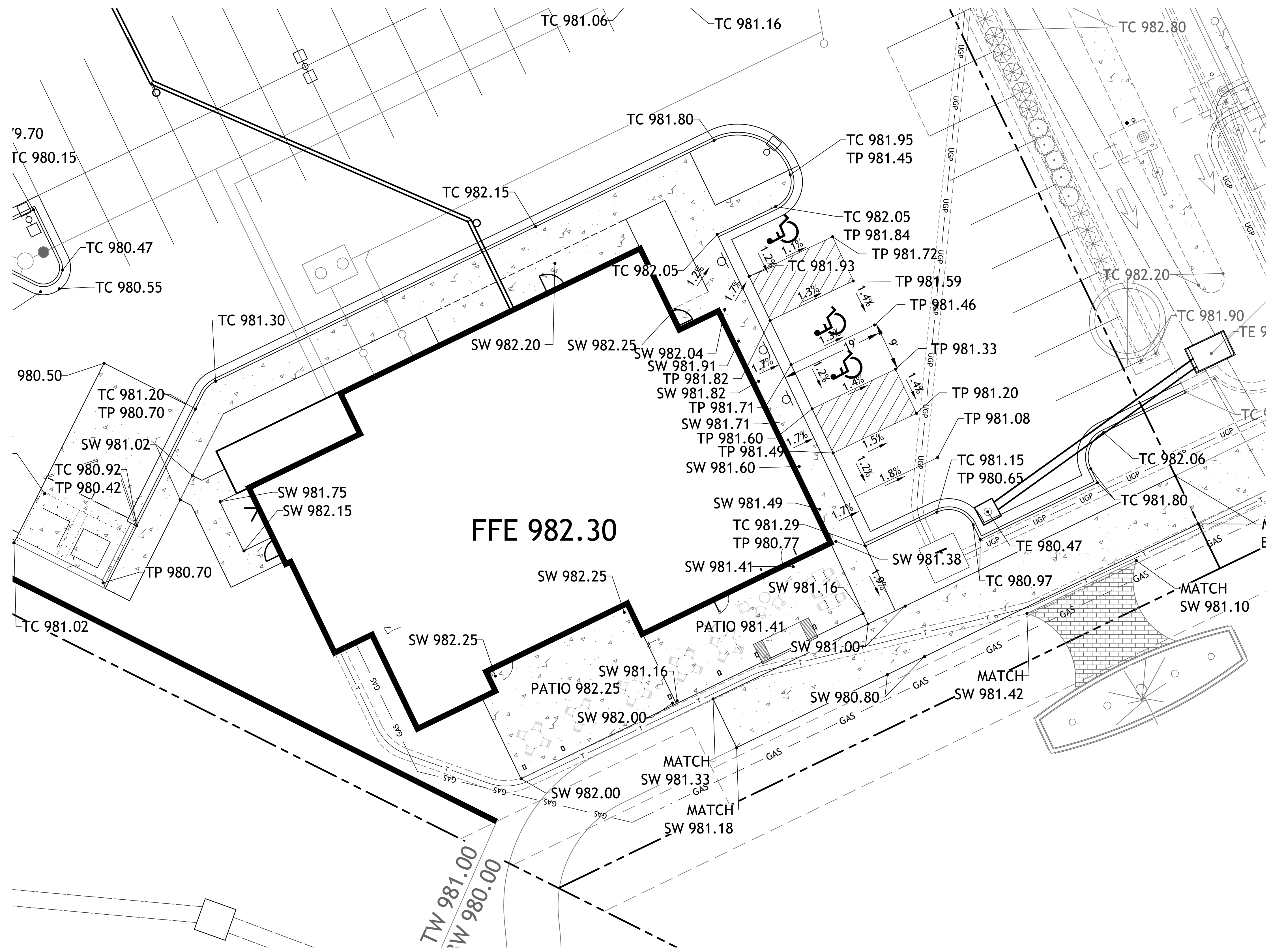
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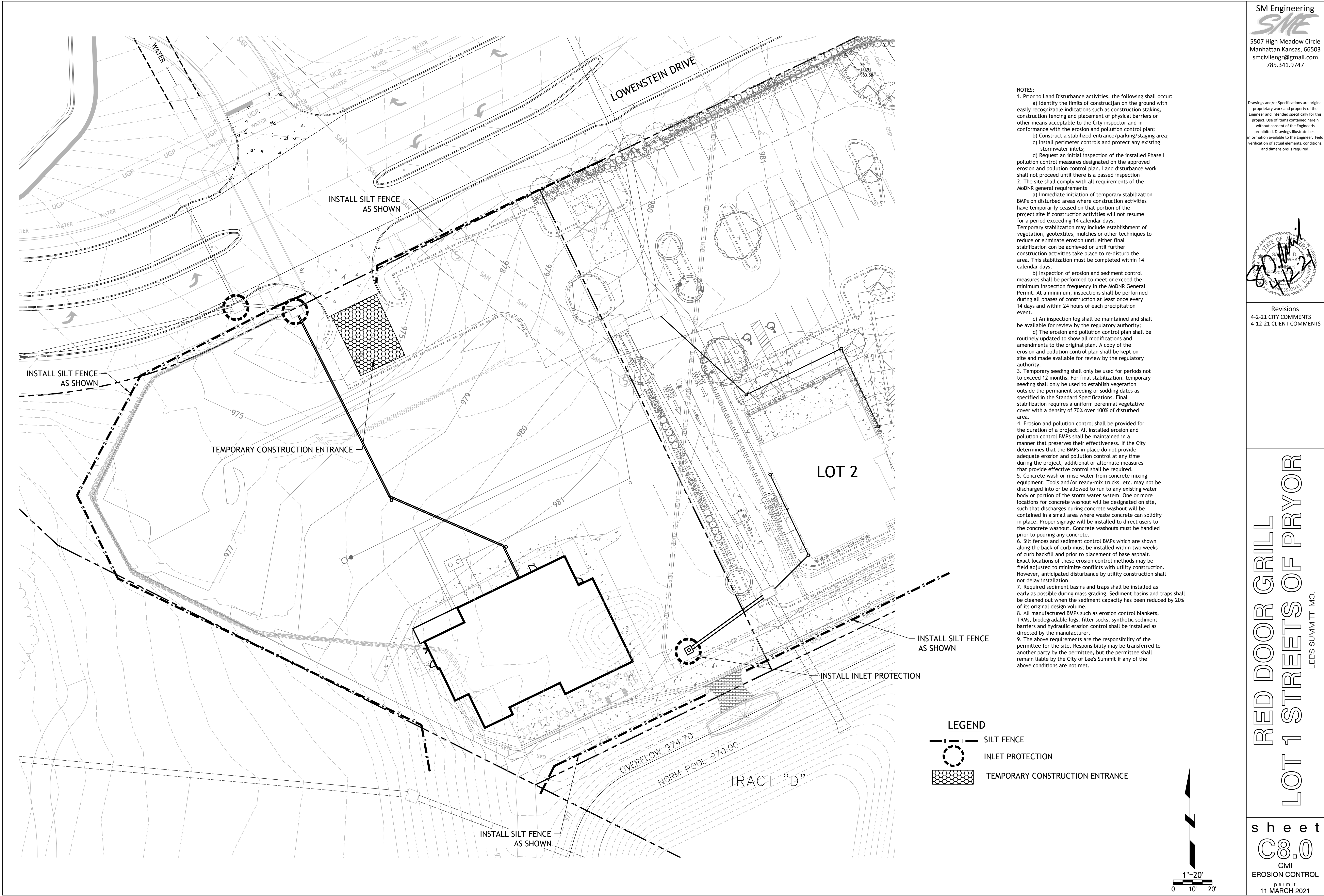
## Revisions

RED DOOR GRILL  
LOT 1 STREETS OF PRYOR  
LEE'S SUMMITT, MO.

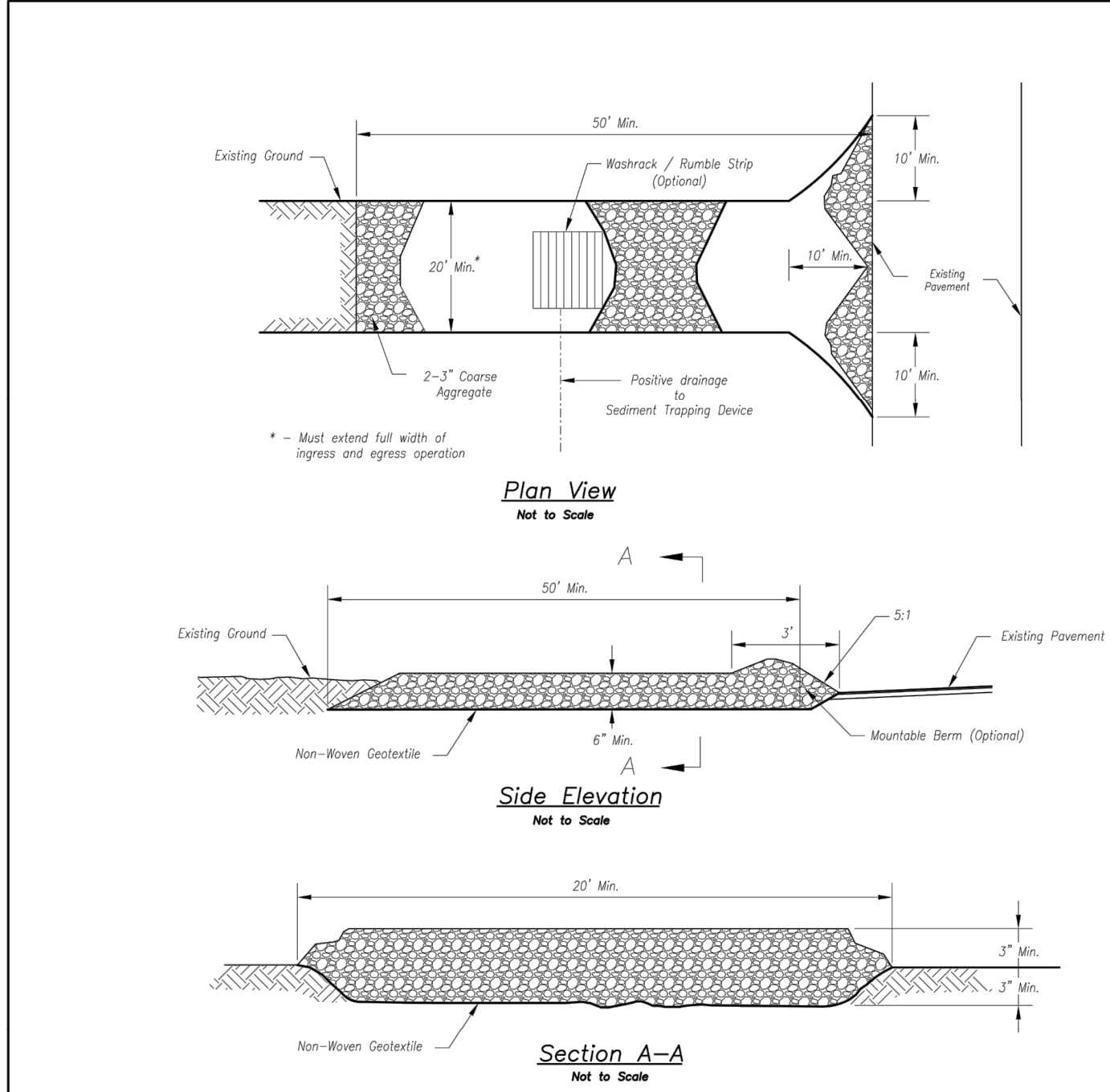
Civil  
ADA PARKING AREA  
permit  
11 MARCH 2021











#### Notes for Construction Entrance:

1. Avoid locating on steep slopes, at curves on public roads, or downhill of disturbed area.
2. Remove all vegetation and other unsuitable material from the foundation area, grade, and crown for positive drainage.
3. If slope towards the public road exceeds 2%, construct a 6- to 8-inch high ridge with 3:1 side slopes across the foundation approximately 15 feet from the edge of the public road to divert runoff from it.
4. Install pipe under the entrance if needed to maintain drainage ditches along public roads.
5. Place stone to dimensions and grade as shown on plans. Leave surface sloped for drainage.
6. Divert all surface runoff and drainage from the entrance to a sediment control device.
7. If conditions warrant, place geotextile fabric on the graded foundation to improve stability.

#### Maintenance for Construction Entrance:

1. Reshape entrance as needed to maintain function and integrity of installation. Top dress with clean aggregate as needed.

#### CONSTRUCTION ENTRANCE

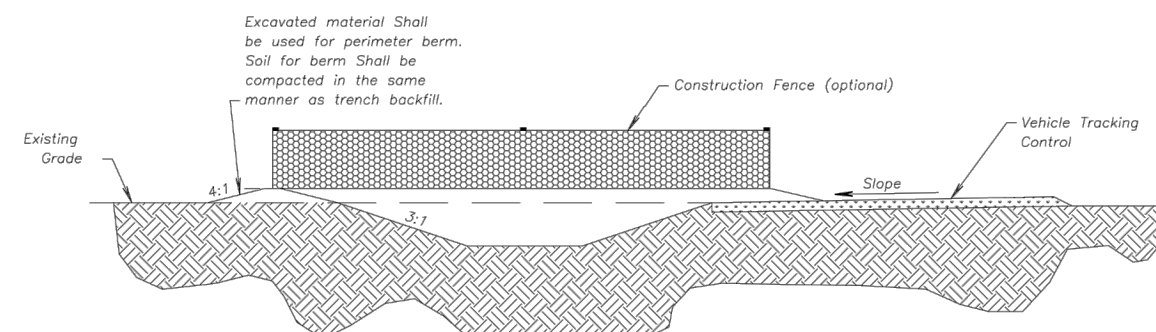
Construction Entrance modified from 2015 Overland Park Standard Details for Erosion and Sediment Control, Concrete Washout modified from 2009 City of Great Bend Standard Drawings.

#### Notes for Concrete Washout:

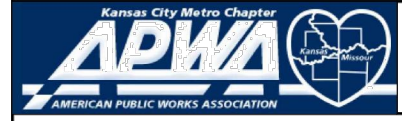
1. Concrete washout areas shall be installed prior to any concrete placement on site.
2. Concrete washout area shall include a flat subsurface pit sized relative to the amount of concrete to be placed on site. The slopes leading out of the subsurface pit shall be 3:1. The vehicle tracking pit shall be sloped towards the concrete washout area.
3. Vehicle tracking control is required of the access point to all concrete washout areas.
4. Signs shall be placed at the construction site entrance, washout area and elsewhere as necessary to clearly indicate the location(s) of the concrete washout area(s) to operators of concrete truck and pump rigs.
5. A one-piece impervious liner may be required along the bottom and sides of the subsurface pit in sandy or gravelly soils.

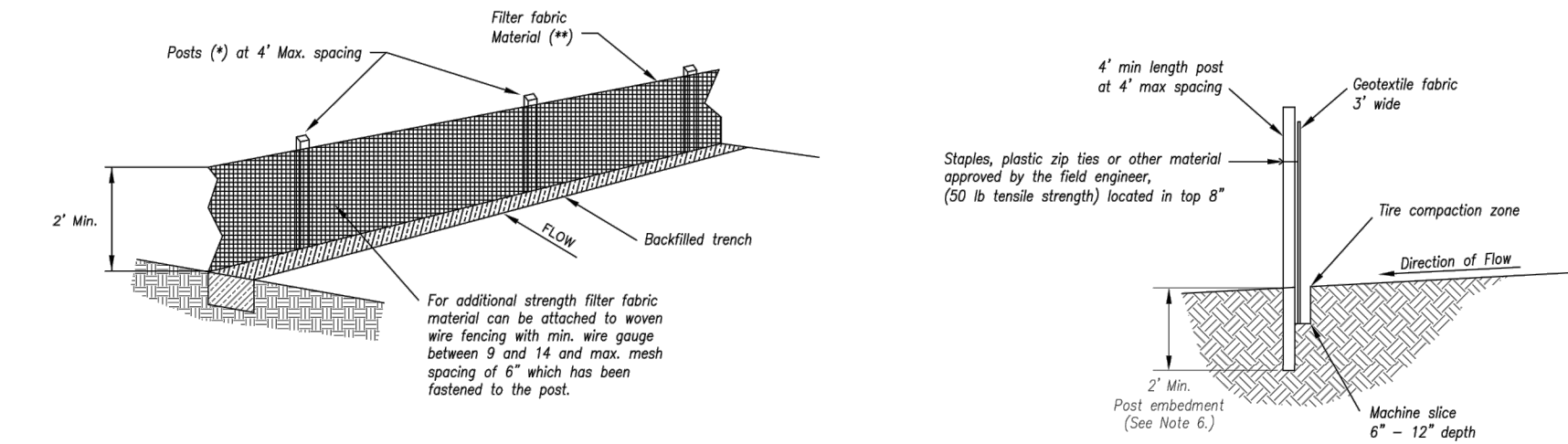
#### Maintenance for Concrete Washout:

1. Concrete washout materials shall be removed once the materials have filled the washout to approximately 75% full.
2. Concrete washout areas shall be enlarged as necessary to maintain capacity for washed concrete.
3. Concrete washout water, washed pieces of concrete and all other debris in the subsurface pit shall be transported from the job site in a water-tight container and disposed of properly.
4. Concrete washout areas shall remain in place until all concrete for the project is placed.
5. When concrete washout areas are removed, excavations shall be filled with suitable compacted backfill and topped, any disturbed areas associated with the installation, maintenance, and/or removal of the concrete washout areas shall be stabilized.



#### CONCRETE WASHOUT

AMERICAN PUBLIC WORKS ASSOCIATION	
	KANSAS CITY METRO CHAPTER
CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT	STANDARD DRAWING NUMBER ESC-01 ADOPTED: 10/24/2016



#### SILT FENCE DETAILS

Not to Scale

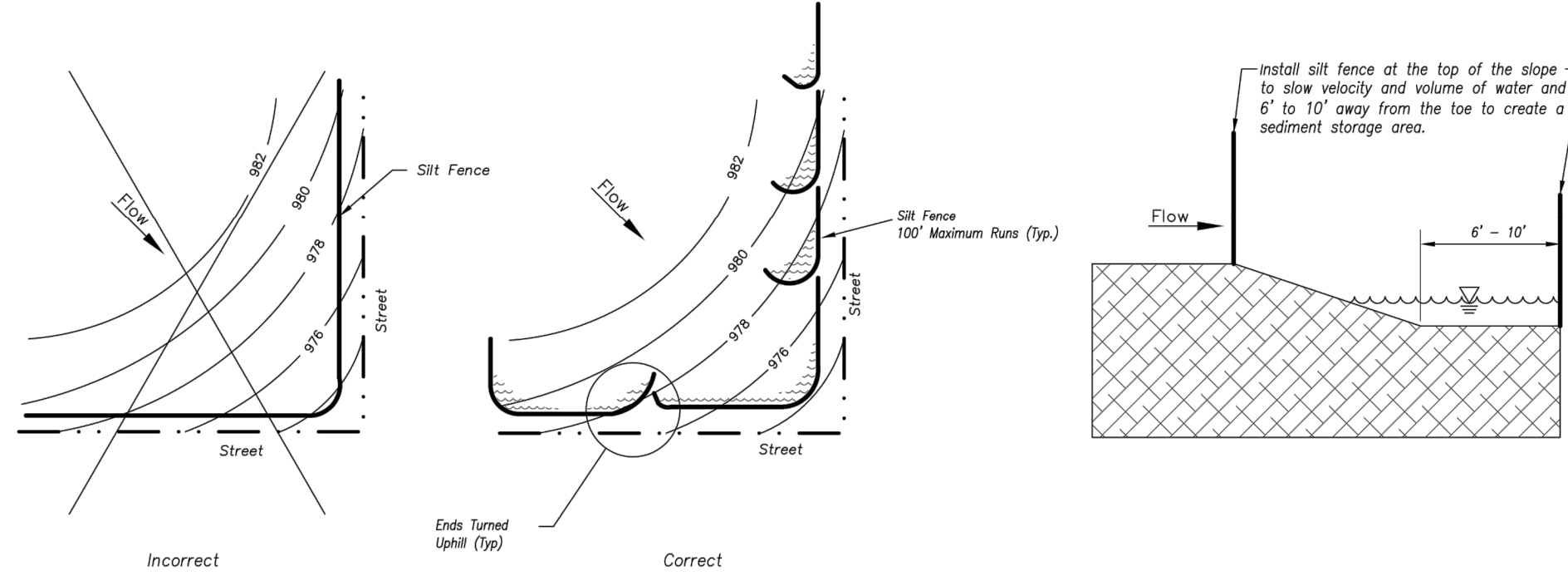


Figure A

#### SILT FENCE LAYOUT

Not to Scale

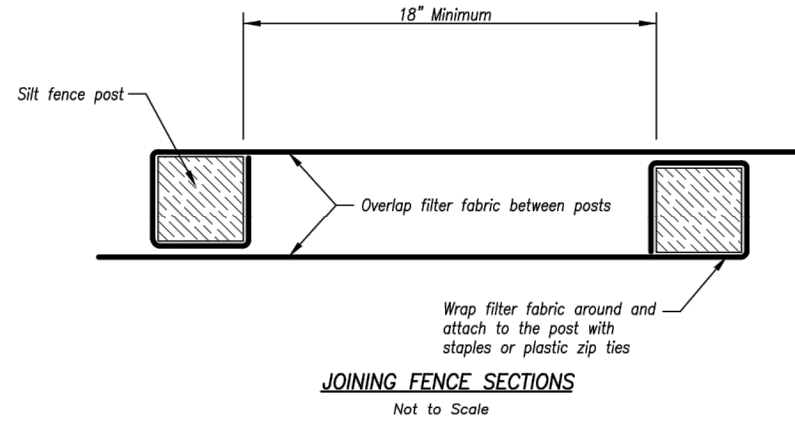
Modified from 2015 Overland Park Standard Details for Erosion and Sediment Control.

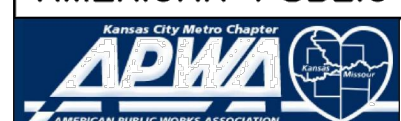
#### Notes:

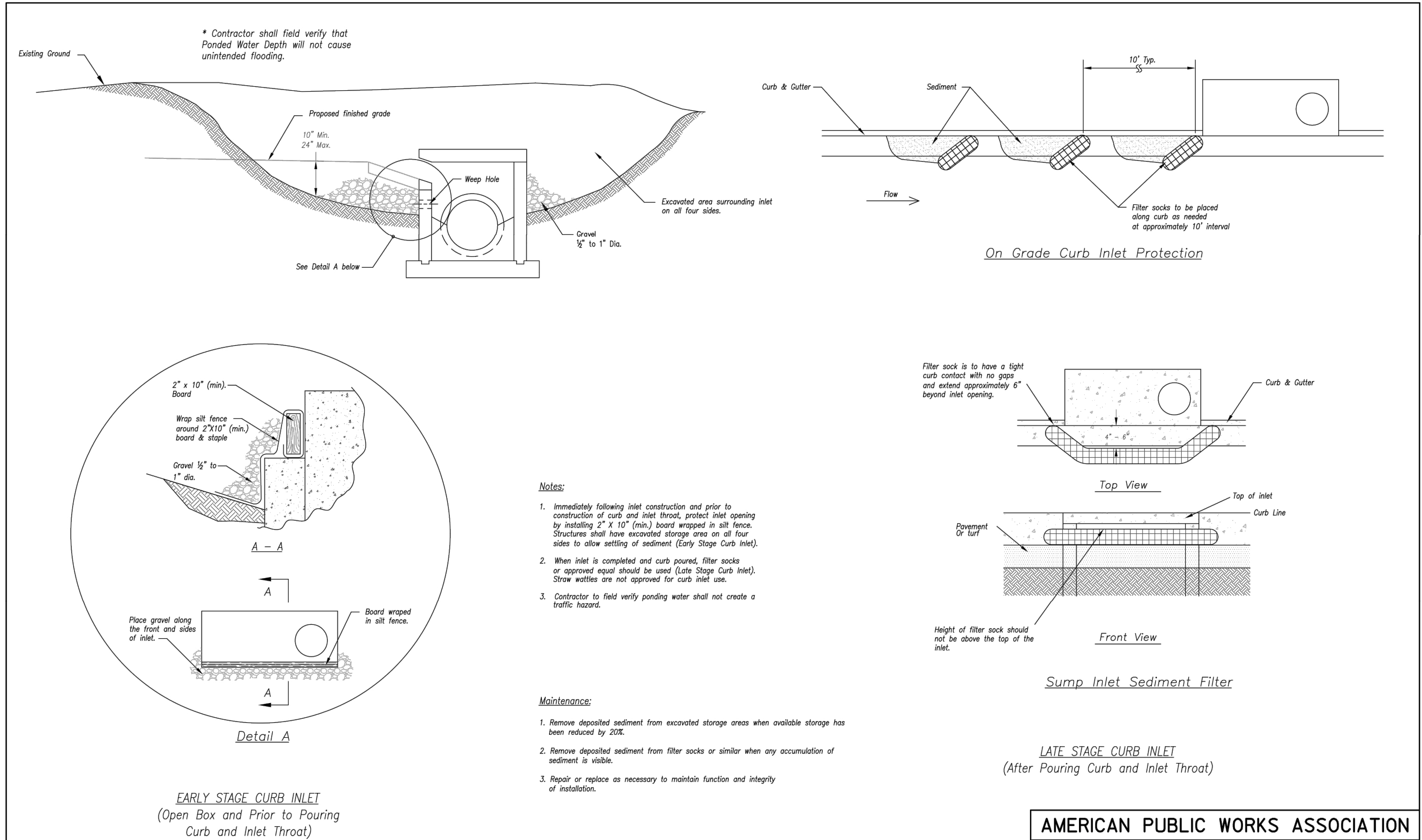
1. In order to contain water, the ends of the silt fence must be turned uphill (Figure A).
2. Long perimeter runs of silt fence must be limited to 100'. Runs should be broken up into several smaller segments to minimize water concentrations (Figure A).
3. Long slopes should be broken up with intermediate rows of silt fence to slow runoff velocities.
4. Attach fabric to upstream side of post.
5. Install posts a minimum of 2' into the ground.
6. Trenching will only be allowed for small or difficult installation, where slicing machine cannot be reasonably used.

#### Maintenance:

1. Remove and dispose of sediment deposits when the deposit approaches  $\frac{1}{2}$  the height of silt fence.
2. Repair as necessary to maintain function and structure.



AMERICAN PUBLIC WORKS ASSOCIATION	
	KANSAS CITY METRO CHAPTER
SILT FENCE	STANDARD DRAWING NUMBER ESC-03 ADOPTED: 10/24/2016

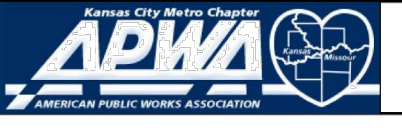


#### Notes:

1. Immediately following inlet construction and prior to construction of curb and inlet throat, protect inlet opening by installing 2" x 10" (min.) board wrapped in silt fence. Structures shall have excavated storage area on all four sides to allow settling of sediment (Early Stage Curb Inlet).
2. When inlet is completed and curb poured, filter socks or approved equal should be used (Late Stage Curb Inlet). Straw wattles are not approved for curb inlet use.
3. Contractor to field verify ponding water shall not create a traffic hazard.

#### Maintenance:

1. Remove deposited sediment from excavated storage areas when available storage has been reduced by 20%.
2. Remove deposited sediment from filter socks or similar when any accumulation of sediment is visible.
3. Repair or replace as necessary to maintain function and integrity of installation.

AMERICAN PUBLIC WORKS ASSOCIATION	
	KANSAS CITY METRO CHAPTER
CURB INLET PROTECTION	STANDARD DRAWING NUMBER ESC-06 ADOPTED: 10/24/2016

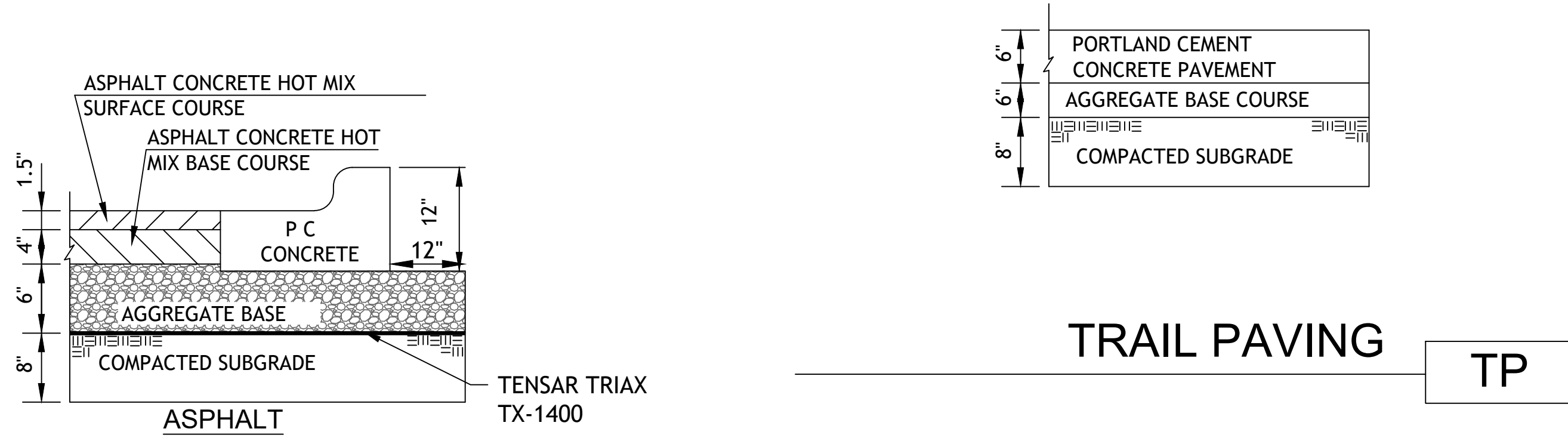
Modified from 2015 Overland Park Standard Details for Erosion and Sediment Control.

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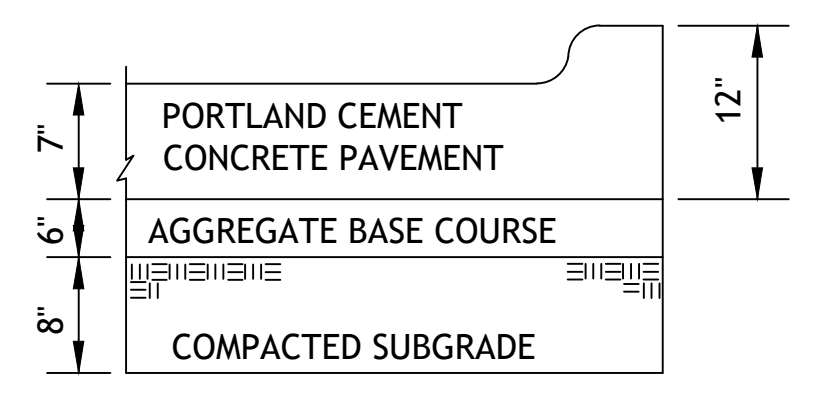
Revisions  
4-2-21 CITY COMMENTS  
4-12-21 CLIENT COMMENTS

LOT 1 RED DOOR GRILL  
STREETS OF PRYOR  
LEES SUMMIT, MO.





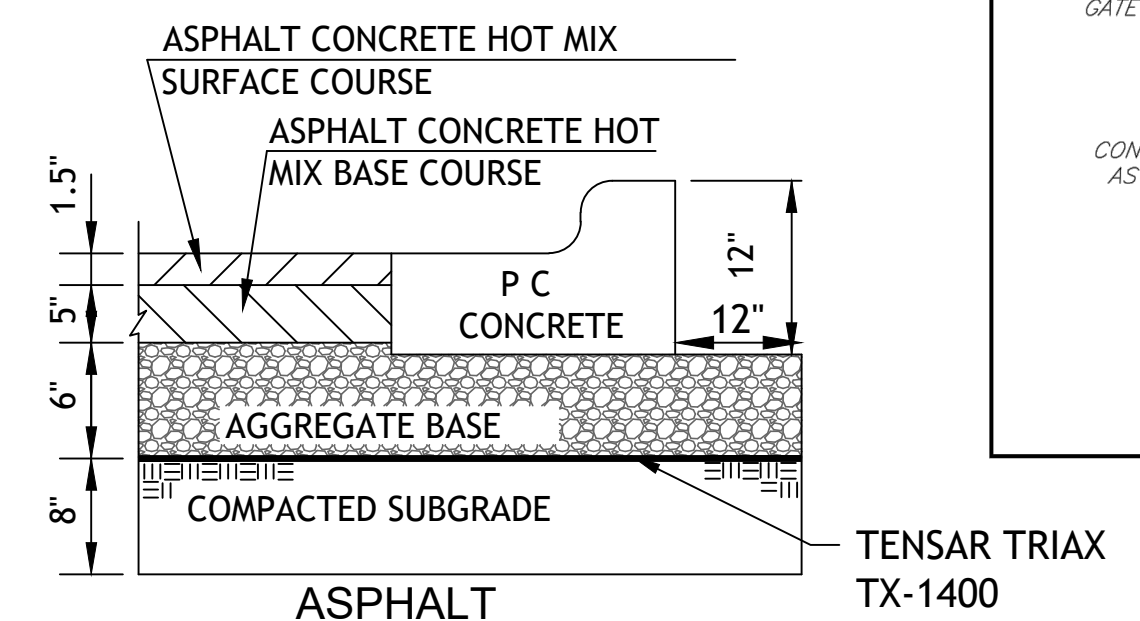
REGULAR DUTY PAVING PV1



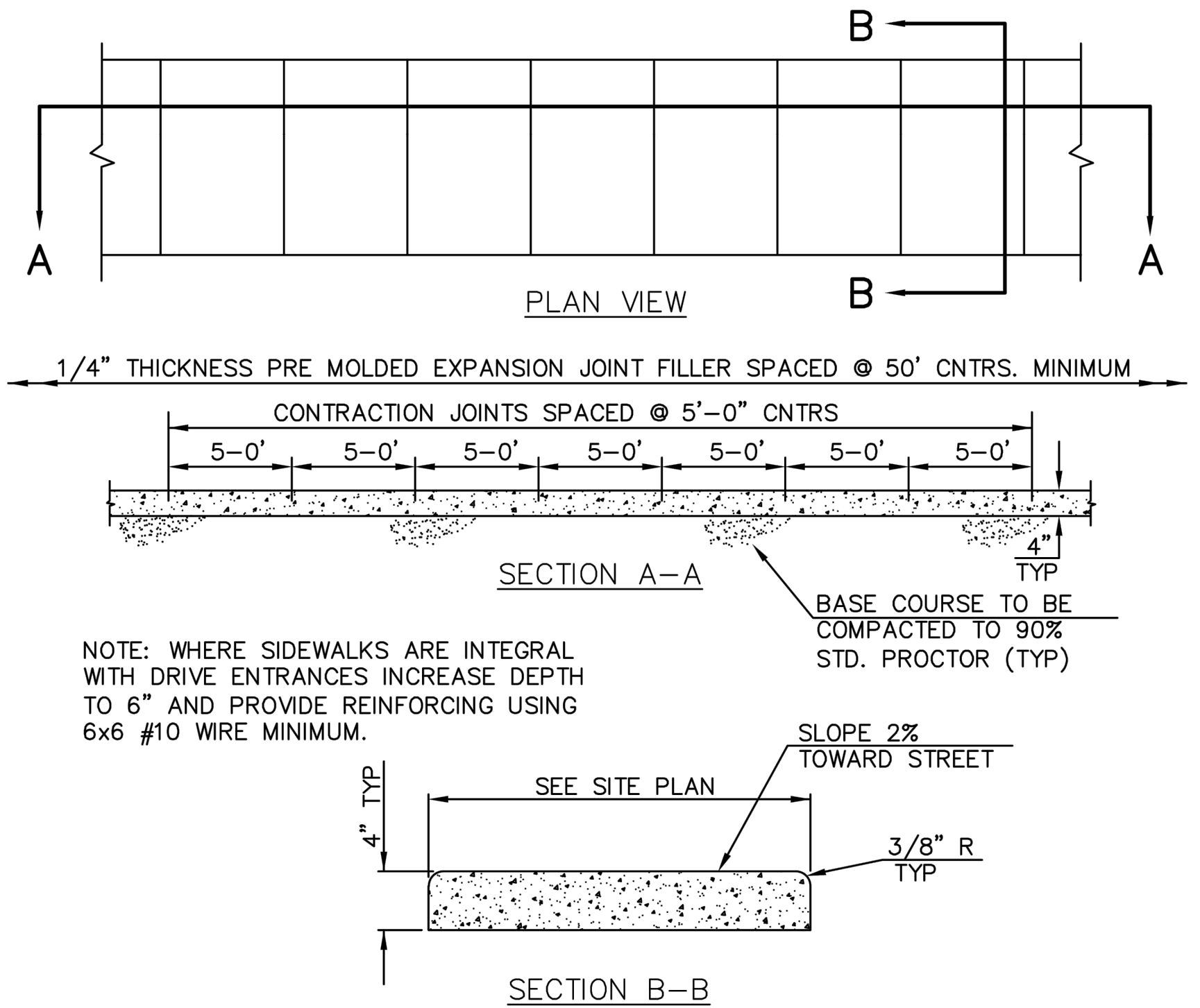
HEAVY DUTY CONCRETE PV3

1. FLEXIBLE PAVEMENT SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MISSOURI DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.  
  
ASPHALT SURFACE COURSE - APWA TYPE 3-01  
ASPHALT BASE COURSE - APWA TYPE 2-01  
AGGREGATE BASE MoDOT TYPE 5 OR EQUIVALENT
2. PORTLAND CEMENT CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS WITH 6% ENTRAINED AIR  $\pm 2\%$  AND SHALL MEET OR EXCEED THE SPECIFICATIONS SET FORTH IN THE LATEST EDITION OF THE MISSOURI DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.

TRAIL PAVING TP

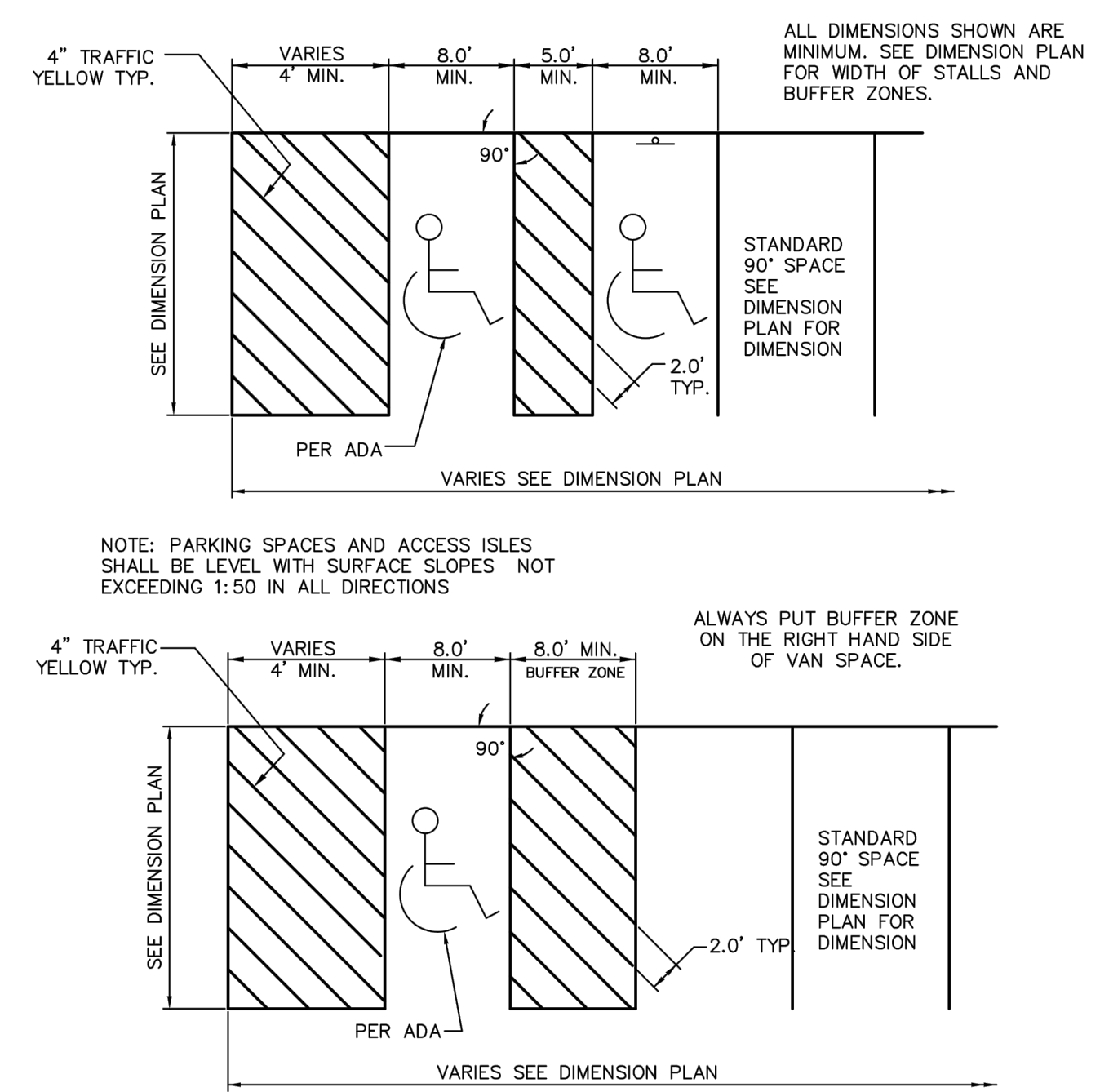


HEAVY DUTY ASPHALT PAVING PV2

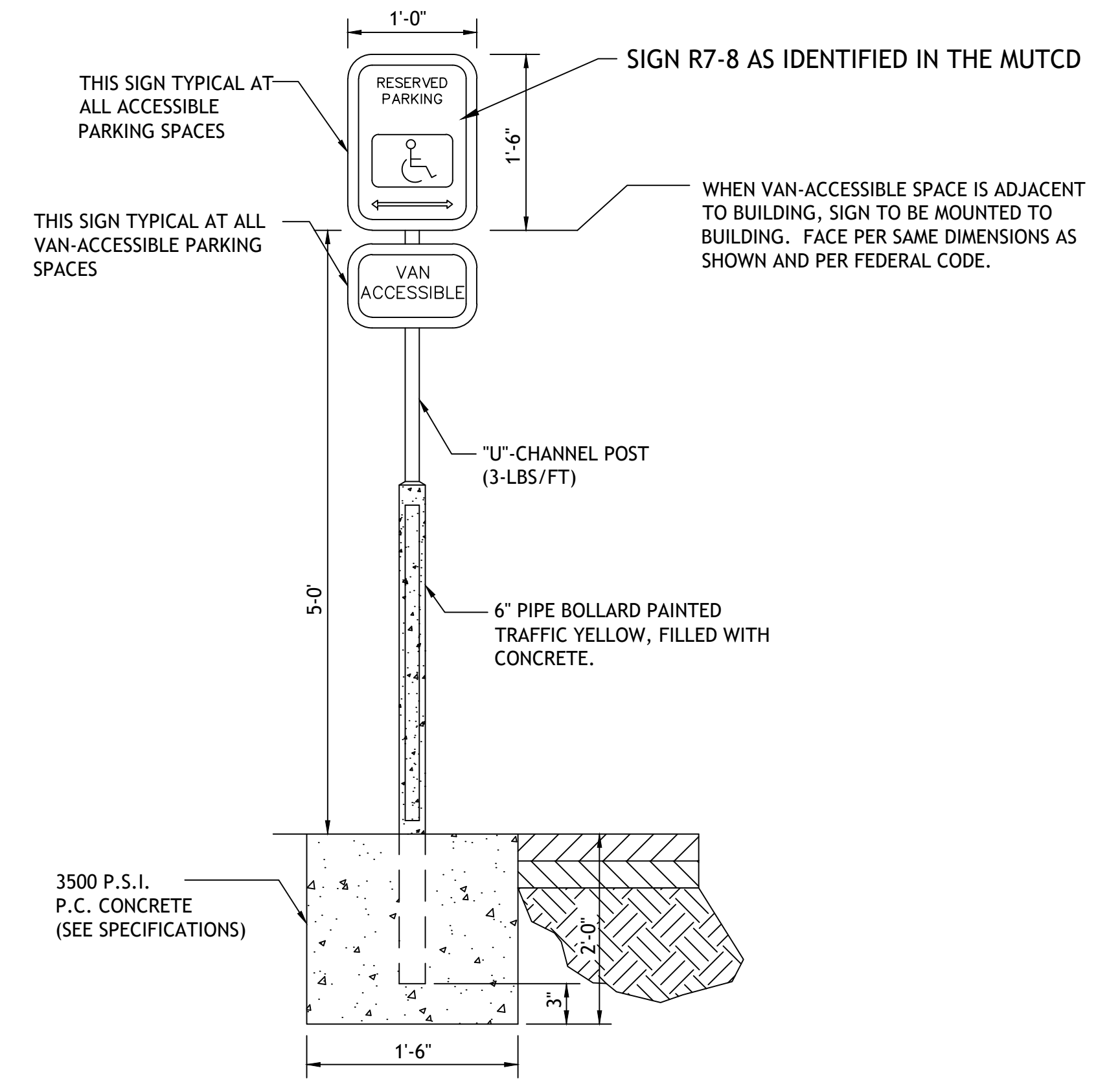
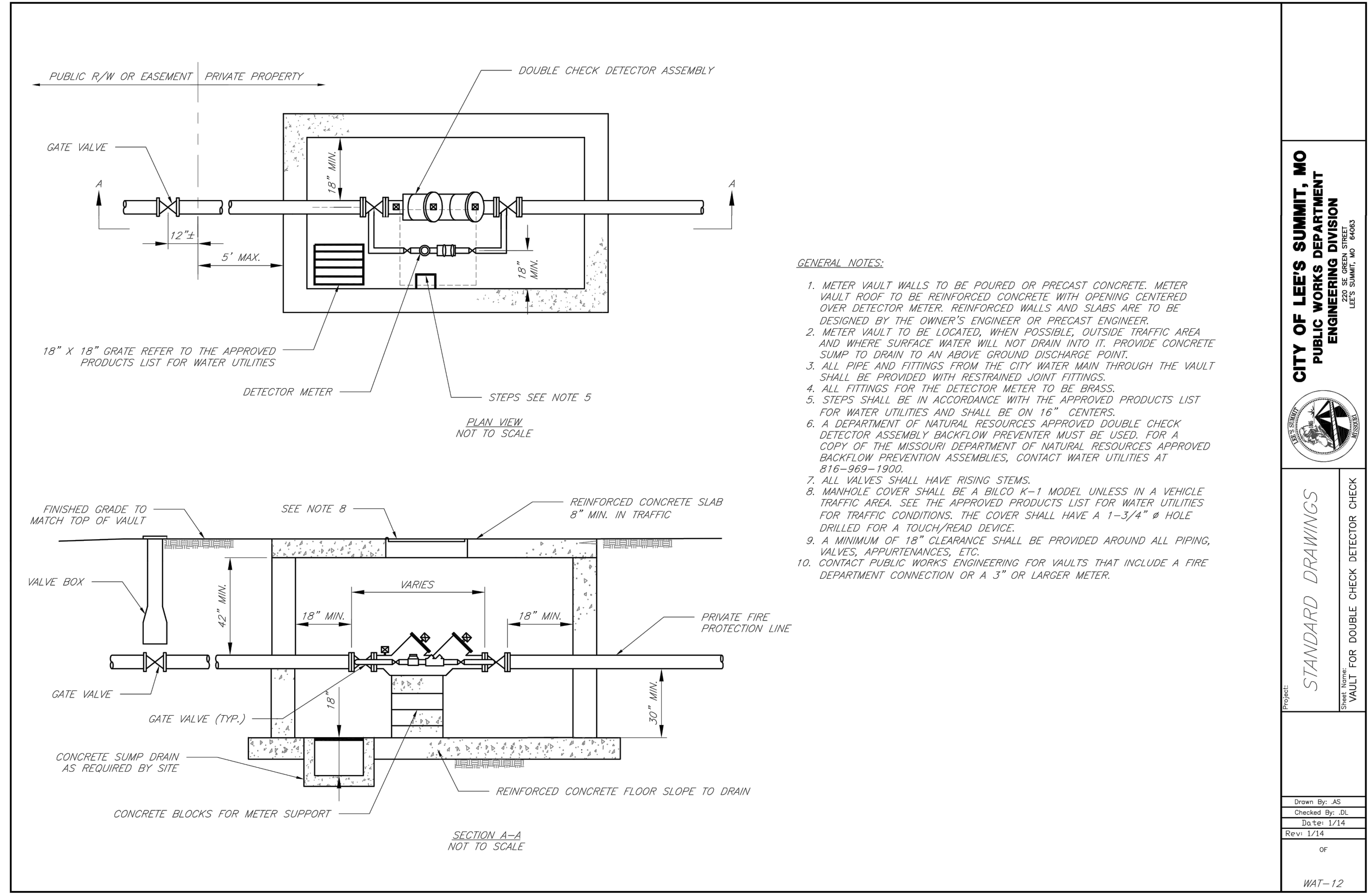


CONCRETE SIDEWALK CW2

NOTE: CONCRETE SHALL BE CLASS A WITH  $f'c = 3000$  PSI.



90° ACCESSIBLE & VAN ACCESSIBLE SPACE STRIPING PK1



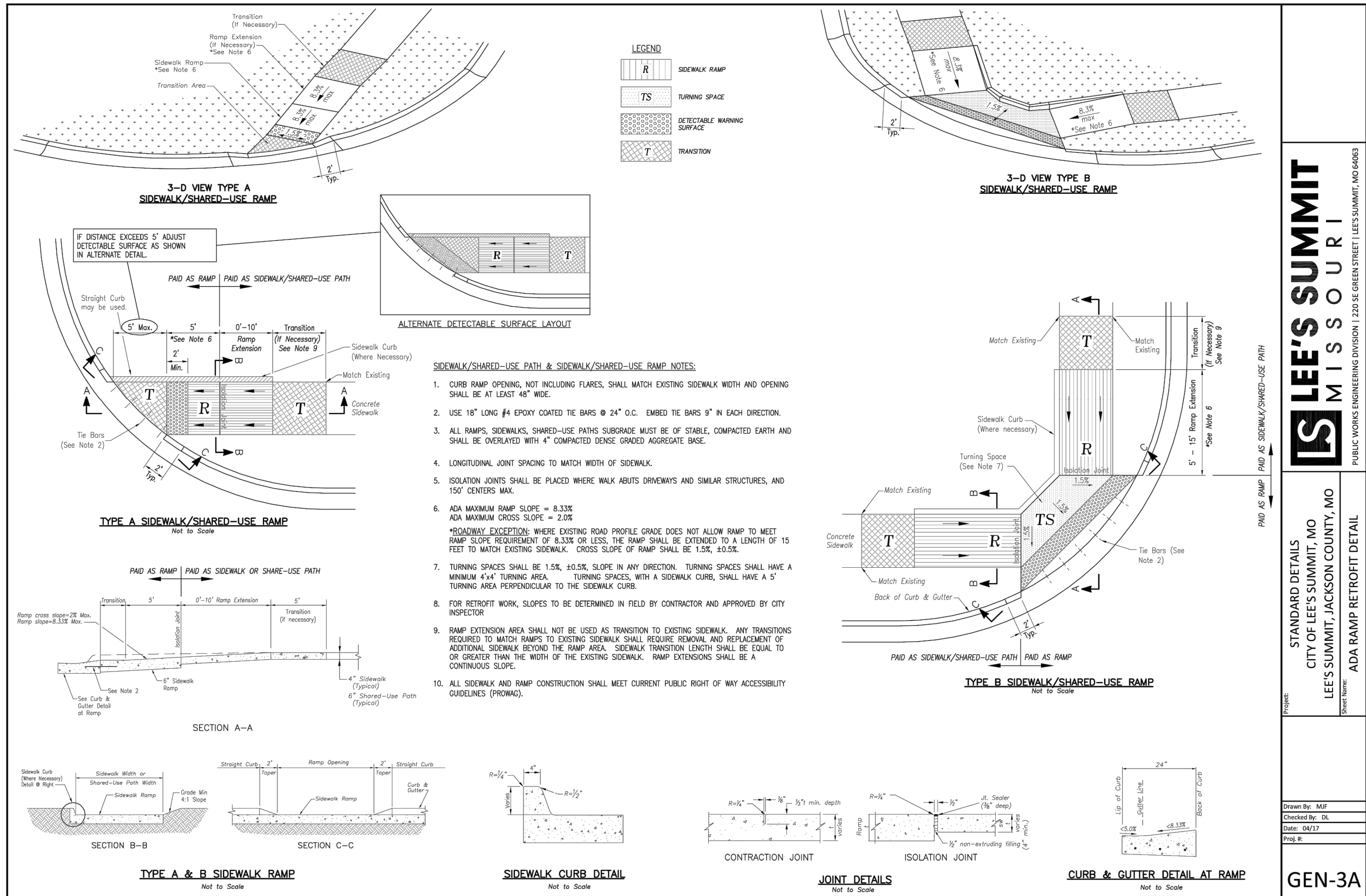
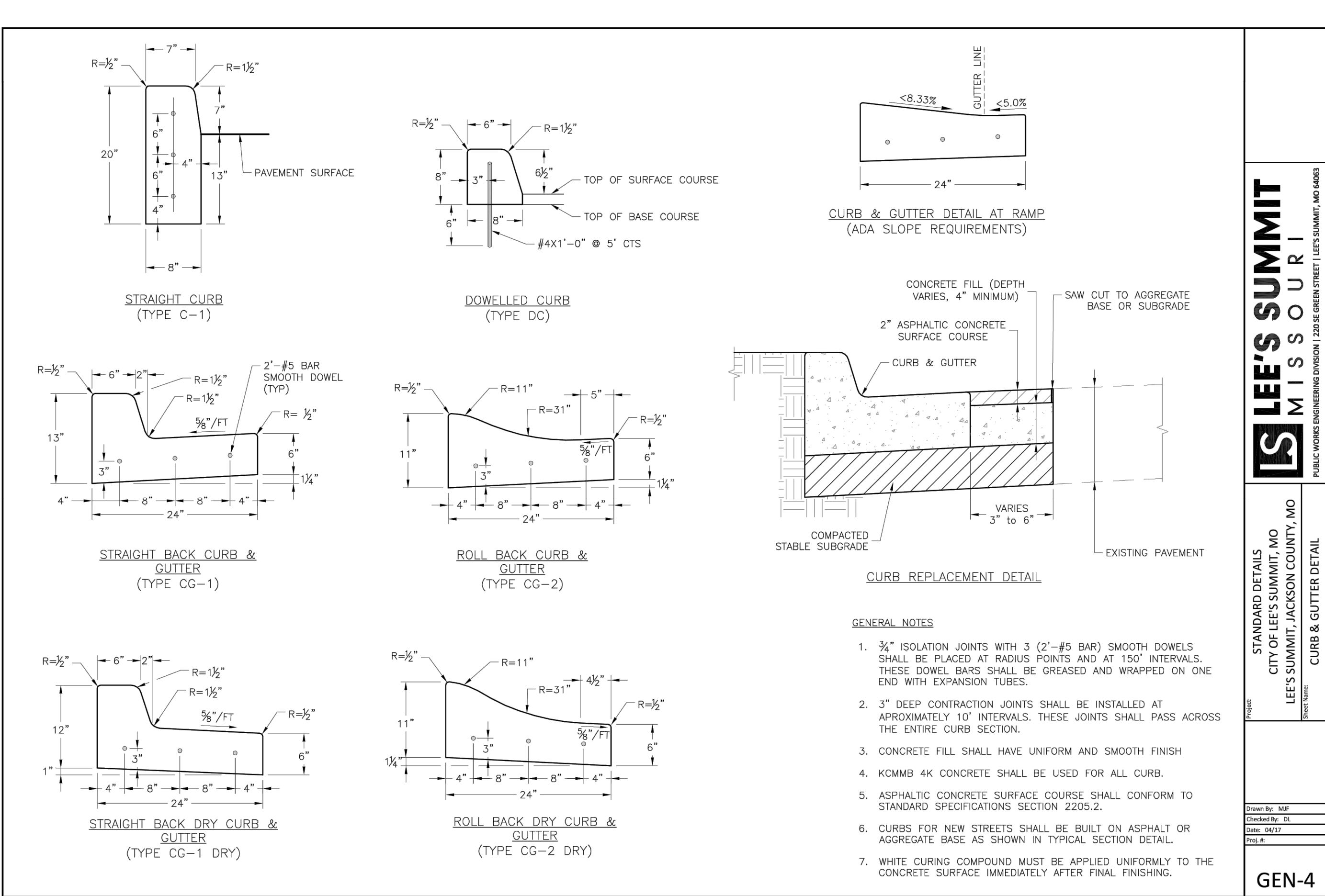
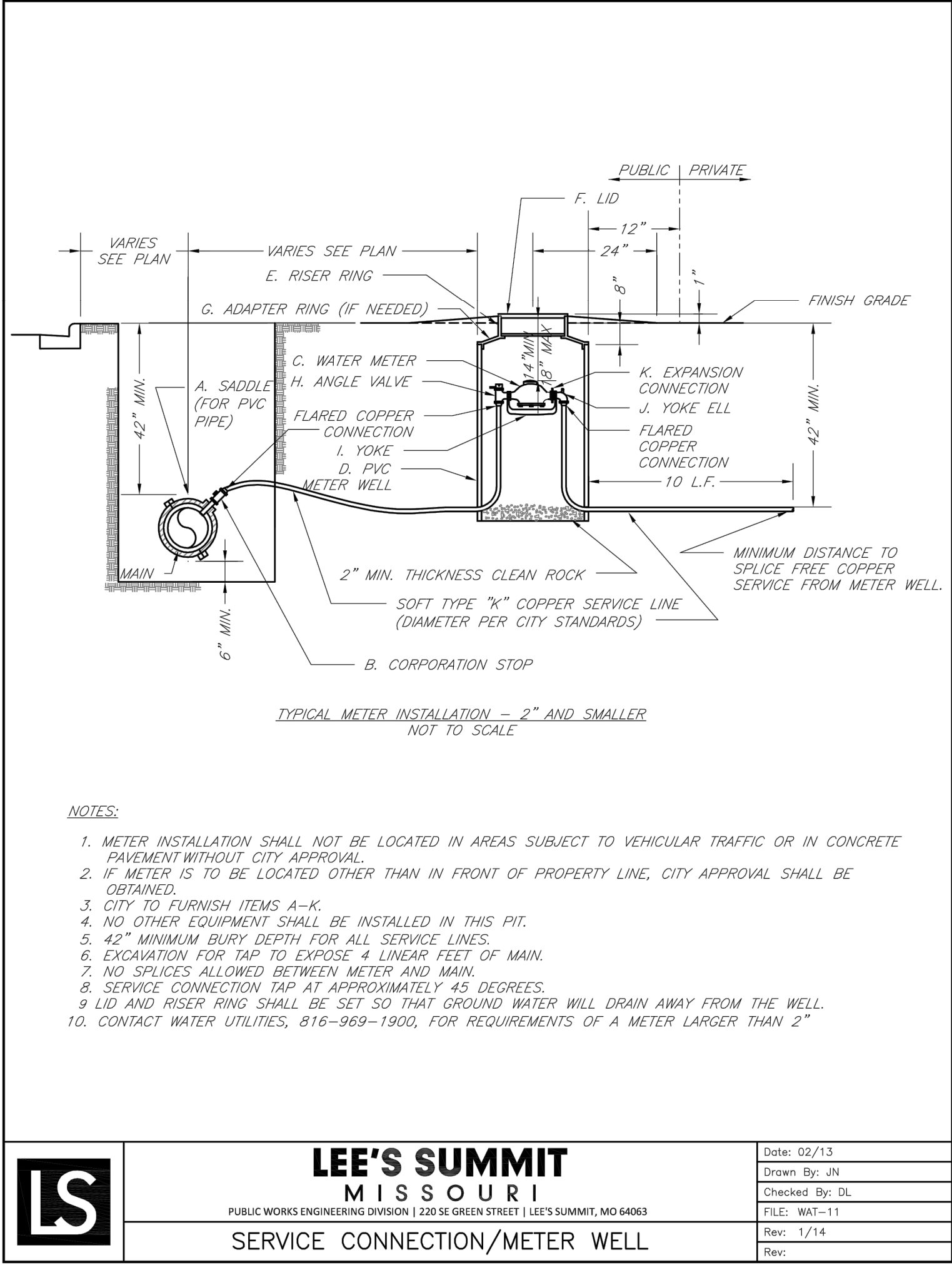
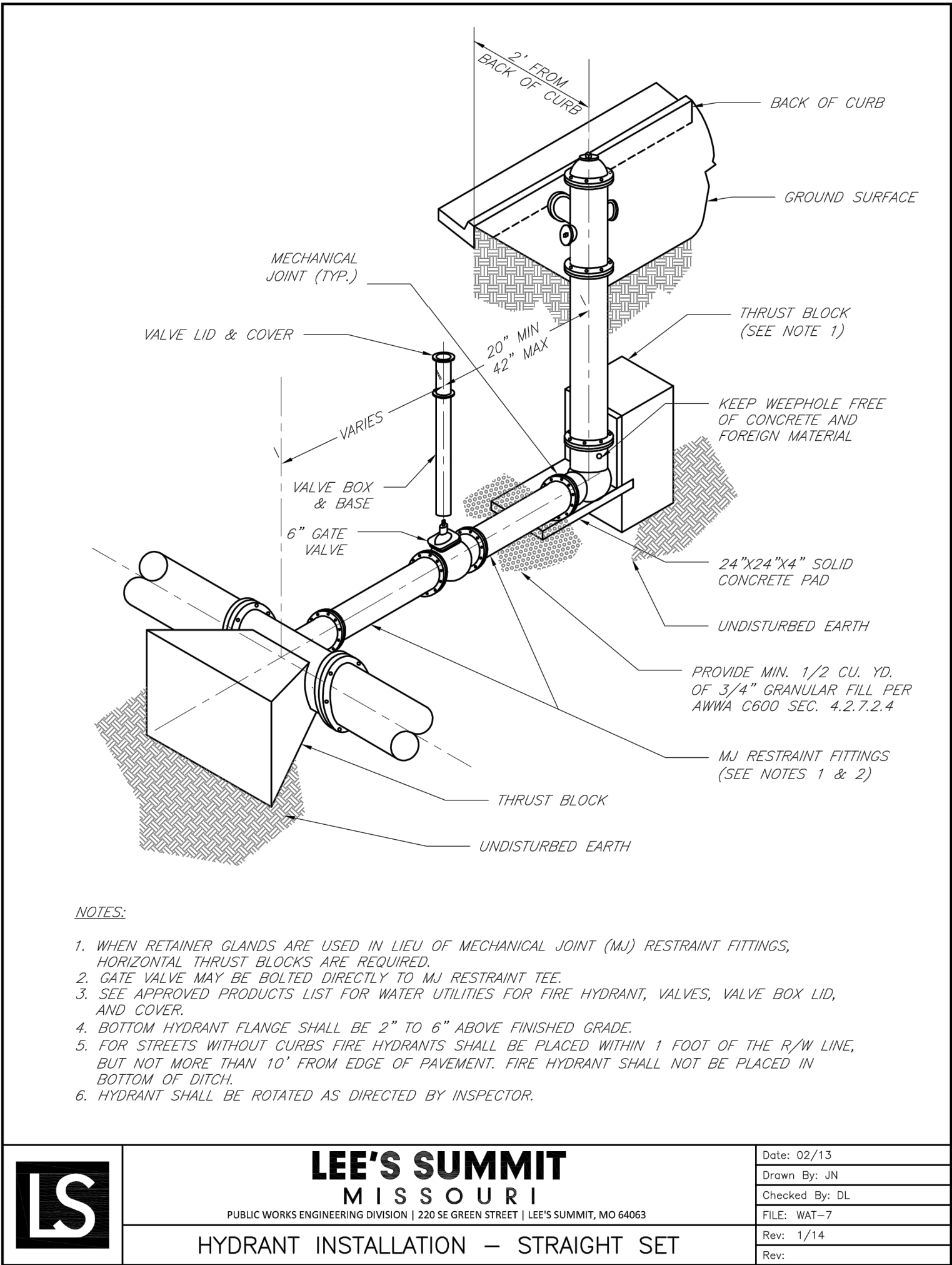
ACCESSIBLE PARKING SIGN PK2

CITY OF LEE'S SUMMIT, MO  
PUBLIC WORKS DEPARTMENT  
ENGINEERING DIVISION  
LEE'S SUMMIT, MO 64083

STANDARD DRAWINGS  
Project: VULNERABILITY ASSESSMENT  
Sheet: VULN FOR DOUBLE CHECK DETECTOR CHECK

Drawn By: AS  
Checked By: JL  
Date: 1/1/20  
Rev: 1/14  
OF  
WAT-12

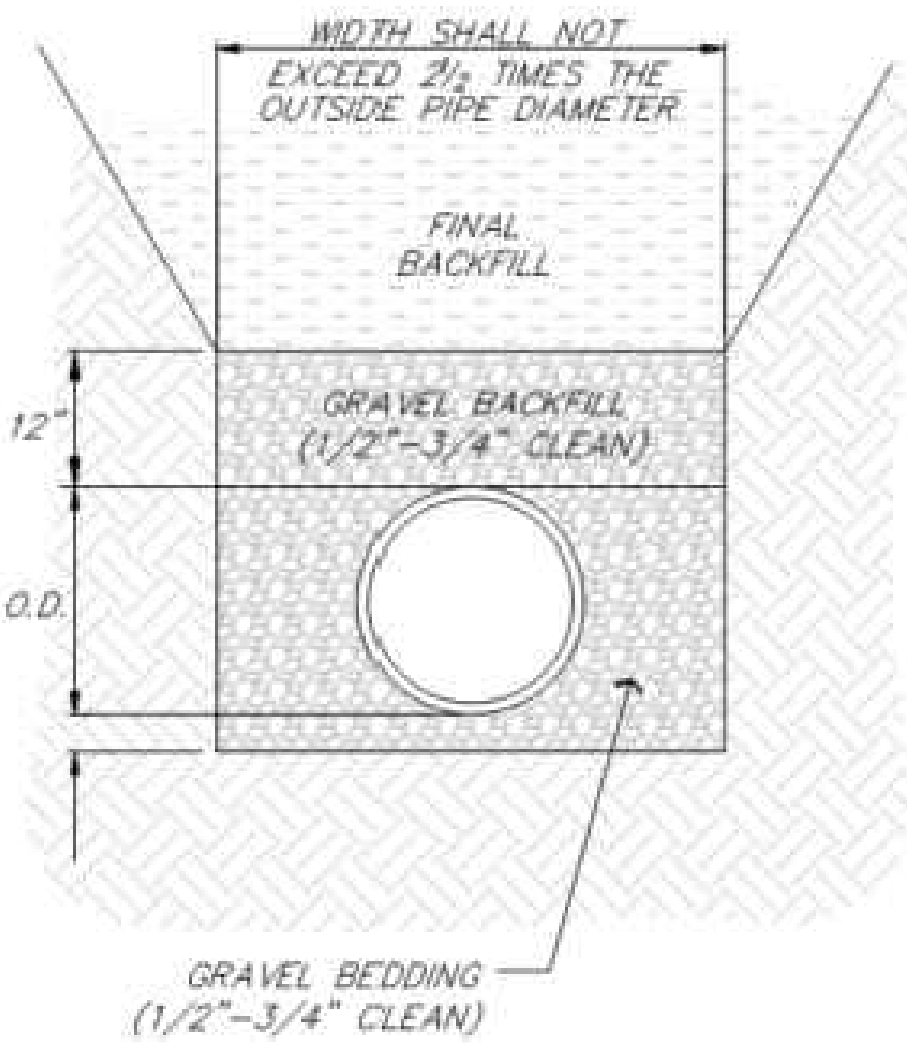




BEDDING  
1/2"-3/4" CLEAN AGGREGATE, HAND TAMPED OR MECHANICALLY COMPACTED IN MAX. 4" LIFTS  
INITIAL BACKFILL  
-UNDER PAVED AREAS OR WITHIN 4' HORIZONTAL OF PAVED AREAS  
1/2"-3/4" CLEAN AGGREGATE, HAND TAMPED OR MECHANICALLY COMPACTED IN MAX. 4" LIFTS  
-UNDER OPEN AREAS  
1/2"-3/4" CLEAN AGGREGATE, HAND TAMPED OR MECHANICALLY COMPACTED IN MAX. 4" LIFTS  
FINAL BACKFILL  
-UNDER PAVED AREAS OR WITHIN 4' HORIZONTAL OF PAVED AREAS  
ON-SITE OR IMPORTED MATERIAL FREE OF MUCK, FROZEN MATERIAL, EXCESS MONSTURE, ORGANICS, TOPSOIL, RUBBISH, CONSTRUCTION DEBRIS, ROCK OR BRICK LARGER THAN 8", COMPACTED TO 95% OF STANDARD DENSITY PER ASTM D-698  
-UNDER OPEN AREAS  
ON-SITE OR IMPORTED MATERIAL FREE OF MUCK, FROZEN MATERIAL, EXCESS MONSTURE, ORGANICS, TOPSOIL, RUBBISH, CONSTRUCTION DEBRIS, ROCK OR BRICK LARGER THAN 8", COMPACTED TO 90% OF STANDARD DENSITY PER ASTM D-698

BEDDING DEPTH BELOW PIPE		
PIPE DIAMETER	IN SOIL	IN ROCK
24" AND LESS	4"	6"
27" THRU 60"	4"	9"

PIPE BEDDING DETAIL  
NOT TO SCALE



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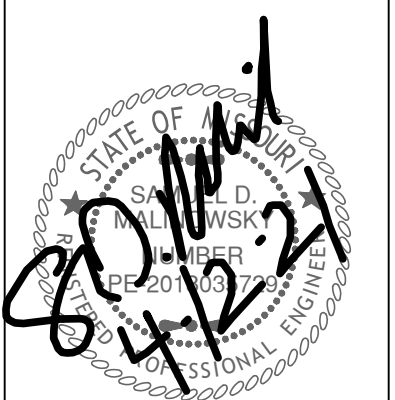


Revisions  
4-2-21 CITY COMMENTS  
4-12-21 CLIENT COMMENTS

LOT 1 RED DOOR GRILL  
STREETS OF PRYOR  
LEE'S SUMMIT, MO.



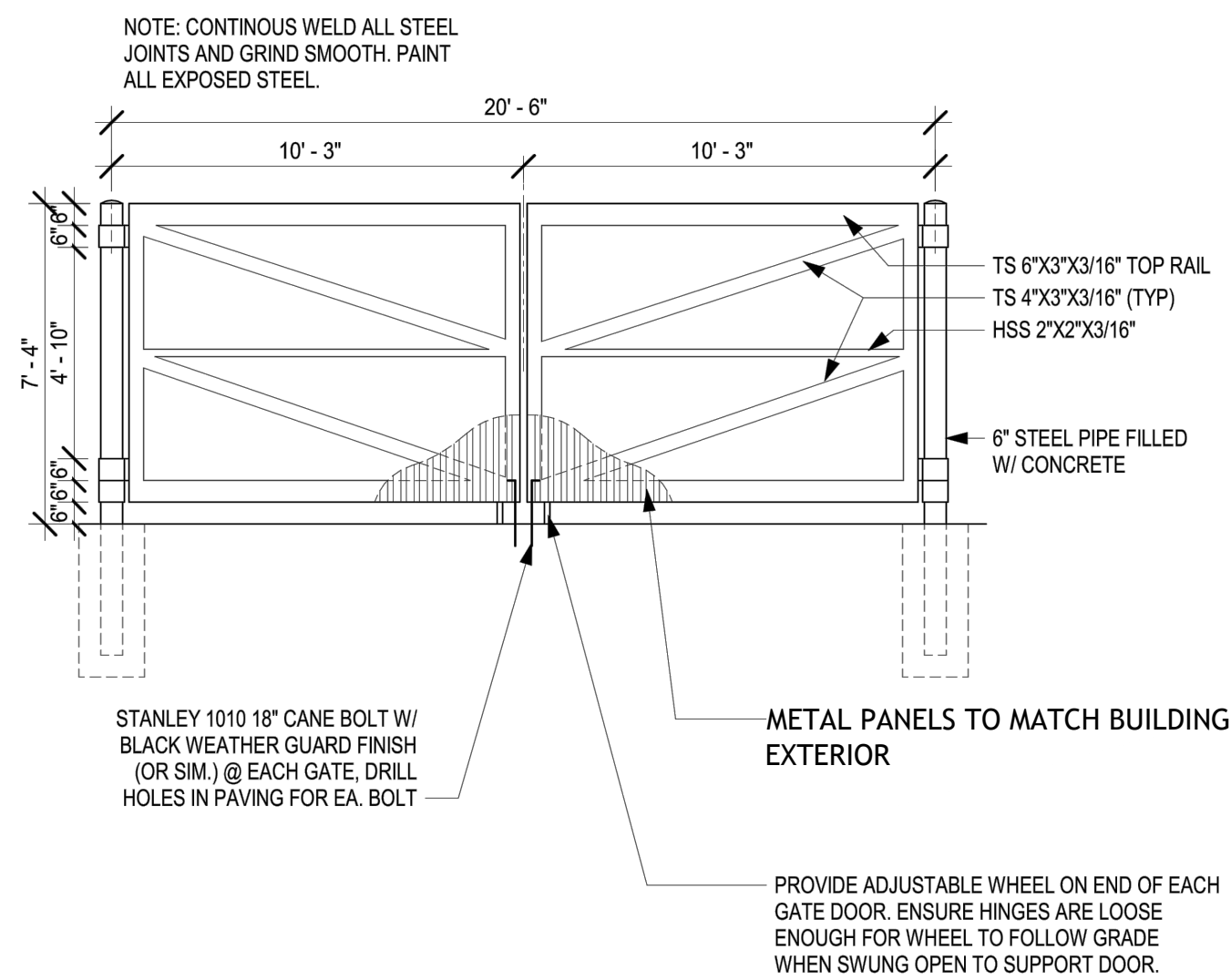
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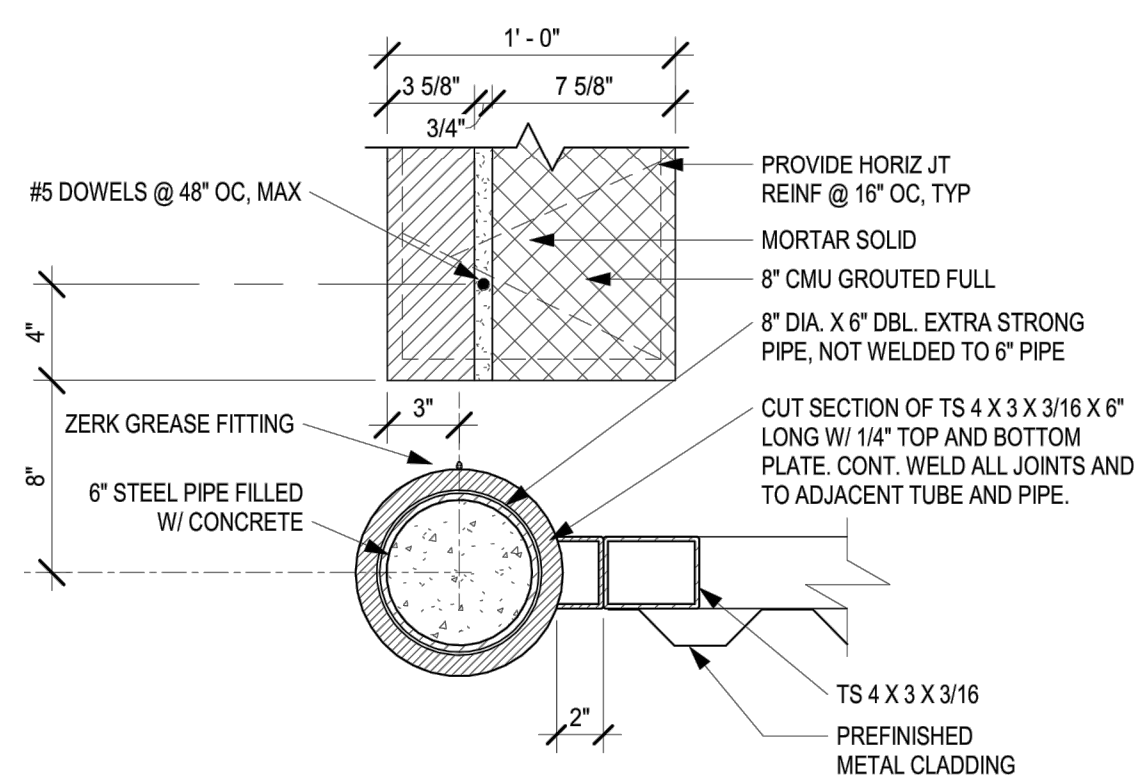
Revisions  
4-2-21 CITY COMMENTS  
4-12-21 CLIENT COMMENTS

LOT 1 RED DOOR GRILL  
STREETS OF PRYOR  
LEES SUMMITT, MO.

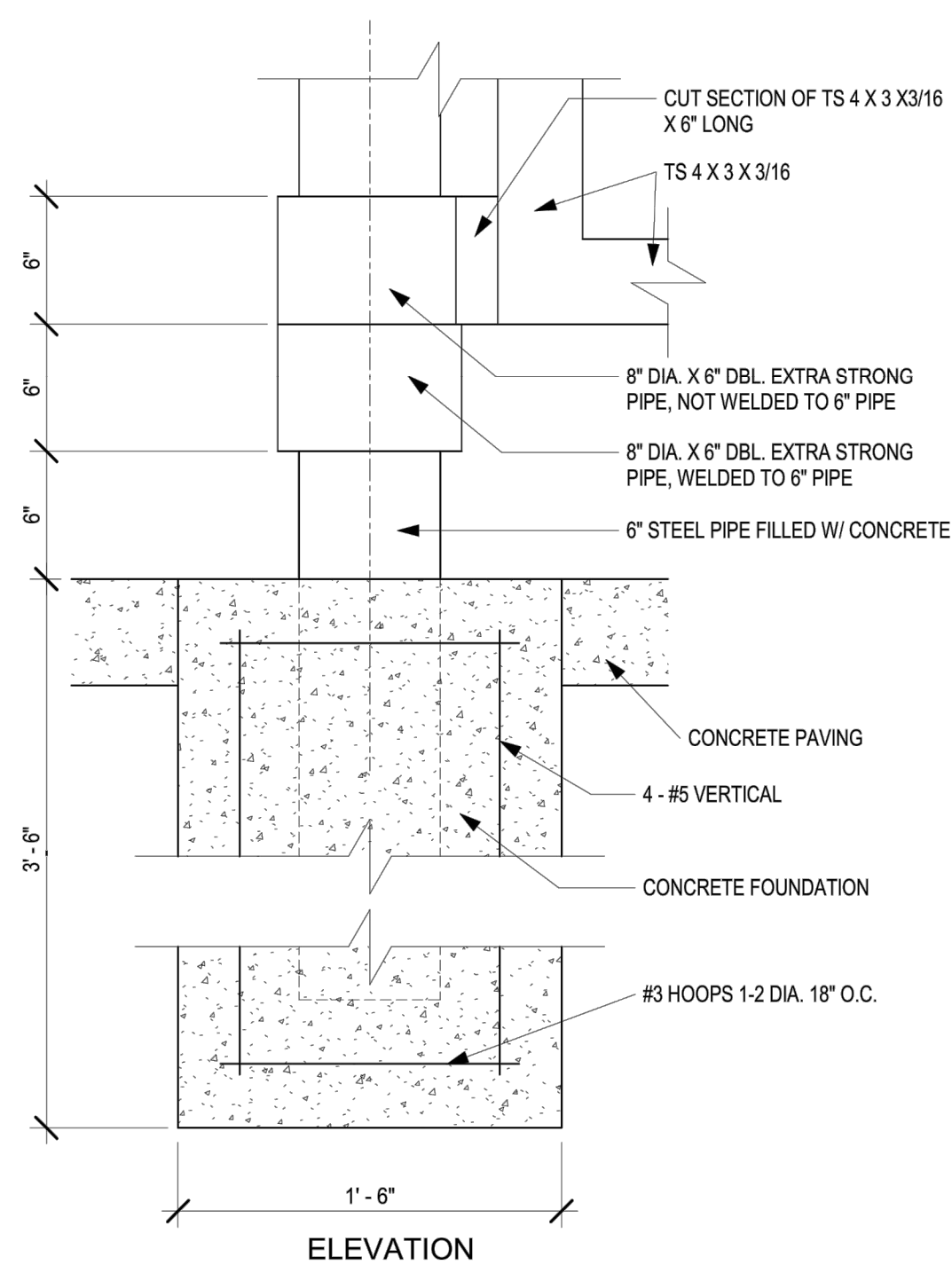
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**C12.0**  
Civil  
DETAILS  
permit  
11 MARCH 2021



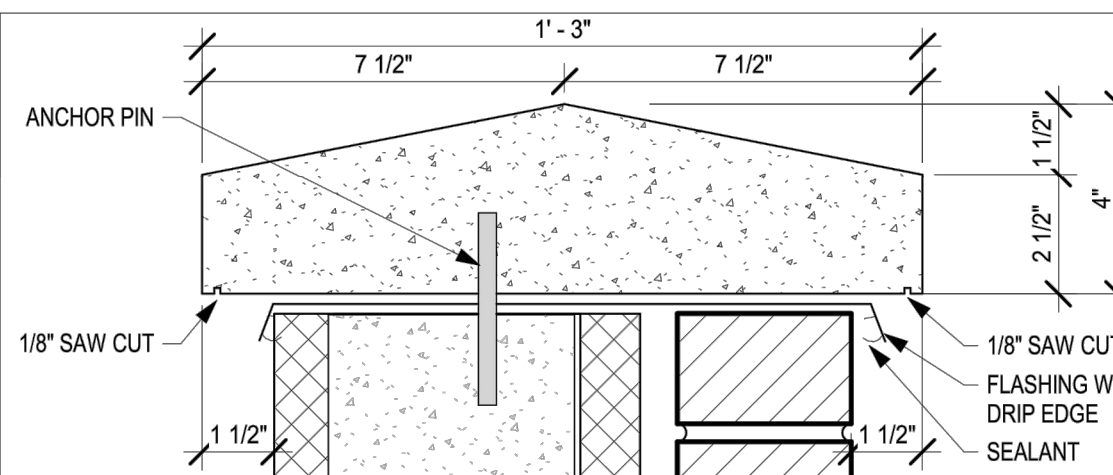
**C1** TRASH ENCLOSURE GATE ELEVATION  
SCALE: 1/4" = 1'-0"



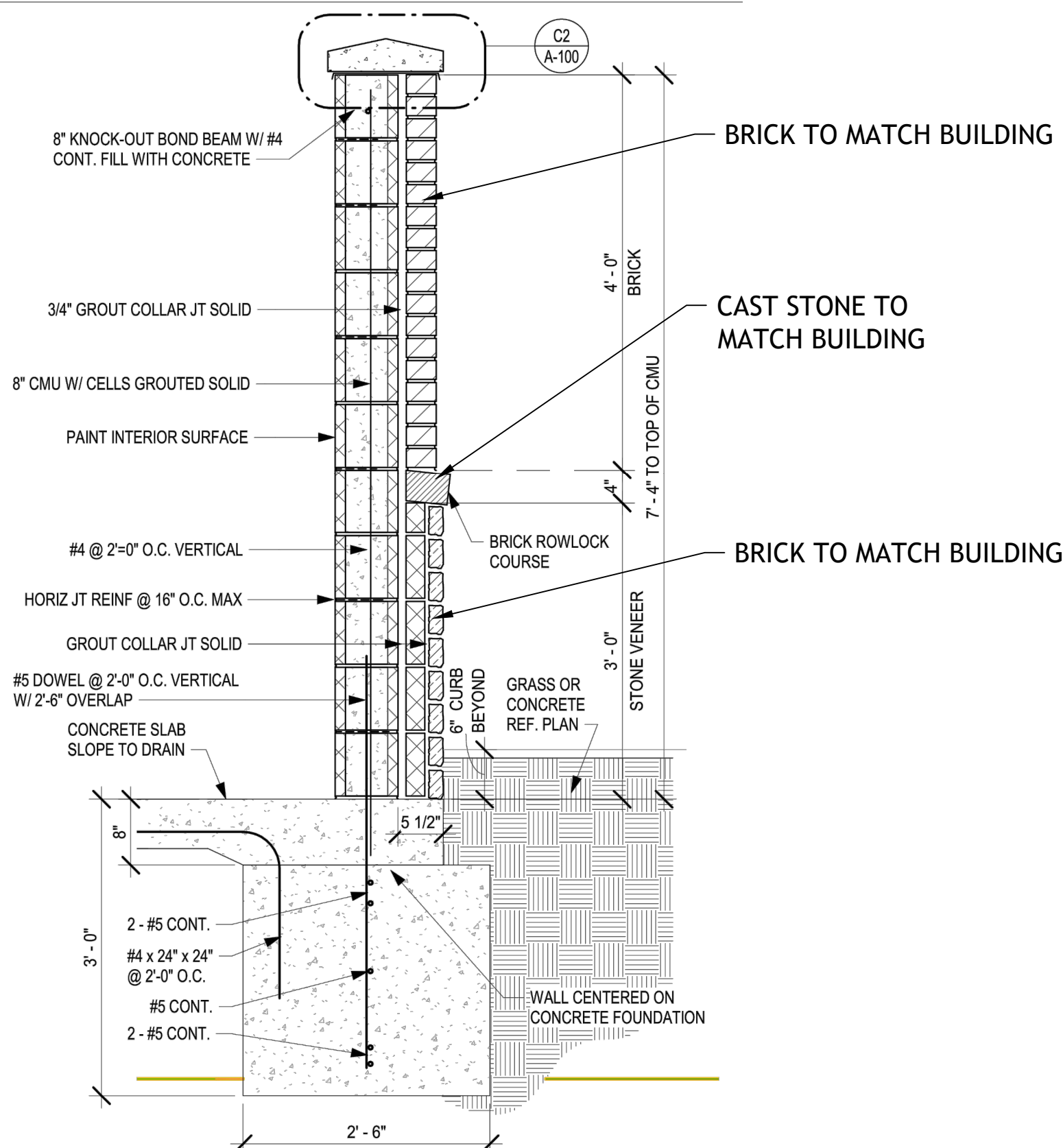
PLAN SECTION



**A1** ENCLOSURE GATE HINGE DETAIL  
SCALE: 1 1/2" = 1'-0"

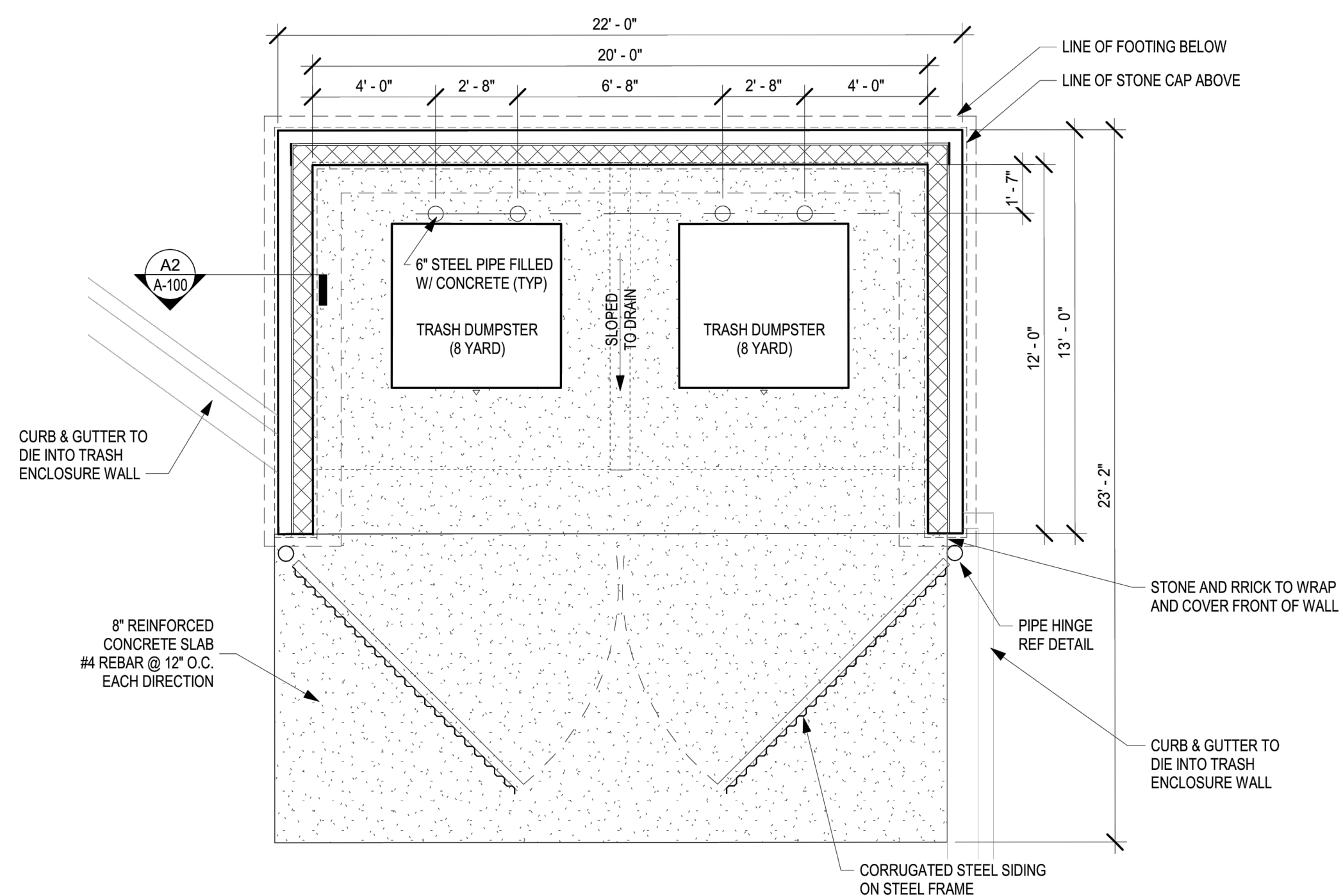


**C2** TRASH ENCLOSURE CAP DETAIL  
SCALE: 3" = 1'-0"



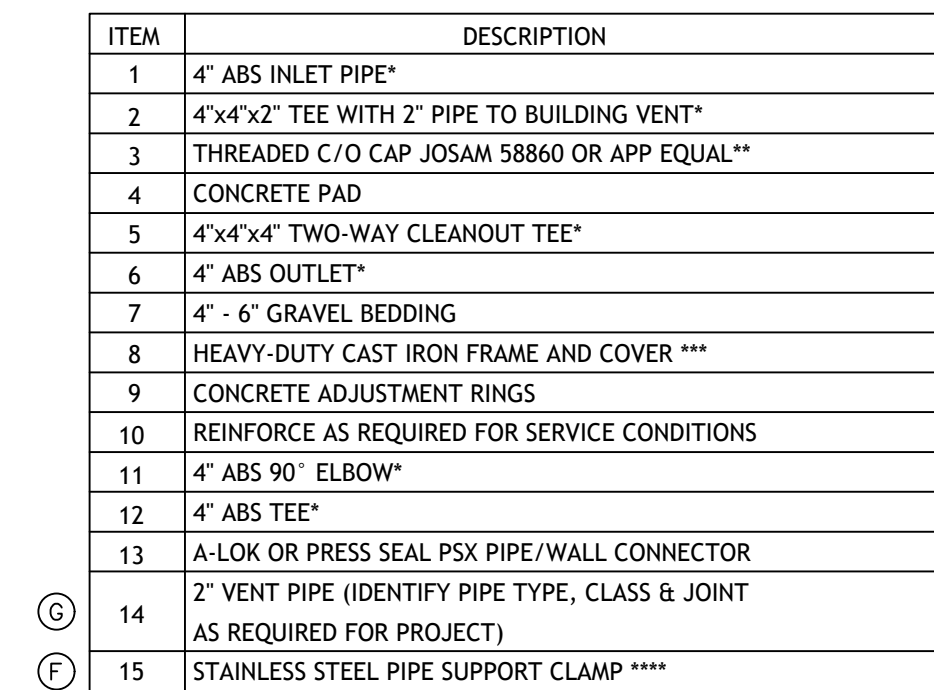
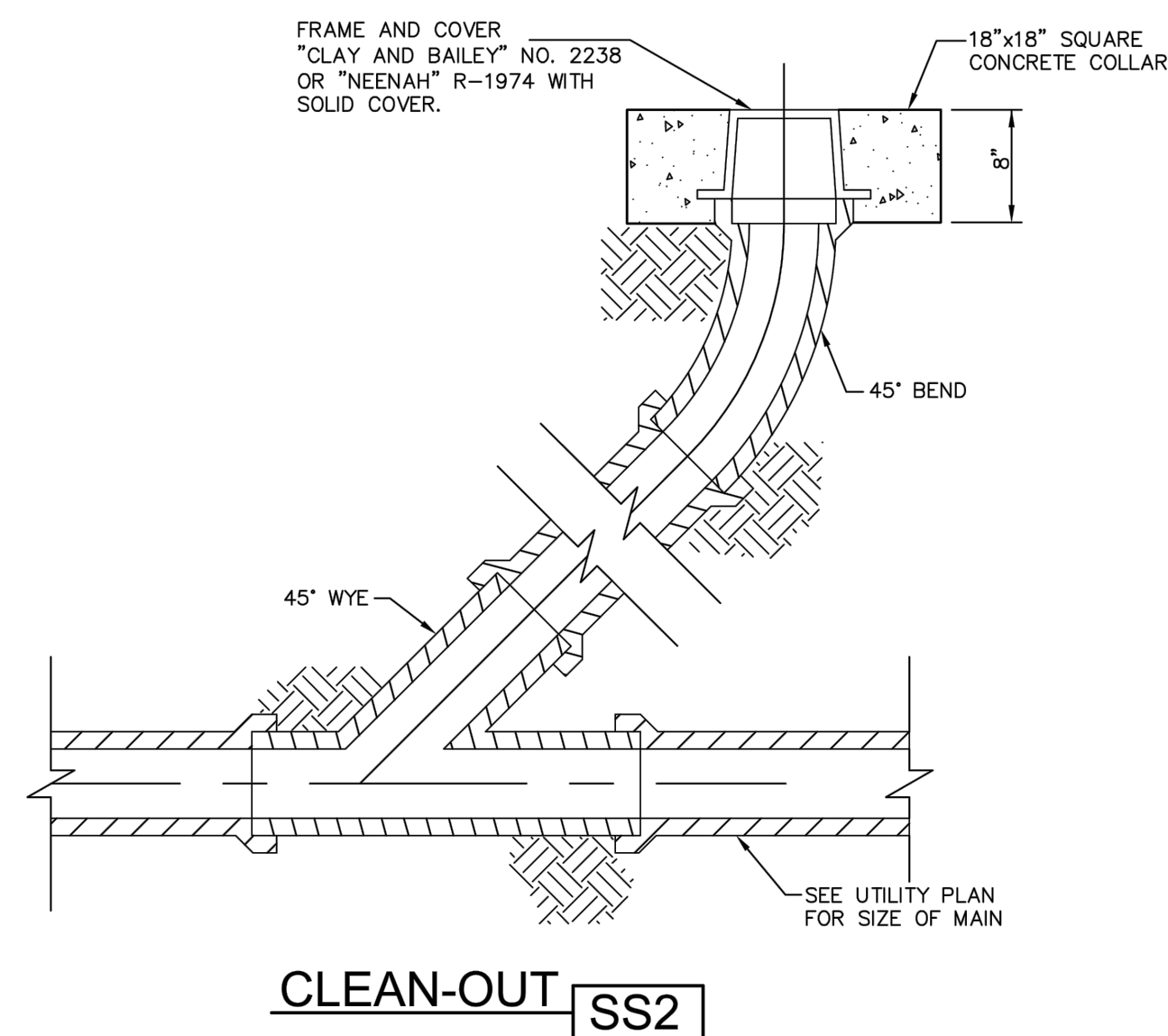
**A2** TRASH ENCLOSURE WALL SECTION  
SCALE: 3/4" = 1'-0"

NOTES:  
BRICK- YANKEE HILL DARK IRON SPOT  
MORTAR- SPEC MIX SM770 (SUBMIT TO OWNER FOR APPROVAL)  
STONE- GLEN GEARY GLENN RIDGE BLACK/GRANITE



TRASH ENCLOSURE





\* 6" PIPE MAY BE SUBSTITUTED TO MATCH UPSTREAM PIPE DIAMETER.  
 \*\* REFER TO CLEAN OUT DETAIL(S) ON STANDARD DETAIL SHEET.  
 \*\*\* CLAY & BAILEY 2008 BY OR EQUAL (FROST PROOF COVERS OPTIONAL)  
 (F) \*\*\*FM STAINLESS FASTENERS #63 OR EQUAL. 1/2"x2-1/2" SS BRACKET W/ 1/2"x1-1/2" FULLY THREADED SS HEX BOLT WITH 1/2" SS WASHER AND 1/2"x1-3/4" SS ANCHORS. CLAMP TO BE FACTORY INSTALLED.

NOTES:

1. THREE COVERS AND RISERS SHOWN. TWO COVERS AND RISERS CENTERED OVER UPPER TWO BAFFLES ARE OPTIONAL.
2. INTERCEPTOR SIZE - 1000 GAL MINIMUM (REVISE THE SIZE DIMENSIONS, AS NEEDED, FOR LARGER CAPACITY INTERCEPTORS)
3. ALL JOINTS AT THE FRAME & COVER, CONCRETE ADJUSTMENT RISERS AND THE LID OF THE INTERCEPTOR SHALL BE SEALED WITH A MINIMUM OF TWO (2) ROWS OF 3/4 TO 1 INCH PREFORMED BUTYL JOINT SEALER AND A #6 BUTYL JOINT WIPER AROUND EACH (EZ WATER). THE ENDS OF THE #6 EZ WIPER SHALL OVERLAP BY 2 INCHES.
4. PIPING ON THE INTERIOR OF THE INTERCEPTOR SHALL BE ABS WITH SOLVENT-CEMENTED JOINTS.
5. GREASE INTERCEPTOR INCLUDING ADJUSTMENT RISERS AND CASTINGS SHALL BE VACUUM TESTED FOR WATER TIGHTNESS AFTER THE BACKFILL OPERATIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH JCW TECHNIQUES. ADJUSTMENT RISERS AND CASTINGS SHALL BE VACUUM TESTED WITH A VACUUM PUMP AND WATER PUT OFF. THE MERCURY SHALL NOT DROP BELOW 9 INCHES WITHIN 1 MINUTE OR BELOW 5 INCHES WITHIN 5 MINUTES.

## GI

GREASE INTERCEPTOR SCHEDULE								
MANUFACTURER	MODEL NO.	CAPACITY US gal.	FULL WT (LBS)	LENGTH L	WIDTH W	HEIGHT H	INLET FL	OUTLET FL
OLD CASTLE	Q-1500	1500	20,255	90"	60"	84"	978.3	978.3

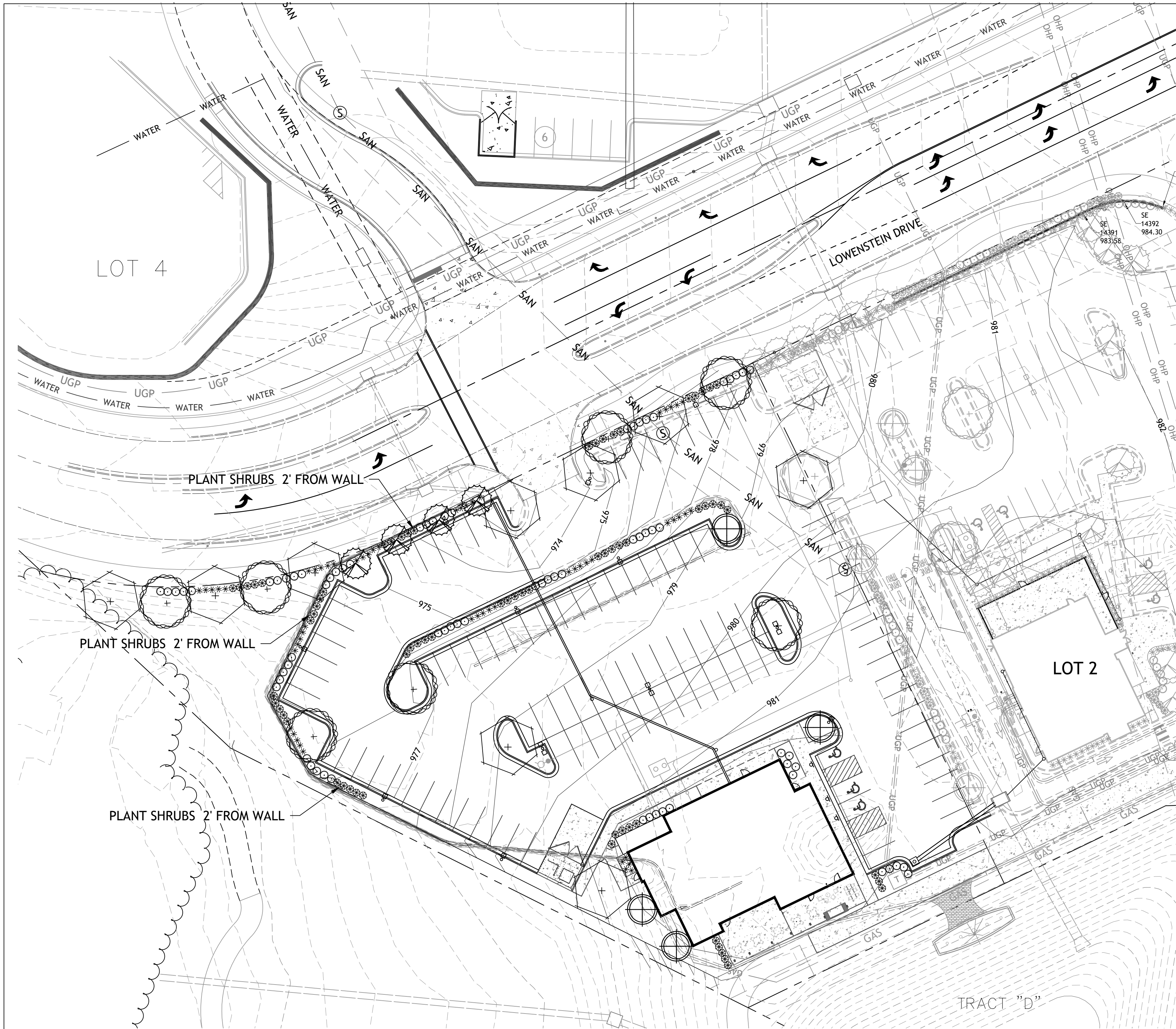
NOTE: REINFORCED TANK WITH MESH THROUGHOUT. REINFORCED LID FOR DRIVE AREA. 4000 LB CONCRETE

STATE OF MISSOURI  
 PROFESSIONAL ENGINEER  
 NO. 2003  
 4-12-21

### Revisions

RED DOOR GRILL  
LOT 1 STREETS OF PRYOR  
LEES SUMMITT, MO.





LOT 1 SITE DATA:

LOWENSTEIN	360'
REQUIRED:	
STREET TREES 1/30'	= 12
PARKING LOT SHRUBS 12/40'	= 108

PROVIDED:	
SHADE TREES	= 8
ORNAMENTALS	= 4
SHRUBS	= 110

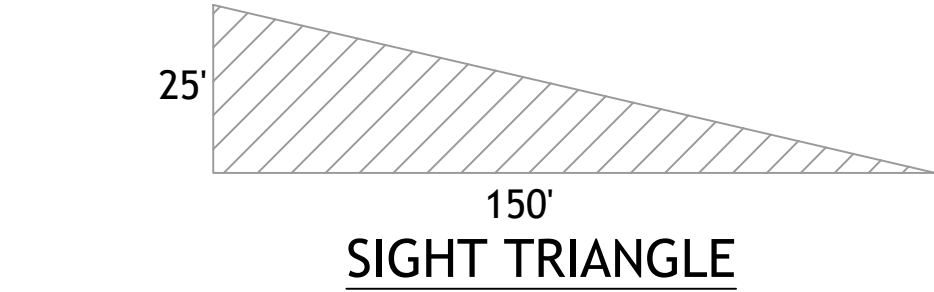
INTERIOR PARKING	
TOTAL PARKING SURFACE =	40,801sf
REQUIRED	
5% LANDSCAPE AREA	= 2,040sf
PROVIDED	= 4,005sf

OPEN SPACE TREES	
TOTAL SITE	1.56ac (67,758sf)
BUILDING AREA	5,549sf
OPEN SPACE	62,209sf

REQUIRED	
1 / 5,000sf	= 12

PROVIDED	
SHADE TREES	= 8
ORNAMENTALS	= 4

OPEN SPACE SHRUBS	
REQUIRED	
2 / 5,000sf	= 25
PROVIDED	= 83



LANDSCAPE NOTES  
CONTRACTOR REQUIRED TO LOCATE ALL UTILITIES BEFORE INSTALLATION TO BEGIN.

Contractor shall verify all landscape material quantities and shall report any discrepancies to the Landscape Architect prior to installation.

No plant material substitutions are allowed without Landscape Architect or Owners approval.

Contractor shall guarantee all landscape work and plant material for a period of one year from date of acceptance of the work by the Owner. Any plant material which dies during the one year guarantee period shall be replaced by the contractor during normal planting seasons.

Contractor shall be responsible for maintenance of the plants until completion of the job and acceptance by the Owner.

All plant material shall be specimen quality stock as determined in the "American Standards For Nursery Stock" published by The American Association of Nurseryman, free of plant diseases and pest, of typical growth of the species and having a healthy, normal root system.

Sizes indicated on the plant list are the minimum, acceptable size. In no case will sizes less than specified be accepted.

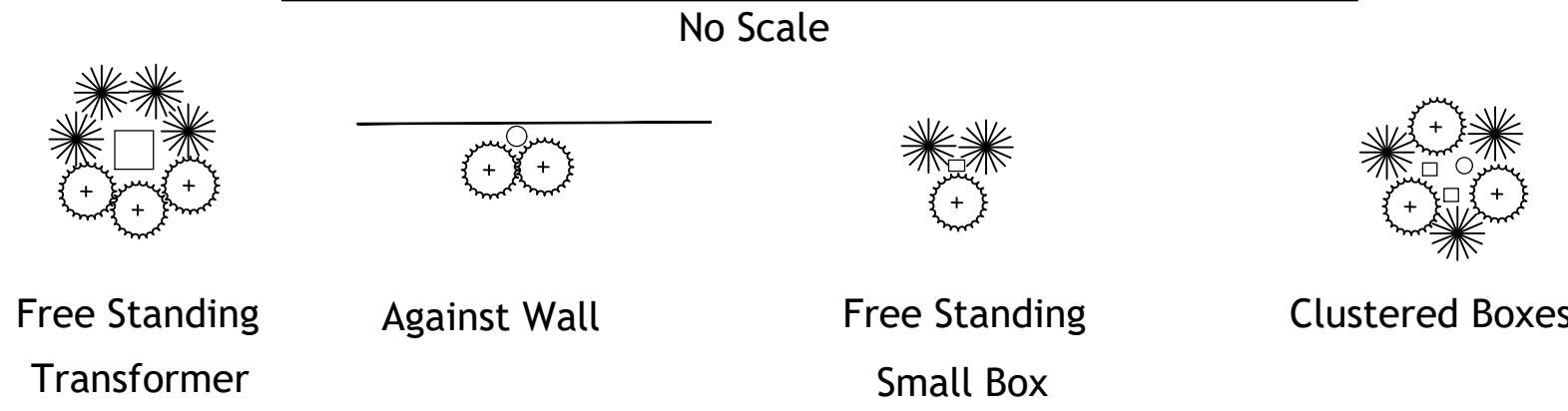
All shrub beds within lawn areas to receive a manicured edge.

All shrub beds shall be mulched with 3" of River Rock.

All areas to be fertilized & sodded with a Turf-Type-Tall Fescue seed blend.

- IRRIGATION NOTE
- Successful landscape contractor shall be responsible for design that complies with minimum irrigation requirements, and installation of an irrigation system. Irrigation system to be approved by the owner before starting any installation.
  - Irrigation controller to be mounted on outside wall of building. Provide temporary support prior to building construction.

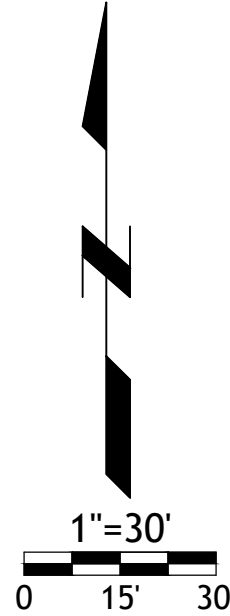
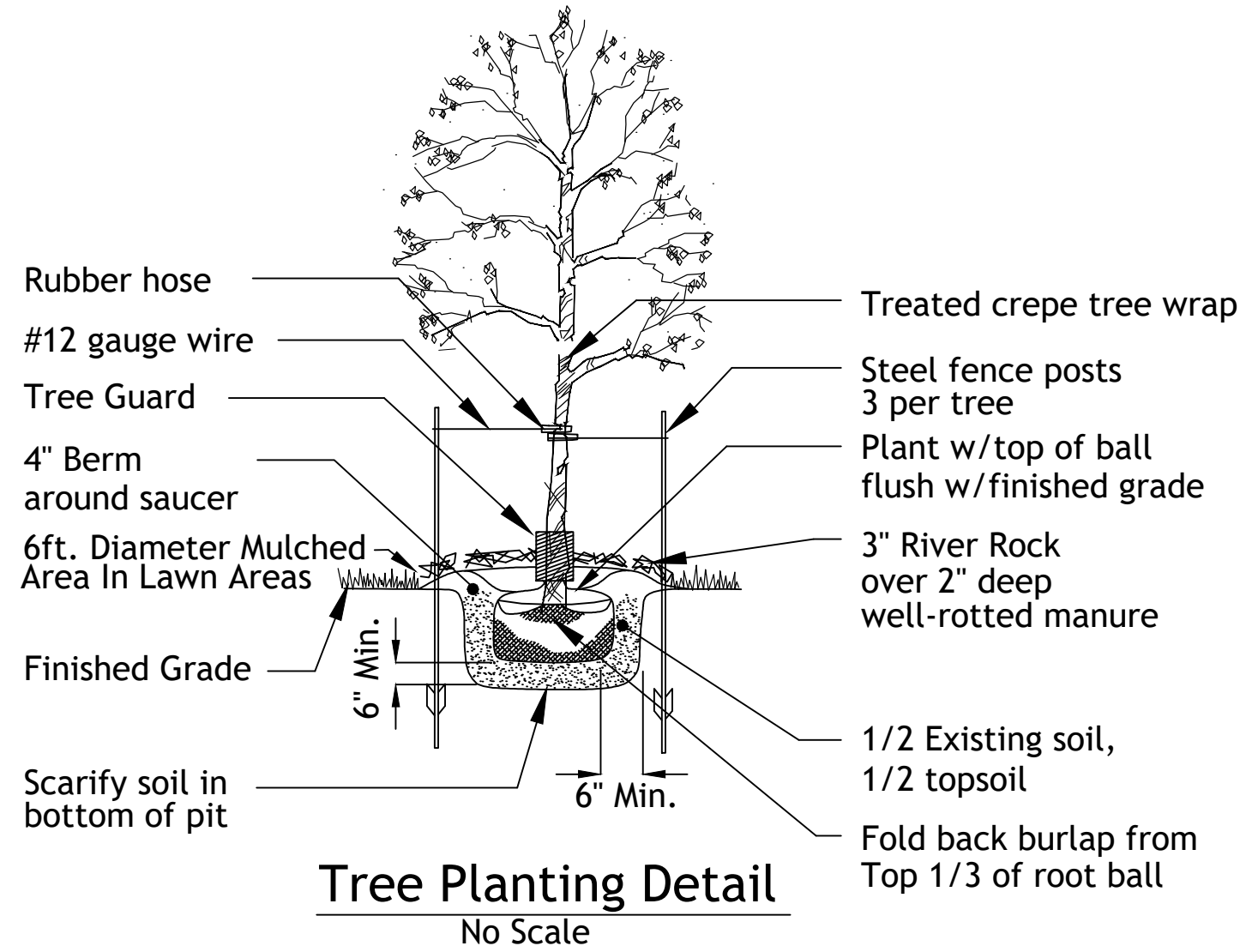
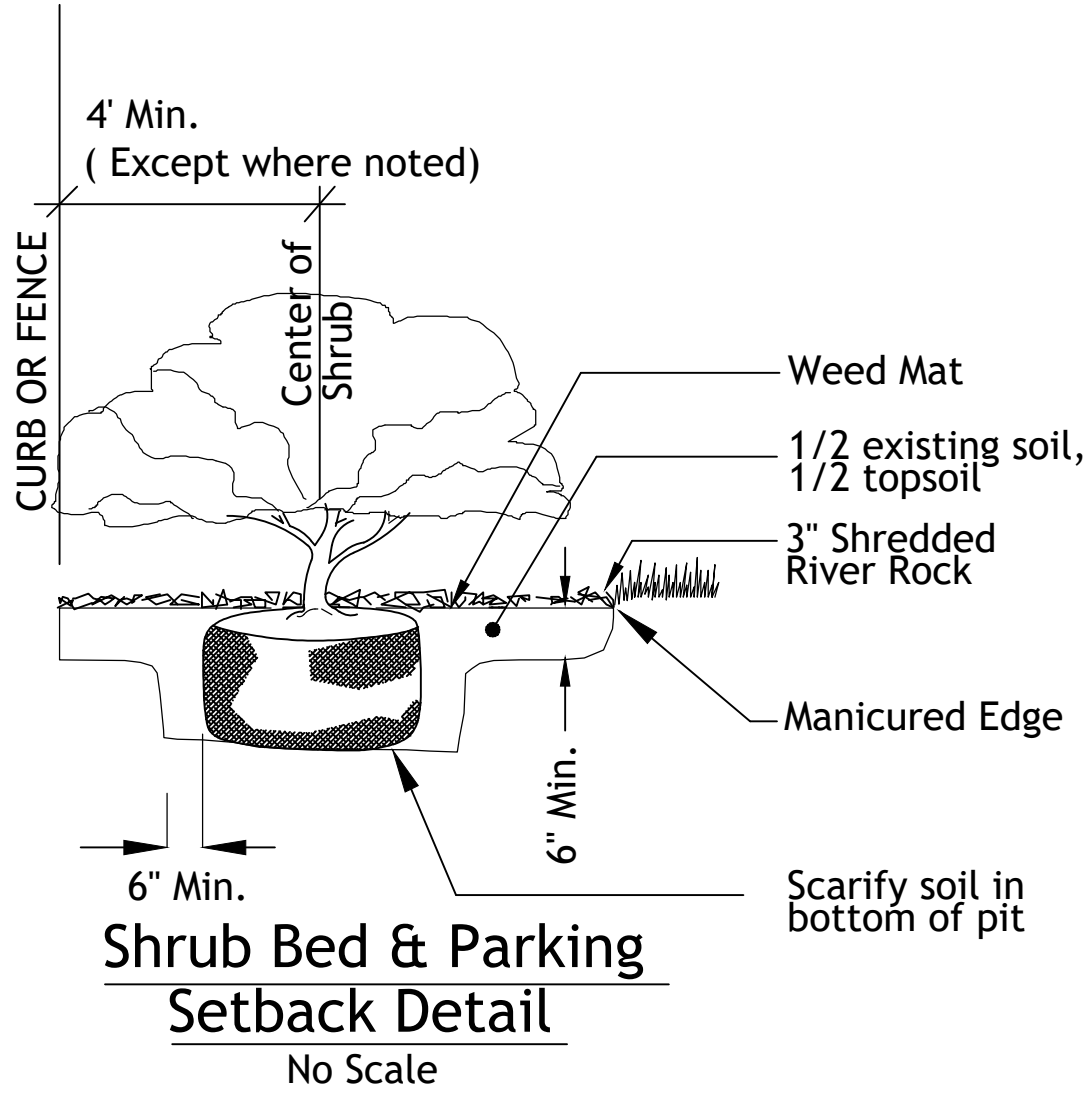
Typical Utility Box Screening Details



UTILITY BOXES SHALL BE CLUSTERED AS MUCH AS POSSIBLE

Shrub List						
Symbol	Quantity	Common Name	Botanical Name	Size	Condition	Spacing
	70	Seagreen Juniper	Juniperus Chinensis 'Seagreen'	18"-24"sp.	Cont.	4'o.c.
	68	Dwarf Winged Euonymus	Euonymus Alatus 'Compactus'	18"-24"sp.	Cont.	4'o.c.
	55	Morning Light Maiden Grass	Miscanthos Sinensis 'Morning Light'	18"-24"sp.	Cont.	4'o.c.

Tree List						
Symbol	Quantity	Common Name	Botanical Name	Size	Condition	Spacing
	7	October Glory Maple	Acer Rubrum 'October Glory'	3" cal	BB	As Shown
	9	Skyline Honeylocust	Gleditsia Triacanthos 'Skyline'	3" cal	BB	As Shown
	4	Golden Raintree	Koelreuteria Paniculata	3"cal	BB	As Shown
	4	Golden Raintree	Koelreuteria Paniculata	3"cal	BB	As Shown



SM Engineering  
**SAE**  
5507 High Meadow Circle  
Manhattan Kansas, 66503  
smcivilengr@gmail.com  
785.341.9747

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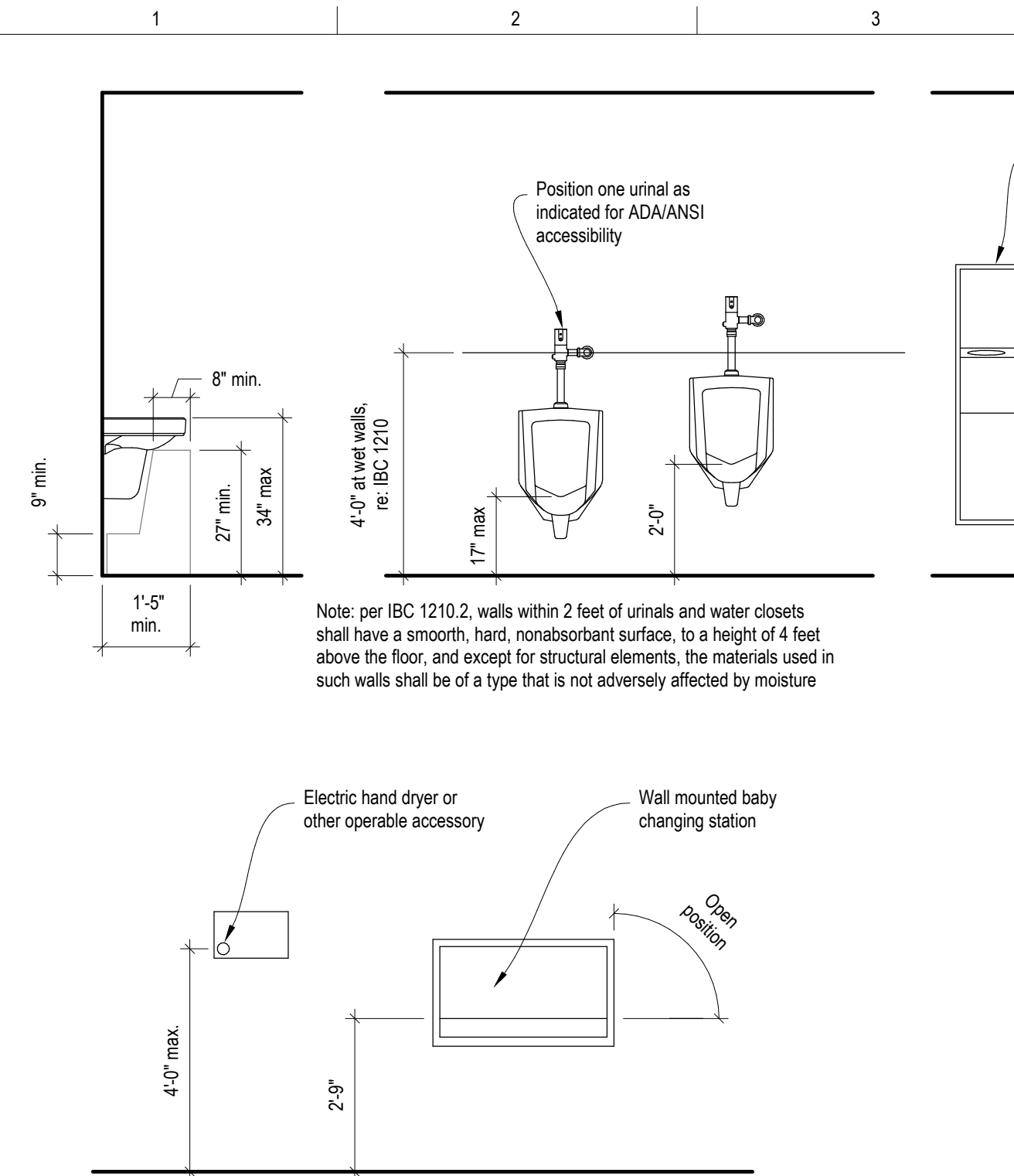
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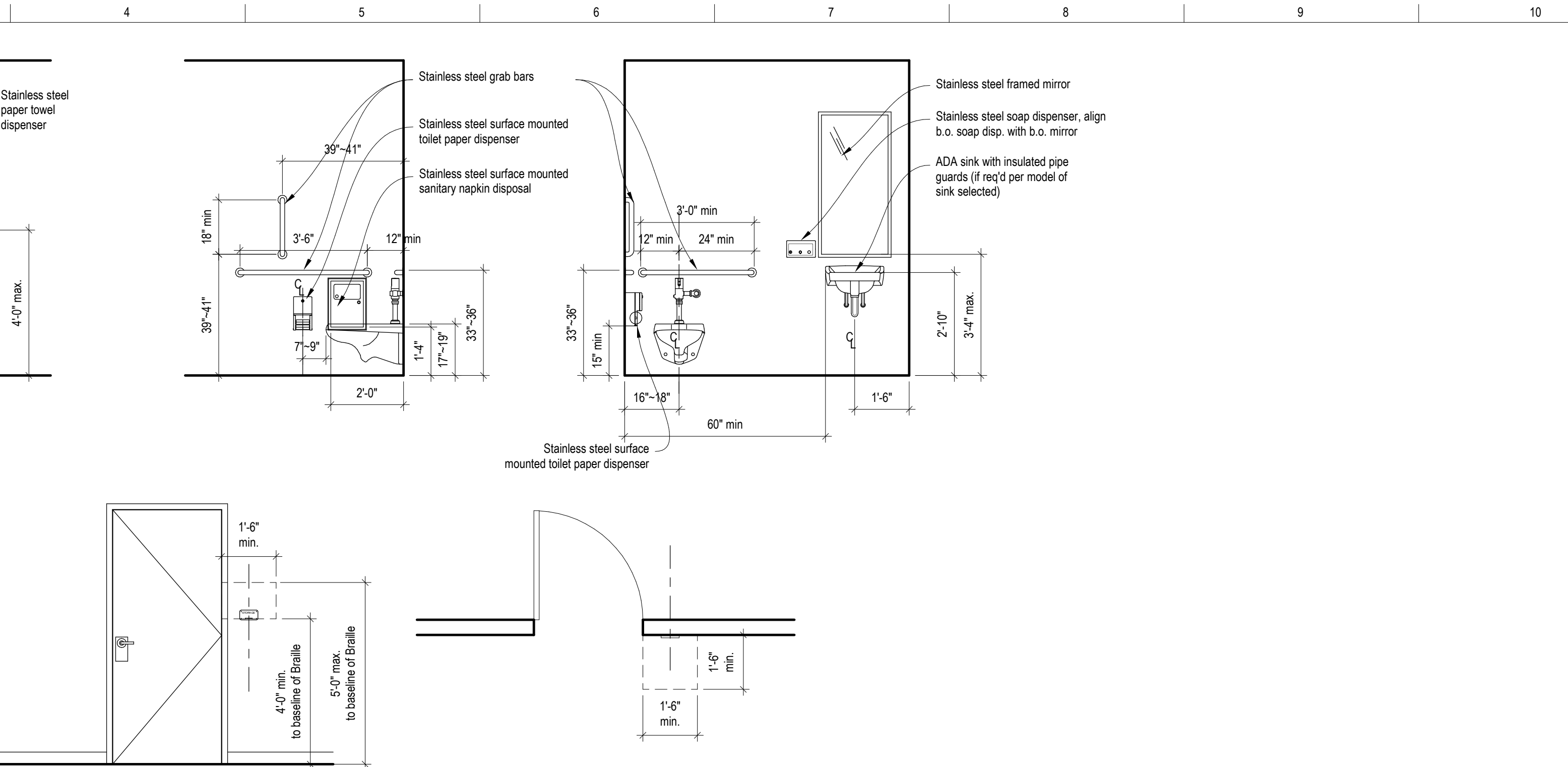
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permit  
11 MARCH 2021



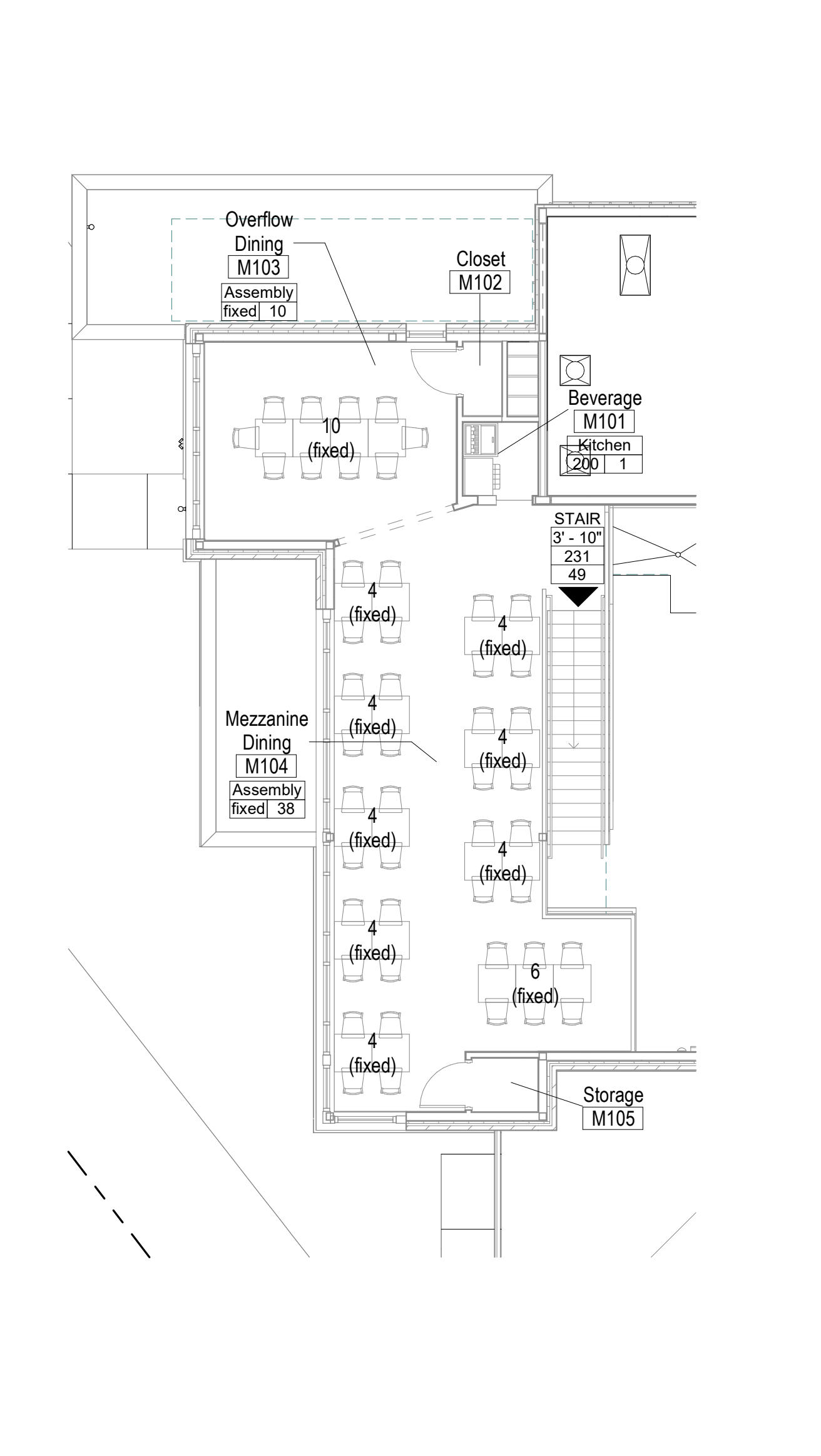
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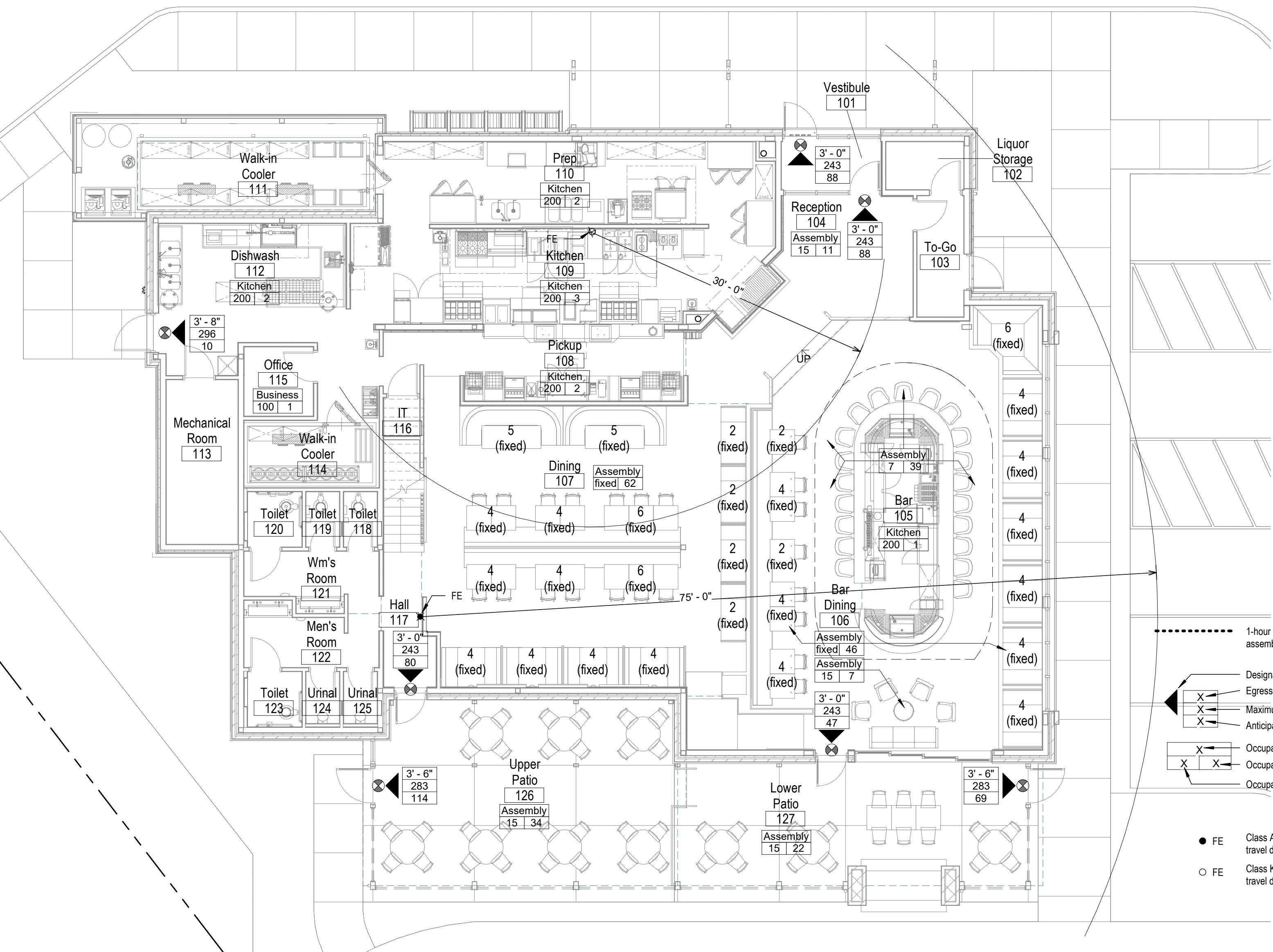
**F1** ADA Interior Elevations  
3/8" = 1'-0"



**F1** ADA Interior Elevations  
3/8" = 1'-0"



**A1** Code Plan - Mezzanine  
1/8" = 1'-0"



**A4** Code Plan - First Floor  
1/8" = 1'-0"

**Model Building/Design Codes Used:**  
2018 *International Building Code*  
2018 *International Fire Code*  
2012 *International Energy Conservation Code*  
2018 *International Plumbing Code*  
2018 *International Fuel Gas Code*  
2017 *National Electrical Code*  
2018 *International Mechanical Code*

**ADA Accessibility**  
*American National Standard; ICC/ANSI A117.1 2009*

**Proposed Project Description:**  
This is a restaurant project including both shell building and tenant build-out

**Automatic Fire Suppression System:**  
Automatic Fire suppression system throughout per NFPA 13

**Fire Alarm System:**  
Fire alarm system throughout in accordance with sections 907.2.1 of the 2018 International Building Code

**Occupancy Group:**  
Type A-2 Bar/Restaurant

**Construction Type:**  
Type V-B, fully sprinklered

**Allowable area for group A-2:**  
Tabular allowable area (table 503): 6,000 sf

**Allowable area increase (section 506):**  
Automatic sprinkler increase: 300%  
Area increase: (6,000 x 3) = 18,000 sf

**Allowable Height:**  
(Table 503): 40 feet + 20 feet per 504.2 = 60 feet

**Allowable Stories:**  
(Table 503): 1 story + 1 story per 504.2

**Actual Area:**  
First Floor: 4,814 sf  
Mezzanine: 905 sf

**Actual Height**  
30'-0"

**Actual Stories**  
1 story w/ mezzanine

**Mezzanine Calculations:**  
Level 1 dining/drinking area: 3,039 sf  
Mezz. dining/drinking area: 816 sf  
3,039 + 816 = 3,855 sf (25%)=964sf >816sf = ok  
Per IBC 1108.2.9 Exception #2.

**Means of Egress:**  
Per Chapter 10

**Occupancy Count:**  
Non-separated Mixed Use  
Table 1004.1.2

**Restaurant Interior - First Floor:**  
Assembly Concentrated 1/7 sf: 39 occupants  
Assembly Table, Chairs 1/15 sf: 18 occupants  
Assembly Fixed Seating: 108 occupants  
Business 1/100 sf: 1 occupant  
Kitchen 1/200 sf: 10 occupants  
**Subtotal: 176 occupants**

**Restaurant Interior - Mezzanine:**  
Assembly Fixed Seating: 48 occupants  
Kitchen 1/200 sf: 1 occupant  
**Subtotal: 49 occupants**

**Patio**  
Assembly Table, Chairs 1/15 sf: **56 occupants**

**Total Occupant Load: 281 occupants**

**Exit access travel distance:**  
Group A 250 (feet) with sprinkler system

**Common Path of Egress Travel:**  
Group A 75 (feet) with sprinkler system

**No. of Exits Required**  
(Section 1021) 50 < occupant load < 500: 2 Exits

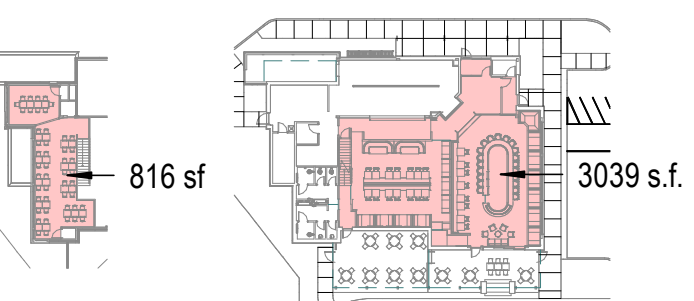
**Fixture Count for A-2 Restaurant Occupancy**  
281 occupants

**Toilets**  
141 male @ 1 per 75 = 2 male  
141 female @ 1 per 75 = 2 female

**Lavatories**  
300 occupants @ 1 per 200 = 2 lavatories

**Service Sink = 1 required**

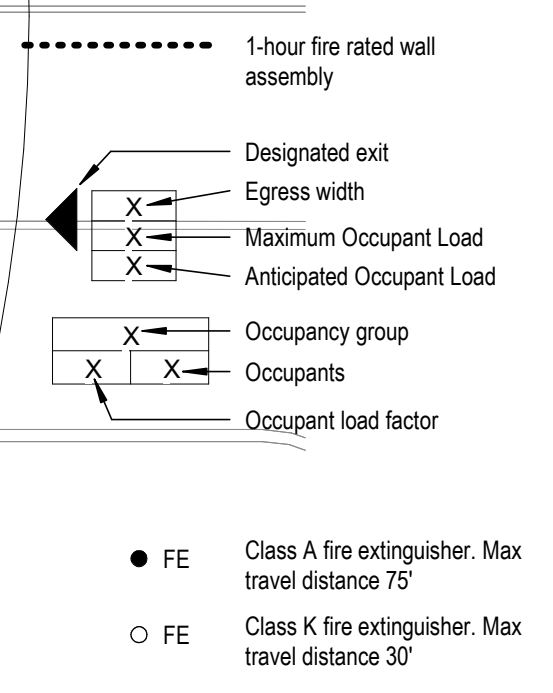
**Dining Surface Accessible Requirements**  
Total Seats @ dining surfaces: 135 - Lower level  
48 - Mezzanine  
183 Total  
183 (5%) = 9.15 = 10 accessible seats at dining surfaces to be provided on accessible level.  
14 potential accessible seating locations on main level are provided. = Ok



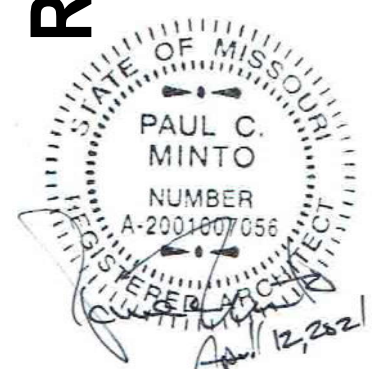
Thermal Envelope Requirements	
Component	R-Value
Roof: Insulation entirely above roof deck	R-30ci
Walls, above grade: Wood framed and other	R-13+R3.8ci or R-20
Walls, below grade	R-7.5ci
Slab-on-grade floors: Unheated slabs	R-10 for 24" below

Fenestration Maximum U-factor	
Vertical Fenestration	U-factor
Fixed	0.38
Operable	0.45
Entrance door	0.77

Fenestration Maximum SHGC		
Projection Factor	SEW	N
PF<0.2	0.38	0.51
0.2<PF<0.5	0.46	0.56
PF> or equal 0.5	0.61	0.61



**Red Door Grill - Lee's Summit**  
Permit Set  
2061 NW Lowenstein Dr.  
Lee's Summit, MO 64081



**food service**  
TriMark Hockenbergs  
10550 Barkley, Ste. 201  
Overland Park, Kansas 66212  
p. 913.945.2490

**mechanical, electrical, and plumbing**  
Welch and Mitchell  
4370 W. 109th St., Ste. 203  
Overland Park, KS 66211  
913.544.1627

**structural**  
Bob D. Campbell  
4338 Bellevue  
Kansas City, MO 64111  
816.531.4144

**civil**  
SM Engineering  
5507 High Meadow Circle  
Manhattan, Kansas 66503  
785.341.9747

**architectural**  
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COLLABORATIVE, P.C.

4523 Mercier Street  
Kansas City, Missouri 64111  
p 816.304.7416  
pinto@urbanprairiekc.com  
Missouri Certificate of Authority: #  
PROJECT NUMBER: 20-033  
ISSUE DATE: 9 April 2021  
REVISIONS  
DATE

Code Information

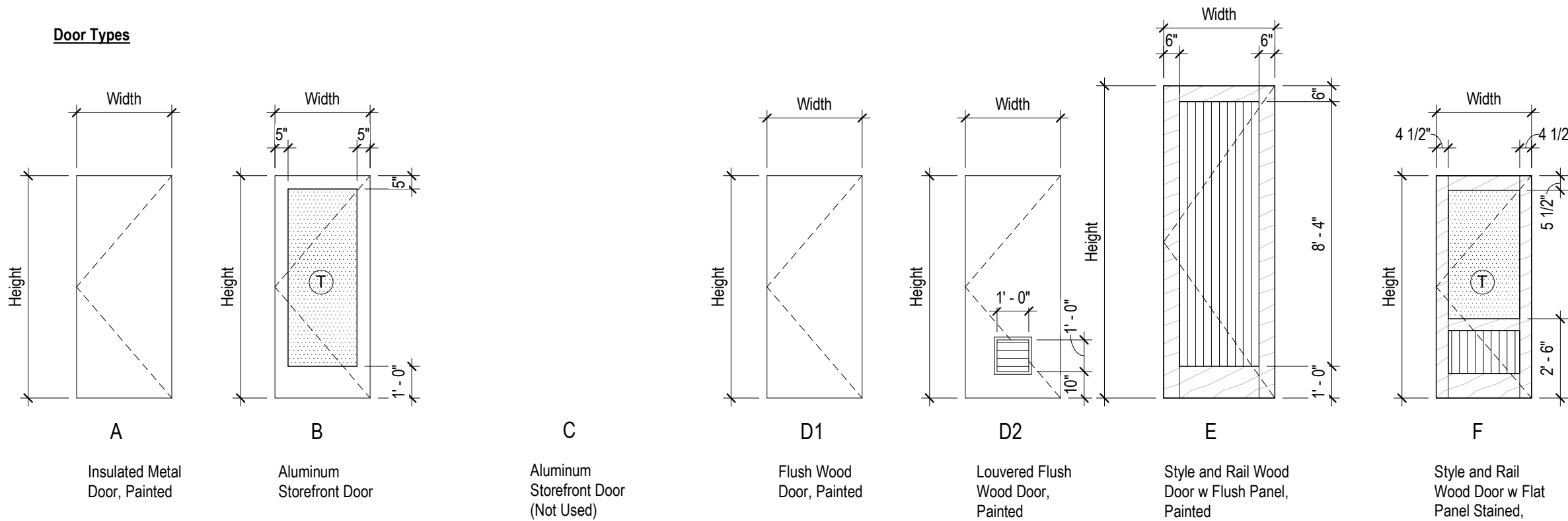
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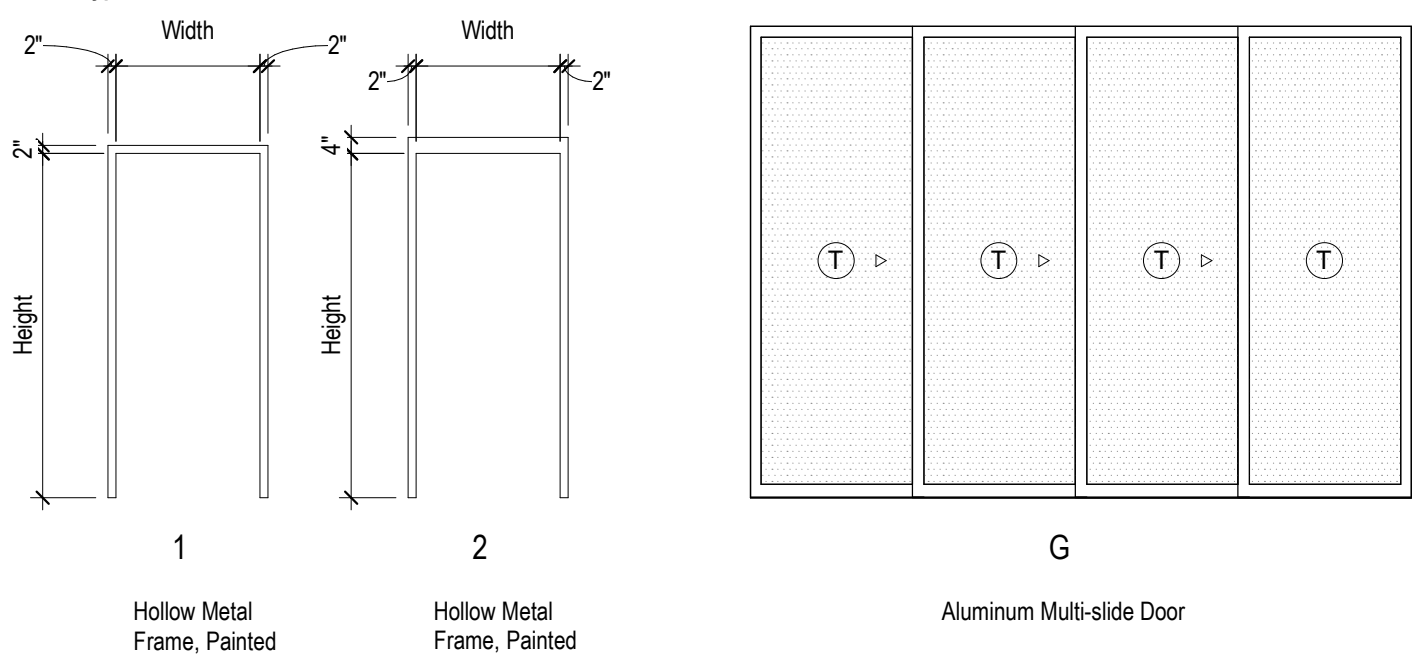
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Door and Frame Schedule																					
Door Number	To Room: Name	Door				Frame		Fire Rating	Hardware												Remarks/Notes
		Type	Mat	Width	Height	Type	Mat		Hinges	Lockset function	Closer	Kickplate	Wall/Floor Stop	Smoke Gasket	Threshold	Astragal	Exit Device	Rain Drip	Coordinator		
101-1	Vestibule	E	Wd	3' - 4"	9' - 10"	ST3	Alum		Continuous	Db,P/P	X				X					1,2,4,8	
101-2	Reception	B	Alum	3' - 0"	9' - 0"	ST6	Alum			E/E	X		Wall		X		X			3	
102-1	Liquor Storage	D1	Wd	3' - 0"	7' - 0"	1	H/M			S	X		Wall								
103-1	To-Go	B	Alum	3' - 4"	7' - 0"	ST2	Alum			E/E	X				X		X	X		3	
103-2	To-Go	D1	Wd	3' - 0"	7' - 0"	1	H/M			P	X										
106-1	Bar Dining	B	Alum	3' - 0"	7' - 0"	ST1	Alum			E/E	X				X		X			3	
106-2	Bar Dining	G	Alum	14' - 0"	10' - 0"	ST1	Alum								X						
112-1	Dishwash	A	H/M	3' - 8"	7' - 0"	2	H/M			E/E	X	X			X		X			3	
113-1	Mechanical Room	D1	Wd	3' - 0"	7' - 0"	1	H/M			S		X	Wall								
115-1	Office	D1	Wd	3' - 0"	7' - 0"	1	H/M			O			Wall								
116-1	IT	D2	Wd	3' - 0"	7' - 0"	1	H/M			P			Wall								
117-1	Hall	B	Alum	3' - 0"	7' - 0"	2	H/M			E/E	X				X		X			3	
118-1	Toilet	F	Wd	2' - 6"	7' - 0"	1	H/M	-	3	Priv	X		Wall							5, 6, 7	
119-1	Toilet	F	Wd	2' - 6"	7' - 0"	1	H/M	-	3	Priv	X		Wall							5, 6, 7	
120-1	Toilet	F	Wd	3' - 0"	7' - 0"	1	H/M	-	3	Priv	X		Wall							5, 6, 7	
123-1	Toilet	F	Wd	3' - 0"	7' - 0"	1	H/M	-	3	Priv	X		Wall							5, 6, 7	
124-1	Urinal	F	Wd	2' - 6"	7' - 0"	1	H/M	-	3	Priv	X		Wall							5, 6, 7	
125-1	Urinal	F	Wd	2' - 6"	7' - 0"	1	H/M	-	3	Priv	X		Wall							5, 6, 7	
126-1	Upper Patio	B	Alum	3' - 6"	7' - 0"	ST5	Alum			Db,P/P	X				X					1	
127-1	Lower Patio	B	Alum	3' - 6"	7' - 0"	ST4	Alum			Db,P/P	X				X					1	
M102-1	Closet	F	Wd	3' - 0"	7' - 0"	1	H/M			P			Wall							5, 7	
M105-1	Storage	F	Wd	3' - 0"	7' - 0"	1	H/M			S			Wall							5, 7	

Door Types

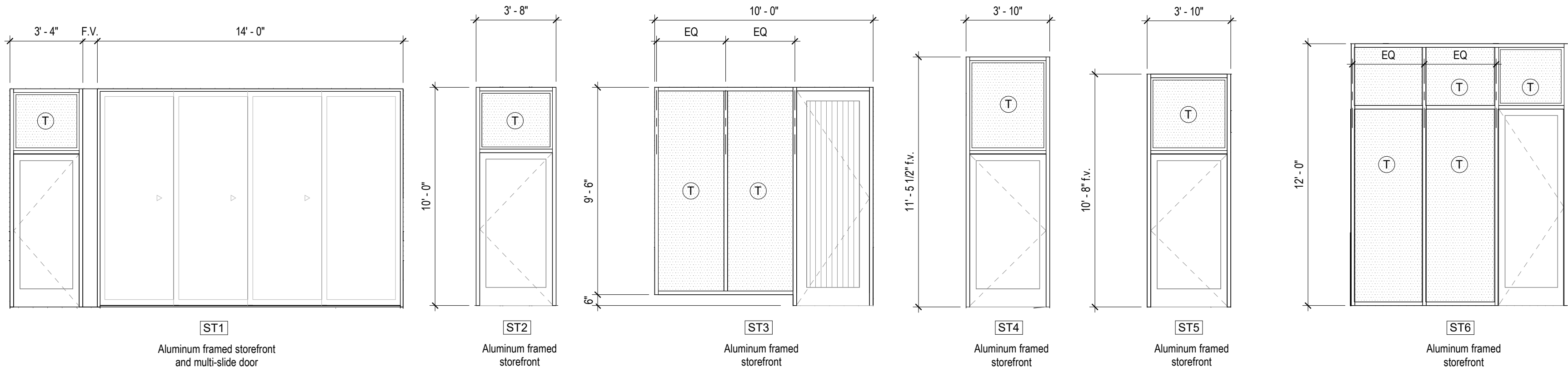


Frame Types



C1 Door and Frame Types

1/4" = 1'-0"



A1 Storefront Frame Types

1/4" = 1'-0"

Material Key:

Alum = Anodized Aluminum  
HM = Hollow Metal  
Stl = Steel  
Ins/Stl = Insulated steel  
Wd = Wood  
ETR = Manufacturer's Standards  
ETR = Existing to remain

Lockset Function Key:

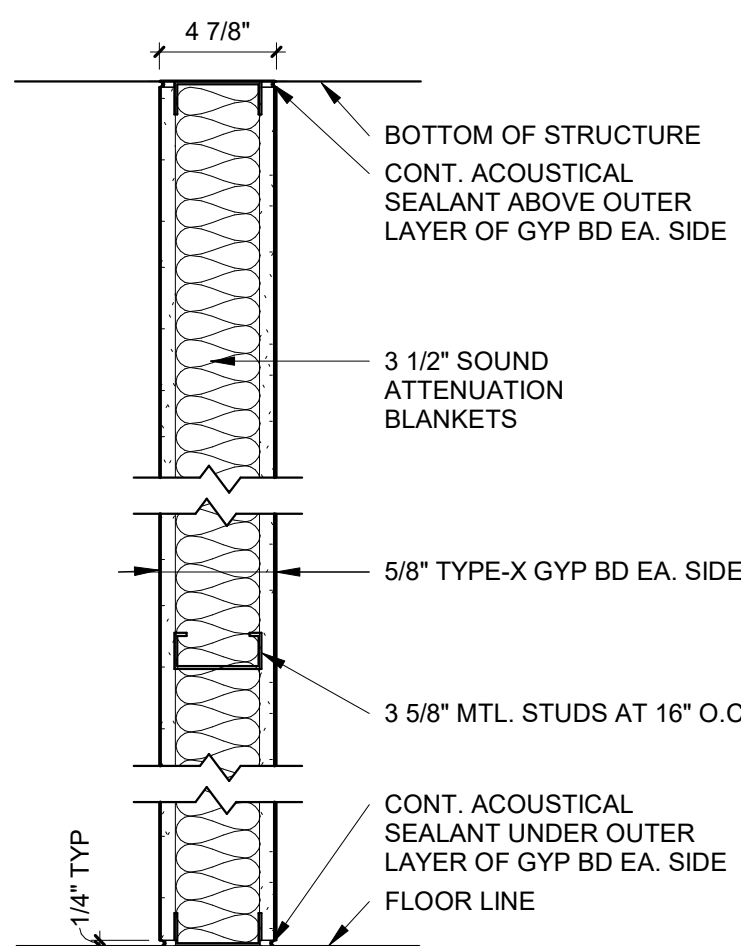
Elec = Electrically Locked  
O = Office  
Stl = Storeroom  
P = Passage  
Priv = Privacy  
P/P = Push/Pull  
E/E = Emergency Egress  
E = Entrance  
C = Corridor  
Db = Deadbolt (thumbblatch one side)  
DL = Keyed deadlock cylinder, key ea. side  
ETR = Existing to remain

Remarks

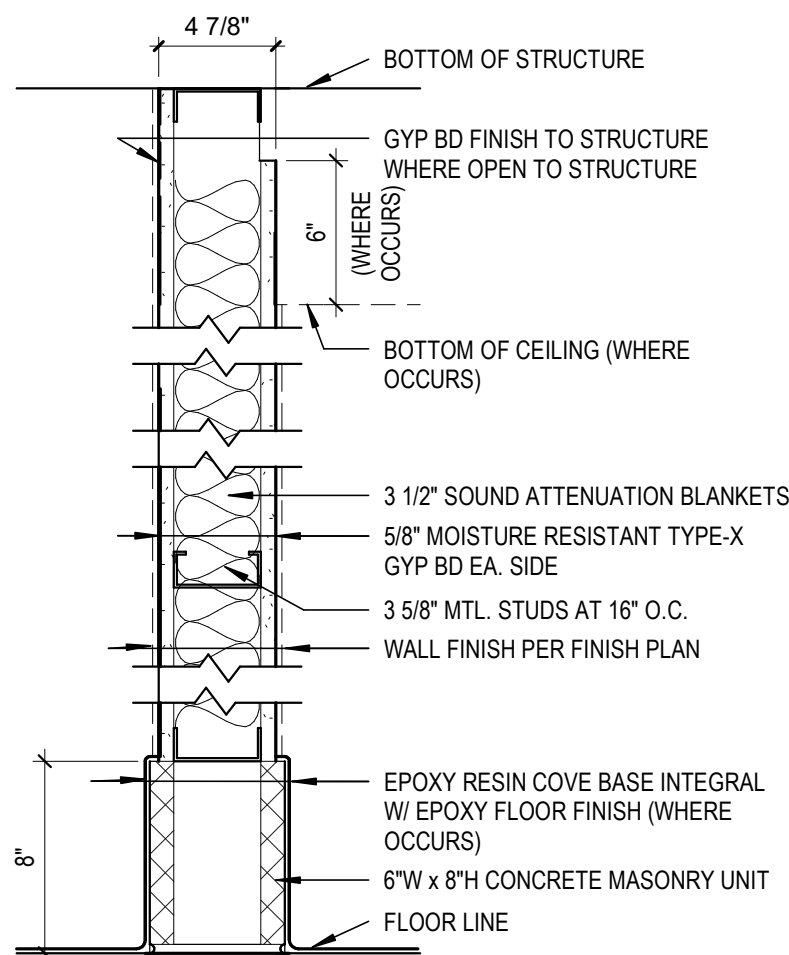
- Main entrance to be keyed deadlock cylinder, key ea. side. Provide indicator on egress side reading "OPEN" and "LOCKED", and signage on egress side reading "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED" in letters 1" high on a contrasting background.
- Opaque stained, color: P6 (SW 2839 Roycroft Copper Red), distressed finish.
- Provide panic hardware per IBC 1008.1.10
- Custom pull by owner.
- Wood veneer species and stained finish to match WD1.
- Provide occupancy indicator (integral with mortice lock) on each side of door indicating vacant (green) and occupied (red)
- Locate glass lite translucent textured face on interior (water closet) side of door.
- Door provided by owner from existing stock. G.C. to provide door hardware, finish, and install.

General Notes

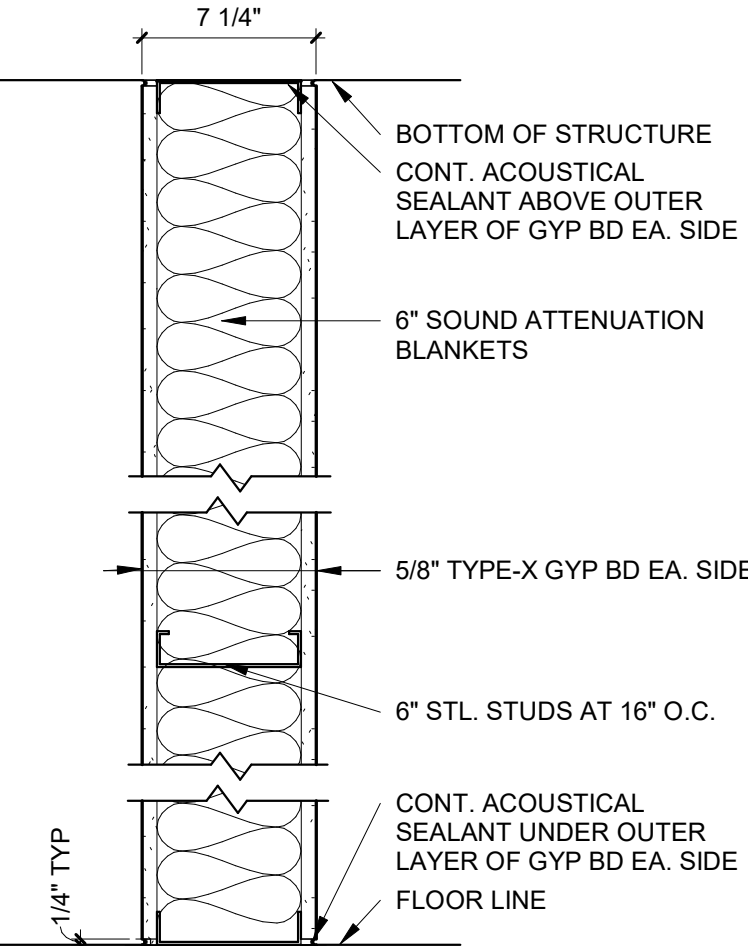
- A. Door hardware to comply with ADA standards and IBC 2012. Thumb-turn style locks are not approved (tight grasping, pinching or twisting of the wrist not approved).
- B. Door hardware lockset basis of design:  
Mortise lockset: Yale 8800FL Series, UB trim, 722 finish  
Tubular lockset: Yale RL Series, UB trim, 722 finish  
Push/pull set: Rockwood RM7700 - Black (BSP) - 48" on pull side  
Horizontal single bar - Black on push side



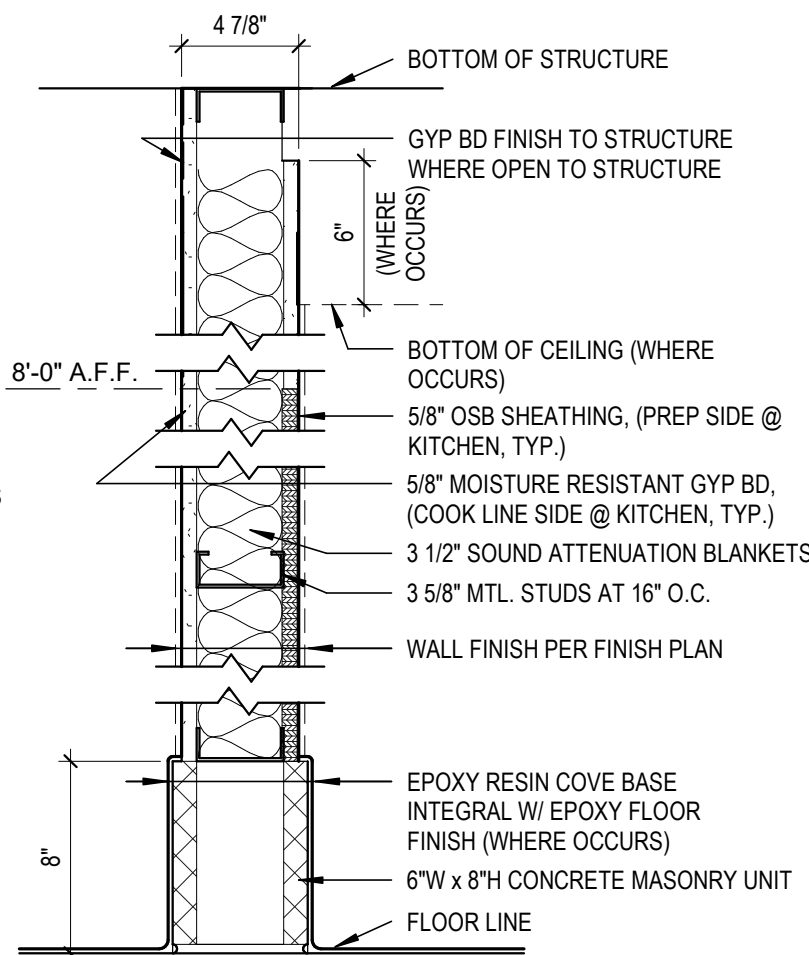
A1 ACOUSTIC GYPSUM BOARD ASSEMBLY (092900)  
45-49 STC - SIM: GA FILE NO. WP 1072



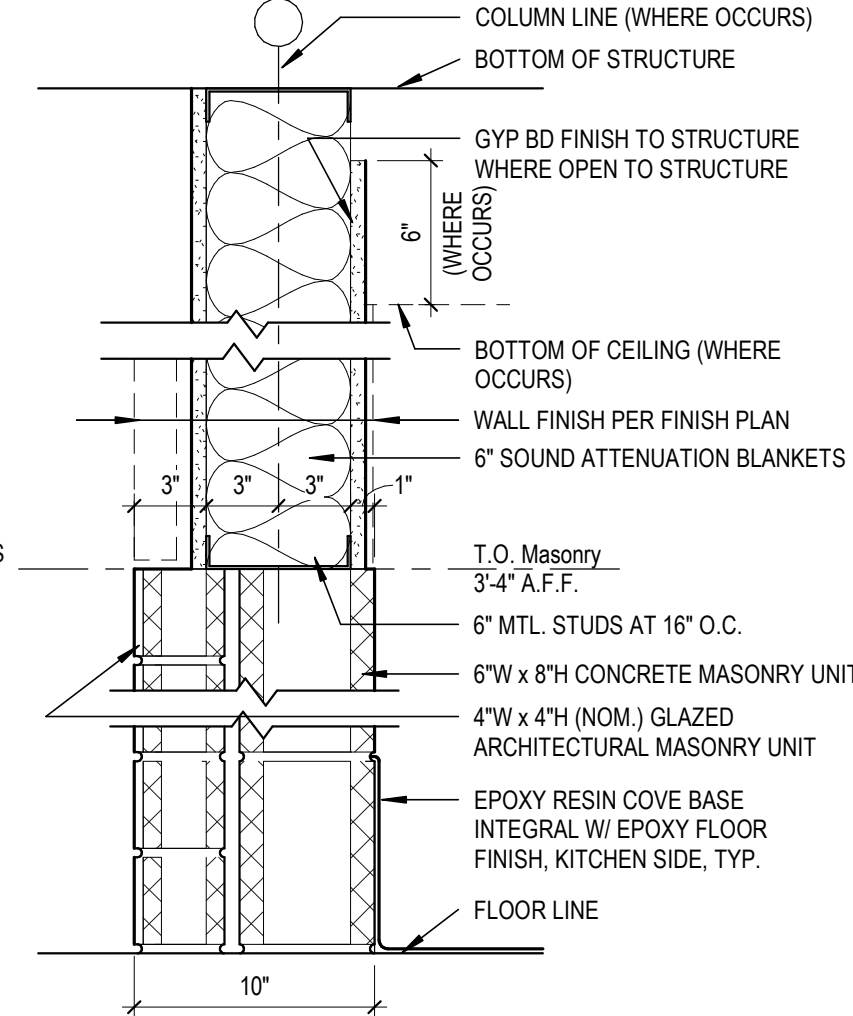
M1 GYPSUM BOARD AND CONCRETE MASONRY UNIT ASSEMBLY



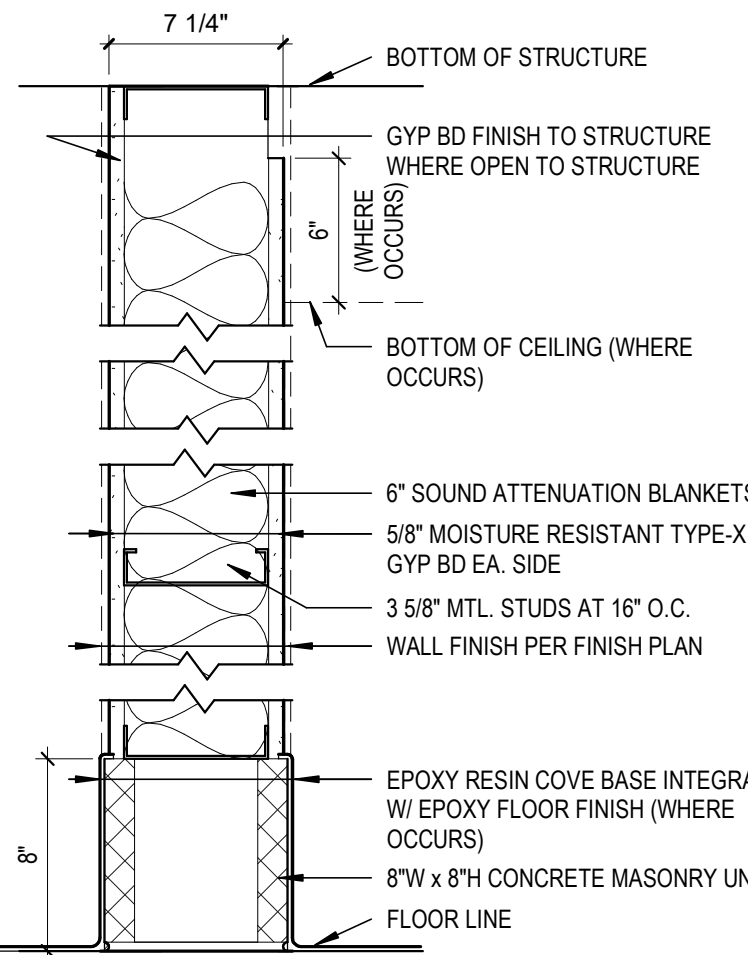
A2 ACOUSTIC GYPSUM BOARD ASSEMBLY (092900)  
45-49 STC - SIM: GA FILE NO. WP 1072



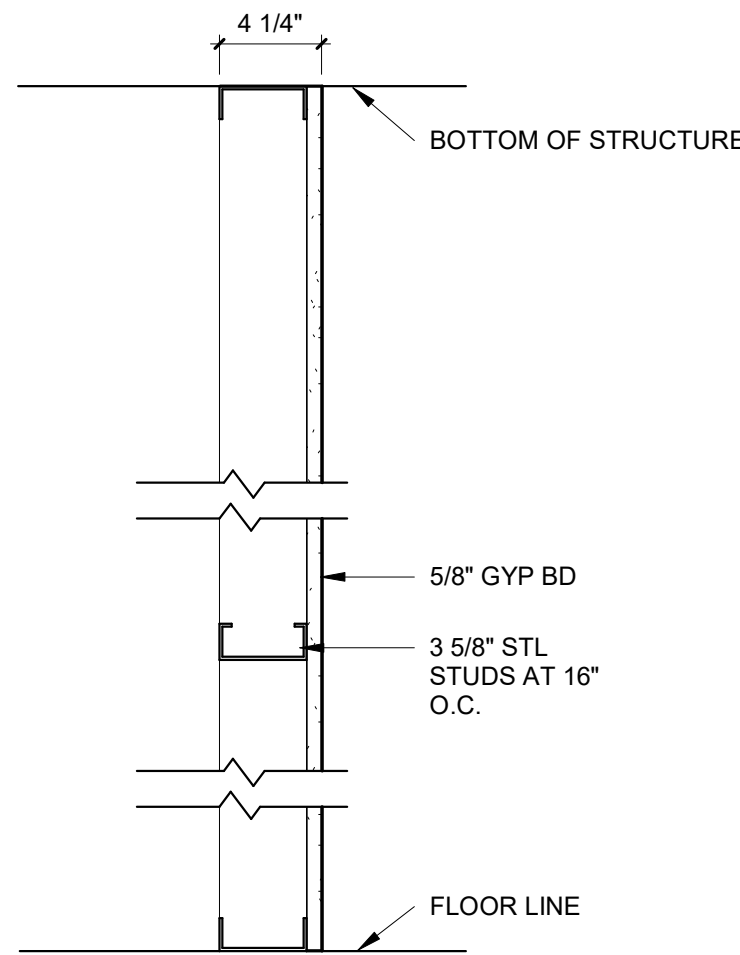
M2 GYPSUM BOARD AND CONCRETE MASONRY UNIT ASSEMBLY



M3 CONCRETE MASONRY UNIT ASSEMBLY



M4 GYPSUM BOARD AND CONCRETE MASONRY UNIT ASSEMBLY



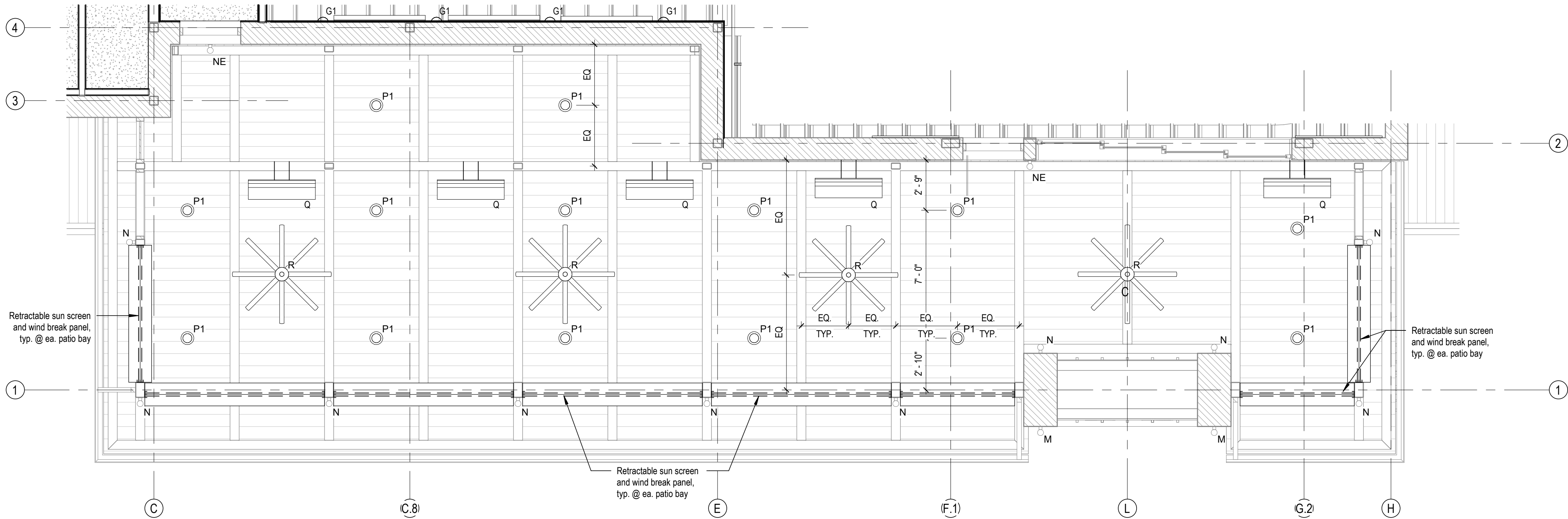
O1 GYPSUM BOARD ASSEMBLY ONE-SIDE GYP BD

A8 Partition Types

1 1/2" = 1'-0"



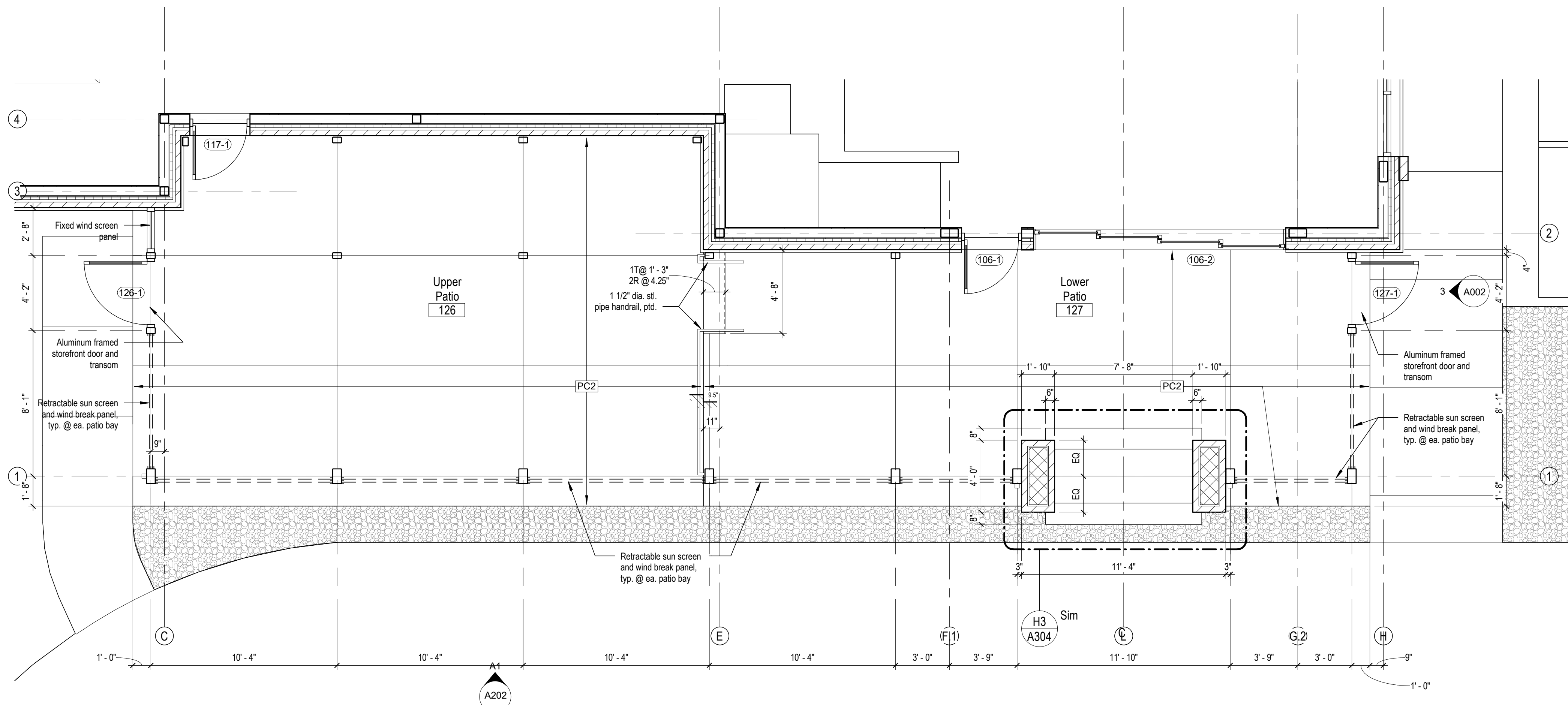
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F1

1/4" = 1'-0"

Reflected Ceiling Plan - Patio



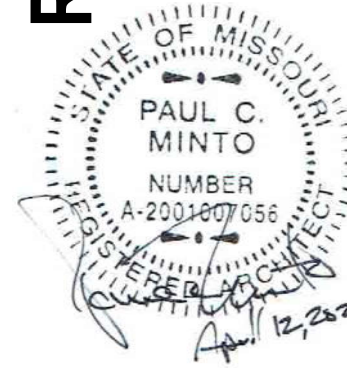
A1

1/4" = 1'-0"

Site Plan - Patio

ARCHITECTURAL  
URBAN PRAIRIE  
COLLABORATIVE, P.C.

Red Door Grill - Lee's Summit  
Permit Set  
2061 NW Lowenstein Dr.  
Lee's Summit, MO 64081



food service

TriMark Hockenbergs

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mechanical, electrical, and

plumbing

Welch and Mitchell

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Missouri Certificate of Authority: #

PROJECT NUMBER: 20-033

ISSUE DATE: 9 April 2021

REVISIONS DATE

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Patio Plan

A031

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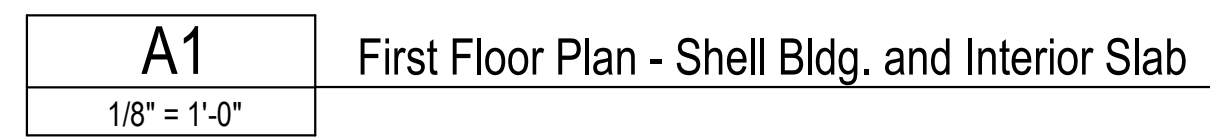
**Engineering**

URBAN PRAIRIE ARCHITECTURAL  
COLLABORATIVE, P.C.

PROJECT NUMBER: 2  
DUE DATE: 9 April

### Class Blog

A101



A. All dimensions are to face of stud, face of concrete, face of masonry, or to column lines unless noted otherwise.

B. All new interior walls to be type "A1" unless noted otherwise.

XX0	Floor Finish
XX0	Base Finish
XX0	Wall Finish

**ETR** Existing finish to remain

**C1** C.I.P. CONCRETE, no finish, prepared for epoxy floor (Shell Scope 1)

C2	C.I.P. CONCRETE, no finish, prepared for epoxy floor (T.I. Scope 1)
----	---

**SC1** SEALED CONCRETE (Shell Scope 1)

**PC1** POLISHED CONCRETE (T.I. Scope 1)  
C.I.P. concrete, integrally colored, ground/exposed aggregate, matte finish, interior grade sealer.

**PC2** POLISHED CONCRETE (T.I. Scope 2)  
C.I.P. concrete, integrally colored, ground/exposed aggregate, matte finish, exterior grade sealer.

**PC3** POLISHED CONCRETE  
(Shell Scope 1): Provide C.I.P. concrete perimeter ribbon, integrally colored to match PC1.

(T.I. Scope 1): Provide finishing of perimeter ribbon. Ground/exposed aggregate, matte finish, interior grade sealer (grind and seal perimeter ribbon together with adjacent T.I. slab).

**PC4** POLISHED CONCRETE (T.I. Scope 1)  
C.I.P. concrete, integrally colored, matte  
finish. (no ground/exposed aggregate.)

### Floor Plan Keynotes - Shell Building and Interior Slab

1 C.I.P. accessible concrete ramp, slope 1:12. Provide cement backer board in lieu of gyp board where ramp meets stud wall.

② Face of concrete turn-down to match finish of adjacent concrete slabs, typical. Provide 1/2" chamfer at turn-down, typ. U.N.O.

③ C.I.P. concrete step.

atop slab-on-grade (Shell scope). Re: F12/A651.  
Provide cement backer board (in lieu of gyp. bd.)  
where raised slab meets stud wall.

5 Metal ladder to roof access hatch.

⑥ Storm from roof, Re: plumb

7 Wall hydrant. Re: plumb.

⑧ Fire department connection.

9 Steel gate-tube and angle frame with corrugated metal infill, galvanized and painted, typ.

- 10 Knox box, Knoxvault Series 4400
- 11 Block out perimeter ribbon slab for trench drain. Re: Plumb., Kitchen.

12 Coord. dish room rough-in at perimeter ribbon slab and footing. Re: Plumb., Kitchen

13 Coord. toilet/urinal rough-in at perimeter ribbon slab and footing. Re: Plumb.

⑭ 6" h c.i.p. concrete curb

(15) Wood framed stair, Re: struct.

(16) Step light. Cast into concrete riser. Re: elec.

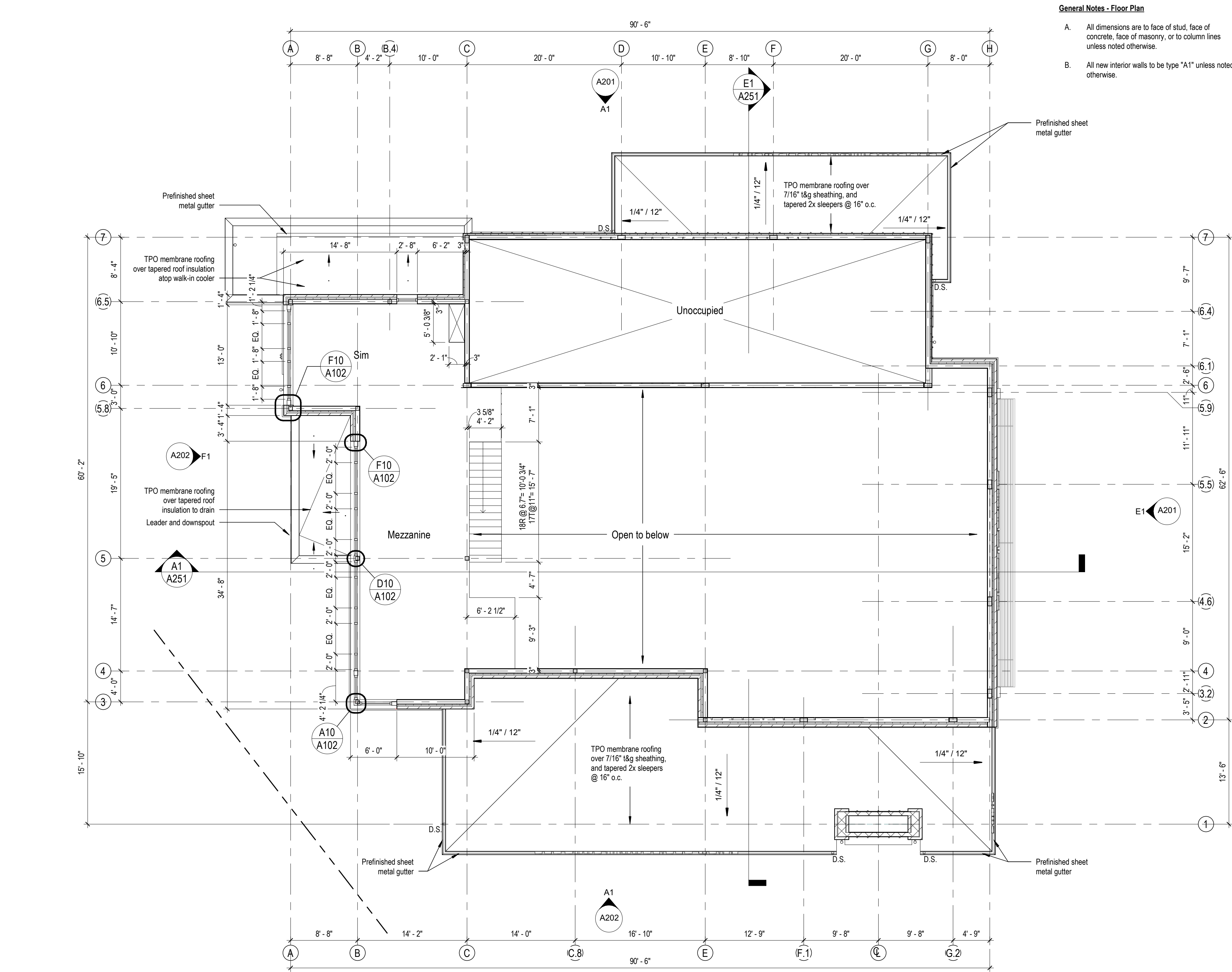
17 Prefinished sheet metal downspout, tie into below grade drainage system, discharge at grade per civil.

18 4" c.i.p. concrete slab on grade. Slope perimeter 1/4" per foot to drain. Re:A104, Kitchen for walk-in cooler information

10

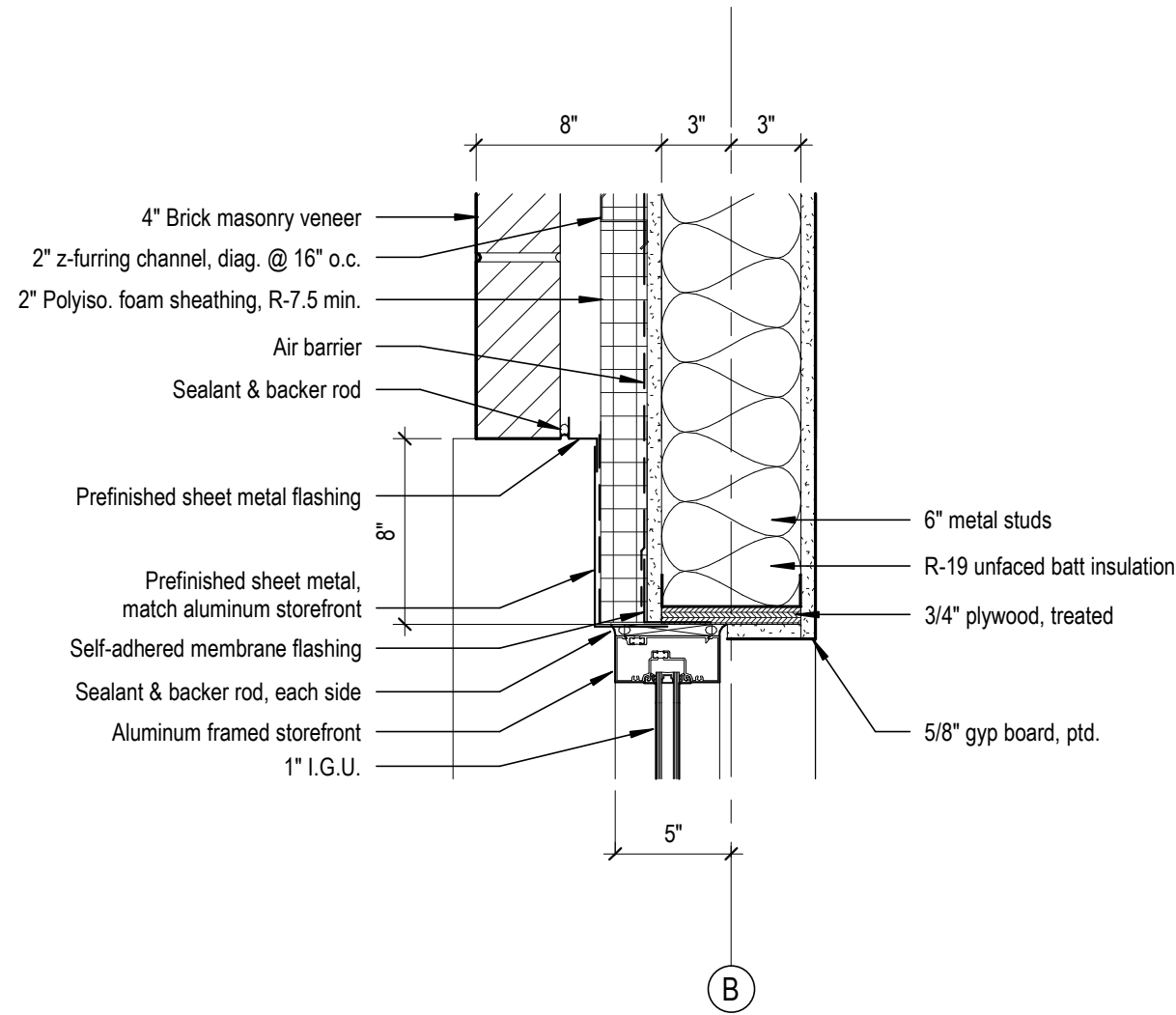


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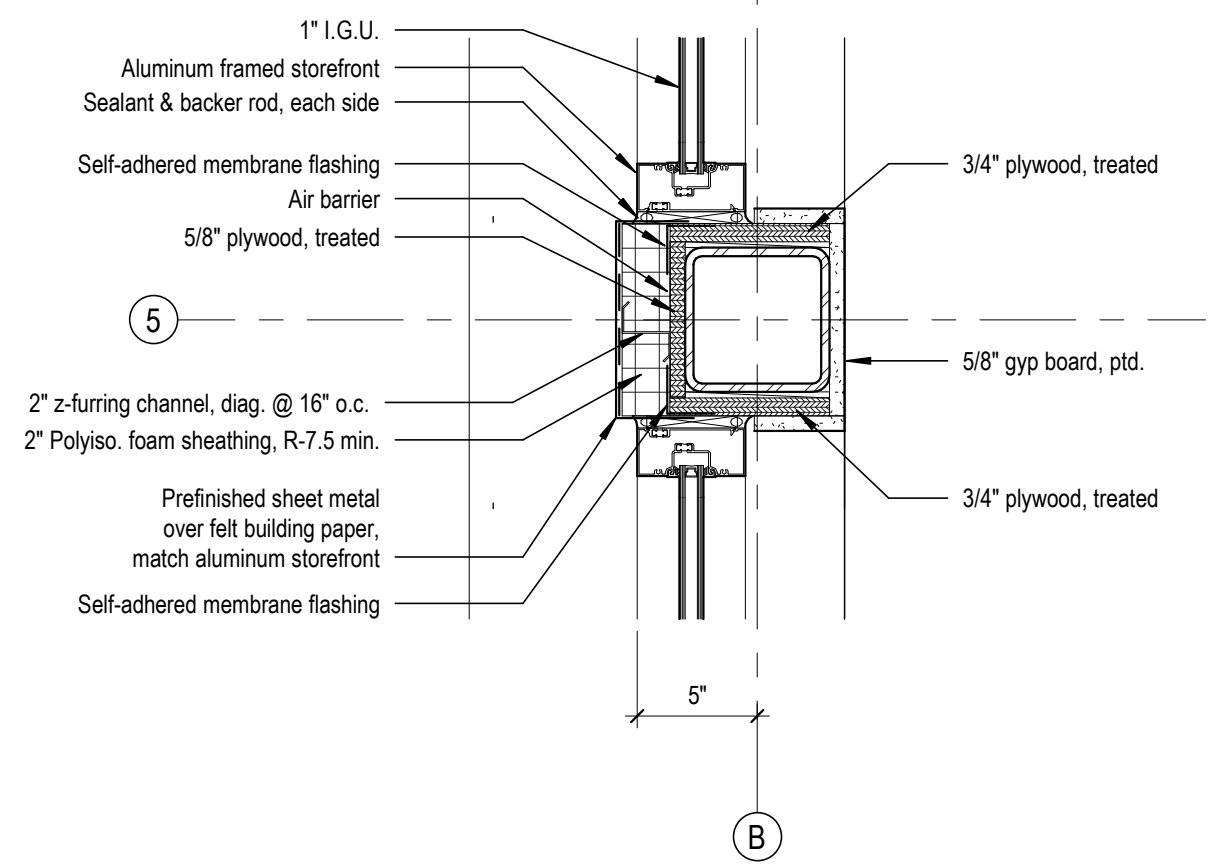


General Notes - Floor Plan

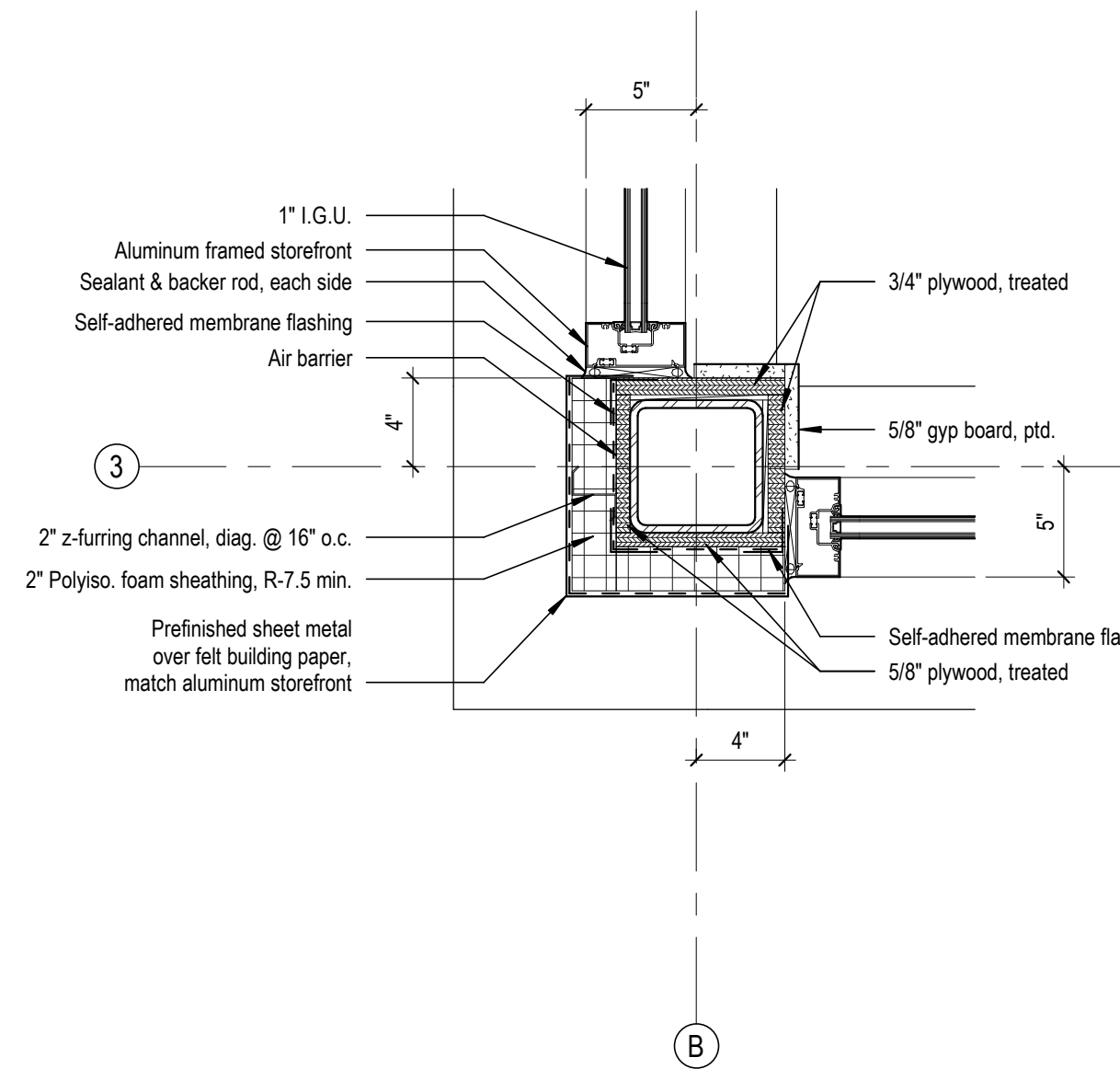
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- B. All new interior walls to be type "A1" unless noted otherwise.



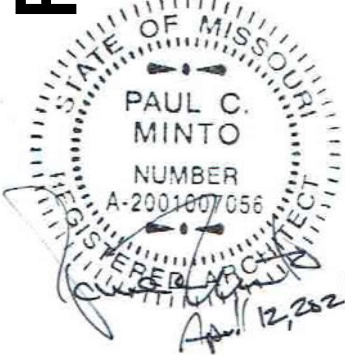
F10 Plan Detail  
1 1/2" = 1'-0"



D10 Plan Detail  
1 1/2" = 1'-0"



A10 Plan Detail  
1 1/2" = 1'-0"



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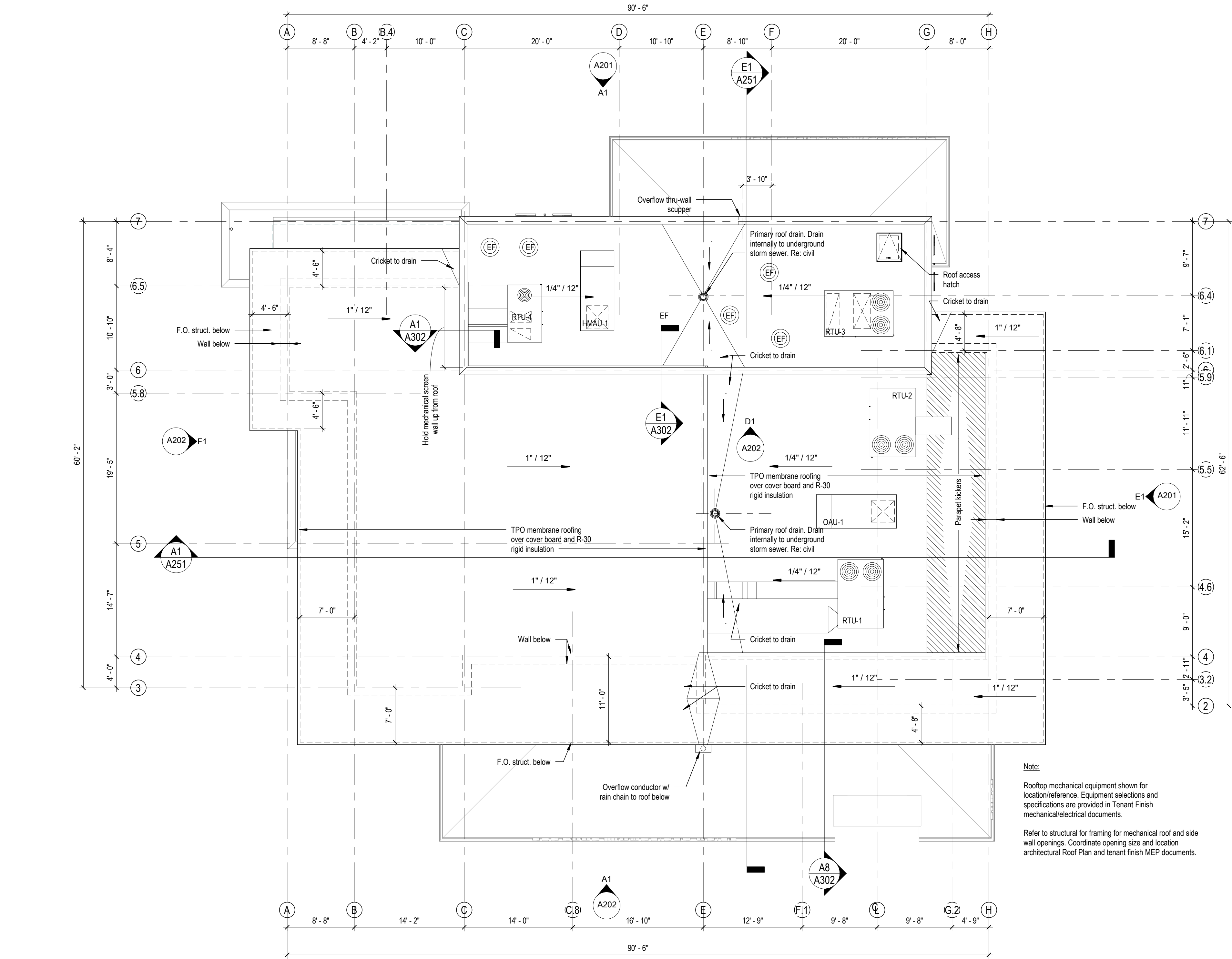
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Mezzanine and Low Roof  
Plan

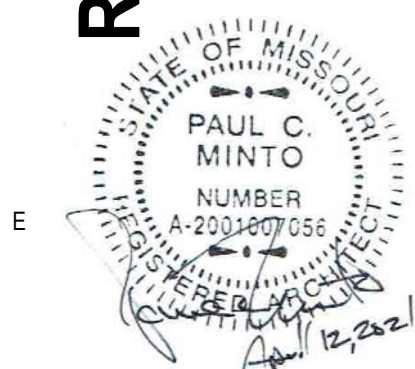


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**A1**  
Roof Plan  
1/8" = 1'-0"

**Red Door Grill - Lee's Summit**  
Permit Set  
2061 NW Lowenstein Dr.  
Lee's Summit, MO 64081



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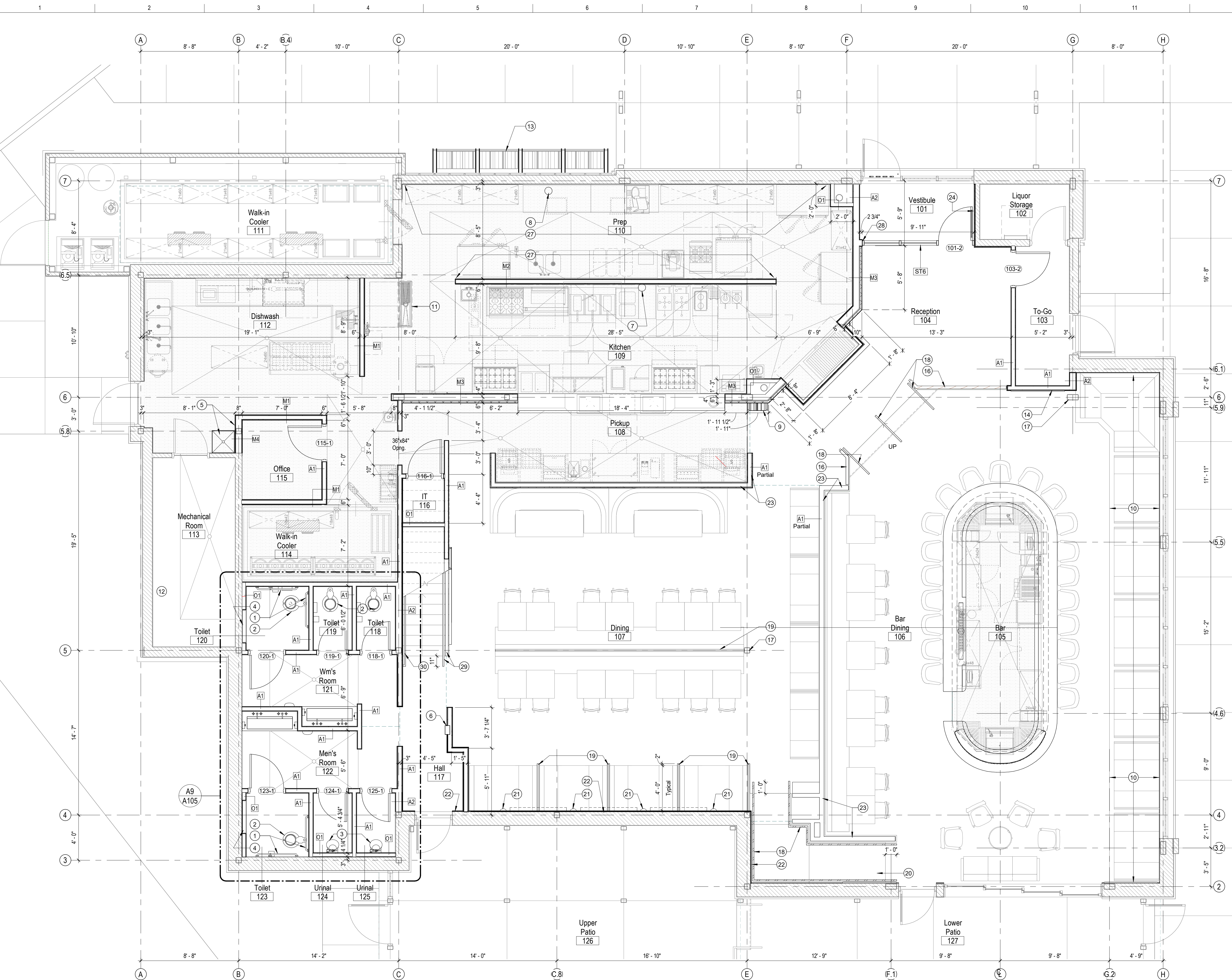
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General Notes - Tenant Interior Floor Plan

- A. All dimensions are to face of stud, face of concrete, face of masonry, or to column lines unless noted otherwise. Face of Finish will be noted with "F.F."
- B. All new interior walls (T.I. Phase) to be type "A1" unless noted otherwise.
- C. Provide sound attenuation blankets in wall, floor to ceiling, at all restrooms, office, and mechanical room locations.
- D. Furnish and install wood blocking or metal backing plate in stud partitions for anchorage of wall attached items and wall finishes.
- E. RE: A001 for typical toilet accessories and mounting location information.

Floor Plan Keynotes - Tenant Interiors

- 1 S.S. grab bars. Re: A001
- 2 ADA height floor mounted toilet w/ automatic flush valves. Re: plumb.
- 3 Wall mounted urinal w/ automatic flush valves. Re: plumb
- 4 Baby changing station, recessed mounted: Koala Kare KB111-SSRE Provide blocking.
- 5 Janitor sink, faucet, & mop hanger. Re: plumb.
- 6 Semi-recessed fire extinguisher cabinet and class A fire extinguisher
- 7 Wall mounted class K fire extinguisher
- 8 Under counter class A fire extinguisher
- 9 1'-10"w x 9'-0"h Blackened steel wood storage box.
- 10 6" c.i.p. concrete platform. Provide cement backer board (in lieu of gyp. bd.) where raised slab meets stud wall.
- 11 Floor trough, Re: plumb, kitchen
- 12 Wall mounted instant hot water heaters. Re: plumb.
- 13 Steel firewood storage box.
- 14 Provide plywood finish per finish plan atop PTD gyp board wall. Face of framing to align with face of concrete below. No chamfer in concrete under this wall.
- 16 Blackened steel guard rail with WD1 top rail at 42". Rail to be bolted to concrete slab on Level one and bolted to wood floor at the Mezzanine, provide blocking in floor framing as necessary.
- 17 Existing steel column. Ptd. P4.
- 18 Blackened steel handrail. 1/2" x 1.5" flat stock steel. Top of rail to be at 36" A.F.F. Bolted to concrete slab.
- 19 2 1/2" thick wide WD2 divider panel between booths. Provided by booth MFR, coord. with arch.
- 20 C.I.P. accessible concrete ramp. Re: A101.
- 21 Wall sconce. Re: A151, Elec.
- 22 Thin brick wall finish. Re: A701
- 23 Partial height wall. Re: A701 for wall finish.
- 24 Owner Furnished, contractor installed 36" diam red brushed stainless steel pin mounted sign on WP1 wall. Sign to be RDG logo, coord with owner.
- 25 Wood Stair w/ closed risers, 17 treads @ 11"ea. and 18 risers @ 6.67" ea. = 10'-0"
- 26 Turn wood flooring down face of wall approximately 11'-3/4". Align bottom of wood flooring with bottom of top wood tread at stair.
- 27 Provide 5/8" osb sheathing beneath FRP wall finish, floor to ceiling or as indicated by partition type.
- 28 Provide 1/8" steel plate at end wall between wall framing and aluminum storefront.
- 29 Blackened steel guard rail with WD1 top rail at 42". Rail to be bolted to wood treads. Provide 1/2" x 1.5" flat stock steel hand rail on stair side mounted to vertical pickets of guard rail w/ 1/2" x 1" blackened steel L bracket.
- 30 1/2" x 1.5" flat stock blackened steel hand rail mounted to wall w/ 1/2" x 1" blackened steel L bracket.

Red Door Grill - Lee's Summit  
Permit Set  
2061 NW Lowenstein Dr.  
Lee's Summit, MO 64081



**food service**  
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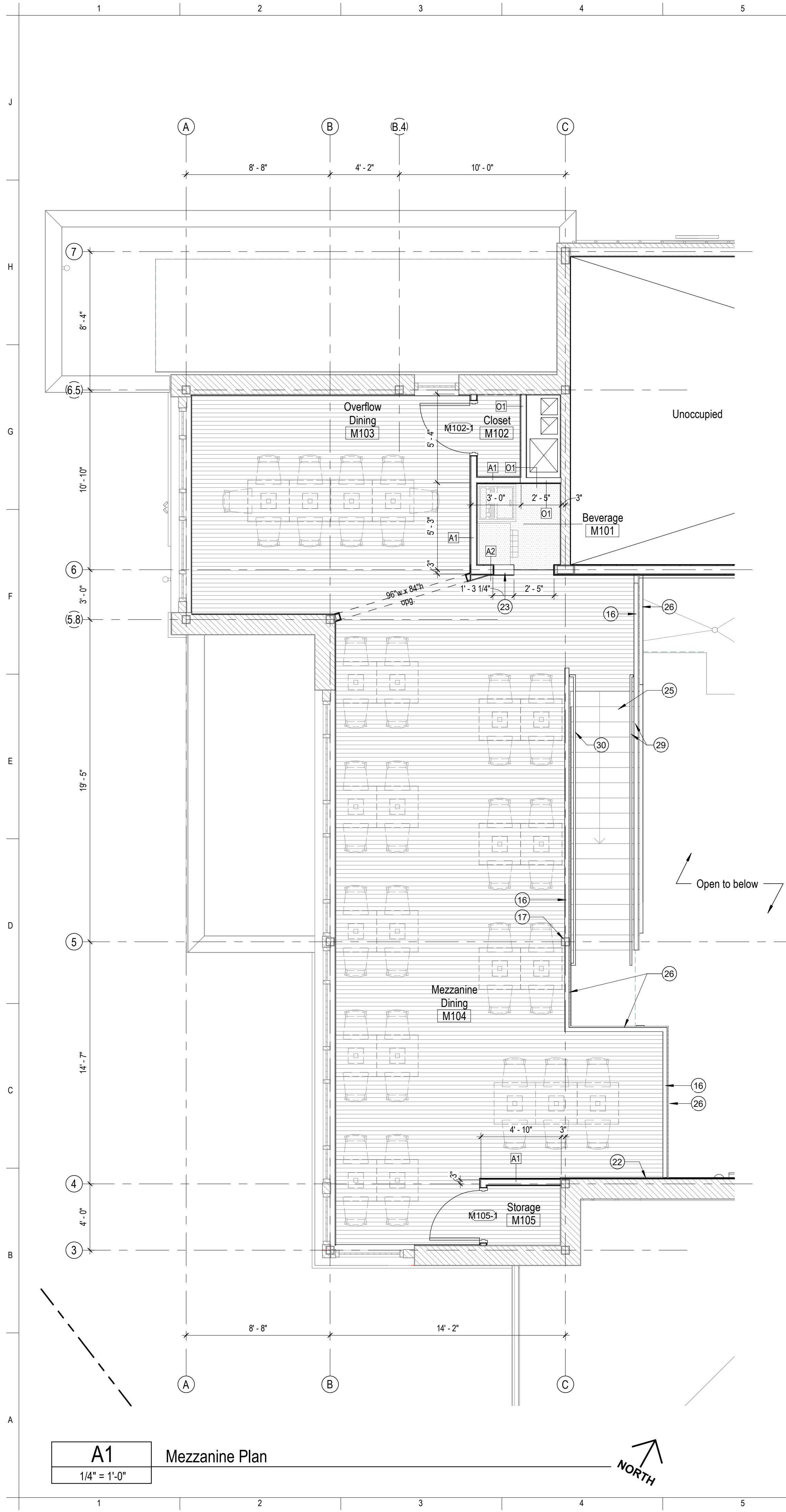
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Floor Plans - Tenant Interiors



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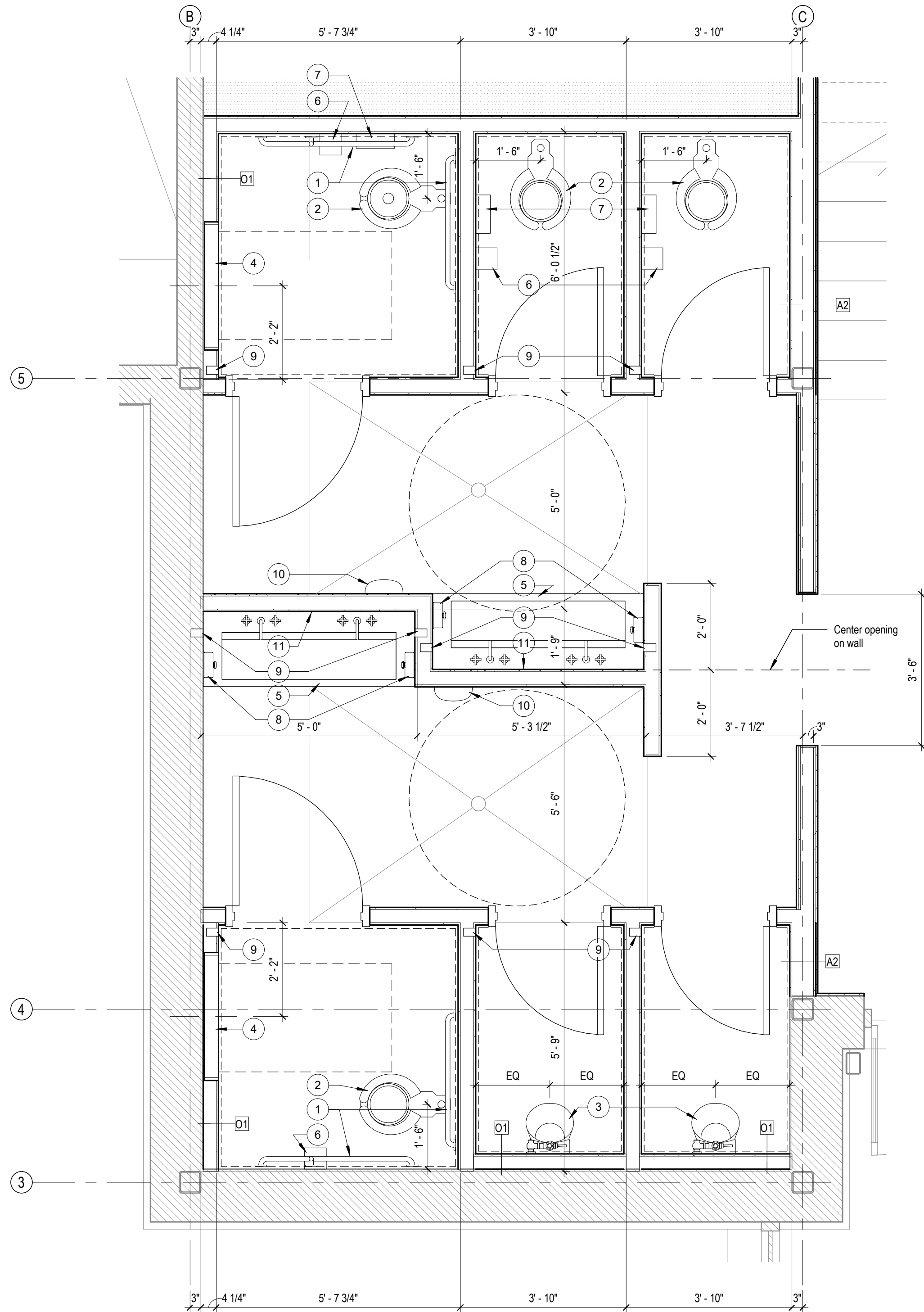


#### General Notes - Tenant Interior Floor Plan

- All dimensions are to face of stud, face of concrete, face of masonry, or to column lines unless noted otherwise. Face of Finish will be noted with 'F.F.'
- All new interior walls (T.I. Phase) to be type "A1" unless noted otherwise.
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- Furnish and install wood blocking or metal backing plate in stud partitions for anchorage of wall attached items and wall finishes.
- RE: A001 for typical toilet accessories and mounting location information.

#### Floor Plan Keynotes - Tenant Interiors

- S.S. grab bars. Re: A001
- ADA height floor mounted toilet w/ automatic flush valves. Re: plumb.
- Wall mounted urinal w/ automatic flush valves. Re: plumb.
- Baby changing station, recessed mounted: Koala Kare KB111-SSRE. Provide blocking.
- Janitor sink, faucet, & mop hanger. Re: plumb.
- Semi-recessed fire extinguisher cabinet and class A fire extinguisher.
- Wall mounted class K fire extinguisher.
- Under counter class A fire extinguisher.
- 1'-10" w x 9'-0" h Blackened steel wood storage box.
- 6" c.i.p. concrete platform. Provide cement backer board (in lieu of gyp. bd.) where raised slab meets stud wall.
- Floor trough. Re: plumb, kitchen.
- Wall mounted instant hot water heaters. Re: plumb.
- Steel firewood storage box.
- Provide plywood finish per finish plan atop PTD gyp board wall. Face of framing to align with face of concrete below. No chamfer in concrete under this wall.
- Blackened steel guard rail with WD1 top rail at 42". Rail to be bolted to concrete slab on Level one and bolted to wood floor at the Mezzanine, provide blocking in floor framing as necessary.
- Existing steel column. Ptd, P4.
- Blackened steel handrail. 1/2" x 1.5" flat stock steel. Top of rail to be at 36" A.F.F. Bolted to concrete slab.
- 2 1/2" thick wide WD2 divider panel between booths. Provided by booth MFR, coord. with arch.
- C.I.P. accessible concrete ramp. Re: A101.
- Wall sconce. Re: A151, Elec.
- Thin brick wall finish. Re: A701
- Partial height wall. Re: A701 for wall finish.
- Owner Furnished, contractor installed 36" diam red brushed stainless steel pin mounted sign on WP1 wall. Sign to be RDG logo, coord with owner.
- Wood Stair w/ closed risers. 17 treads @ 11" ea. and 18 risers @ 6.67" ea. = 10'-0"
- Turn wood flooring down face of wall approximately 11'-3/4". Align bottom of wood flooring with bottom of top wood tread at stair.
- Provide 5/8" osb sheathing beneath FRP wall finish, floor to ceiling or as indicated by partition type.
- Provide 1/8" steel plate at end wall between wall framing and aluminum storefront.
- Blackened steel guard rail with WD1 top rail at 42". Rail to be bolted to wood treads. Provide 1/2" x 1.5" flat stock steel hand rail on stair side mounted to vertical pickets of guard rail w/ 1/2" x 1" blackened steel L bracket.
- 1/2" x 1.5" flat stock blackened steel hand rail mounted to wall w/ 1/2" x 1" blackened steel L bracket.



#### Keynote Legend - Restrooms

Note: provide wood blocking behind wall mounted restroom accessories, typ.

- S.S. grab bars. Re: A001
- Floor mounted toilet, American Standard Madera 3043.001. ADA height, w/ automatic flush valves. Re: plumb.
- Wall mounted urinal, American Standard Decorum 6042.001. w/ automatic flush valves. Re: plumb.
- Baby changing station, recessed mounted: Koala Kare KB110-SSRE. Provide blocking.
- Quartz trough sink, Q22
- Toilet paper holder, Bobrick B-2888, typ.
- Sanitary napkin disposal (at wom's m's), Bobrick B-254, typ.
- S.S. soap dispenser Bobrick B-2112, typ.
- Recessed light, Re: A151, elec.
- Elec. hand dryer, Bobrick B-7188, typ.
- Mirror

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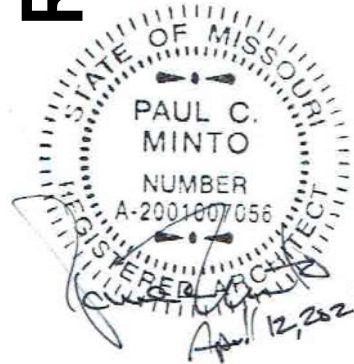
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Floor Plans - Tenant Interiors

A105  
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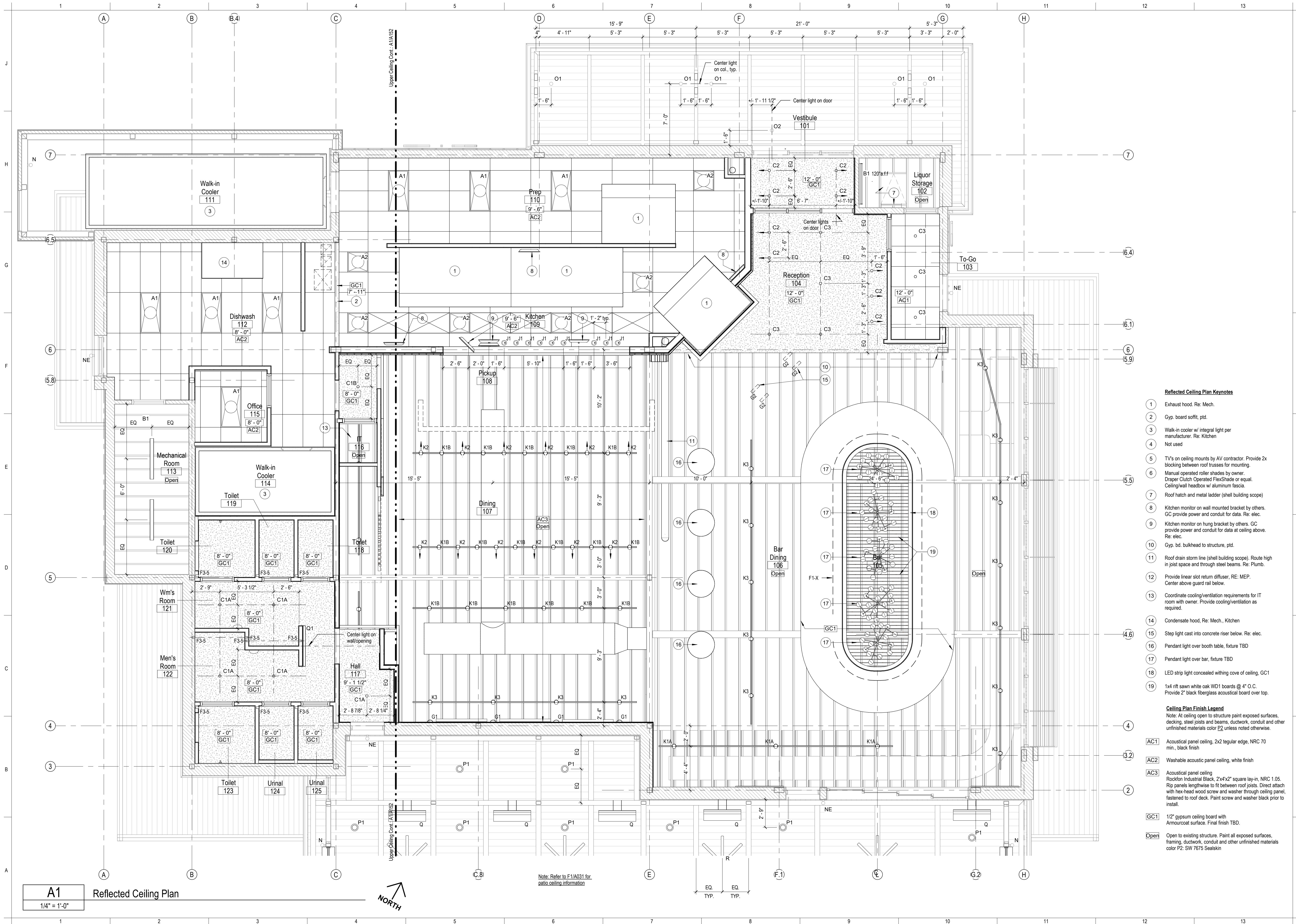
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Lee's Summit, MO 64081





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Reflected Ceiling Plan Keynotes

- Exhaust hood. Re: Mech.
- Gyp. board soffit, pld.
- Walk-in cooler w/ integral light per manufacturer. Re: Kitchen
- Not used
- TV's on ceiling mounts by AV contractor. Provide 2x blocking between roof trusses for mounting.
- Manual operated roller shades by owner. Draper Clutch Operated FlexShade or equal. Ceiling/wall headbox w/ aluminum fascia.
- Roof hatch and metal ladder (shell building scope)
- Kitchen monitor on wall mounted bracket by others. GC provide power and conduit for data. Re: elec.
- Kitchen monitor on hung bracket by others. GC provide power and conduit for data at ceiling above. Re: elec.
- Gyp. bd. bulkhead to structure, pld.
- Roof drain storm line (shell building scope). Route high in joist space and through steel beams. Re: Plumb.
- Provide linear slot return diffuser. RE: MEP. Center above guard rail below.
- Coordinate cooling/ventilation requirements for IT room with owner. Provide cooling/ventilation as required.
- Condensate hood, Re: Mech., Kitchen
- Step light cast into concrete riser below. Re: elec.
- Pendant light over booth table, fixture TBD
- Pendant light over bar, fixture TBD
- LED strip light concealed withing cove of ceiling. GC1
- 1x4 rift sawn white oak WD1 boards @ 4" O.C. Provide 2" black fiberglass acoustical board over top.

Ceiling Plan Finish Legend

Note: All ceiling open to structure paint exposed surfaces, decking, steel joists and beams, ductwork, conduit and other unfinished materials color P2 unless noted otherwise.

- AC1 Acoustical panel ceiling, 2x2 tegular edge, NRC 70 min., black finish
- AC2 Washable acoustic panel ceiling, white finish
- AC3 Acoustical panel ceiling Rockfon Industrial Black, 2'x4'x2" square lay-in, NRC 1.05. Rip panels lengthwise to fit between roof joists. Direct attach with hex-head wood screw and washer through ceiling panel, fastened to roof deck. Paint screw and washer black prior to install.
- GC1 1/2" gypsum ceiling board with Armourcoat surface. Final finish TBD.
- Open Open to existing structure. Paint all exposed surfaces, framing, ductwork, conduit and other unfinished materials color P2. SW 7675 Sealskin

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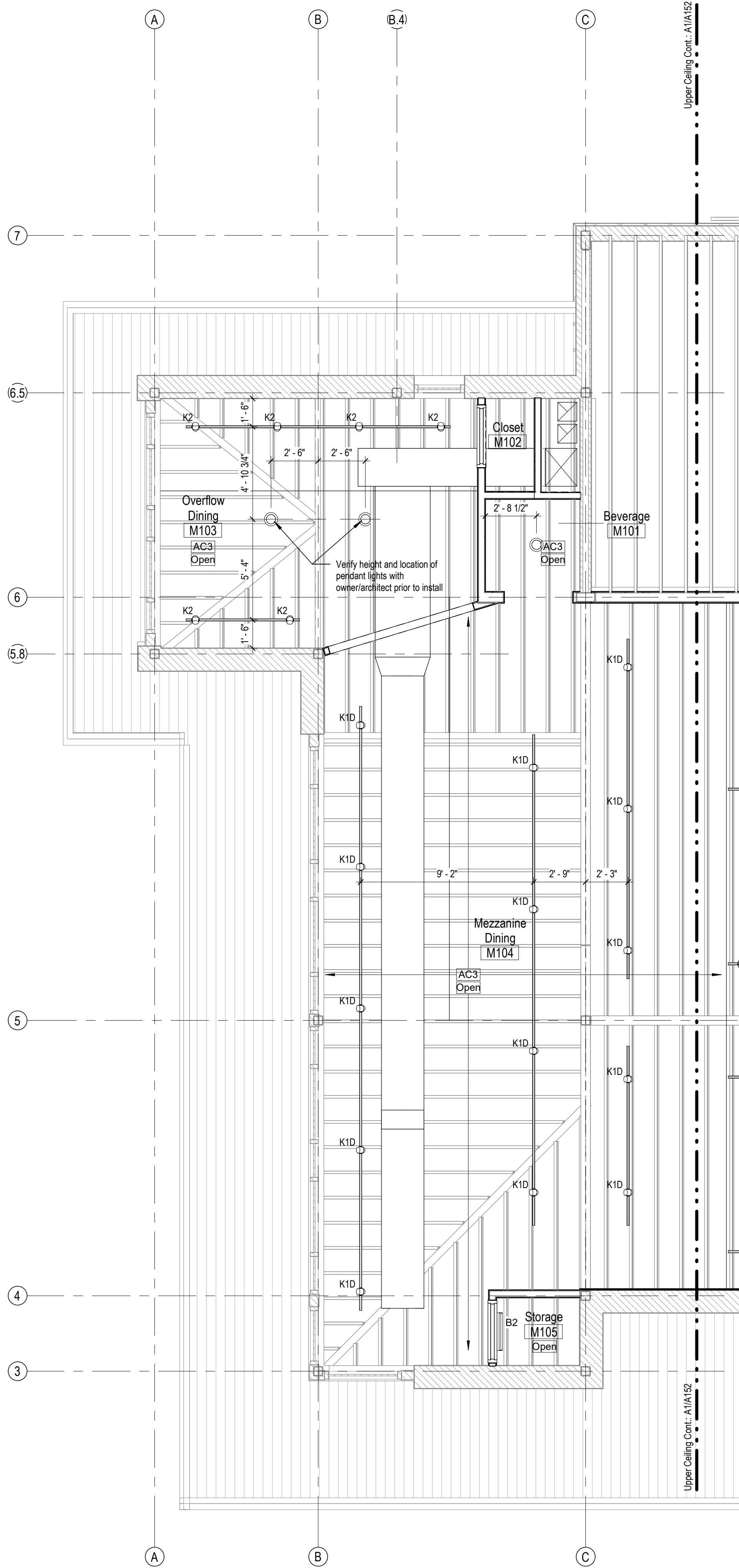
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Reflected Ceiling Plan

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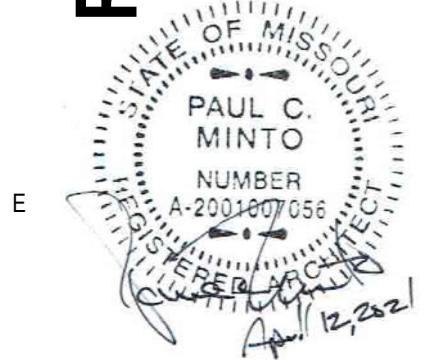


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**A1**  
1/4" = 1'-0"  
Reflected Ceiling Plan - Mezzanine

- Reflected Ceiling Plan Keynotes**
- Exhaust hood. Re: Mech.
  - Gyp. board soffit, ptd.
  - Walk-in cooler w/ integral light per manufacturer. Re: Kitchen
  - Not used
  - TV's on ceiling mounts by AV contractor. Provide 2x blocking between roof trusses for mounting.
  - Manual operated roller shades by owner. Draper Clutch Operated FlexShade or equal. Ceiling/wall headbox w/ aluminum fascia.
  - Roof hatch and metal ladder (shell building scope)
  - Kitchen monitor on wall mounted bracket by others. GC provide power and conduit for data. Re: elec.
  - Kitchen monitor on hung bracket by others. GC provide power and conduit for data at ceiling above. Re: elec.
  - Gyp. bd. bulkhead to structure, ptd.
  - Roof drain storm line (shell building scope). Route high in joist space and through steel beams. Re: Plumb.
  - Provide linear slot return diffuser, RE: MEP. Center above guard rail below.
  - Coordinate cooling/ventilation requirements for IT room with owner. Provide cooling/ventilation as required.
  - Condensate hood, Re: Mech., Kitchen
  - Step light cast into concrete riser below. Re: elec.
  - Pendant light over booth table, fixture TBD
  - ~~Reflected Ceiling Plan~~ TBD  
Note: At ceiling open to structure paint exposed surfaces, ~~provide sealant at ceiling cover and around~~ other unfinished materials color E2 unless noted otherwise.
  - 1x4 rift sawn white oak WD1 boards @ 4" O.C. Provide sealant at ceiling cover and around other unfinished materials color E2 unless noted otherwise. Provide sealant at ceiling cover and around other unfinished materials color E2 unless noted otherwise.
  - Washable acoustic panel ceiling, white finish
  - Acoustical panel ceiling  
Rockfon Industrial Black, 2'x4'x2" square lay-in, NRC 1.05. Rip panels lengthwise to fit between roof joists. Direct attach with hex-head wood screw and washer through ceiling panel, fastened to roof deck. Paint screw and washer black prior to install.
  - 1/2" gypsum ceiling board with Armourcoat surface. Final finish TBD.
  - Open to existing structure. Paint all exposed surfaces, framing, ductwork, conduit and other unfinished materials color P2: SW 7675 Sealskin



**food service**  
TriMark Hockenbergs  
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Overland Park, Kansas 66212  
p. 913.945.2490

**mechanical, electrical, and plumbing**  
Welch and Mitchell  
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913.544.1627

**structural**  
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816.531.4144

**civil**  
SM Engineering  
5507 High Meadow Circle  
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**architectural**  
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4523 Mercier Street  
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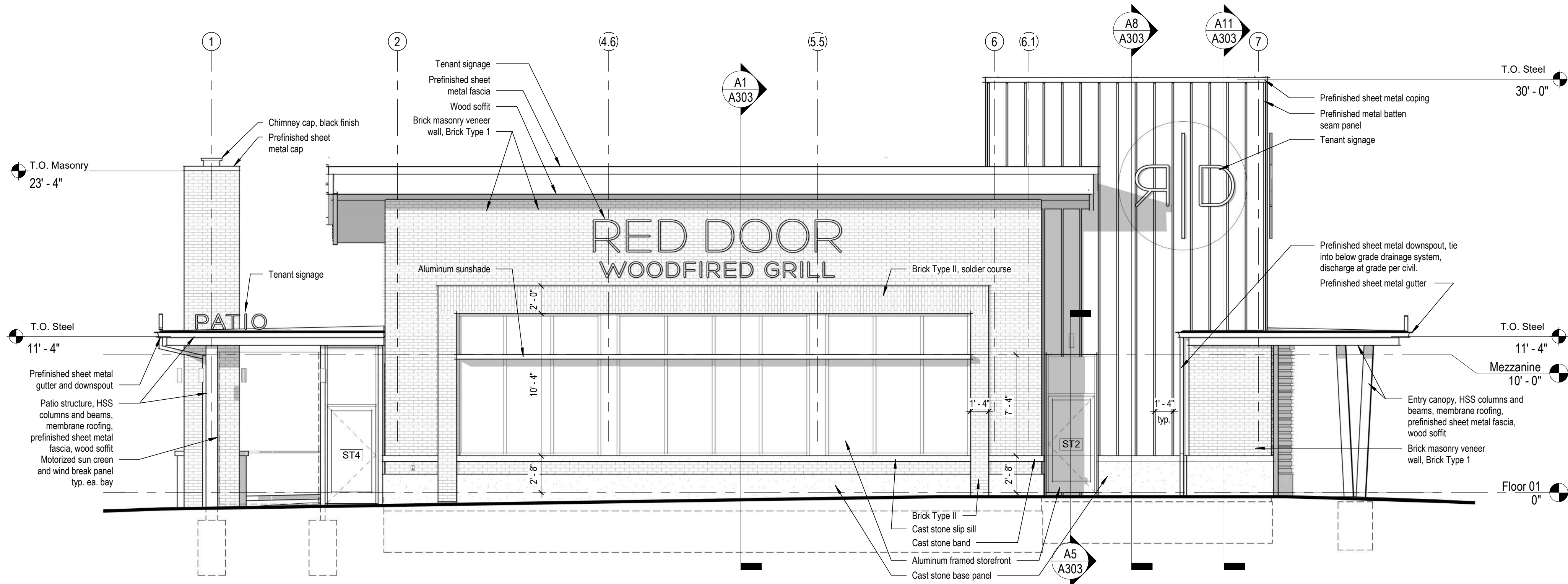
PROJECT NUMBER:	20-033
ISSUE DATE:	10 March 2021
REVISIONS	DATE



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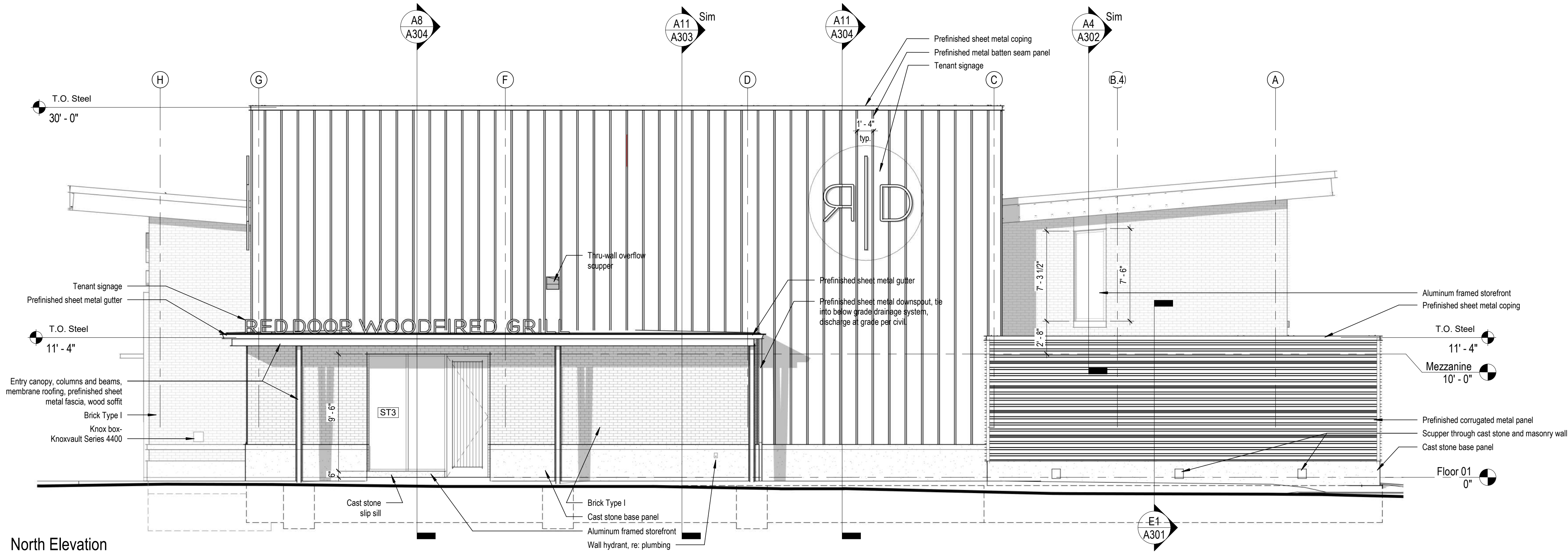
**E1**  
3/16" = 1'-0"

East Elevation



**A1**  
3/16" = 1'-0"

North Elevation



**Exterior Finish Basis of Design Products:**

Aluminum Framed Storefront  
Mfg: Tubelite  
Style: T14000  
Color: Black anodized  
Size: 2' x 4 1/2' center set  
Note: 1" IGU, low-E

Aluminum Sunshade  
Mfg: Tubelite  
Style: Maxblock Sunshade Z-Blade  
Color: Black anodized  
Size: 30' projection, 5-1/4" blade

Brick Type I  
Mfg: Hebron Brick Company  
Color: Sea Grey #6 (70%)  
Silverado (30%)  
Size: Modular  
Finish: Velour

Brick Type II  
Mfg: Hebron Brick Company  
Color: Sea Grey #6  
Size: Modular  
Finish: Velour

Brick Type III  
Mfg: Sioux City Brick  
Color: Ebonite Velour  
Size: Modular  
Finish: Velour

Paving Brick Type I  
Mfg: Yankee Hill  
Color: Dove Grey  
Pattern: Herringbone

Prefinished Metal Batten Seam Panel  
Mfg: Berridge  
Style: Batten Seam Panel  
Color: Matte Black  
Size: 24 ga. x 16" wide  
Note: Coping finish to match

Prefinished Corrugated Metal Panel  
Mfg: Berridge  
Style: HR-16 Panel  
Color: Zinc Grey  
Size: 24 ga. x 16" wide, 4" rib w/ 2" reveal

Wood Soffit  
Species: Douglas Fir  
Style: Tongue and groove  
Size: 1x6  
Finish: Stained

Fenced Enclosure and Gate  
Mfg: Ameristar  
Style: WireWorks Plus  
Panel: 4' tall, 2"x6" mesh, 3" v-fold, 6ga. wire  
Post: 2" sq. x 16ga.  
Finish: PermaCoat powder coated  
Color: Black

**food service**

TriMark Hockenbergs

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p. 913.945.2490

**mechanical, electrical, and**

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ISSUE DATE: 9 April, 2021

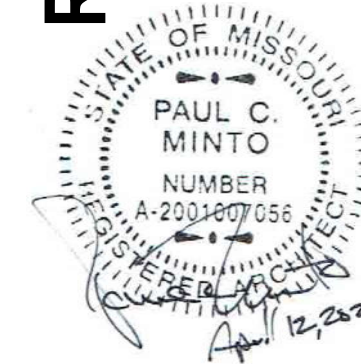
REVISIONS	DATE

Exterior Elevations

**A201**  
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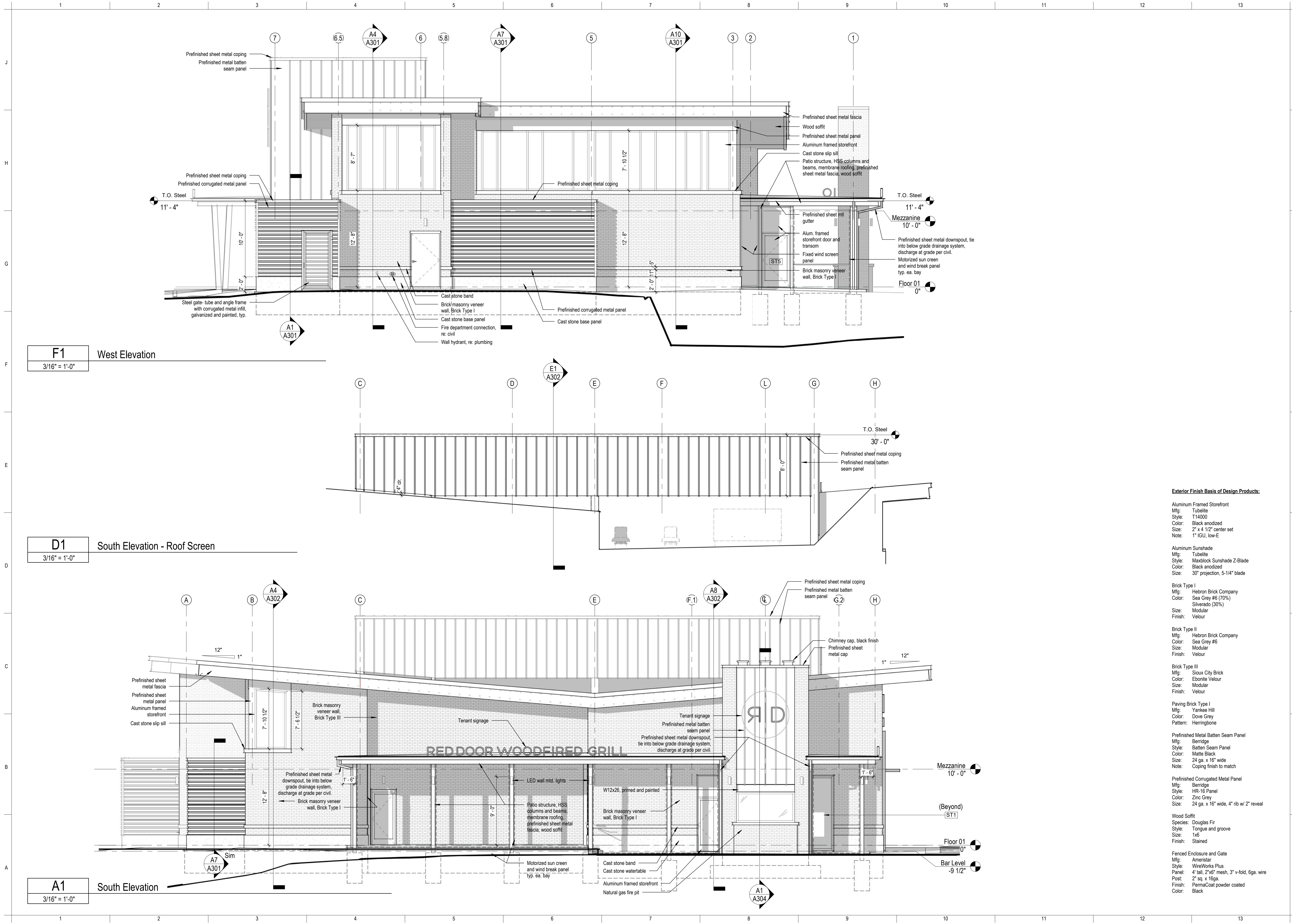
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**Red Door Grill - Lee's Summit**  
**Permit Set**  
2061 NW Lowenstein Dr.  
Lee's Summit, MO 64081





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Exterior Finish Basis of Design Products:

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Note: 1" IGU, low-E

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Mfg: Tubelite  
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Color: Black anodized  
Size: 30" projection, 5-1/4" blade

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Size: Modular  
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Mfg: Hebron Brick Company  
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Size: Modular  
Finish: Velour

Brick Type III  
Mfg: Sioux City Brick  
Color: Ebonite Velour  
Size: Modular  
Finish: Velour

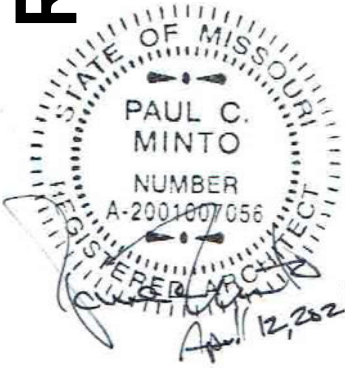
Paving Brick Type I  
Mfg: Yankee Hill  
Color: Dove Grey  
Pattern: Herringbone

Prefinished Metal Batten Seam Panel  
Mfg: Berridge  
Style: Batten Seam Panel  
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Note: Coping finish to match

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Color: Zinc Grey  
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Wood Soffit  
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Style: Tongue and groove  
Size: 1x6  
Finish: Stained

Fenced Enclosure and Gate  
Mfg: Ameristar  
Style: WireWorks Plus  
Panel: 4" tall, 2"x6" mesh, 3" v-fold, 6ga. wire  
Post: 2" sq. x 16ga.  
Finish: PermaCoat powder coated  
Color: Black



food service  
TriMark Hockenbergs

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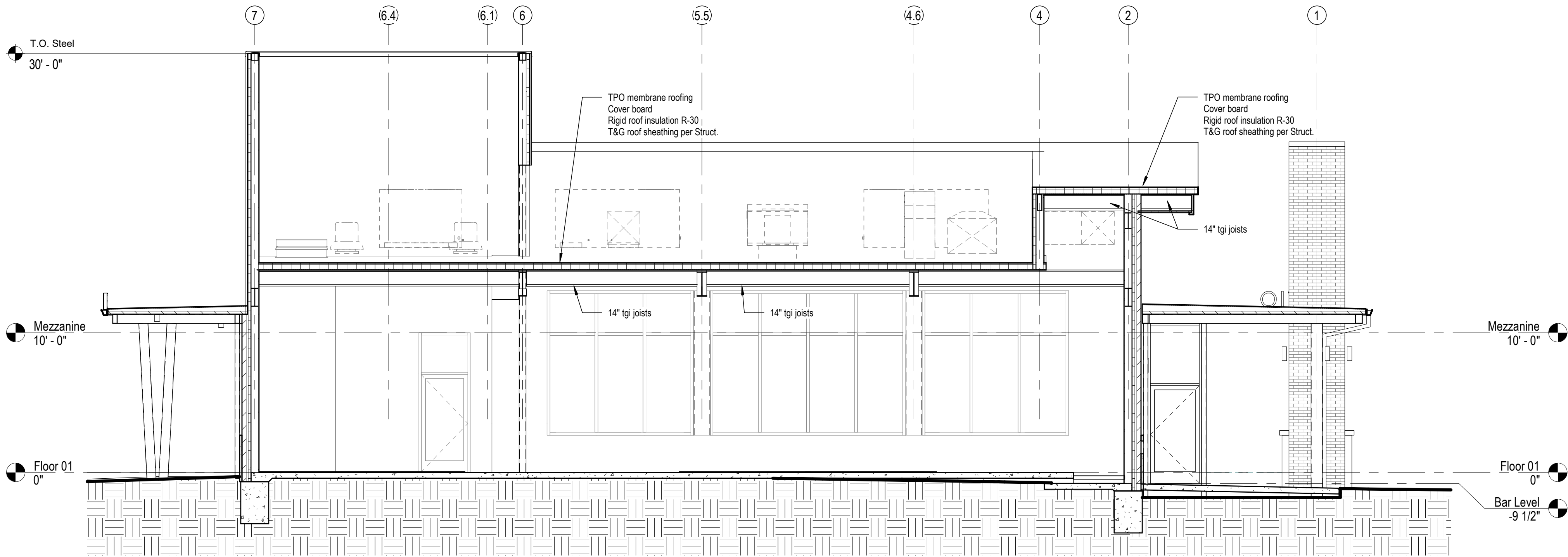
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REVISIONS DATE

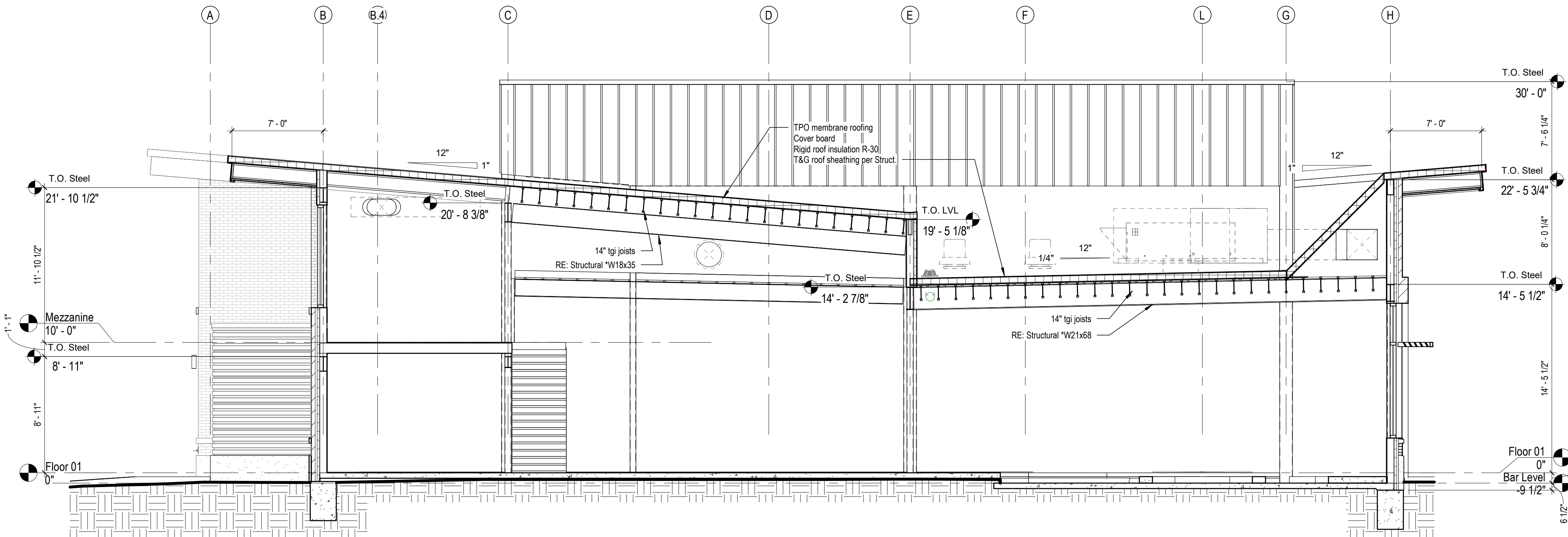

Exterior Elevations



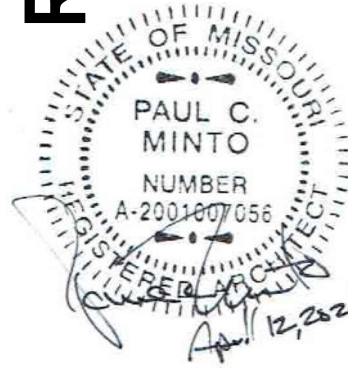
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**E1** Building Section  
3/16" = 1'-0"



**A1** Building Section  
3/16" = 1'-0"



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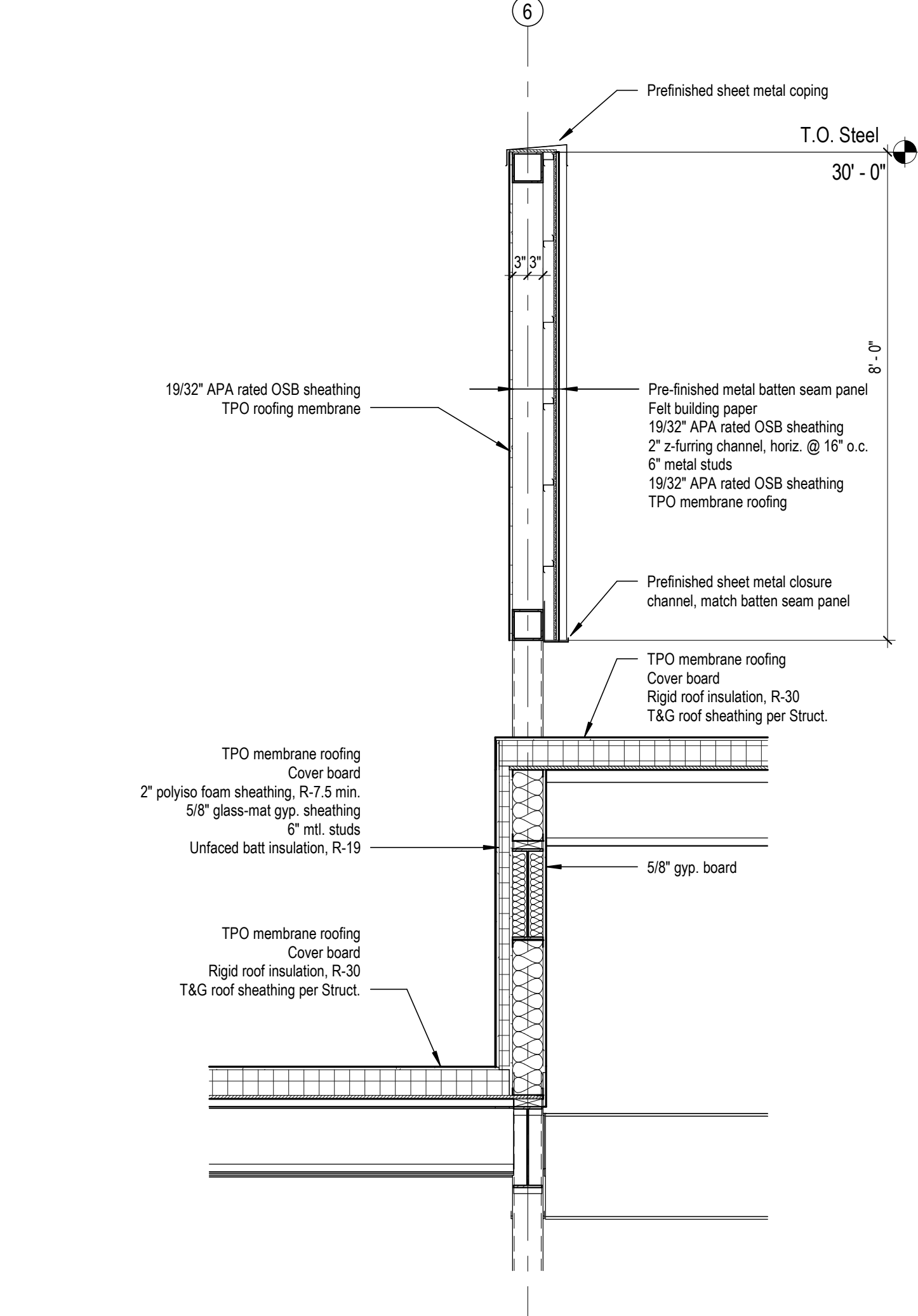
Building Sections



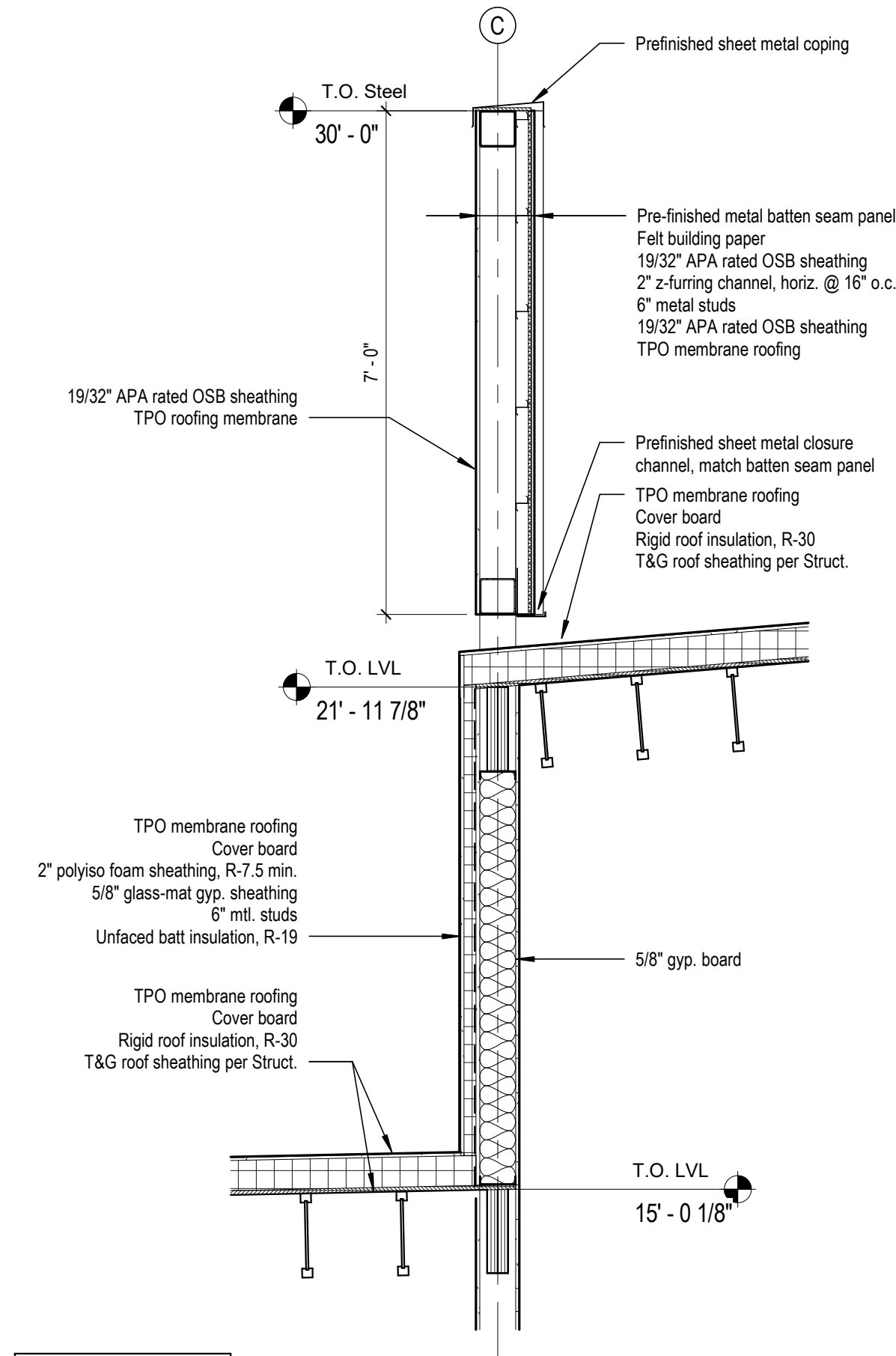




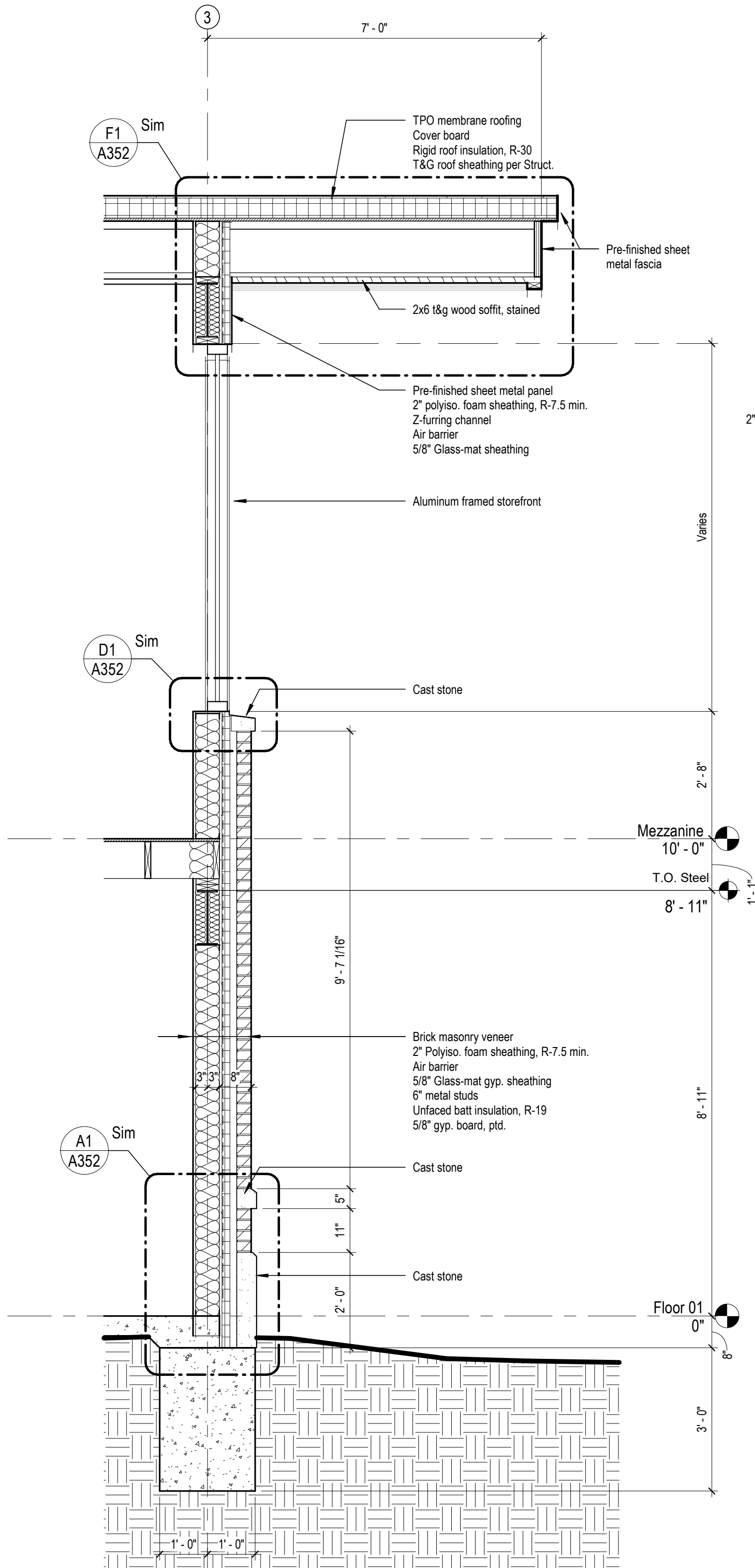
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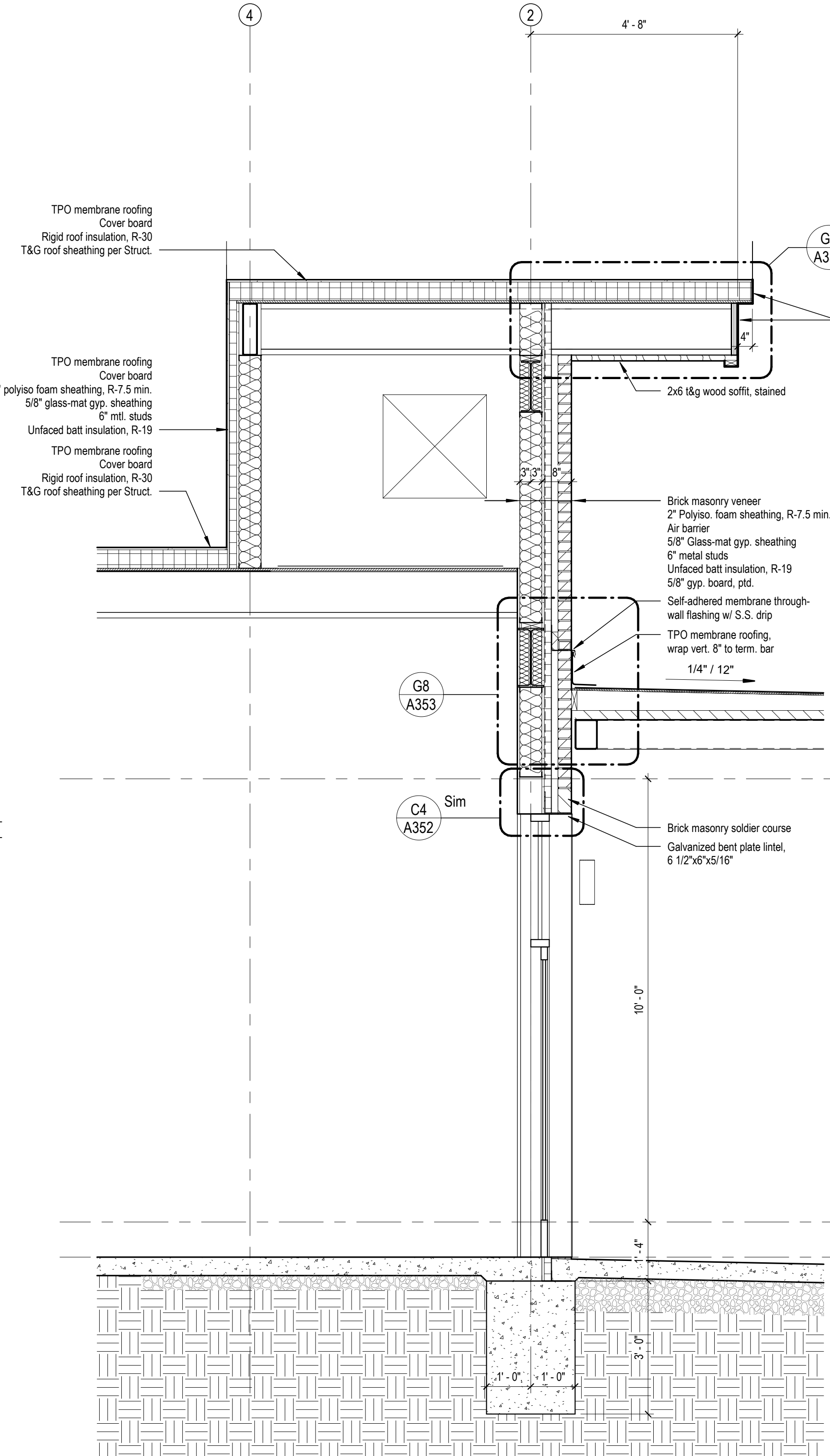
**E1**  
Wall Section  
1/2" = 1'-0"



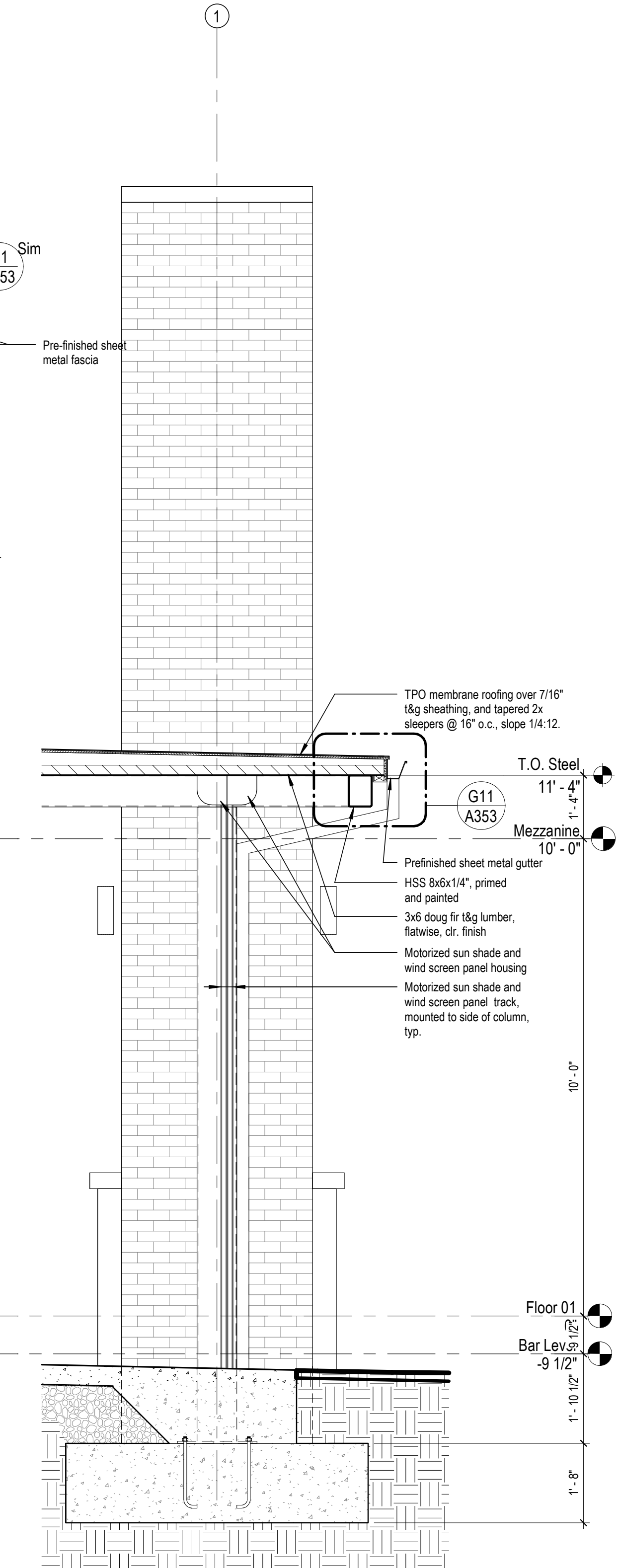
**A1**  
Wall Section  
1/2" = 1'-0"



**A4**  
Wall Section  
1/2" = 1'-0"



**A8**  
Wall Section  
1/2" = 1'-0"



Wall Sections



food service

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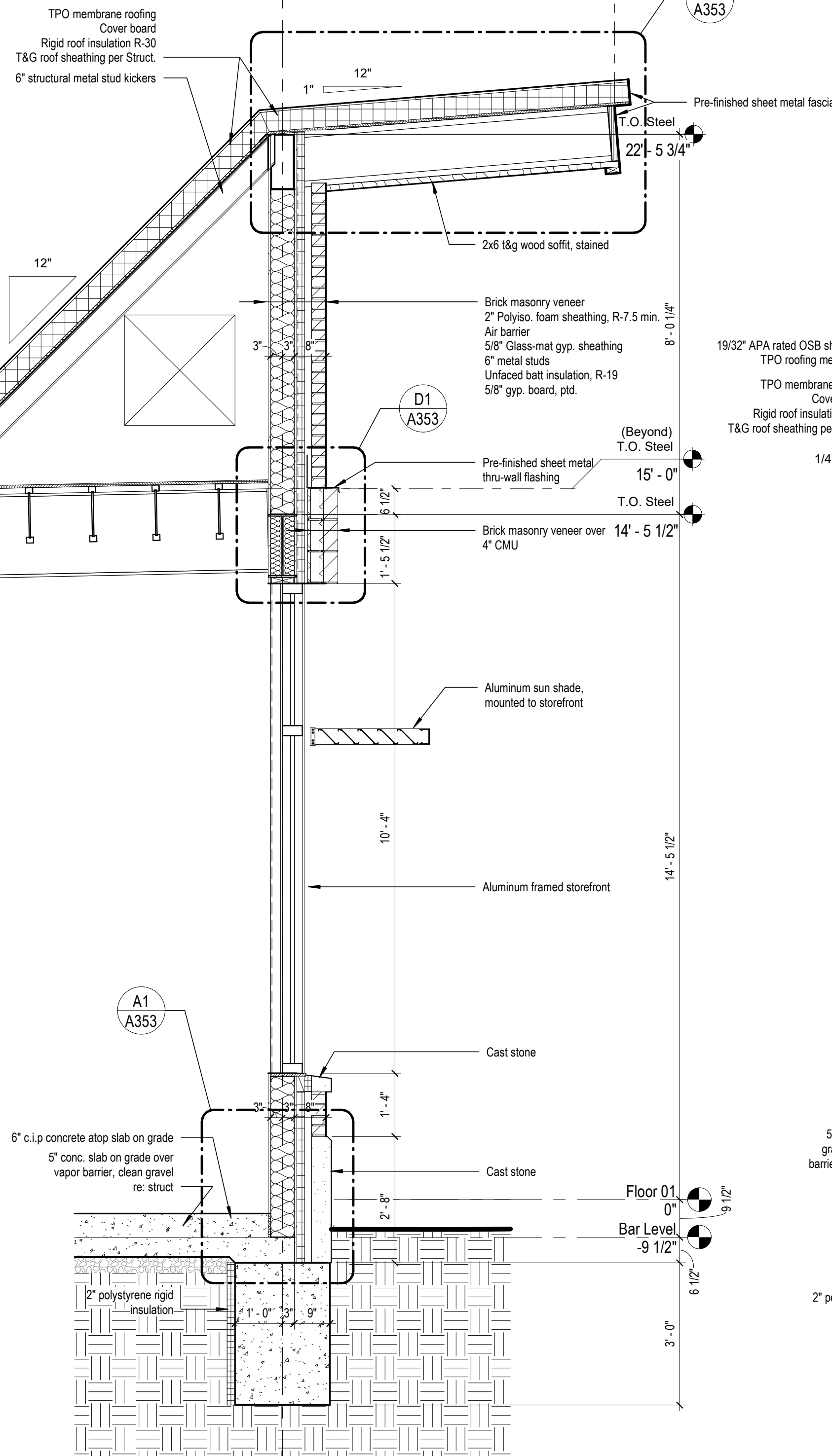
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PROJECT NUMBER: 20-03  
ISSUE DATE: 9 April 202

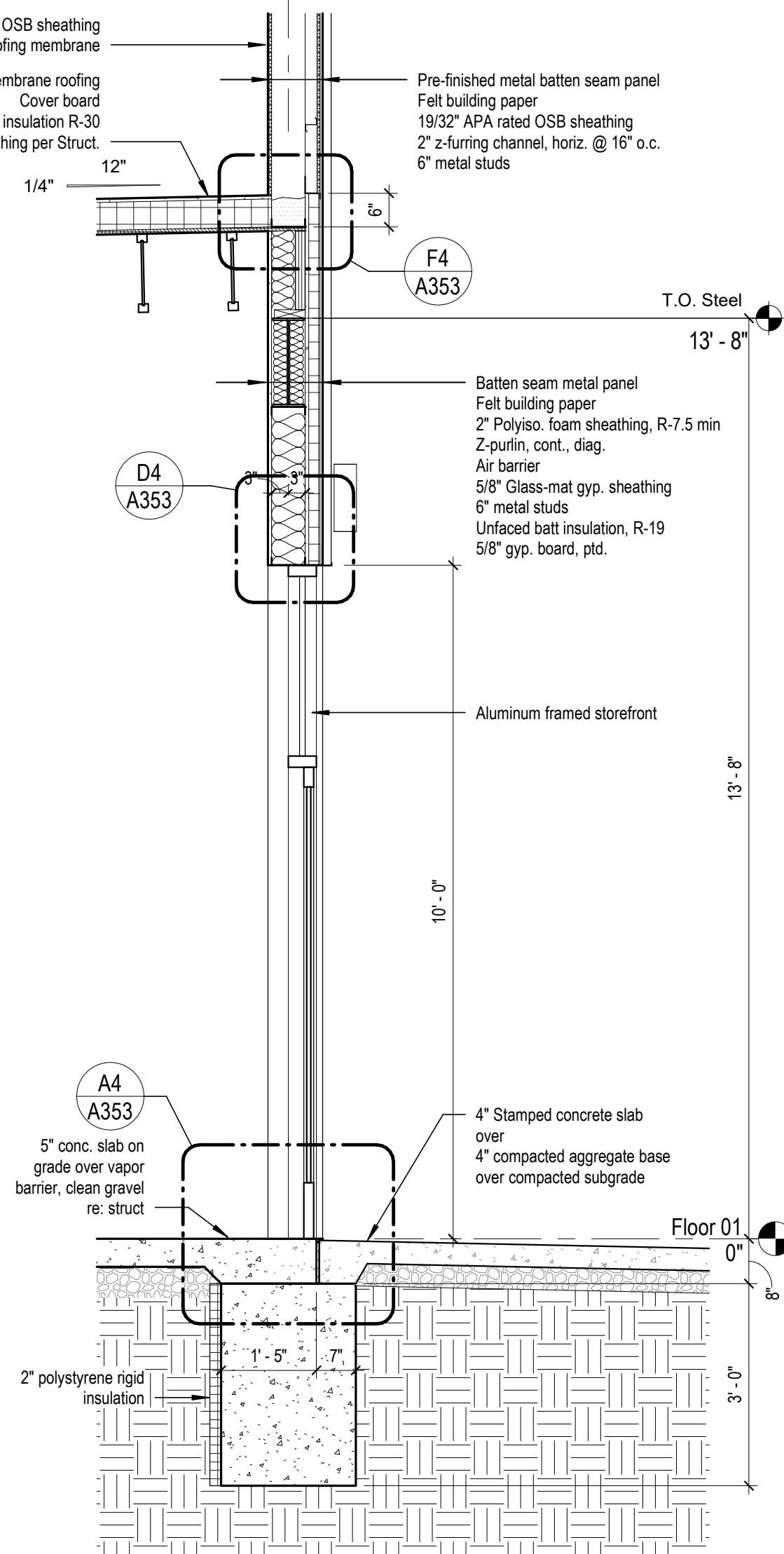
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### Wall Sections

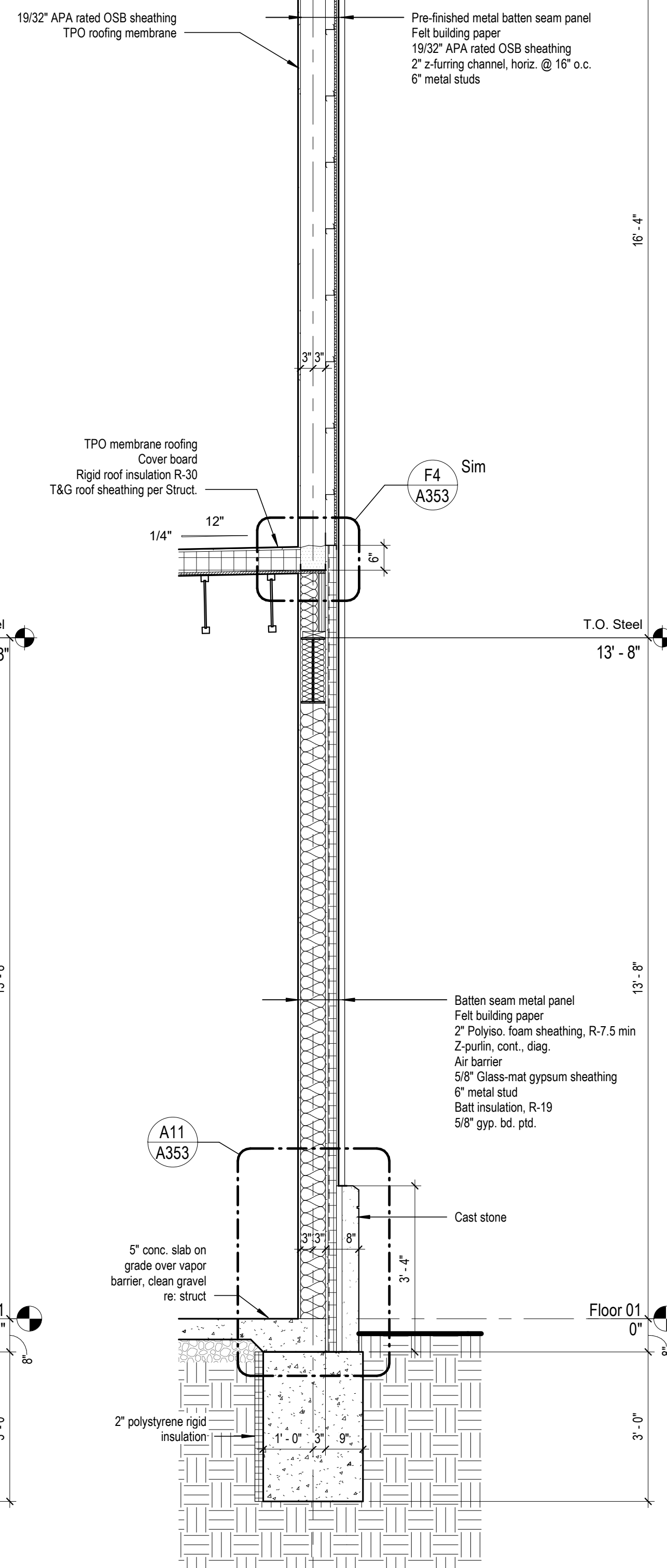
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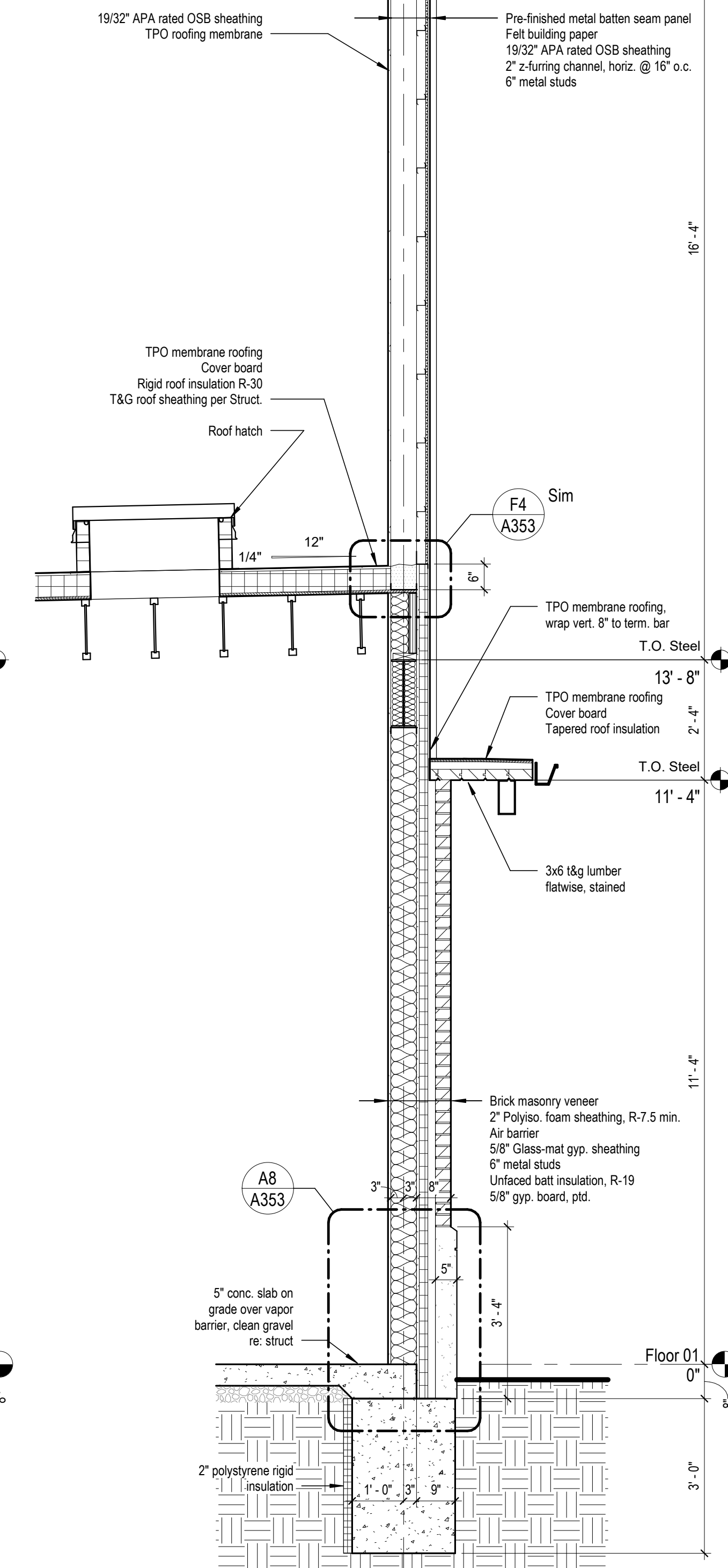
A1	Wall Section
1/2" = 1'-0"	



A5	Wall Section
1/2" = 1'-0"	



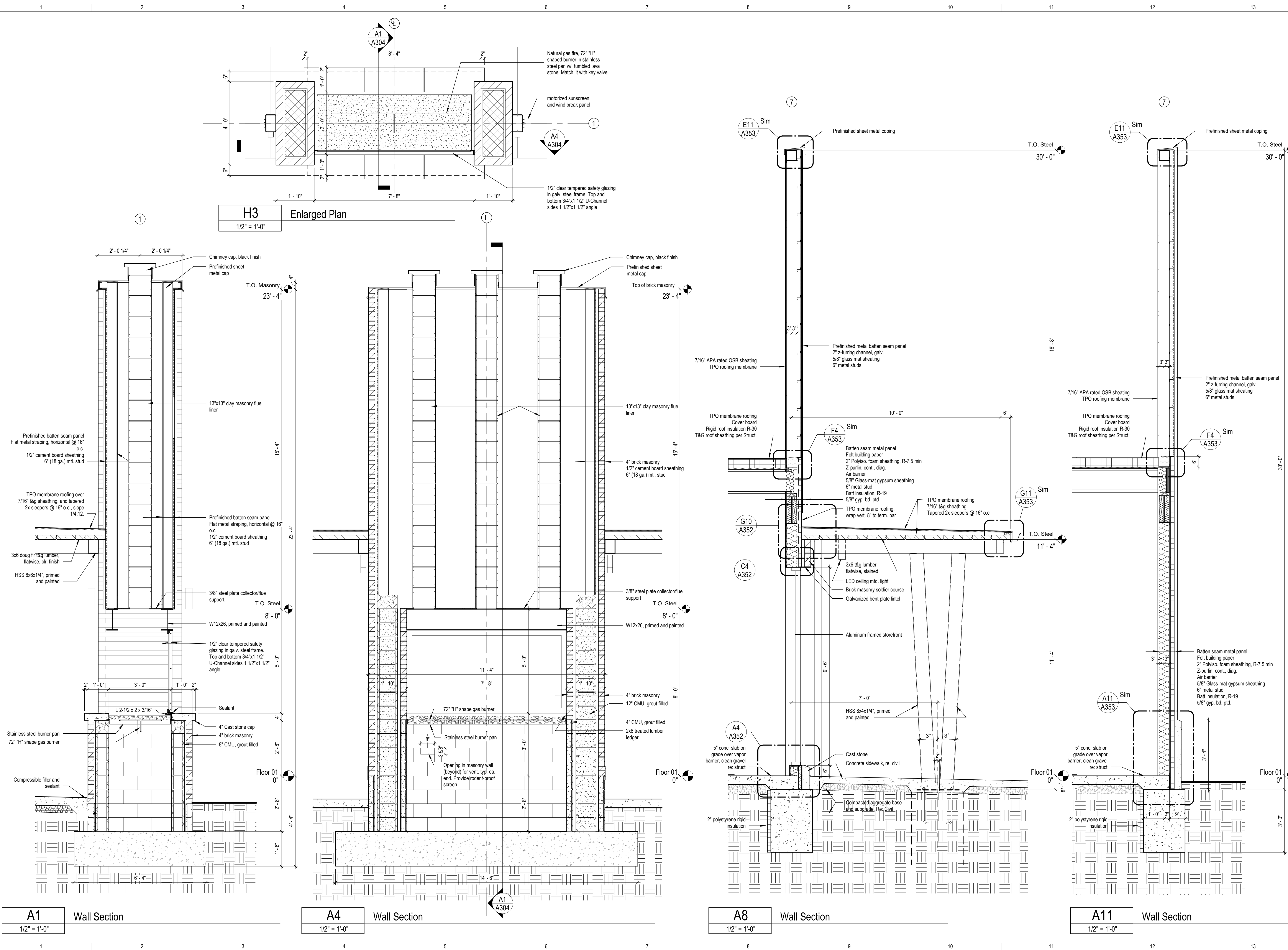
A8	Wall Section
1/2" = 1'-0"	



A11	Wall Section
1/2" = 1'-0"	



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**structural**  
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PROJECT NUMBER:	20-033
ISSUE DATE:	9 April, 2021
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Wall Sections

**A304**  
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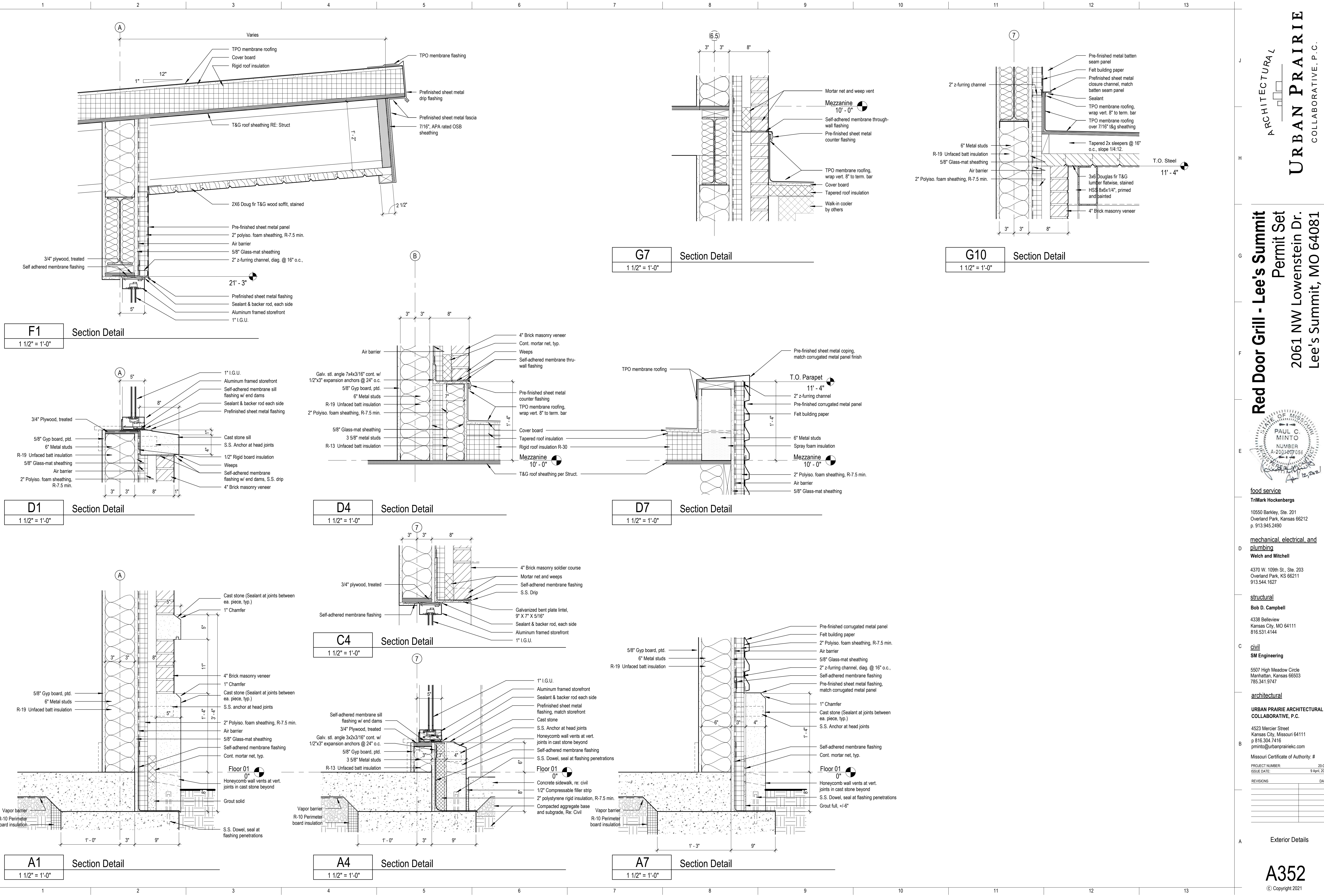
**Red Door Grill - Lee's Summit**  
**Permit Set**  
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Lee's Summit, MO 64081







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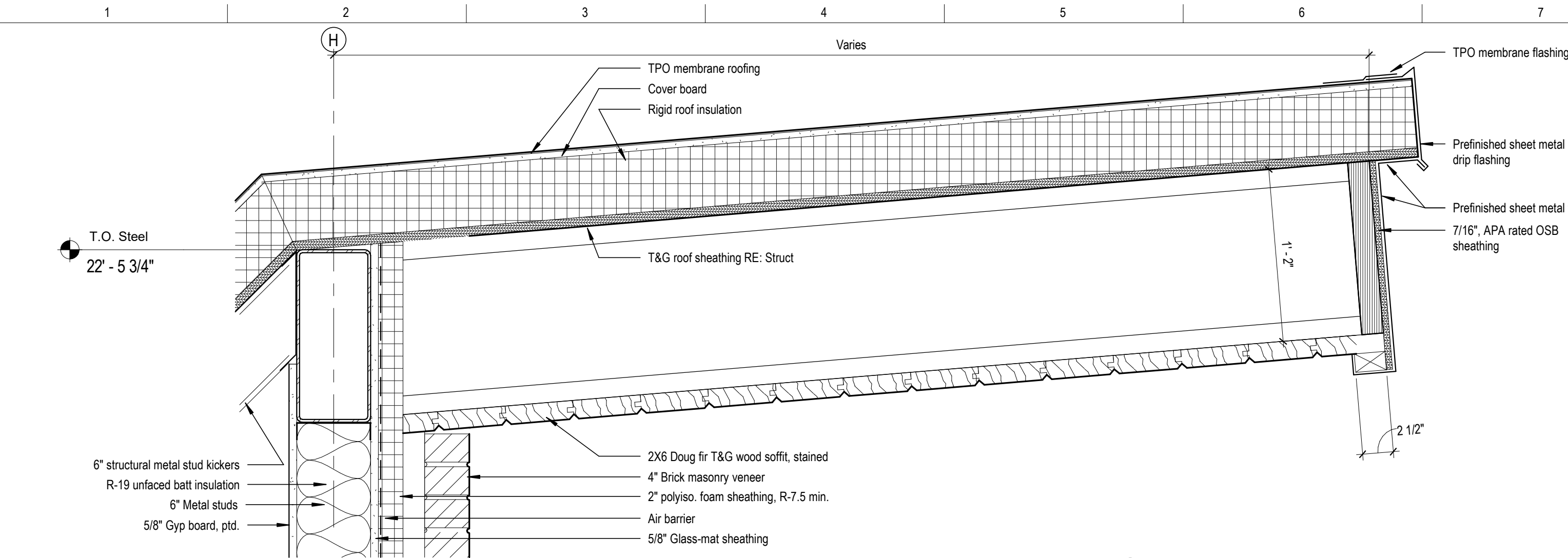
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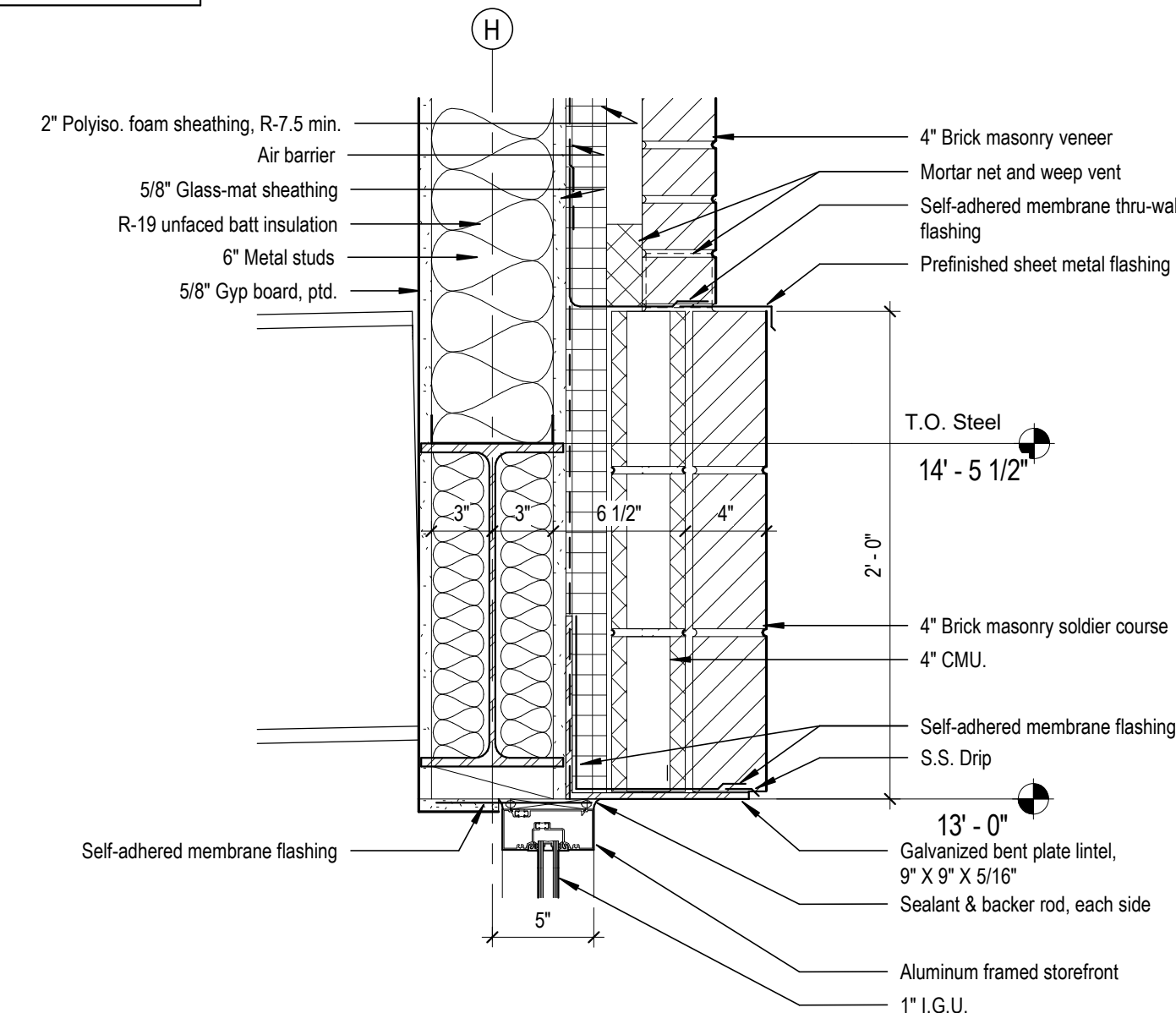
Exterior Details



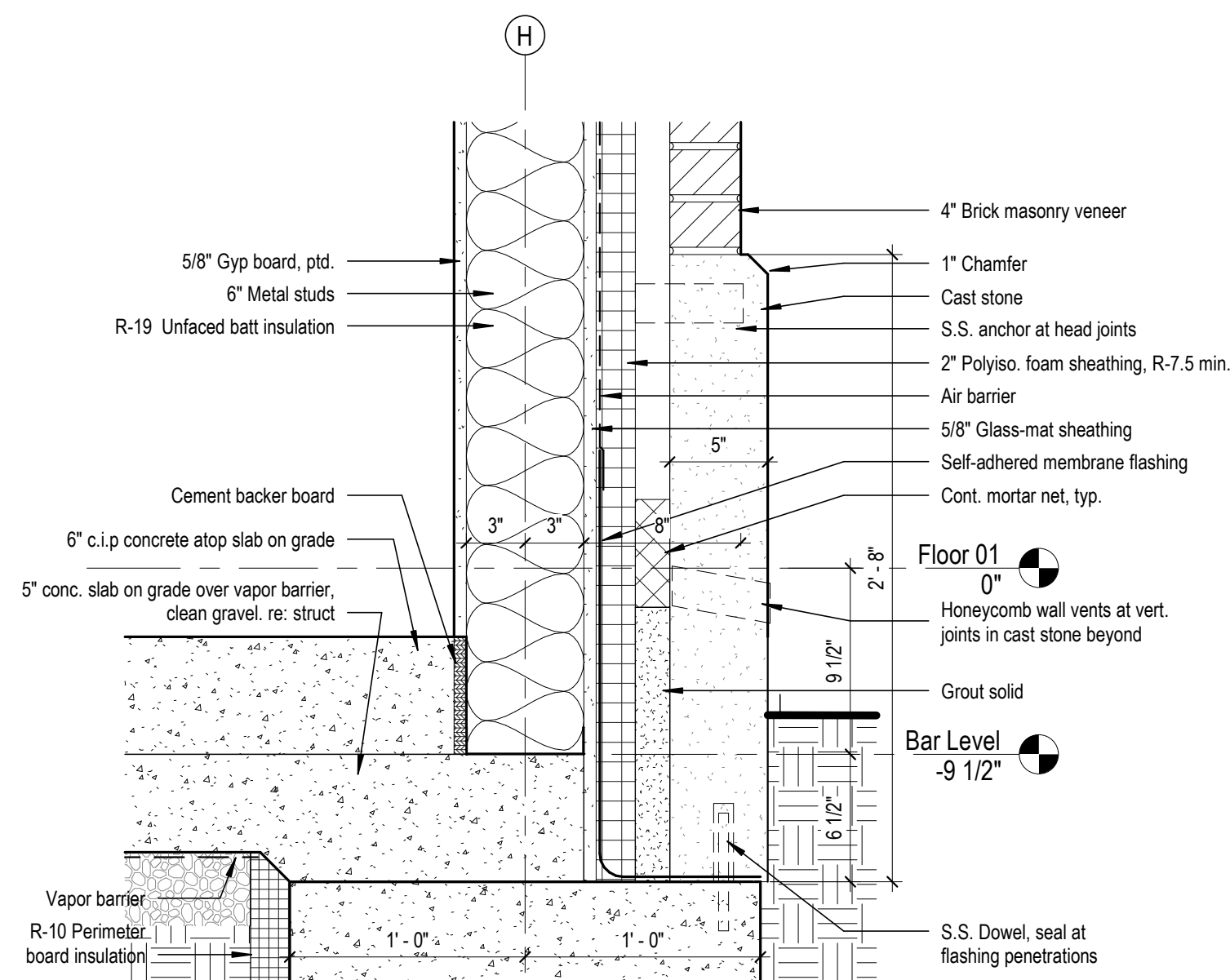
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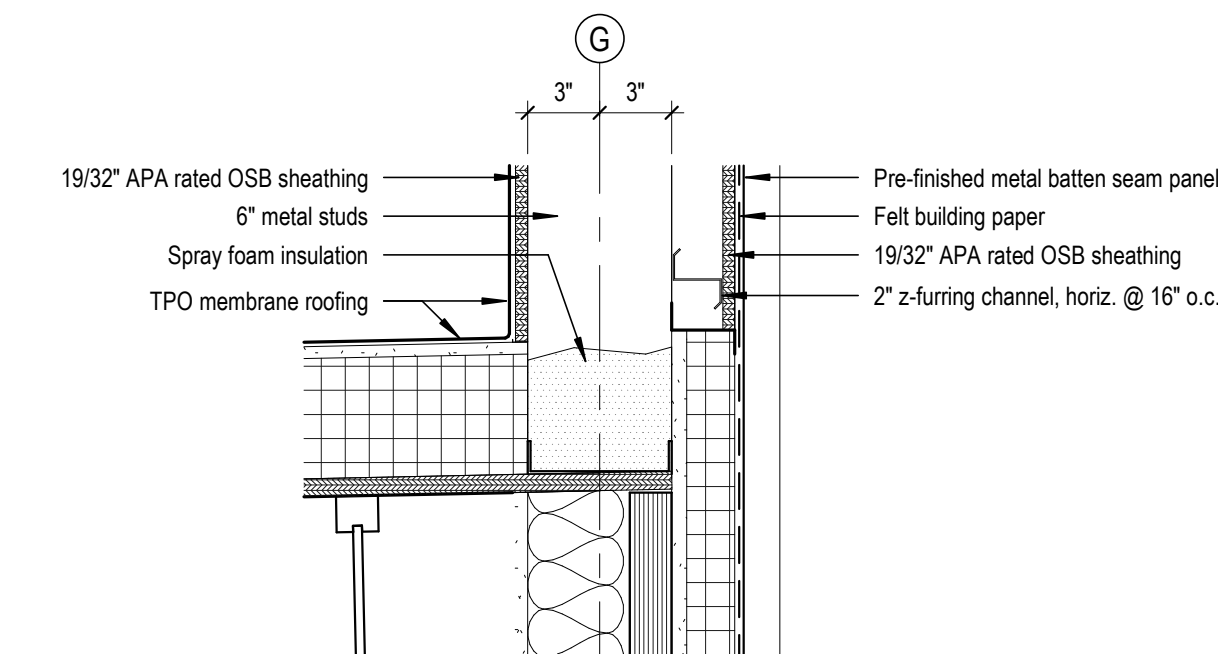
**G1** Section Detail  
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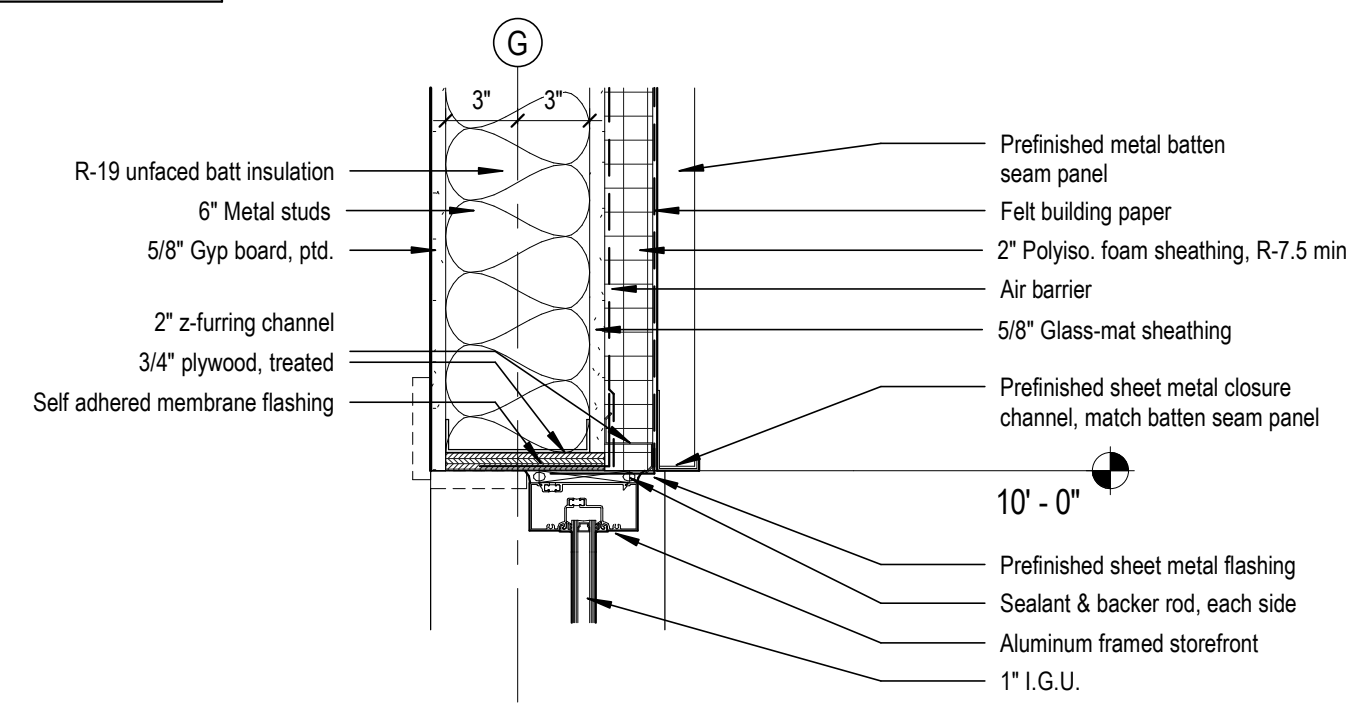
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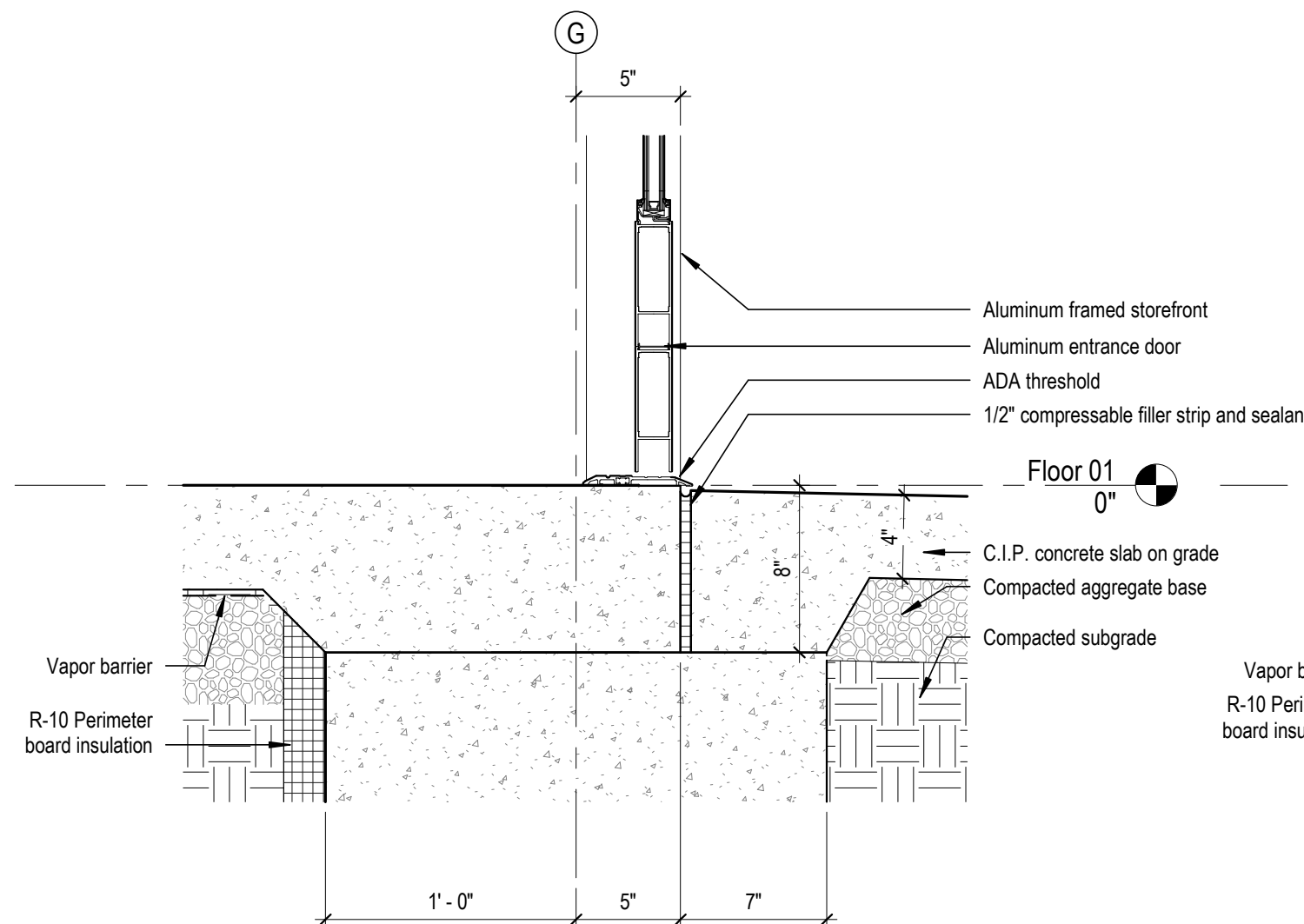
**A1** Section Detail  
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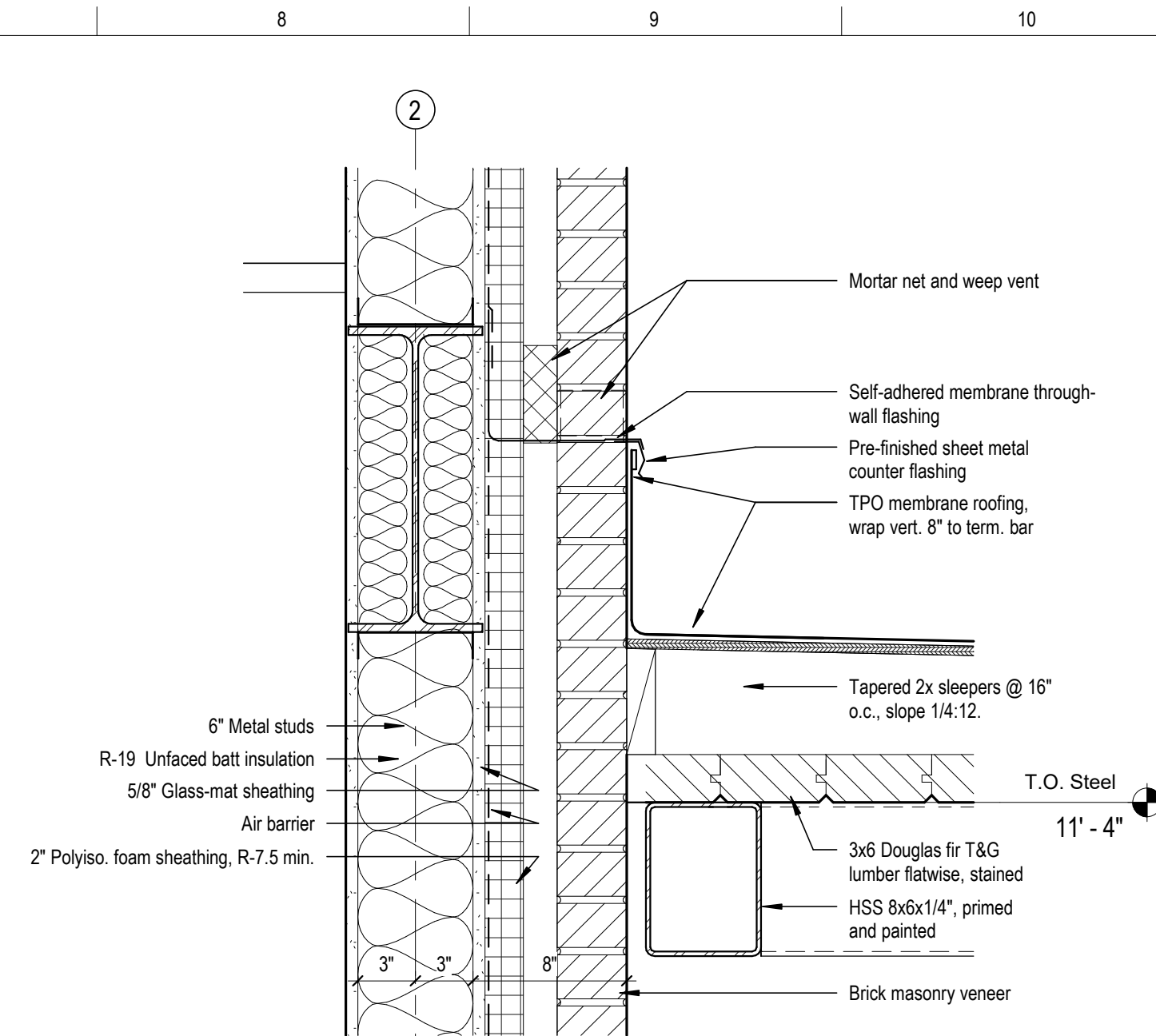
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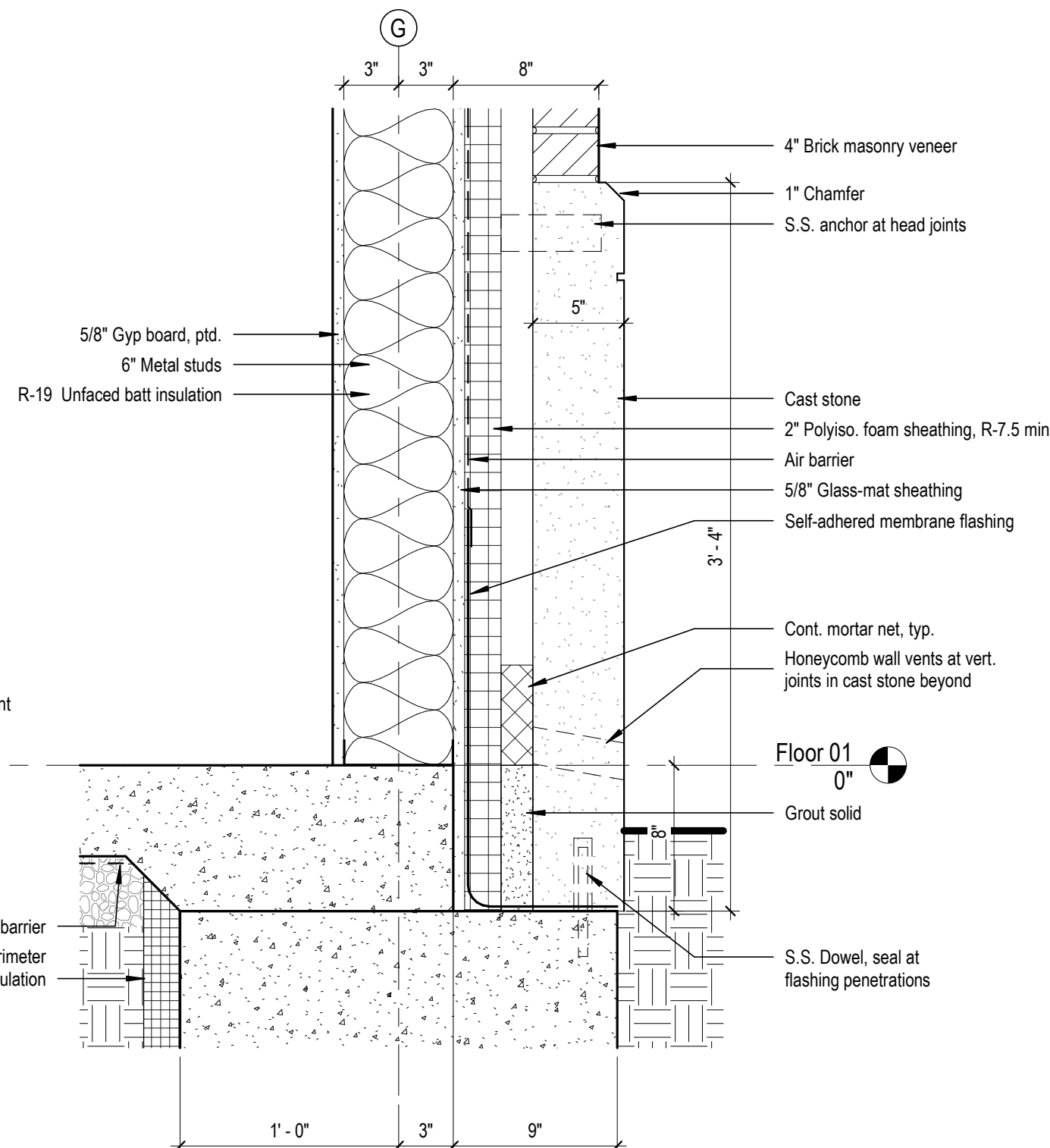
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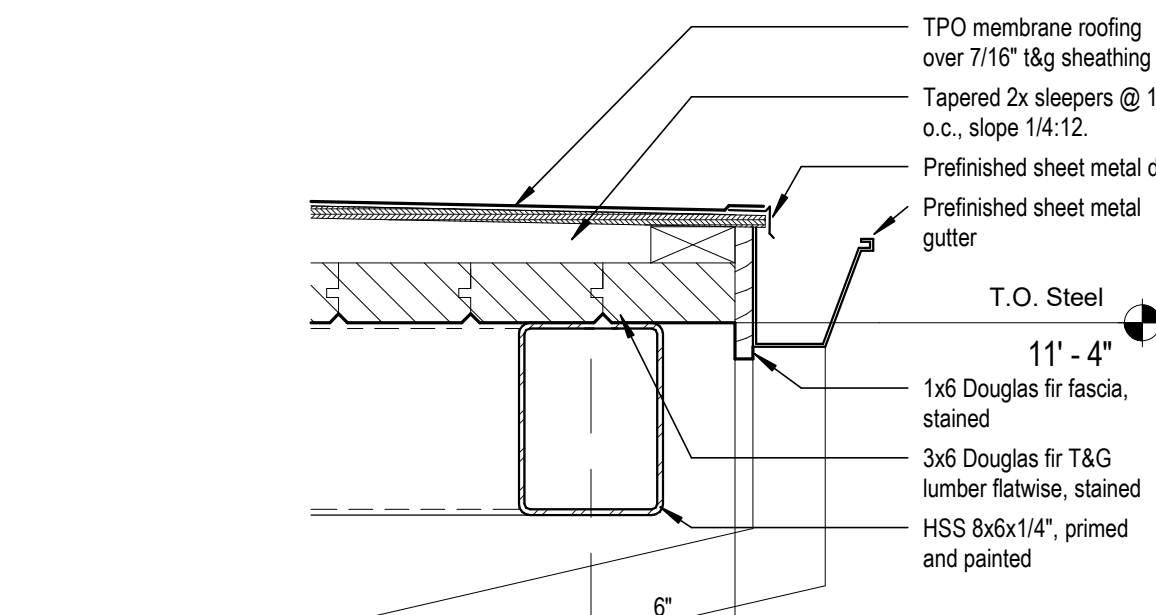
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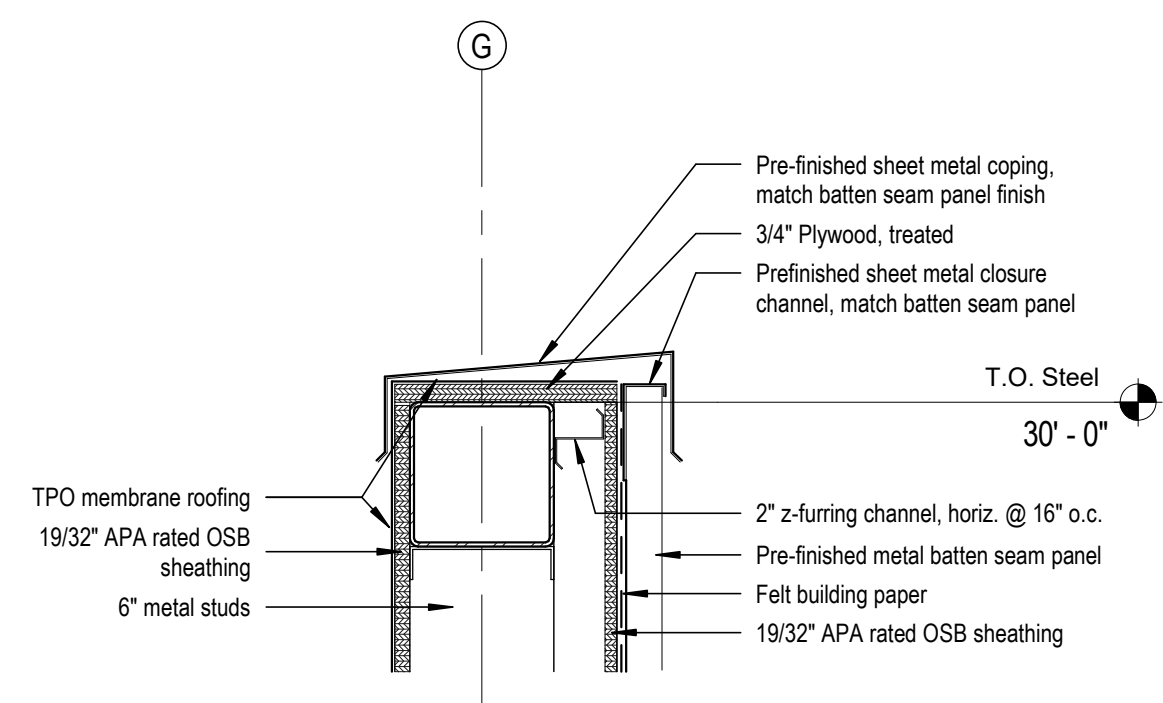
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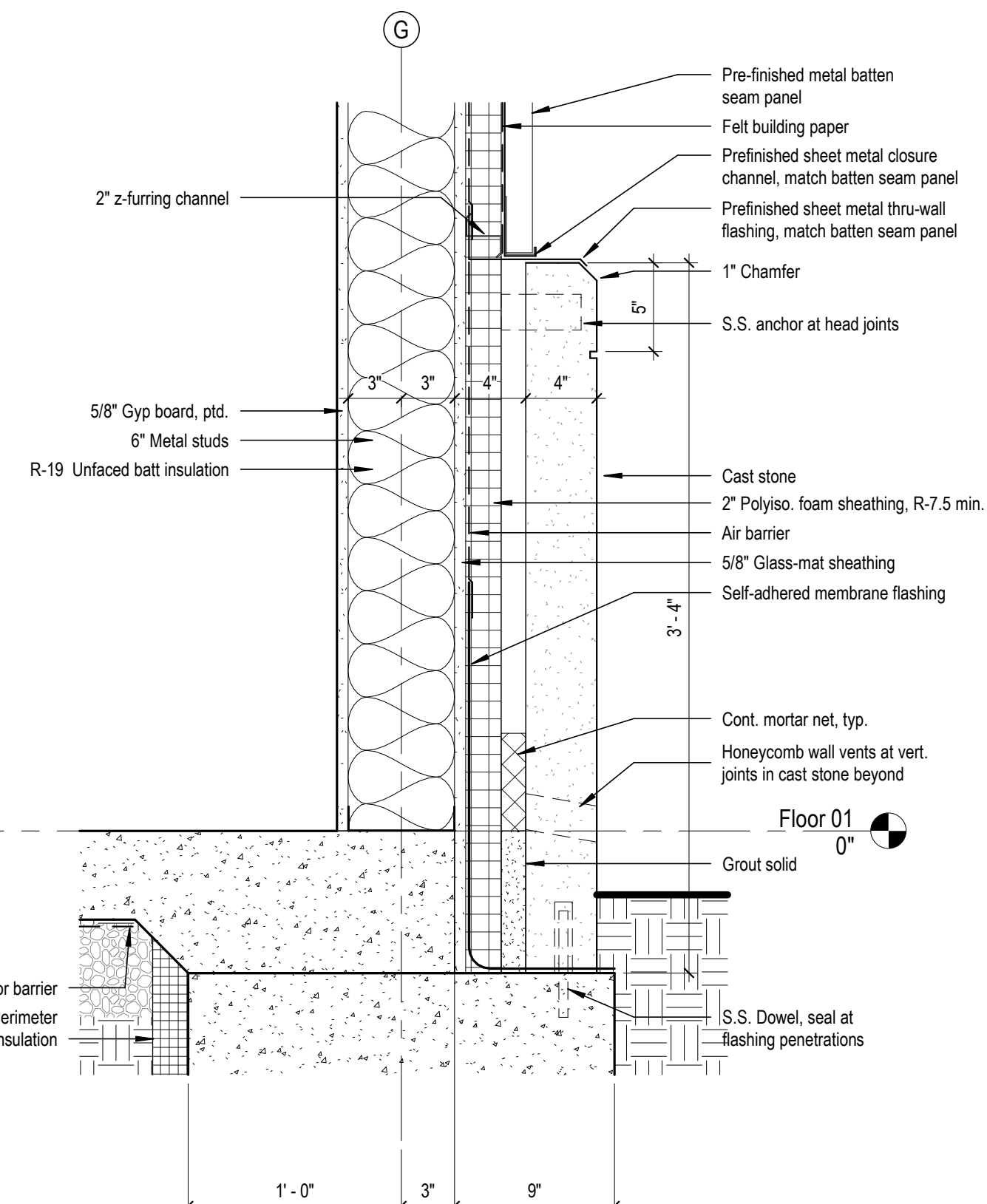
**A8** Section Detail  
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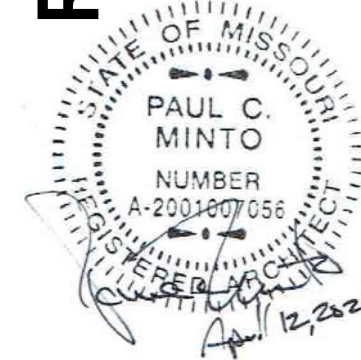
**G11** Section Detail  
1 1/2" = 1'-0"



**E11** Section Detail  
1 1/2" = 1'-0"

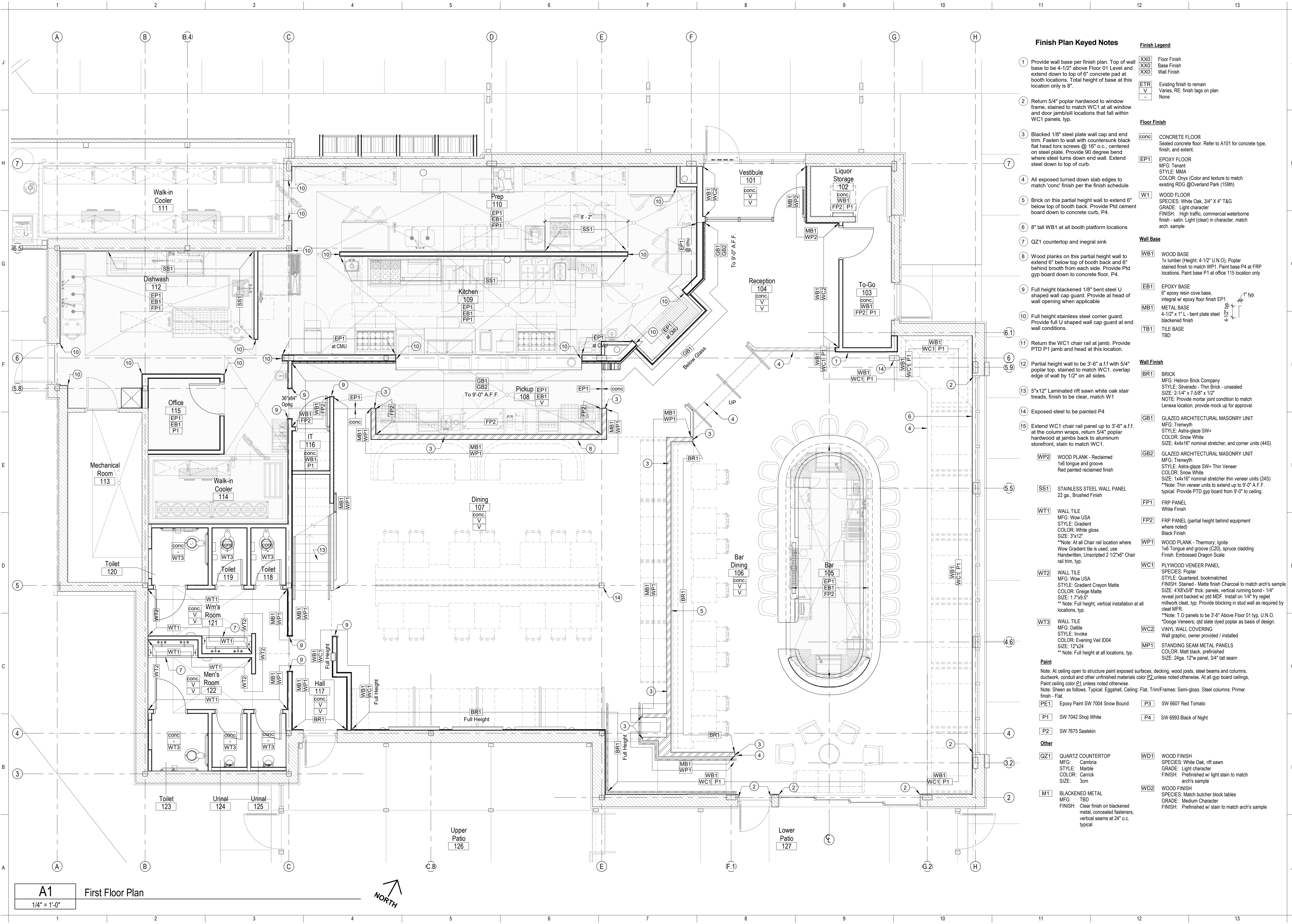


**A11** Section Detail  
1 1/2" = 1'-0"





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Finish Plan Keyed Notes	
1	Provide wall base per finish plan. Top of wall base to be 4'-1/2" above Floor 01 Level and extend down to top of 8" concrete pad at booth locations. Total height of base at this location only is 8".
2	Return 5/4" poplar hardwood to window frame, stained to match WC1 at all window and door jamb/sill locations that fall within WC1 panels, typ.
3	Blackened 1/8" steel plate wall cap and end trim. Fasten to wall with countersunk black flat head torx screws @ 16" o.c., centered on steel plate. Provide 90 degree bend where steel turns down end wall. Extend steel down to top of curb.
4	All exposed turned down slab edges to match 'conc' finish per the finish schedule
5	Brick on this partial height wall to extend 6" below top of booth back. Provide Ptd cement board down to concrete curb, P4.
6	8" tall WB1 at all booth platform locations
7	QZ1 countertop and integral sink
8	Wood planks on this partial height wall to extend 6" below top of booth back and 6" behind brooth from each side. Provide Ptd gyp board down to concrete floor, P4.
9	Full height blackened 1/8" bent steel U shaped wall cap guard. Provide at head of wall opening when applicable
10	Full height stainless steel corner guard. Provide full U shaped wall cap guard at end wall conditions.
11	Return the WC1 chair rail at jamb. Provide PTD P1 jamb and head at this location.
12	Partial height wall to be 3'-6" a.f.f with 5/4" poplar top, stained to match WC1, overlap edge of wall by 1/2" on all sides.
13	5"x12" Laminated rift sawn white oak stair treads, finish to be clear, match W1
14	Exposed steel to be painted P4
15	Extend WC1 chair rail panel up to 3'-6" a.f.f. at the column wraps, return 5/4" poplar hardwood at jamps back to aluminum storefront, stain to match WC1
Finish Legend	
XX0	Floor Finish
XX0	Base Finish
XX0	Wall Finish
ETR	Existing finish to remain
V	Varies, RE: finish tags on plan
-	None
Floor Finish	
conc	CONCRETE FLOOR Sealed concrete floor. Refer to A101 for concrete type, finish, and extant.
EP1	EPOXY FLOOR MFG: Tanant STYLE: MMA COLOR: Onyx (Color and texture to match existing RDG @Overland Park (159th)
W1	WOOD FLOOR SPECIES: White Oak, 3/4" X 4" T&G GRADE: Light character FINISH: High traffic, commercial waterborne finish - satin. Light (clear) in character, match arch. sample
Wall Base	
WB1	WOOD BASE 1x lumber (Height: 4'-1/2" U.N.O.), Poplar stained finish to match W1. Paint base P4 at FRP locations. Paint base P1 at office 115 location only
EB1	EPOXY BASE 6" epoxy resin cove base, integral w/ epoxy floor finish EP1
MB1	METAL BASE 4'-1/2" x 1" L - bent plate steel blackened finish
TB1	TILE BASE TBD
Wall Finish	
BR1	BRICK MFG: Hebron Brick Company STYLE: Silverado - Thin Brick - unsealed SIZE: 2-1/4" x 7-5/8" x 1/2" NOTE: Provide mortar joint condition to match Lenexa location, provide mock up for approval.
GB1	GLAZED ARCHITECTURAL MASONRY UNIT MFG: Trenwyth STYLE: Astra-glaze SW+ COLOR: Snow White SIZE: 4x4x16" nominal stretcher, and corner units (44S)
GB2	GLAZED ARCHITECTURAL MASONRY UNIT MFG: Trenwyth STYLE: Astra-glaze SW+ Thin Veneer COLOR: Snow White SIZE: 1x4x16" nominal stretcher (thin veneer units (24S) *Note: Thin veneer units to extend up to 9'-0" A.F.F. typical. Provide PTD gyp board from 9'-0" to ceiling.
FP1	FRP PANEL White Finish
FP2	FRP PANEL (partial height behind equipment where noted) Black Finish
WP1	WOOD PLANK - Thermory; Ignite 1x6 Tongue and groove (C20), spruce cladding Finish: Embossed Dragon Scale
WC1	PLYWOOD VENEER PANEL SPECIES: Poplar STYLE: Quartered, bookmatched FINISH: Stained - Matte finish Charcoal to match arch's sample SIZE: 4'X9'5/8" thick, panels, vertical running bond - 1/4" reveal joint backed w/ ptd MDF. Install on 1/4" fry reglet millwork cleat, typ. Provide blocking in stud wall as required by cleat MFR. *Note: T O panels to be 3'-6" Above Floor 01 typ, U.N.O. *Dooge Veneers: old slate dyed poplar as basis of design.
WT1	WALL TILE MFG: Wow USA STYLE: Gradient COLOR: White gloss SIZE: 3"x12" *Note: At all Chair rail location where Wow Gradient tile is used, use Handwritten, Unscripted 2 1/2"x6" Chair rail trim, typ.
WT2	WALL TILE MFG: Wow USA STYLE: Gradient Crayon Matte COLOR: Greige Matte SIZE: 1.7"x9.5" *Note: Full height, vertical installation at all locations, typ.
WT3	WALL TILE MFG: Daltile STYLE: Invoke COLOR: Evening Veil ID04 SIZE: 12"x24 *Note: Full height at all locations, typ.
WC2	VINYL WALL COVERING Wall graphic, owner provided / installed
MP1	STANDING SEAM METAL PANELS COLOR: Matt black, prefinished SIZE: 24ga. 12"w panel, 3/4" tall seam
Paint	
Note: At ceiling open to structure paint exposed surfaces, decking, wood joists, steel beams and columns, ductwork, conduit and other unfinished materials color P2 unless noted otherwise. At all gyp board ceilings, Paint ceiling color P1 unless noted otherwise. Note: Sheen as follows. Typical: Eggshell, Ceiling: Flat, Trim/Frames: Semi-gloss. Steel columns: Primer finish - Flat.	
PE1	Epoxy Paint SW 7004 Snow Bound
P1	SW 7042 Shoji White
P2	SW 7675 Sealskin
Other	
QZ1	QUARTZ COUNTERTOP MFG: Cambria STYLE: Marble COLOR: Carrick SIZE: 3cm
M1	BLACKENED METAL MFG: TBD FINISH: Clear finish on blackened metal, concealed fasteners, vertical seams at 24" o.c. typical
P3	SW 6607 Red Tomato
P4	SW 6993 Black of Night
WD1	WOOD FINISH SPECIES: White Oak, rift sawn GRADE: Light character FINISH: Prefinished w/ light stain to match arch's sample
WD2	WOOD FINISH SPECIES: Match butcher block tables GRADE: Medium Character FINISH: Prefinished w/ stain to match arch's sample

ARCHITECTURAL

URBAN PRAIRIE

COLLABORATIVE, P.C.

**Red Door Grill - Lee's Summit**

**Permit Set**

2061 NW Lowenstein Dr.

Lee's Summit, MO 64081

PAUL O MINTO

NUMBER A-2004207056

APR 12, 2021

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Missouri Certificate of Authority: #

PROJECT NUMBER: 20-033  
ISSUE DATE: 9 April, 2021

REVISIONS	DATE

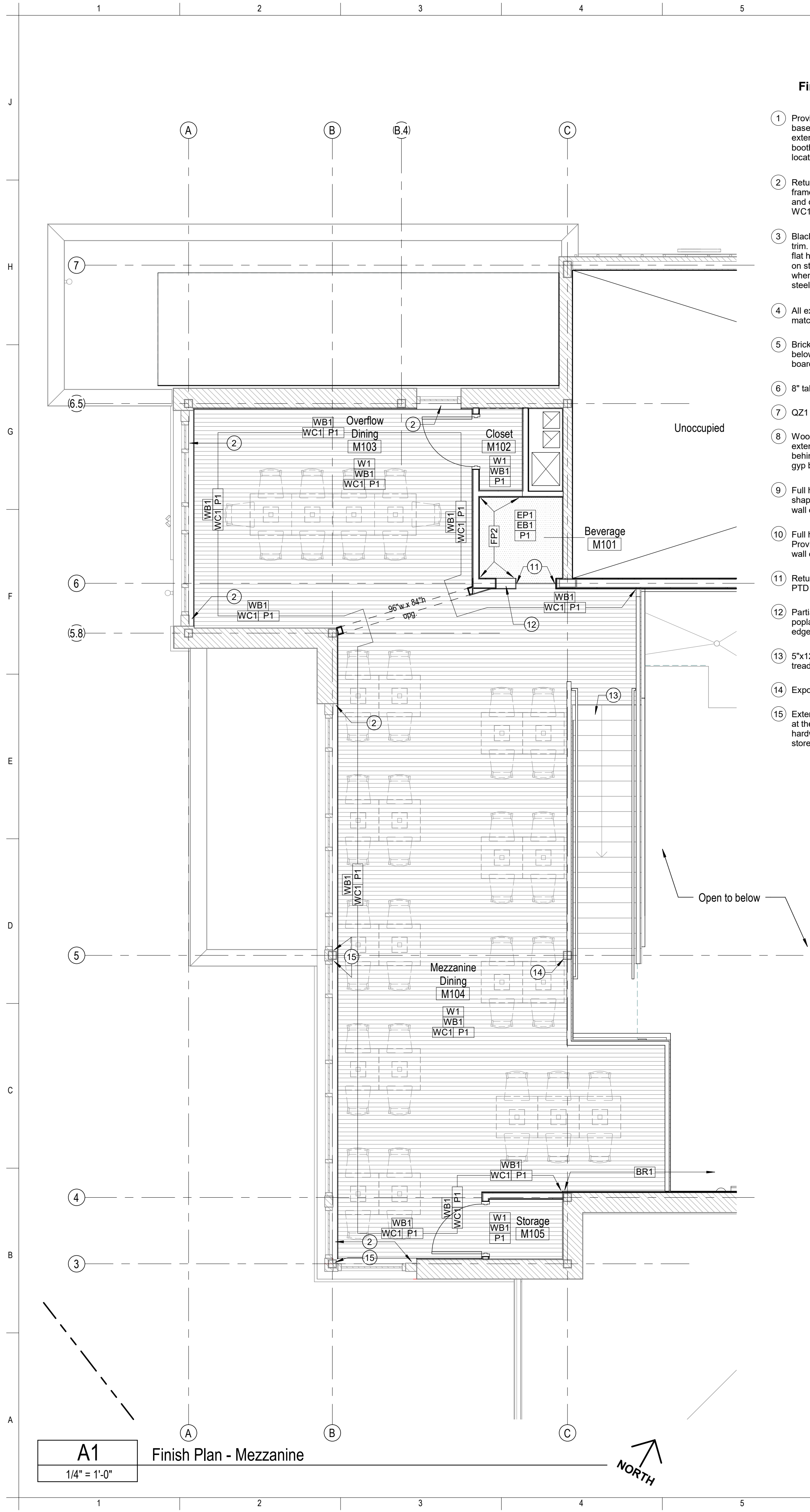
Finish Plan

**A701**

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### Finish Plan Keyed Notes

- 1 Provide wall base per finish plan. Top of wall base to be 4-1/2" above Floor 01 Level and extend down to top of 6" concrete pad at booth locations. Total height of base at this location only is 8".
- 2 Return 5/4" poplar hardwood to window frame, stained to match WC1 at all window and door jamb/sill locations that fall within WC1 panels, typ.
- 3 Blacked 1/8" steel plate wall cap and end trim. Fasten to wall with countersunk black flat head torx screws @ 16" o.c., centered on steel plate. Provide 90 degree bend where steel turns down end wall. Extend steel down to top of curb.
- 4 All exposed turned down slab edges to match 'conc' finish per the finish schedule
- 5 Brick on this partial height wall to extend 6" below top of booth back. Provide Ptd cement board down to concrete curb, P4.
- 6 8" tall WB1 at all booth platform locations
- 7 QZ1 countertop and integral sink
- 8 Wood planks on this partial height wall to extend 6" below top of booth back and 6" behind brooth from each side. Provide Ptd gyp board down to concrete floor, P4.
- 9 Full height blackened 1/8" bent steel U shaped wall cap guard. Provide at head of wall opening when applicable
- 10 Full height stainless steel corner guard. Provide full U shaped wall cap guard at end wall conditions.
- 11 Return the WC1 chair rail at jamb. Provide PTD P1 jamb and head at this location.
- 12 Partial height wall to be 3'-6" a.f.f with 5/4" poplar top, stained to match WC1. overlap edge of wall by 1/2" on all sides.
- 13 5"x12" Laminated rift sawn white oak stair treads, finish to be clear, match W1
- 14 Exposed steel to be painted P4
- 15 Extend WC1 chair rail panel up to 3'-6" a.f.f. at the column wraps, return 5/4" poplar hardwood at jamps back to aluminum storefront, stain to match WC1.

WP2 WOOD PLANK - Reclaimed  
1x6 tongue and groove  
Red painted reclaimed finish

SS1 STAINLESS STEEL WALL PANEL  
22 ga., Brushed Finish

WT1 WALL TILE  
MFG: Wow USA  
STYLE: Gradient  
COLOR: White gloss  
SIZE: 3'x12"  
\*\*Note: At all Chair rail location where Wow Gradient tile is used, use Handwritten, Unscripted 2 1/2"x6" Chair rail trim, typ.

WT2 WALL TILE  
MFG: Wow USA  
STYLE: Gradient Crayon Matte  
COLOR: Greige Matte  
SIZE: 12"x9.5"  
\*\* Note: Full height, vertical installation at all locations, typ.

WT3 WALL TILE  
MFG: Daltile  
STYLE: Invoke  
COLOR: Evening Veil ID04  
SIZE: 12"x24  
\*\* Note: Full height at all locations, typ.

#### Paint

Note: At ceiling open to structure paint exposed surfaces, decking, wood joists, steel beams and columns, ductwork, conduit and other unfinished materials color P2 unless noted otherwise. At all gyp board ceilings, Paint ceiling color P1 unless noted otherwise.  
Note: Sheen as follows. Typical: Eggshell, Ceiling: Flat, Trim/Frames: Semi-gloss. Steel columns: Primer finish - Flat.

PE1 Epoxy Paint SW 7004 Snow Bound

P1 SW 7042 Shoji White

P2 SW 7675 Sealskin

#### Other

QZ1 QUARTZ COUNTERTOP  
MFG: Cambria  
STYLE: Marble  
COLOR: Carrick  
SIZE: 3cm

M1 BLACKENED METAL  
MFG: TBD  
FINISH: Clear finish on blackened metal, concealed fasteners, vertical seams at 24" o.c. typical

#### Finish Legend

XX0 Floor Finish  
XX0 Base Finish  
XX0 Wall Finish

ETR Existing finish to remain  
V Varies, RE: finish tags on plan  
- None

#### Floor Finish

conc CONCRETE FLOOR  
Sealed concrete floor. Refer to A101 for concrete type, finish, and extent.

EP1 EPOXY FLOOR  
MFG: Tenant  
STYLE: MMA  
COLOR: Onyx (Color and texture to match existing RDG @Overland Park (159th)

W1 WOOD FLOOR  
SPECIES: White Oak, 3/4" X 4" T&G  
GRADE: Light character  
FINISH: High traffic, commercial waterborne finish - satin, Light (clear) in character, match arch. sample

#### Wall Base

WB1 WOOD BASE  
1x lumber (Height: 4-1/2" U.N.O.), Poplar stained finish to match WP1. Paint base P4 at FRP locations. Paint base P1 at office 115 location only

EB1 EPOXY BASE  
6" epoxy resin cove base, integral w/ epoxy floor finish EP1

MB1 METAL BASE  
4-1/2" x 1" L - bent plate steel blackened finish

TB1 TILE BASE  
TBD

#### Wall Finish

BR1 BRICK  
MFG: Hebron Brick Company  
STYLE: Silverado - Thin Brick - unsealed  
SIZE: 2-1/4" x 7-5/8" x 1/2"  
NOTE: Provide mortar joint condition to match Lenexa location, provide mock up for approval.

GB1 GLAZED ARCHITECTURAL MASONRY UNIT  
MFG: Trenwyth  
STYLE: Astra-glaze SW+  
COLOR: Snow White  
SIZE: 4x4x16" nominal stretcher, and corner units (44S)

GB2 GLAZED ARCHITECTURAL MASONRY UNIT  
MFG: Trenwyth  
STYLE: Astra-glaze SW+ Thin Veneer  
COLOR: Snow White  
SIZE: 1x4x16" nominal stretcher thin veneer units (24S)  
\*\*Note: Thin veneer units to extend up to 9'-0" A.F.F. typical. Provide PTD gyp board from 9'-0" to ceiling.

FP1 FRP PANEL  
White Finish

FP2 FRP PANEL (partial height behind equipment where noted)  
Black Finish

WP1 WOOD PLANK - Thermory; Ignite  
1x6 Tongue and groove (C20), spruce cladding  
Finish: Embossed Dragon Scale

WC1 PLYWOOD VENEER PANEL  
SPECIES: Poplar  
STYLE: Quartered, bookmatched  
FINISH: Stained - Matte finish Charcoal to match arch's sample  
SIZE: 4'X8'X5/8" thick, panels, vertical running bond - 1/4" reveal joint backed w/ ptd MDF. Install on 1/4" fry reglet millwork cleat, typ. Provide blocking in stud wall as required by cleat MFR.  
\*\*Note: T.O panels to be 3'-6" Above Floor 01 typ, U.N.O.  
\*\*Dooge Veneers; qtd slate dyed poplar as basis of design.

WC2 VINYL WALL COVERING  
Wall graphic, owner provided / installed

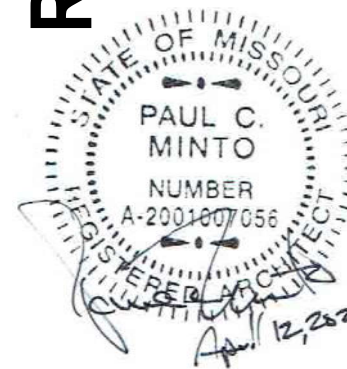
MP1 STANDING SEAM METAL PANELS  
COLOR: Matt black, prefinished  
SIZE: 24gs. 12"w panel, 3/4" tall seam

P3 SW 6607 Red Tomato

P4 SW 6993 Black of Night

WD1 WOOD FINISH  
SPECIES: White Oak, rift sawn  
GRADE: Light character  
FINISH: Prefinished w/ light stain to match arch's sample

WD2 WOOD FINISH  
SPECIES: Match butcher block tables  
GRADE: Medium Character  
FINISH: Prefinished w/ stain to match arch's sample



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Missouri Certificate of Authority: #

PROJECT NUMBER: 20-033  
ISSUE DATE: 9 April 2021

REVISIONS	DATE

Finish Plan



GENERAL NOTES - STRUCTURAL

- The contractor shall verify dimensions and conditions before construction and notify the engineer of any discrepancies, inconsistencies, or difficulties affecting the work before proceeding.
- The contractor shall coordinate all disciplines, verifying size and location of all openings, whether shown on structural drawings or not, as called for on architectural, mechanical, or electrical drawings. Conflicts, inconsistencies, or other difficulties affecting structural work shall be called to the architect or engineer's attention for direction before proceeding.
- All design and construction work for this project shall conform to the requirements of the 2018 International Building Code, as amended by the City of Lee's Summit, Missouri.
- These drawings are for this specific project and no other use is authorized.
- Structural Design Load Criteria:
  - Mezzanine Live Load = 100psf
  - Dead Load:  
Roof = 20 psf  
  
Live Load:  
Roofs = 25 psf  
  
Snow = Pg = 20psf  
Drift per ASCE/SEI 7-16
  - Lateral Load:  
1.) Wind V = 115 mph Exposure 'C'  
Occupancy [Risk] Category II, Iw=1.0  
Gcpi=1.0  
Design wind pressures to be used for the design of exterior component and cladding materials on the designated zones of wall and roof surfaces shall be per section 30.1 and Table 30.1-2 of ASCE/SEI 7-16. Tabulated pressures shall be multiplied by effective area reduction factors, exposure adjustment factors, and topographic factors where applicable.
  - This project is designed to resist the most critical effects resulting from the load combinations of section 1605.3 of the 2018 International Building Code.
- Concrete:
  - All concrete for foundations (walls, grade beams, and footings) shall develop minimum ultimate compressive design strength of 3500 psi in 28 days, but not less than 500 pounds of cement shall be used per cubic yard of concrete regardless of strengths obtained, not over 6 gallons of water per 100 pounds of cement and not over 4 inches of slump.
  - All concrete for interior flat work shall develop minimum ultimate compressive design strength of 4000 psi in 28 days, but not less than 560 pounds of cement shall be used per cubic yard of concrete regardless of strengths obtained, not over 5 gallons of water per 100 pounds of cement and not over 4 inches of slump.
  - All concrete for exterior flatwork shall have a minimum design compressive strength of 4500 psi in 28 days, with not less than 560 pounds of cement per cubic yard of concrete, not over 5 gallons of water per 100 pounds of cement, with 6% +/- 1% air entrainment, and a maximum of 4 inches of slump.
  - The preceding minimum mix requirements may have water-reducing admixtures conforming to ASTM C494 added to the mix at manufacturer's dosage rates for improved workability.
  - The preceding minimum mix requirements may have up to 15% maximum of the cement content replaced with an approved ASTM C681 Class C fly ash, provided the total minimum cementitious content is not reduced.
  - Combined aggregate (coarse plus fine) for all concrete shall be well graded from coarsest to finest with no more than 10 percent and not less than 8 percent retained on an individual sieve, except that less than 8 percent may be retained on coarsest sieve and on No. 50 and finer sieves. Submit this gradation report with the concrete mix design shop drawings.
  - All interior concrete slabs on grade shall be placed over 15 mil, Class A Vapor Barrier per ASTM E1745 with less than 0.01 perms, tested after mandatory conditioning. All joints shall be lapped and sealed per manufacturer's recommendations. All penetrations, as well as damaged vapor barrier material shall also be sealed per manufacturer's recommendation prior to concrete placement. Install barrier per manufacturer recommended details at all discontinuous edges (at interior columns, exterior edge of slab, etc.) to ensure terms of warranty are followed. The vapor barrier shall be placed over free-draining granular material as prescribed by the project soils report.
  - P All concrete is reinforced concrete unless specifically called out as unreinforced. Reinforce all concrete not otherwise shown with same steel as in similar sections or areas. Any details not shown shall be detailed per ACI 315 and meet requirements of ACI 318, current editions.
  - Control joints in dirt formed slab to be as shown on plans, where not shown, limit-controlled areas to not more than 144 square feet, or 12 feet on any side. Slab panel side ratio shall not exceed 1/2 to 1.
  - Contractor shall verify that all concrete inserts, reinforcing and embedded items are correctly located and rigidly secured prior to concrete placement.
  - Construction joints in beams, slabs, and grade beams shall occur at midspan (middle third) unless noted otherwise. Provide 2 x 4 horizontal keys at construction joints for shear transfer.
  - No aluminum items shall be embedded in any concrete.
- Reinforcing Steel:
  - All reinforcing steel shall conform to the requirements of ASTM A615 or A706 grade 60 steel. Welded plain wire fabric shall be supplied in sheets and conform to the requirements of ASTM A1064.
  - Clear coverage of concrete over reinforcing steel shall be as follows:

Concrete placed against earth	3"
Formed concrete against earth	2"
Slabs	1"
Other	2"

All coverage shall be nominal bar diameter minimum.
  - All details shall be the same size and spacing as adjoining main bars (splice lap 48 bar diameters or 30" minimum unless noted otherwise).
  - At corners of all grade beams supply corner bars (minimum 2-#6" in each direction or 48 bar diameters) in outside face of wall, matching size and spacing of horizontal bars. Where there are no vertical bars in outside face of wall, supply 3 - #4 vertical support bars for corner bars.
  - Bars marked continuous and all vertical steel shall be

- lapped 48 bar diameters (3"-0" minimum) at splices and embedment, unless shown otherwise. Splice lap bars near midspan and splice bottom bars over supports, unless noted otherwise.
- Accessories shall be as specified in latest edition of the ACI Detailing Handbook and the concrete Reinforcing Steel Institute Design Handbook. Maximum accessory spacing shall be 4'-0" on center, and all accessories on exposed surfaces are to have plastic coated feet.
- All slabs and stairs not shown otherwise shall be 6" thick with #4 bars at 12" on center each way.

Structural Steel:

- All structural steel beams and columns shall be ASTM A992, grade 50 steel and all miscellaneous steel shall be ASTM A36 grade steel (except at moment connections where plates shall be ASTM A572, grade 50). Hollow Structural Sections (HSS) shall be ASTM A500, grade B. Fabrication and erection shall be in accordance with AISC 303-05 "Code of Standard Practice for Steel Buildings and Bridges" in the 15th Edition of the AISC Steel Construction Manual.
- All welding shall conform to the recommendations of the AWS.
- All bolts not otherwise specified shall be 3/4" diameter high strength (ASTM A325-N). All bolts shall be fully pretensioned. All beam connections shall be designed per the AISC Steel Construction Manual "Framed Beam Connections" for the indicated reactions or at least 0.4 x beam total shear capacity, Vn/Omega, shown in the maximum total uniform load tables, whichever is greater; and, shall account for eccentricity when the bolt line is more than 24 from the center of the support. All connections must be two bolt minimum.
- All anchor bolts shall be 3/4" diameter, ASTM F1554, Grade 36 unless noted otherwise.

Post-Installed Anchors:

- Post-installed anchors shall be used only where specified on the drawings unless approved in writing by the engineer of record. See drawings for anchor diameter, spacing and embedment. Performance values of the anchors shall be obtained for specified products using appropriate design procedures and/or standards as required by the governing building code. Anchors installed in concrete shall have an ICC-ES Evaluation Service Report. Special inspection is required for all post-installed anchors.
- Mechanical anchors used in cracked and uncracked concrete shall have been tested and qualified for use in accordance with ACI 308.2 and ICC-ES AC108. All anchors shall be installed per the anchor manufacturer's written instructions.
- Adhesive anchors used in cracked and uncracked concrete shall have been tested and qualified for use in accordance with ICC-ES AC308. All anchors shall be installed per the anchor manufacturer's written instructions.
- Mechanical anchors used in solid grouted masonry shall have been tested and qualified for use in accordance with ICC-ES AC01. All anchors shall be installed per the anchor manufacturer's written instructions.
- Adhesive anchors used in solid grouted masonry shall have been tested and qualified for use in accordance with ICC-ES AC508. All anchors shall be installed per the anchor manufacturer's written instructions.

Foundations:

- Spread footings and grade beams are designed to bear on engineered fill or undisturbed soil capable of safely sustaining 2000 psf.
- Contractor shall provide for dewatering at excavations from either surface water or seepage.
- All foundation excavations shall be inspected by a qualified soil engineer, approved by the architect and/or structural engineer, prior to placement of steel or concrete. This inspection shall be at the owner's expense.
- Moisture content in soils beneath building locations should not be allowed to change after footing excavations and after grading for slabs on grade are completed. If subgrade materials become desiccated or softened by water or other conditions, recompact materials to the density and water content specified for engineered fill. Do not place concrete on frozen ground.

Light Gauge Structural Stud Framing:

- All load bearing, light gauge structural studs, track, and bridging shall be of the type, size, gage, and spacing as shown on the plans, minimum.
- All materials shall be 33,000 psi minimum yield, except studs of 16 gage or heavier shall have a minimum yield of 50,000 psi.
- All properties, fabrication, and erection shall be in accordance with latest editions of the AISI "Specifications for the Design of Cold-Formed Structural Members."
- All framing components shall be cut square or at an angle to fit squarely against abutting members. Splicing of axially loaded members is not permitted. Members shall be held firmly in place until properly fastened. Attachments of similar components shall be by welding, screw attachment, or bolting. Wire tying of components is not permitted.
- Tracks shall be securely anchored to floor and overhead members. Special anchorage requirements required for wind bracing shall be as shown on the plans.

Timber and Wood Framing:

- Quality and construction of wood framing members and their fasteners for load supporting purposes not otherwise indicated on the drawings shall be in accordance with the 2018 International Building Code.
- All studs and top and bottom plates shall be Douglas Fir No. 2 grade visually graded lumber, with an allowable fiber stress in bending of 900 psi minimum and an elastic modulus of 1,600,000psi unless noted otherwise. All joist, truss members, and headers to be No.2 grade (min. unless noted otherwise).
- Blocking of stud bearing walls and shear walls shall be solid, matching sheathing joint.
- Joist blocking and bridging shall be solid wood or cross bracing of either wood or metal straps. Spacing, in any case, shall not exceed 8'-0".
- Wood members and sheathing shall be fastened with number and size of fasteners not less than that set forth in Table 2304.4.1 of the 2018 International Building Code. Floor sheathing shall be APA rated tongue and groove Sturd-I-Floor, exposure 1, glued and nailed with 8d ring shank nails or #10 screws at 12" on center to all supports. All floor sheathing shall be installed with 1/8 inch gaps between panel edges and end joints. Sheathing of exterior walls or roof diaphragms shall be edge nailed with 8d common nails at 6" on center and nailed to intermediate framing and/or blocking members with 8d common nails at 12" on center

- unless otherwise noted on the drawings.
- Sill plates shall be bolted to concrete walls or steel beams with 1/2" diameter galvanized bolts at 32" on center. Plates in direct contact with concrete or masonry shall be treated lumber.
- All hangers, ties and connections shown are based on Simpson Strong Tie as the basis of design, provide Simpson Strong Tie or an approved equal. Joist hangers shall be equal to "LUS" for wood application and "LB" for steel weld-on application. Roof joist ties shall be equal to "H2.5T".
- Service condition - dry with moisture content at or below 19% in service.
- Laminated veneer lumber (LVL) shall have an allowable flexural stress (F<sub>b</sub>) of 2600 psi (reduced by size factor) and an elastic modulus (E) of 1,900,000 psi.

Shop Drawing Review:

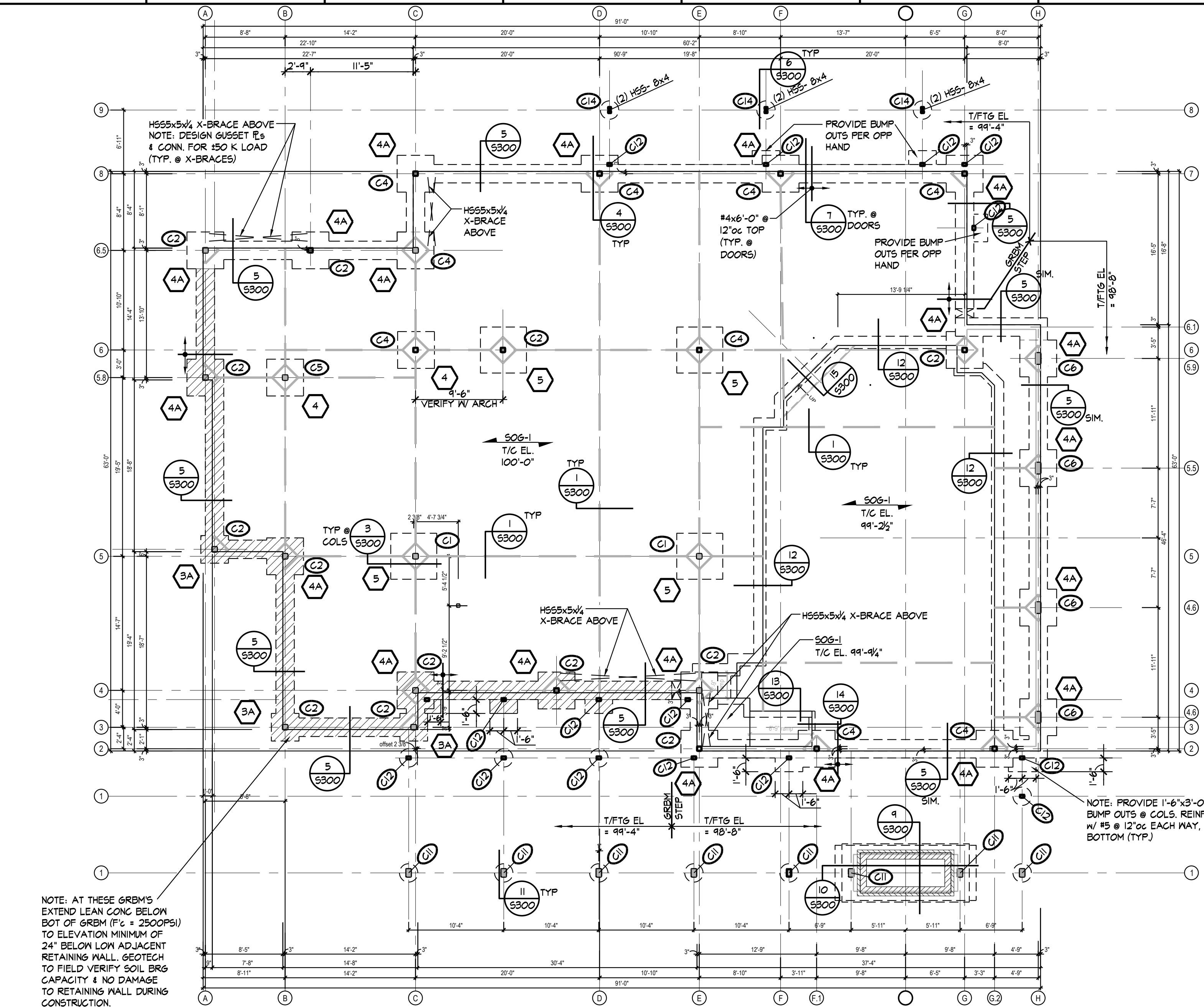
- Bob D. Campbell and Company, Inc. will review the General Contractor's (GC) shop drawings and related submittals (as indicated below) with respect to the ability of the detailed work, when complete, to be a properly functioning integral element of the overall structural system designed by Bob D. Campbell and Company, Inc.
- Prior to submittal of a shop drawing or any related material to Bob D. Campbell and Company, Inc., the GC shall:
  - Review each submission for conformance with the means, methods, techniques, sequences and operations of construction on the structural drawings, but do not submit incidental thereto, all of which are the sole responsibility of the GC.
  - Review and approve each submission.
  - Stamp each submission as approved.
- Bob D. Campbell and Company, Inc. shall assume that no submission comprises a variation unless the GC advises Bob D. Campbell and Company, Inc. with written documentation.
- Shop drawings and related material (if any) required are indicated below. Should Bob D. Campbell and Company, Inc. require more than ten (10) working days to perform the review, Bob D. Campbell and Company, Inc. shall so notify the GC.
  - Concrete mix designs and material certificates including admixtures and compounds applied to the concrete after placement.
  - Reinforcing steel shop drawings including erection drawings and bending details. Bar list will not be reviewed for correct quantities.
  - Structural steel shop drawings including erection drawings and piece details. Include joist, decking and connector submittals. Include miscellaneous framing specified on the structural drawings, but do not submit framing specified on non-structural drawings for Bob D. Campbell and Company, Inc. review.
  - Structural steel connection design calculations submitted concurrently with structural steel shop drawings.
  - Construction and control joint plans and/or elevations.
- Bob D. Campbell and Company, Inc. shall review shop drawings and related materials with written comments. Each submission has met the above requirements. Bob D. Campbell and Company, Inc. shall return without comment unrequired material or submissions without GC approval stamp.

Statement of Structural Special Inspection:

- The structural design for this project is based on completion of special inspections during construction in accordance with section 1704 of the 2018 International Building Code. The owner shall employ one or more qualified special inspectors to provide the required special inspections.
- The following inspections and tests are required with the frequency (continuous or periodic) as defined within the referenced section or standard listed below. The General Contractor shall provide notification to the inspector when items requiring inspection are ready to be inspected and provide access for those inspections.
  - Shop Fabrication of structural steel and steel bar joist per Section 1704.2.5 unless AISC certified shop.
  - Steel Construction per Section 1705.2 and the quality assurance requirements of AISC 341 Chapter J (as referenced by AISC 360)
  - Concrete Construction per Section 1705.3 and Table 1705.3
    - Reinforcing Steel Placement
    - Bolts in Concrete
    - Post-Installed Anchors
    - Design Mix Verification
    - Concrete Sampling and Testing
    - Concrete Placement
    - Structural Molding
    - Drill & Epoxy Bolts
    - High Strength Bolting
    - Verification of Soil Bearing Capacities
- The special inspector shall furnish inspection reports to the building official, owner, architect and structural engineer, and any other designated person.
- All discrepancies shall be brought to the immediate attention of the contractor for correction, then, if uncorrected, to the proper design authority, building official and structural engineer.
- The special inspector shall submit a final signed report stating that the work requiring special inspection was, to the best of the inspector's knowledge, in conformance with the approved plans and specifications and the applicable workmanship provisions of the building code.

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FOUNDATION and FLOOR PLAN

1/8" = 1'-0"

NOTE:

- REFER TO GENERAL NOTES ON THIS SHEET.
- REFER TO COLUMN SCHEDULE ON THIS SHEET
- REFER TO FOOTING SCHEDULE ON THIS SHEET
- "506-1" DENOTES 5" CONCRETE SLAB ATOP 15 MIL VAPOR BARRIER ATOP 4" GRANULAR LEVELING COURSE OVER 20" SELECT LOW VOLUME COMPACTED MATERIAL PER SPEC'S. REINF SLAB W/ 6x6-6/6.

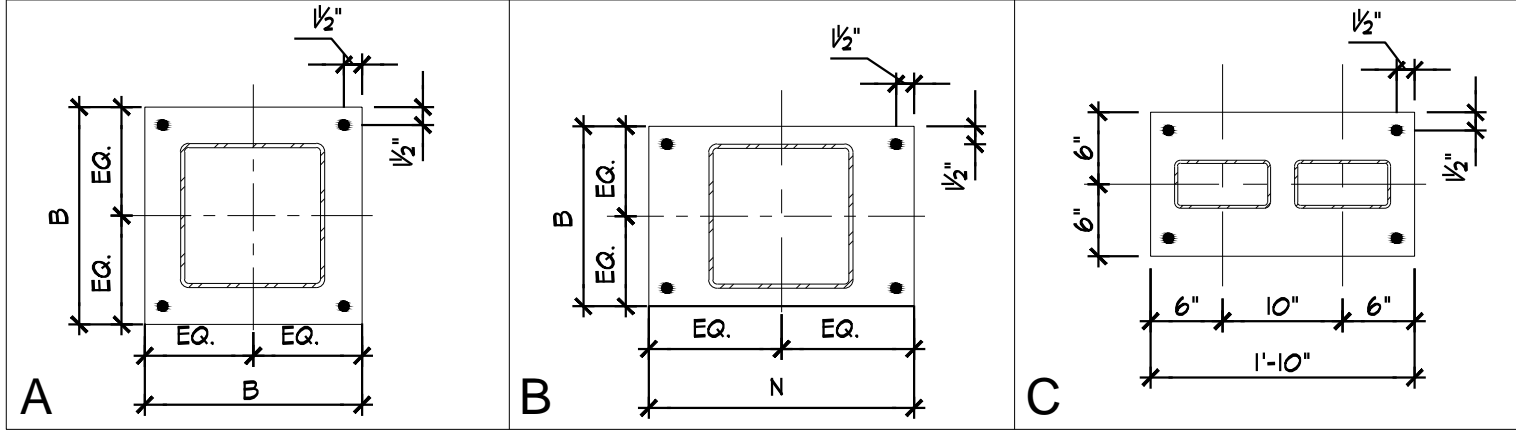
COLUMN BASE PLATE SCHEDULE

TYPE	COLUMN	BASE PLATE (tXBxN)	SHAPE	ANCHOR BOLTS
C1	HSS-5x5x1/4	11"x12"x11"	A	(4) 3/4"xØ1'-9" (3" HK)
C2	HSS-6x6x1/4	12"x12"x12"	A	(4) 3/4"xØ1'-9" (3" HK)
C4	HSS-6x6x5/16	12"x3/4"x12"	A	(4) 3/4"xØ1'-9" (3" HK)
C5	HSS-3/4x3/4x5/16	10"x12"x10"	A	(4) 3/4"xØ1'-9" (3" HK)
C6	HSS-14x6x5/16	12"x1"x24"	B	(4) 1"xØ2'-6" (3" HK)
C11	HSS-10x6x1/4	16"x3/4"x12"	B	(4) 3/4"xØ2'-0" (3" HK)
C12	HSS-6x4x1/4	14"x3/4"x8"	B	(4) 3/4"xØ2'-0" (3" HK)
C14	(2) HSS-8x4x1/4	12"x3/4"x22"	D	(4) 3/4"xØ1'-9" (3" HK)

NOTES:

- SEE PLAN FOR ORIENTATION OF COLUMNS.
- PROVIDE PLATE WASHED & EMBEDDED PLATE PER SCHEDULE @ ALL AB'S.
- U.N.O. ALL THREADED ROD A.B'S SHALL BE F1554 (36ksi) MATERIAL.

BASE PLATE SHAPE (NOT TO SCALE)



FOOTING SCHEDULE

FOOTING TYPE	FOOTING SIZE	REINFORCING (EA WAY) (BOT)
3A	3'-0"x3'-0"x36"Dp	#5@12"
4	4'-0"x4'-0"x14"Dp	#4@6"
4A	4'-0"x4'-0"x36"Dp	#5@12"
5	5'-0"x5'-0"x18"Dp	#4@6"



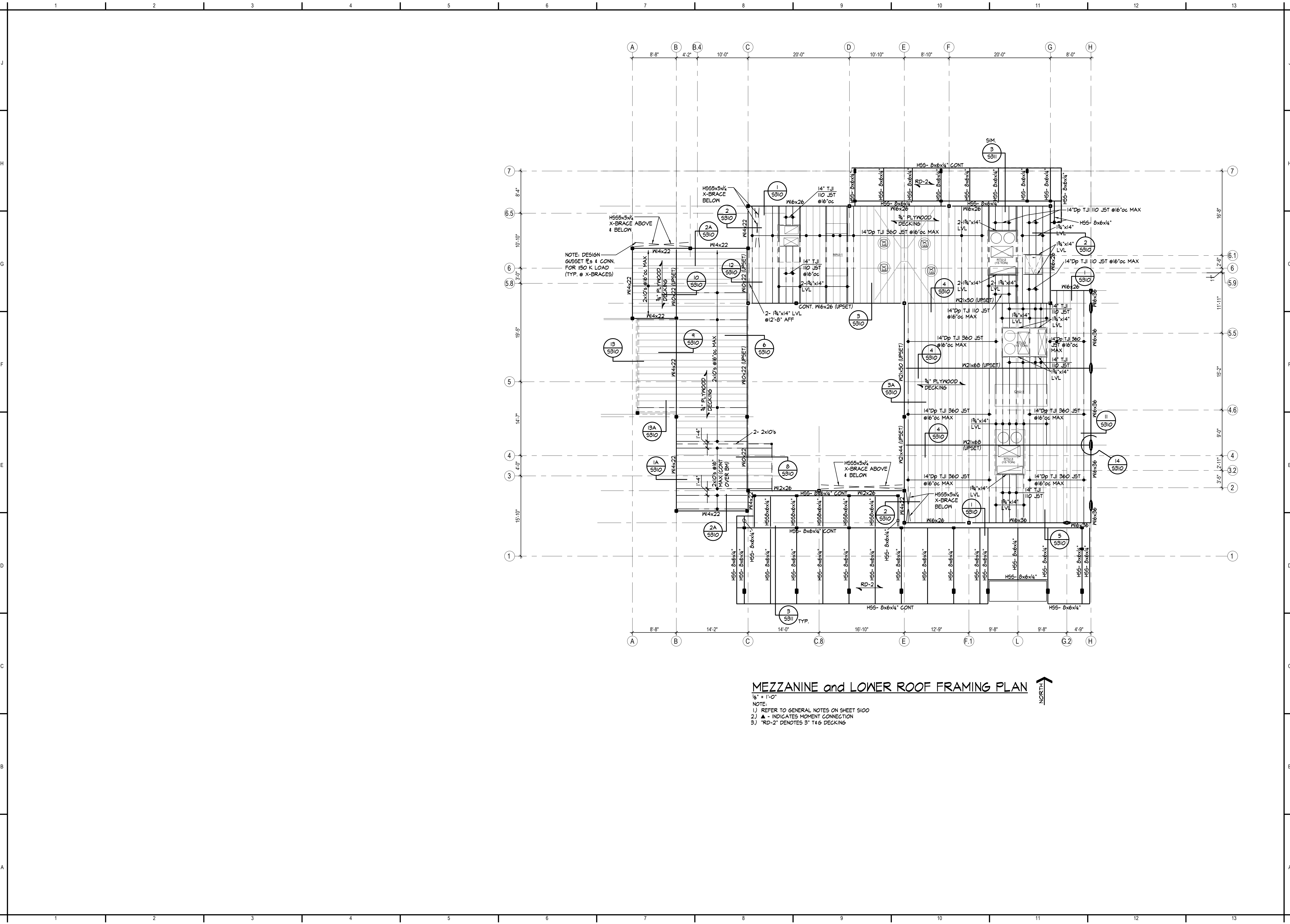
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Foundation Plan





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Red Door Grill - Lee's Summit  
Shell Building  
Lot 1 Streets Of Pryor  
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Lower Roof Framing Plan

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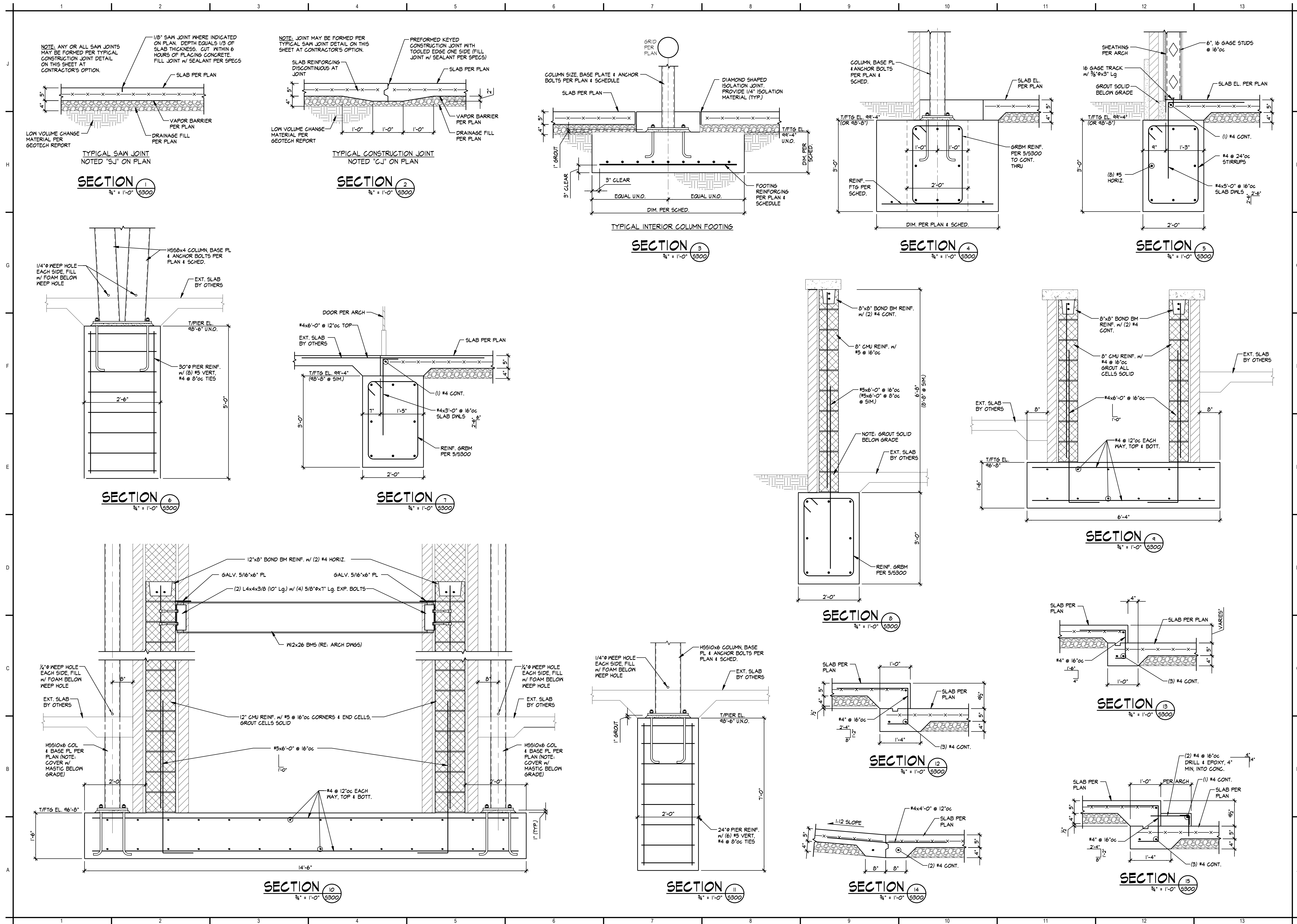




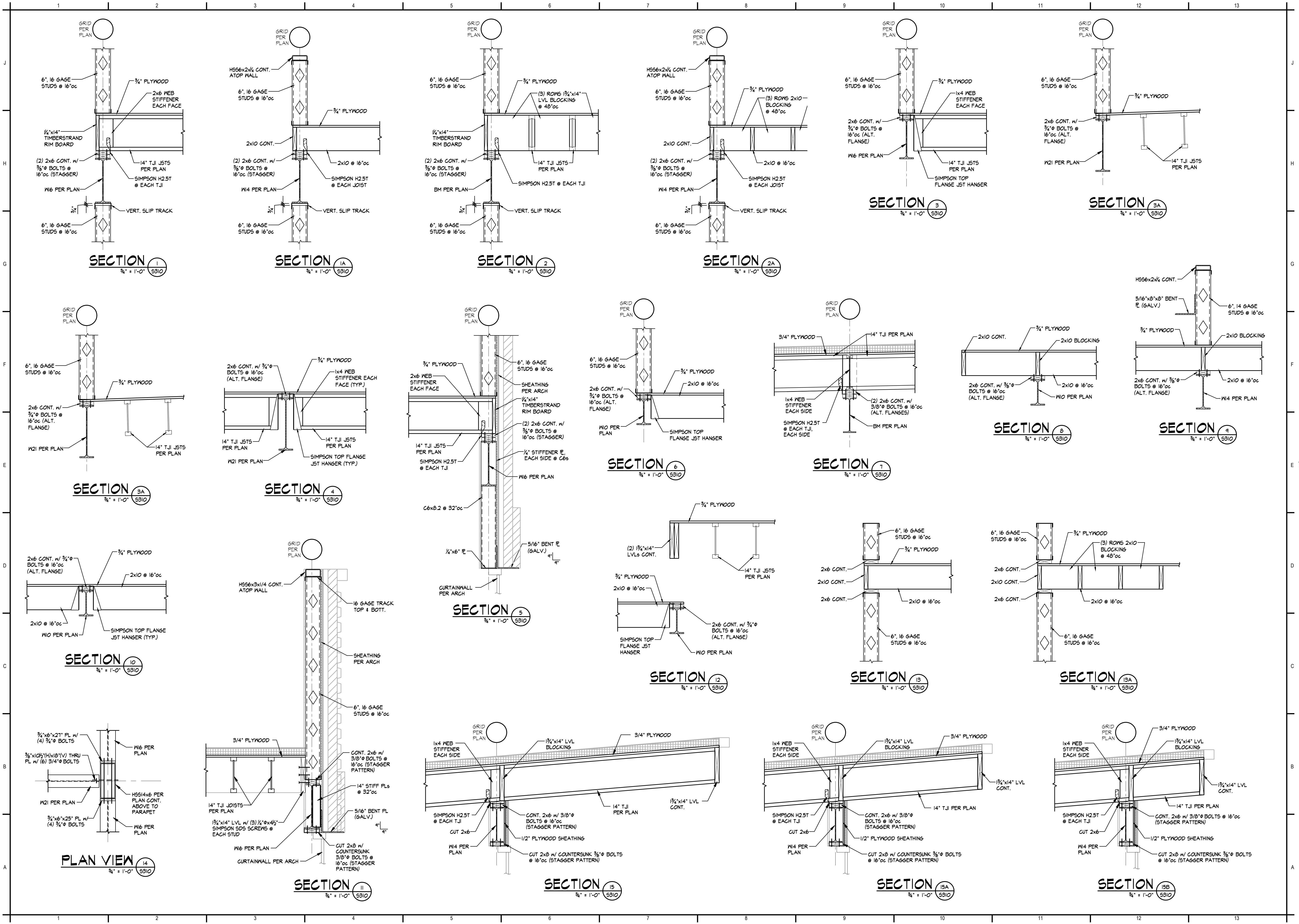
④ - INDICATES HSS-14"x6"x1/4"

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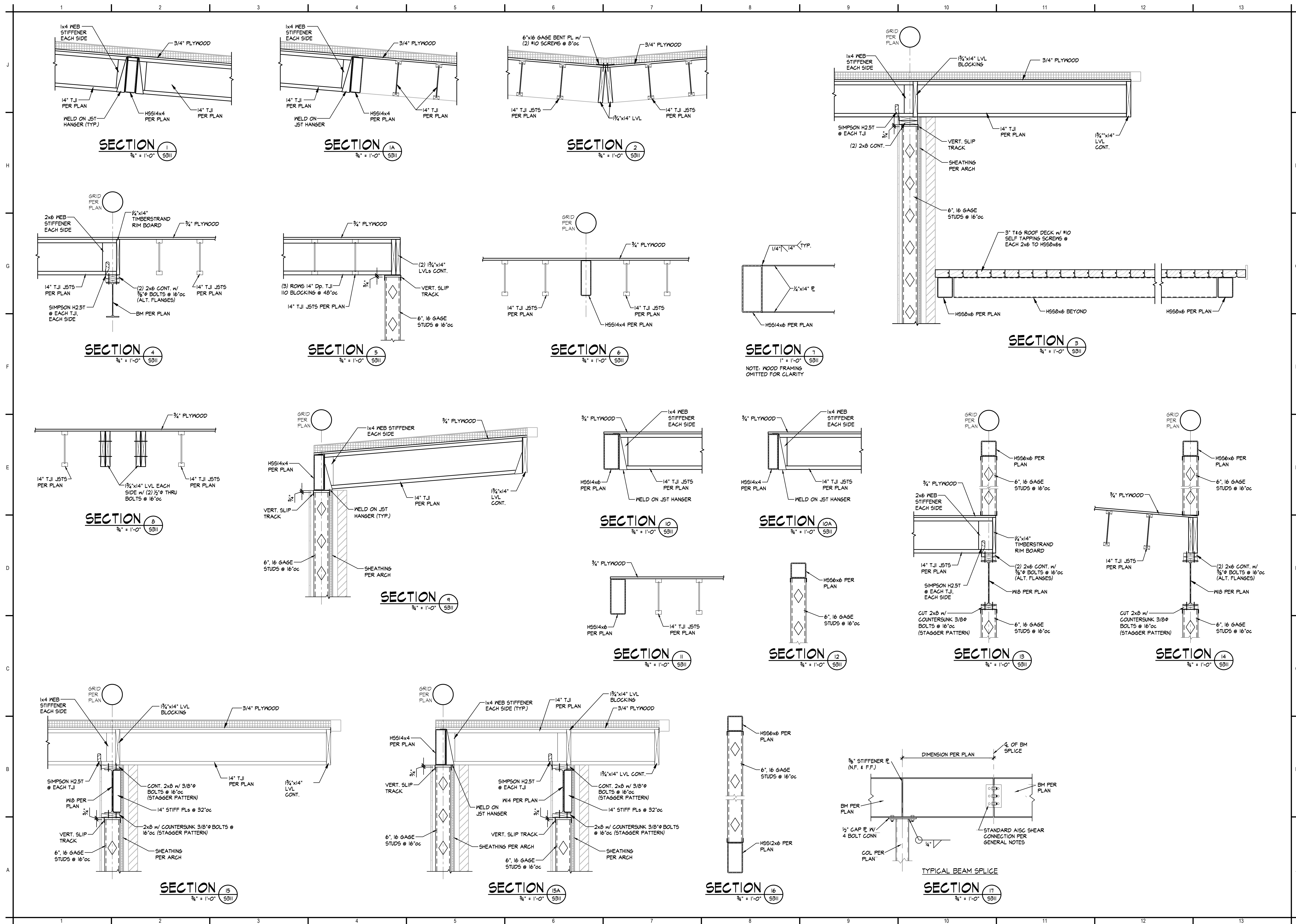
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Framing Sections





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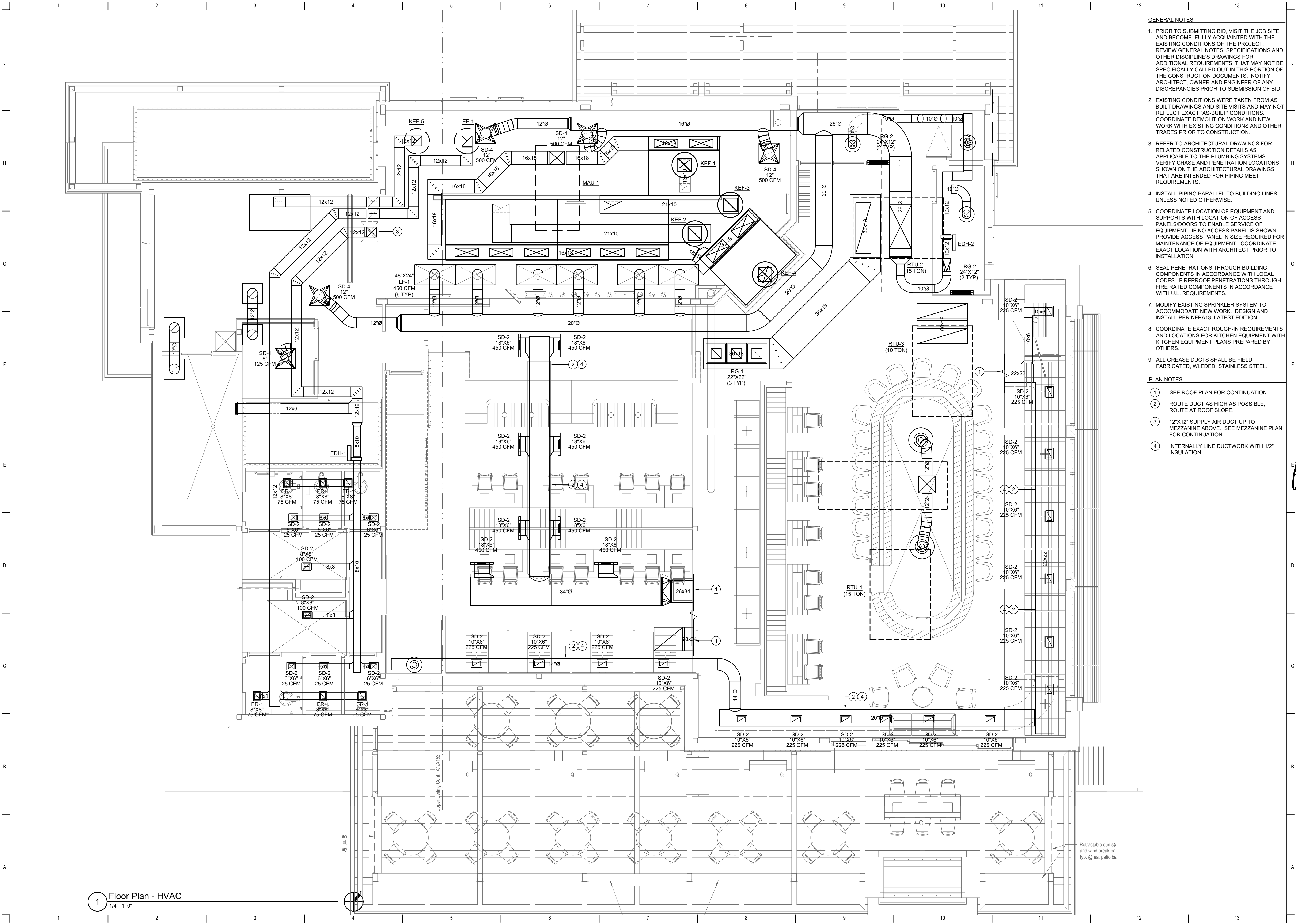
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  3. REFER TO ARCHITECTURAL DRAWINGS FOR RELATED CONSTRUCTION DETAILS AS APPLICABLE TO THE PLUMBING SYSTEMS. VERIFY CHASE AND PENETRATION LOCATIONS SHOWN ON THE ARCHITECTURAL DRAWINGS THAT ARE INTENDED FOR PIPING MEET REQUIREMENTS.
  4. INSTALL PIPING PARALLEL TO BUILDING LINES, UNLESS NOTED OTHERWISE.
  5. COORDINATE LOCATION OF EQUIPMENT AND SUPPORTS WITH LOCATION OF ACCESS PANELS/DOORS TO ENABLE SERVICE OF EQUIPMENT. IF NO ACCESS PANEL IS SHOWN, PROVIDE ACCESS PANEL IN SIZE REQUIRED FOR MAINTENANCE OF EQUIPMENT. COORDINATE EXACT LOCATION WITH ARCHITECT PRIOR TO INSTALLATION.
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  7. MODIFY EXISTING SPRINKLER SYSTEM TO ACCOMMODATE NEW WORK. DESIGN AND INSTALL PER NFPA13, LATEST EDITION.
  8. COORDINATE EXACT ROUGH-IN REQUIREMENTS AND LOCATIONS FOR KITCHEN EQUIPMENT WITH KITCHEN EQUIPMENT PLANS PREPARED BY OTHERS.
  9. ALL GREASE DUCTS SHALL BE FIELD FABRICATED, WLEDED, STAINLESS STEEL.

- PLAN NOTES:
- 1 SEE ROOF PLAN FOR CONTINUATION.
  - 2 ROUTE DUCT AS HIGH AS POSSIBLE, ROUTE AT ROOF SLOPE.
  - 3 12"X12" SUPPLY AIR DUCT UP TO MEZZANINE ABOVE. SEE MEZZANINE PLAN FOR CONTINUATION.
  - 4 INTERNALLY LINE DUCTWORK WITH 1/2" INSULATION.



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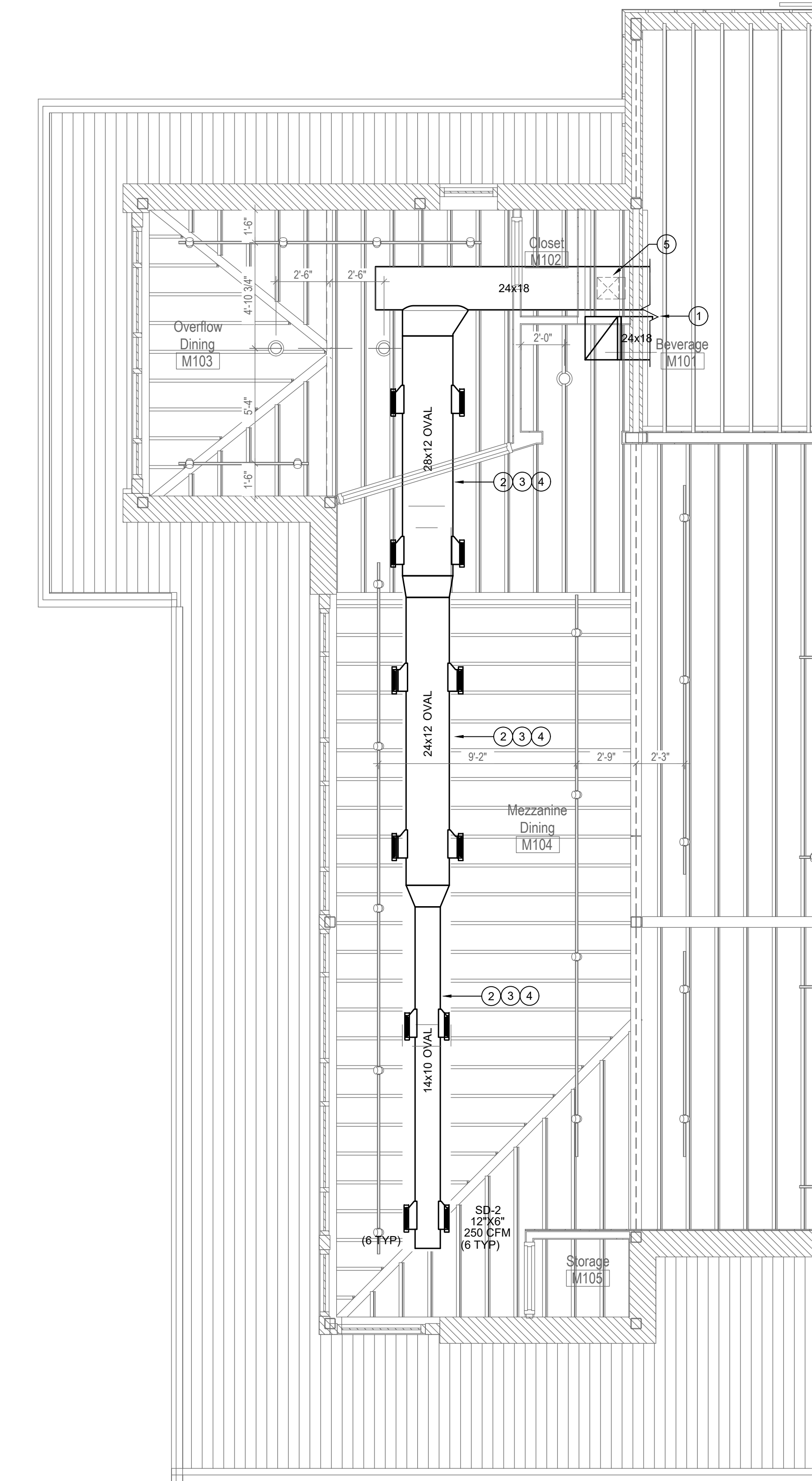
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Mechanical Floor Plan





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  9. ALL GREASE DUCTS SHALL BE FIELD FABRICATED, WLEDED, STAINLESS STEEL.
- PLAN NOTES:
- 1 SEE ROOF PLAN FOR CONTINUATION.
  - 2 ROUTE DUCT AS HIGH AS POSSIBLE, ROUTE AT ROOF SLOPE.
  - 3 TRANSITION DUCT DOWN TO ELEVATION APPROVED BY ARCHITECT.
  - 4 INTERNALLY LINE DUCTWORK WITH 1/2" INSULATION.
  - 5 12"X12" SUPPLY AIR DUCT DOWN TO FLOOR BELOW. SEE FLOOR PLAN FOR CONTINUATION.

1 Mezzanine Plan - HVAC  
1/4"=1'-0"

ARCHITECTURAL

URBAN PRAIRIE

COLLABORATIVE, P.C.

Red Door Grill - Lee's Summit

Permit Set

Lot 1 Streets Of Pryor

Lee's Summit, MO

SEAL OF THE STATE OF MISSOURI

MICHAEL WELCH

REGISTERED PROFESSIONAL ENGINEER

PE-00029713

4-9-21

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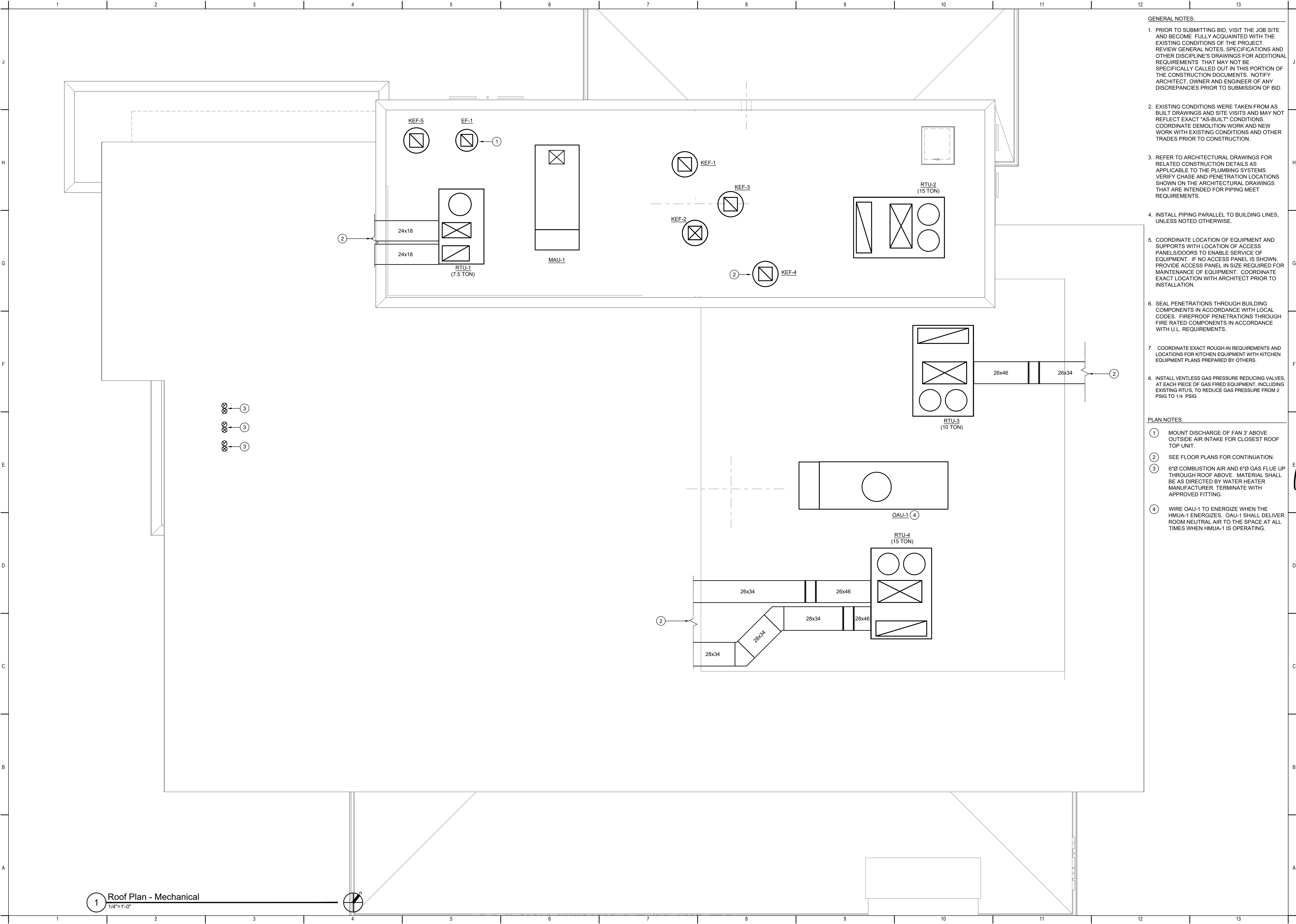
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Mechanical Mezzanine Plan

M102

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  7. COORDINATE EXACT ROUGH-IN REQUIREMENTS AND LOCATIONS FOR KITCHEN EQUIPMENT WITH KITCHEN EQUIPMENT PLANS PREPARED BY OTHERS.
  8. INSTALL VENTLESS GAS PRESSURE REDUCING VALVES, AT EACH PIECE OF GAS FIRED EQUIPMENT, INCLUDING EXISTING RTUS, TO REDUCE GAS PRESSURE FROM 2 PSIG TO 1/4 PSIG

- PLAN NOTES:
- ① MOUNT DISCHARGE OF FAN 3' ABOVE OUTSIDE AIR INTAKE FOR CLOSEST ROOF TOP UNIT.
  - ② SEE FLOOR PLANS FOR CONTINUATION.
  - ③ 6"Ø COMBUSTION AIR AND 6"Ø GAS FLUE UP THROUGH ROOF ABOVE. MATERIAL SHALL BE AS DIRECTED BY WATER HEATER MANUFACTURER. TERMINATE WITH APPROVED FITTING.
  - ④ WIRE OAU-1 TO ENERGIZE WHEN THE HMUA-1 ENERGIZES. OAU-1 SHALL DELIVER ROOM NEUTRAL AIR TO THE SPACE AT ALL TIMES WHEN HMUA-1 IS OPERATING.

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Red Door Grill - Lee's Summit

Permit Set

Lot 1 Streets Of Pryor

Lee's Summit, MO

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Mechanical Roof Plan

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AIR TERMINAL DEVICES SCHEDULE								
PLAN MARK	QUANTITY	MANUFACTURER	MODEL	SERVICE	MOUNT TYPE	BORDER SIZE	NECK SIZE	VOLUME DAMPER
ER-1	6	TITUS	350FL	EXHAUST	SURFACE	--	8"X8"	YES
RG-1	3	TITUS	PAR	RETURN	LAY-IN	24"X24"	22"X22"	NO
RG-1	4	TITUS	PAR	RETURN	LAY-IN	24"X24"	12"	NO
RG-2	4	TITUS	350FL	RETURN	SURFACE	--	24"X12"	YES
SD-2	8	TITUS	300FL	SUPPLY	SURFACE	--	18"X8"	YES
SD-2	1	TITUS	300FL	SUPPLY	SURFACE	--	12"X6"	YES
SD-2	2	TITUS	300FL	SUPPLY	SURFACE	--	8"X8"	YES
SD-2	17	TITUS	300FL	SUPPLY	SURFACE	--	10"X6"	YES
SD-2	6	TITUS	300FL	SUPPLY	SURFACE	--	6"X6"	YES
SD-3	1	TITUS	TMR	SUPPLY	SURFACE	--	8"	YES
SD-3	3	TITUS	TMR	SUPPLY	SURFACE	--	10"	YES
SD-3	2	TITUS	TMR	SUPPLY	SURFACE	--	12"	YES
SD-4	4	TITUS	OMNI	SUPPLY	LAY-IN	24"X24"	12"	YES
SD-4	1	TITUS	OMNI	SUPPLY	LAY-IN	24"X24"	8"	YES

RADIANT HEATER SCHEDULE				
UNIT INFORMATION				NOTES
UNIT CALLOUT	MFG	MODEL NO.	CAP (BTUH)	
RH-1	INFRASAVE	IO-152	50.0	1

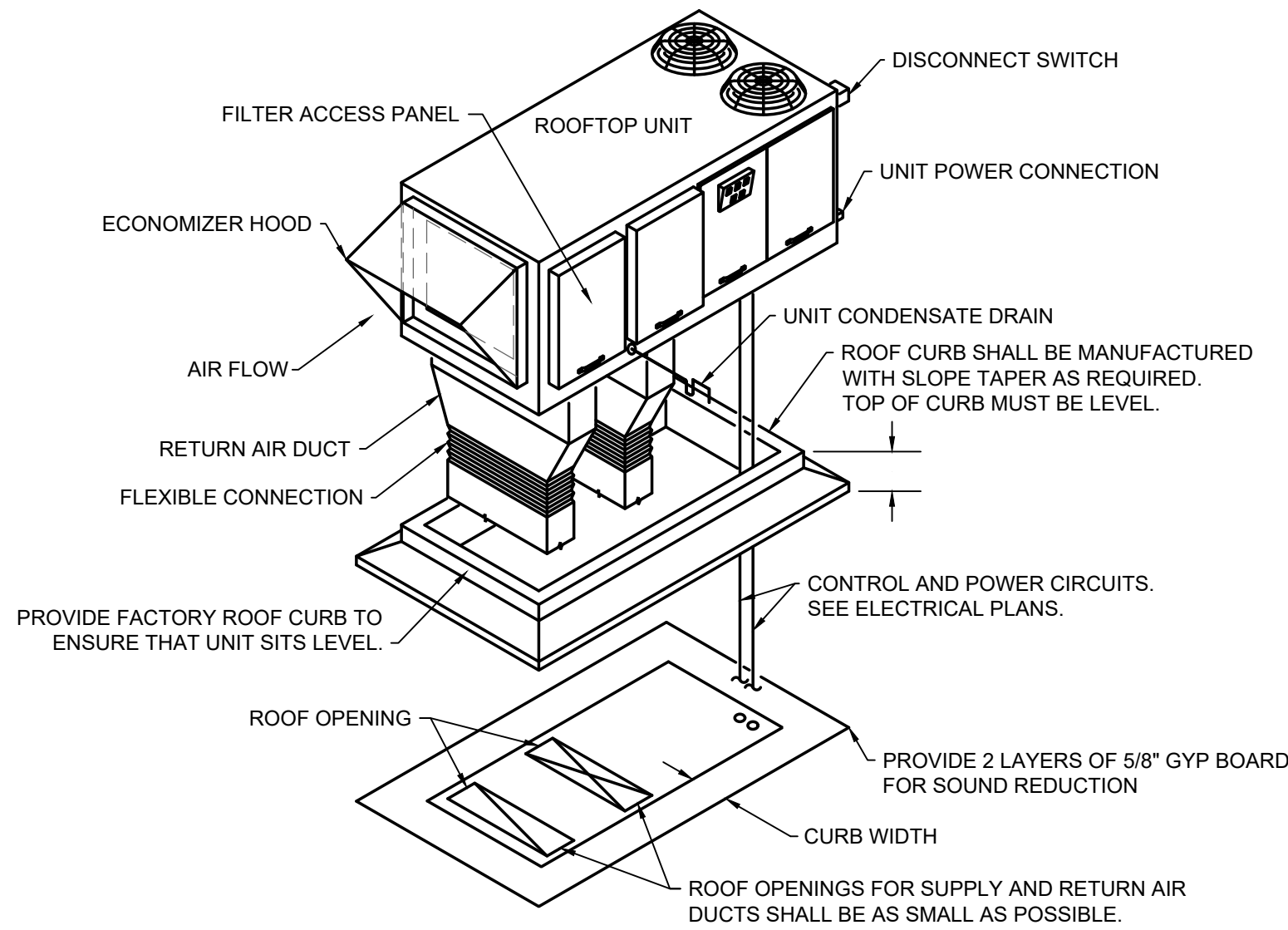
NOTES:  
1. SUPPLY WITH PATIO PANEL, MOUNTING KIT AND FLEXIBLE GAS CONNECTOR.

LAMINAR FLOW GRILLE SCHEDULE						
PLAN MARK	MFG.	MODEL NO.	SERVICE	MOUNT TYPE	VOLUME DAMPER	NOTES
LF-1	TITUS	TUF-SS	SUPPLY	LAY IN	YES	1

NOTES:  
1. SUPPLY IN SIZES SHOWN ON DRAWINGS

DEDICATED OUTSIDE AIR UNIT SCHEDULE																					
UNIT CALLOUT	WEIGHT (LBS)	UNIT INFORMATION								GAS BURNER INFORMATION					DX COIL INFORMATION						
		MFG	MODEL NO.	VOLT/ PHASE	MCA	MOCP (AMPS)	EXT STATIC (IN WC)	FLOW (CFM)	HP	GAS TYPE	GAS INPUT (MBH)	GAS OUTPUT (MBH)	EAT ("F)	LAT ("F)	EAT ("F)	LAT ("F)	SHC (MBH)	THC (MBH)	FAN NUM	# OF COMP	AMB TEMP ("F)
OAU-1	1305	TRANE	OABD036A3	208/3	25.6	35	0.75	600	2.5	NAT	75	60	0	92.6	100/77	56.6/56.4	28.2	43.2	1	1	100

NOTES:  
1. SUPPLY UNIT WITH THE FOLLOWING OPTIONS:  
A. FACTORY ROOF CURB/ CURB ADAPTOR.  
B. FACTORY STARTER AND DISCONNECT.  
C. CONDENSER COIL HAIL GUARDS.  
D. DIGITAL SCROLL COMPRESSOR.  
E. OUTDOOR HOOD WITH INSECT SCREEN.  
F. HOT GAS REHEAT.  
G. FACTORY CONTROLS.



NOTES:  
1. INSTALL ROOFTOP UNIT PER MANUFACTURER'S RECOMMENDATION AND INSTALLATION MANUAL.  
2. COORDINATE ROOF OPENINGS WITH STRUCTURAL DRAWINGS.  
3. DUCT TRANSITIONS SHALL BE MADE IN THE TRUSS SPACE ABOVE THE CEILING AND BELOW THE ROOF.

1 ROOFTOP UNIT INSTALLATION DETAIL  
NO SCALE

ROOF TOP UNIT SCHEDULE																										
UNIT CALLOUT	WEIGHT (LBS)	NOMINAL TONS	UNIT INFORMATION								GAS BURNER INFORMATION						DX COIL INFORMATION						FILTER		NOTES	
			MFG	MODEL NO.	VOLT/ PHASE	MCA	MOCP (AMPS)	EXT STATIC (IN WC)	FLOW (CFM)	HP	GAS TYPE	EFF. (%)	GAS INPUT (MBH)	GAS OUTPUT (MBH)	EAT ("F)	LAT ("F)	EAT ("F)	LAT ("F)	SHC (MBH)	THC (MBH)	STEPS (#)	FAN NUM	# OF COMP	AMB TEMP ("F)		TYPE
RTU-1	1069	7.5	TRANE	YSC092	208/3	39.3	50	0.9	3000	1	NAT	80	200	160	65	114.4	80	55	81.0	90	3	1	2	100	2" PLEATED	1,2
RTU-2	2519	15	TRANE	YSD180	208/3	75	100	0.9	6000	5	NAT	80	250	200	65	95.9	80	55	162.0	180	3	1	2	100	2" PLEATED	1,2
RTU-3	1399	10	TRANE	YSC120	208/3	49.6	60	0.9	4000	3	NAT	80	250	200	65	111.3	80	55	108.0	120	3	1	2	100	2" PLEATED	1,2
RTU-4	2519	15	TRANE	YSD180	208/3	75	100	0.9	6000	5	NAT	80	250	200	65	95.9	80	55	162.0	180	3	1	2	100	2" PLEATED	1,2

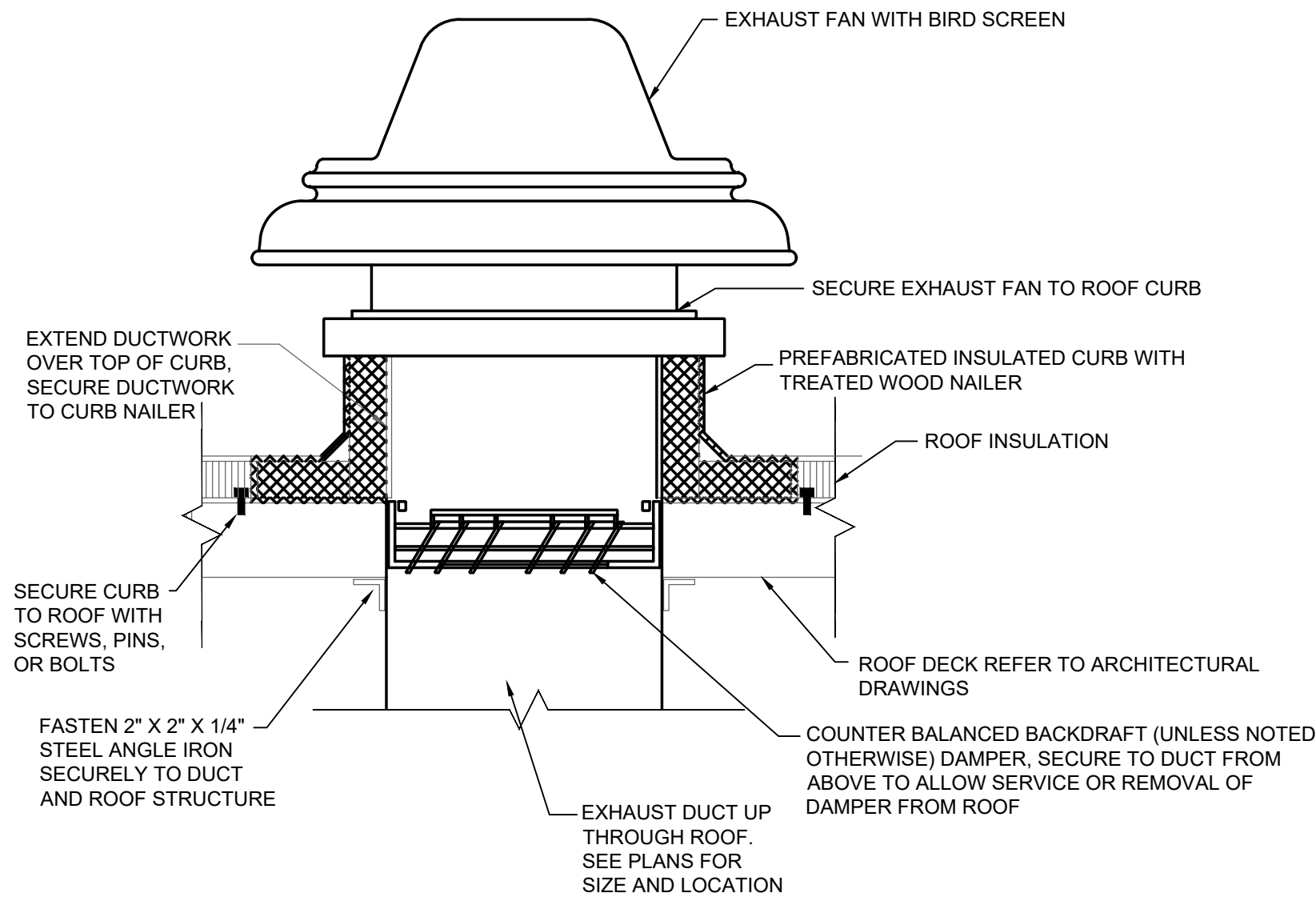
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1. SUPPLY UNIT WITH THE FOLLOWING OPTIONS:  
A. FACTORY ROOF CURB/ CURB ADAPTOR.  
B. FACTORY STARTER AND DISCONNECT.  
C. CONDENSER COIL HAIL GUARDS.  
D. ECONOMIZER WITH BAROMETRIC RELIEF.  
E. OUTDOOR AND RELIEF AIR HOODS, WITH INSECT SCREEN.  
F. WIRED THERMOSTATS AND TEMPERATURE SENSOR. WIRELESS CONTROLS ARE NOT ACCEPTABLE.  
2. SUPPLY WITH 2 COMPRESSORS.

ELECTRIC DUCT HEATER SCHEDULE											
UNIT CALLOUT	UNIT INFORMATION				DUCT DIMENSIONS		ELEC HEATING COIL INFORMATION				
	MFG	MODEL NO.	LENGTH (IN)	HEIGHT (IN)	AIRFLOW (CFM)	EAT ("F)	LAT ("F)	CAP (KW)	STEPS (#)	VOLT/ PHASE	NOTES
EDH-1	INDEECO	QUA	8	10	350	55	82.5	3.0	SCR	208/3	1
EDH-2	INDEECO	QUA	10	12	475	55	95	6.0	SCR	208/3	1

NOTE 1: FURNISH WITH INTEGRAL NON-FUSED DISCONNECT SWITCH AND FACTORY CONTROLS.

EXHAUST FAN SCHEDULE								
UNIT CALLOUT	UNIT INFORMATION							NOTES
	MFG	MODEL NO.	TYPE	EXT STATIC (IN WC)	FLOW (CFM)	HP	VOLT/ PHASE	
EF-1	COOK	ACED	DNBLAST	0.5	450	1/2	120/1	1

NOTES:  
1. SUPPLY WITH FACTORY STARTER, DISCONNECT, ECM MOTOR WITH SPEED CONTROLLER, INSECT SCREEN AND ROOF CURB.



2 DOWNBLAST EXHAUST FAN DETAIL  
NO SCALE

GENERAL	
①	MECHANICAL NOTE REFERENCE
②	DEMOLITION NOTE REFERENCE
Ⓐ	REVISION NOTE REFERENCE
◐	CONNECT TO EXISTING WORK
HVAC	
— D —	HVAC CONDENSATE DRAIN
Ⓣ	THERMOSTAT
Ⓣ <sub>S</sub>	TEMPERATURE SENSOR
Ⓢ <sub>D</sub>	DUCT MOUNTED SMOKE DETECTOR
⊙	SUPPLY DIFFUSER
⊠	RETURN GRILLE/EXHAUST REGISTER
↔	RETURN AND EXHAUST AIR FLOW INDICATOR
⊞	DUCT MOUNTED MANUAL BALANCING DAMPER
⊞	DUCT MOUNTED FIRE/SMOKE, FIRE, AND SMOKE DAMPER

3 MECHANICAL SYMBOLS  
NO SCALE



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Missouri Certificate of Authority: #

PROJECT NUMBER: 20.033

ISSUE DATE: 10 March, 2021

REVISIONS	DATE

Mechanical Schedules & Details

M201

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ARCHITECTURAL  
URBAN PRAIRIE  
COLLABORATIVE, P.C.

Red Door Grill - Lee's Summit  
Permit Set  
Lot 1 Streets Of Pryor  
Lee's Summit, MO







J

H

G

F

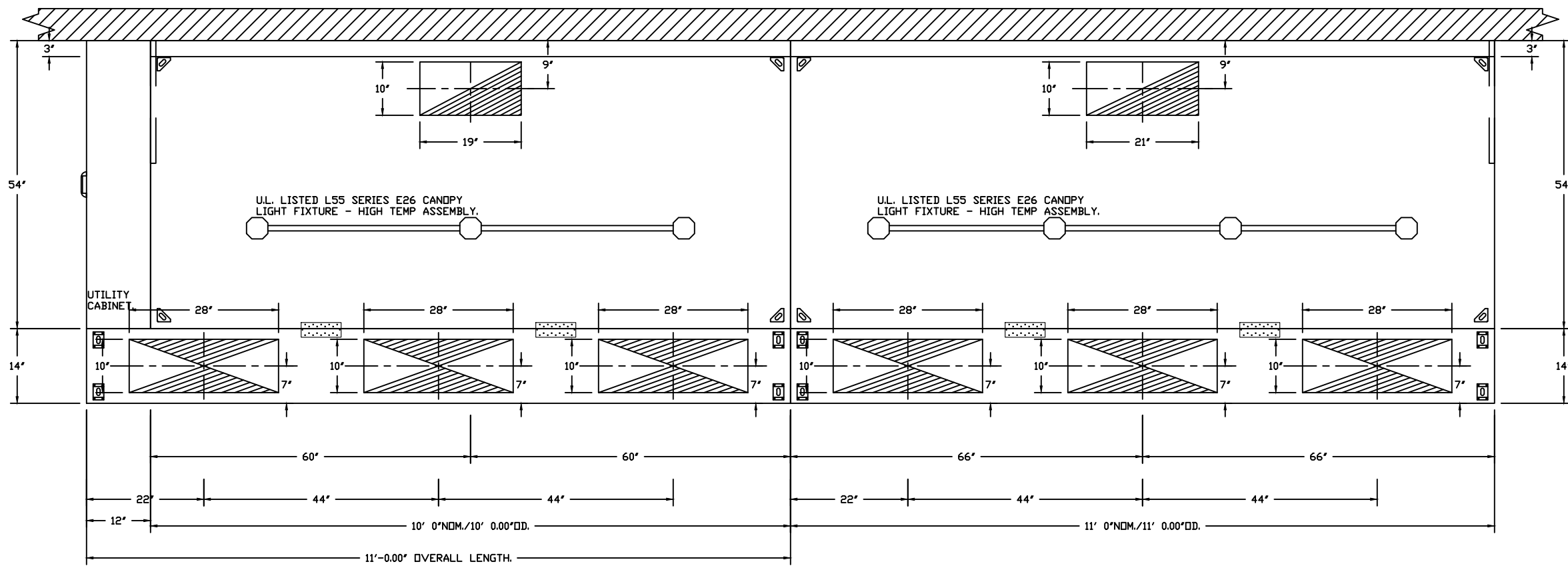
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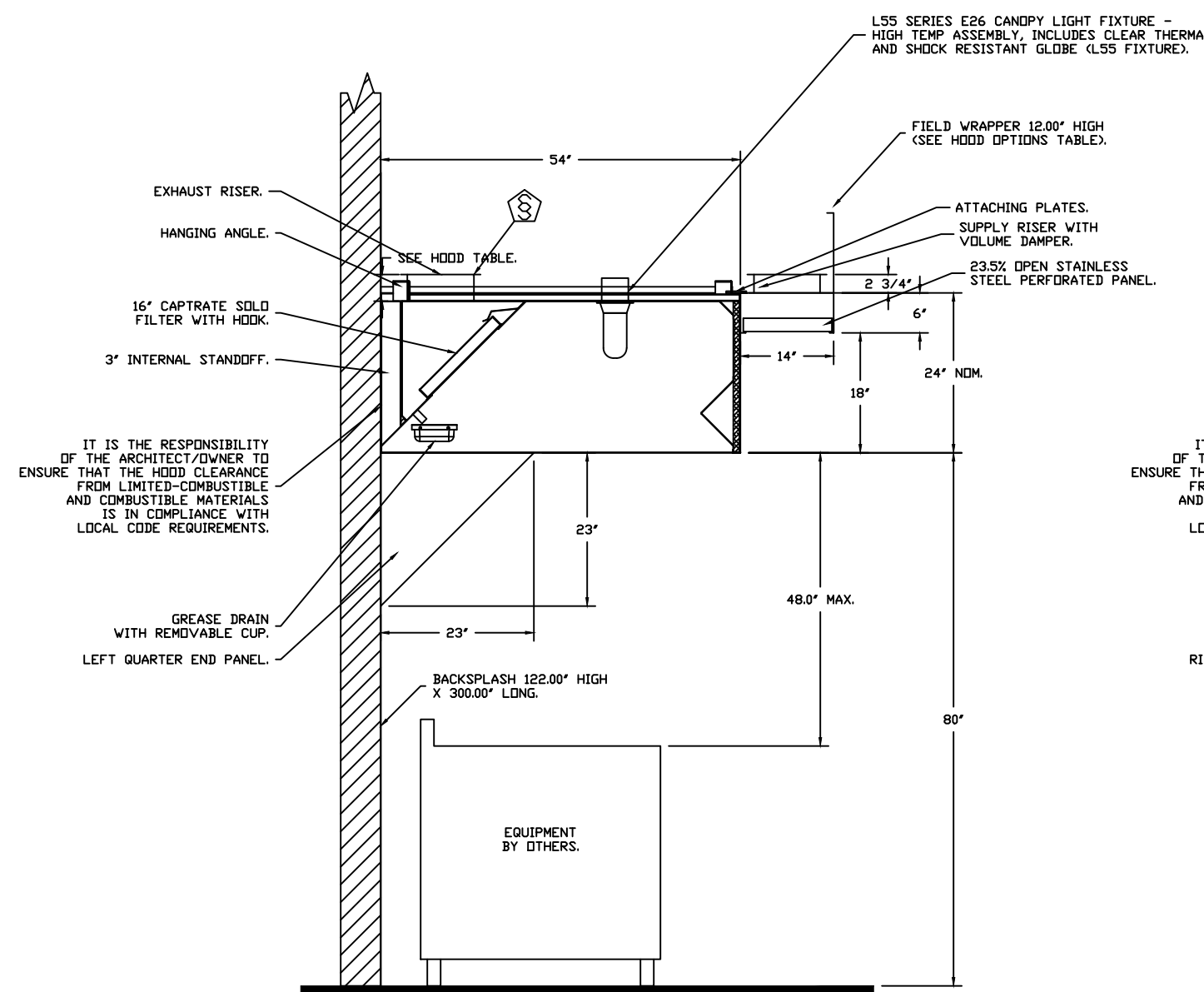
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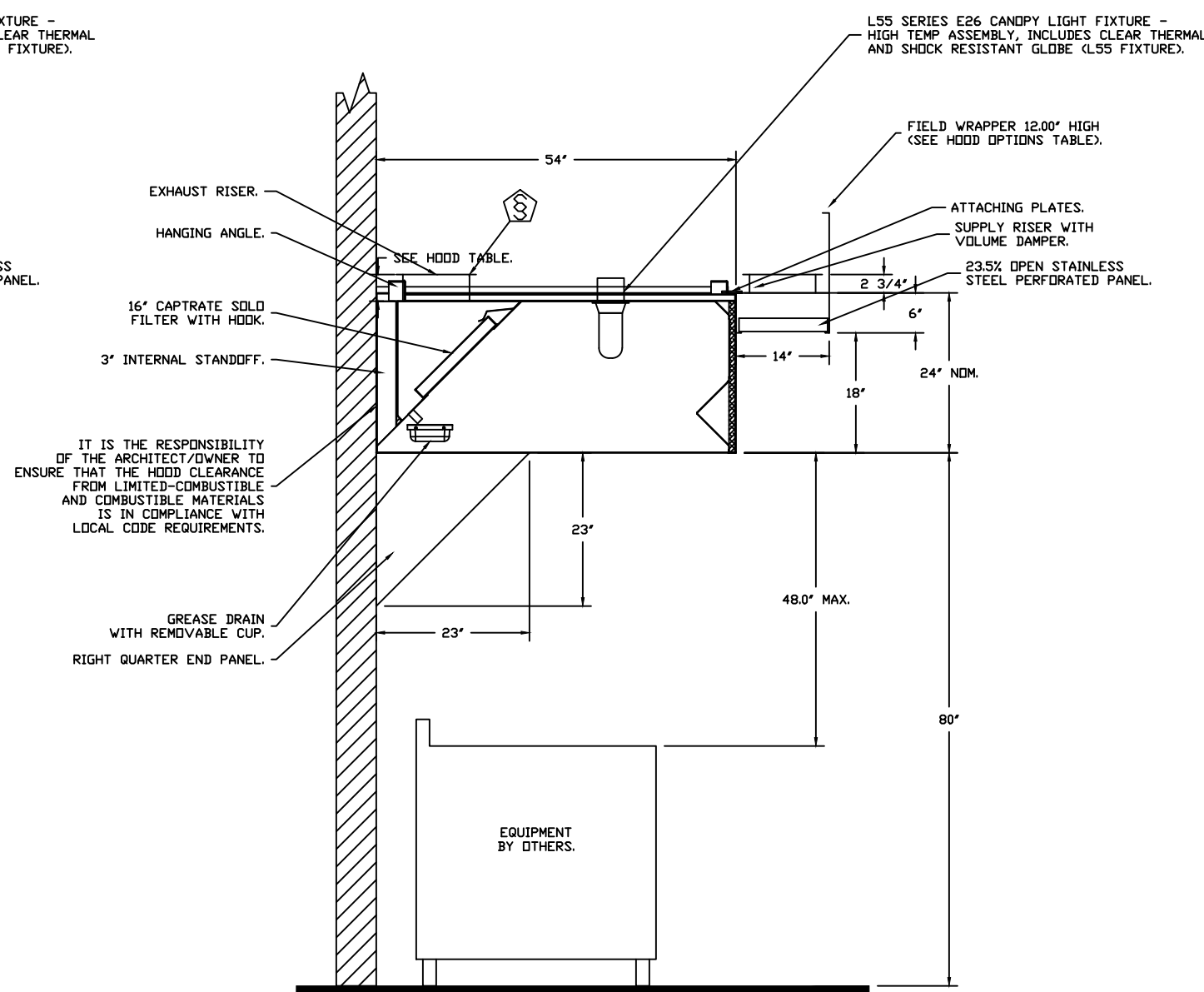


PLAN VIEW - HOOD #2 (ITEM 32)  
10' 0.00' LONG 5424ND-2-PSP-F

PLAN VIEW - HOOD #3 (ITEM 32)  
11' 0.00' LONG 5424ND-2-PSP-F



SECTION VIEW - MODEL 5424ND-2-PSP-F  
HOOD - #2 (ITEM 32)



SECTION VIEW - MODEL 5424ND-2-PSP-F  
HOOD - #3 (ITEM 32)

EXHAUST FAN INFORMATION - JOB#4827083

FAN UNIT NO	TAG	QTY	FAN UNIT MODEL #	MANUFACTURER	CFM	ESP	RPM	MOTOR ENCL.	HP	BHP	PHASE	VOLT	FLA	DISCHARGE VELOCITY	WEIGHT (LBS)	SDNES
1	ITEM #171	1	DUBSHFA	CAPTIVEAIRE	1400	1.000	1221	TEAD-ECM	1.000	0.3490	1	208	6.9	443 FPM	93	10.3
2	ITEM 32.1	1	DUBSHFA	CAPTIVEAIRE	2000	1.600	1661	TEAD-ECM	1.000	0.8010	1	208	6.9	633 FPM	93	18.1
3	ITEM 32.2	1	DUBSHFA	CAPTIVEAIRE	2200	1.600	1240	DDP-PREMIUM	2.000	1.2390	3	208	8.3	508 FPM	181	16.4
4	ITEM #52.1	1	CASRE18DD	CAPTIVEAIRE	1948	1.500	1150	DDP-PREMIUM	1.500	0.8070	3	208	4.4	1130 FPM	269	14.7
5	ITEM 71.1	1	DUBSHFA	CAPTIVEAIRE	900	0.750	1510	TEAD-ECM	0.500	0.3430	1	115	6.3	342 FPM	75	16.1

MUA FAN INFORMATION - JOB#4827083

FAN UNIT NO	TAG	QTY	FAN UNIT MODEL #	BLOWER	HOUSING	MIN CFM	DESIGN CFM	ESP	RPM	MOTOR ENCL.	HP	BHP	PHASE	VOLT	FLA	MCA	MDCP	WEIGHT (LBS)	SDNES
6	HMLA	1	A2-D-500-2DD	20MF-2-MOD	A2-D-500	2500	5922	0.500	2092	DDP-PREMIUM	7.500	5.2140	3	208	21.1	26.44	45A	705	27

GAS FIRED MAKE-UP AIR UNIT(S)

FAN UNIT NO	TAG	INPUT BTU/hr	OUTPUT BTU/hr	TEMP RISE	REQUIRED INPUT GAS PRESSURE	GAS TYPE	BURNER EFFICIENCY(%)
6	HMLA	365767	336506	55°F	7 IN. W.C. - 14 IN. W.C.	NATURAL	92

FAN OPTIONS

FAN UNIT NO	TAG	QTY	DESCRIPTION
1	ITEM #171	1	GREASE BOX.
		1	EXHAUST FAN HEAT BAFFLE.
		1	ECM WIRING PACKAGE - PWM SIGNAL FROM ECM03 PREWIRE (TELCD MOTOR), CCW ROTATION.
2	ITEM 32.1	1	GREASE BOX.
		1	EXHAUST FAN HEAT BAFFLE.
		1	ECM WIRING PACKAGE - PWM SIGNAL FROM ECM03 PREWIRE (TELCD MOTOR), CCW ROTATION.
3	ITEM 32.2	1	GREASE BOX.
		1	EXHAUST FAN HEAT BAFFLE.
		1	2 YEAR PARTS WARRANTY.
4	ITEM #52.1	1	UTILITY SET GREASE CUP.
		1	2 YEAR PARTS WARRANTY.
		1	ECM WIRING PACKAGE - EXHAUST - MANUAL DR 0-10VDC REFERENCE SPEED CONTROL -MSC- (TELCD), CCW ROTATION.
5	ITEM 71.1	1	15-BSD DAMPER.
		1	SCP-13 BIRD SCREEN.
		1	2 YEAR PARTS WARRANTY.
		1	AC INTERLOCK RELAY - 24VAC COIL.
		1	MOTORIZED BACKDRAFT DAMPER FOR A2-D HOUSING, MEETS AMCA CLASS 1A RATING.
		1	LOW FIRE START.
6	HMLA	1	INLET PRESSURE GAUGE, 0-35\"/>

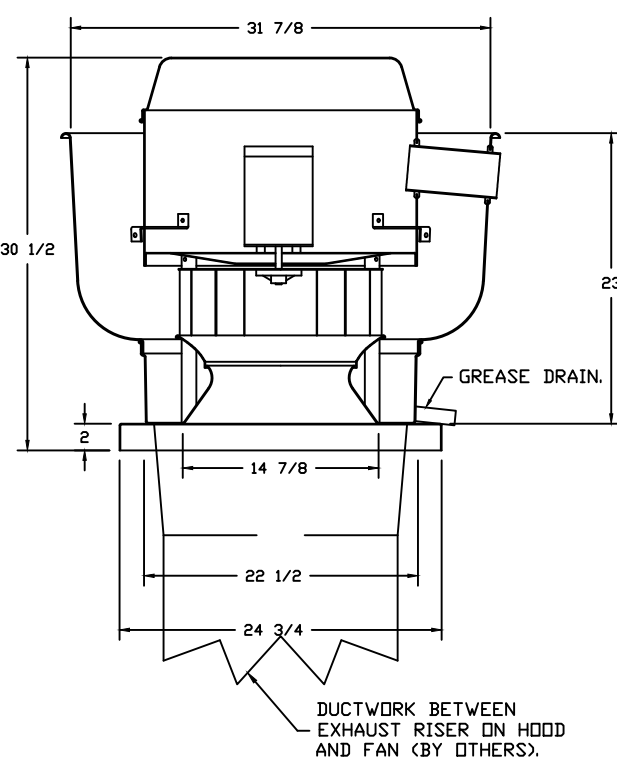
FAN ACCESSORIES

FAN UNIT NO	TAG	EXHAUST	SUPPLY
		GREASE CUP	GRAVITY DAMPER
1	ITEM #171	YES	
2	ITEM 32.1	YES	
3	ITEM 32.2	YES	
4	ITEM #52.1	YES	
5	ITEM 71.1	YES	
6	HMLA		YES

CURB ASSEMBLIES

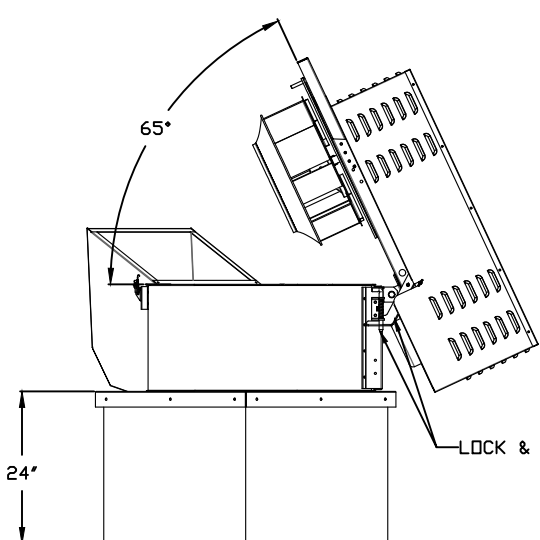
NO	DN FAN	TAG	WEIGHT	ITEM	SIZE
1	# 1	ITEM #171	36 LBS	CURB	23.000\"/>
2	# 2	ITEM 32.1	36 LBS	CURB	23.000\"/>
3	# 3	ITEM 32.2	41 LBS	CURB	26.500\"/>
4	# 4	ITEM #52.1	92 LBS	CURB	26.500\"/>
5	# 5	ITEM 71.1	27 LBS	CURB	19.500\"/>
6	# 6	HMLA	76 LBS	CURB	31.000\"/>

FANS #1 (ITEM #171), #2 (ITEM 32.1) - DUBSHFA EXHAUST FAN



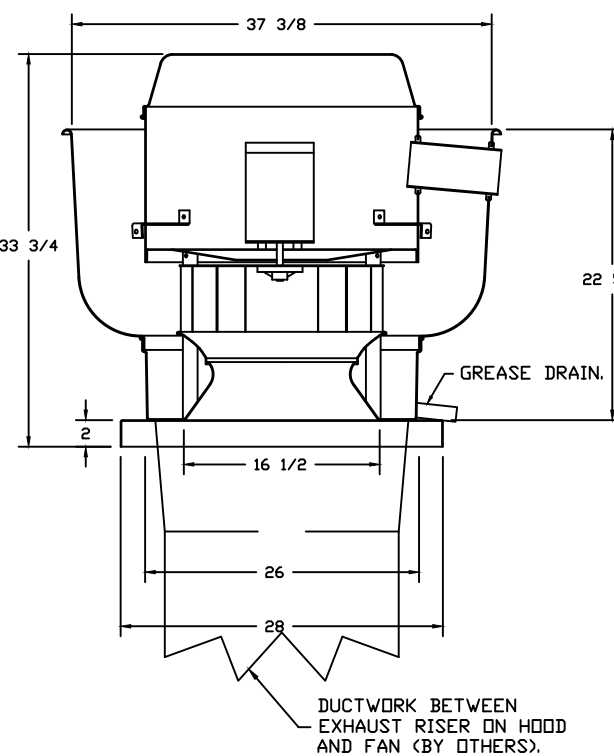
TOP VIEW

FAN #4 CASRE18DD - EXHAUST FAN (ITEM #52.1)



TOP VIEW

FAN #3 DUBSHFA - EXHAUST FAN (ITEM 32.2)



TOP VIEW

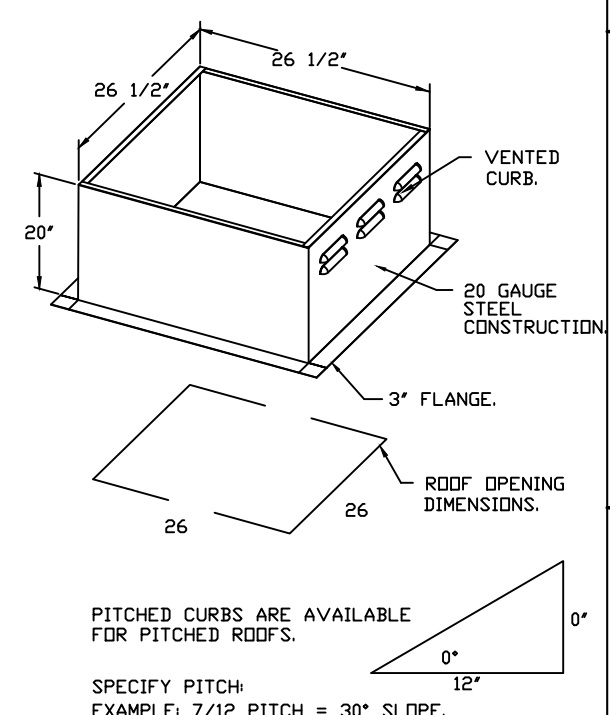
FEATURES:

- DIRECT DRIVE CONSTRUCTION AND BELTS/PULLEYS.
- ROOF MOUNTED FANS.
- RESTAURANT MODEL.
- UL705 AND UL762 AND UL-C-5645
- VARIABLE SPEED CONTROL.
- INTERNAL WIRING.
- THERMAL OVERLOAD PROTECTION (SINGLE PHASE).
- HIGH HEAT OPERATION 300°F (149°C).
- GREASE CLASSIFICATION TESTING.
- NEMA 3R SAFETY DISCONNECT SWITCH.

**NORMAL TEMPERATURE TEST**  
EXHAUST FAN MUST OPERATE CONTINUOUSLY WHILE EXHAUSTING AIR AT 300°F (149°C) UNTIL ALL FAN PARTS HAVE REACHED THERMAL EQUILIBRIUM, AND WITHOUT ANY DETERIORATING EFFECTS TO THE FAN WHICH WOULD CAUSE UNSAFE OPERATION.

**ABNORMAL FLARE-UP TEST**  
EXHAUST FAN MUST OPERATE CONTINUOUSLY WHILE EXHAUSTING BURNING GREASE VAPORS AT 600°F (316°C) FOR A PERIOD OF 15 MINUTES WITHOUT THE FAN BECOMING DAMAGED TO ANY EXTENT THAT COULD CAUSE AN UNSAFE CONDITION.

**OPTIONS**  
GREASE BOX.  
EXHAUST FAN HEAT BAFFLE.  
2 YEAR PARTS WARRANTY.



TOP VIEW

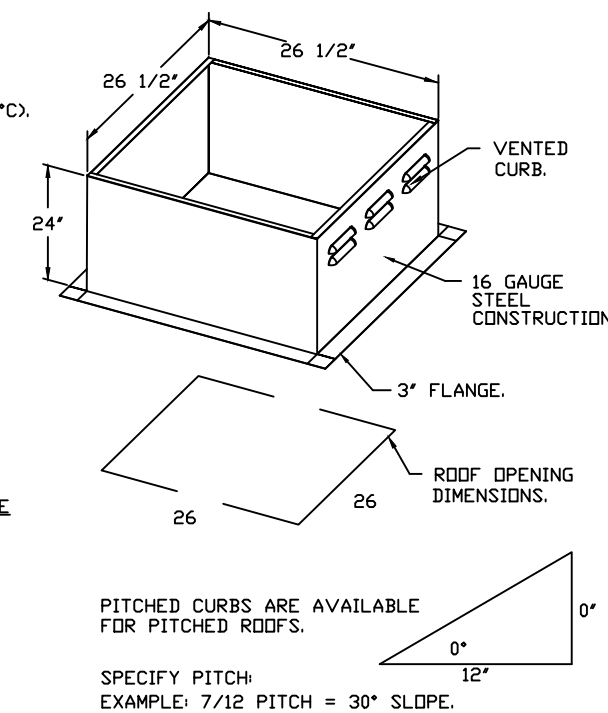
FEATURES:

- ROOF MOUNTED FANS.
- RESTAURANT MODEL.
- UL762 AND UL-C-5645.
- HIGH HEAT OPERATION DIRECT DRIVE 300°F (149°C).
- HEAT SLINGER.
- GREASE CLASSIFICATION TESTING.
- TILT OUT WHEEL.
- LOCKING PIN FOR POWER PACK.
- MOTOR WEATHER COVER.
- INTERLOCKED DISCONNECT SWITCH.
- NEMA 4X SAFETY DISCONNECT SWITCH.

**NORMAL TEMPERATURE TEST DIRECT DRIVE**  
EXHAUST FAN MUST OPERATE CONTINUOUSLY WHILE EXHAUSTING AIR AT 300°F (149°C) UNTIL ALL FAN PARTS HAVE REACHED THERMAL EQUILIBRIUM, AND WITHOUT ANY DETERIORATING EFFECTS TO THE FAN WHICH WOULD CAUSE UNSAFE OPERATION.

**ABNORMAL FLARE-UP TEST BELT & DIRECT DRIVE**  
EXHAUST FAN MUST OPERATE CONTINUOUSLY WHILE EXHAUSTING BURNING GREASE VAPORS AT 600°F (316°C) FOR A PERIOD OF 15 MINUTES WITHOUT THE FAN BECOMING DAMAGED TO ANY EXTENT THAT COULD CAUSE AN UNSAFE CONDITION.

**OPTIONS**  
UTILITY SET GREASE CUP.  
2 YEAR PARTS WARRANTY.

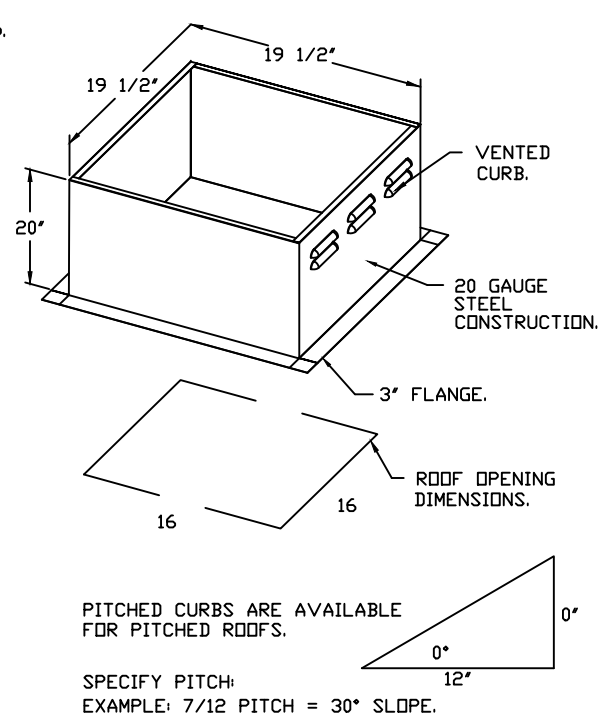


TOP VIEW

FEATURES:

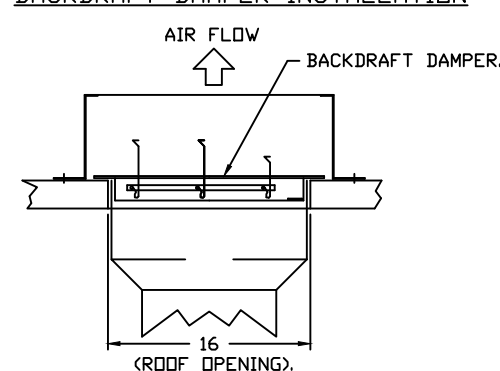
- DIRECT DRIVE CONSTRUCTION AND BELTS/PULLEYS.
- ROOF MOUNTED FANS.
- UL705.
- VARIABLE SPEED CONTROL.
- INTERNAL WIRING.
- THERMAL OVERLOAD PROTECTION (SINGLE PHASE).
- NEMA 3R SAFETY DISCONNECT SWITCH.

**OPTIONS**  
ECM WIRING PACKAGE - EXHAUST - MANUAL OR 0-10VDC REFERENCE SPEED CONTROL -MSC- (TELCD), CCW ROTATION.  
15-BSD DAMPER.  
SCP-13 BIRD SCREEN.  
2 YEAR PARTS WARRANTY.



TOP VIEW

BACKDRAFT DAMPER INSTALLATION



TOP VIEW



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Missouri Certificate of Authority: #  
PROJECT NUMBER: 20-033  
ISSUE DATE: 10 March, 2021  
REVISIONS  
DATE

Mechanical Details

M203

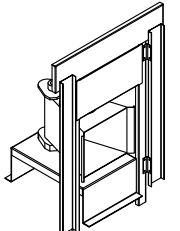


- FAN #6 AR-2500-200 - HEATER (DMAS)
1. DIRECT GAS FIRED HEATER MAKE UP AIR UNIT WITH 20" MIXED FLOW DRIVE FAN.
  2. INTAKE HODD WITH EZ FILTERS.
  3. DOWN DISCHARGE - AIR FLOW RIGHT -> LEFT.
  4. COILING INTERLOCK RELAY, 24VAC COIL, 120V CONTACTS. LOCKS OUT BURNER CIRCUIT WHEN AC IS ENERGIZED.
  5. MOTORIZED BACK DRAFT DAMPER 20"X20" X 24" FOR SIZE 2 STANDARD 6 MODULAR HEATER UNITS W/EXTENDED DRAFT. STANDARD GALVANIZED CONSTRUCTION, 3/4" REAR FLANGE, LOW LEAKAGE, LF305 ACTUATOR INCLUDED.
  6. LOW FIRE START. ALLOWS THE BURNER CIRCUIT TO ENERGIZE WHEN THE MODULATOR CONTROL IS IN A LOW FIRE POSITION.
  7. GAS PRESSURE GAUGE, 0-35", 2.5" DIAMETER, 1/4" THREAD SIZE.
  8. GAS PRESSURE GAUGE, 0-5" TO 145 INCHES WC, 2.5" DIAMETER, 1/4" THREAD SIZE.
  9. SEPARATE 120VAC WIRING PACKAGE FOR MAKE-UP AIR UNITS. OPTION MUST BE SELECTED WHEN MOUNTING VFD IN PREWIRE PANEL OR WITH 20V PACKAGE. PROVIDES SEPARATE 120VAC INPUT TO SUPPLY FAN. THIS 120V LINE MUST BE RUN BY ELECTRICAL FROM NEW TO OLD SWITCH.
  10. INSULATED DOUBLE WALL INSULATED DOOR ASSEMBLY (BURNER/BLOWER SECTION).
  11. 2 YEAR PARTS WARRANTY.



#### SUPPLY SIDE HEATER INFORMATION

WINTER TEMPERATURE = 20°F. TEMP. RISE = 50°F.  
RTU CALCULATED DRY ACTUAL AIR DENSITY,  
OUTPUT BTU/H AT ALTITUDE OF 60 FT. = 347969.  
INPUT BTU/H AT ALTITUDE OF 60 FT. = 308257.  
OUTPUT BTU/H AT ALTITUDE OF 904 FT. = 306506.  
INPUT BTU/H AT ALTITUDE OF 904 FT. = 265768.



#### DIRECT FIRED GAS PROFILE PLATE SPECIFICATIONS

PROFILE PLATES SHALL BE MADE FROM 304/316 STAINLESS STEEL. PROFILE PLATES SHALL BE MADE FROM 304/316 STAINLESS STEEL. PROFILE PLATES SHALL BE MADE FROM 304/316 STAINLESS STEEL.

REGULATIONS: DIRECT FIRED GAS PROFILE PLATES ARE ENGINEERED TO AUTOMATICALLY REACT TO THE VENTURI OF A FRESH AIR STREAM, WITHOUT THE NEED FOR ANY MOTOR OR ACTUATOR TO MECHANICALLY ADJUST THEM WITH THE EXISTING GAS FLOW. THEY ARE DESIGNED FOR BURNER CONTROL. MODULATOR CONTROL REQUIREMENTS.

GENERAL CONSTRUCTION: PROFILE PLATES SHALL BE FORMED FROM 304/316 STAINLESS STEEL. PROFILE PLATES SHALL BE MADE FROM 304/316 STAINLESS STEEL. PROFILE PLATES SHALL BE MADE FROM 304/316 STAINLESS STEEL.

INSTALLATION: PROFILE PLATES SHALL BE INSTALLED TO THE CURB FLANGE AS SHOWN IN THE DIAGRAM. PROFILE PLATES SHALL BE INSTALLED TO THE CURB FLANGE AS SHOWN IN THE DIAGRAM.

NOTES: PROFILE PLATES SHALL BE MADE FROM 304/316 STAINLESS STEEL. PROFILE PLATES SHALL BE MADE FROM 304/316 STAINLESS STEEL. PROFILE PLATES SHALL BE MADE FROM 304/316 STAINLESS STEEL.

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#### DOAS/RTU FAN SCHEDULE - JOB#4827089

FAN UNIT NO	TAG	QTY	DOAS/RTU MODEL #	MANUFACTURER	BLOWER	RETURN AIR CFM	MAX OUTSIDE AIR CFM	TOTAL CFM	ESP	HP	BHP	PHASE	VOLT	MCA	MOC	WEIGHT (LBS)
7	BAR DOAS	1	CASRTU2-1150-13-BT-DOAS	CAPTIVEAIRE	13P-2	0	1000	1000	0.500	1.000	0.3450	3	208	33.3A	35A	1794

#### DOAS/RTU COOLING SCHEDULE

FAN UNIT NO	TAG	COMPRESSOR			OUTDOOR FAN			INDOOR COIL			OUTSIDE AIR DB TEMP	OUTSIDE AIR WB TEMP	MIXED AIR DB TEMP	MIXED AIR WB TEMP	LEAVING DB TEMP	LEAVING WB TEMP	LEAVING DB TEMP	TOTAL CAPACITY	SENSIBLE CAPACITY	LATENT CAPACITY	REHEAT LEAVING DB TEMP	REHEAT LEAVING WB TEMP	DESIRED REHEAT CAPACITY	MAX REHEAT CAPACITY	REHEAT LEAVING RELATIVE HUMIDITY	MOISTURE REMOVAL RATE	IEER
		TONNAGE	VOLTAGE	PHASE	MOTOR VOLTAGE	MOTOR #	MOTOR FREQUENCY	MOTOR QTY	RDWS	FACE AREA																	
7	BAR DOAS	8	190-240	3	200-240	3	60	2	5	7.3 SQFT	85.4°F	77.8°F	85.4°F	77.8°F	48.8°F	47.0°F	45.5°F	97.0 MBH	37.9 MBH	59.1 MBH	70.0°F	56.0°F	23.2 MBH	60 MBH	42	53.2 LBS/HR	20.2

#### DOAS/RTU HEATING SCHEDULE

FAN UNIT NO	TAG	INPUT BTU/H	OUTPUT BTU/H	TEMP RISE	REQUIRED INPUT GAS PRESSURE	GAS TYPE	BURNER EFFICIENCY(%)
7	BAR DOAS	117259	93807	80°F	7 IN. W.C. - 14 IN. W.C.	NATURAL	80

#### FAN OPTIONS

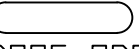
FAN UNIT NO	TAG	QTY	DESCRIPTION
7	BAR DOAS	1	SINGLE POINT ELECTRICAL CONNECTION FOR RTU. QNTY 1 750VA TRANSFORMER USED. IF A NON-DCV PREWIRE CONTROLS THIS UNIT, THE #28, #47, "MA", OR "E2" OPTION PREWIRE MUST BE SELECTED. DO NOT PROVIDE SUPPLY STARTER IN PREWIRE.
		1	CASLINK BUILDING MONITORING SYSTEM - INTERNET OR CELLULAR CONNECTION REQUIRED.
		1	RTU SIZE 2 DOWN DISCHARGE.
		1	2" MERV 13 FILTERS FOR SIZE 2 RTU. QTY. 4.
		1	2" MERV 8 FILTERS SIZE 2 RTU. QTY. 4.
		1	OVERHEAT STAT.
		1	TOTAL CFM MONITORING FOR DOAS.
		1	VFD FACTORY MOUNTED AND WIRED IN COMMERCIAL CONTROL VESTIBULE FOR RTU.
		1	8 TON MODULATING COOLING OPTION, 208/230V. R410A REFRIGERANT, VARIABLE SPEED COMPRESSOR, ECM CONDENSING FANS.
		1	9 TON MODULATING REHEAT OPTION. SPACE DEWPOINT CONTROL.
		1	INLET PRESSURE GAUGE, 0-25".
		1	MANIFOLD PRESSURE GAUGE, 0 TO 10" WC, 1 FURNACE.
		1	SIZE 2 RTU CURB DUCT HANGER.
		1	OCCUPIED SCHEDULING.
		1	CLOGGED FILTER SWITCH WITH NOTIFICATION ON HMI.
		1	SIZE 2 RTU CONVENIENCE OUTLET (GFCI), 15 AMP - REQUIRES SEPARATE 120V CONNECTION. INCLUDES RECEPTACLE, COVER AND J BOX.
		1	RTU 2 HAIL GUARD.
		1	RTU SIZE 2 NO RETURN.
		1	RTU FIXED 100% DA INTAKE CONTROL.
		1	VAV PACKAGE W/ MANUAL/DDC CONTROL (571 VFD INCLUDED).
		1	5 YEAR ENTIRE UNIT PARTS WARRANTY, 10 YEAR ENTIRE UNIT PARTS WARRANTY WITH REMOTE MONITORING AND CAPTIVEAIRE SERVICE CONTRACT, 25 YEAR STAINLESS STEEL FURNACE PARTS WARRANTY (SEE ADDITIONAL DETAILS).

#### CURB ASSEMBLIES

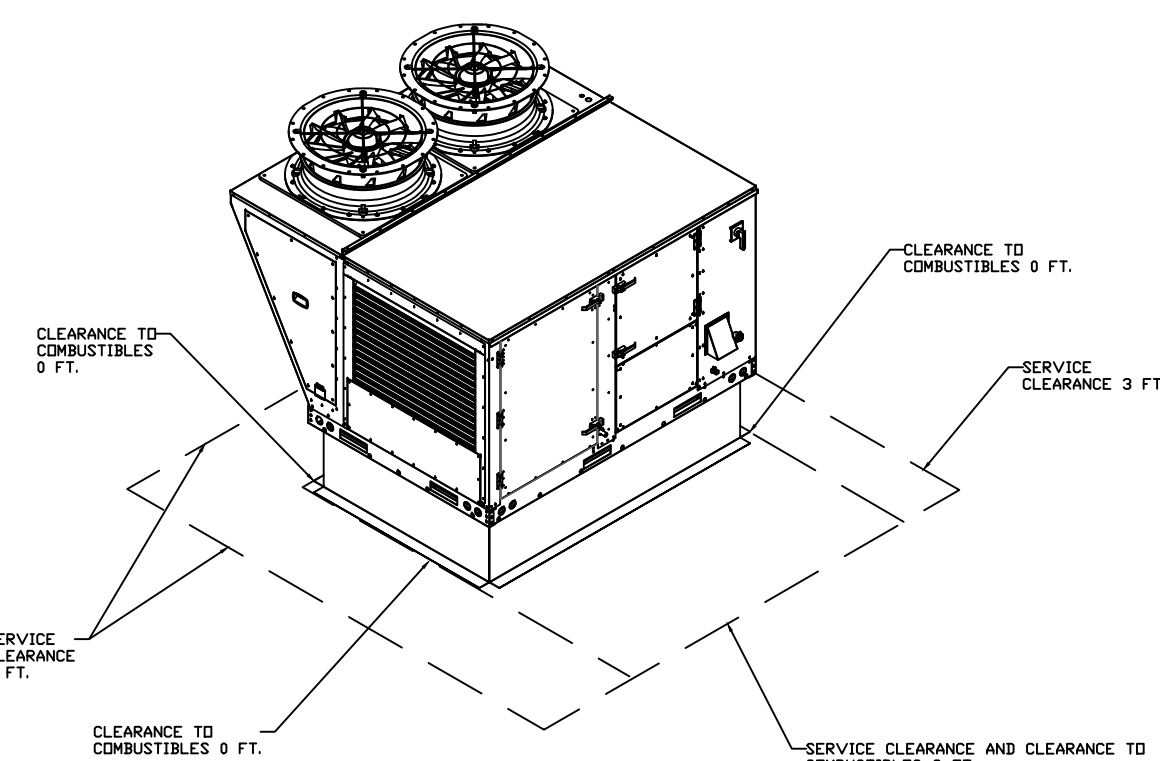
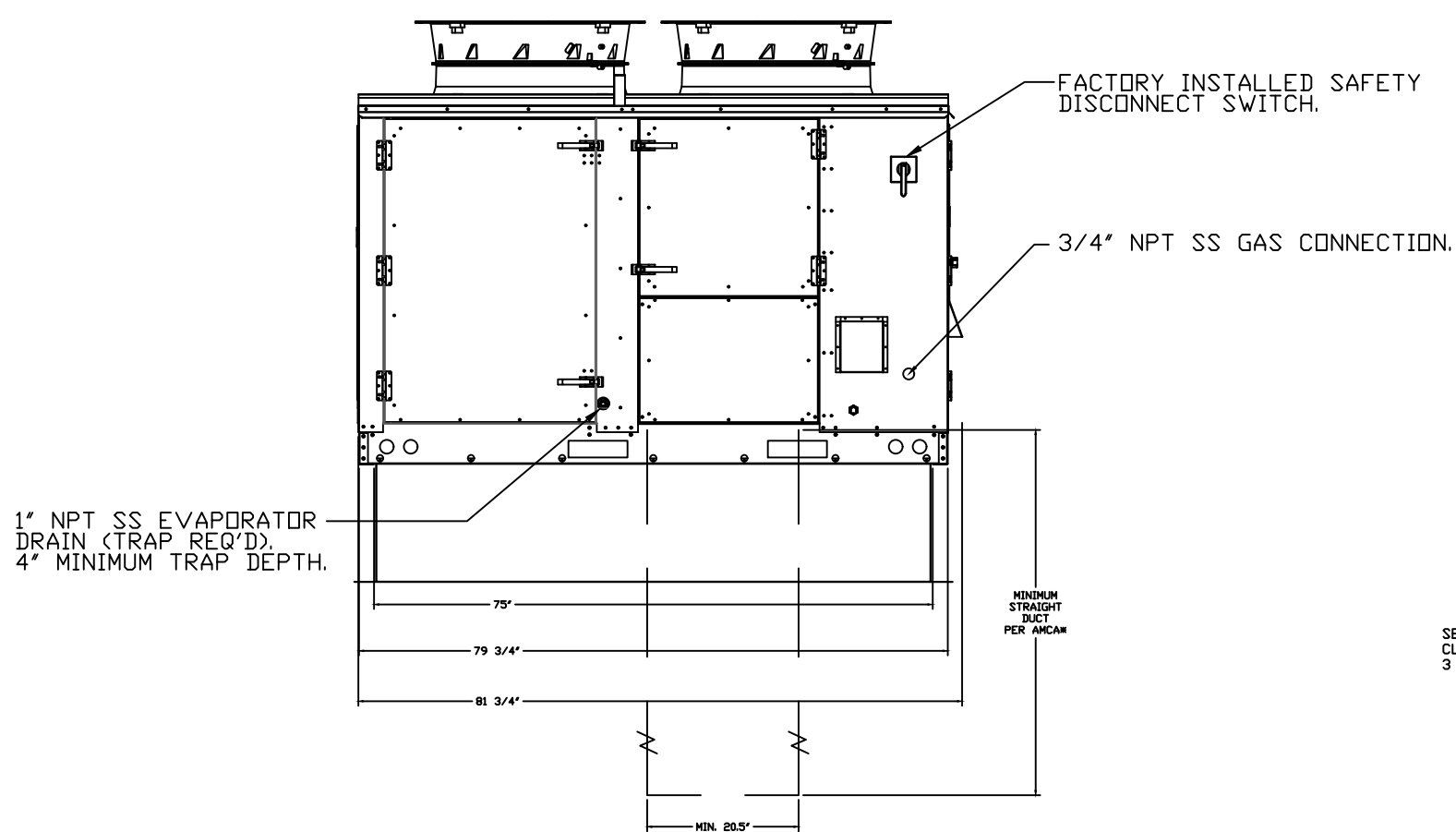
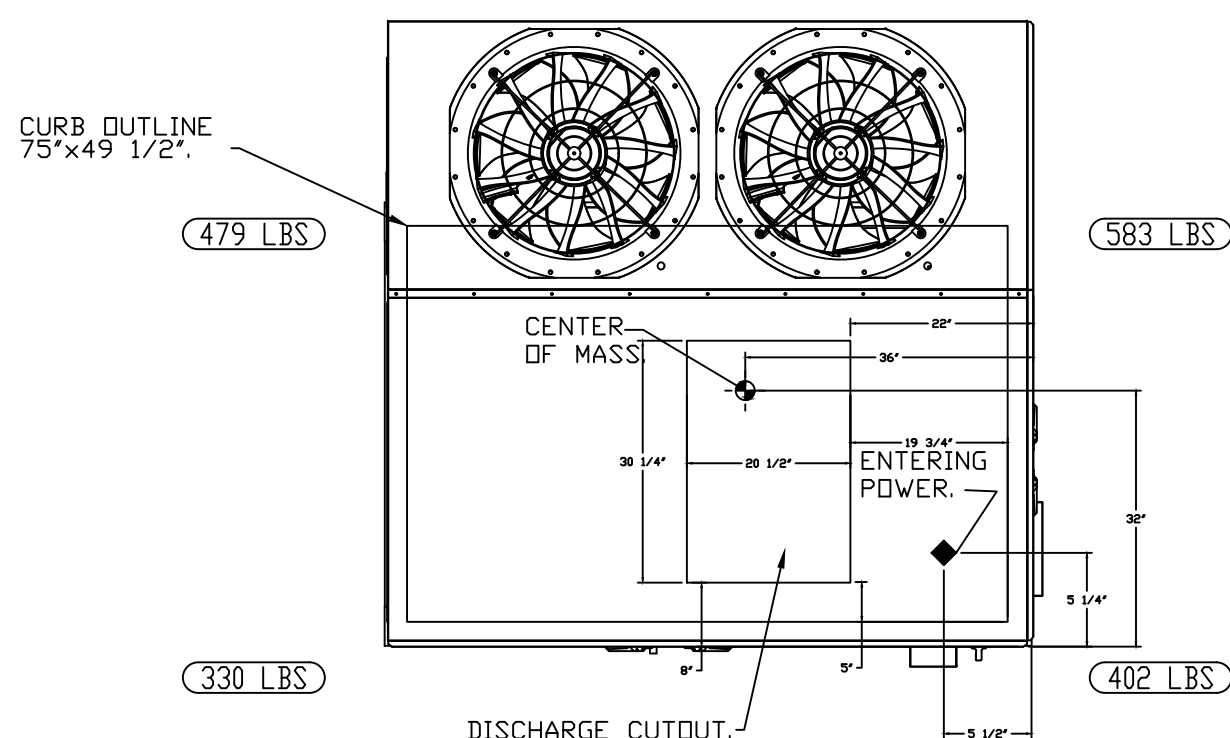
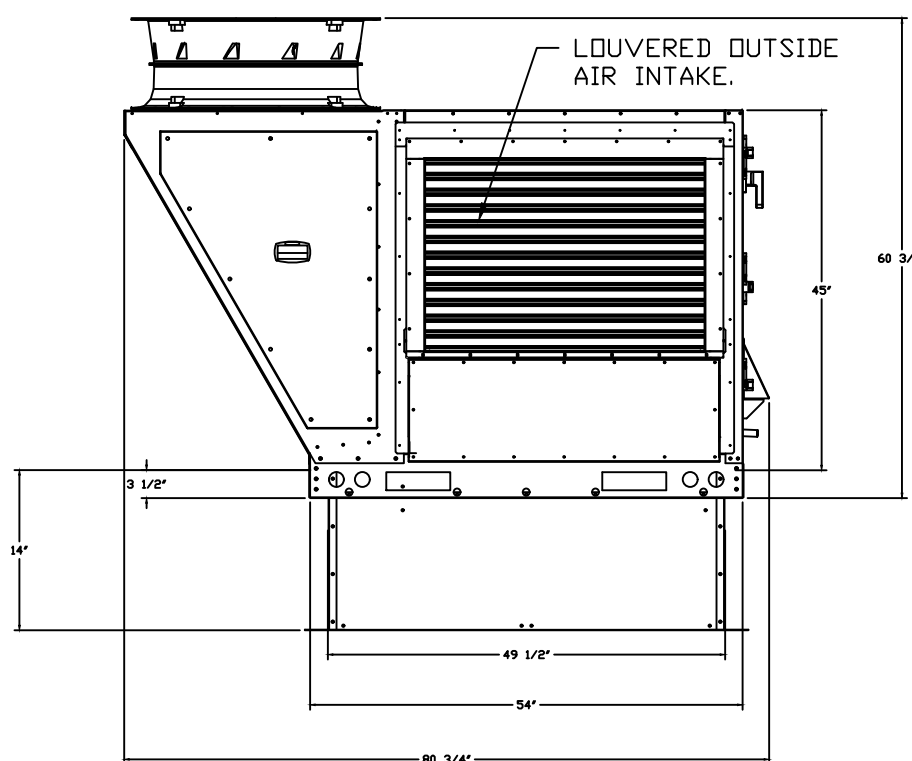
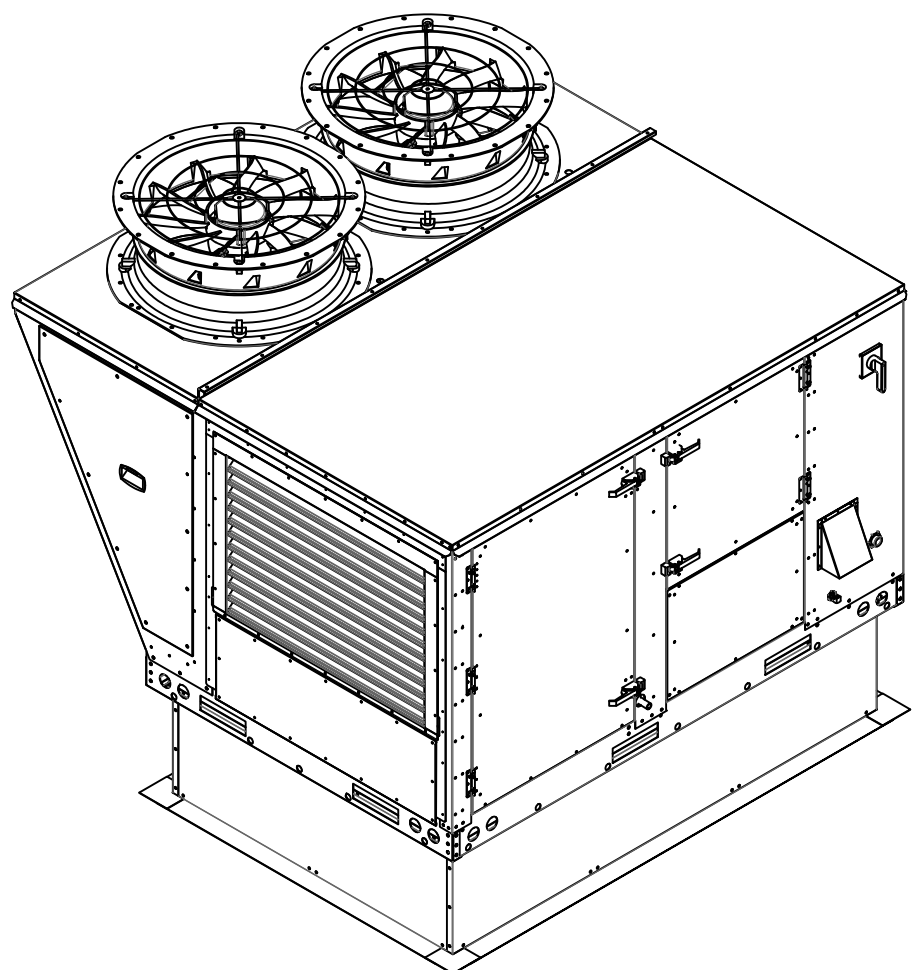
NO	ON FAN	TAG	WEIGHT	ITEM	SIZE
7	# 7	BAR DOAS	58 LBS	CURB	49.500"W X 75.000"L X 14.000"H INSULATED.

#### FAN #7 CASRTU2-1150-13-BT-DOAS - HEATER (BAR DOAS)

##### NOTES:

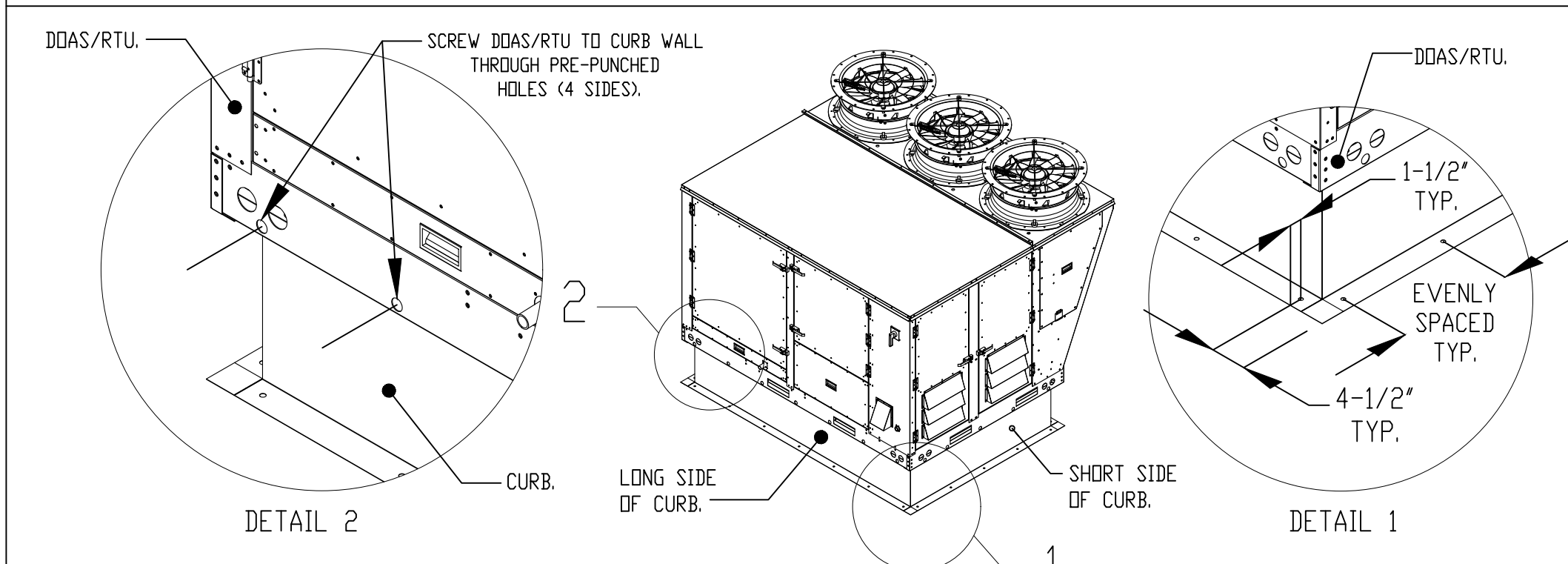
1. DO NOT OBSTRUCT OUTSIDE AIR INLET, OUTSIDE AIR COIL OR OUTSIDE AIR FAN.
2.  DENOTES CORNER WEIGHT.
3. ROOF OPENING MUST BE 2" SMALLER THAN CURB DIMENSIONS IN BOTH DIRECTIONS.

\*NOTE: SUPPLY DUCT MUST BE INSTALLED TO MEET SMACNA STANDARDS. A MINIMUM STRAIGHT DUCT LENGTH MUST BE MAINTAINED DOWNSTREAM OF UNIT DISCHARGE AS OUTLINED IN AMCA PUBLICATION 201. WHEN USING RECTANGULAR DUCTWORK, ELBOWS MUST BE RADIUS THROAT, RADIUS BACK WITH TURNING VANES. FLEXIBLE DUCTWORK AND SQUARE THROAT/SQUARE BACK ELBOWS SHOULD NOT BE USED. ANY TRANSITION AND/OR TURNS IN THE DUCTWORK WILL CAUSE SYSTEM EFFECT. SYSTEM EFFECT WILL DRASTICALLY INCREASE STATIC PRESSURE AND REDUCE AIRFLOW. DO NOT RELY ON UNIT TO SUPPORT DUCT IN ANY WAY. FAILURE TO PROPERLY SIZE DUCTWORK MAY CAUSE SYSTEM EFFECTS AND REDUCE PERFORMANCE OF THE EQUIPMENT. SUGGESTED STRAIGHT DUCT SIZE IS 20.5" x 30.25".



#### TYPICAL DOAS/RTU ROOF MOUNTING INSTALLATION INSTRUCTIONS

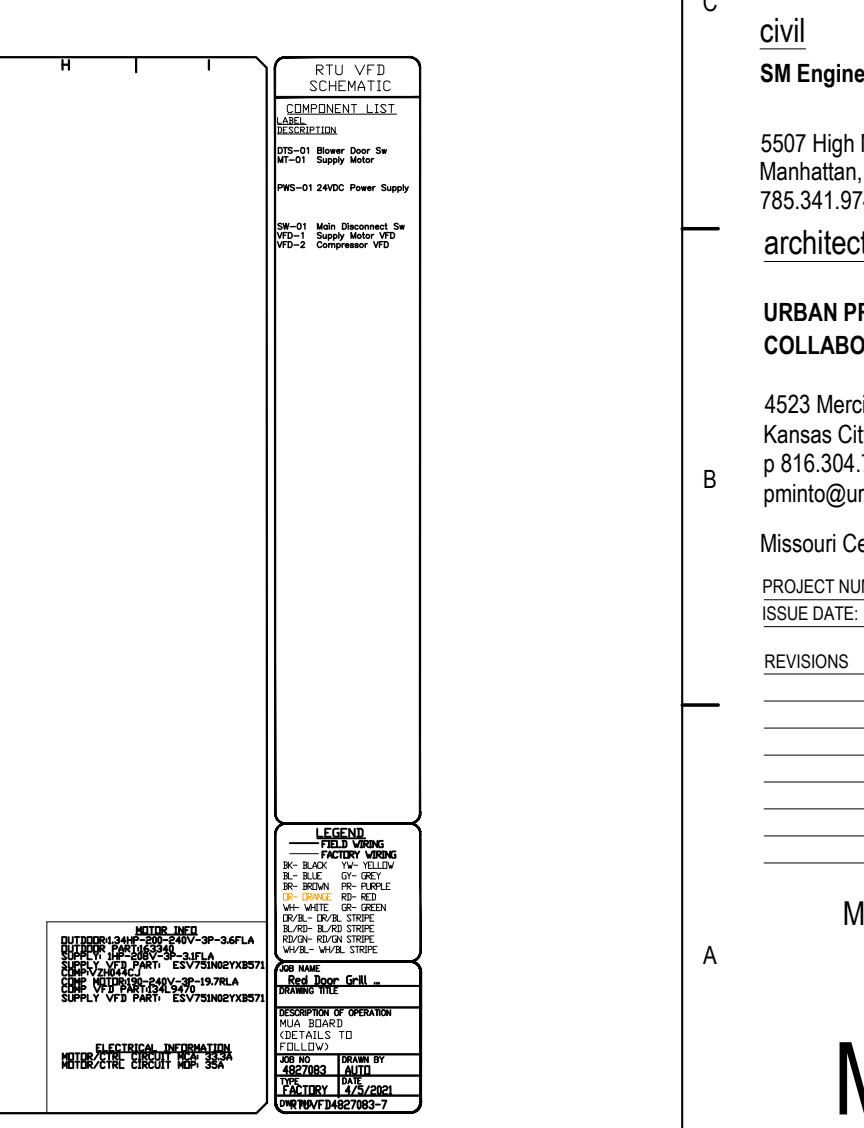
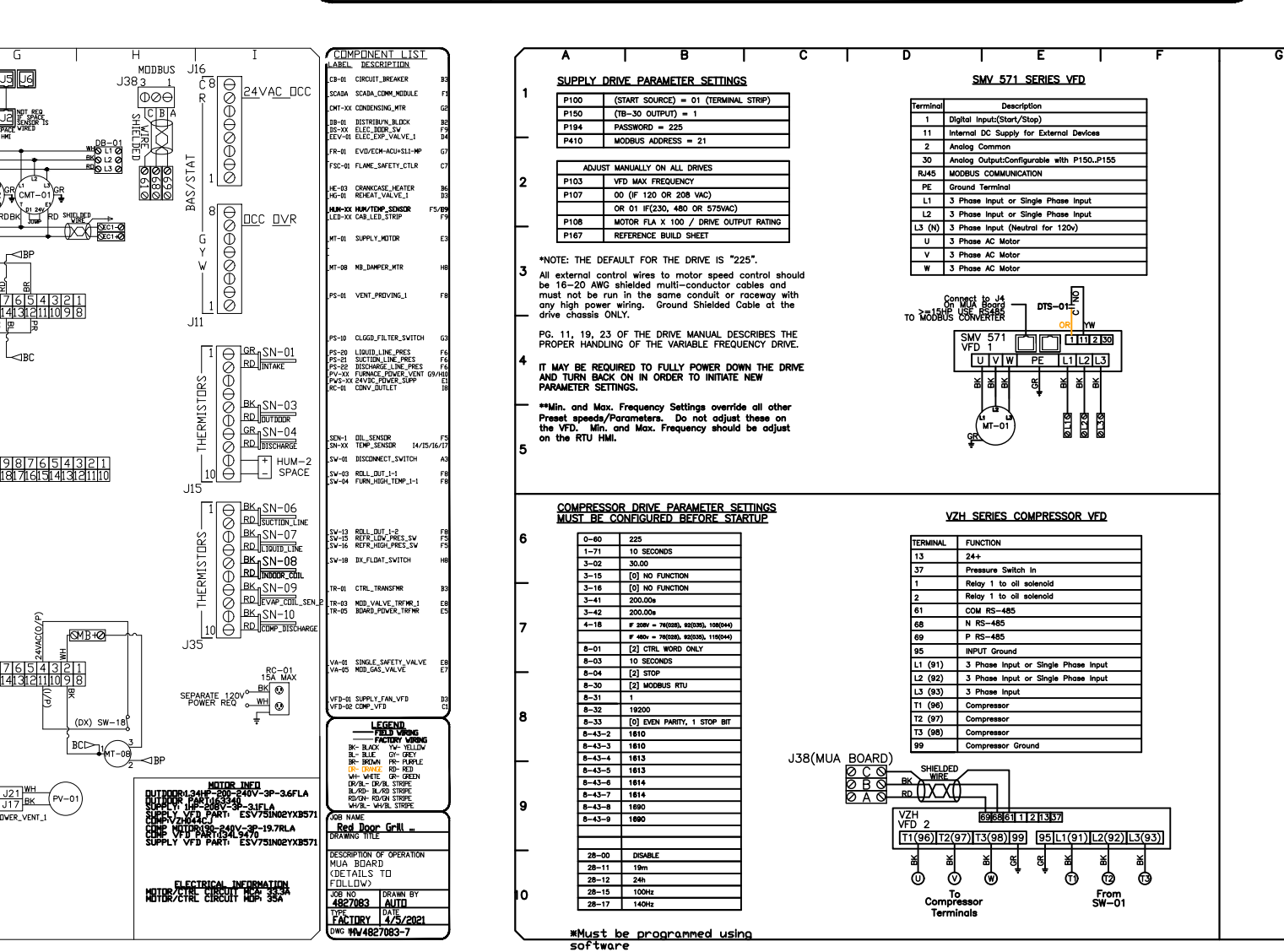
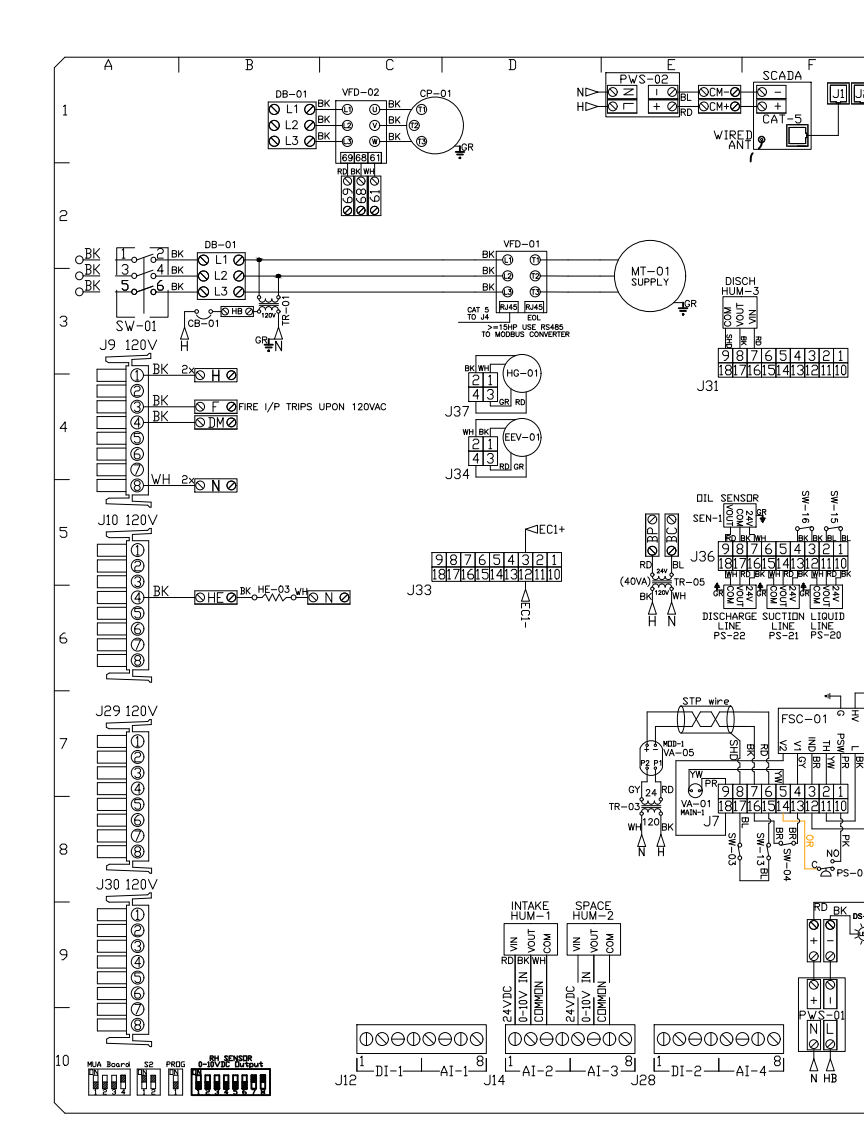
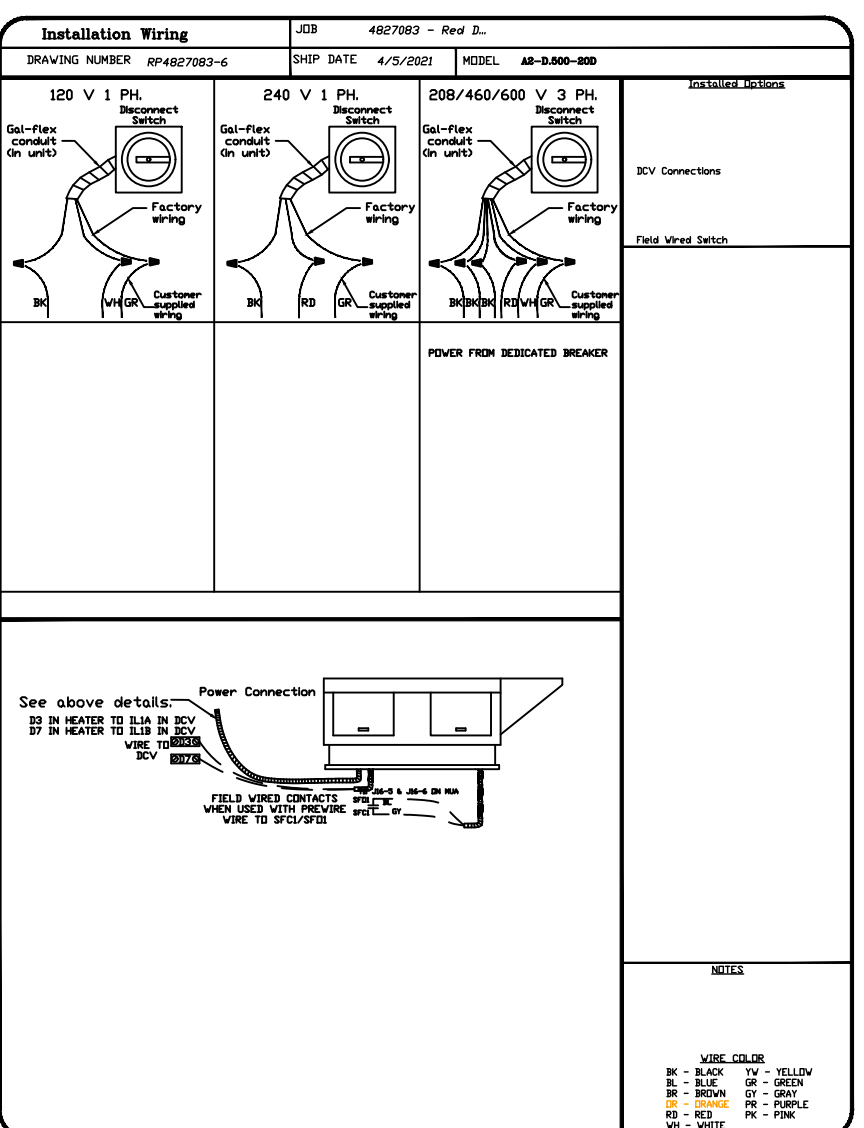
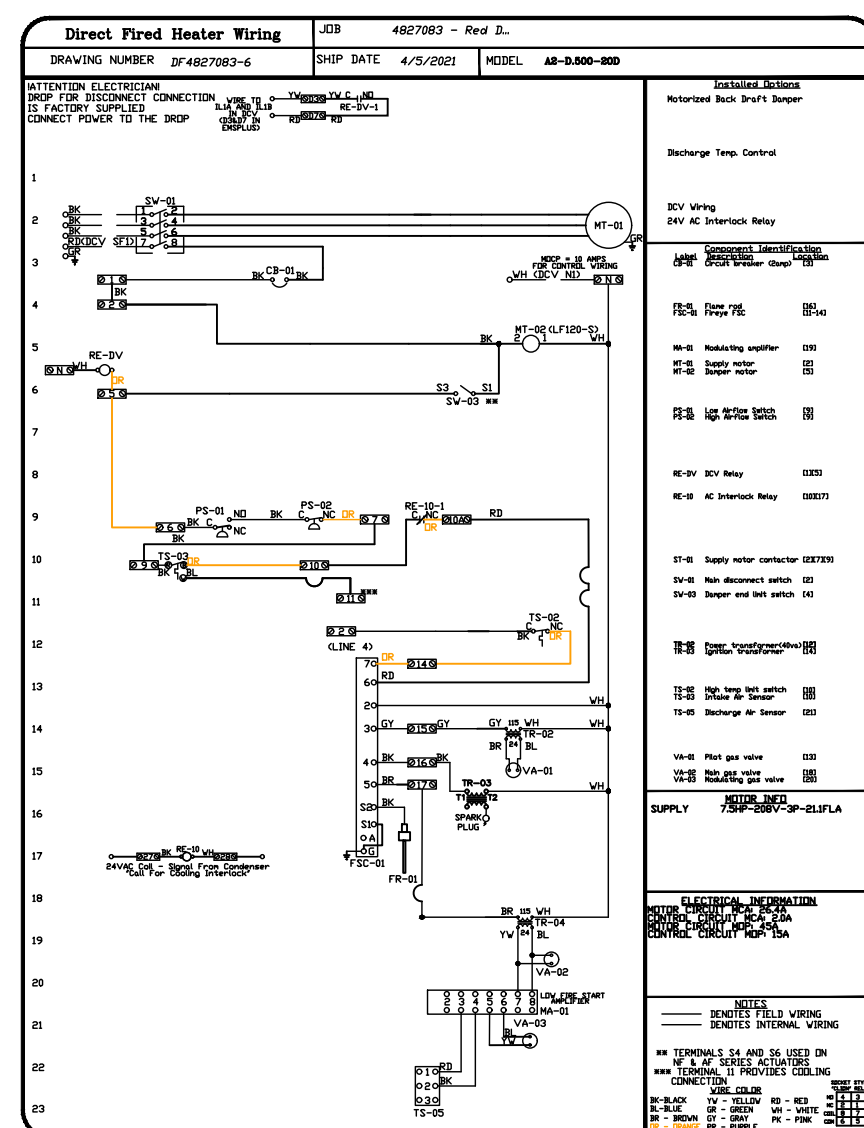
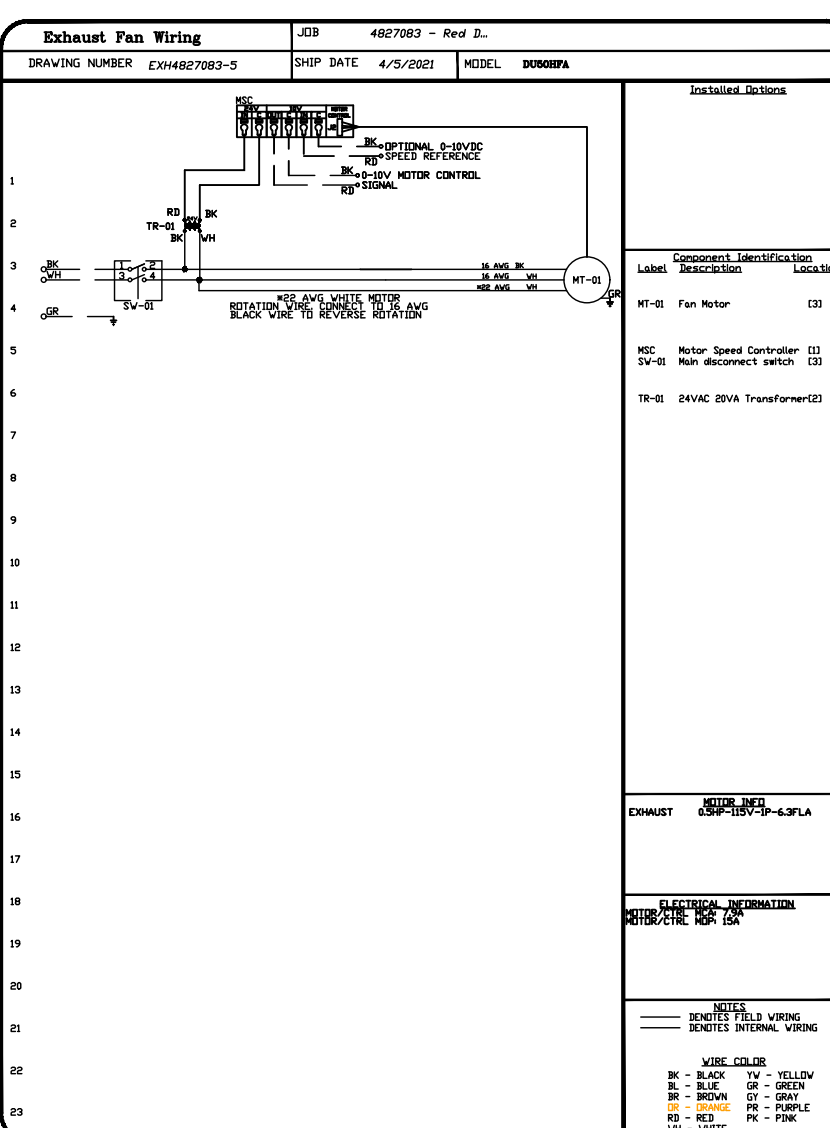
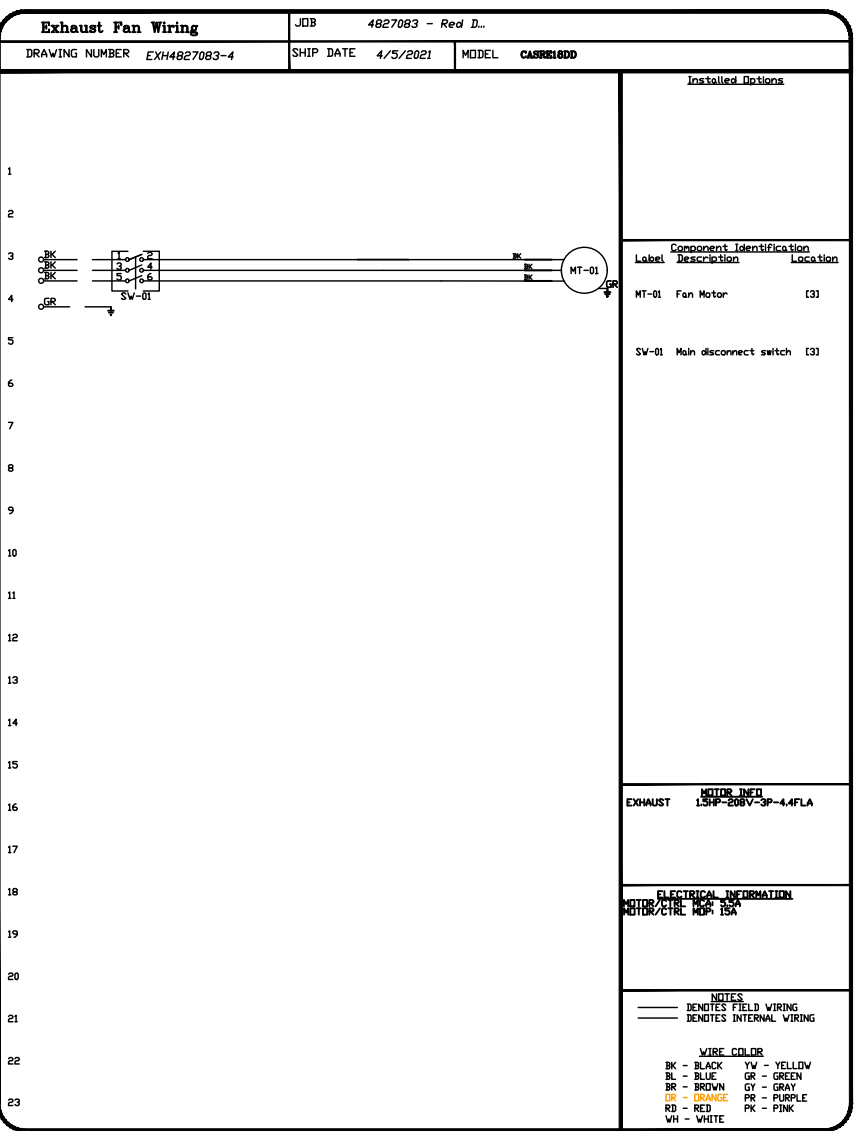
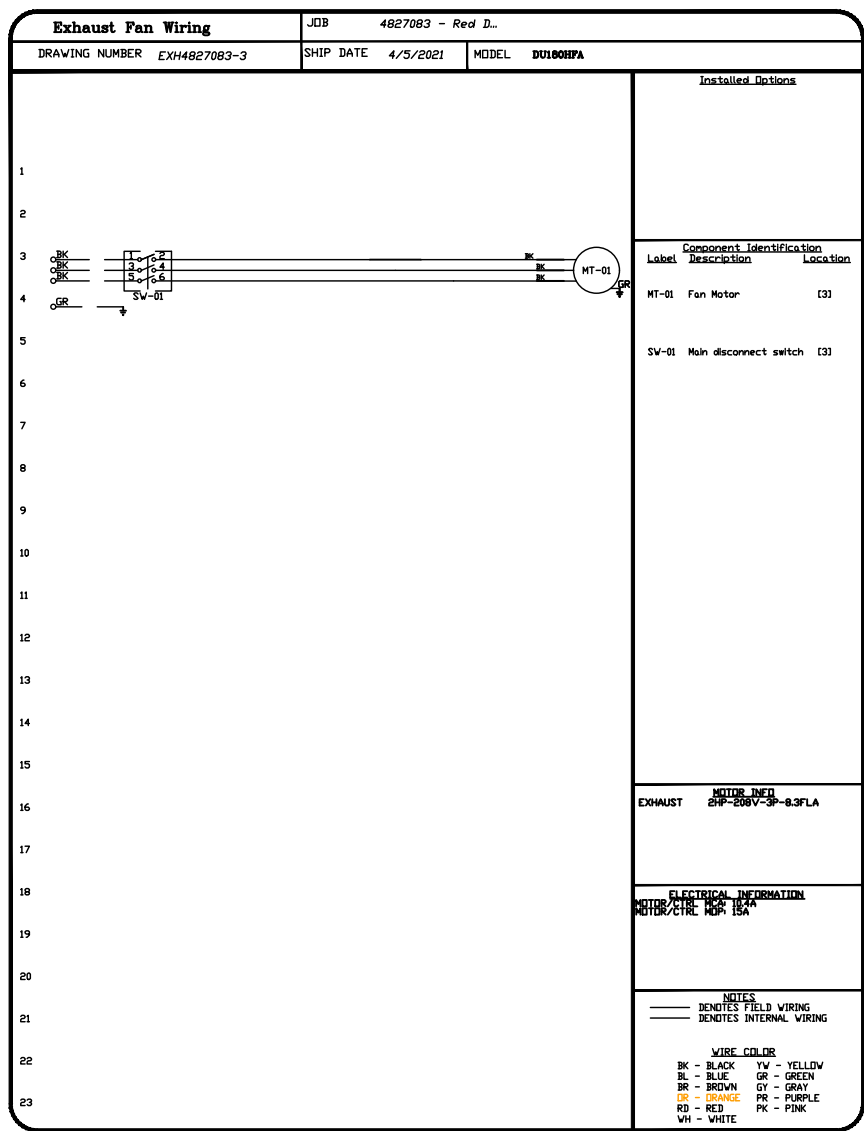
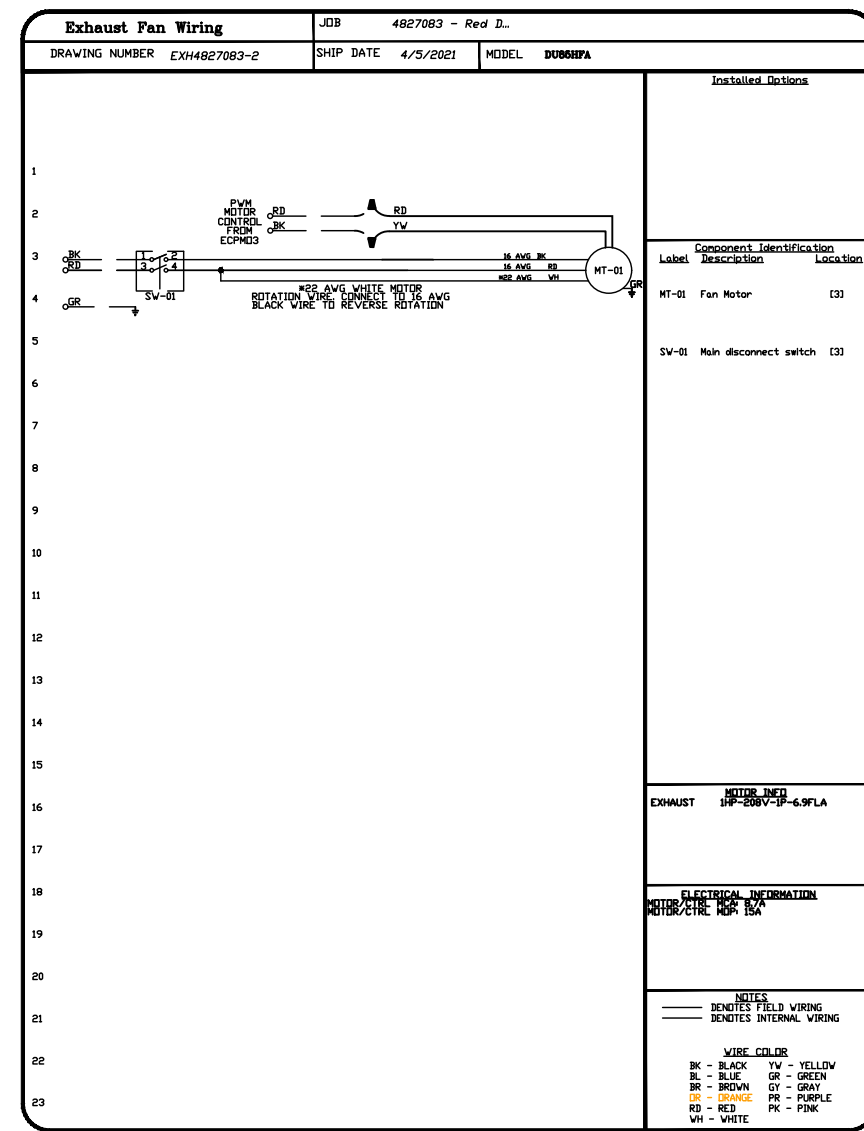
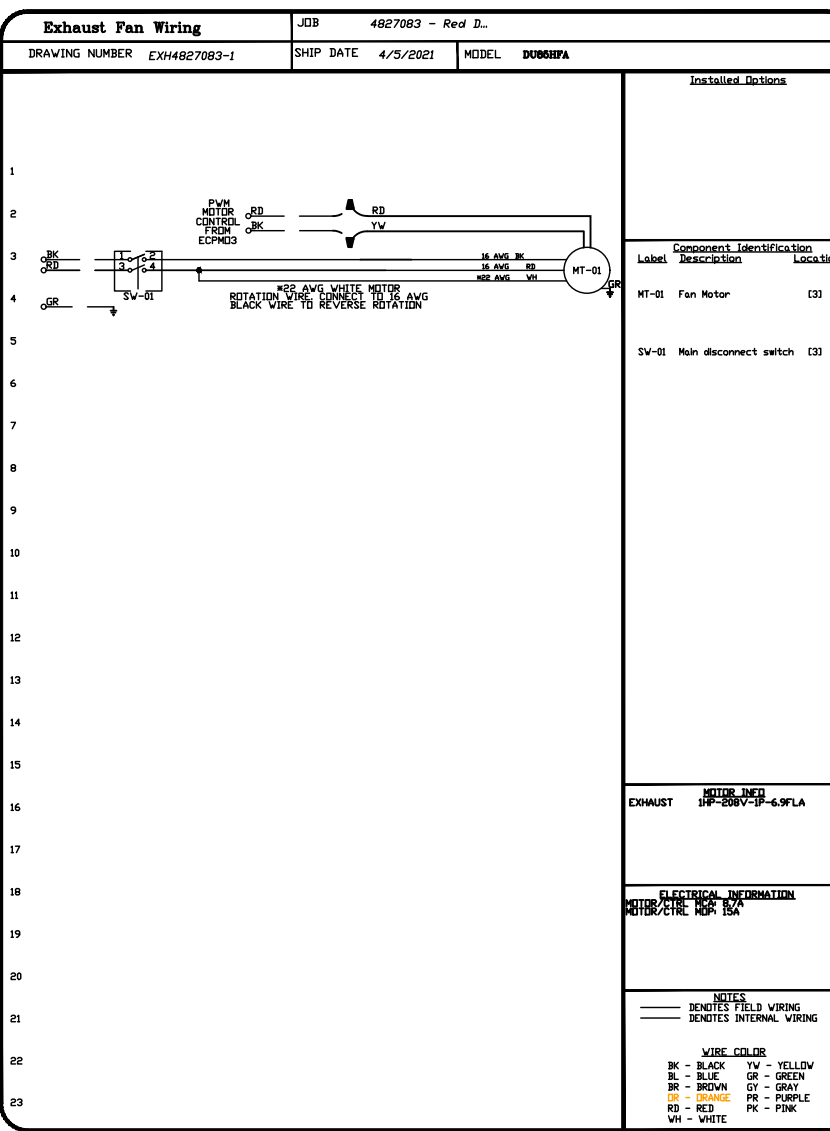
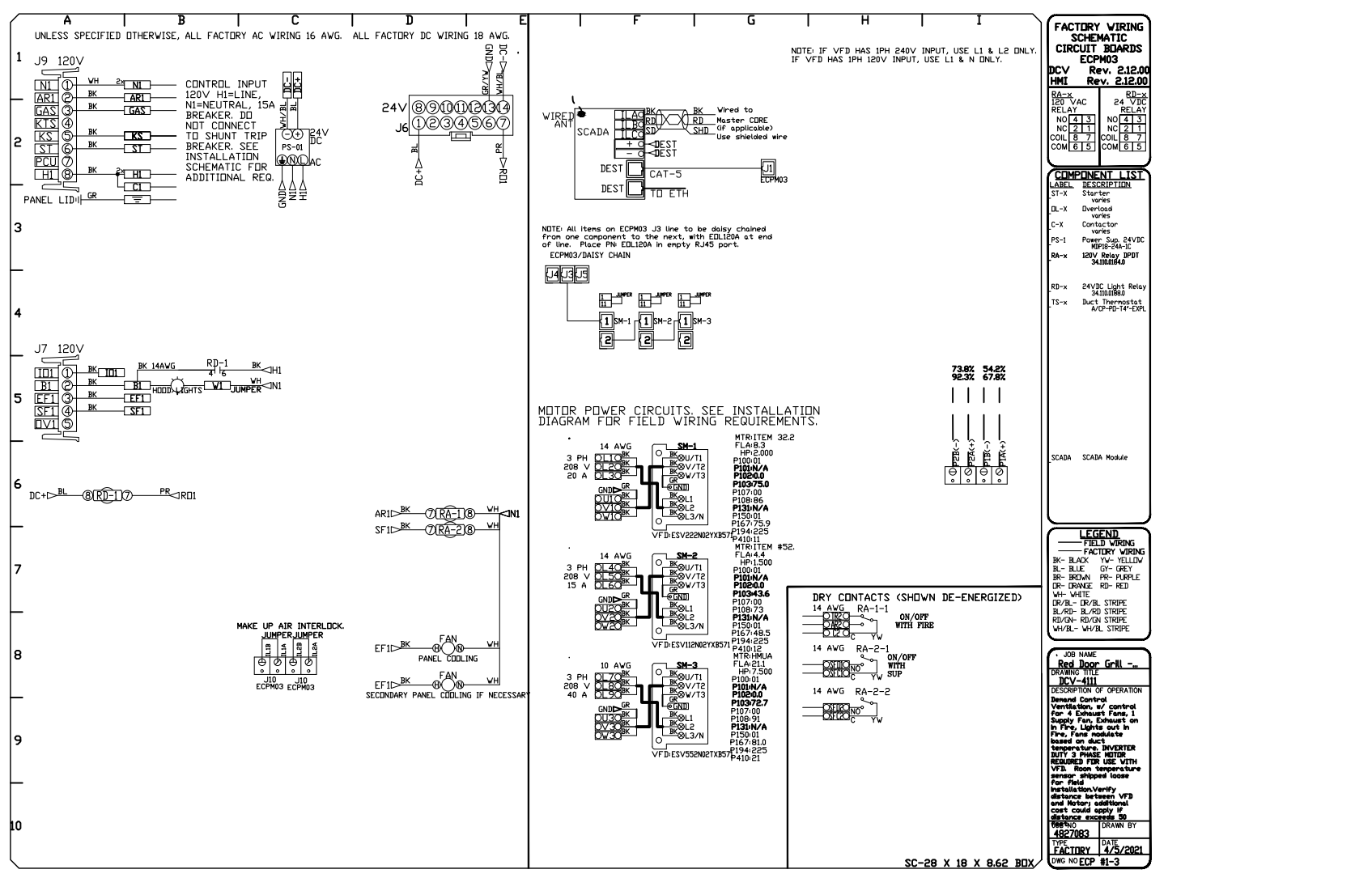
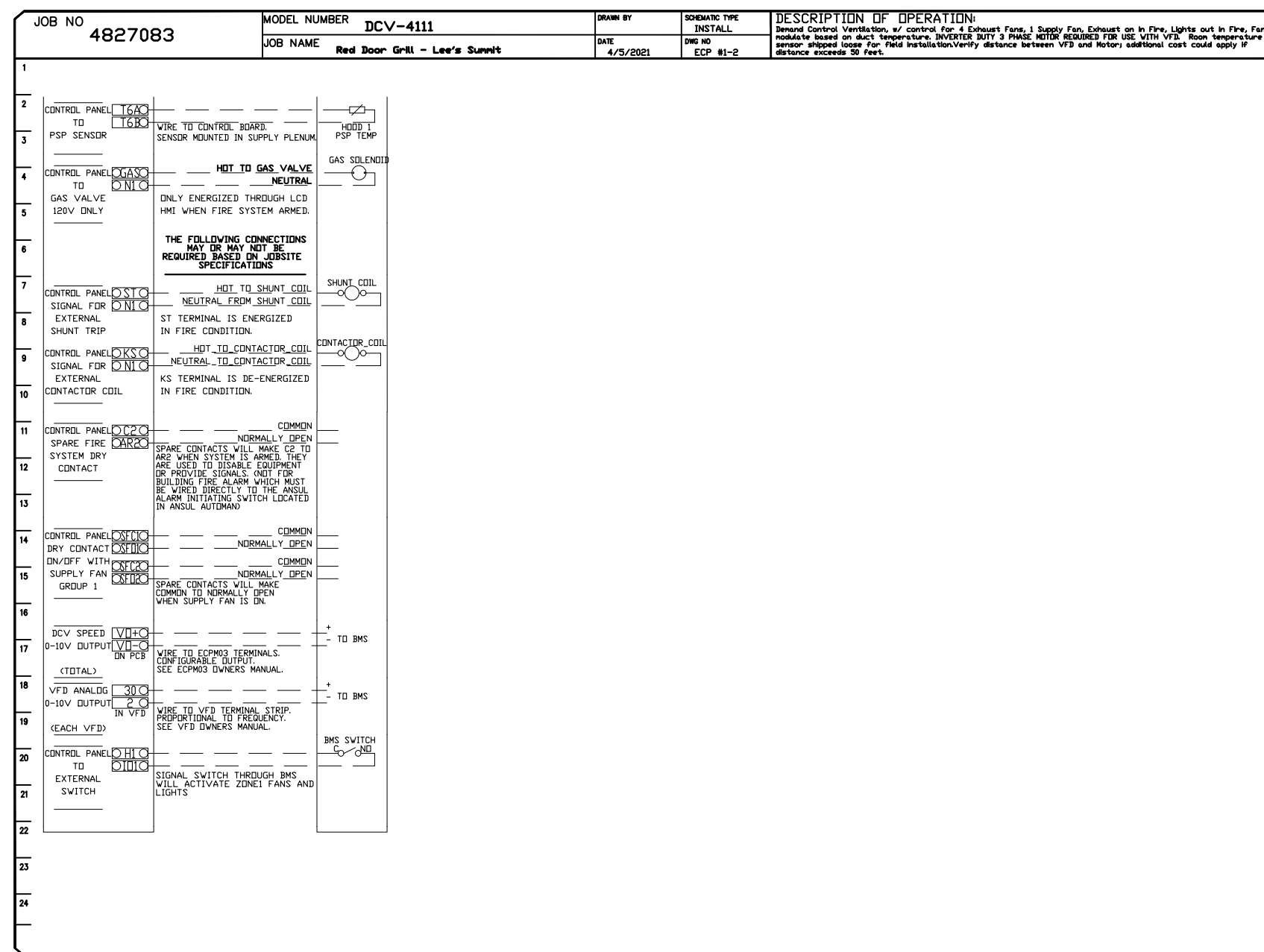
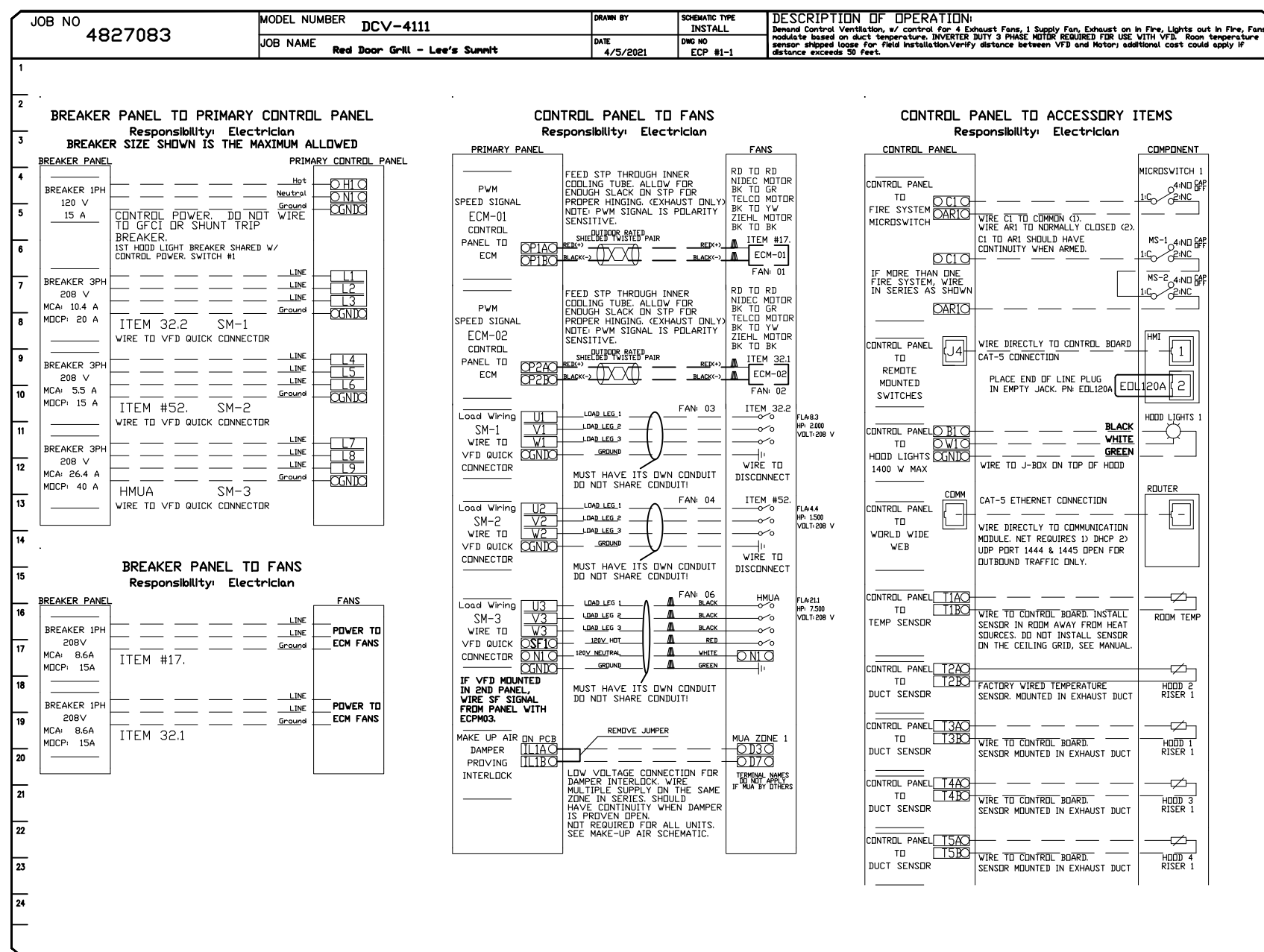
1. SECURE THE CURB TO THE ROOF FRAMING MEMBERS BY DRILLING 1/4" PILOT HOLES IN THE CURB FLANGES AT LOCATIONS SHOWN IN THE DIAGRAM BELOW. USING 3/8" X 2" ZINC PLATED STEEL LAG BOLTS, AND ZINC PLATED WASHERS, SCREW THROUGH THE CURB FLANGES AND INTO THE ROOF FRAMING MEMBERS. A MINIMUM OF (3) LAG BOLTS ON EACH SHORT SIDE, AND (7) LAG BOLTS IN EACH LONG SIDE IS REQUIRED.
2. SECURE THE UNIT BASE TO THE SIDE WALLS OF THE CURB USING (24) 1/4"-14 X 2" SELF-DRILLING, STEEL ZINC PLATED SCREWS. PRE-PUNCHED HOLES HAVE BEEN PROVIDED FOR EACH SCREW LOCATION.





## ELECTRICAL PACKAGE - JOB#4827083

NO	TAG	PACKAGE #	LOCATION	SWITCHES		OPTION	FANS CONTROLLED					
				LOCATION	QUANTITY		FAN TAG	TYPE	HP	VOL.	FLA	
1	EC1	DCV-4111	UTILITY CABINET LEFT	08 - SHIP LOOSE V/ PROVIDE	1 LIGHT	SMART CONTROLS DCV	ITEM #17.1	EXHAUST	1	1.000	2.08	6.5
					1 FAN		ITEM #32.1	EXHAUST	1	1.000	2.08	6.9
							ITEM #32.2	EXHAUST	3	2.000	2.08	8.3
							ITEM #32.3	EXHAUST	3	1.500	2.08	4.4
							ITEM #32.4	EXHAUST	3	1.500	2.08	4.4
	HMUA	SUPPLY	3	7.500	2.08	21.1						





MECHANICAL SPECIFICATIONS

1. COMMON WORK RESULTS FOR HVAC

PRODUCTS

PIPE, TUBE, AND FITTINGS  
Pipe Threads: ASME B1.20.1 for factory-threaded pipe and pipe fittings.

JOINING MATERIALS  
Brazing Filler Metals: AWS A5.8, BCuP Series or BAg1, unless otherwise indicated.

Welding Filler Metals: Comply with AWS D10.12.

Solvent Cements for Joining Plastic Piping:  
CPVC Piping: ASTM F 493.  
PVC Piping: ASTM D 2564. Include primer according to ASTM F 656.

MECHANICAL SLEEVE SEALS  
Description: Modular sealing element unit, designed for field assembly, to fill annular space between pipe and sleeve.

Sealing Elements: EPDM interlocking links shaped to fit surface of pipe. Include type and number required for pipe material and size of pipe.

Pressure Plates: Plastic. Include two for each sealing element.

Connecting Bolts and Nuts: Carbon steel with corrosion-resistant coating of length required to secure pressure plates to sealing elements. Include one for each sealing element.

SLEEVES

Cast Iron: Cast or fabricated "wall pipe" equivalent to ductile-iron pressure pipe, with plain ends and integral watershed, unless otherwise indicated.

Stack Sleeve Fittings: Manufactured, cast-iron sleeve with integral clamping flange. Include clamping ring and bolts and nuts for membrane flashing.

EXECUTION

PIPING SYSTEMS - COMMON REQUIREMENTS  
Install piping above accessible ceilings to allow sufficient space for ceiling panel removal.  
Install piping to permit valve servicing. Install piping at indicated slopes. Install piping free of sags and bends. Install fittings for changes in direction and branch connections.  
Install piping to allow application of insulation. Select system components with pressure rating equal to or greater than system operating pressure. Install escutcheons for penetrations of walls, ceilings, and floors. Install sleeves for pipes passing through concrete and masonry walls, gypsum-board partitions, and concrete floor and roof slabs. Fire-Barrier Penetrations: Maintain indicated fire rating of walls, partitions, ceilings, and floors at pipe penetrations. Seal pipe penetrations with firestop materials. Verify final equipment locations for roughing-in. Refer to manufacturer's equipment specifications for roughing-in requirements.

PIPE JOINT CONSTRUCTION

Ream ends of pipes and tubes and remove burrs. Bevel plain ends of steel pipe.  
Remove scale, slag, dirt, and debris from inside and outside of pipe and fittings before assembly.

Welded Joints: Construct joints according to AWS D10.12, using qualified processes and welding operators according to Part 1 "Quality Assurance" Article.

PIPING CONNECTIONS

Install shut off valves with unions, in piping, adjacent to each valve and at final connection to each piece of equipment Install shut off valves with unions, in piping, adjacent to each valve and at final connection to each piece of equipment.

EQUIPMENT INSTALLATION - COMMON REQUIREMENTS  
Install equipment to allow maximum possible headroom unless specific mounting heights are not indicated. Install equipment level and plumb, parallel and perpendicular to other building systems and components in exposed interior spaces, unless otherwise indicated.  
Install HVAC equipment to facilitate service, maintenance, and repair or replacement of components. Connect equipment for ease of disconnecting, with minimum interference to other installations. Extend grease fittings to accessible locations. Install equipment to allow right of way for piping installed at required slope.

2. HANGERS AND SUPPORTS FOR PIPING AND EQUIPMENT

DEFINITIONS

Terminology: As defined in MSS SP-90, "Guidelines on Terminology for Pipe Hangers and Supports."

PERFORMANCE REQUIREMENTS

Design supports for multiple pipes capable of supporting combined weight of supported systems, system contents, and test water.  
Design equipment supports capable of supporting combined operating weight of supported equipment and connected systems and components.

PRODUCTS

STEEL PIPE HANGERS AND SUPPORTS  
Description: MSS SP-58, Types 1 through 58, factory-fabricated components. Refer to Part 3 "Hanger and Support Applications" Article for where to use specific hanger and support types.

TRAPEZE PIPE HANGERS  
Description: MSS SP-69, Type 59, shop- or field-fabricated pipe-support assembly made from structural-steel shapes with MSS SP-58 hanger rods, nuts, saddles, and U-bolts.

METAL FRAMING SYSTEMS  
Description: MFMA-3, shop- or field-fabricated pipe-support assembly made of steel channels and other components.

EXECUTION

HANGER AND SUPPORT APPLICATIONS  
Specific hanger and support requirements are specified in Sections specifying piping systems and equipment. Comply with MSS SP-69 for pipe hanger selections and applications that are not specified in piping system Sections. Use hangers and supports with galvanized, metallic coatings for piping and equipment that will not have field-applied finish. Use nonmetallic coatings on attachments for electrolytic protection where attachments are in direct contact with copper tubing.

Horizontal-Piping Hangers and Supports: Unless otherwise indicated and except as specified in piping system Sections, install the following types: Adjustable, Steel Clevis Hangers (MSS Type 1); For suspension of noninsulated or insulated stationary pipes, NPS 1/2 to NPS 30 (DN 15 to DN 750). Adjustable, Steel Band Hangers (MSS Type 7); For suspension of noninsulated stationary pipes, NPS 1/2 to NPS 8 (DN 15 to DN 200).  
Complete Pipe Rolls (MSS Type 44): For support of pipes, NPS 2 to NPS 42 (DN 50 to DN 1050), if longitudinal movement caused by expansion and contraction might occur but vertical adjustment is not necessary.

Vertical-Piping Clamps: Unless otherwise indicated and except as specified in piping system Sections, install the following types:

Hanger-Rod Attachments: Unless otherwise indicated and except as specified in piping system Sections, install the following types:

Steel Clevises (MSS Type 14): For 120 to 450 deg F (49 to 232 deg C) piping installations.

Building Attachments: Unless otherwise indicated and except as specified in piping system Sections, install the following types:

Saddles and Shields: Unless otherwise indicated and except as specified in piping system Sections, install the following types: Steel Pipe-Covering Protection Saddles (MSS Type 39); To fill interior voids with insulation that matches adjoining insulation.  
Protection Shields (MSS Type 40): Of length recommended in writing by manufacturer to prevent crushing insulation. Thermal-Hanger Shield Inserts: For supporting insulated pipe.

Comply with MSS SP-69 for trapeze pipe hanger selections and applications that are not specified in piping system Sections.

3. HVAC INSULATION

PRODUCTS

INSULATION MATERIALS  
Comply with requirements in Part 3 schedule articles for where insulating materials shall be applied.

FiberGlass: Inorganic, incombustible, foamed or cellulated glass with annealed, rigid, hermetically sealed cells, with factory applied All Service Jacket (ASJ) painted in color selected by architect.

Flexible Elastomeric: Closed-cell, sponge- or expanded-rubber materials. Comply with ASTM C 534.  
Type I for tubular materials and Type II for sheet materials.

FIRE-RATED INSULATION SYSTEMS  
Fire-Rated Blanket: High-temperature, flexible, blanket insulation with FSK jacket that is tested and certified to provide a 2-hour fire rating by a NRTL acceptable to authority having jurisdiction.

INSULATING CEMENTS  
Mineral-Fiber, Hydraulic-Setting Insulating and Finishing Cement: Comply with ASTM C 449/C 449M.

ADHESIVES  
Materials shall be compatible with insulation materials, jackets, and substrates and for bonding insulation to itself and to surfaces to be insulated, unless otherwise indicated.

Cellular-Glass Adhesive: Solvent-based resin adhesive, with a service temperature range of minus 75 to plus 300 deg F (minus 59 to plus 149 deg C).

Flexible Elastomeric Adhesive: Comply with MIL-A-24719A, Type II, Class I.

ASJ Adhesive: Comply with MIL-A-3316C, Class 2, Grade A for bonding insulation jacket lap seams and joints.

For indoor applications, use adhesive that has a VOC content of 50 g/L or less when calculated according to 40 CFR 59, Subpart D (EPA Method 24).

MASTICS  
Materials shall be compatible with insulation materials, jackets, and substrates; comply with MIL-C-19565C, Type II.

Vapor-Barrier Mastic: Water based; suitable for indoor and outdoor use on below ambient services.

SEALANTS  
Joint Sealants: Materials shall be compatible with insulation materials, jackets, and substrates.

FACTORY-APPLIED JACKETS  
Insulation system schedules indicate factory-applied jackets on various applications. When factory-applied jackets are indicated, comply with the following:  
ASJ: White, kraft-paper, fiberglass-reinforced scrim with aluminum-foil backing; complying with ASTM C 1136, Type I.

TAPES

ASJ Tape: White vapor-retarder tape matching factory-applied jacket with acrylic adhesive, complying with ASTM C 1136.

EXECUTION

PREPARATION  
Surface Preparation: Clean and dry surfaces to receive insulation. Remove materials that will adversely affect insulation application.

Coordinate insulation installation with the trade installing heat tracing. Comply with requirements for heat tracing that apply to insulation.

Mix insulating cements with clean potable water; if insulating cements are to be in contact with stainless-steel surfaces, use demineralized water.

GENERAL INSTALLATION REQUIREMENTS  
Install insulation materials, accessories, and finishes with smooth, straight, and even surfaces; free of voids throughout the length of equipment, ducts and fittings, and piping including fittings, valves, and specialties.

Install insulation materials, forms, vapor barriers or retarders, jackets, and thicknesses required for each item of equipment, duct system, and pipe system as specified in insulation system schedules.

Install accessories compatible with insulation materials and suitable for the service. Install accessories that do not corrode, soften, or otherwise attack insulation or jacket in either wet or dry state.

Install insulation with longitudinal seams at top and bottom of horizontal runs.  
Install multiple layers of insulation with longitudinal and end seams staggered.  
Do not weld brackets, clips, or other attachment devices to piping, fittings, and specialties.  
Keep insulation materials dry during application and finishing.  
Install insulation with tight longitudinal seams and end joints. Bond seams and joints with adhesive recommended by insulation material manufacturer.  
Install insulation with least number of joints practical.

Where vapor barrier is indicated, seal joints, seams, and penetrations in insulation at hangers, supports, anchors, and other projections with vapor-barrier mastic.  
Install insulation continuously through hangers and around anchor attachments.

For insulation application where vapor barriers are indicated, extend insulation on anchor legs from point of attachment to supported item to point of attachment to structure. Taper and seal ends at attachment to structure with vapor-barrier mastic.

Install insert materials and install insulation to tightly join the insert. Seal insulation to insulation inserts with adhesive or sealing compound recommended by insulation material manufacturer.

Cover inserts with jacket material matching adjacent pipe insulation. Install shields over jacket, arranged to protect jacket from tear or puncture by hanger, support, and shield.

Apply adhesives, mastics, and sealants at manufacturer's recommended coverage rate and wet and dry film thicknesses. Apply mastic on seams and joints and at ends adjacent to duct and pipe flanges and fittings.

Cut insulation in a manner to avoid compressing insulation more than 75 percent of its nominal thickness.  
Finish installation with systems at operating conditions. Repair joint separations and cracking due to thermal movement.

Repair damaged insulation facings by applying same facing material over damaged areas. Extend patches at least 4 inches (100 mm) beyond damaged areas. Adhere, staple, and seal patches similar to butt joints.

PENETRATIONS  
Insulation Installation at Interior Wall and Partition Penetrations (That Are Not Fire Rated): Install insulation continuously through walls and partitions.

Insulation Installation at Fire-Rated Wall and Partition Penetrations: Install insulation continuously through penetrations of fire-rated walls and partitions. Terminate insulation at fire damper sleeves for fire-rated wall and partition penetrations. Externally insulate damper sleeves to match adjacent insulation and overlap duct insulation at least 2 inches (50 mm).  
Insulation Installation at Floor Penetrations:  
Duct: Install insulation continuously through floor penetrations that are not fire rated. For penetrations through fire-rated assemblies, terminate insulation at fire damper sleeves and externally insulate damper sleeve beyond floor to match adjacent duct insulation. Overlap damper sleeve and duct insulation at least 2 inches (50 mm).

Pipe: Install insulation continuously through floor penetrations.  
Seal penetrations through fire-rated assemblies.

DUCT INSULATION SCHEDULE, GENERAL

Plenums and Ducts Requiring Insulation:  
Indoor, concealed supply and outdoor air.  
Indoor, exposed outdoor air.  
Indoor, concealed return located in nonconditioned space.  
Indoor, concealed, Type I, commercial, kitchen hood exhaust.

INDOOR DUCT AND PLENUM INSULATION SCHEDULE  
Supply-Air, Return-Air and Make Up Air Duct Insulation: Fiberglass blanket, 1-1/2 inches (38 mm) thick and 1.5-lb/cu. ft. (24-kg/cu. m) nominal density.

Kitchen Hood Exhaust Duct Insulation: 2 hour fire-rated blanket.

PIPING INSULATION SCHEDULE, GENERAL  
Acceptable preformed pipe and tubular insulation materials and thicknesses are identified for each piping system and pipe size range. If more than one material is listed for a piping system, selection from materials listed is Contractor's option.

INDOOR PIPING INSULATION SCHEDULE  
Domestic Cold Water, Hot Water and Hot Water Recirc. FiberGlass: 3/4 inches) thick.

Refrigerant Suction and Hot-Gas Piping: Flexible elastomeric.

4. DOMESTIC WATER PIPING

PRODUCTS

PIPING MATERIALS  
Comply with requirements in "Piping Schedule" Article for applications of pipe, tube, fitting materials, and joining methods for specific services, service locations, and pipe sizes.

COPPER TUBE AND FITTINGS  
Hard Copper Tube: ASTM B 88, Type L (ASTM B 88M, Type B)  
Soft Copper Tube: ASTM B 88, Type K (ASTM B 88M, Type A)

PIPING JOINING MATERIALS  
Solder Filler Metals: ASTM B 32, lead-free alloys. Include water-flushable flux according to ASTM B 813.

FLEXIBLE CONNECTORS  
Stainless-Steel-Hose Flexible Connectors: Corrugated-stainless-steel tubing with stainless-steel wire-braid covering and ends welded to inner tubing.

SLEEVES  
Cast-Iron Wall Pipes: Fabricated of cast iron, and equivalent to ductile-iron pressure pipe, with plain ends and integral watershed unless otherwise indicated.

EXECUTION

PIPING INSTALLATION  
Install copper tubing under building slab according to CDA's "Copper Tube Handbook."  
Install piping concealed from view and protected from physical contact by building occupants unless otherwise indicated and except in equipment rooms and service areas.  
Install piping indicated to be exposed and piping in equipment rooms and service areas at right angles or install piping above accessible ceilings to allow sufficient space for ceiling panel removal, and coordinate with other services occupying that space.  
Install piping adjacent to equipment and specialties to allow service and maintenance.  
Install piping to permit valve servicing. Install piping free of sags and bends. Install fittings for changes in direction and branch connections. Install shut off valves with unions in copper tubing at first connected to each piece of equipment, machine, and specialty.  
Install thermostats in hot-water circulation piping. Install thermometers on outlet piping from water heater. Comply with requirements in

JOINT CONSTRUCTION  
Ream ends of pipes and tubes and remove burrs. Bevel plain ends of steel pipe.

Remove scale, slag, dirt, and debris from inside and outside of pipes, tubes, and fittings before assembly.

Soldered Joints: Apply ASTM B 813, water-flushable flux to end of tube. Join copper tube and fittings according to ASTM B 828 or CDA's "Copper Tube Handbook."

VALVE INSTALLATION  
Install shutoff (ball) valve close to water main on each branch and riser serving plumbing fixtures or equipment, on each water supply to equipment, and on each water supply to plumbing fixtures that do not have supply stops.

Install drain valves for equipment at base of each water riser, at low points in horizontal piping, and where required to drain water piping.

TRANSITION FITTING INSTALLATION  
Install transition couplings at joints of dissimilar piping.

FLEXIBLE CONNECTOR INSTALLATION  
Install flexible connectors in suction and discharge piping connections to each domestic water pump.  
Install bronze-hose flexible connectors in copper domestic water tubing.  
Install stainless-steel-hose flexible connectors in steel domestic water piping.

CONNECTIONS  
Drawings indicate general arrangement of piping, fittings, and specialties.  
Install piping adjacent to equipment and machines to allow service and maintenance.  
Connect domestic water piping to exterior water-service piping. Use transition fitting to join dissimilar piping materials.

ESCUTCHEON INSTALLATION  
Install escutcheons for penetrations of walls, ceilings, and floors.

PIPING SCHEDULE  
Transition and special fittings with pressure ratings at least equal to piping rating may be used in applications below unless otherwise indicated.  
Under-building-slab, domestic water, building service piping shall be Soft copper tube:

Aboveground domestic water piping, shall be Hard copper tube, ASTM B 88, Type L.  
Aboveground 140 deg F domestic water piping, shall be Hard copper tube, ASTM B 88, Type L.

VALVE SCHEDULE  
Drawings indicate valve types to be used. Where specific valve types are not indicated, the following requirements apply.  
Shutoff Duty: Use ball valves for piping NPS 2 (DN 50) and smaller. Use butterfly, ball, or gate valves with flanged ends for piping NPS 2-1/2 (DN 65) and larger.  
Throttling Duty: Use ball valves for piping NPS 2 (DN 50) and smaller. Use butterfly or ball valves with flanged ends for piping NPS 2-1/2 (DN 65) and larger.  
Hot-Water Circulation Piping, Balancing Duty: Memory-stop balancing valves.  
Drain Duty: Hose-end drain valves.

Use check valves to maintain correct direction of domestic water flow to and from equipment.  
Iron grooved-end valves may be used with grooved-end piping.  
CPVC and PVC valves matching piping materials may be used.

5. INTERIOR SANITARY WASTE AND VENT PIPING

PRODUCTS

PIPING MATERIALS  
Hubless Cast-Iron Pipe and Fittings: ASTM A 888 or CISPI 301.  
PVC Pipe: ASTM D 2665, solid-wall drain, waste, and vent.

CONNECTIONS  
Install piping adjacent to water heaters to allow service and maintenance. Arrange piping for easy removal of water heaters.

8. DIRECT-FIRED H&V UNITS

SUBMITTALS  
Product Data: Include rated capacities, furnished specialties, and accessories.

EXECUTION

PIPING APPLICATIONS  
Aboveground, interior soil, waste, and vent piping shall be PVC Pipe with socket fittings and solvent welded joints. Underground, soil, waste, and vent shall be PVC Pipe with socket fittings and solvent welded joints.

PIPING INSTALLATION  
Install cleanouts at grade and extend to where building sanitary drains connect to building sanitary sewers. Install wall penetration system at each service pipe penetration through foundation wall. Make installation watertight. Install cast-iron soil piping according to CISPI's "Cast Iron Soil Pipe and Fittings Handbook," Chapter IV, "Installation of Cast Iron Soil Pipe and Fittings." Make changes in direction for soil and waste drainage and vent piping using appropriate branches, bends, and long-sweep bends. Sanitary tees and short-sweep 1/4 bends may be used on vertical stacks if change in direction of flow is from horizontal to vertical. Use long-turn, double Y-branch and 1/8-bend fittings if 2 fixtures are installed back to back or side by side with common drain pipe. Straight tees, elbows, and crosses may be used on vent lines. Do not change direction of flow more than 90 degrees. Use proper size of standard increasers and reducers if pipes of different sizes are connected. Reducing size of drainage piping in direction of flow is prohibited. Lay buried building drainage piping beginning at low point of each system. Install true to grades and alignment indicated, with unbroken continuity of invert. Place hub ends of piping upstream. Install required gaskets according to manufacturer's written instructions for use of lubricants, cements, and other installation requirements. Maintain swab in piping and pull past each joint as completed. Install soil and waste drainage and vent piping at the code required minimum slopes. Sleeves are not required for cast-iron soil piping passing through concrete slabs-on-grade if slab is without membrane waterproofing. Install PVC soil and waste drainage and vent piping according to ASTM D 2665. Do not enclose, cover, or put piping into operation until it is inspected and approved by authorities having jurisdiction.

JOINT CONSTRUCTION  
Cast-Iron, Soil-Piping Joints: Make joints according to CISPI's "Cast Iron Soil Pipe and Fittings Handbook," Chapter IV, "Installation of Cast Iron Soil Pipe and Fittings."  
PVC Nonpressure Piping Joints: Join piping according to ASTM D 2665.

6. FACILITY NATURAL-GAS PIPING

PRODUCTS

PIPES, TUBES, AND FITTINGS  
Steel Pipe: ASTM A 53/A 53M, black steel, Schedule 40, Type E or S, Grade B.

JOINING MATERIALS  
Joint Compound and Tape: Suitable for natural gas.  
Welding Filler Metals: Comply with AWS D10.12/D10.12M for welding materials appropriate for wall thickness and chemical analysis of steel pipe being welded.

MANUAL GAS SHUTOFF VALVES  
Bronze Plug Valves: MSS SP-78.

MOTORIZED GAS VALVES  
Electrically Operated Valves: Comply with UL 429.

EXECUTION

OUTDOOR PIPING INSTALLATION  
Comply with NFPA 54 for installation and purging of natural-gas piping.

INDOOR PIPING INSTALLATION  
Comply with NFPA 54 for installation and purging of natural-gas piping.  
Arrange for pipe spaces, chases, slots, sleeves, and openings in building structure during progress of construction, to allow for mechanical installations. Install piping in concealed locations unless otherwise indicated and except in equipment rooms and service areas. Install piping indicated to be exposed and piping in equipment rooms and service areas at right angles or parallel to building walls. Diagonal runs are prohibited unless specifically indicated otherwise. Install piping above accessible ceilings to allow sufficient space for ceiling panel removal. Locate valves for easy access. Install natural-gas piping at uniform grade of 2 percent down toward drip and sediment traps. Install piping free of sags and bends. Install fittings for changes in direction and branch connections. Fire-Barrier Penetrations: Maintain indicated fire rating of walls, partitions, ceilings, and floors at pipe penetrations. Seal pipe penetrations with firestop materials. Verify final equipment locations for roughing-in. Drips and Sediment Traps: Install drips at points where condensate may collect, including service-meter outlets. Locate where accessible to permit cleaning and emptying. Do not install where condensate is subject to freezing. Extend relief vent connections for service regulators, line regulators, and verpressure protection devices to outdoors and terminate with weatherproof vent cap. Conceal pipe installations in walls, pipe spaces, utility spaces, above ceilings, below grade or floors, and in floor channels unless indicated to be exposed to view.

CONNECTIONS  
Connect to utility's gas main according to utility's procedures and requirements. Install natural-gas piping electrically continuous, and bonded to gas appliance equipment grounding conductor of the circuit powering the appliance according to NFPA 70. Install piping adjacent to appliances to allow service and maintenance of appliances. Connect piping to appliances using manual gas shutoff valves and unions. Install valve within 72 inches (1800 mm) of each gas-fired appliance and equipment. Install union between valve and appliances or equipment. Sediment Traps: Install tee fitting with capped nipple in bottom to form drip, as close as practical to inlet of each appliance.

OUTDOOR PIPING SCHEDULE  
Aboveground natural-gas piping shall be Steel pipe with wrought-steel fittings and welded joints.

INDOOR PIPING SCHEDULE  
Aboveground, piping shall be Steel pipe with wrought-steel fittings and welded joints.

7. FUEL-FIRED WATER HEATERS

SUBMITTALS  
Product Data: For each type and size of water heater indicated. Include rated capacities, operating characteristics, furnished specialties, and accessories. Shop Drawings: Diagram power, signal, and control wiring. Operation and maintenance data.

MANUFACTURERS  
Commercial, Power-Burner, Storage, Gas Water Heaters: Comply with NSI Z21.10.3/CSA 4.3.

WATER HEATER ACCESSORIES  
Gas Shutoff Valves: ANSI Z21.15/CSA 9.1, manually operated. Furnish for installation in piping. Gas Pressure Regulators: ANSI Z21.18, appliance type. Include pressure rating, capacity, and pressure differential required between gas supply and water heater.  
Piping-Type Heat Traps: Field-fabricated piping arrangement according to ASHRAE/IESNA 90.1-2004.

EXECUTION  
WATER HEATER INSTALLATION  
Install commercial water heaters on concrete bases. Install water heaters level and plumb, according to layout drawings, original design, and referenced standards. Maintain manufacturer's recommended clearances. Arrange units so controls and devices needing service are accessible. Install gas water heaters according to NFPA 54. Install combination temperature and pressure relief valves in top portion of storage tanks. Use relief valves with sensing elements that extend into tanks. Extend commercial, water-heater, relief-valve outlet, with drain piping same as domestic water piping in continuous downward pitch, and discharge by positive air gap onto closest floor drain. Install water heater drain piping as indirect waste to spill by positive air gap into open drains or over floor drains. Install hose-end drain valves at low points in water piping for water heaters that do not have tank drains. Install thermometer on outlet piping of water heaters. Install piping-type heat traps on inlet and outlet piping of water heater storage tanks without integral or fitting-type heat traps. Fill water heaters with water.

CONNECTIONS  
Install piping adjacent to water heaters to allow service and maintenance. Arrange piping for easy removal of water heaters.

8. DIRECT-FIRED H&V UNITS

SUBMITTALS  
Product Data: Include rated capacities, furnished specialties, and accessories.

PACKAGED UNITS  
Factory-assembled, prewired, self-contained unit consisting of cabinet, supply fan, controls, filters, and direct-fired gas furnace to be installed outside the building.

OUTDOOR-AIR INTAKE  
Outdoor-Air Hood: Galvanized steel with rain baffles, bird screen complying with ASHRAE 62.1-2004, and finish to match cabinet; and sized to supply maximum 100 percent outdoor air.

AIR FILTERS  
Comply with NFPA 90A.

DIRECT-FIRED GAS FURNACE  
Description: Factory assembled, piped, and wired; and complying with ANSI Z83.4, "Direct Gas-Fired Make-Up Air Heaters"; ANSI Z83.18, "Direct Gas-Fired Industrial Air Heaters"; and NFPA 54, "National Fuel Gas Code."

CONTROLS  
Factory-wired, fuse-protected control transformer, connection for power supply and field-wired unit to remote control panel.

EXECUTION

INSTALLATION  
Install gas-fired units according to NFPA 54, "National Fuel Gas Code."  
Install roof curb on roof structure, according to ARI Guidelines.  
Install controls and equipment shipped by manufacturer for field installation with direct-fired H&V units.

9. METAL DUCTS

RECTANGULAR DUCTS AND FITTINGS  
General Fabrication Requirements: Comply with SMACNA's "HVAC Duct Construction Standards - Metal and Flexible" based on indicated static-pressure class unless otherwise indicated.  
Transverse Joints: Select joint types and fabricate according to SMACNA's "HVAC Duct Construction Standards - Metal and Flexible," Figure 1-4, "Transverse (Girth) Joints," for static-pressure class, applicable sealing requirements, materials involved, duct-support intervals, and other provisions in SMACNA's "HVAC Duct Construction Standards - Metal and Flexible."  
Longitudinal Seams: Select seam types and fabricate according to SMACNA's "HVAC Duct Construction Standards - Metal and Flexible," Figure 1-5, "Longitudinal Seams - Rectangular Ducts," for static-pressure class, applicable sealing requirements, materials involved, duct-support intervals, and other provisions in SMACNA's "HVAC Duct Construction Standards - Metal and Flexible."  
Elbows, Transitions, Offsets, Branch Connections, and Other Duct Construction: Select types and fabricate according to SMACNA's "HVAC Duct Construction Standards - Metal and Flexible," Chapter 2, "Fittings and Other Construction," for static-pressure class, applicable sealing requirements, materials involved, duct-support intervals, and other provisions in SMACNA's "HVAC Duct Construction Standards - Metal and Flexible."

ROUND DUCTS AND FITTINGS  
General Fabrication Requirements: Comply with SMACNA's "HVAC Duct Construction Standards - Metal and Flexible," Chapter 3, "Round, Oval, and Flexible Duct," based on indicated static-pressure class unless otherwise indicated.  
Transverse Joints: Select joint types and fabricate according to SMACNA's "HVAC Duct Construction Standards - Metal and Flexible," Figure 3-2, "Transverse Joints - Round Duct," for static-pressure class, applicable sealing requirements, materials involved, duct-support intervals, and other provisions in SMACNA's "HVAC Duct Construction Standards - Metal and Flexible."  
Longitudinal Seams: Select seam types and fabricate according to SMACNA's "HVAC Duct Construction Standards - Metal and Flexible," Figure 3-1, "Seams - Round Duct and Fittings," for static-pressure class, applicable sealing requirements, materials involved, duct-support intervals, and other provisions in SMACNA's "HVAC Duct Construction Standards - Metal and Flexible." Tees and Laterals: Select types and fabricate according to SMACNA's "HVAC Duct Construction Standards - Metal and Flexible," Figure 3-4, "90 Degree Tees and Laterals," and Figure 3-5, "Conical Tees," for static-pressure class, applicable sealing requirements, materials involved, duct-support intervals, and other provisions in SMACNA's "HVAC Duct Construction Standards - Metal and Flexible."

SHEET METAL MATERIALS  
General Material Requirements: Comply with SMACNA's "HVAC Duct Construction Standards Metal and Flexible" for acceptable materials, material thicknesses, and duct construction methods unless otherwise indicated. Sheet metal materials shall be free of pitting, seam marks, rust, stains, discolorations, and other imperfections.  
Galvanized Sheet Steel: Comply with ASTM A 653/A 653M.

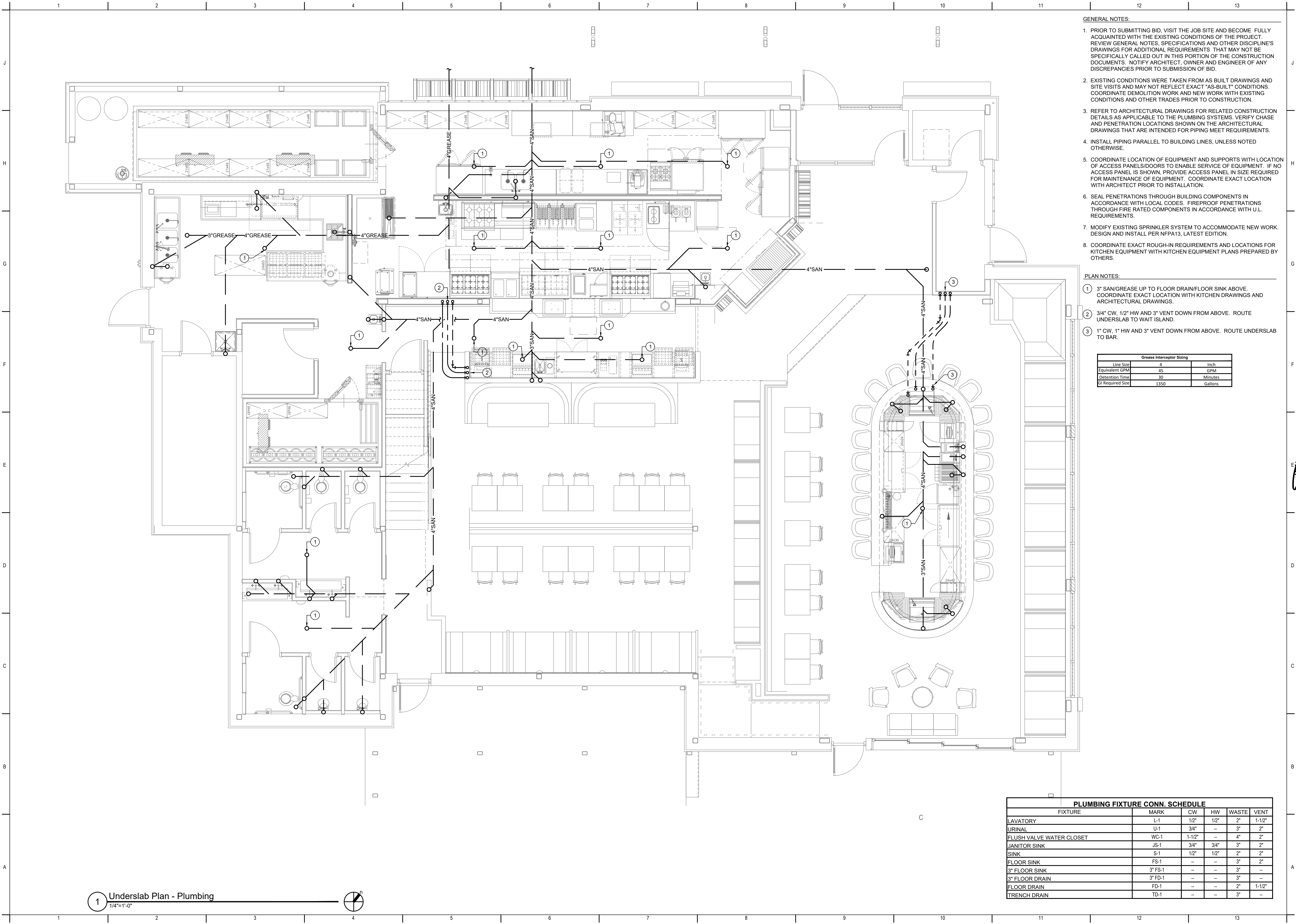
EXECUTION  
DUCT INSTALLATION  
Drawing plans, schematics, and diagrams indicate general location and arrangement of duct system. Indicated durations, and diagrams indicate general location and arrangement of duct system. Indicated durations, configurations, and arrangements were used to size ducts and calculate friction loss for air-handling equipment sizing and for other design considerations. Install duct systems as indicated unless deviations to layout are approved on Shop Drawings and Coordination Drawings. Install ducts according to SMACNA's "HVAC Duct Construction Standards - Metal and Flexible" unless otherwise indicated. Install round ducts in maximum practical lengths. Install ducts with fewest possible joints. Install factory- or shop-fabricated fittings for changes in direction, size, and shape and for branch connections. Unless otherwise indicated, install ducts vertically and horizontally, and parallel and perpendicular to building lines. Install ducts close to walls, overhead construction, columns, and other structural and permanent enclosure elements of building. Install ducts with a clearance of 1 inch (25 mm), plus allowance for insulation thickness. Route ducts to avoid passing through transformer vaults and electrical equipment rooms and enclosures. Where ducts pass through non-fire-rated interior partitions and exterior walls and are exposed to view, cover the opening between the partition and duct or duct insulation with sheet metal flanges of same metal thickness as the duct. Overlap openings on four sides by at least 1-1/2 inches (38 mm).

Where ducts pass through fire-rated interior partitions and exterior walls, install fire dampers.  
INSTALLATION OF EXPOSED DUCTWORK  
Protect ducts exposed in finished spaces from being dented, scratched, or damaged. Trim duct sealants flush with metal. Create a smooth and uniform exposed bead. Do not use two-part tape sealing system.  
Grind welds to provide smooth surface free of burrs, sharp edges, and weld splatter. When welding stainless steel with a No. 3 or 4 finish, grind the welds flush, polish the exposed welds, and treat the welds to remove discoloration caused by welding.  
Maintain consistency, symmetry, and uniformity in the arrangement and fabrication of fittings, hangers and supports, duct accessories, and air outlets.  
Repair or replace damaged sections and finished work that does not comply with these requirements.

ADDITIONAL INSTALLATION REQUIREMENTS FOR COMMERCIAL KITCHEN HOOD EXHAUST DUCT  
Install commercial kitchen hood exhaust ducts without dips and traps that may hold grease, and sloped a minimum of 2 percent to drain grease back to the hood.  
Install fire-rated access panel assemblies at each change in direction and at maximum intervals of 12 feet (3.7 m) in horizontal ducts, and at every floor for vertical ducts, or as indicated on Drawings. Locate access panel on top or sides of duct a minimum of 1-1/2 inches (38 mm) from bottom of duct.  
Do not penetrate fire-rated assemblies except as allowed by applicable building codes and authorities having jurisdiction.

DUCT SEALING





- GENERAL NOTES:
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  - EXISTING CONDITIONS WERE TAKEN FROM AS BUILT DRAWINGS AND SITE VISITS AND MAY NOT REFLECT EXACT 'AS-BUILT' CONDITIONS. COORDINATE DEMOLITION WORK AND NEW WORK WITH EXISTING CONDITIONS AND OTHER TRADES PRIOR TO CONSTRUCTION.
  - REFER TO ARCHITECTURAL DRAWINGS FOR RELATED CONSTRUCTION DETAILS AS APPLICABLE TO THE PLUMBING SYSTEMS. VERIFY CHASE AND PENETRATION LOCATIONS SHOWN ON THE ARCHITECTURAL DRAWINGS THAT ARE INTENDED FOR PIPING MEET REQUIREMENTS.
  - INSTALL PIPING PARALLEL TO BUILDING LINES, UNLESS NOTED OTHERWISE.
  - COORDINATE LOCATION OF EQUIPMENT AND SUPPORTS WITH LOCATION OF ACCESS PANELS/DOORS TO ENABLE SERVICE OF EQUIPMENT. IF NO ACCESS PANEL IS SHOWN, PROVIDE ACCESS PANEL IN SIZE REQUIRED FOR MAINTENANCE OF EQUIPMENT. COORDINATE EXACT LOCATION WITH ARCHITECT PRIOR TO INSTALLATION.
  - SEAL PENETRATIONS THROUGH BUILDING COMPONENTS IN ACCORDANCE WITH LOCAL CODES. FIREPROOF PENETRATIONS THROUGH FIRE RATED COMPONENTS IN ACCORDANCE WITH U.L. REQUIREMENTS.
  - MODIFY EXISTING SPRINKLER SYSTEM TO ACCOMMODATE NEW WORK. DESIGN AND INSTALL PER NFPA13, LATEST EDITION.
  - COORDINATE EXACT ROUGH-IN REQUIREMENTS AND LOCATIONS FOR KITCHEN EQUIPMENT WITH KITCHEN EQUIPMENT PLANS PREPARED BY OTHERS.

- PLAN NOTES:
- 3" SAN/GREASE UP TO FLOOR DRAIN/FLOOR SINK ABOVE. COORDINATE EXACT LOCATION WITH KITCHEN DRAWINGS AND ARCHITECTURAL DRAWINGS.
  - 3/4" CW, 1/2" HW AND 3" VENT DOWN FROM ABOVE. ROUTE UNDERSLAB TO WAIT ISLAND.
  - 1" CW, 1" HW AND 3" VENT DOWN FROM ABOVE. ROUTE UNDERSLAB TO BAR.

Grease Interceptor Sizing		
Line Size	4	Inch
Equivalent GPM	45	GPM
Detention Time	30	Minutes
Sl Required Size	1350	Gallons

PLUMBING FIXTURE CONN. SCHEDULE					
FIXTURE	MARK	CW	HW	WASTE	VENT
LAVATORY	L-1	1/2"	1/2"	2"	1-1/2"
URINAL	U-1	3/4"	--	3"	2"
FLUSH VALVE WATER CLOSET	WC-1	1-1/2"	--	4"	2"
JANITOR SINK	JS-1	3/4"	3/4"	3"	2"
SINK	S-1	1/2"	1/2"	2"	2"
FLOOR SINK	FS-1	--	--	3"	2"
3" FLOOR SINK	3" FS-1	--	--	3"	--
3" FLOOR DRAIN	3" FD-1	--	--	3"	--
FLOOR DRAIN	FD-1	--	--	2"	1-1/2"
TRENCH DRAIN	TD-1	--	--	3"	--

ARCHITECTURAL

URBAN PRAIRIE

COLLABORATIVE, P.C.

Red Door Grill - Lee's Summit

Permit Set

Lot 1 Streets Of Pryor

Lee's Summit, MO

STATE OF MISSOURI

PE 00029713

4-9-21

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Missouri Certificate of Authority: #

PROJECT NUMBER: 20.033

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REVISIONS

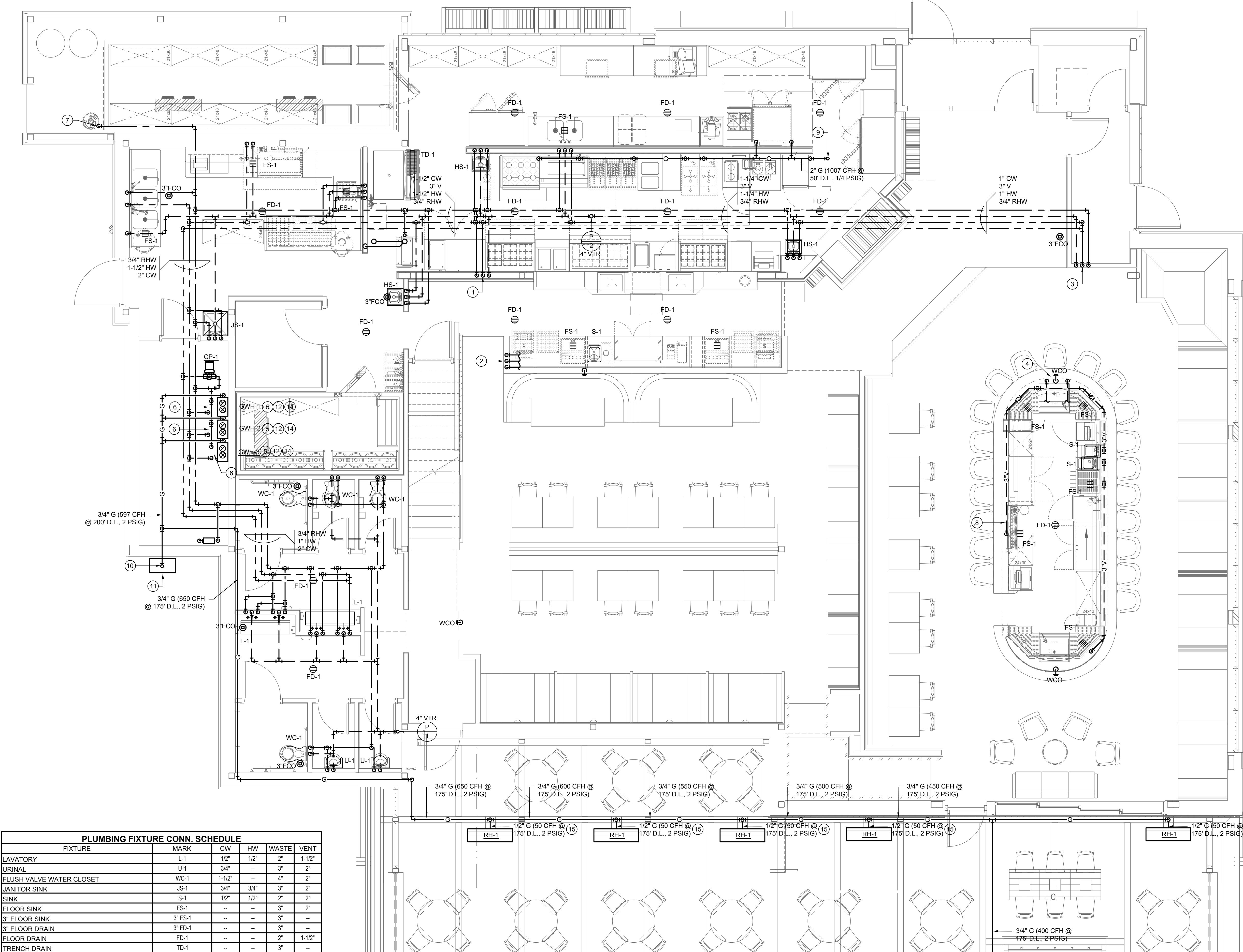
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Underslab Plumbing Plan

P101

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PLUMBING FIXTURE CONN. SCHEDULE					
FIXTURE	MARK	CW	HW	WASTE	VENT
LAVATORY	L-1	1/2"	1/2"	2"	1-1/2"
URINAL	U-1	3/4"	--	3"	2"
FLUSH VALVE WATER CLOSET	WC-1	1-1/2"	--	4"	2"
JANITOR SINK	JS-1	3/4"	3/4"	3"	2"
SINK	S-1	1/2"	1/2"	2"	2"
FLOOR SINK	--	--	--	3"	2"
3\" FLOOR SINK	3\" FS-1	--	--	3"	--
3\" FLOOR DRAIN	3\" FD-1	--	--	3"	--
FLOOR DRAIN	FD-1	--	--	2"	1-1/2"
TRENCH DRAIN	TD-1	--	--	3"	--

- GENERAL NOTES:
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  - REFER TO ARCHITECTURAL DRAWINGS FOR RELATED CONSTRUCTION DETAILS AS APPLICABLE TO THE PLUMBING SYSTEMS. VERIFY CHASE AND PENETRATION LOCATIONS SHOWN ON THE ARCHITECTURAL DRAWINGS THAT ARE INTENDED FOR PIPING MEET REQUIREMENTS.
  - INSTALL PIPING PARALLEL TO BUILDING LINES, UNLESS NOTED OTHERWISE.
  - COORDINATE LOCATION OF EQUIPMENT AND SUPPORTS WITH LOCATION OF ACCESS PANELS/DOORS TO ENABLE SERVICE OF EQUIPMENT. IF NO ACCESS PANEL IS SHOWN, PROVIDE ACCESS PANEL IN SIZE REQUIRED FOR MAINTENANCE OF EQUIPMENT. COORDINATE EXACT LOCATION WITH ARCHITECT PRIOR TO INSTALLATION.
  - SEAL PENETRATIONS THROUGH BUILDING COMPONENTS IN ACCORDANCE WITH LOCAL CODES. FIREPROOF PENETRATIONS THROUGH FIRE RATED COMPONENTS IN ACCORDANCE WITH U.L. REQUIREMENTS.
  - MODIFY EXISTING SPRINKLER SYSTEM TO ACCOMMODATE NEW WORK. DESIGN AND INSTALL PER NFPA13, LATEST EDITION.
  - COORDINATE EXACT ROUGH-IN REQUIREMENTS AND LOCATIONS FOR KITCHEN EQUIPMENT WITH KITCHEN EQUIPMENT PLANS PREPARED BY OTHERS.
  - PROVIDE RPZ TYPE BACKFLOW PREVENTER, THAT COMPLIES WITH ASSE 1022, AT ALL BEVERAGE DISPENSERS AND ICE MAKERS.
  - RPZ BACKFLOW PREVENTOR ASSEMBLY IS REQUIRED AND MUST BE INSTALLED AT EACH CARBONATOR. THERE CAN BE NO COPPER OR ANY OTHER CONNECTIONS (OTHER THAN THE CARBONATOR) DOWNSTREAM OF THE RPZ.

- PLAN NOTES:
- 3/4" CW, 1/2" HW AND 3" VENT DOWN TO BELOW SLAB. ROUTE UNDERSLAB TO WAIT ISLAND.
  - ROUTE 3/4" CW, 1/2" HW AND 3" VENT IN CABINET SPACE. COORDINATE ROUTING WITH ALL EQUIPMENT PRIOR TO INSTALLATION.
  - 1" CW, 1" HW AND 3" VENT DOWN TO BELOW SLAB TO BAR. ROUTE UNDERBAR TO ALL EQUIPMENT. COORDINATE ROUTING WITH ALL EQUIPMENT PRIOR TO INSTALLATION.
  - 1/2" CW DOWN TO ICE MAKER BELOW. PROVIDE 1/2" RPZ TYPE BACKFLOW PREVENTOR. ROUTE BACKFLOW DISCHARGE CONCEALED, TO FLOOR SINK.
  - 6"Ø COMBUSTION AIR AND 6"Ø GAS FLUE DOWN TO WATER HEATER BELOW. MATERIAL SHALL BE AS DIRECTED BY WATER HEATER MANUFACTURER.
  - 1-1/2" CW & 1-1/2" HW DOWN TO WATER HEATERS BELOW.
  - 1/2" CW DOWN TO SYRUP/CO2 FOR SODA VENDOR. PROVIDE RPZ TYPE BACKFLOW PREVENTOR IN APPROVED LOCATION. ROUTE DISCHARGE TO NEAREST FLOOR DRAIN.
  - 1/2" CW FOR BEER TAP. PROVIDE RPZ TYPE BACKFLOW PREVENTOR IN APPROVED LOCATION. ROUTE DISCHARGE TO NEAREST FLOOR DRAIN.
  - 2" GAS (1007 CFH @ 50" D.L., 1/4" PSIG) DOWN FROM ROOF ABOVE. SEE ROOF PLAN FOR CONTINUATION.
  - 1-1/2" GAS (2348 CFH @ 200" D.L., 2 PSIG) UP TO ROOF ABOVE.
  - 2" GAS (3595 CFH @ 200" D.L., 2 PSIG) DOWN TO NEW GAS METER SET BELOW.
  - 6"Ø COMBUSTION AIR AND 6"Ø GAS FLUE UP THROUGH ROOF ABOVE. MATERIAL SHALL BE AS DIRECTED BY WATER HEATER MANUFACTURER.
  - 2" GAS UP (1007 CFH @ 50" D.L., 1/4" PSIG), INSTALL VENTLESS PRESSURE REDUCING VALVE, ABOVE ROOF, TO REDUCE GAS PRESSURE FROM 2 PSIG TO 1/4 PSIG, AT FULL FLOW (SHOWN ABOVE).
  - PROVIDE VENTLESS GAS PRESSURE REDUCING VALVE TO REDUCE GAS PRESSURE FROM 2 PSIG TO 1/4 PSIG. THEN DOWN STREAM OF PRV, 1-1/4" GAS DOWN TO WATER HEATERS BELOW (199 CFH @ 20" D.L., 1/4" PSIG)
  - PROVIDE VENTLESS GAS PRESSURE REDUCING VALVE TO REDUCE GAS PRESSURE FROM 2 PSIG TO 1/4 PSIG. THEN DOWN STREAM OF PRV, 1/2" GAS DOWN TO RADIANT HEATER (50 CFH @ 20" D.L., 1/4" PSIG)
  - PROVIDE VENTLESS GAS PRESSURE REDUCING VALVE TO REDUCE GAS PRESSURE FROM 2 PSIG TO 1/4 PSIG. THEN DOWN STREAM OF PRV, 1" GAS DOWN TO FIREPLACE (400 CFH @ 20" D.L., 1/4" PSIG)



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Missouri Certificate of Authority: #

PROJECT NUMBER: 20.033

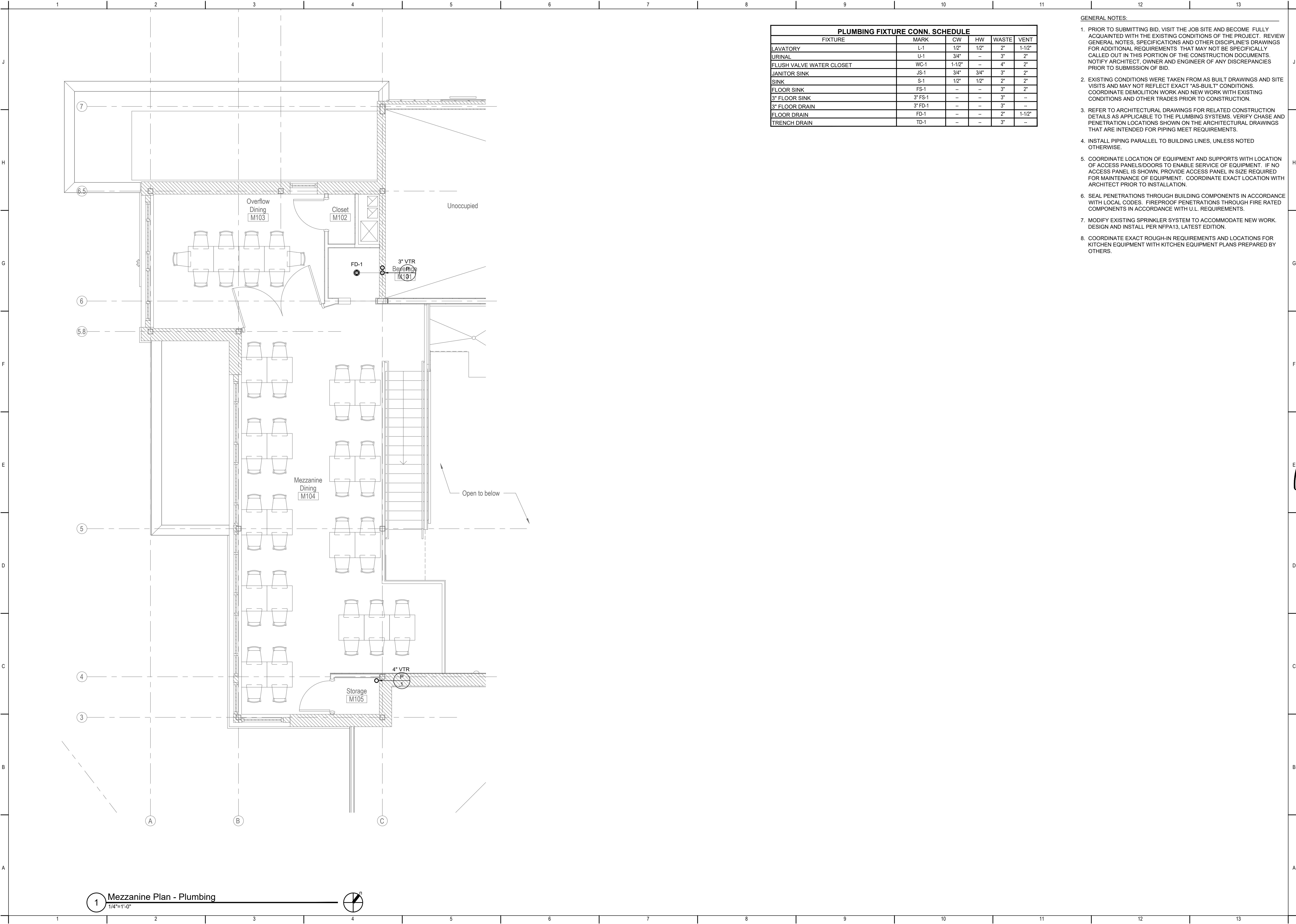
ISSUE DATE: 10 March, 2021

REVISIONS

DATE

Plumbing Floor Plan





- GENERAL NOTES:
1. PRIOR TO SUBMITTING BID, VISIT THE JOB SITE AND BECOME FULLY ACQUAINTED WITH THE EXISTING CONDITIONS OF THE PROJECT. REVIEW GENERAL NOTES, SPECIFICATIONS AND OTHER DISCIPLINE'S DRAWINGS FOR ADDITIONAL REQUIREMENTS THAT MAY NOT BE SPECIFICALLY CALLED OUT IN THIS PORTION OF THE CONSTRUCTION DOCUMENTS. NOTIFY ARCHITECT, OWNER AND ENGINEER OF ANY DISCREPANCIES PRIOR TO SUBMISSION OF BID.
  2. EXISTING CONDITIONS WERE TAKEN FROM AS BUILT DRAWINGS AND SITE VISITS AND MAY NOT REFLECT EXACT "AS-BUILT" CONDITIONS. COORDINATE DEMOLITION WORK AND NEW WORK WITH EXISTING CONDITIONS AND OTHER TRADES PRIOR TO CONSTRUCTION.
  3. REFER TO ARCHITECTURAL DRAWINGS FOR RELATED CONSTRUCTION DETAILS AS APPLICABLE TO THE PLUMBING SYSTEMS. VERIFY CHASE AND PENETRATION LOCATIONS SHOWN ON THE ARCHITECTURAL DRAWINGS THAT ARE INTENDED FOR PIPING MEET REQUIREMENTS.
  4. INSTALL PIPING PARALLEL TO BUILDING LINES, UNLESS NOTED OTHERWISE.
  5. COORDINATE LOCATION OF EQUIPMENT AND SUPPORTS WITH LOCATION OF ACCESS PANELS/DOORS TO ENABLE SERVICE OF EQUIPMENT. IF NO ACCESS PANEL IS SHOWN, PROVIDE ACCESS PANEL IN SIZE REQUIRED FOR MAINTENANCE OF EQUIPMENT. COORDINATE EXACT LOCATION WITH ARCHITECT PRIOR TO INSTALLATION.
  6. SEAL PENETRATIONS THROUGH BUILDING COMPONENTS IN ACCORDANCE WITH LOCAL CODES. FIREPROOF PENETRATIONS THROUGH FIRE RATED COMPONENTS IN ACCORDANCE WITH U.L. REQUIREMENTS.
  7. MODIFY EXISTING SPRINKLER SYSTEM TO ACCOMMODATE NEW WORK. DESIGN AND INSTALL PER NFPA13, LATEST EDITION.
  8. COORDINATE EXACT ROUGH-IN REQUIREMENTS AND LOCATIONS FOR KITCHEN EQUIPMENT WITH KITCHEN EQUIPMENT PLANS PREPARED BY OTHERS.

ARCHITECTURAL

URBAN PRAIRIE

COLLABORATIVE, P.C.

Red Door Grill - Lee's Summit

Permit Set

Lot 1 Streets Of Pryor

Lee's Summit, MO

SEAL OF THE STATE OF MISSOURI

PROFESSIONAL ENGINEER

4-9-21

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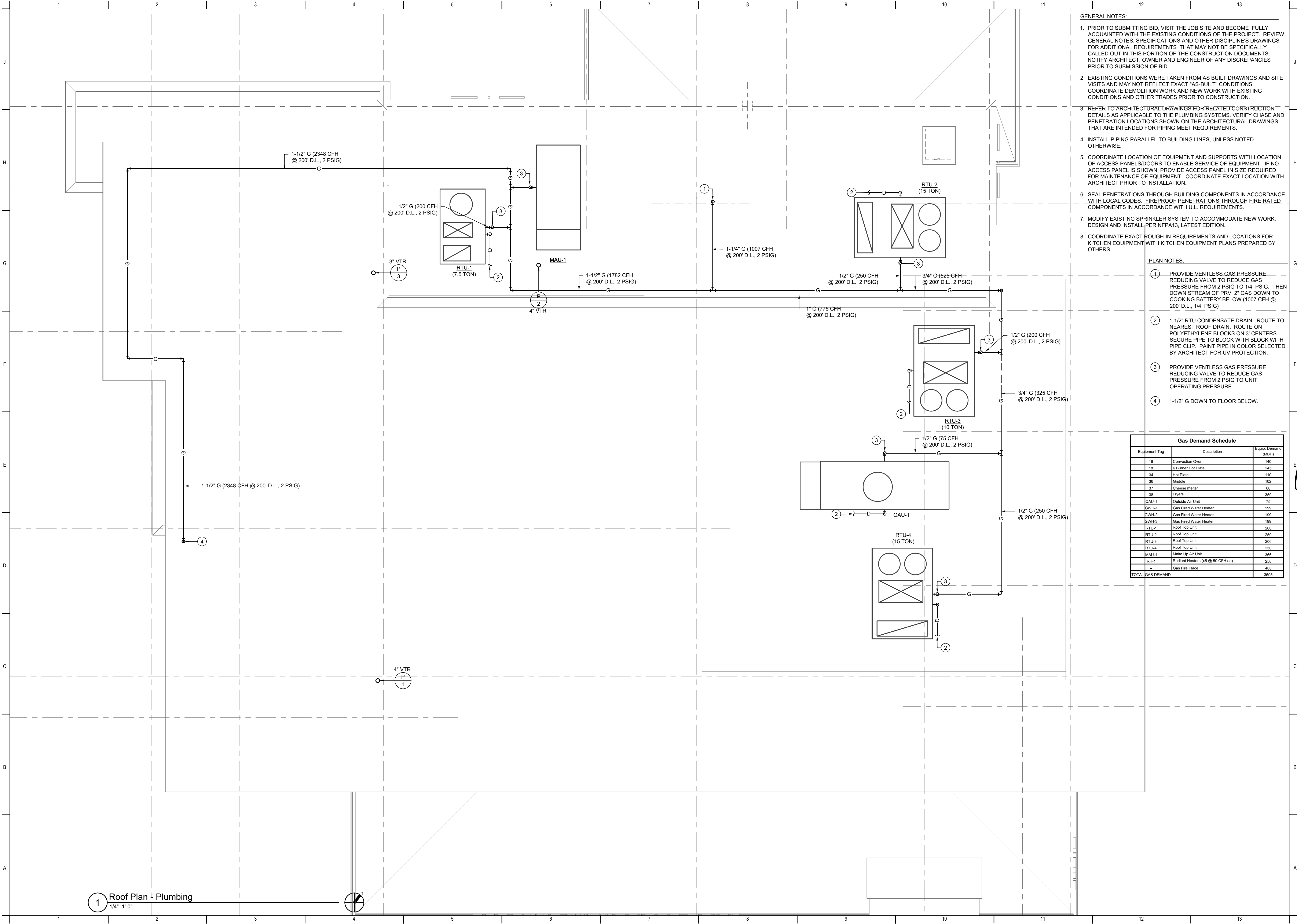
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Plumbing Mezzanine Plan

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- GENERAL NOTES:**
1. PRIOR TO SUBMITTING BID, VISIT THE JOB SITE AND BECOME FULLY ACQUAINTED WITH THE EXISTING CONDITIONS OF THE PROJECT. REVIEW GENERAL NOTES, SPECIFICATIONS AND OTHER DISCIPLINE'S DRAWINGS FOR ADDITIONAL REQUIREMENTS THAT MAY NOT BE SPECIFICALLY CALLED OUT IN THIS PORTION OF THE CONSTRUCTION DOCUMENTS. NOTIFY ARCHITECT, OWNER AND ENGINEER OF ANY DISCREPANCIES PRIOR TO SUBMISSION OF BID.
  2. EXISTING CONDITIONS WERE TAKEN FROM AS BUILT DRAWINGS AND SITE VISITS AND MAY NOT REFLECT EXACT "AS-BUILT" CONDITIONS. COORDINATE DEMOLITION WORK AND NEW WORK WITH EXISTING CONDITIONS AND OTHER TRADES PRIOR TO CONSTRUCTION.
  3. REFER TO ARCHITECTURAL DRAWINGS FOR RELATED CONSTRUCTION DETAILS AS APPLICABLE TO THE PLUMBING SYSTEMS. VERIFY CHASE AND PENETRATION LOCATIONS SHOWN ON THE ARCHITECTURAL DRAWINGS THAT ARE INTENDED FOR PIPING MEET REQUIREMENTS.
  4. INSTALL PIPING PARALLEL TO BUILDING LINES, UNLESS NOTED OTHERWISE.
  5. COORDINATE LOCATION OF EQUIPMENT AND SUPPORTS WITH LOCATION OF ACCESS PANELS/DOORS TO ENABLE SERVICE OF EQUIPMENT. IF NO ACCESS PANEL IS SHOWN, PROVIDE ACCESS PANEL IN SIZE REQUIRED FOR MAINTENANCE OF EQUIPMENT. COORDINATE EXACT LOCATION WITH ARCHITECT PRIOR TO INSTALLATION.
  6. SEAL PENETRATIONS THROUGH BUILDING COMPONENTS IN ACCORDANCE WITH LOCAL CODES. FIREPROOF PENETRATIONS THROUGH FIRE RATED COMPONENTS IN ACCORDANCE WITH U.L. REQUIREMENTS.
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  8. COORDINATE EXACT ROUGH-IN REQUIREMENTS AND LOCATIONS FOR KITCHEN EQUIPMENT WITH KITCHEN EQUIPMENT PLANS PREPARED BY OTHERS.

- PLAN NOTES:**
- 1 PROVIDE VENTLESS GAS PRESSURE REDUCING VALVE TO REDUCE GAS PRESSURE FROM 2 PSIG TO 1/4 PSIG. THEN DOWN STREAM OF PRV 2" GAS DOWN TO COOKING BATTERY BELOW (1007 CFH @ 200' D.L., 1/4 PSIG)
  - 2 1-1/2" RTU CONDENSATE DRAIN. ROUTE TO NEAREST ROOF DRAIN. ROUTE ON POLYETHYLENE BLOCKS ON 3" CENTERS. SECURE PIPE TO BLOCK WITH BLOCK WITH PIPE CLIP. PAINT PIPE IN COLOR SELECTED BY ARCHITECT FOR UV PROTECTION.
  - 3 PROVIDE VENTLESS GAS PRESSURE REDUCING VALVE TO REDUCE GAS PRESSURE FROM 2 PSIG TO UNIT OPERATING PRESSURE.
  - 4 1-1/2" G DOWN TO FLOOR BELOW.

Gas Demand Schedule		
Equipment Tag	Description	Equip. Demand (MBH)
16	Convection Oven	140
18	6 Burner Hot Plate	245
34	Hot Plate	110
36	Griddle	102
37	Cheese melter	60
38	Fryers	350
OAU-1	Outside Air Unit	75
GWH-1	Gas Fired Water Heater	199
GWH-2	Gas Fired Water Heater	199
GWH-3	Gas Fired Water Heater	199
RTU-1	Roof Top Unit	200
RTU-2	Roof Top Unit	250
RTU-3	Roof Top Unit	200
RTU-4	Roof Top Unit	250
MAU-1	Make Up Air Unit	366
RH-1	Radiant Heaters (x5 @ 50 CFH ea)	250
	Gas Fire Place	400
TOTAL GAS DEMAND		3695



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Plumbing Roof Plan



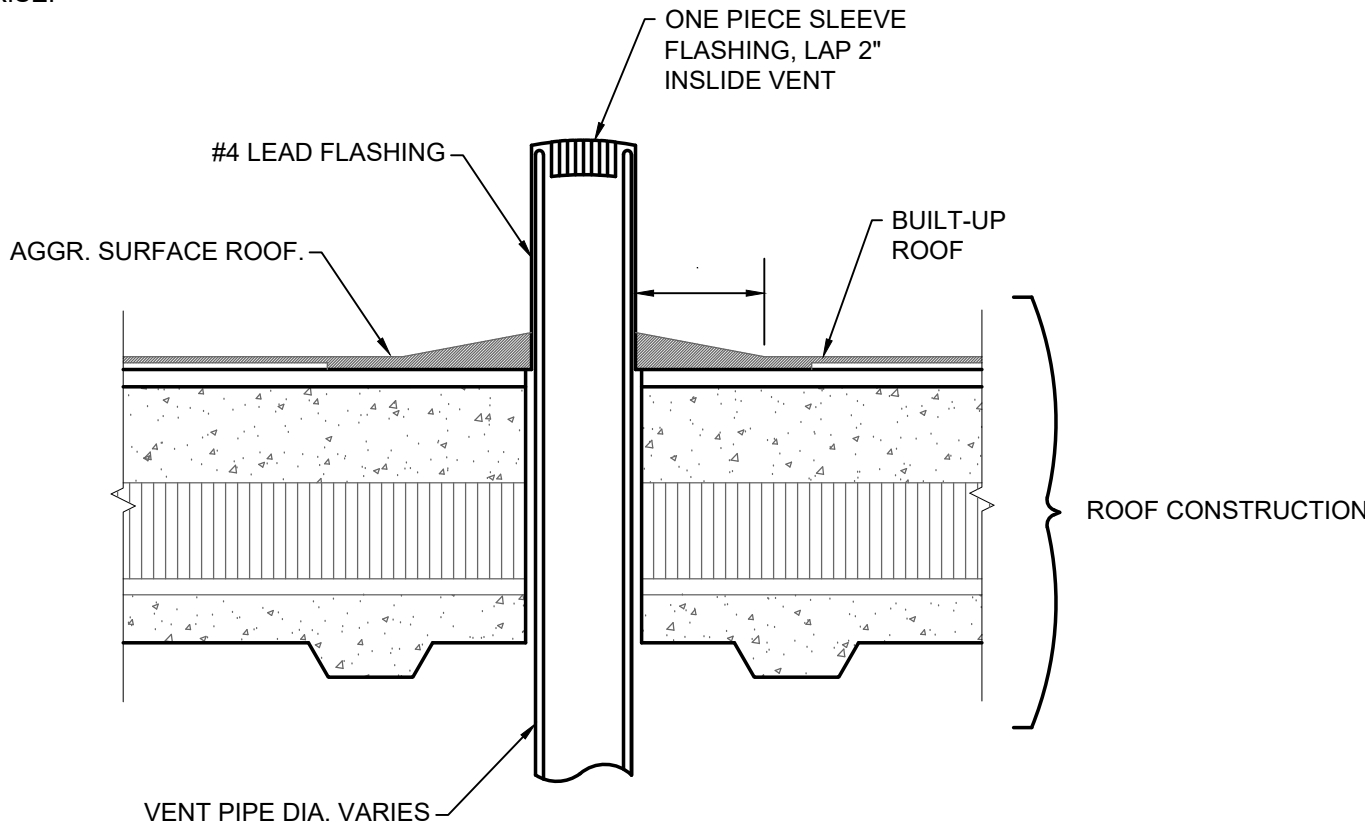
PLUMBING FIXTURE SCHEDULE						
PLAN MARK	MANUFACTURER AND MODEL	FIXTURE DESCRIPTION	ACCESSORIES MANUFACTURER AND MODEL	ACCESSORIES DESCRIPTION	SIZE	NOTES
FD-1	JAY R SMITH 2010	CAST IRON SHALLOW SUMP FLOOR DRAIN WITH 5" ROUND TOP WITH NICKEL BRONZE STRAINER.	-	-	-	
FS-1	WATTS FS-740-9-1	DEEP SANITARY FLOOR SINK WITH WHITE PORCELAIN ENAMEL COATED INTERIOR, LOOSE SET PORCELAIN ENAMEL COATED CAST IRON GRATE, ALUMINUM DOME BOTTOM STRAINER AND NO HUB OUTLET.	-		-	
HS-1	ELKAY CHS1716C	WALL-MOUNTED, STAINLESS STEEL, ADA COMPLIANT HANDSINK, TYPE 304 (18-8) STAINLESS STEEL, 11" HIGH BACKSPASH.	ELKAY LK9406N 0422H	CHROME-PLATED GOOSENECK SPOUT FAUCET.	-	PROVIDE CHROME PLATED BRASS TAILPIECE AND GRID DRAIN, CHROME PLATED BRASS P-TRAP, AND LOOSE KEYS ANGLED STOP VALVES AND FLEXIBLE RISERS. INSULATE EXPOSED TAILPIECE, P-TRAP, AND WATER RISERS WITH ADA COMPLIANT INSULATION. PROVIDE MIXING VALVE, THAT COMPLIES WITH ASSE 1070, SET AT 95°F.
JS-1	ZURN Z1996	FLOOR MOUNTED, MOLDED HIGH DENSITY COMPOSITE BASIN, PVC DRAIN BODY.	ZURN Z843M1-RC	WALL MOUNTED SERVICE FAUCET WITH PAIL HOOK AND VACUUM BREAKER. SUPPLY SINK WITH 30" HOSE, MOP HANGER AND LINT BASKET STRAINER.	24" X 24"	
L-1		CUSTOM QUARTZ TROUGH SINK, RE: ARCHITECTURE PLANS	(2) KOHLER PURIST K-14402-4A-BL	SINGLE HANDLE BATHROOM SINK FAUCET, MATTE BLACK FINISH	-	PROVIDE CHROME PLATED BRASS TAILPIECE, CHROME PLATED BRASS P-TRAP, ANGLED STOP VALVES AND FLEXIBLE RISERS. INSULATE EXPOSED TAILPIECE, P-TRAP, AND WATER RISERS WITH ADA COMPLIANT INSULATION. PROVIDE MIXING VALVE, THAT COMPLIES WITH ASSE 1070, SET AT 95°F
S-1	ELKAY LRAD 2522	SINGLE BOWL, STAINLESS STEEL, ADA COMPLIANT COUNTER MOUNTED SINK, 3 FAUCET HOLES ON 4" CENTERS.	AMERICAN STANDARD MONTERREY	8" WIDESPREAD FAUCET WITH 4" WRIST BLADE HANDLES AND GRID DRAIN ASSEMBLY.	25" X 22"	PROVIDE CHROME PLATED BRASS TAILPIECE AND GRID DRAIN, CHROME PLATED BRASS P-TRAP, AND LOOSE KEYS ANGLED STOP VALVES AND FLEXIBLE RISERS. INSULATE EXPOSED TAILPIECE, P-TRAP, AND WATER RISERS WITH ADA COMPLIANT INSULATION. PROVIDE MIXING VALVE, THAT COMPLIES WITH ASSE 1070, SET AT 95°F.
TD-1	ADVANCE TABCO FDG-12	STAINLESS STEEL TRENCH DRAIN WITH STAINLESS STEEL GRATE. LENGTH AS SHOWN ON DRAWINGS	-		-	
U-1	AMERICAN STANDARD DECORUM 8042.001EC	WALL HUNG, VITREOUS CHINA URINAL WITH WASH OUT FLUSHING ACTION AND TOP SPUD. MOUNT AT ADA HEIGHT. SELECTRONIC SENSOR OPERATED, BATTERY POWERED, CHROME PLATED, EXPOSED WATER CLOSET FLUSH VALVE WITH 3/4" TOP SPUD. RATED FOR 125 GPF.	1.) JAY R SMITH	1.) PROVIDE CARRIER AS REQUIRED TO SUIT APPLICATION.	-	
WC-1	AMERICAN STANDARD MADERA 3043.001	FLOOR-MOUNTED, VITREOUS CHINA WATER CLOSET WITH CONVENTIONAL GLAZE, MEETS STANDARDS FOR HIGH EFFICIENCY TOILET. DIRECT FED SIPHON JET ACTION, ELONGATED BOWL. ADA COMPLIANT. SELECTRONIC SENSOR OPERATED, BATTERY POWERED, CHROME PLATED, EXPOSED WATER CLOSET FLUSH VALVE WITH 1 1/2" TOP SPUD. RATED FOR 1.6 GPF.	1.) PLUMBTECH 421C 2.) JAY R SMITH	1.) SEAT, SOLID PLASTIC, OPEN FRONT, WHITE, ELONGATED BOWL, INTEGRAL BUMPERS, EXTERNAL CHECK HINGES WITH STAINLESS STEEL POSTS. 2.) PROVIDE CARRIER AS REQUIRED TO SUIT APPLICATION.	-	

INSTANTANEOUS GAS WATER HEATER SCHEDULE								
UNIT CALLOUT	UNIT INFORMATION							NOTES
	MFG	MODEL NO.	FLOW (GPM)	EWT (°F)	LWT (°F)	TOTAL INPUT (MBH)	VOLT/ PH	
GWH-1	NAVIENT	NPE-240A	5	40	115	199	120/1	1
GWH-2	NAVIENT	NPE-240A	5	40	115	199	120/1	1
GWH-3	NAVIENT	NPE-240A	5	40	115	199	120/1	1

NOTES:  
1. SUPPLY WITH FACTORY CONTROL PANEL. MANIFOLD ALL UNITS TOGETHER TO ACHIEVE 15 GPM OF WATER FLOW AT 75 DEGREE F TEMPERATURE RISE.

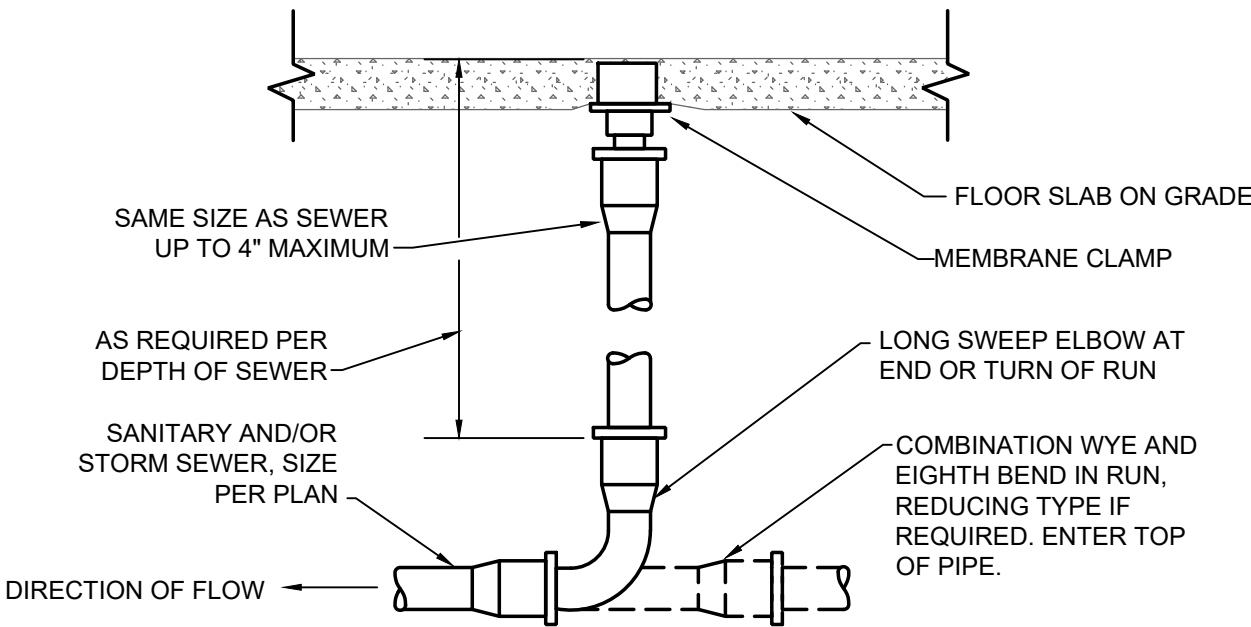
RADIANT HEATER SCHEDULE				
UNIT INFORMATION				NOTES
UNIT CALLOUT	MFG	MODEL NO.	CAP (BTUH)	
RH-1	INFRASAVE	IO-152	50.0	

NOTES:  
1. SUPPLY WITH PATIO PANEL, MOUNTING KIT AND FLEXIBLE GAS CONNECTOR.

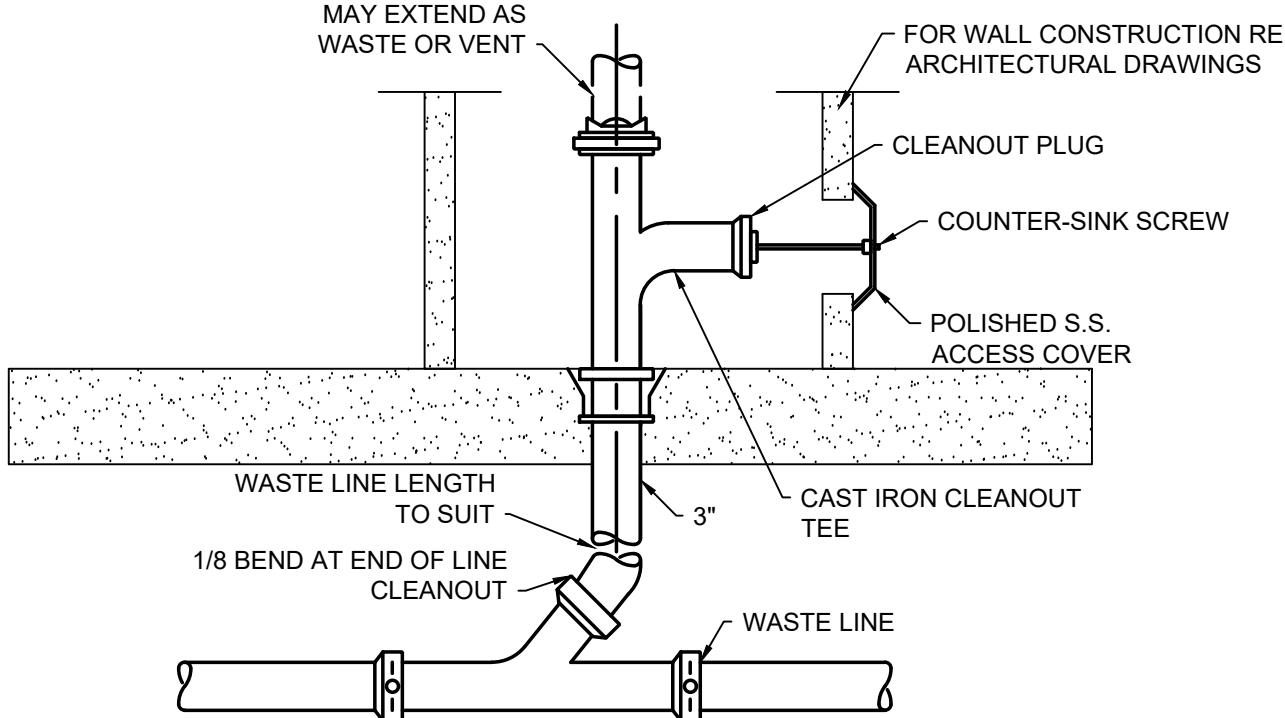


NOTES:  
1. MAX. SIZE OF ROOF OPENING 1" LARGER THAN OUTSIDE DIA. OF PIPE.  
2. VENT PIPE SHALL NOT BE INSTALLED WITHIN 5'-0" OF ROOF VALLEYS OR 2'-0" FROM ANY VERTICAL SURFACE.  
3. VENT PIPE SHALL TERMINATE NOT LESS THAN 10'-0" FROM ANY AIR INTAKE OR VENT SHAFT.

5 SECTION THRU PLUMBING VENT  
NO SCALE



4 FLOOR CLEANOUT DETAIL  
NO SCALE



3 WALL CLEANOUT DETAIL  
NO SCALE

GENERAL

- 1 MECHANICAL NOTE REFERENCE
- 2 DEMOLITION NOTE REFERENCE
- Δ REVISION NOTE REFERENCE
- ◐ CONNECT TO EXISTING WORK

PLUMBING

- SAN SOIL OR WASTE ABOVE GRADE OR FLOOR
- SAN --- SOIL OR WASTE BELOW GRADE OR FLOOR
- - - V - - - PLUMBING VENT
- ST --- STORM ABOVE GRADE OR FLOOR
- ST --- STORM BELOW GRADE OR FLOOR
- ST/O --- STORM OVERFLOW ABOVE GRADE OR FLOOR
- ST/O --- STORM OVERFLOW BELOW GRADE OR FLOOR
- DOMESTIC COLD WATER
- DOMESTIC HOT WATER
- RECIRCULATING DOMESTIC HOT WATER
- ⊙ FCO FLOOR CLEAN OUT
- WCO WALL CLEAN OUT
- CO CLEAN OUT
- G --- GAS (NATURAL)
- HB HOSE BIBB
- WH WALL HYDRANT
- ⊙ FLOOR SINK, FLOOR DRAIN, AREA DRAIN
- ⊙ RD ROOF DRAIN
- ⊙ ORD OVERFLOW ROOF DRAIN
- RBP REDUCED PRESSURE BACKFLOW PREVENTER
- ⊙ P # PLUMBING VENT RISER CALL-OUT
- ELBOW DOWN
- ELBOW UP
- TEE UP
- TEE DOWN
- UNION
- CAP
- BALL (SHUTOFF) VALVE

2 MECHANICAL SYMBOLS  
NO SCALE

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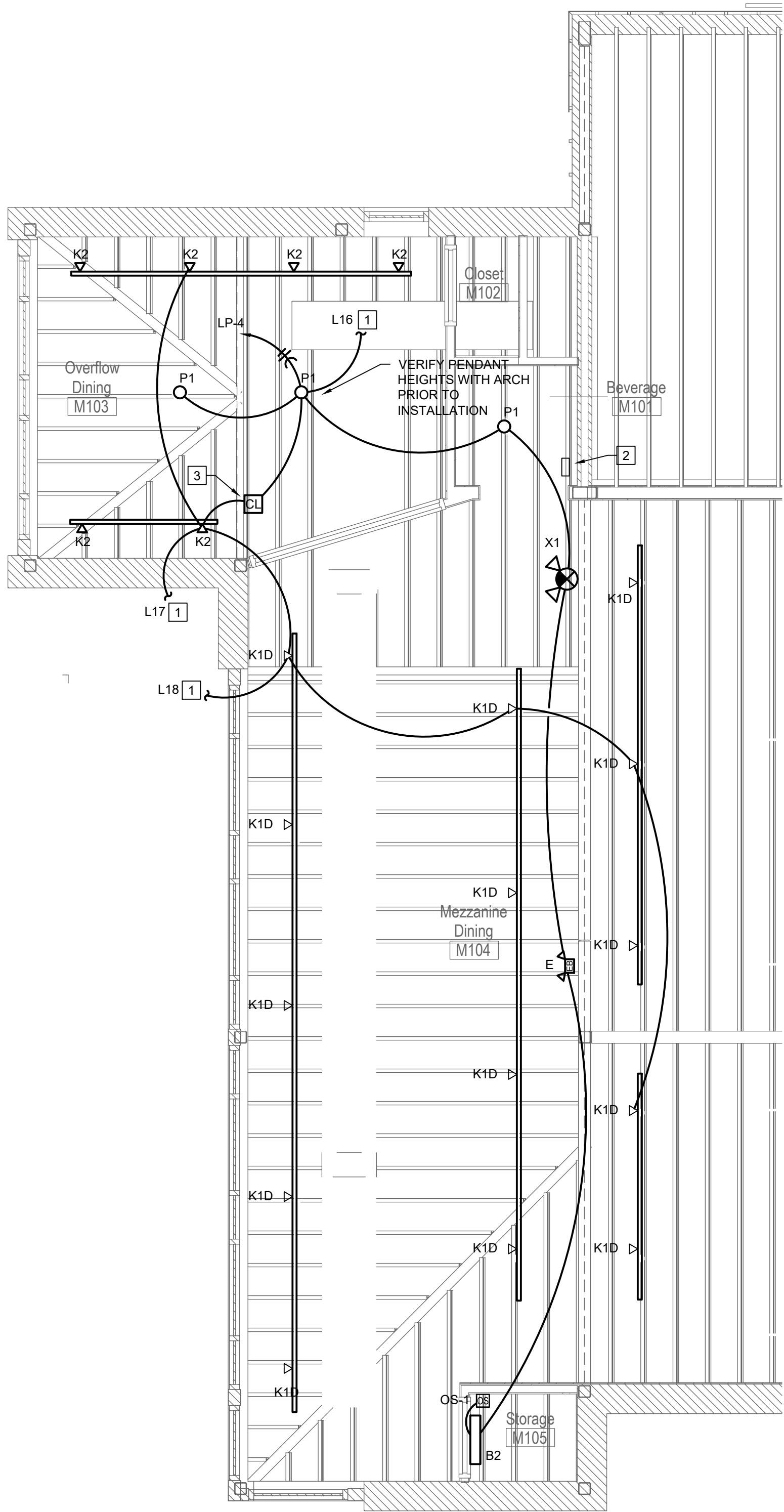






PLAN NOTES:

- [1] ROUTE THROUGH THE LIGHTING CONTROL PANEL. 'LX' INDICATES LIGHTING ZONE. REFER TO THE LIGHTING CONTROL SCHEDULE. PROVIDE AN UNSWITCHED CONDUCTOR WHERE SHOWN FOR CONNECTION TO EXIT AND/OR EMERGENCY LIGHTS.
- [2] 4-BUTTON SCENE CONTROLLER FOR CONTROL OF THE MEZZANINE LIGHTING. REFER TO THE LIGHTING CONTROL SCHEDULE ON THESE DRAWINGS FOR DIMMING ZONES AND REQUIREMENTS.
- [3] PROVIDE 5 AMP CURRENT LIMITER WITH BLACK FINISH, HALO #CB600MB OR SIMILAR, FOR PORTION OF BRANCH CIRCUIT SERVING THE MEZZANINE TRACK LIGHTS. PROVIDE LABEL 'MEZZANINE TRACK CURRENT LIMITER'.



LIGHTING CONTROL SCHEDULE				
ZONE NO.	LOAD DESCRIPTION			
		PHOTOCELL	DIMMING TYPE	CONTROL LOCATION
1	RECEPTION/VESTIBULE	NO	0-10V	PICKUP
2	BAR STEP LIGHTS	NO	N/A	PICKUP
3	BAR TRACK	NO	120V PHASE	PICKUP
4	BAR LIGHT	NO	NOTE 1	PICKUP
5	BAR ACCENT LIGHT	NO	0-10V	PICKUP
6	BAR TRACK	NO	NOTE 1	PICKUP
7	DINING PENDANTS	NO	NOTE 1	PICKUP
8	DINING TRACK	NO	NOTE 1	PICKUP
9	DINING TRACK	NO	120V PHASE	PICKUP
10	DINING TRACK	NO	120V PHASE	PICKUP
11	DINING TRACK	NO	120V PHASE	PICKUP
12	DINING SCONCES	NO	ELV	PICKUP
13	RESTROOM ENTRY	NO	0-10V	PICKUP
14	RESTROOM SINK LTS	NO	0-10V	PICKUP
15	RESTROOM ENTRY	NO	ELV	PICKUP
16	MEZZ PENDANTS	NO	ELV	MEZZANINE
17	MEZZ TRACK	NO	120V PHASE	MEZZANINE
18	MEZZ TRACK	NO	120V PHASE	MEZZANINE
19	EXTERIOR LIGHTS	YES	N/A	N/A
20	PATIO LTG	YES	0-10V	PICKUP
21	PATIO LTG	YES	ELV	PICKUP
22	SPARE			
23	SPARE			
24	SPARE			

GENERAL NOTE: REFER TO THE LIGHTING PLAN E101 FOR ADDITIONAL CONTROL PANEL INFORMATION  
REFER TO THE PANEL LP SCHEDULE FOR CONTROL PANEL BRANCH CIRCUIT BREAKER REQUIREMENTS.  
NOTES:

1. COORDINATE DIMMING TYPE AND CAPACITY WITH FINAL FIXTURE SELECTION

LIGHT FIXTURE SCHEDULE									
TAG	QUANTITY (CONFIRM WITH PLANS)	DESCRIPTION	VOLTAGE	MOUNTING	LAMPING			MANU/SERIES	VA
					QTY	WATTAGE	TYPE/COLOR TEMP		
A1	7	2'-0"X4'-0" LED TROFFER WITH INTEGRAL DIMMING DRIVER.	120	RECESSED GRID	--	39	LED	COLUMBIA LCAT24-35LWG-EDU (COOPER CRUZ, LITHONIA BLT OR CREE ZR EQUAL)	39
A2	7	2'-0"X2'-0" LED TROFFER WITH INTEGRAL DIMMING DRIVER.	120	RECESSED	--	23	LED	COLUMBIA LCAT24-35LWG-EDU (COOPER CRUZ, LITHONIA BLT OR CREE ZR EQUAL)	23
B	3	4'-0" LED STRIP FIXTURE. 22 GAUGE STEEL BASE, WHITE POWDER COAT FINISH, SEMI FROST LENS.	120	SURFACE	--	32	LED/3500K/ 3000 LUMEN	COOPER#SNLED LITHONIA#ZL1F	32
B2	1	2'-0" LED STRIP FIXTURE. 22 GAUGE STEEL BASE, WHITE POWDER COAT FINISH, SEMI FROST LENS.	120	SURFACE	--	24	LED/3500K/ 2250 LUMEN	COOPER#SNLED LITHONIA#ZL1F	24
C1A	5	2" DIAMETER RECESSED LED DOWNLIGHT WITH BLACK BAFFLE, WHITE TRIM AND ELV DIMMING DRIVER.	120	RECESSED	--	8	LED	JUNO#2LEDTRIM SERIES	8
C1B	1	2" DIAMETER RECESSED LED DOWNLIGHT WITH WHITE BAFFLE, WHITE TRIM AND ELV DIMMING DRIVER.	120	RECESSED	--	12	LED	JUNO#2LEDTRIM SERIES	12
C2	9	4.5" DIAMETER RECESSED LED WALLWASHER WITH BLACK TRIM AND 0-10V DIMMING DRIVER.	120	RECESSED	--	17	LED	REGGIANI#A-RG-14-H-HW-31/ V-O-ME53-121C	17
C3	7	4.5" DIAMETER RECESSED LED DOWNLIGHT WITH BLACK TRIM AND 0-10V DIMMING DRIVER.	120	RECESSED	--	12	LED	REGGIANI#A-BG-13-E-HW-31/ V-O-ME50-121C	12
E	12	SURFACE MOUNTED SELF-CONTAINED EMERGENCY LIGHTING FIXTURE FOR WALL INSTALLATION. LEAD CALCIUM BATTERY, UV-STABLE PLASTIC HOUSING WITH WHITE FINISH. TWO FULLY ADJUSTABLE MR16 LAMPS WITH CLEAR PROTECTIVE LAMP LENS. PUSH TO TEST SWITCH, LED INDICATOR LIGHTS FOR AC SUPPLY, BATTERY CHARGE STATUS. 90 MINUTES OF BATTERY OPERATION.	120	SURFACE WALL/CLG	2	3	LED	DUAL-LITE#LZ EXITRONICS#L50 LITHONIA#ELM2	5
E2	3	SURFACE MOUNTED SELF-CONTAINED EMERGENCY LIGHTING FIXTURE FOR WALL INSTALLATION. LOW TEMPERATURE NI-CAD BATTERY OR LEAD CALCIUM BATTERY WITH HEATER, UV-STABLE PLASTIC HOUSING WITH WHITE FINISH, LISTED FOR WET LOCATION. TWO FULLY ADJUSTABLE MR16 LAMPS WITH CLEAR PROTECTIVE LAMP LENS. PUSH TO TEST SWITCH, LED INDICATOR LIGHTS FOR AC SUPPLY, BATTERY CHARGE STATUS. 90 MINUTES OF BATTERY OPERATION.	120	WALL	--	11	LED	LITHONIA#AFN-EXT	5
F1X	1	FLEXIBLE LED TAPELIGHT WITH INTEGRAL BODY AND DIFFUSER AND REMOTE 0-10V DIMMING DRIVER. CONFIRM LENGTHS WITH CASEWORK SHOP DRAWINGS AND ARCHITECTURAL DETAILS.	120	SURFACE	--	4/FT	LED	LUMINI#KBM-F-H-27K	200
F3-3	4	1.5" X 30" ALUMINUM EXTRUSION FOR RECESSED INSTALLATION WITH DRYWALL FLANGE, LED TAPELIGHT, FROSTED COVER AND REMOTE 0-10V DIMMING DRIVER.	120	RECESSED	--	25	LED	LUMINI#K-30IN-27K-MO-FF	25
F3-5	6	1.5" X 5'-0" ALUMINUM EXTRUSION FOR RECESSED INSTALLATION WITH DRYWALL FLANGE, LED TAPELIGHT, FROSTED COVER AND REMOTE 0-10V DIMMING DRIVER.	120	RECESSED	--	50	LED	LUMINI#K-60IN-27K-MO-FF	50
G1	4	LED WALL SCONCE WITH ELV DIMMING DRIVER AND AGED BRASS FINISH.	120	SURFACE	--	30	LED	WAC LIGHTING#WS-30907-AB	30
G2	4	LED STEP LIGHT	120	RECESSED	--	3	LED	JUNO#LMS-30K-CTD-120-RPC-BL	3
J1	9	HEAT LAMP PROVIDED AS PART OF THE KITCHEN PACKAGE AND INSTALLED BY CONTRACTOR. COORDINATE MOUNTING HEIGHT WITH OWNER.	120	CEILING	1	375	INC	HATCO#DLH-R-N-600	375
K1A	3	LED TRACK LIGHT WITH 120V PHASE DIMMING DRIVER. FURNISH WITH HEX CELL LOUVER. FURNISH WITH TRACK IN LENGTHS SHOWN.	120	TRACK	--	19	LED	LF ILLUMINATION#TRA20B-H-19C-9227-N-D11-BB/ OPT-TRA20B-HXL	19
K1B	17	LED TRACK LIGHT WITH 120V PHASE DIMMING DRIVER. FURNISH WITH LINEAR SPREAD LENS. FURNISH WITH TRACK IN LENGTHS SHOWN.	120	TRACK	--	19	LED	LF ILLUMINATION#TRA20B-H-19C-9227-N-D11-BB/ OPT-TRA20B-P-LSL	19
K1D	14	LED TRACK LIGHT WITH 120V PHASE DIMMING DRIVER, FLOODLIGHT DISTRIBUTION AND LINEAR SPREAD LENS. FURNISH WITH TRACK IN LENGTHS SHOWN.	120	TRACK	1	8	LED	LF ILLUMINATION#TRA20B-H-09C-9227-N-D11-BB/ OPT-TRA20B-P-LSL	8
K2	18	WALL WASH LED TRACK LIGHT WITH 120V PHASE DIMMING DRIVER. FURNISH WITH TRACK IN LENGTHS SHOWN.	120	TRACK	--	13	LED	LF ILLUMINATION#TRA29V-H-13C-9227-W-D11-BB	13
K3	16	LED TRACK MOUNTED FRAMING PROJECTOR.	120	TRACK	--	9	LED	TIMES SQUARE#LED9P-B-T1	9
L1	3	LED PENDANT LIGHT, 0-10V DIMMING DRIVER.	120	PENDANT	--	107	LED	TBD	107
M	2	LED WALL MOUNTED 11" TALL EMERGENCY FIXTURE WITH BLACK FINISH, MEDIUM UPLIGHT/DOWNLIGHT DISTRIBUTION, WET LOCATION LISTED, 0-10V DIMMING DRIVER.	120-277	WALL	1	20	LED/1800LM/ 3000K	CONTECH#CY3T-3-30K-MVD2-UD-X-M-B	20
N	11	LED WALL MOUNTED 11" TALL FIXTURE WITH BLACK FINISH, MEDIUM DOWNLIGHT DISTRIBUTION, WET LOCATION LISTED, 0-10V DIMMING DRIVER.	120-277	WALL	1	20	LED/1800LM/ 3000K	CONTECH#CY3T-3-30K-MVD2-W-X-M-B	20
N1	4	DIMMABLE LED PENDANT FIXTURE.	120	PENDANT	--	60	LED	TBD	77
NE	4	LED WALL MOUNTED 11" TALL FIXTURE WITH MEDIUM DISTRIBUTION. WET LOCATION LISTED, REMOTE 0-10V DIMMING DRIVER WITH BATTERY BACKUP. INSTALL DRIVER INSIDE BUILDING AS HIGH AS POSSIBLE.	120-277	WALL	1	20	LED/1800LM/ 3000K	CONTECH#CY3T-3-30K-MVD2- W-X-M-RDB	20
O1	5	LED CEILING MOUNTED 6" TALL FIXTURE WITH BLACK FINISH, MEDIUM DOWNLIGHT DISTRIBUTION, WET LOCATION LISTED, 120V ELV DIMMING DRIVER.	120-277	CEILING	1	20	LED/1800LM/ 3000K	CONTECH#CY3S-3-30K-12D1-C-X-M-B	20
O2	1	LED CEILING MOUNTED 11" TALL EMERGENCY FIXTURE WITH BLACK FINISH, MEDIUM DOWNLIGHT DISTRIBUTION, WET LOCATION LISTED, REMOTE 120V ELV DIMMING DRIVER WITH BATTERY BACKUP. INSTALL DRIVER INSIDE BUILDING AS HIGH AS POSSIBLE.	120-277	CEILING	1	20	LED/1800LM/ 3000K	CONTECH#CY3T-3-30K-MVD2-C-X-M-B-RDB	20
P1	17	LED PENDANT MOUNTED 6" TALL FIXTURE WITH BLACK FINISH, MEDIUM DISTRIBUTION, WET LOCATION LISTED, ELV DIMMING DRIVER, 24" RIGID STEM.	120-277	WALL	1	20	LED/1800LM/ 3000K	CONTECH#CY3S-3-30K-12D1-RS-X-M-B	20
Q1	1	4" WIDE LED WALL GRAZER, INTEGRAL 0-10V DIMMING DRIVER.	120	RECESSED	--	17	LED	FOCAL POINT#FSM2PR-FXH-FL2-375LF-30K-1C-UNV-LD1-XF-WH-3FT	17
R	4	65", 8-BLADE CEILING FAN, PENDANT MOUNTED, SUITABLE FOR OUTDOOR INSTALLATION, COAL FINISH WITH COAL BLADES, 18" DOWNROD. FURNISH WITH REMOTE CONTROL.	120	PENDANT	--	--	--	MINKA AIRE#F896-65-CL	58
X1	10	LED EXIT SIGN, SINGLE OR DOUBLE FACE AS INDICATED ON DRAWINGS, THERMOPLASTIC HOUSING, RED LETTERING, SEALED NI-CAD BATTERY, INTEGRAL EMERGENCY LAMPS, MINIMUM 90 MINUTE CAPACITY. DRAWINGS INDICATE ARROWS.	120	UNIVERSAL	3	6	LED/MR-16	LITHONIA LHQM	5

OCCUPANCY SENSOR SCHEDULE						
TAG	QTY (CONFIRM WITH PLANS)	MANUFACTURER	MODEL	MOUNTING	TYPE	TIME DELAY SETTING
OS-1	8	LEVITON	MDS10-ID	WALL	PASSIVE INFRARED	15 MIN

1 Mezzanine Plan - Lighting  
1/4"=1'-0"



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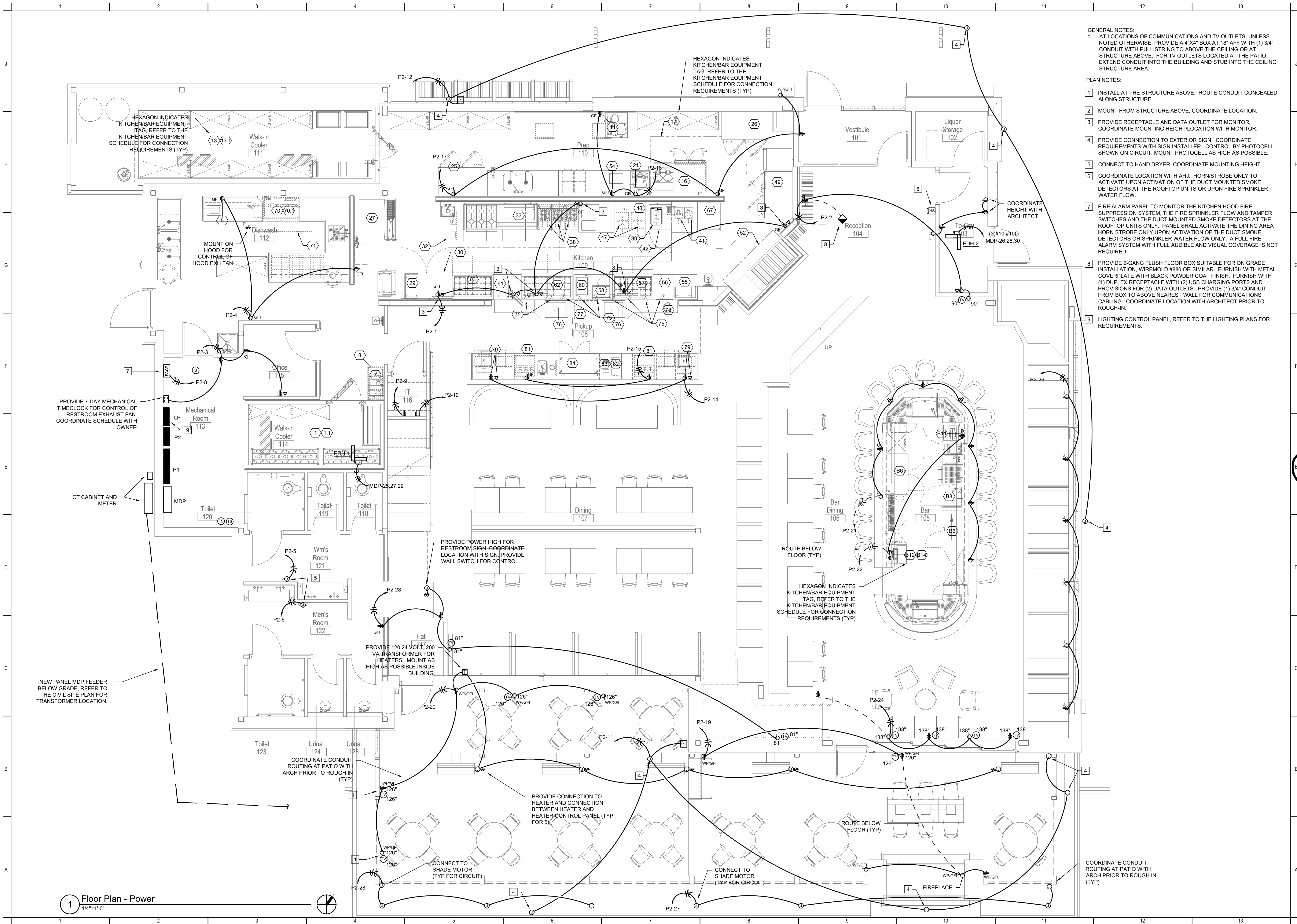
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Mezzanine Lighting Plan





- GENERAL NOTES:
1. AT LOCATIONS OF COMMUNICATIONS AND TV OUTLETS, UNLESS NOTED OTHERWISE, PROVIDE A 4"x4" BOX AT 18" AFF WITH (1) 3/4" CONDUIT WITH PULL STRING TO ABOVE THE CEILING OR AT STRUCTURE ABOVE. FOR TV OUTLETS LOCATED AT THE PATIO, EXTEND CONDUIT INTO THE BUILDING AND STUB INTO THE CEILING STRUCTURE AREA.
- PLAN NOTES:
1. INSTALL AT THE STRUCTURE ABOVE. ROUTE CONDUIT CONCEALED ALONG STRUCTURE.
  2. MOUNT FROM STRUCTURE ABOVE, COORDINATE LOCATION.
  3. PROVIDE RECEPTACLE AND DATA OUTLET FOR MONITOR. COORDINATE MOUNTING HEIGHT/LOCATION WITH MONITOR.
  4. PROVIDE CONNECTION TO EXTERIOR SIGN. COORDINATE REQUIREMENTS WITH SIGN INSTALLER. CONTROL BY PHOTOCELL SHOWN ON CIRCUIT, MOUNT PHOTOCELL AS HIGH AS POSSIBLE.
  5. CONNECT TO HAND DRYER, COORDINATE MOUNTING HEIGHT.
  6. COORDINATE LOCATION WITH ARCH. HORN/STROBE ONLY TO ACTIVATE UPON ACTIVATION OF THE DUCT MOUNTED SMOKE DETECTORS AT THE ROOFTOP UNITS OR UPON FIRE SPRINKLER WATER FLOW.
  7. FIRE ALARM PANEL TO MONITOR THE KITCHEN HOOD FIRE SUPPRESSION SYSTEM, THE FIRE SPRINKLER FLOW AND TAMPER SWITCHES AND THE DUCT MOUNTED SMOKE DETECTORS AT THE ROOFTOP UNITS ONLY. PANEL SHALL ACTIVATE THE DINING AREA HORN STROBE ONLY UPON ACTIVATION OF THE DUCT SMOKE DETECTORS OR SPRINKLER WATER FLOW ONLY. A FULL FIRE ALARM SYSTEM WITH FULL AUDIBLE AND VISUAL COVERAGE IS NOT REQUIRED.
  8. PROVIDE 2-GANG FLUSH FLOOR BOX SUITABLE FOR ON GRADE INSTALLATION, WIREMOLD #880 OR SIMILAR. FURNISH WITH METAL COVERPLATE WITH BLACK POWDER COAT FINISH. FURNISH WITH (1) DUPLEX RECEPTACLE WITH (2) USB CHARGING PORTS AND PROVISIONS FOR (2) DATA OUTLETS. PROVIDE (1) 3/4" CONDUIT FROM BOX TO ABOVE NEAREST WALL FOR COMMUNICATIONS CABLEING. COORDINATE LOCATION WITH ARCHITECT PRIOR TO ROUGH-IN.
  9. LIGHTING CONTROL PANEL, REFER TO THE LIGHTING PLANS FOR REQUIREMENTS.

ARCHITECTURAL  
URBAN PRAIRIE  
COLLABORATIVE, P.C.

Red Door Grill - Lee's Summit  
Permit Set  
Lot 1 Streets Of Pryor  
Lee's Summit, MO



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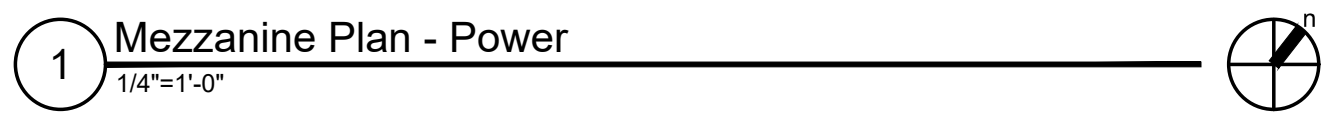
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Power Plan

E103  
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GENERAL NOTE: ALL 120 VOLT, 20 AMP RECEPTACLES IN THE KITCHEN SHALL BE GFI TYPE. REFER TO THE FOOD SERVICE DRAWINGS FOR ROUGH IN LOCATIONS AND ADDITIONAL REQUIREMENTS.

NOTE 1: EXTEND AND CONNECT TO HOOD ANSUL SYSTEM. REFER TO THE WIRING DIAGRAMS ON THE MECHANICAL SHEETS FOR ADDITIONAL CONNECTION REQUIREMENTS

NOTE 2: VERIFY CONNECTION REQUIREMENTS OF EQUIPMENT.

NOTE 3: REFER TO THE POWER PLANS FOR CIRCUITING.

NOTE 4: PROVIDE 120 VOLT, 20 AMP HORSEPOWER RATED SWITCH AT EQUIPMENT FOR DISCONNECTING MEANS.

NOTE 5: CONNECT TO SHUNT TRIP CIRCUIT BREAKER OR DISCONNECT SWITCH TO HOOD SUPPLY LINE. PROVIDE DISCONNECT POWER TO EQUIPMENT.

NOTE 6: CONNECT TO COOLER ACCESSORIES AND CONDENSATE PUMP. PROVIDE RECEPTACLE FOR PUMP, COORDINATE LOCATION.

NOTE 7: CONNECT ALL FRYERS AND FRYER FILTRER ON A SINGLE CIRCUIT.

NOTE 8: REFER TO THE LIGHTING PLAN FOR CONNECTION. PROVIDE WALL SWITCHES FOR CONTROL, COORDINATE SWITCH LOCATION WITH OWNER.

NOTE 9: PROVIDE ONE CIRCUIT TO EACH OVEN IN STACK.

NOTE 10: CONNECT ALL ITEMS ON A SINGLE CIRCUIT

Professional Engineer Seal for Cory A. McNeill, State of Missouri, License Number PE-2007006928, dated 4-9-21.

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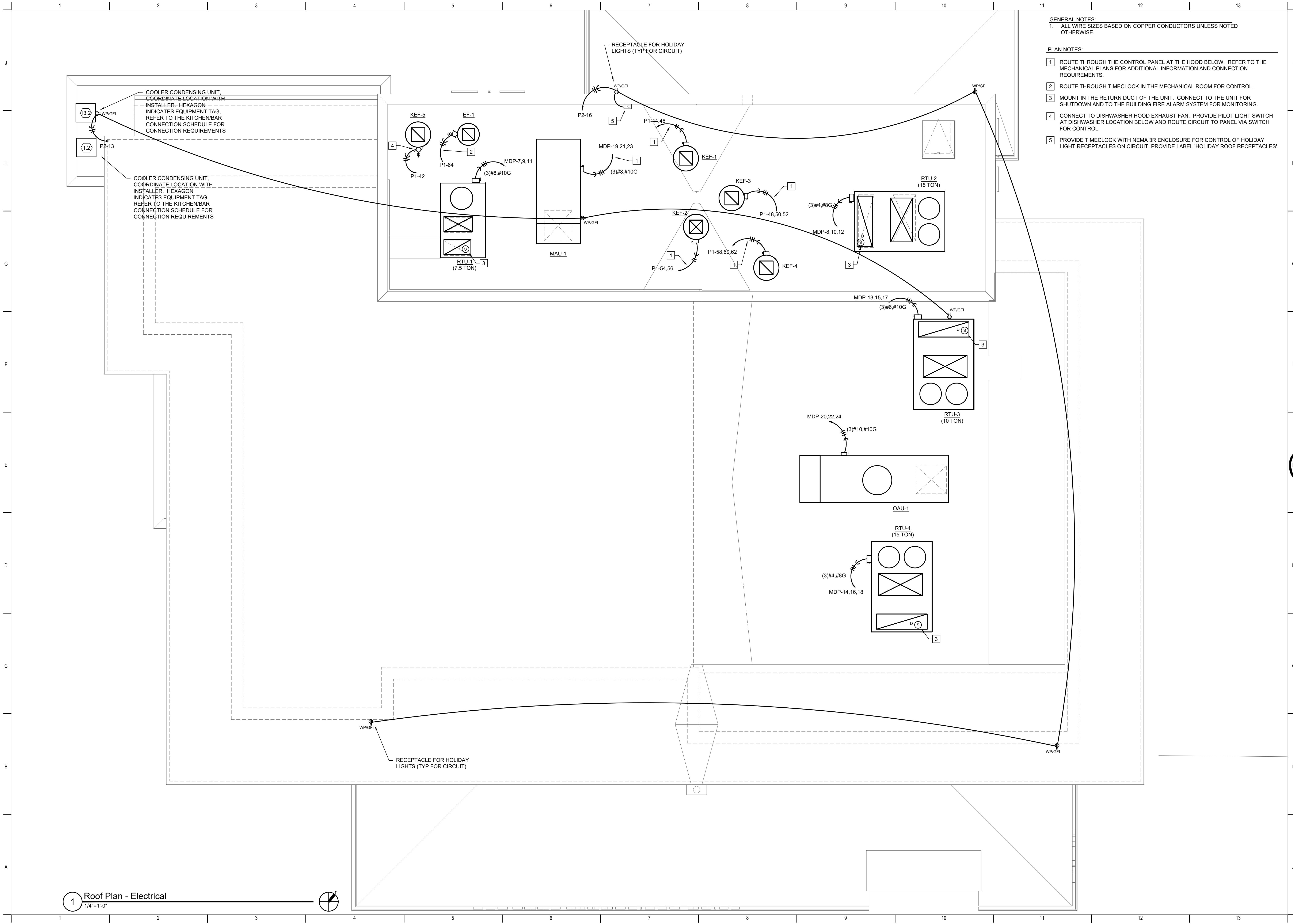
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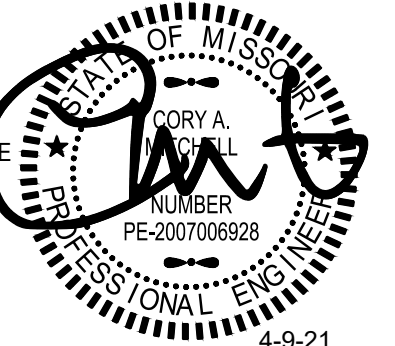
### Mezzanine Power Plan





1 Roof Plan - Electrical  
1/4"=1'-0"

**Red Door Grill - Lee's Summit**  
Permit Set  
Lot 1 Streets Of Pryor  
Lee's Summit, MO



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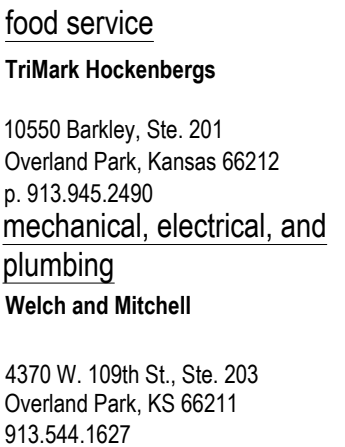
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E201

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# 1 ELECTRICAL SYMBOLS



COMcheck Software Version 4.1.2.0

Interior Lighting Compliance Certificate

Project Information

Energy Code: 2018 IECC

Project Title: New Construction

Constrution Site: Owner/Agent: Designer/Contractor:

Additional Efficiency Package(s)

High efficiency HVAC: Systems that do not meet the performance requirement will be identified in the mechanical requirements checklist report.

Allowed Interior Lighting Power

A Area Category	B Floor Area (ft <sup>2</sup> )	C Allowed Watts / ft <sup>2</sup>	D Allowed Watts (B X C)
1.vestibule/reception (Common Space Types:Lobby - General)	224	1.00	224
5-restrooms (Common Space Types:Restrooms)	349	0.85	297
2-storage (Common Space Types:Storage)	196	0.63	123
4-kitchen (Common Space Types:Food Preparation)	1,119	1.06	1,186
6-dining (Common Space Types:Dining Area - Bar Lounge/Leisure)	3686	0.93	3428
3-office (Common Space Types:Office - Enclosed)	52	0.93	48
Total Allowed Watts =			5307

Proposed Interior Lighting Power

A Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	B Lamps/ Fixture	C # of Fixtures	D Fixture Watt.	E (C X D)
1.vestibule/reception (Common Space Types:Lobby - General)				
LED 1 C1: LED DL: LED PAR 12W:	1	7	12	84
LED 2 C2: LED DL: LED PAR 17W:	1	9	17	153
5-restrooms (Common Space Types:Restrooms)				
LED 3 C1A: LED DL: LED PAR 8W:	1	4	8	32
LED 4 C1: LINEAR LED Linear 17W:	1	1	17	17
LED 5 F3-F: LED DL: LED PAR 20W:	1	4	25	100
LED 6 F3-F: LED DL: LED PAR 20W:	1	6	50	300
2-storage (Common Space Types:Storage)				
LED 7 B: LED STRIP: LED Panel 36W:	1	3	32	96
4-kitchen (Common Space Types:Food Preparation)				
LED 12 A2: LED 2X4: LED Panel 19W:	1	7	23	161
LED 13 A1: LED 2X4: LED Panel 36W:	1	6	39	234
6-dining (Common Space Types:Dining Area - Bar Lounge/Leisure)				
LED 23 L1: LED PENDANT: Other:	1	3	50	150
LED 8 B2: LED STRIP: LED Panel 36W:	1	1	24	24
LED 17 C2: LED STEP L: LED Linear 22W:	1	4	3	12
LED 9 C1A: LED DL: LED PAR 8W:	1	1	8	8

Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast

A	B Lamps/ Fixture	C # of Fixtures	D Fixture Watt.	E (C X D)
LED 15 K3: LED DL: LED PAR 8W:	1	16	9	144
LED 13 C1B: LED DL: LED PAR 8W:	1	1	12	12
LED 12 K2: LED DL: LED PAR 8W:	1	18	13	234
LED 11 K1A1B: LED DL: LED PAR 8W:	1	20	19	380
LED 10 P1: LED DL: LED PAR 8W:	1	3	20	60
LED 16 G1: LED SCONCE: LED PAR 20W:	1	4	30	120
LED 16 N1: LED PENDANT: LED Other Fixture Unit 80W:	1	4	77	308
LED 19 F1X: LED TYPE: LED Other Fixture Unit 125W:	1	1	200	200
Track Lighting 1: Wattage based on current limiting device capacity	0	0	2400	2400
3-office (Common Space Types:Office - Enclosed)				
LED 8 A1: LED 2X4: LED Panel 36W:	1	1	39	39
Total Proposed Watts =			5268	

Interior Lighting PASSES: Design 1% better than code

Interior Lighting Compliance Statement

Compliance Statement: The proposed interior lighting design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed interior lighting systems have been designed to meet the 2018 IECC requirements in COMcheck Version 4.1.2.0 and to comply with any applicable mandatory requirements listed in the Inspection Checklist:

Corr Mitchell - designer

Name - Title

Signature

Date 4-6-21

Project Title: C:\Users\kcm\OneDrive - Welch & Mitchell, Inc\Public\WMI\Projects\2021\1210300 Red Door

Data filename: C:\Users\kcm\OneDrive - Welch & Mitchell, Inc\Public\WMI\Projects\2021\1210300 Red Door

Report date: 04/06/21

Page 1 of 7

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Report date: 04/06/21

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ELECTRICAL PANEL SCHEDULE														
PANEL MDP														
LOCATION: VOLTAGE: 208Y/120 V PHASE/WIRE: 3 PH / 4 W MOUNTING: SURFACE				MAIN OCPD: 800 A MAIN BUS RATING: 800 A MIN AIC: 25,000 A SERVICE ENTRANCE: NO				SECTIONS: 1 - 42 CIRCUIT GROUND BUS: EQUIPMENT GROUND BUS NEUTRAL BUS: 100% NEUTRAL ACCESSORIES:						
CIRC	LOAD DESCRIPTION	OCPD		LOAD (KVA)			LOAD (KVA)			OCPD		LOAD DESCRIPTION	CIRC	
		POLES	AMPS	PHASE			PHASE			AMPS	POLES			
				A	B	C	A	B	C					
	PANEL P1	3	200	22.6			8.3			100	3	PANEL P2	2	
3					21.7			10.5					4	
5						20.3			9.6				6	
7	RTU-1	3	50	4.3			8.1			100	3	RTU-2	8	
9					4.3			8.1					10	
11									8.1				12	
13	RTU-3	3	60	5.7			8.1			100	3	RTU-4	14	
15					5.7			8.1					16	
17						5.7			8.1				18	
19	MAU-1	3	45	2.5			2.7			35	3	OAU-1	20	
21					2.5			2.7					22	
23						2.5			2.7				24	
25	EDH-1	3	15	1.0						25	3	EDH-2	26	
27					1.0				2.0				28	
29						1.0			2.0				30	
31	PIZZA OVEN	2	30	3.1			1.8			100	3	LTG CONT PNL LP	32	
33					3.1			1.8					34	
35						3.1			1.8				36	
37	DISHMACHINE	3	60	5.9							3	SPACE	38	
39					5.9								40	
41						5.9							42	
SUBTOTAL					45.1	44.1	42.7	28.9	33.1	32.2	SUBTOTAL			
LOAD SUMMARY				CONNECTED	DEMAND FACTOR			DEMAND LOAD						
				LOAD (KVA)				(KVA)						
A/C MOTOR (MAX/REMAINDER)				78.1	1.25/1.00			84.2			CONN. AMPS: 633.2			
OTHER MOTOR (MAX/REMAINDER)				53.7	1.00/1.00			53.7			DEMAND AMPS: 568.7			
RECEPTACLES (0-10KVA/REMAINDER)				21.3	1.00/0.50			15.6						
LIGHTS				9.2	1.25			11.5			NOTES:			
HEAT				9.0										
OTHER				8.4	1.00			8.4						
KITCHEN				48.4	0.65			31.5						
TOTAL				228.103				204.9			ST - SHUNT TRIP			

ELECTRICAL PANEL SCHEDULE PANEL P1													
LOCATION: VOLTAGE: 208Y/120 V PHASE/WIRE: 3 PH / 4 W MOUNTING: SURFACE				MAIN OCPD: MLO MAIN BUS RATING: 225 A MIN AIC: 25,000 A SERVICE ENTRANCE: NO				SECTIONS: 2 - 42 CIRCUIT GROUND BUS: EQUIPMENT GROUND BUS NEUTRAL BUS: 100% NEUTRAL ACCESSORIES: FEED THROUGH LUGS					
CIRC	LOAD DESCRIPTION	POLES	AMPS	LOAD (KVA)			LOAD (KVA)			OCPD		LOAD DESCRIPTION	CIRC
				A	B	C	A	B	C	AMPS	POLES		
1	WALK-IN CLR LTS/HTR 1	1	20	0.6			1.4			20	1	SAND/SALAD PREP REF 62	2
3	COOLER EVAPORATOR 13	1	20		0.2			1.4		20	1	SAND/SALAD PREP REF 63	4
5	CLR REMOTE COMPRESSOR	2	20			0.8			1.5	20	1	MOBILE WARMING CABINET	6
7				0.8			0.6			20	1	DRAIN TEMPERING KIT	8
9	BEER LINE CHILLER	1	20		1.2			1.0		20	1	DROP-IN COLD PAN	10
11	BAG-N-BOX	1	20			0.6			1.0	20	1	DROP-IN COLD PAN	12
13	WALK-IN CLR LTS/HTR 13	1	20	0.6			1.0			20	1	COOKER/ WARMER	14
15	COOLER EVAPORATOR 13	1	20		0.2			1.4		20	2	COFFEE/TEA BREWER	16
17	CLR REMOTE COMP 13 2	2	30			1.4			1.4				18
19				1.4			1.2			20	1	COFFEE GRINDER	20
21	DOUBLE CONVECTION OVEN	1	20-ST		0.7			0.6		20	1	GLASS FROSTER	22
23	SHUNT TRIP SPACE								0.7	20	1	UNDERBAR REFRIGERATORS	24
25	EXH HOOD LTS/CONTROLS 17	1	15	0.6			1.5			20	1	UNDERCOUNTER REF 84	26
27	REACH-IN FREEZER	1	20		1.2			0.7		20	1	UNDERBAR REFRIGERATORS	28
29	ICE MACHINE	2	30			1.7			1.9	20	1	GLASS WASHER	30
31				1.7						20	1	SPARE	32
33	UNDERCOUNTER REF	1	20		0.4					20	1	SPARE	34
35	EXH HOOD LTS/CONTROLS 32	1	15			0.6				20	1	SPARE	36
37	REF EQUIPMENT STAND	1	20	0.6			1.9			20	1	HEAT LAMPS	38
39	FRYER	1	20-ST		0.1			1.5		20	1	HEAT LAMPS	40
41	SHUNT TRIP SPACE								1.2	20	1	KEF-5	42
43	HEAT LAMP	1	20	0.6			0.8			15	2	KEF-1	44
45	WAFFLE BAKERS	1	20		1.3			0.8					46
47	WAFFLE BAKERS	1	20			1.3			0.9	15	3	KEF-3	48
49	UNDERCOUNTER FREEZER	1	20	0.4			0.9						50
51	POP UP TOASTER	1	20		1.8			0.9					52
53	PRESSURE FRYER	1	20-ST			1.2			0.8	15	2	KEF-2	54
55	SHUNT TRIP SPACE						0.8						56
57	PRESSURE FRYER	1	20-ST		1.2			0.8		15	3	KEF-4	58
59	SHUNT TRIP SPACE								0.8				60
61	REACH-IN REF 49	1	20	0.7			0.8			20	1	EF-1	62
63	EXH HOOD LTS/CONTROLS 52	1	15		0.6		1.2						64
65	CONVEYOR TOASTER	2	20			1.4					1	SPACE	66
67				1.4							1	SPACE	68
69	DRAWER WARMER 56	1	20		0.9						1	SPACE	70
71	SAND/SALAD REFRIGERATOR	1	20			0.5					1	SPACE	72
73	MICROWAVE	1	20	1.6							1	SPACE	74
75	HOT FOOD WELL	1	20		1.2						1	SPACE	76
77	HOT FOOD TABLE	2	20			0.7					1	SPACE	78
79				0.7							1	SPACE	80
81	DRAWER WARMER 77	1	20		0.5						1	SPACE	82
83	SPARE	1	20								1	SPACE	84
SUBTOTAL				11.6	11.4	10.1	11.0	10.2	10.1	SUBTOTAL			
LOAD SUMMARY				CONNECTED LOAD (KVA)	DEMAND FACTOR		DEMAND LOAD (KVA)		CONN. AMPS: 179.2 DEMAND AMPS: 169.7				
A/C MOTOR (MAX/REMAINDER)					1.25/1.00								
OTHER MOTOR (MAX/REMAINDER)				31.2	1.25/1.00		32.3						
RECEPTACLES (0-10KVA/REMAINDER)					1.00/0.50								
LIGHTS				7.0	1.25		8.7		NOTES:				
HEAT					1.00								
OTHER				8.4	1.00		8.4						
KITCHEN				18.1	0.65		11.7						
TOTAL				64.555			61.1		ST - SHUNT TRIP				

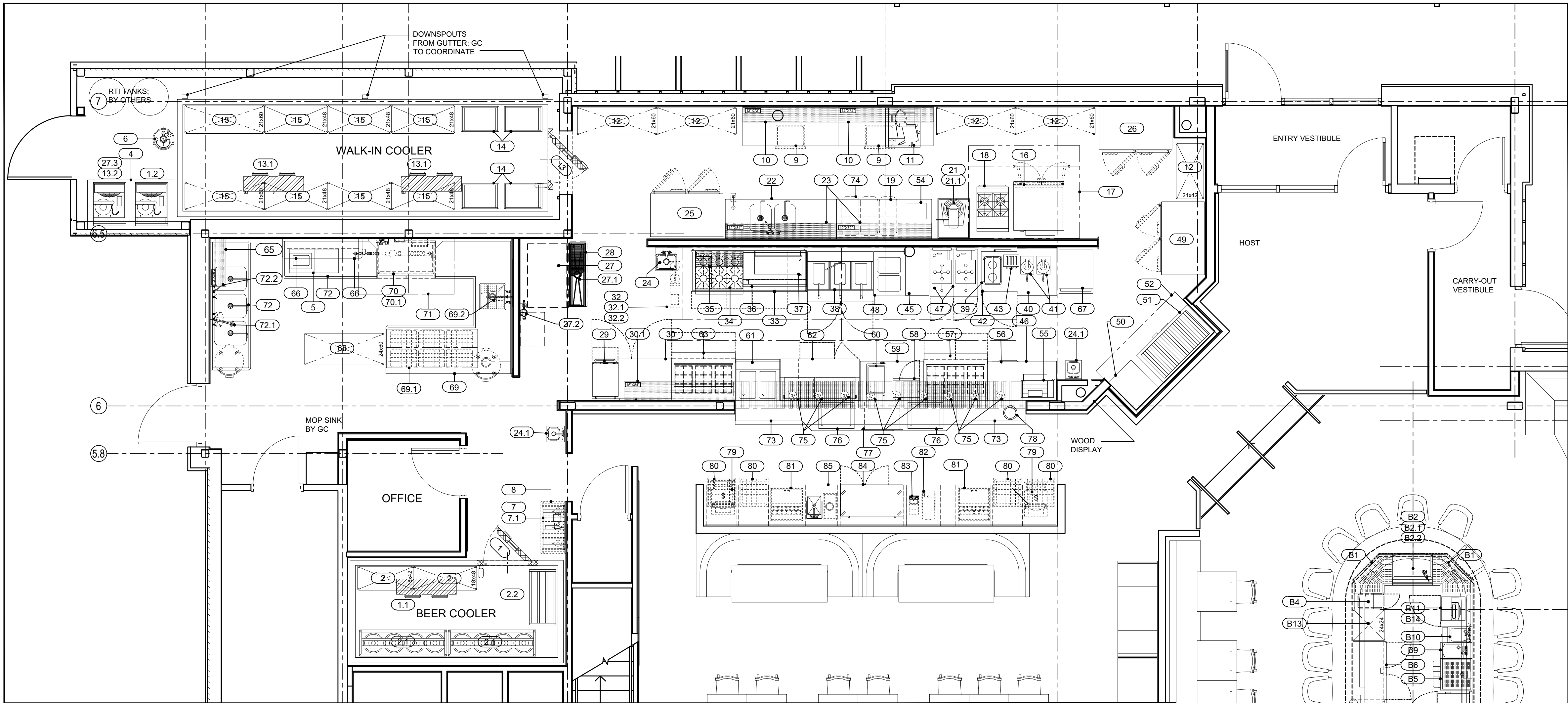
ELECTRICAL PANEL SCHEDULE PANEL P2													
LOCATION: VOLTAGE: 208Y/120 V PHASE/WIRE: 3 PH / 4 W MOUNTING: SURFACE				MAIN OCPD: MLO MAIN BUS RATING: 100 A MIN AIC: 18,000 A SERVICE ENTRANCE: NO				SECTIONS: 1 - 42 CIRCUIT GROUND BUS: EQUIPMENT GROUND BUS NEUTRAL BUS: 100% NEUTRAL ACCESSORIES:					
CIRC	LOAD DESCRIPTION	OCPD		LOAD (KVA)			LOAD (KVA)			OCPD		LOAD DESCRIPTION	CIRC
		POLES	AMPS	A	B	C	A	B	C	AMPS	POLES		
1	KITCHEN MONITORS	1	20	1.1			1.3			20	1	RECEPTION/VEST REC	2
3	OFFICE RECEPITS	1	20		0.9			1.0		20	1	KITCHEN RECEPITS	4
5	HAND DRYER	1	20			1.5			1.5	20	1	HAND DRYER	6
7	MEZZANINE RECEPITS	1	20	1.3			0.5			20	1	FACP	8
9	I.T. RECEPT	1	20		1.0			1.0		20	1	I.T. RECEPT	10
11	EXTERIOR SIGNS	1	20			1.3			1.0	20	1	EXTERIOR SIGN	12
13	ROOF RECEPITS	1	20	0.5			0.4			20	1	PICKUP POS	14
15	PICKUP SODA	1	20		1.2			0.7		20	1	ROOF RECEPITS	16
17	REACH IN REF/KIT/VEST REC	1	20			1.1			1.6	20	1	MIXER/SHEETER/SLICER	18
19	PATIO RECEPTACLES	1	20	0.9			1.0			20	1	PATIO REC/HEATERS	20
21	BAR RECEPTACLES	1	20		1.4			0.4		20	1	BAR POS	22
23	DINING RECEPTACLES	1	20			0.7			0.9	20	1	BAR TELEVISIONS	24
25	ICE/SODA DISP	1	20	0.4			1.1			20	1	BAR SEATING REC	26
27	PATIO SHADES	1	20		1.4			1.4		20	1	PATIO SHADES	28
29	SPARE	1	20							20	1	SPARE	30
31	SPARE	1	20							20	1	SPARE	32
33	SPARE	1	20							20	1	SPARE	34
35	SPARE	1	20							20	1	SPARE	36
37	SPARE	1	20								1	SPACE	38
39	SPACE	1									1	SPACE	40
41	SPACE	1									1	SPACE	42
SUBTOTAL				4.1	6.0	4.6	4.2	4.5	5.0			SUBTOTAL	
LOAD SUMMARY				CONNECTED LOAD (KVA)	DEMAND FACTOR		DEMAND LOAD (KVA)						
A/C MOTOR (MAX/REMAINDER)					1.25/1.00				CONN. AMPS: 78.8				
OTHER MOTOR (MAX/REMAINDER)				1.4	1.25/1.00		1.8		DEMAND AMPS: 62.4				
RECEPTACLES (0-10KVA/REMAINDER)				21.3	1,000.50		15.6						
LIGHTS				2.3	1.25		2.8		NOTES:				
HEAT					1.00								
OTHER					1.00								
KITCHEN				3.5	0.65								
TOTAL				28.4			22.5		ST - SHUNT TRIP				



[illegible]



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KITCHEN & BAR EQUIPMENT PLAN

SCALE: 1/4" = 1'-0"

KITCHEN				KITCHEN				KITCHEN			
ITEM NUMBER	QTY	BY VENDOR	DESCRIPTION	ITEM NUMBER	QTY	BY VENDOR	DESCRIPTION	ITEM NUMBER	QTY	BY VENDOR	DESCRIPTION
1	1	-	WALK-IN BEER COOLER	27.2	1	X	WATER FILTER (BY OTHERS)	62	1	-	REFRIGERATOR, SANDWICH/ SALAD PREP
1.1	1	-	BEER COOLER EVAPORATOR	27.3	1	X	REMOTE COMPRESSOR (BY OTHERS)	63	1	-	REFRIGERATOR, SANDWICH/ SALAD PREP
1.2	1	-	BEER COOLER REMOTE COMPRESSOR	28	1	-	FLOOR TROUGH	64	1	-	CLEAN DISHTABLE
2	LT	-	STORAGE SHELVING	29	1	-	HIGH SPEED VENTLESS OVEN	65	2	-	OVERSHELF
2.1	LT	-	KEG RACKS	30	1	-	UNDERCOUNTER REFRIGERATOR	66	1	-	POT RACK
3	-	-	OPEN #	30.1	-	-	DOUBLE OVERSHELF	67	1	-	MOBILE WARMER
4	1	-	COMPRESSOR RACK, 2-TIER	31	-	-	OPEN #	68	LT	-	UTILITY RACKS
5	1	-	MEAT MARINATOR, MOBILE	32	1	X	EXHAUST HOOD & SYSTEMS - (BY OTHERS)	69	1	-	SOILED DISHTABLE
6	LT	X	CO2 - (BY OTHERS)	33	1	-	REFRIGERATED EQUIPMENT STAND	69.1	1	-	DOUBLE SLANT RACK
7	1	X	GLYCOL PUMP - (BY OTHERS)	34	1	-	HOT PLATE, 6-BURNER	69.2	1	-	PRE-RINSE UNIT
7.1	1	X	WALL SHELF (BY OTHERS)	35	-	-	OVERSHELF	70	1	X	DISHMACHINE - (BY OTHERS)
8	LT	X	BAG-IN-BOX - (BY OTHERS)	36	1	-	GRIDDLER	70.1	1	X	DRAIN TEMPERING KIT - (BY OTHERS)
9	2	-	WORKTABLES	37	1	-	CHEESE MELTER	71	1	X	CONDENSATE HOOD & SYSTEMS - (BY OTHERS)
10	LT	-	WALL GRID SHELVING	38	1	-	FRYERS, BATTERY OF 3	72	1	-	3-COMPARTMENT SINK
11	1	-	SLICER	39	1	-	HEAT LAMP	72.1	1	-	PRE-RINSE W/ FAUCET
12	LT	-	STORAGE SHELVING	40	1	-	WORKTABLE	72.2	1	-	FAUCET
13	1	-	WALK-IN COOLER	41	2	-	WAFFLE BAKERS	73	2	-	DISH CABINET/ EXPO COUNTER W/ OVERSHELF
13.1	2	-	COOLER EVAPORATOR	42	1	-	UNDERCOUNTER FREEZER	72.2	1	-	FAUCET
13.2	1	-	COOLER REMOTE COMPRESSOR	43	1	-	TOASTER	74	3	-	INGREDIENT BINS
14	2	-	PAN RACKS	44	-	-	OPEN #	75	9	-	DROP DOWN HEAT LAMPS
15	LT	-	COOLER SHELVING	45	1	-	LANDING TABLE	76	2	-	DROP-IN COLD PANS
16	1	-	DOUBLE CONVECTION OVEN	46	1	-	WORKTABLE	77	1	-	DRAWER WARMER
17	1	X	EXHAUST HOOD & SYSTEMS - (BY OTHERS)	47	2	X	PRESSURE FRYERS	78	1	-	COOKER/ WARMER
18	1	-	6-BURNER HOT PLATE	48	1	-	BREADING STATION	79	LT	X	POS UNITS - (BY OTHERS)
19	1	-	WORKTABLE	50	1	-	WORKTABLE	80	LT	-	RACK DOLLIES
20	-	-	OPEN #	51	1	-	BROLER - (WOOD)	81	2	X	SODA/ ICE DISPENSER - (BY OTHERS)
21	1	-	MIXER	52	1	X	EXHAUST HOOD, FAN & MUA/ FIRE SYSTEM - (BY OTHERS)	82	1	X	COFFEE/ TEA BREWER - (BY OTHERS)
21.1	1	-	MIXER STAND, MOBILE	53	-	-	OPEN #	83	1	X	COFFEE GRINDER - (BY OTHERS)
22	1	-	PREP TABLE W/ SINKS, FAUCET & CAN OPENER	54	1	-	DOUGH SHEETER	84	1	-	UNDERCOUNTER REFRIGERATOR
23	2	-	WALL GRID SHELVING	55	1	-	TOASTER - (CONVEYOR)	85	1	-	BEVERAGE COUNTER
24	1	X	HAND SINK - (BY OTHERS)	56	1	-	DRAWER WARMER				
24.1	2	X	HAND SINKS - (BY OTHERS)	57	1	-	REFRIGERATOR, SANDWICH/ SALAD PREP				
25	1	-	REACH-IN REFRIGERATOR	58	1	-	MICROWAVE	100	1	-	BEVERAGE COUNTER W/ RACK SLIDES
26	1	-	REACH-IN FREEZER	59	1	-	WORKTABLE	101	1	X	SODA DISPENSER W/ ICE BIN - (BY OTHERS)
27	1	X	ICE MACHINE - (BY OTHERS)	60	1	-	HOT FOOD WELL				
27.1	1	X	ICE BIN - (BY OTHERS)	61	1	-	HOT FOOD TABLE				

- GENERAL NOTES
- THESE DRAWINGS ARE TO BE USED AS AN INSTRUMENT OF REFERENCE BY ALL OTHER TRADES AND CONTRACTORS. ALL TRADES SHALL VERIFY THE INFORMATION AS INDICATED ON THESE PLANS.
  - DIMENSIONS AND REQUIREMENTS FOR ALL EQUIPMENT THAT IS LISTED AS EXISTING, PROVIDED BY OTHERS OR PROVIDED BY OWNER, MUST BE VERIFIED WITH THE APPROPRIATE PARTIES.
  - ALL LOCAL, STATE AND NATIONAL CODES SHALL APPLY.
  - ALL DIMENSIONS ON THESE PLANS ARE BASED ON FINISHED WALL AND FLOOR DIMENSIONS. ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND ACTUAL OR INTENDED CONDITIONS IN THE FIELD SHOULD BE REPORTED TO HOCKENBERGS IMMEDIATELY.
  - UNLESS OTHERWISE NOTED, ARCHITECT TO LOCATE, GENERAL CONTRACTOR TO PROVIDE ALL ROOF/BUILDING PENETRATIONS AND CURBS FOR EXHAUST/SUPPLY AIR SYSTEMS AND REMOTE COMPRESSORS.
  - ARCHITECT TO LOCATE ALL REMOTE COMPRESSORS AND CONDENSERS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
  - UNLESS OTHERWISE NOTED ALL DIMENSIONS SHOWN ON THIS PLAN ARE FROM THE FINISHED FLOOR, CEILING OR WALLS TO THE CENTERLINE OF THE ROUGH-INS.
  - HOCKENBERGS DOES NOT EMPLOY A LICENSED ARCHITECT OR ENGINEER. THESE DOCUMENTS PROVIDED BY HOCKENBERGS ARE GUIDELINE DOCUMENTS ONLY AND ARE INTENDED TO BE INCORPORATED INTO THE FINAL CONSTRUCTION DOCUMENTS BY A LICENSED ARCHITECT OR ENGINEER THAT IS EMPLOYED BY THE OWNER. FINAL CODE COMPLIANCE, PLAN SUBMITTAL AND ASSOCIATED FEES ARE THE RESPONSIBILITY OF THE ARCHITECT AND/OR GENERAL CONTRACTOR.

**TriMark**  
Foodservice Equipment, Supplies and Design  
**HOCKENBERGS**

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Overland Park, KS 66212  
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trimarkusa.com

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Owner and all Contractors to check and verify existing dimensions and conditions in the field before starting construction and to notify TriMark of any material or detail changes.

REVISIONS		
DATE	NO.	DESCRIPTION
1/20/21	-	PRELIM. EQ. LAYOUT
3/10/21	-	UPDATED EQ. LAYOUT
3/23/21	-	REV'D BEER COOLER LOC. & COMP. UNITS

BAR			
ITEM NUMBER	QTY	BY VENDOR	DESCRIPTION
B1	4	-	UNDERBAR CORNER DRAINBOARDS
B2	2	-	UNDERBAR COCKTAIL ICE BINS
B2.1	2	-	UNDERBAR SPEEDRAILS
B2.2	2	X	SODA GUNS - (BY OTHERS)
B3	-	-	OPEN #
B4	2	-	UNDERBAR DRYWASTE
B5	1	-	UNDERBAR GLASS RACK CABINET
B6	2	-	UNDERBAR REFRIGERATORS
B7	-	-	OPEN #
B8	1	X	GLASS WASHER (BY OTHERS)
B9	1	-	UNDERBAR DUMP SINK
B10	1	-	UNDERBAR HAND SINK
B11	1	-	UNDERBAR POS STATION
B12	1	-	GLASS FROSTER
B13	2	-	3-TIER SHELF UNIT W/ MATS
B14	LT	X	POS UNITS - (BY OTHERS)
B15	1	-	BEER DISPENSING HEAD

REMOTE COMPRESSORS & CONDENSING UNITS

THESE NOTES APPLY TO MULTI-SYSTEM COMPRESSOR RACKS AS WELL AS INDIVIDUAL COMPRESSORS AND CONDENSERS.

EXACT LOCATION OF COMPRESSORS ARE TO BE DETERMINED BY ARCHITECT. FREE & EASY ACCESS INTO AREA FOR COMPRESSORS MUST BE PROVIDED BY OTHERS, TO ALLOW PLACEMENT OF RACK AS WELL AS MAINTAIN MINIMUM CLEARANCE REQUIREMENTS.

SUFFICIENT AIR CHANGES MUST BE PROVIDED IN THIS AREA TO ALLOW ADEQUATE AIR CIRCULATION FOR WATER COOLED OR AIR COOLED COMPRESSORS.

STRUCTURAL SUPPORT AS WELL AS CURBS, PADS OR REDWOOD RAILS FOR COMPRESSORS, ON ROOF OR INSIDE STRUCTURE, TO BE PROVIDED BY OTHERS.

SEE MANUFACTURER'S SHOP DRAWINGS FOR DETAILED REQUIREMENTS FOR CLEARANCE ACTUAL SIZES, MECHANICAL, PLUMBING & ELECTRICAL REQUIREMENTS, FOR WATER COOLED UNITS, STRICT ADHERENCE TO MANUFACTURER'S REQUIREMENTS FOR MIN. MAX. WATER TEMP AND PRESSURE MUST BE MAINTAINED.

ASHRAE CALCULATIONS AND ANY RESULTING REQUIREMENTS FOR COMPRESSOR AREA, PIPING CHASES AND FREON DETECTION SYSTEMS SHALL BE THE RESPONSIBILITY OF OTHERS.

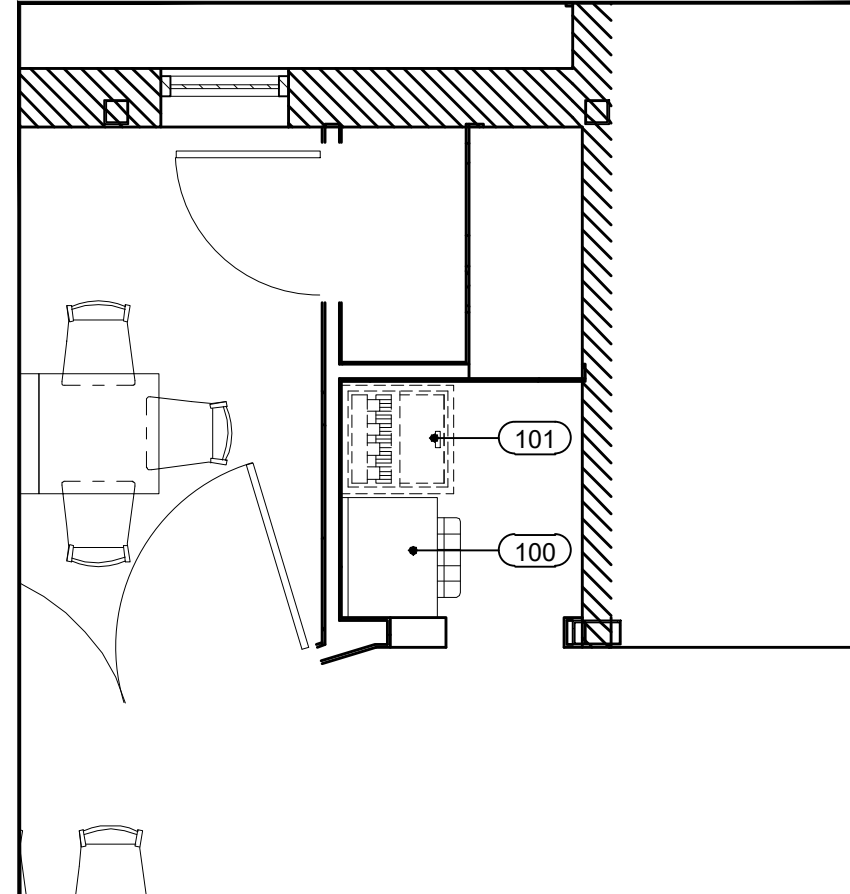
ALL REFRIGERANT PIPING CHASES AND BUILDING PENETRATIONS SHALL BE THE RESPONSIBILITY OF THE BUILDING TRADES AND TO COMPLY WITH ALL LOCAL CODES. EXACT LINE RUNS OF REFRIGERATION PIPING SHALL BE DETERMINED IN COORDINATION WITH THE REFRIGERATION INSTALLER.

ALL ELECTRICAL DISCONNECTS TO BE PROVIDED BY OTHERS.

13.2 1.2 27.3

PRELIMINARY DRAWING

NOT TO BE USED FOR CONSTRUCTION



SCALE: 1/4" = 1'-0"

RED DOOR GRILL

LEES SUMMIT, MO

Food Service Equipment

PROJECT NUMBER:	10-21004
DATE:	02/DD/2021
SCALE:	AS NOTED
DRAWN BY:	DRW
APPROVED BY:	JL


SHEET TITLE:

EQUIPMENT LAYOUT PLAN

SHEET NUMBER:

K-1



 **TriMark**  
Foodservice Equipment, Supplies and Design

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Owner and all Contractors to check and verify existing dimensions and conditions in the field before starting construction and to notify TriMark of any material or detail changes.

REVISIONS		
DATE	NO.	DESCRIPTION
1/20/21	-	PRELIM. EQ. LAYOUT
3/10/21	-	UPDATED EQ. LAYOUT
3/23/21	-	REV'D BEER COOLER LOC. & COMP. UNITS

**RED DOOR GRILL**  
LEES SUMMIT, MO  
Food Service Equipment

<u>PROJECT NUMBER:</u>	
10-21004	
<u>DATE:</u>	
02/DD/2021	
<u>SCALE:</u>	
AS NOTED	
<u>DRAWN BY:</u>	<u>APPROVED BY:</u>
DRW	JL

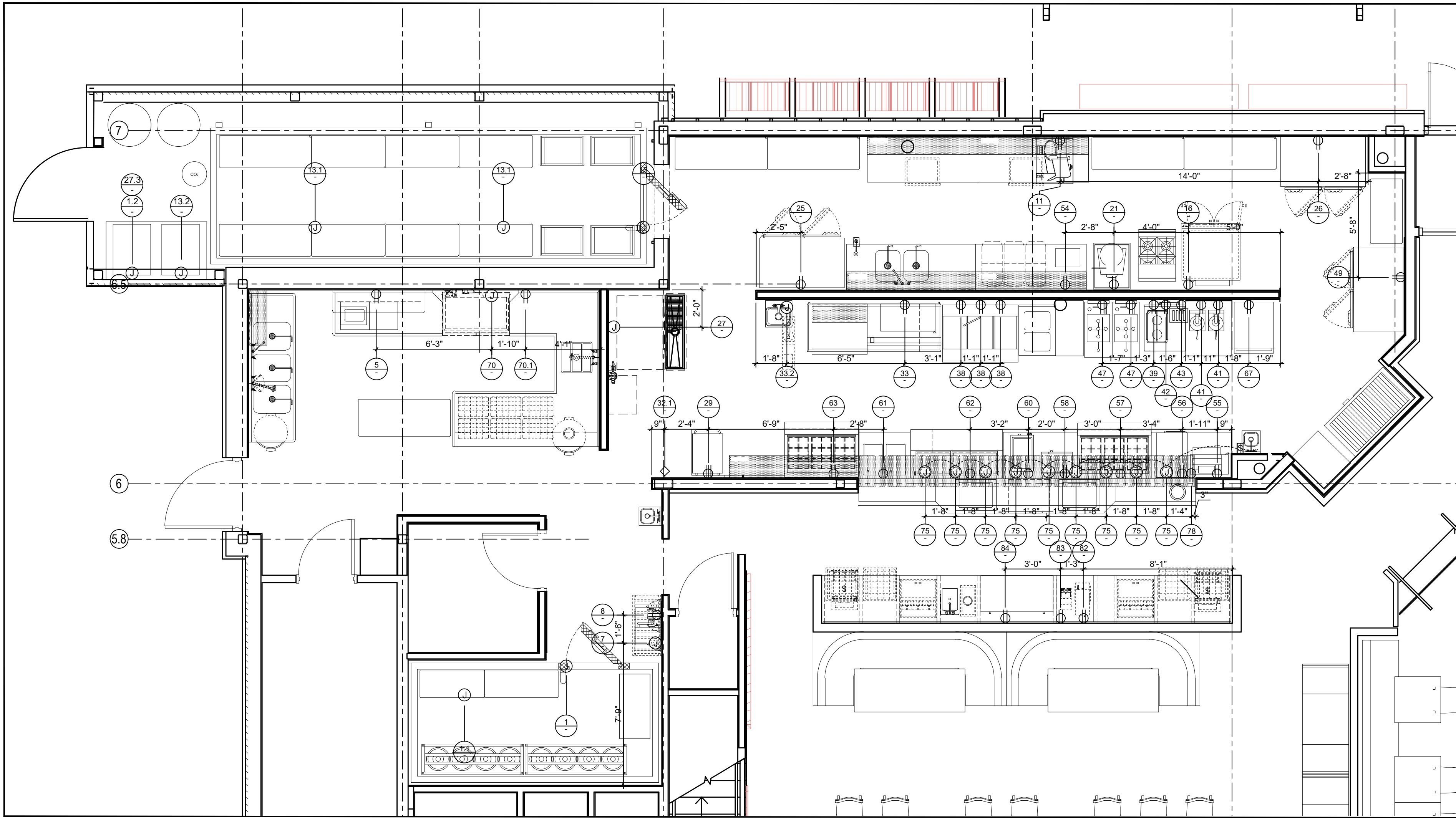
<p><u>SHEET TITLE:</u></p> <p>SCHEDULE</p>
<p><u>SHEET NUMBER:</u></p> <p>K-1.1</p>



			KITCHEN										ELECTRICAL										PLUMBING																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																				
ITEM NUMBER	QTY	BY VENDOR	DESCRIPTION	VOLTAGE	PHASE	AMPS	CIRCUIT	J-BOX	DIRECT	C & P	NEMA	LOCATIONS	AFF	SUPPLY				DRAINS				GAS				ELECTRICAL NOTES	PLUMBING NOTES	ITEM NUMBER																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																															
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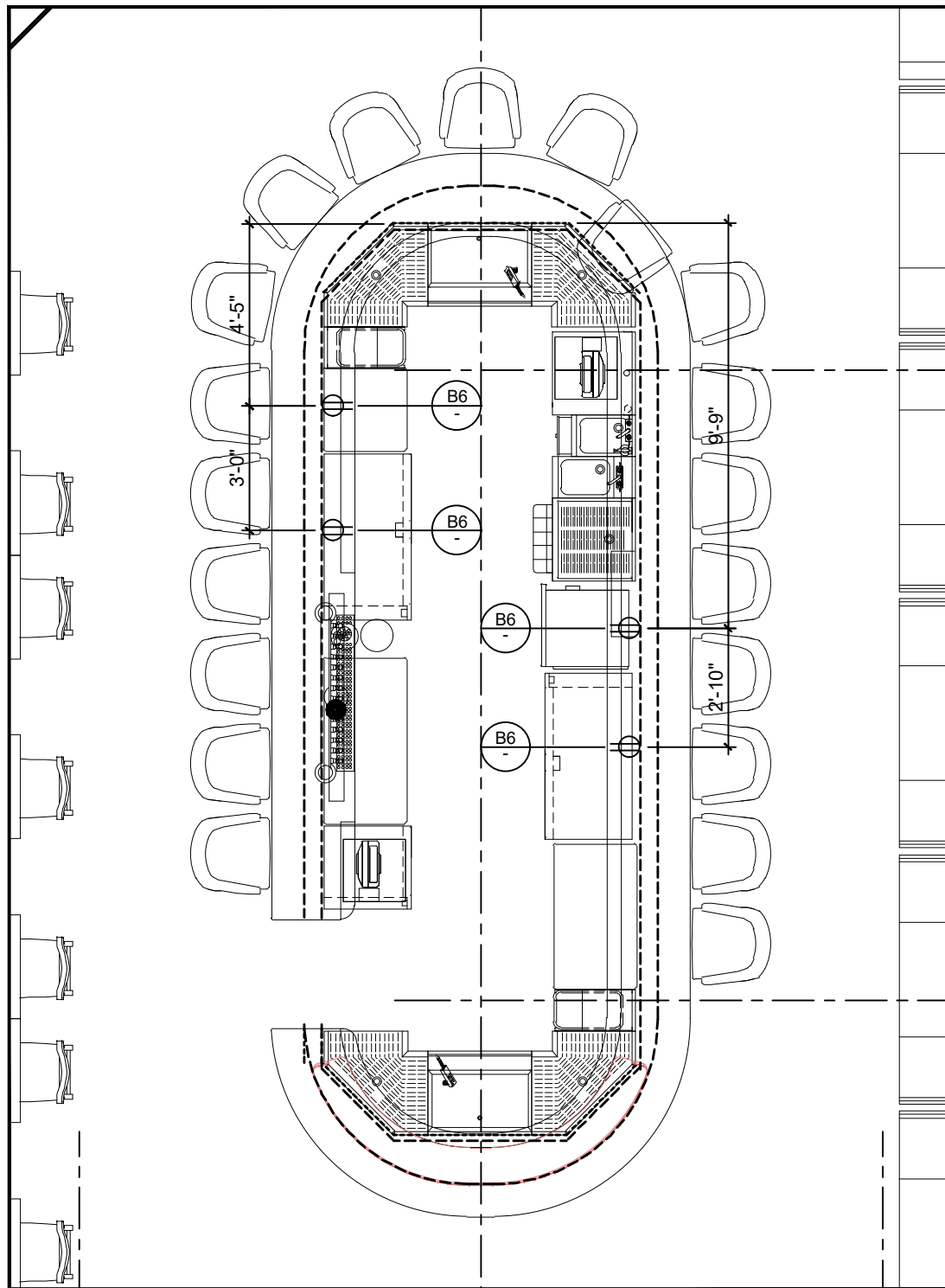


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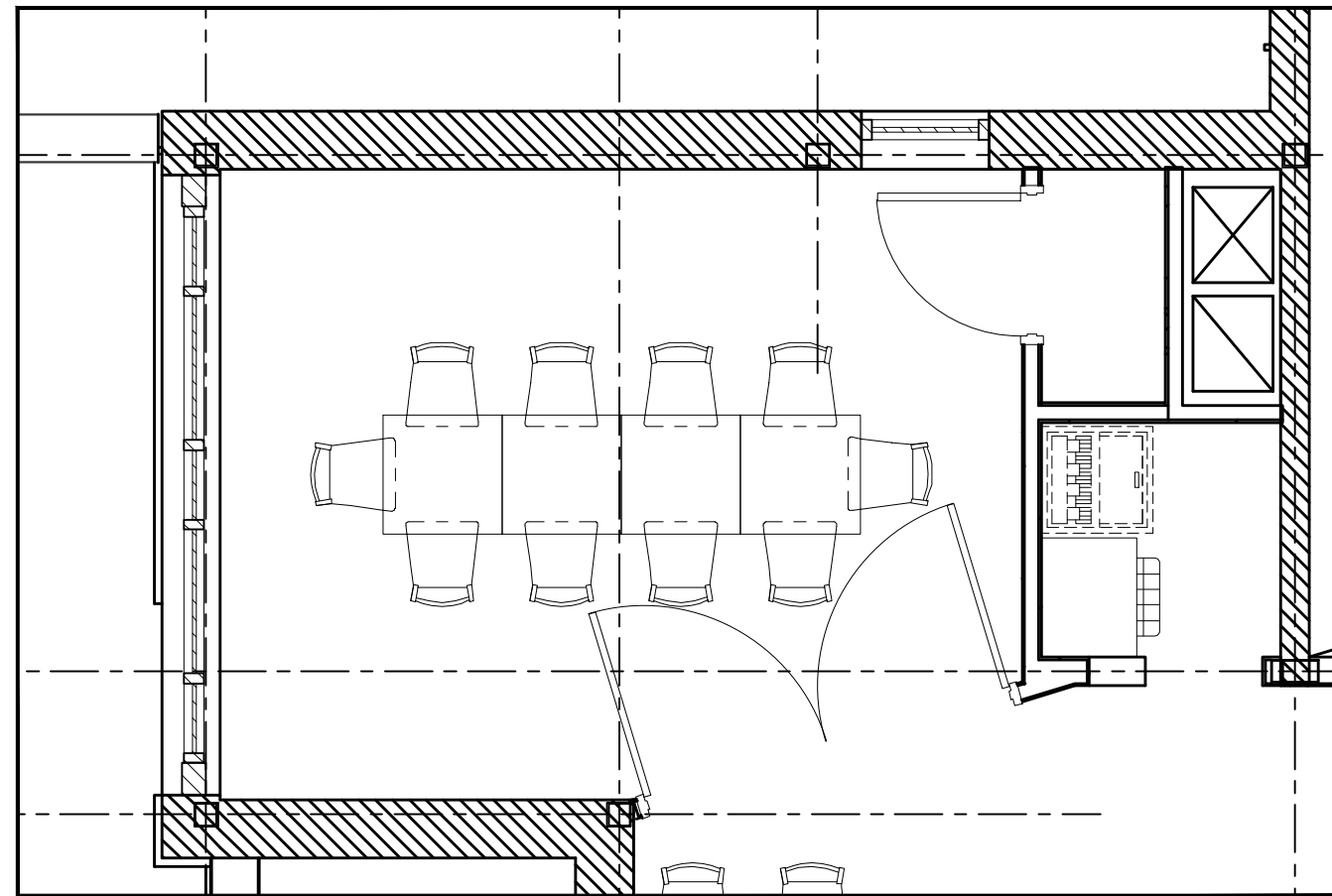
KITCHEN EQUIPMENT PLAN

SCALE: 1/4" = 1'-0"



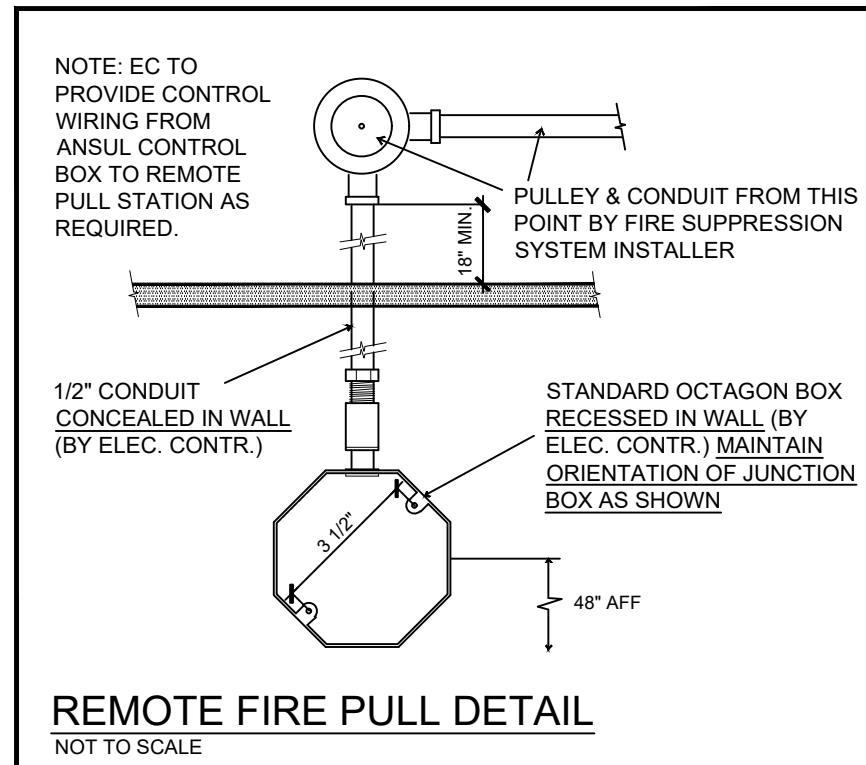
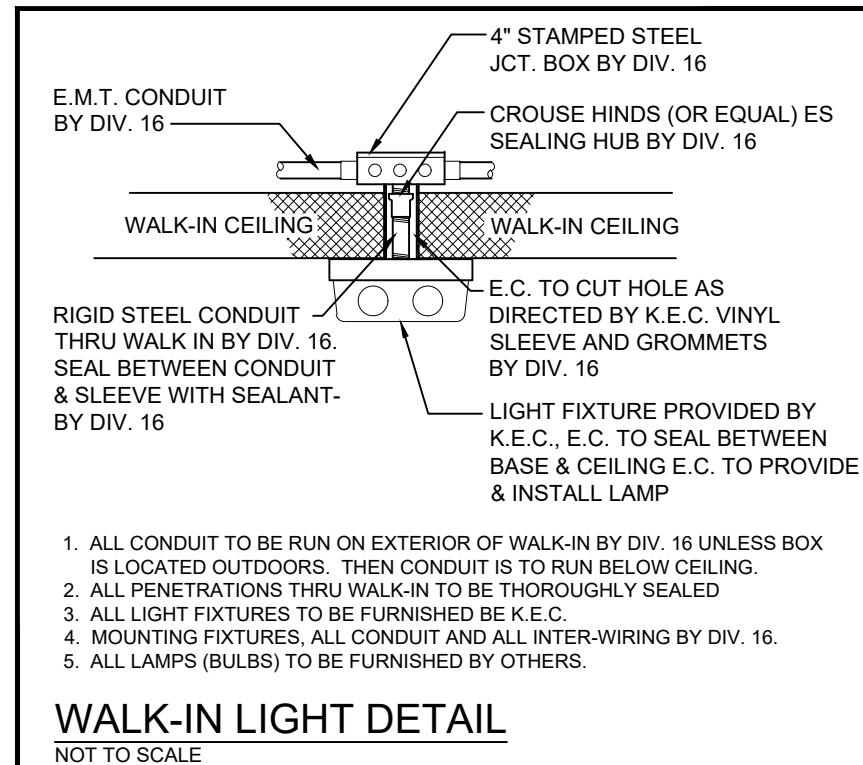
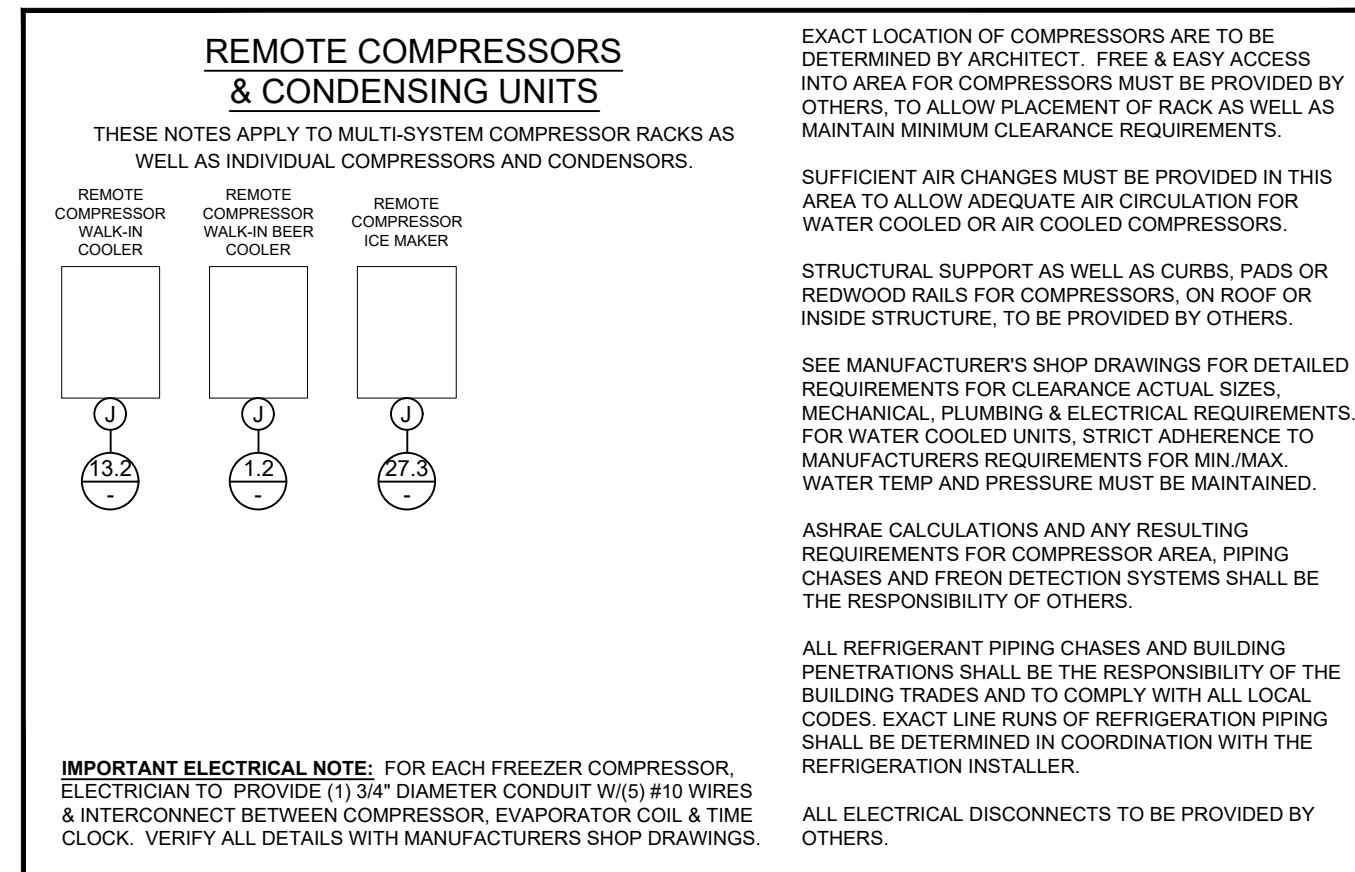
BAR EQUIPMENT PLAN

SCALE: 1/4" = 1'-0"



MEZZANINE EQUIPMENT PLAN

SCALE: 1/4" = 1'-0"



- ELECTRICAL NOTES**
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  - DIMENSIONS AND REQUIREMENTS FOR ALL EQUIPMENT THAT IS LISTED AS EXISTING, PROVIDED BY OTHERS OR PROVIDED BY OWNER, MUST BE VERIFIED WITH THE APPROPRIATE PARTIES.
  - ALL LOCAL, STATE AND NATIONAL CODES SHALL APPLY.
  - THESE UTILITY REQUIREMENT DRAWINGS INDICATE THE UTILITY AND LOCATION OF REQUIREMENTS BASED ON THE EQUIPMENT SPECIFIED.
  - ALL EQUIPMENT SHALL BE WIRED IN STRICT CONFORMANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND/OR SHOP DRAWINGS.
  - UNLESS OTHERWISE NOTED, ALL DIMENSIONS SHOWN ON THIS PLAN ARE FROM THE FINISHED FLOOR, CEILING, WALLS OR COLUMN CENTERLINES TO THE CENTERLINE OF THE ROUGH-INS.
  - ALL ELECTRICAL CONNECTIONS ARE TO BE EXTENDED AND INTERCONNECTED TO CONNECTION POINTS ON THE EQUIPMENT BY OTHERS. UNLESS SPECIFIED, ALL HARDWARE REQUIRED FOR THESE CONNECTIONS SHALL BE SUPPLIED BY THE ELECTRICAL CONTRACTOR.
  - SURFACE MOUNTED WIRE AND CONDUIT WILL NOT BE ALLOWED. ALL ELECTRICAL LINES AND CONDUIT SHALL BE EXTENDED THROUGH AND OUT OF BUILDING WALLS WHERE POSSIBLE. WHERE SURFACE MOUNTED CONDUIT IS UNAVOIDABLE, IT MUST BE COORDINATED WITH HOCKENBERGS.
  - ROUGH-INS OUT OF FLOOR SHOULD BE STUBBED UP 4" ABOVE FINISHED FLOOR AND BROUGHT TO THE REQUIRED HEIGHT AFTER EQUIPMENT IS SET IN PLACE.
  - ALL 120 VOLT UTILITY OUTLETS TO BE G.F.C.I. OUTLETS.
  - ALL NECESSARY ELECTRICAL DISCONNECTS, SHUNT TRIP BREAKERS AND STARTERS ARE TO BE FURNISHED AND INSTALLED BY OTHERS, UNLESS PROVIDED AS A STANDARD OR SPECIFIED EQUIPMENT COMPONENT OF THE EQUIPMENT MANUFACTURER. THIS SHALL INCLUDE ELECTRICAL DISCONNECTS FOR ALL REMOTE COMPRESSORS, BOOSTER HEATERS AND OTHER ITEMS REQUIRED BY CODE.
  - ALL ELECTRICAL ITEMS SUPPLIED UNDER COOKING LINE EXHAUST HOOD ARE TO SHUT DOWN WITH SHUNT TRIP BREAKERS (BY OTHERS) CONNECTED TO FIRE SYSTEM. ELECTRICAL ENGINEER TO CONFIRM COMPLIANCE TO ALL CODES.
  - ALL OUTLETS, JUNCTION BOXES, DISCONNECTS, ETC. SHALL BE INSTALLED SO AS NOT TO INTERFERE WITH THE PERFORMANCE, FUNCTION, OR PLACEMENT OF THE EQUIPMENT.
  - STARTERS, RELAYS, HEATERS AND SWITCHES REQUIRED FOR EXHAUST AND SUPPLY FANS ARE TO BE PROVIDED AND INSTALLED BY THE ELECTRICAL CONTRACTOR.
  - DISHMACHINES:
    - A. ELECTRICAL CONTRACTOR SHALL INTERCONNECT DISHMACHINE WITH DISHMACHINE EXHAUST FAN. INTERCONNECTION SHALL LINK OPERATION OF EXHAUST FAN AND DISHMACHINE SO THAT BOTH UNITS RUN SIMULTANEOUSLY AT ALL TIMES.
    - B. ELECTRICAL CONTRACTOR SHALL INTERCONNECT TABLE LIMIT SWITCH AT END OF CLEAN DISHTABLE WITH CONVEYOR TYPE DISHMACHINES. LIMIT SWITCH SHALL TERMINATE DISHMACHINE OPERATION WHEN DEPRESSED.
  - WALK-IN COOLER/FREEZER BOXES & REMOTE COMPRESSORS:
    - A. INTERCONNECT TO BLOWER COIL IN FREEZER.
    - B. INTERCONNECT BETWEEN TIMER & CONTACTOR.
    - C. INTERCONNECT BETWEEN TIMER & PRESSURE CONTROL SOLENOID.
    - D. INTERCONNECT BETWEEN CONTACTOR AND COMPRESSOR FAN.
    - E. INTERCONNECT BETWEEN TERMINAL AND CONTACTOR TO BLOWER COIL IN FREEZERS.
    - F. CONNECT DRAIN LINE HEATER TO RECEPTACLE IN FREEZER.
    - G. CONNECT PAN HEATER TO TERMINAL STRIP IN FREEZERS.
    - H. CONNECT DOOR HEATER TO TERMINAL STRIP IN FREEZERS.
  - ALL ELECTRICAL CONDUIT TO BE RUN ON TOP (EXTERIOR) OF WALK-IN COOLER/FREEZER BOX WHERE POSSIBLE.
  - UNLESS PROVIDED BY THE MANUFACTURER, ALL LIGHT BULBS FOR FOODSERVICE EQUIPMENT TO BE PROVIDED BY OTHERS.

**ELECTRICAL SYMBOLS**

ITEM NUMBER	ELECTRICAL ROUGH-IN NOTE (SEE SCHEDULE)
1	SINGLE RECEPTACLE
2	DUPLEX RECEPTACLE
3	QUAD RECEPTACLE
4	ISOLATED GROUND DUPLEX RECEPTACLE
5	HIGH VOLTAGE RECEPTACLE
6	JUNCTION BOX
7	DROP CORD
8	FIRE PULL
9	WALL SWITCH
10	TELEPHONE
11	DATA
12	USB RECEPTACLE
13	ELECTRICAL INTERCONNECTION

**PRELIMINARY DRAWING**

**NOT TO BE USED FOR CONSTRUCTION**

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**REVISIONS**

DATE	NO.	DESCRIPTION
1/20/21	-	PRELIM. EQ. LAYOUT
3/10/21	-	UPDATED EQ. LAYOUT
3/23/21	-	REV'D BEER COOLER LOC. & COMP. UNITS

**RED DOOR GRILL**  
LEES SUMMIT, MO  
Food Service Equipment

**PROJECT NUMBER:** 10-21004

**DATE:** 02/DD/2021

**SCALE:** AS NOTED

**DRAWN BY:** DRW **APPROVED BY:** JL

**SHEET TITLE:**

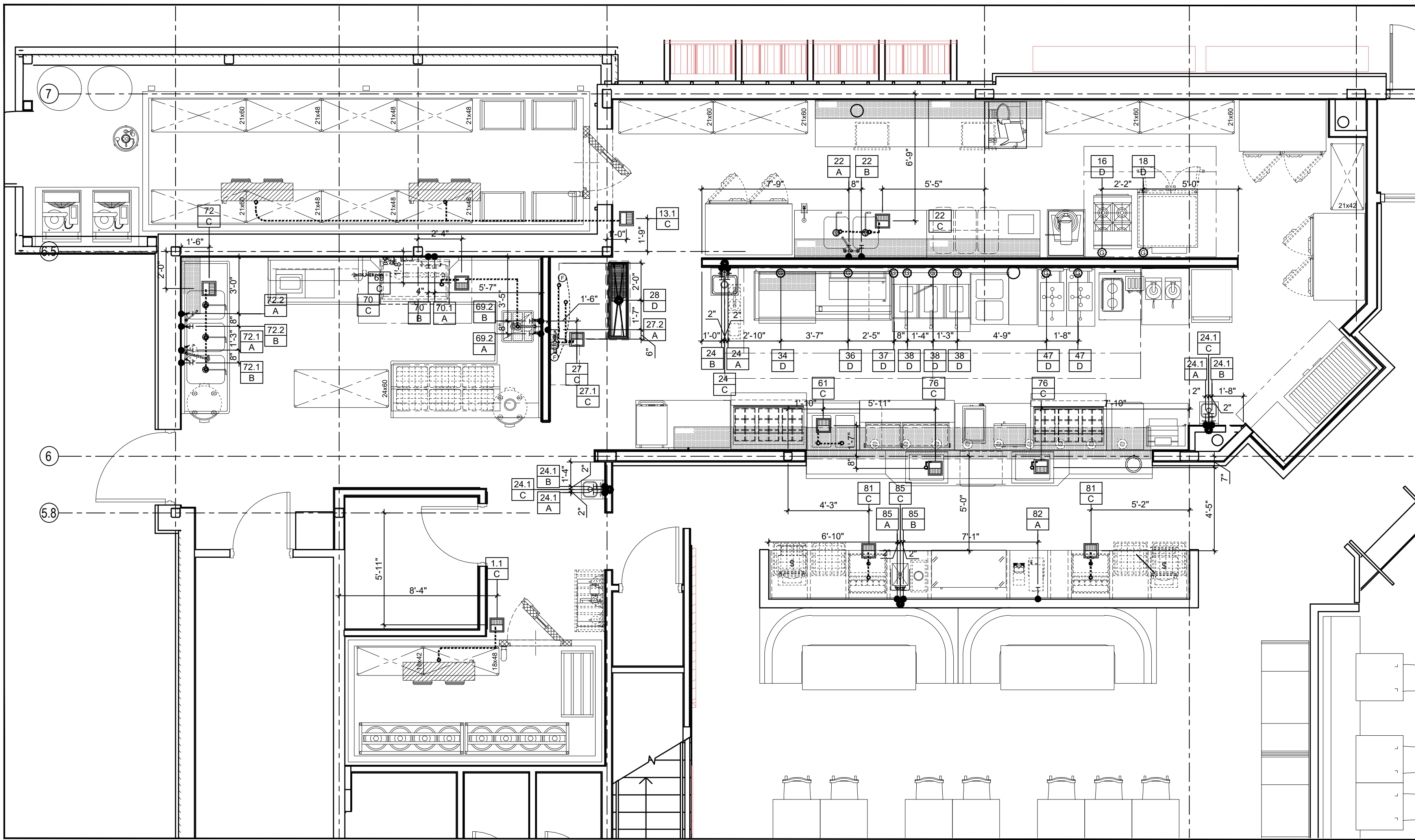
**ELECTRICAL REQUIREMENTS PLAN**

**SHEET NUMBER:**

**K-2**

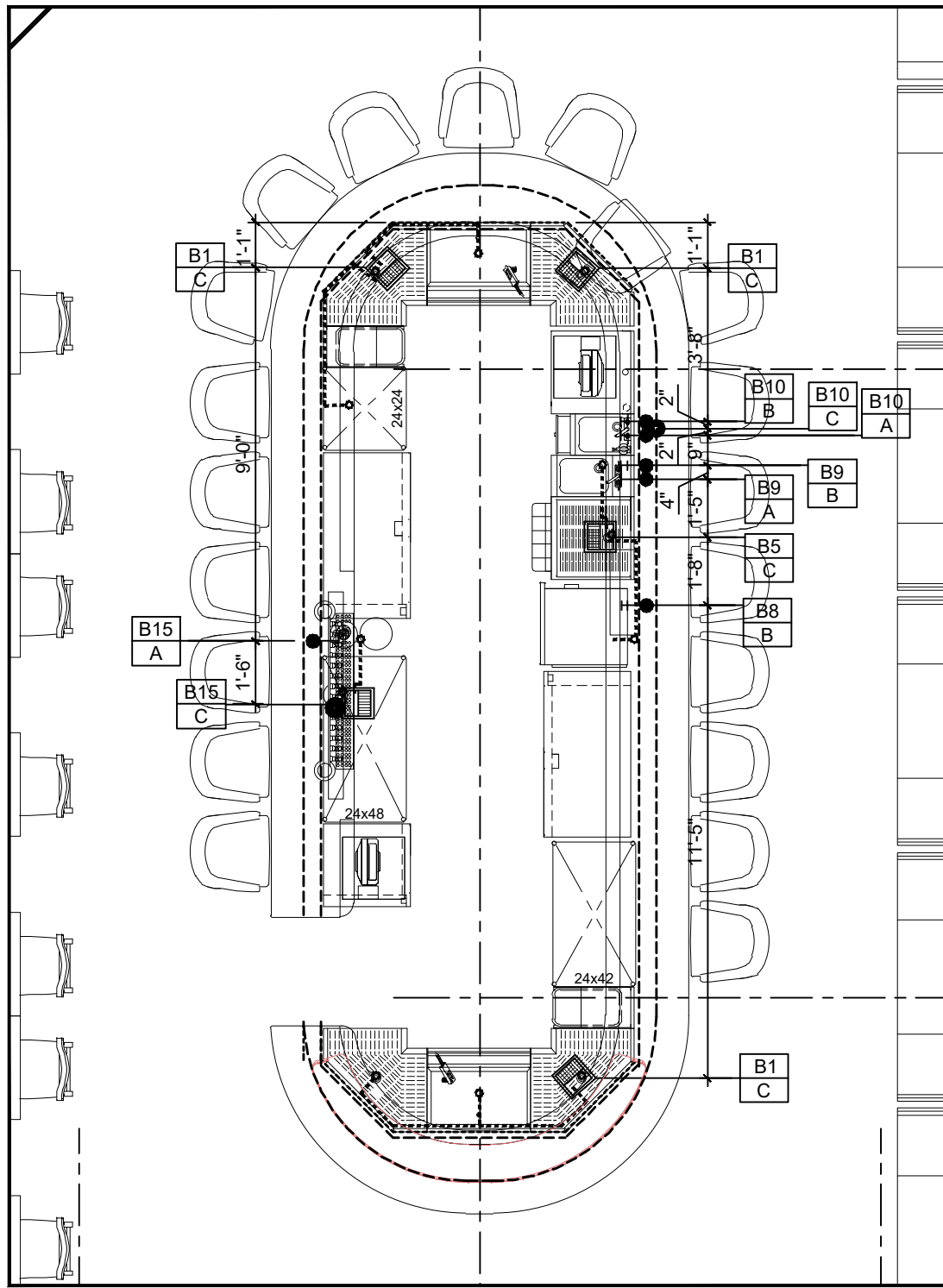


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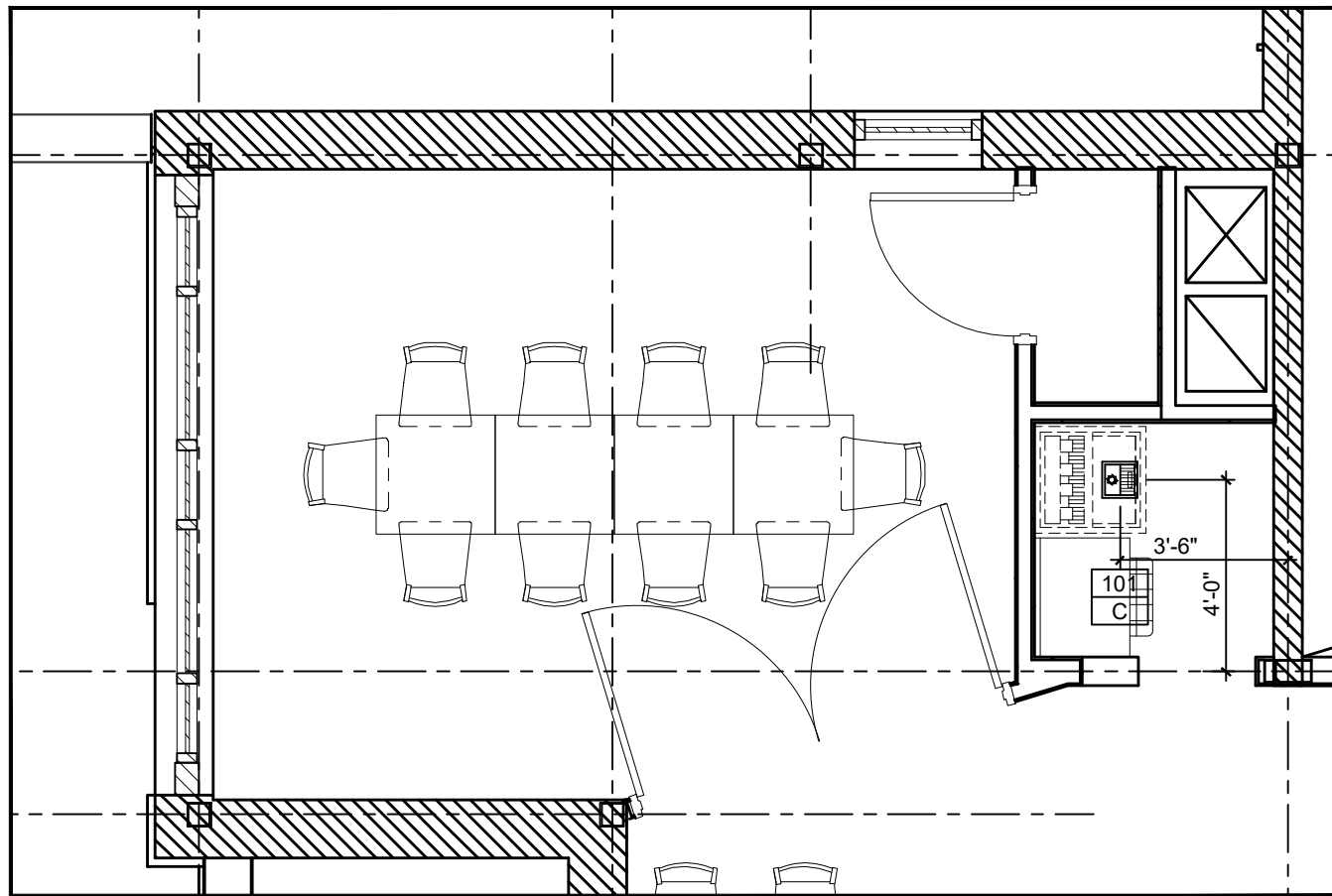
KITCHEN EQUIPMENT PLAN

SCALE: 1/4" = 1'-0"



BAR EQUIPMENT PLAN

SCALE: 1/4" = 1'-0"

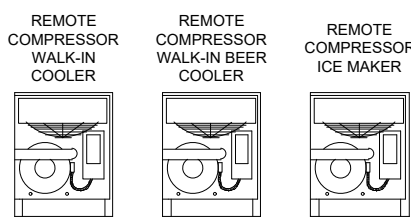


MEZZANINE EQUIPMENT PLAN

SCALE: 1/4" = 1'-0"

REMOTE COMPRESSORS  
& CONDENSING UNITS

THESE NOTES APPLY TO MULTI-SYSTEM COMPRESSOR RACKS AS  
WELL AS INDIVIDUAL COMPRESSORS AND CONDENSERS.



EXACT LOCATION OF COMPRESSORS ARE TO BE  
DETERMINED BY ARCHITECT. FREE & EASY ACCESS  
INTO AREA FOR COMPRESSORS MUST BE PROVIDED BY  
OTHERS, TO ALLOW PLACEMENT OF RACK AS WELL AS  
MAINTAIN MINIMUM CLEARANCE REQUIREMENTS.

SUFFICIENT AIR CHANGES MUST BE PROVIDED IN THIS  
AREA TO ALLOW ADEQUATE AIR CIRCULATION FOR  
WATER COOLED OR AIR COOLED COMPRESSORS.

STRUCTURAL SUPPORT AS WELL AS CURBS, PADS OR  
REDWOOD RAILS FOR COMPRESSORS, ON ROOF OR  
INSIDE STRUCTURE, TO BE PROVIDED BY OTHERS.

SEE MANUFACTURER'S SHOP DRAWINGS FOR DETAILED  
REQUIREMENTS FOR CLEARANCE ACTUAL SIZES,  
MECHANICAL, PLUMBING & ELECTRICAL REQUIREMENTS.  
FOR WATER COOLED UNITS, STRICT ADHERENCE TO  
MANUFACTURER'S REQUIREMENTS FOR MIN. MAX.  
WATER TEMP AND PRESSURE MUST BE MAINTAINED.

ASHRAE CALCULATIONS AND ANY RESULTING  
REQUIREMENTS FOR COMPRESSOR AREA, PIPING  
CHASES AND FROST DETECTION SYSTEMS SHALL BE  
THE RESPONSIBILITY OF OTHERS.

ALL REFRIGERANT PIPING CHASES AND BUILDING  
PENETRATIONS SHALL BE THE RESPONSIBILITY OF THE  
BUILDING TRADES AND TO COMPLY WITH ALL LOCAL  
CODES. EXACT LINE RUNS OF REFRIGERATION PIPING  
SHALL BE DETERMINED IN COORDINATION WITH THE  
REFRIGERATION INSTALLER.

PLUMBING NOTE:  
VERIFY ALL DETAILS WITH MANUFACTURERS LATEST SHOP DRAWINGS.

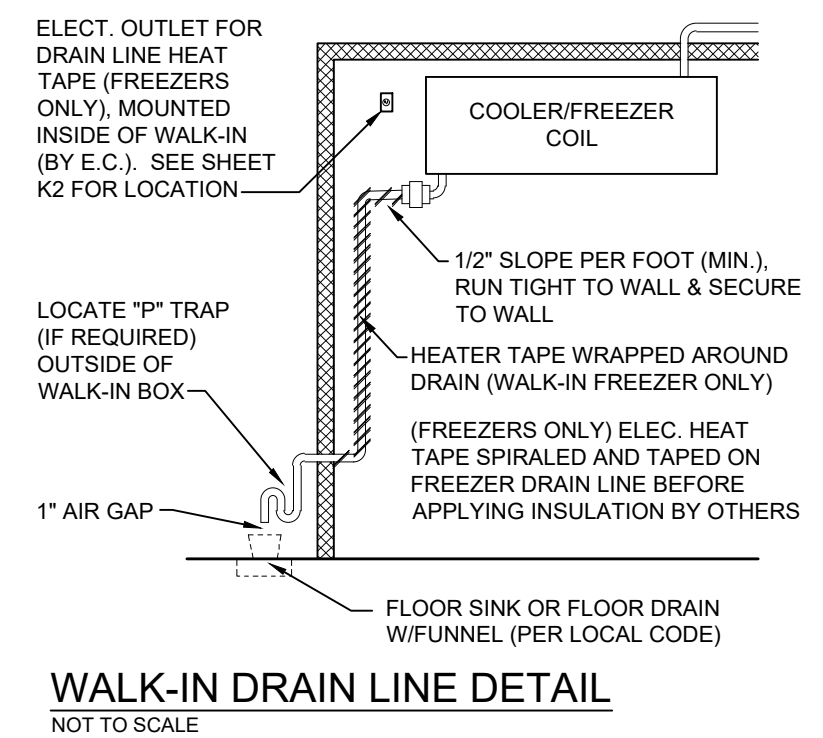
ALL ELECTRICAL DISCONNECTS TO BE PROVIDED BY  
OTHERS.

PLUMBING NOTES

- THESE DRAWINGS ARE TO BE USED AS AN INSTRUMENT OF  
REFERENCE BY ALL OTHER TRADES AND CONTRACTORS. ALL  
TRADES SHALL VERIFY THE INFORMATION AS INDICATED ON THESE  
PLANS.
- DIMENSIONS AND REQUIREMENTS FOR ALL EQUIPMENT THAT IS  
LISTED AS EXISTING, PROVIDED BY OTHERS OR PROVIDED BY  
OWNER, MUST BE VERIFIED WITH THE APPROPRIATE PARTIES.
- ALL LOCAL, STATE AND NATIONAL CODES SHALL APPLY.
- THESE UTILITY REQUIREMENT DRAWINGS INDICATE THE UTILITY AND  
LOCATION OF REQUIREMENTS BASED ON THE EQUIPMENT SPECIFIED.
- ALL EQUIPMENT SHALL BE PLUMBED IN STRICT CONFORMANCE WITH  
THE MANUFACTURER'S INSTRUCTIONS AND/OR SHOP DRAWINGS.
- UNLESS OTHERWISE NOTED, ALL DIMENSIONS SHOWN ON THIS PLAN  
ARE FROM THE FINISHED FLOOR, CEILING, WALLS OR COLUMN  
CENTERLINES TO THE CENTERLINE OF THE ROUGH-INS.
- ALL FAUCETS, VALVES, DRAINS, ETC. SUPPLIED BY K.E.C. TO BE  
MOUNTED/INSTALLED BY P.C. ALL PLUMBING CONNECTIONS SHALL  
BE EXTENDED AND INTERCONNECTED TO CONNECTION POINTS ON  
THE EQUIPMENT BY P.C. UNLESS SPECIFIED, ALL HARDWARE  
REQUIRED FOR THESE CONNECTIONS SHALL BE SUPPLIED BY THE  
PLUMBING CONTRACTOR.
- SURFACE MOUNTED PIPING WILL NOT BE ALLOWED. ALL PIPING  
SHALL BE EXTENDED OUT OF BUILDING WALLS WHERE  
POSSIBLE. WHERE SURFACE MOUNTED PLUMBING IS UNAVOIDABLE,  
IT MUST BE COORDINATED WITH HOCKENBERGS.
- ROUGH-INS OUT OF FLOOR SHOULD BE STUBBED UP 4" ABOVE  
FINISHED FLOOR AND BROUGHT TO THE REQUIRED HEIGHT AFTER  
EQUIPMENT IS SET IN PLACE.
- ONLY COMPONENTS SUPPLIED STANDARD BY THE MANUFACTURER  
ARE INCLUDED. ALL HARDWARE REQUIRED FOR CONNECTIONS  
SHALL BE SUPPLIED BY THE PLUMBING CONTRACTOR. SUCH  
COMPONENTS INCLUDE BUT ARE NOT LIMITED TO, SHUT-OFFS,  
PRESSURE REGULATORS, VACUUM BREAKERS, P-TRAPS, BACKFLOW  
PREVENTERS, ETC.
- PLUMBING CONTRACTOR TO VERIFY THAT ALL APPLIANCES ARE  
SUPPLIED WITH APPROPRIATE GAS PRESSURE AND THAT ANY  
VARIANCES IN GAS PRESSURE BE CLEARLY IDENTIFIED AND  
BROUGHT TO THE IMMEDIATE ATTENTION OF HOCKENBERGS.
- ALL INDIRECT WASTE AND CONDENSATE DRAIN LINES SHALL BE  
EXTENDED FROM EQUIPMENT FITTINGS TO APPROPRIATE DRAINS AS  
CODES REQUIRE, BY OTHERS.
- UNLESS OTHERWISE SPECIFIED, HOT WATER SUPPLIED TO BOOSTER  
HEATER SHALL BE A MINIMUM TEMPERATURE OF 140° F.
- PLUMBING CONTRACTOR TO VERIFY WATER TEMPERATURE  
REQUIREMENTS FOR EACH PIECE OF EQUIPMENT. ANY  
DISCREPANCY BETWEEN MANUFACTURER'S REQUIREMENTS AND  
TEMPERATURES PROVIDED SHALL BE CLEARLY IDENTIFIED AND  
BROUGHT TO THE IMMEDIATE ATTENTION OF HOCKENBERGS.
- PLUMBING CONTRACTOR TO PROVIDE INSULATED HOT WATER  
CONNECTIONS BETWEEN BOOSTER HEATER AND DISHWASHER.
- UNLESS OTHERWISE SPECIFIED BY CODE, ALL DRAIN LINES FOR  
DISPOSERS SHALL BY-PASS GREASE INTERCEPTORS.
- NO GENERAL PURPOSE FLOOR DRAINS ARE SHOWN ON THESE  
PLANS. THE SPECIFICATION OF THOSE DRAINS, AS WELL AS THE  
DESIGN FOR REQUIRED SLOPES IN THE FLOOR TO THOSE DRAINS,  
SHALL BE THE RESPONSIBILITY OF THE ARCHITECT AND/OR  
ENGINEERS.

PLUMBING SYMBOLS

ITEM NUMBER CONNECTION NUMBER	PLUMBING ROUGH-IN NOTE (SEE SCHEDULE)
1 A	COLD WATER CONNECTION
2 A	HOT WATER CONNECTION
3 A	HOT WATER CONNECTION - 140° MINIMUM
4 A	FLOOR SINK
5 A	FLOOR SINK-HALF COVER
6 A	FLOOR DRAIN
7 A	FUNNEL FLOOR DRAIN
8 A	FILTERED COLD WATER
9 A	INDIRECT DRAIN
10 A	DIRECT DRAIN
11 A	GAS



PRELIMINARY DRAWING

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3/23/21	-	REV'D BEER COOLER LOC. & COMP. UNITS

RED DOOR GRILL

LEES SUMMIT, MO

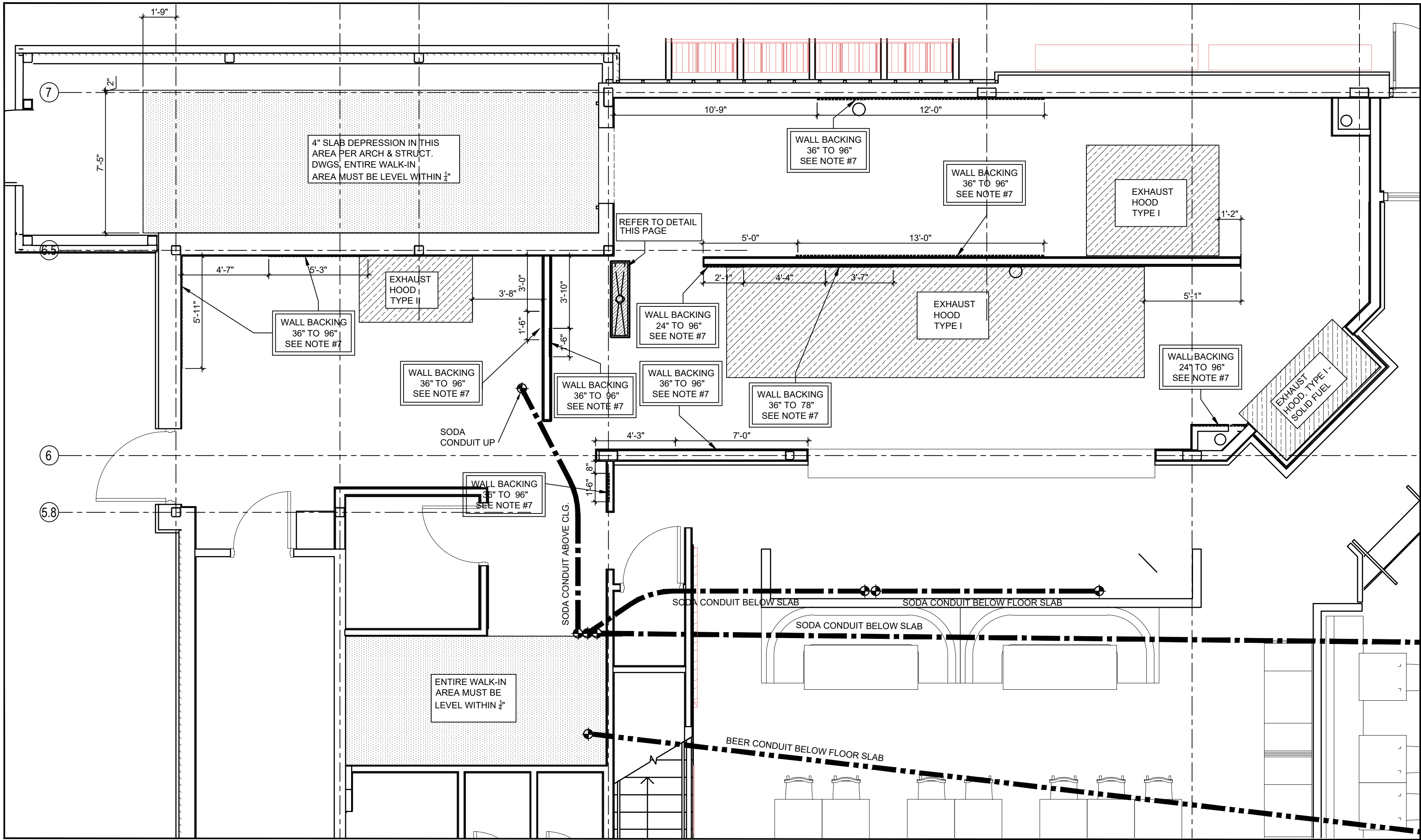
Food Service Equipment

PROJECT NUMBER:	10-21004
DATE:	02/DD/2021
SCALE:	AS NOTED
DRAWN BY:	APPROVED BY:
DRW	JL

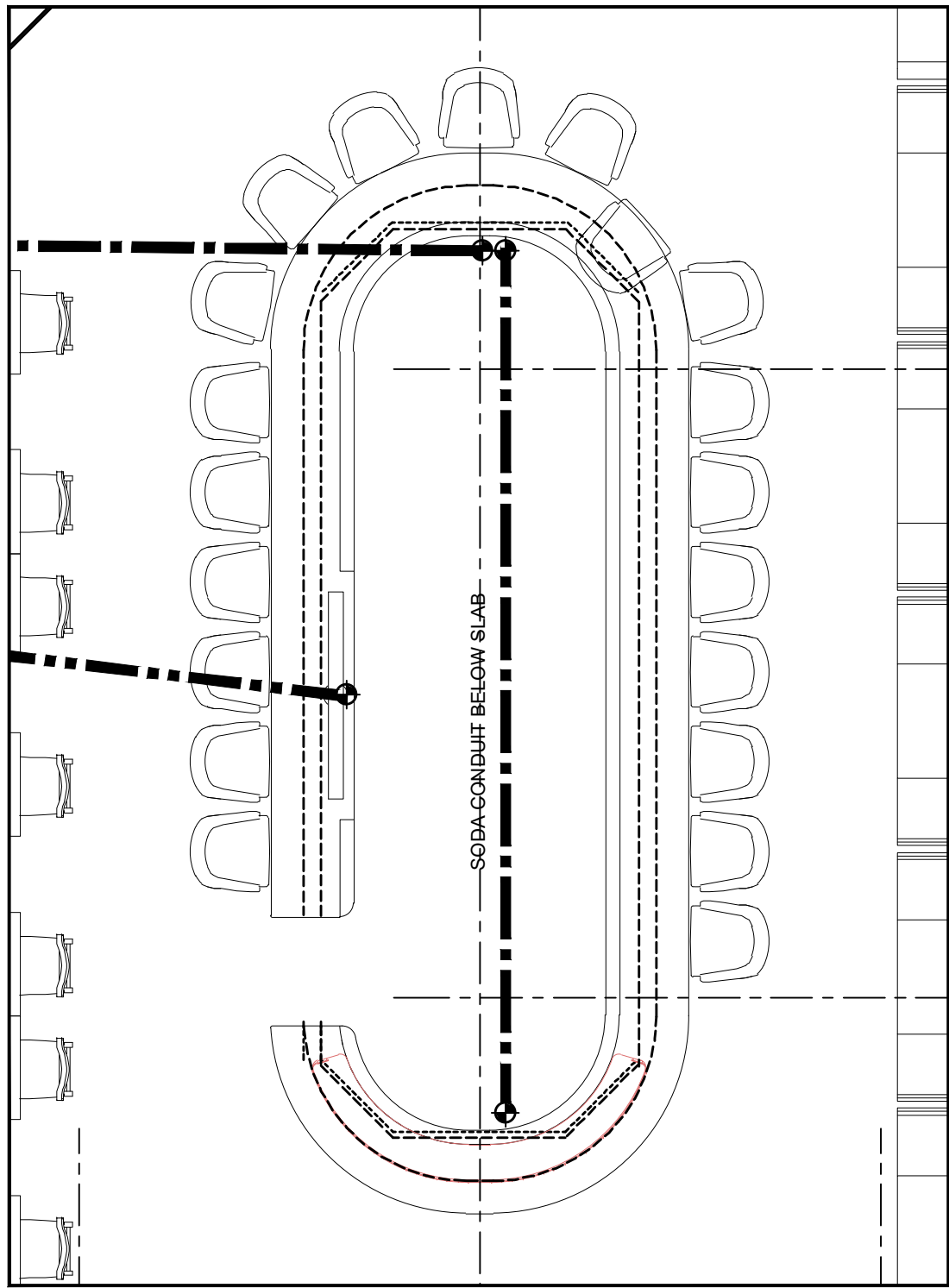
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PLUMBING  
REQUIREMENTS  
PLAN

SHEET NUMBER:  
K-3

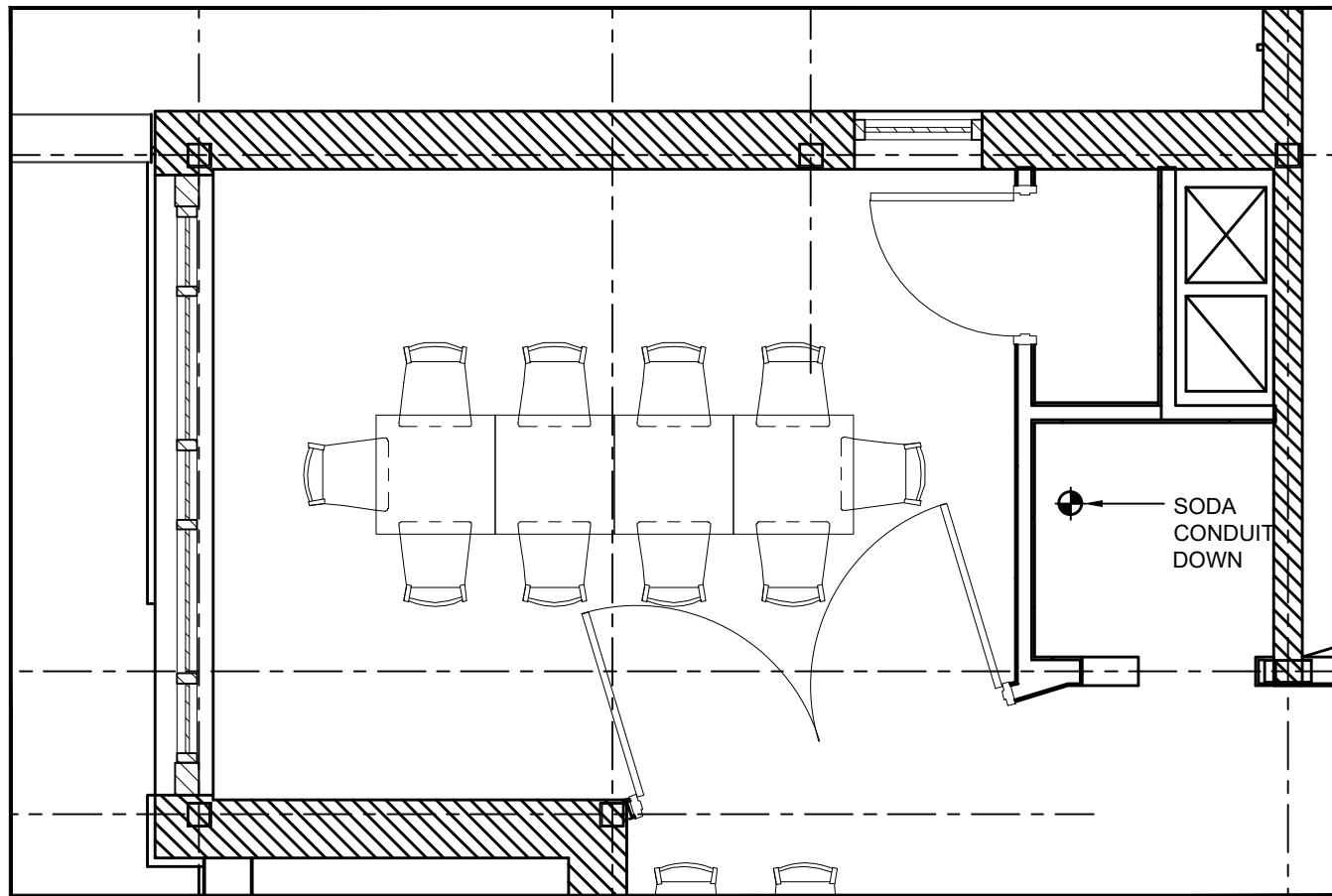




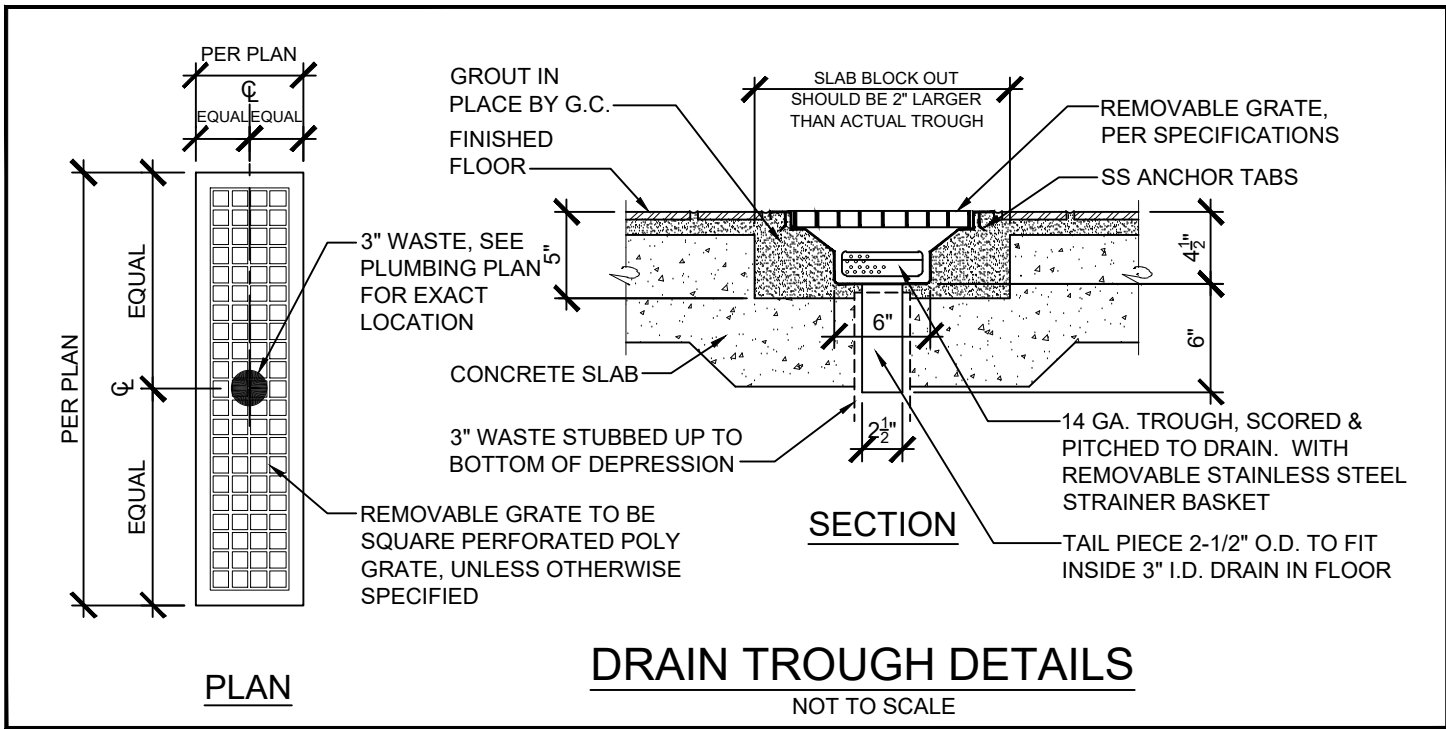
KITCHEN EQUIPMENT PLAN  
SCALE: 1/4" = 1'-0"



BAR EQUIPMENT PLAN  
SCALE: 1/4" = 1'-0"



MEZZANINE EQUIPMENT PLAN  
SCALE: 1/4" = 1'-0"



NOTES:

CONDUIT AND BUILDING PENETRATIONS SHALL BE THE RESPONSIBILITY OF THE BUILDING TRADES AND TO COMPLY WITH ALL LOCAL CODES.

EXACT LINE RUNS SHALL BE DETERMINED IN COORDINATION WITH THE BEVERAGE SYSTEM INSTALLER. LINE RUN SHOWN ON PLAN INDICATES DESIRED CONNECTION AND NOT THE ACTUAL LINE RUN.

PROVIDE 6" (MIN.) P.V.C. CONDUIT, AS INDICATED ON PLAN, THRU SLAB, WALLS OR CEILINGS, WITH 24" (MIN.) RADIUS MINIMUM SWEEPING BENDS, INTERNALLY SMOOTH AND WATERTIGHT. EXACT DIAMETER OF CONDUIT TO BE DETERMINED ON PER PROJECT BASIS - VERIFY BEFORE CONSTRUCTION.

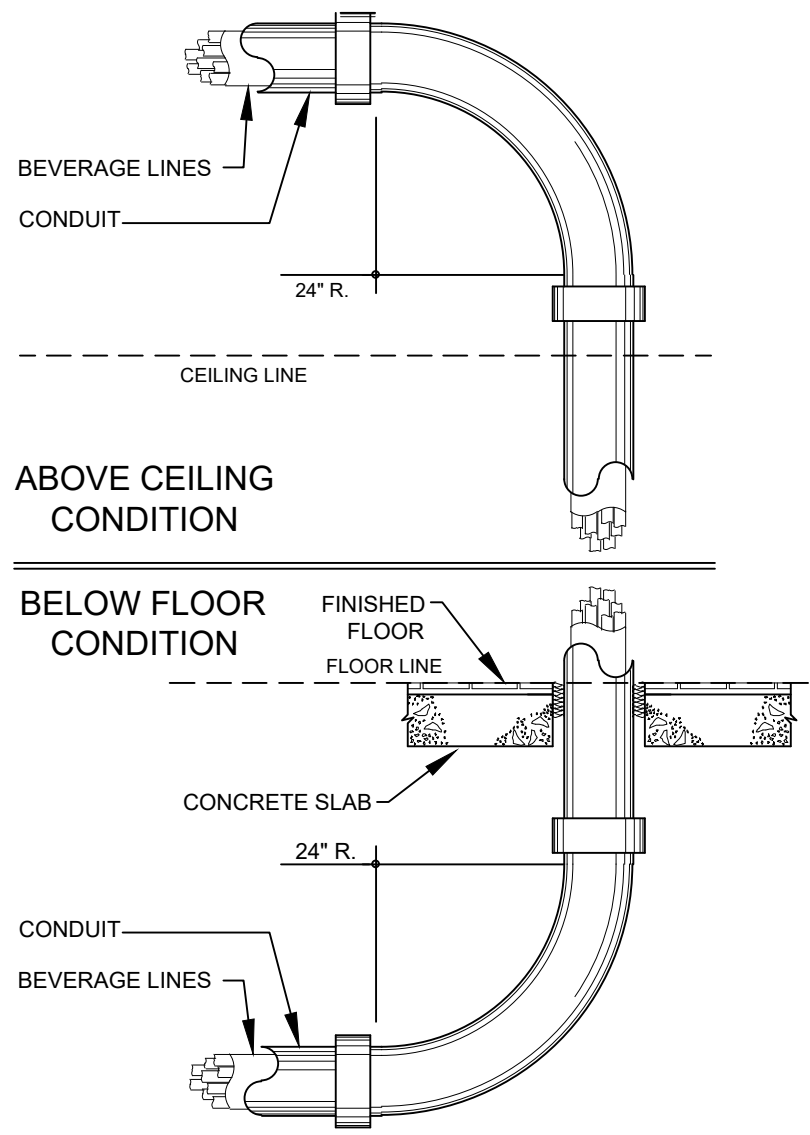
FURNISH P.V.C. CONDUIT AS DESCRIBED IN ARTICLE 347 OF THE NATIONAL ELECTRIC CODE, STANDARD 861 NEMA SPEC. 7-C2 ROBINTECH P.V.C. DUCT AND SWEEP ELBOWS OR EQUAL. CAUTION: PLUMBING STYLE P.V.C. SHORT RADIUS FACTORY "ELLS" ARE NOT ACCEPTABLE.

A PULL BOX SHALL BE INSTALLED AFTER EVERY TWO RADIUS BENDS OR 75 FEET OF CONDUIT.

ALL JOINTS SHALL BE SOLVENT CEMENTED AS RECOMMENDED BY THE MANUFACTURER AND PRESSURE TESTED FOR LEAKS PRIOR TO BACKFILLING, TO CREATE A LIQUID TIGHT CONDITION.

CONDUIT SHALL BE EXTENDED A MINIMUM OF 6" ABOVE FINISHED FLOOR AND CAPPED AND SEALED DURING CONSTRUCTION. BEER CONDUIT IN COOLER TO EXTEND UP 6" ABOVE COOLER FLOOR.

AFTER PRODUCT LINES ARE INSTALLED, OPEN ENDS OF THE CONDUIT ARE TO BE FILLED WITH EXPANDO FOAM, APPROXIMATELY 2 TO 4 INCHES AT EACH END.



BEVERAGE SYSTEM CONDUIT DETAIL  
NO SCALE

PRELIMINARY DRAWING

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HOCKENBERGS

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RED DOOR GRILL  
LEES SUMMIT, MO

Food Service Equipment

PROJECT NUMBER:	10-21004
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DRAWN BY:	APPROVED BY:
DRW	JL

SHEET TITLE:  
BUILDING WORKS  
PLAN

SHEET NUMBER:  
K-4