SUMMIT
AT WEST PRYOR

# 940 NW Pryor Road
# Lee's Summit, Missouri 64081

**PROJECT NO.: 18-046**

**ISSUE DATE: 3.31.2021** **(TENANT FINISH)**

## GENERAL NOTES

1. AIA DOCUMENT A-201 , GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, CURRENT EDITION, AND SPECIAL CONDITIONS AS NOTED IN THE PROJECT MANUAL, SHALL GOVERN THE WORK.

2. GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL VERIFY EXISTING FIELD CONDITIONS PRIOR TO THE START OF CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.

3. GENERAL CONTRACTOR SHALL CROSS-REFERENCE THE VARIOUS DISCIPLINES' PLANS HEREIN AND REVIEWED SHOP DRAWINGS PRIOR TO STARTING CONSTRUCTION PHASE OF CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.

4. ONLY CONTRACT DOCUMENTS APPROVED FOR CONSTRUCTION AND REVIEWED SHOP DRAWINGS SHALL BE USED FOR CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DISTRIBUTION OF SAID DOCUMENTS AND UPDATES TO THE FIELD FOR CONSTRUCTION.

5. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE THE SUBCONTRACTOR WORK WITH THESE PROJECT DOCUMENTS.

6. DIMENSIONS TO THE EXTERIOR OF THE BUILDING ARE TO THE EXTERIOR OF FOUNDATION/MASONRY UNLESS NOTED OTHERWISE.

7. DO NOT SCALE DRAWINGS.

8. THE WORD 'ALIGN' AS USED IN THESE DOCUMENTS SHALL SUPERSEDE DIMENSIONAL INFORMATION.

9. NO PRODUCTS CONTAINING ASBESTOS SHALL BE INSTALLED IN OR USED DURING THE CONSTRUCTION OF THIS PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CERTIFY TO THE OWNER THAT THIS REQUIREMENT HAS BEEN COMPLIED WITH.

10. ALL HVAC EQUIPMENT AND DUCTWORK SHALL COMPLY WITH THE CURRENT APPLICABLE MECHANICAL CODE AND INSTALLED PER SMACNA RECOMMENDATIONS.

11. CODE COMPLIANCE - THE WORK SHALL BE GOVERNED BY ALL CURRENT APPLICABLE LOCAL, CITY, STATE AND NATIONAL CODES AND LAWS. THESE AUTHORITIES INCLUDE, BUT ARE NOT LIMITED TO THE INTERNATIONAL BUILDING CODE, NATIONAL ELECTRIC CODE, NATIONAL FIRE PROTECTION ASSOCIATION OR ANY OTHER AUTHORITY OR BODY HAVING JURISDICTION OVER WORK. THE SITE, PARKING LOT, AND BUILDING SHALL COMPLY WITH THE ADA (AMERICANS WITH DISABILITIES ACT) REGULATIONS. NOTIFY ARCHITECT OF ANY REQUIRED CHANGES TO COMPLY WITH ADA.

12. REFERENCE CIVIL DRAWINGS FOR SITE WORK, INCLUDING THE BUILDING LOCATION ON THE SITE.

## ABBREVIATIONS

| | |
|---|---|
| ABV | ABOVE |
| AFF | ABOVE FINISH FLOOR |
| ACT | ACOUSTICAL |
| ALUM | ALUMINUM |
| & | AND |
| @ | AT |
| BLK | BLOCK |
| BD | BOARD |
| BO | BOTTOM OF |
| CLG | CEILING |
| ℄ | CENTER LINE |
| CT | CERAMIC TILE |
| CLR | CLEAR |
| CONC | CONCRETE |
| CMU | CONC. MASONRY UNIT |
| CONT | CONTINOUS |
| CONTR | CONTRACTOR |
| CFCI | CONTRACTOR FURNISHED CONTRACTOR INSTALLED |
| CJ | CONTROL JOINT |
| CG | CORNER GUARD |
| DTL | DETAIL |
| DIA | DIAMETER |
| DR | DOOR |
| DS | DOWNSPOUT |
| DWG | DRAWING |
| EOS | EDGE OF SLAB |
| ELEC | ELECTRICAL |
| ELEV | ELEVATION |
| EQ | EQUAL |
| EQUIP | EQUIPMENT |
| EXIST | EXISTING |
| EJ | EXPANSION JOINT |
| FT | FEET |
| FG | FINISH GRADE |
| FF | FINISH FLOOR |
| FR | FIRE RETARDANT |
| FL | FLOOR |
| GC | GENERAL CONTR. |
| GYP | GYPSUM |
| HDWD | HARDWOOD |
| HDPB | HIGH DENSITY PARTICLE BOARD |
| HT | HEIGHT |
| HR | HOUR |
| INSUL | INSULATION |
| JT | JOINT |
| LAV | LAVATORY |
| MO | MASONRY OPENING |
| MSRY | MASONRY |
| MDF | MEDIUM DENSITY FIBERBOARD |
| MECH | MECHANICAL |
| MTL | METAL |
| NIC | NOT IN CONTRACT |
| NTS | NOT TO SCALE |
| OFCI | OWNER FURNISHED CONTRACTOR INSTALLED |
| OFOI | OWNER FURNISHED OWNER INSTALLED |
| OC | ON CENTER |
| OPNG | OPENING |
| PTD | PAINTED |
| PLAM | PLASTIC LAMINATE |
| PLYWD | PLYWOOD |
| PT | PRESSURE TREATED |
| RAD | RADIUS |
| RE: | REFERENCE |
| REINF | REINFORCING |
| RCP | REFLECTED CEILING PLAN |
| REQ'D | REQUIRED |
| RD | ROOF DRAIN |
| RM | ROOM |
| RO | ROUGH OPENING |
| SCHED | SCHEDULE |
| SECT | SECTION |
| SHT | SHEET |
| SIM | SIMILAR |
| SC | SOLID CORE |
| SPEC | SPECIFICATION |
| SQ | SQUARE |
| SF | SQUARE FOOT |
| SS | STAINLESS STEEL |
| STD | STANDARD |
| STL | STEEL |
| STRUCT | STRUCTURAL |
| SUSP | SUSPENDED |
| TEL | TELEPHONE |
| THK | THICK |
| TO | TOP OF |
| T&G | TONGUE & GROOVE |
| TYP | TYPICAL |
| UNF | UNFINISHED |
| UNO | UNLESS NOTED OTHERWISE |
| VERT | VERTICAL |
| VEST | VESTIBULE |
| WP | WATERPROOF |
| WT | WEIGHT |
| W/ | WITH |
| W/O | WITH OUT |
| WD | WOOD |

## PROJECT DIRECTORY

General Contractor
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Michaela Silva (ext 275)

Owner
Summit at West Pryor, LLC
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Phone: (317) 472-0271
Contact: Brad Richey

Structural Engineer
Bob D Campbell & Company
4338 Belleview Avenue
Kansas City, Missouri 64111
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Contact: Clark Basinger (Direct: 816-778-7151)

Civil Engineer
Renaissance Infrastructure Consulting
1815 McGee Street, Suite 200
Kansas City, MO 64108
Phone: (816) 800-0950
Contact: Dustin Burton

Mech. / Elec. / Plumb. Engineer
Latimer Sommers and Associates
3639 SW Summerfield Dr Ste A
Topeka, KS 66614
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Contact: Rich Beardmore

## PROJECT SUMMARY

***FOR COMPLETE CODE ANALYSIS SEE LIFE SAFETY PLAN SHEET A006 - A010**

**PROJECT NAME:** Summit at West Pryor

**PROJECT ADDRESS:** NWQ NW Pryor Rd & NW Lowenstein Dr
Lee's Summit, Missouri 64081

**PROJECT DESCRIPTION:** 237 Unit development

**BUILDING CODES:**
2018 International Building Code
2017 National Electrical Code
2018 International Mechanical Code
2018 International Plumbing Code
2018 International Energy Conservation Code

ACCESSIBILITY
2010 ADA Guidelines & 2017 ICC/ANSI A117.1
Fair Housing Act

**OCCUPANCY TYPE / USE GROUP:** SEE LIFE SAFETY PLANS.

## SYMBOLS

CONCRETE
BRICK
BLOCKING
BATT INSULATION
RIGID INSULATION
CONCRETE BLOCK
BUILDING SECTION (5 / A10)
WALL SECTION (5 / A10)
DETAIL (5 / A10)
PARTITION TYPE (P3)
COL. GRID (COL)
ROOM (ROOM 101)
TEMPERED GLASS (T)
NEW CONSTRUCTION
EXISTING CONSTR. TO REMAIN
EXISTING CONSTR. REMOVED

## LOCATION MAP


**SEE SHEET A001 FOR DRAWING INDEX**

RELEASE FOR CONSTRUCTION
AS NOTED ON PLANS REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
Approved: 04/08/2021

3.31.2021

| | |
|---|---|
| TR,i ARCHITECTS | ARCHITECT |
| BOB D CAMPBELL & COMPANY | STRUCTURAL ENGINEER |
| RENAISSANCE INFRASTRUCTURE CONSULTING | CIVIL ENGINEER |
| BRINKMANN CONSTRUCTORS | GENERAL CONTRACTOR |
| LATIMER SOMMERS & ASSOCIATES | MECHANICAL ENGINEER |
| LATIMER SOMMERS & ASSOCIATES | PLUMBING ENGINEER |
| LATIMER SOMMERS & ASSOCIATES | ELECTRICAL ENGINEER |

Pearl COMPANIES

Summit at West Pryor
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Lee's Summit, Missouri 64081

TR,i ARCHITECTS


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**DATE:** 7.29.19

**REVISIONS**

| # | | |
|---|---|---|
| | SHELL PACKAGE | 7.29.19 |
| 1 | BUILDING PERMIT COMMENTS | 9.6.19 |
| 2 | FDP RESUBMITTAL | 9.11.19 |
| 3 | BUILDING PERMIT COMMENTS 2 | 9.12.19 |
| 4 | STRUCTURAL REVISION | 10.16.19 |
| 5 | STRUCTURAL REVISION 2 | 11.7.19 |
| 6 | REVISION 1 | 12.20.19 |
| 7 | REVISION 2 | 1.24.20 |
| 8 | REVISION 3 | 4.3.2020 |
| 9 | REVISION 4 | 4.24.2020 |
| 10 | REVISION 5 | 7.2.2020 |
| 11 | REVISION 6 | 10.30.2020 |
| 12 | TENANT FINISH | 3.31.2021 |

**DWG BY** MKSS

**TR,i PROJECT NO.** 18-046

**SHEET NO.**

A000

**COVER SHEET**

# DRAWING INDEX

● = REVISED SHEET
○ = REISSUED SHEET/NO REVISION
X = ISSUED AS 8.5x11

| | ARCHITECTURAL | ● SHELL PACKAGE 07.29.19 | ○ BUILDING PERMIT COMMENTS 9.6.19 | ○ FDP RESUBMITTAL 9.11.19 | ○ BUILDING PERMIT COMMENTS 9.12.19 | ○ STRUCTURAL REVISION 10.16.19 | ○ STRUCTURAL REVISION 2 11.7.19 | ○ REVISION 1 12.20.19 | ○ REVISION 2 1.24.20 | ○ REVISION 3 4.3.2020 | ○ REVISION 4 4.24.2020 | ○ REVISION 5 7.2.2020 | ○ REVISION 6 10.30.2020 | TENANT FINISH |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| A000 | COVER SHEET | ● | | | | | | | | | | | | |
| A001 | SHEET INDEX | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● | |
| A003 | ACCESSIBILITY REQUIREMENTS - TYPE A UNITS | ● | | | | | | | | | | ● | | |
| A004 | ACCESSIBILITY REQUIREMENTS -TYPE B UNITS & ADA | ● | | | | | | | | | | ● | | |
| A005 | SOUND TRANSMISSION ASSEMBLIES | ● | | | | | | ● | | | | | | |
| A006 | LIFE SAFETY PLAN - GARAGE | ● | ● | ● | | | | ● | ● | | | | ● | |
| A007 | LIFE SAFETY PLAN - FIRST FLOOR | ● | ● | | | | | ● | ● | | | ● | | |
| A008 | LIFE SAFETY PLAN - SECOND/THIRD FLOOR | ● | | | | | | ● | ● | | | | | |
| A009 | LIFE SAFETY PLAN - FOURTH FLOOR | ● | | | | | | ● | ● | | | | | |
| A010 | LIFE SAFETY PLAN - UNITS | ● | | | | | | | | | | | | |
| A011 | PARTITION TYPES | ● | | | | | | ● | ● | | | ● | ● | |
| A012 | FLOORING ASSEMBLIES | ● | | | | | | ● | | ● | | ● | ● | |
| A013 | DOOR SCHEDULE & TYPICAL DETAILS | ● | | | | | | ● | ● | ● | | ● | | |
| A014 | WINDOW AND STOREFRONT SCHEDULE | ● | | | | | | ● | ● | ● | | | | |
| A015 | STOREFRONT SCHEDULE | ● | | | | | | ● | ● | ● | | | | |
| A016 | STOREFRONT SCHEDULE | ● | | | | | | ● | ● | ● | | | | |
| A017 | UNIT SCHEDULES | ● | | | | | | ● | ● | | | | | |
| A020 | WINDOW DETAILS | ● | | | | | | | | ● | | ● | | |
| A021 | WINDOW DETAILS | ● | | | | | | | | ● | | ● | ● | |
| A030 | DOOR DETAILS | ● | | | | | | | | ● | | ● | | |
| A031 | DOOR DETAILS | ● | | | | | | ● | ● | | | | | |
| A032 | DOOR DETAILS | ● | | | | | | | | ● | ● | ● | ● | |
| A050 | ARCHITECTURAL SITE PLAN | ● | ● | ● | | | | | | | | ● | | |
| A051 | SITE DETAILS | ● | | | | | | | | | | | | |
| A052 | ADDRESS PLAN - FIRST FLOOR | | | | | | | | ● | | | | | |
| A053 | ADDRESS PLAN - SECOND FLOOR | | | | | | | | ● | | | ● | | |
| A054 | ADDRESS PLAN - THIRD FLOOR | | | | | | | | ● | | | ● | | |
| A055 | ADDRESS PLAN - FOURTH FLOOR | | | | | | | | ● | | | ● | | |
| A101A | GARAGE FLOOR PLAN | ● | ● | | | | | ● | ● | ● | | ● | ● | |
| A101B | GARAGE PARKING PLAN | ● | | | | | | ● | ● | ● | | ● | | |
| A102 | FIRST FLOOR PLAN | ● | | | | | | ● | ● | ● | | ● | | |
| A102-B | FIRST FLOOR PLAN - BLDG. B | ● | ● | | | | | ● | ● | | | ● | | |
| A102-C/D | FIRST FLOOR PLAN - BLDG. C/D | ● | ● | | | | | ● | ● | ● | | ● | ● | |
| A102-E | FIRST FLOOR PLAN - BLDG. E | ● | | | | | | ● | ● | ● | | ● | | |
| A103 | SECOND/THIRD FLOOR PLAN | ● | ● | | | | | ● | ● | ● | | | | |
| A103-B | SECOND / THIRD FLOOR PLAN - BLDG. B | ● | ● | | | | | ● | ● | ● | | ● | ● | |
| A103-C/D | SECOND / THIRD FLOOR PLAN - BLDG. C/D | ● | | | | | | ● | ● | ● | | ● | ● | |
| A103-E | SECOND / THIRD FLOOR PLAN - BLDG. E | ● | | | | | | ● | ● | | | ● | ● | |
| A104 | FOURTH FLOOR PLAN | ● | | | | | | ● | ● | ● | | | | |
| A104-B | FOURTH FLOOR PLAN - BLDG. B | ● | | | | | | ● | ● | | | ● | ● | |
| A104-C/D | FOURTH FLOOR PLAN - BLDG. C/D | ● | | | | | | ● | ● | ● | | ● | ● | |
| A104-E | FOURTH FLOOR PLAN - BLDG. E | ● | | | | | | ● | ● | | | ● | ● | |
| A110 | ROOF PLAN | ● | | | | | | | | | | | | |
| A150 | UNIT 'A1' PLANS & ELEVATIONS | ● | | | | | | ● | | ● | ● | ● | | |
| A151 | UNIT 'A2' PLANS & ELEVATIONS | ● | | | | | | ● | | ● | ● | ● | | |
| A152 | UNIT 'A3' PLANS & ELEVATIONS | ● | | | | | | ● | | ● | ● | ● | | |
| A153 | UNIT 'A4' PLANS & ELEVATIONS | ● | | | | | | ● | | ● | ● | ● | | |
| A154 | UNIT 'B1' & 'B3' PLANS & ELEVATIONS | ● | | | | | | ● | | ● | | ● | | |
| A155 | UNIT 'B2' PLANS & ELEVATIONS | ● | | | | | | ● | | ● | | ● | | |
| A156 | UNIT 'B2-TYPE A' PLANS & ELEVATIONS | ● | | | | | | ● | | ● | ● | ● | | |
| A157 | UNIT 'C1' & 'C2' PLANS & ELEVATIONS | ● | | | | | | ● | | ● | | ● | | |
| A158 | UNIT 'D1' PLANS & ELEVATIONS | ● | | | | | | ● | | ● | | ● | | |
| A159 | UNIT 'D2' PLANS & ELEVATIONS | ● | | | | | | ● | | ● | | ● | | |
| A160 | UNIT 'F1' PLANS & ELEVATIONS | ● | | | | | | ● | | ● | | ● | | |
| A161 | UNIT 'F1-TYPE A' PLANS & ELEVATIONS | ● | | | | | | ● | | ● | ● | ● | | |
| A162 | UNIT 'G1' & 'G1.1' PLANS | ● | | | | | | ● | | ● | | ● | | |
| A163 | UNIT 'G1' & 'G1.1' ELEVATIONS | ● | | | | | | ● | | | | ● | | |
| A164 | UNIT 'H1' & 'H2' PLANS & ELEVATIONS | ● | | | | | | ● | | ● | ● | ● | | |
| A170 | UNIT DETAILS | | | | | | | ● | | ● | | | | |
| A171 | UNIT BATHROOM DETAILS | | | | | | | ● | | | ● | | | |
| A201 | OVERALL EXTERIOR ELEVATIONS | ● | | | | | | ● | ● | | | | | |
| A202 | EAST ELEVATIONS | ● | | | | | | ● | ● | ● | | ● | ● | |
| A203 | SOUTH ELEVATION | ● | | | | | | ● | ● | ● | | ● | ● | |
| A204 | WEST ELEVATIONS | ● | | | | | | ● | ● | ● | | ● | | |
| A205 | NORTH ELEVATION | ● | | | | | | ● | ● | ● | | ● | ● | |
| A206 | SOUTH COURTYARD ELEVATIONS | ● | | | | | | ● | ● | | | ● | | |
| A207 | CENTER COURTYARD ELEVATIONS | ● | | | | | | ● | ● | ● | | ● | | |
| A208 | NORTH COURTYARD ELEVATIONS | ● | | | | | | ● | ● | | | ● | | |
| A210 | ENLARGED ELEVATIONS | | | | | | | ● | | | | | ● | |
| A301 | BUILDING SECTIONS | ● | | | | | | ● | | | | | | |
| A302 | BUILDING SECTIONS | ● | | | | | | | | | | | | |
| A303 | WALL SECTIONS | ● | | | | | | | | ● | | ● | | |
| A304 | WALL SECTIONS | ● | | | | | | | | ● | | ● | | |
| A305 | WALL SECTIONS | ● | | | | | | | | ● | | ● | ● | |
| A306 | WALL SECTIONS | ● | | | | | | | | | | ● | | |
| A307 | WALL SECTIONS | ● | | | | | | | | ● | | ● | | |
| A308 | WALL SECTIONS | ● | | | | | | | | ● | | ● | | |
| A309 | WALL SECTIONS | ● | | | | | | | | ● | | ● | ● | |
| A310 | WALL SECTIONS | ● | | | | | | | | ● | | ● | | |
| A311 | WALL SECTIONS | ● | | | | | | | | ● | | ● | | |
| A312 | WALL SECTIONS | ● | | | | | | | | ● | | ● | ● | |
| A313 | CENTER COURTYARD WALL SECTIONS | ● | | | | | | | | ● | | ● | | |
| A314 | CENTER COURTYARD WALL SECTIONS | ● | | | | | | | | ● | | ● | | |
| A315 | NORTH & SOUTH COURTYARD WALL SECTIONS | ● | | | | | | | | ● | | ● | | |
| A316 | NORTH & SOUTH COURTYARD WALL SECTIONS | ● | | | | | | | ● | ● | | ● | ● | |
| A320 | SECTION DETAILS | ● | | | | | | | ● | ● | | ● | ● | |
| A321 | SECTION DETAILS | ● | | | | | | | ● | ● | | ● | | |
| A322 | SECTION DETAILS | ● | | | | | | ● | ● | ● | | ● | | |
| A323 | SECTION DETAILS | ● | | | | | | | | ● | | ● | ● | |
| A324 | BALCONY SECTIONS | | | | | | | | | | | ● | ● | |
| A325 | PLAN DETAILS | ● | | | | | | | ● | ● | | | ● | |
| A326 | PLAN DETAILS | | | | | | | | | | | | ● | |
| A350 | STAIR A | ● | | | | | | ● | ● | | | ● | | |
| A351 | STAIR B | ● | | | | | | | ● | | | ● | | |
| A352 | STAIR C | ● | | | | | | ● | ● | | | ● | | |
| A353 | ELEVATOR A/C | ● | ● | | | | | ● | ● | | | ● | | |
| A354 | ELEVATOR B | ● | ● | | | | | ● | ● | ● | | ● | | |
| A355 | TRASH CHUTE | ● | | | | | | | | ● | | | ● | |
| A401 | ENLARGED COURTYARD PLANS | ● | | | | | | ● | ● | ● | | ● | ● | |
| A402 | ENLARGED COURTYARD PLANS | ● | | | | | | ● | | | | | | |
| A403 | ENLARGED COURTYARD PLANS | ● | | | | | | ● | | ● | | | | |
| A404 | ENLARGED COURTYARD PLANS | ● | | | | | | ● | | | | | | |
| A405 | ENLARGED COURTYARD PLANS | ● | | | | | | ● | | | | ● | ● | |
| A406 | ENLARGED COURTYARD PLANS | ● | | | | | | ● | | | | | | |
| A407 | ENLARGED COURTYARD DRAIN PLANS | ● | | | | | | | | ● | | | | |
| A408 | PERGOLA PLANS | ● | | | | | | | | ● | | ● | | |
| A409 | MECHANICAL SHAFTS | | | | | | | ● | ● | | | ● | | |
| A410 | ENLARGED AMENITY SPACES | | | | | | | | ● | ● | | ● | ● | |
| A411 | ENLARGED AMENITY SPACES | | | | | | | | | ● | | ● | ● | |
| A500 | RETAIL TENANT REWORK | | | | | | | | | | | | | ● |

| | STRUCTURAL | ● SHELL PACKAGE 07.29.19 | BUILDING PERMIT COMMENTS 9.6.19 | FDP RESUBMITTAL 9.11.19 | BUILDING PERMIT COMMENTS 9.12.19 | STRUCTURAL REVISION 10.16.19 | STRUCTURAL REVISION 2 11.7.19 | REVISION 1 12.20.19 | REVISION 2 1.24.20 | REVISION 3 4.3.2020 | REVISION 4 4.24.2020 | REVISION 5 7.2.2020 | REVISION 6 10.30.2020 | TENANT FINISH |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| S001 | GENERAL NOTES | ● | | | | | | | | | | | | |
| S002 | SCHEDULES & CMU DETAILS | ● | | | | | | | | ● | | | | |
| S003 | TYPICAL WOOD GRAVITY SCHEDULES & DETAILS | ● | | | | | | | | | | | | |
| S004 | TYPICAL WOOD LATERAL SCHEDULES & DETAILS | ● | | | | | | | | ● | | | | |
| S005 | TYPICAL WOOD DETAILS | ● | | | | | | | | | | | | |
| S006 | TYPICAL WOOD DETAILS | ● | | | | | | | | | | | | |
| S007 | TYPICAL WOOD DETAILS | ● | | | | | | | | | | | | |
| S110 | FOUNDATION PLAN | ● | | | | | | | | | | | | |
| S110B | FOUNDATION PLAN - AREA B | ● | | | | ● | | | | | | | | |
| S110C/D | FOUNDATION PLAN - AREA C/D | ● | | | | | | | | | | | | |
| S110E | FOUNDATION- AREA E | ● | | | | ● | | | | | | | | |
| S111 | COMMERCIAL FLOOR FRAMING PLAN | ● | | | | | | | | | | | | |
| S111B | COMMERCIAL FLOOR FRAMING PLAN- AREA B | ● | | | | ● | ● | | | | | ● | | |
| S111B-R | COMMERCIAL FLOOR REACTIONS PLAN - AREA B | ● | | | | | | | | | | | | |
| S111C/D | COMMERCIAL FLOOR FRAMING PLAN- AREA C/D | ● | | | | ● | | | | | | ● | | |
| S111C/D-R | COMMERCIAL FLOOR REACTIONS PLAN - AREA C/D | ● | | | | | | | | | | | | |
| S111E | COMMERCIAL FLOOR FRAMING PLAN- AREA E | ● | | | | ● | | | | | | | | |
| S111E-R | COMMERCIAL FLOOR REACTIONS PLAN - AREA E | ● | | | | | | | | | | | | |
| S112 | FIRST FLOOR FRAMING PLAN | ● | | | | | | | | | | | | |
| S112B | FIRST FLOOR 1 FRAMING PLAN- AREA B | ● | | | | ● | ● | | | | | | | |
| S112B-TR | FIRST FLOOR 1 TENSION ROD & REACTIONS PLAN - AREA B | ● | | | | | | | | | | | | |
| S112C/D | FIRST FLOOR 1 FRAMING PLAN- AREA C/D | ● | | | | ● | ● | | | | | ● | | |
| S112C/D-TR | FIRST FLOOR 1 TENSION ROD & REACTIONS PLAN - AREA C/D | ● | | | | | | | | | | | | |
| S112E | FIRST FLOOR 1 FRAMING PLAN- AREA E | ● | | | | ● | ● | | | | | | | |
| S112E-TR | FIRST FLOOR 1 TENSION ROD & REACTIONS PLAN - AREA E | ● | | | | | | | | | | | | |
| S113 | SECOND FLOOR FRAMING PLAN | ● | | | | | | | | | | | | |
| S113B | SECOND FLOOR FRAMING PLAN- AREA B | ● | | | | ● | | ● | | | | ● | | |
| S113B-TR | SECOND FLOOR TENSION ROD PLAN - AREA B | ● | | | | | | | | | | | | |
| S113C/D | SECOND FLOOR FRAMING PLAN- AREA C/D | ● | | | | | | | | ● | | | | |
| S113E | SECOND FLOOR FRAMING PLAN- AREA E | ● | | | | ● | | ● | | | | | | |
| S113E-TR | SECOND FLOOR TENSION ROD PLAN - AREA E | ● | | | | | | | | | | | | |
| S114 | THIRD FLOOR FRAMING PLAN | ● | | | | | | | | | | | | |
| S114B | THIRD FLOOR FRAMING PLAN- AREA A | ● | | | | | | | ● | | | | | |
| S114C/D | THIRD FLOOR FRAMING PLAN- AREA C/D | ● | | | | ● | | | | | | | | |
| S114E | THIRD FLOOR FRAMING PLAN- AREA E | ● | | | | | | | ● | | | | | |
| S115 | FOURTH FLOOR FRAMING PLAN | ● | | | | | | | | | | | | |
| S115B | FOURTH FLOOR FRAMING PLAN- AREA B | ● | | | | | | | ● | | | | | |
| S115C/D | FOURTH FLOOR FRAMING PLAN- AREA C/D | ● | | | | | | | | | | | | |
| S115E | FOURTH FLOOR FRAMING PLAN- AREA E | ● | | | | | | | ● | | | | | |
| S116 | ROOF FRAMING PLAN | ● | | | | | | | | | | | | |
| S116B | ROOF FRAMING PLAN- AREA B | ● | | | | | | | | | | ● | | |
| S116C/D | ROOF FRAMING PLAN- AREA C/D | ● | | | | | | | | | | | | |
| S116E | ROOF FRAMING PLAN- AREA E | ● | | | | | | | | | | ● | | |
| S117 | SHEARWALL AND BEARING WALL TYPE PLAN | ● | | | | | | | | | | | | |
| S117B | SHEARWALL AND BEARING WALL TYPE PLAN - B | ● | | | | | | | | | | | | |
| S117C/D | SHEARWALL AND BEARING WALL TYPE PLAN - C/D | ● | | | | | | | | | | | | |
| S117E | SHEARWALL AND BEARING WALL TYPE PLAN - E | ● | | | | | | | | | | | | |
| S120 | STAIR FRAMING PLANS | ● | | | | | | | | | | | | |
| S121 | STAIR FRAMING PLANS | ● | | | | | | | | | | | | |
| S122 | STAIR FRAMING PLANS | ● | | | | | | | | | | | | |
| S200 | FOUNDATION SECTIONS | ● | | | | | | | | ● | | | | |
| S201 | FOUNDATION SECTIONS | ● | | | | ● | | | | | | | | |
| S300 | STEEL FRAMING SECTIONS | ● | | | | ● | | | | | | | | |
| S301 | STEEL FRAMING SECTIONS | ● | | | | | ● | | | ● | | | | |
| S302 | STEEL FRAMING SECTIONS | ● | | | | | ● | | | ● | | | | |
| S303 | STEEL FRAMING SECTIONS | ● | | | | | | | | | | | | |
| S304 | STEEL FRAMING SECTIONS | ● | | | | ● | | | | | | | | |
| S305 | STEEL FRAMING SECTIONS | ● | | | | ● | | | | | | | | |
| S306 | STEEL FRAMING SECTIONS | ● | | | | ● | | | | | | | | |
| S307 | STEEL FRAMING SECTIONS | ● | | | | | | | | ● | | | | |
| S320 | STEEL ROOF FRAMING SECTIONS | ● | | | | | | | | | | | | |
| S330 | WOOD FLOOR FRAMING SECTIONS | ● | | | | | | | | | | | | |
| S331 | WOOD FLOOR FRAMING SECTIONS | ● | | | | | | | | | | | | |
| S332 | WOOD FLOOR FRAMING SECTIONS | ● | | | | | | | | | | | | |
| S333 | WOOD FLOOR FRAMING SECTIONS | ● | | | | | | | | | | ● | | |
| S340 | WOOD ROOF FRAMING SECTIONS | ● | | | | | | | | | | | | |
| S341 | WOOD ROOF FRAMING SECTIONS | ● | | | | | | | | | | ● | | |
| S342 | WOOD ROOF FRAMING SECTIONS | ● | | | | | | | | | | ● | | |
| S400 | ELEVATIONS | ● | | | | | | | | | | | | |

| | MEP | ● SHELL PACKAGE 07.29.19 | BUILDING PERMIT COMMENTS 9.6.19 | ● FDP RESUBMITTAL 9.11.19 | BUILDING PERMIT COMMENTS 9.12.19 | STRUCTURAL REVISION 10.16.19 | STRUCTURAL REVISION 2 11.7.19 | REVISION 1 12.20.19 | REVISION 2 1.24.20 | REVISION 3 4.3.2020 | REVISION 4 4.24.2020 | REVISION 5 7.2.2020 | REVISION 6 10.30.2020 | TENANT FINISH |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| ME101 | SITE PLAN - MECH/ELEC | ● | | ● | | | | | | | | | | |
| P101 | PARTIAL GARAGE PLAN - BELOW-GRADE PLUMBING | ● | ● | | | | | | ● | | | | | |
| P102 | PARTIAL GARAGE PLAN - BELOW-GRADE PLUMBING | ● | ● | | | | | | | ● | | | | |
| P103 | PARTIAL GARAGE PLAN - PLUMBING | ● | ● | | | | | ● | ● | ● | ● | | | |
| P104 | PARTIAL GARAGE PLAN - PLUMBING | ● | ● | | | | | ● | ● | ● | ● | | | |
| P105 | FIRST FLOOR PLAN AREA B - PLUMBING | ● | ● | | | | | | ● | ● | ● | | ● | |
| P106 | FIRST FLOOR PLAN AREAS C/D - PLUMBING | ● | ● | | | | | ● | ● | ● | ● | ● | | |
| P107 | FIRST FLOOR PLAN AREA E - PLUMBING | ● | ● | | | | | | | ● | ● | | ● | |
| P108 | SECOND FLOOR PLAN AREA B - PLUMBING | ● | | | | | | | | | | | | |
| P109 | SECOND FLOOR PLAN AREAS C/D - PLUMBING | ● | | | | | | ● | ● | | | ● | | |
| P110 | SECOND FLOOR PLAN AREA E - PLUMBING | ● | | | | | | | | | | | | |
| P111 | FOURTH FLOOR PLAN AREA B - PLUMBING | ● | | | | | | | | | | | | |
| P112 | FOURTH FLOOR PLAN AREAS C/D - PLUMBING | ● | | | | | | ● | ● | | | ● | | |
| P113 | FOURTH FLOOR PLAN AREA E PLUMBING | ● | | | | | | | | | | | | |
| P114 | PLUMBING RISERS | | | | ● | | | | | | | | | |
| P115 | PLUMBING RISERS | | | | ● | | | | | | | | | |
| P116 | PLUMBING RISERS | | | | ● | | | | | | | | | |
| P201 | TYPICAL UNIT PLANS - PLUMBING | ● | | | | | | ● | | | | | | |
| P202 | TYPICAL UNIT PLANS - PLUMBING | ● | | | | | | ● | | | | | | |
| M101 | PARTIAL GARAGE PLAN - HVAC | ● | | | | | | ● | | ● | | | | |
| M102 | PARTIAL GARAGE PLAN - HVAC | ● | | | | | | ● | ● | ● | | | | |
| M103 | FIRST FLOOR PLAN AREA B - HVAC | ● | | | | | | | | | | ● | ● | |
| M104 | FIRST FLOOR PLAN AREAS C/D - HVAC | ● | | | | | | ● | | ● | | ● | | |
| M104a | PARTIAL FIRST FLOOR PLAN AREA C - HVAC | ● | | | | | | ● | | | | ● | | |
| M105 | FIRST FLOOR PLAN AREA E - HVAC | ● | | | | | | ● | | | | ● | ● | |
| M106 | SECOND FLOOR PLAN AREA B - HVAC | ● | | | | | | | | | | ● | | |
| M107 | SECOND FLOOR PLAN AREAS C/D - HVAC | ● | | | | | | | | | | ● | | |
| M108 | SECOND FLOOR PLAN AREA E - HVAC | ● | | | | | | | | | | ● | | |
| M109 | FOURTH FLOOR PLAN AREA B - HVAC | ● | | | | | | | | | | ● | | |
| M110 | FOURTH FLOOR PLAN AREAS C/D - HVAC | ● | | | | | | ● | | | | ● | | |
| M111 | FOURTH FLOOR PLAN AREA E HVAC | ● | | | | | | | | | | | | |
| M112 | ROOF FLOOR PLAN AREA B - HVAC | ● | | | | | | | | | | ● | ● | |
| M113 | ROOF FLOOR PLAN AREA D - HVAC | ● | | | | | | | | | | ● | | |
| M114 | ROOF FLOOR PLAN AREA E - HVAC | ● | | | | | | | | | | ● | ● | |
| M201 | TYPICAL UNIT PLANS - HVAC | ● | | | | | | | | | | | | |
| M202 | TYPICAL UNIT PLANS - HVAC | ● | | | | | | ● | | | | | | |
| MP101 | MECHANICAL DETAILS | ● | | | | | | | | | | | | |
| MP102 | MECHANICAL DETAILS | ● | | | | | | | | | | | | |
| MP103 | MECHANICAL DETAILS | ● | | | | | | | | | | | | |
| MP104 | MECHANICAL SCHEDULES | ● | | | | | | ● | | ● | | | | |
| E001 | SITE PHOTOMETRIC PLAN | ● | | ● | | | | | | ● | | | | |
| E101 | PARTIAL GARAGE PLAN - ELECTRICAL | ● | ● | | | | | ● | ● | | ● | ● | | |
| E102 | PARTIAL GARAGE PLAN - ELECTRICAL | ● | ● | | | | | ● | ● | ● | ● | ● | | |
| E103 | FIRST FLOOR PLAN AREA B - ELECTRICAL | ● | | | | | | ● | | ● | ● | ● | ● | |
| E104 | FIRST FLOOR PLAN AREAS C/D - ELECTRICAL | ● | | | | | | ● | | ● | ● | ● | | |
| E104a | PARTIAL FIRST FLOOR PLAN AREA D - LIGHTING | ● | | | | | | ● | | ● | ● | ● | | |
| E104b | PARTIAL FIRST FLOOR PLAN AREA D - LIGHTING | | | | | | | ● | | ● | | ● | | |
| E105 | FIRST FLOOR PLAN AREA E - ELECTRICAL | ● | ● | | | | | ● | | ● | ● | ● | ● | |
| E106 | SECOND FLOOR PLAN AREA B - ELECTRICAL | ● | ● | | | | | | | ● | ● | ● | | |
| E107 | SECOND FLOOR PLAN AREAS C/D - ELECTRICAL | ● | ● | | | | | | | ● | ● | ● | | |
| E108 | SECOND FLOOR PLAN AREA E - ELECTRICAL | ● | ● | | | | | | | ● | ● | | | |
| E109 | FOURTH FLOOR PLAN AREA B - ELECTRICAL | ● | ● | | | | | | | ● | ● | | | |
| E110 | FOURTH FLOOR PLAN AREAS C/D - ELECTRICAL | ● | ● | | | | | ● | | ● | ● | ● | | |
| E110a | PARTIAL FOURTH FLOOR PLAN - AREA C/D - LIGHTING | | | | | | | ● | | ● | ● | | | |
| E111 | FOURTH FLOOR PLAN AREA E ELECTRICAL | ● | ● | | | | | | | ● | ● | | | |
| E112 | ROOF FLOOR PLAN AREA B - ELECTRICAL | ● | ● | | | | | | | | | ● | ● | |
| E113 | ROOF FLOOR PLAN AREA D - ELECTRICAL | ● | ● | | | | | | | ● | | ● | | |
| E114 | ROOF FLOOR PLAN AREA E - ELECTRICAL | ● | ● | | | | | | | | | ● | ● | |
| E201 | TYPICAL UNIT PLANS - ELECTRICAL | ● | ● | | | | | ● | | ● | ● | | | |
| E202 | TYPICAL UNIT PLANS - ELECTRICAL | ● | ● | | | | | ● | | ● | ● | | | |
| E203 | TYPICAL UNIT PLANS - ELECTRICAL | ● | ● | | | | | ● | | ● | ● | | | |
| E301 | ELECTRICAL DETAILS | ● | | | | | | | | | | | | |
| E302 | ELECTRICAL DETAILS | ● | ● | | | | | | | | | | | |
| E303 | ELECTRICAL DETAILS | ● | | | | | | | | | | | | |
| E304 | ELECTRICAL DISTRIBUTION RISER DIAGRAM | ● | ● | | | | | | | ● | | | ● | |
| E305 | ELECTRICAL SCHEDULES | ● | | | | | | | | ● | ● | | | |
| E306 | ELECTRICAL SCHEDULES | ● | ● | | | | | ● | | ● | | ● | | |
| E307 | ELECTRICAL SCHEDULES | ● | ● | | | | | ● | | ● | | ● | | |
| T101 | GARAGE PLAN TELECOM | ● | | | | | | | | | | | | |
| T102 | FIRST FLOOR PLAN - TELECOM | ● | | | | | | | | | | ● | | |
| T103 | SECOND FLOOR - TELECOM | ● | | | | | | | | | | | | |
| T104 | FOURTH FLOOR - TELECOM | ● | | | | | | | | | | | | |
| T201 | TELECOM DETAILS | ● | | | | | | | | | | | ● | |

RELEASE FOR CONSTRUCTION
AS NOTED ON PLANS REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
04/08/2021

3.31.2021

ARCHITECT
TR¡ ARCHITECTS

STRUCTURAL ENGINEER
BOB D CAMPBELL & COMPANY

CIVIL ENGINEER
RENAISSANCE INFRASTRUCTURE CONSULTING

GENERAL CONTRACTOR
BRINKMANN CONSTRUCTORS

MECHANICAL ENGINEER
LATIMER SOMMERS & ASSOCIATES

PLUMBING ENGINEER
LATIMER SOMMERS & ASSOCIATES

ELECTRICAL ENGINEER
LATIMER SOMMERS & ASSOCIATES

Pearl COMPANIES

# Summit at West Pryor

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**DATE:** 7.29.19

**REVISIONS**

| | | |
|---|---|---|
| | SHELL PACKAGE | 7.29.19 |
| 1 | BUILDING PERMIT COMMENTS | 9.6.19 |
| 2 | FDP RESUBMITTAL | 9.11.19 |
| 3 | BUILDING PERMIT COMMENTS 2 | 9.12.19 |
| 4 | STRUCTURAL REVISION | 10.16.19 |
| 5 | STRUCTURAL REVISION 2 | 11.7.19 |
| 6 | REVISION 1 | 12.20.19 |
| 7 | REVISION 2 | 1.24.20 |
| 8 | REVISION 3 | 4.3.2020 |
| 9 | REVISION 4 | 4.24.2020 |
| 10 | REVISION 5 | 7.2.2020 |
| 11 | REVISION 6 | 10.30.2020 |
| 12 | TENANT FINISH | 3.31.2021 |

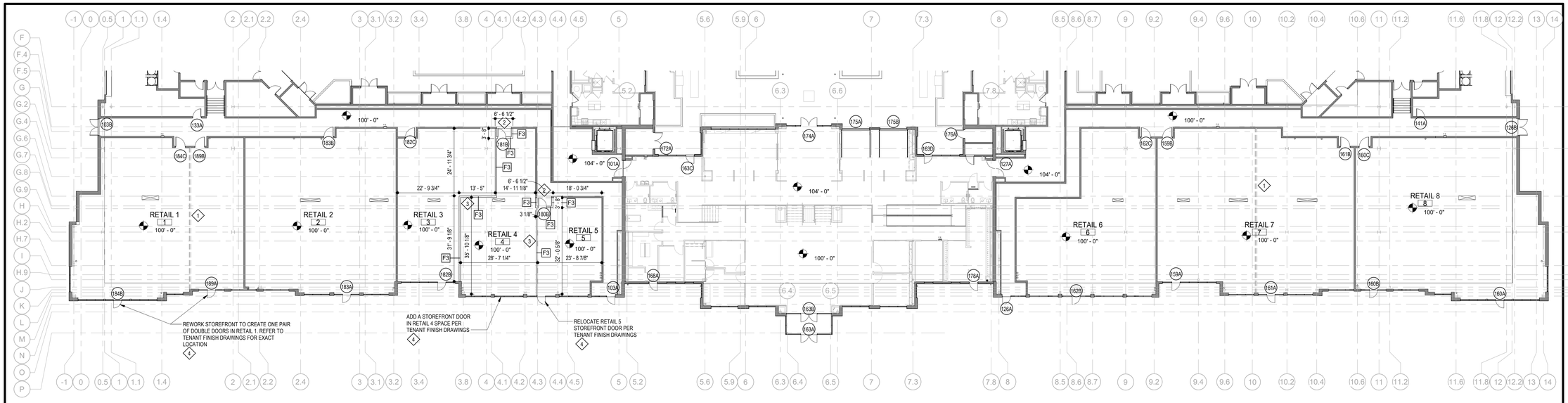
**DWG BY** MKSS

**TR¡ PROJECT NO.** 18-046

**SHEET NO.**

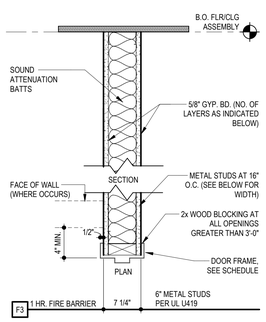
A001

**SHEET INDEX**




## 1 FIRST FLOOR PLAN

SCALE: 1/16" = 1'-0"



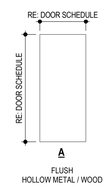

## 4 PARTITION TYPE

SCALE: 1 1/2" = 1'-0"

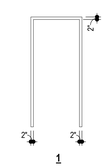
### DOOR SCHEDULE FIRST FLOOR RETAIL REWORK

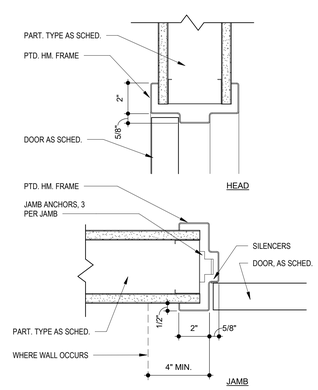
| DOORS | | | | | | | | FRAMES | | | | | |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| NO. | TYPE | MAT'L. | WIDTH | HEIGHT | HRDWRE SET | LABEL | REMARKS | TYPE | MAT'L. | HEAD | JAMBS | SILL | LABEL |
| 180B | A | WD | 3' - 0" | 7' - 0" | E3 | 45 MIN | - | 1 | HM | 16/A500 | 16/A500 | - | 45 MIN |
| 181B | A | WD | 3' - 0" | 7' - 0" | E3 | 45 MIN | - | 1 | HM | 16/A500 | 16/A500 | - | 45 MIN |

## DOOR TYPE




## DOOR FRAME TYPE




## 16 DOOR HEAD / JAMB DETAIL

SCALE: 3" = 1'-0"

## KEYED NOTES ◇

1. DEMO DEMISING WALL TO COMBINE RETAIL SPACES
2. DEMO PORTION OF CORRIDOR WALL FOR NEW BACK OF HOUSE EXIT FROM RETAIL SPACE
3. NEW WALL TO DIVIDE RETAIL SPACES
4. STOREFRONT SYSTEM AND GLAZING TO MATCH EXISTING SYSTEM.

   GLASS TYPES: TYPE 1 - 1/4" Clear Solarban 60 (2) - 1/2" Black AS - 1/4" Clear ANN/ANN
   TYPE 2 - 1/4" Clear Solarban 60 (2) - 1/2" Black AS - 1/4" Clear TE/TE
   STOREFRONT: Manko 2450FS BLACK ANODIZED STOREFRONT
   STOREFRONT DOORS: Manko Series 135i STOREFRONT DOOR

## GENERAL NOTES

A. THE ARCHITECT ASSUMES THE GENERAL CONTRACTOR HAS INCLUDED IN HIS BID THE HIGHEST QUALITY AND GREATEST QUANTITY FOR THE PURPOSE OF RESOLVING ANY CONFLICTS IN THE CONSTRUCTION DOCUMENTS WHICH ARE IMPLIED OR UNDEFINED.

B. FIRE RETARDANT TREATED WOOD PERMITTED TO BE USED IN LOCATIONS SPECIFIED IN TABLE 602, NOTE D AND SECTION 603.2 AND 2310.0. VERIFY SECTIONS IN 2009 IBC.

C. FOR RETAIL SHOPS, COORDINATE WITH G.C. AND OWNER FOR FINAL TENANT DOOR QUANTITIES AND LOCATIONS.

D. ALL DIMENSIONS ARE TO FINISH FACE OF WALL

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TR,i ARCHITECTS — ARCHITECT
BOB D CAMPBELL & COMPANY — STRUCTURAL ENGINEER
RENAISSANCE INFRASTRUCTURE CONSULTING — CIVIL ENGINEER
BRINKMANN CONSTRUCTORS — GENERAL CONTRACTOR
LATIMER SOMMERS & ASSOCIATES — MECHANICAL ENGINEER
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LATIMER SOMMERS & ASSOCIATES — ELECTRICAL ENGINEER

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DATE: 7.29.19

REVISIONS

| | | |
|---|---|---|
| 12 | TENANT FINISH | 3.31.2021 |

DWG BY MKSS
TR,i PROJECT NO. 18-046
SHEET NO. A500
RETAIL TENANT REWORK

RELEASE FOR CONSTRUCTION
AS NOTED ON PLANS REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
04/08/2021

1. ALL DRAIN, WASTE AND VENT PIPING IS 2" UNLESS NOTED OTHERWISE.
2. ALL BELOW SLAB SUPPLY PIPING SHALL BE PEX WITH NO JOINTS. DHW BELOW SLAB TO BE INSULATED TO R-3.
3. DHW PIPING 3/4" AND LARGER TO BE INSULATED TO R-3 MINIMUM
4. ALL SUPPLY PIPING IS 1/2" UNLESS NOTED OTHERWISE.
5. CONNECT ALL APPLIANCES OR EQUIPMENT PER MANUFACTURERS INSTRUCTIONS.
6. ALL PLUMBING VENTS SHALL BE 10 FEET FROM OPENINGS OR INTAKE.
7. THERE SHALL BE NO PVC WITHIN RETURN AIR PLENUMS.
8. ALL FIXTURES WITH QUICK CLOSING VALVES SHALL HAVE FIXTURE OR BLADDER TYPE SHOCK SUPPRESSORS FOR EACH CHASE.
9. SEE ARCHITECTURAL DRAWINGS FOR ALL MOUNTING HEIGHTS.
10. REFER TO THE ARCHITECTURAL DRAWINGS FOR FLOOR DRAIN LOCATIONS AND FLOOR SLOPES IF PRESENT.
11. ROUTE DRAIN PIPING FROM WATER HEATERS, AIR HANDLERS OR EQUIPMENT TO FLOOR DRAINS. PROVIDE PROPER TRAPS.
12. ROUTE NO PIPING OVER ELECTRICAL EQUIPMENT.
13. ALL WASTE AND ROOF DRAIN STACKS SHALL HAVE CLEANOUTS AT THE BASE.

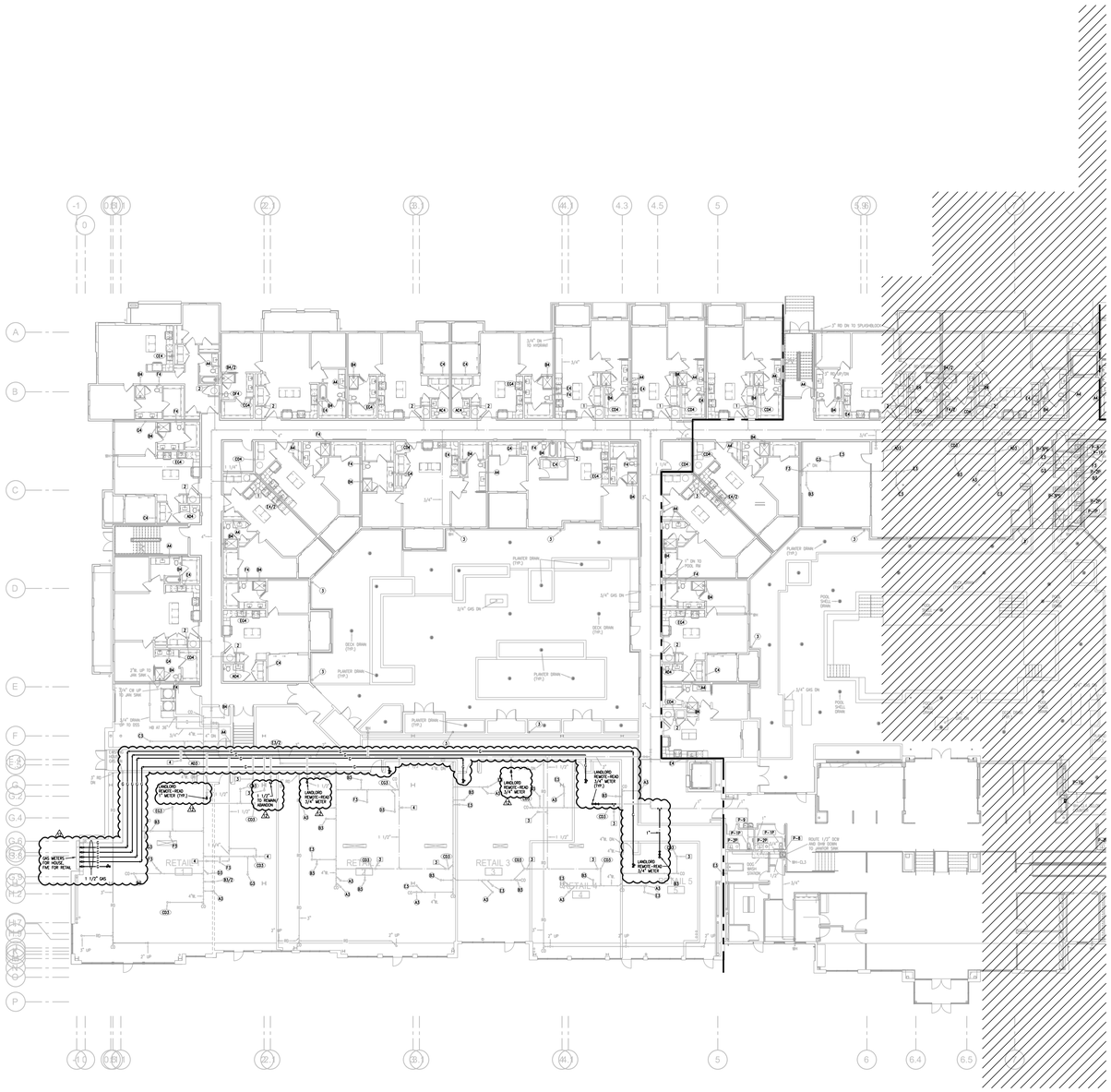
1. 3"V. UP TO RISER FOR FUTURE CONNECTION.
2. 6" UP TO DOWNSPOUT CONNECTION.
3. DOWNSPOUT CONNECTION. 6" DOWN TO GARAGE.
4. PENETRATE BEAM PER STRUCTURAL DETAIL.

STATE OF MISSOURI
RICHARD R. BLANCHCRE
NUMBER
PROFESSIONAL ENGINEER
3-31-21

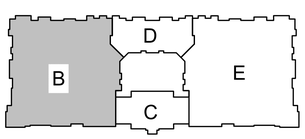
| | |
|---|---|
| TR.i ARCHITECTS | ARCHITECT |
| BOB D CAMPBELL & COMPANY | STRUCTURAL ENGINEER |
| RENAISSANCE INFRASTRUCTURE CONSULTING | CIVIL ENGINEER |
| BRINKMANN CONSTRUCTORS | GENERAL CONTRACTOR |
| LATIMER SOMMERS & ASSOCIATES | MECHANICAL ENGINEER |
| LATIMER SOMMERS & ASSOCIATES | PLUMBING ENGINEER |
| LATIMER SOMMERS & ASSOCIATES | ELECTRICAL ENGINEER |

Pearl COMPANIES

# Summit at West Pryor




1 **FIRST FLOOR PLAN - AREA B**
3/32"=1'-0"
PLUMBING
NORTH




**KEY PLAN**
NO SCALE
NORTH

LS&A
Latimer Sommers & Associates, P.A.
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3639 SW Summerfield Drive, Suite A
Topeka, Kansas 66614-3974
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FAX: (785) 233-0647
Email: lsapa@lsapa.com
LSA PROJECT NO. 1904023

TRi ARCHITECTS

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www.triarchitects.com

**DATE:** 09.12.19

**REVISIONS**

| # | | |
|---|---|---|
| 1 | TENANT FINISH | 3.31.2021 |

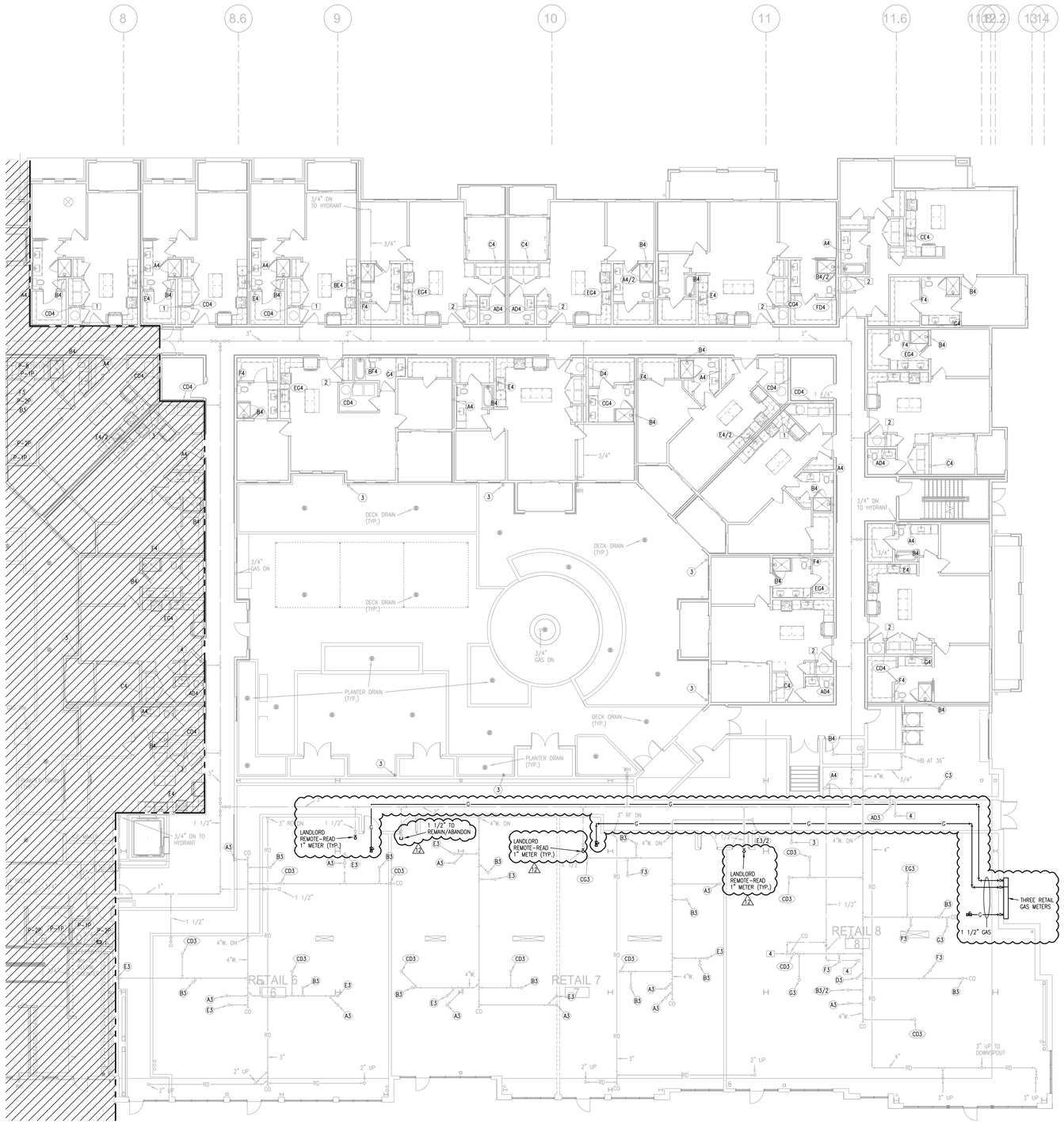
**DWG BY** RRB

**TR.i PROJECT NO.** 18-046

**SHEET NO.**

P105

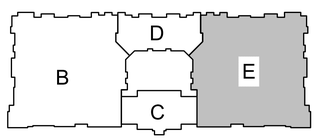
**FIRST FLOOR PLAN - AREA B - PLUMBING**




1 **FIRST FLOOR PLAN - AREA E**
3/32"=1'-0"
PLUMBING
NORTH

1. ALL DRAIN, WASTE AND VENT PIPING IS 2" UNLESS NOTED OTHERWISE.
2. ALL BELOW SLAB SUPPLY PIPING SHALL BE PEX WITH NO JOINTS. DHW BELOW SLAB TO BE INSULATED TO R-3.
3. DHW PIPING 3/4" AND LARGER TO BE INSULATED TO R-3 MINIMUM
4. ALL SUPPLY PIPING IS 1/2" UNLESS NOTED OTHERWISE.
5. CONNECT ALL APPLIANCES OR EQUIPMENT PER MANUFACTURERS INSTRUCTIONS.
6. ALL PLUMBING VENTS SHALL BE 10 FEET FROM OPENINGS OR INTAKE.
7. THERE SHALL BE NO PVC WITHIN RETURN AIR PLENUMS.
8. ALL FIXTURES WITH QUICK CLOSING VALVES SHALL HAVE FIXTURE OR BLADDER TYPE SHOCK SUPPRESSORS FOR EACH CHASE.
9. SEE ARCHITECTURAL DRAWINGS FOR ALL MOUNTING HEIGHTS.
10. REFER TO THE ARCHITECTURAL DRAWINGS FOR FLOOR DRAIN LOCATIONS AND FLOOR SLOPES IF PRESENT.
11. ROUTE DRAIN PIPING FROM WATER HEATERS, AIR HANDLERS OR EQUIPMENT TO FLOOR DRAINS. PROVIDE PROPER TRAPS.
12. ROUTE NO PIPING OVER ELECTRICAL EQUIPMENT.
13. ALL WASTE AND ROOF DRAIN STACKS SHALL HAVE CLEANOUTS AT THE BASE.

1. 3"V. UP TO RISER FOR FUTURE CONNECTION.
2. 6" UP TO DOWNSPOUT CONNECTION.
3. DOWNSPOUT CONNECTION. 6" DOWN TO GARAGE.
4. PENETRATE BEAM PER STRUCTURAL DETAIL.




**KEY PLAN**
NO SCALE
NORTH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LSA PROJECT NO. 1904023

RELEASE FOR CONSTRUCTION
AS NOTED ON PLANS REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
03/08/2021

STATE OF MISSOURI
RICHARD R. BEARMORE
PROFESSIONAL ENGINEER
3-31-21

| | |
|---|---|
| TR.i ARCHITECTS | ARCHITECT |
| BOB D CAMPBELL & COMPANY | STRUCTURAL ENGINEER |
| RENAISSANCE INFRASTRUCTURE CONSULTING | CIVIL ENGINEER |
| BRINKMANN CONSTRUCTORS | GENERAL CONTRACTOR |
| LATIMER SOMMERS & ASSOCIATES | MECHANICAL ENGINEER |
| LATIMER SOMMERS & ASSOCIATES | PLUMBING ENGINEER |
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Pearl COMPANIES

# Summit at West Pryor

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www.traiarchitects.com



**DATE:** 09.12.19

**REVISIONS** 2

| | |
|---|---|
| 12 TENANT FINISH | 3.31.2021 |

**DWG BY** RRB

**TR.i PROJECT NO.** 18-046

**SHEET NO.**

P107

**FIRST FLOOR PLAN - AREA E - PLUMBING**

RELEASE FOR CONSTRUCTION
AS NOTED ON PLANS REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
04/08/2021

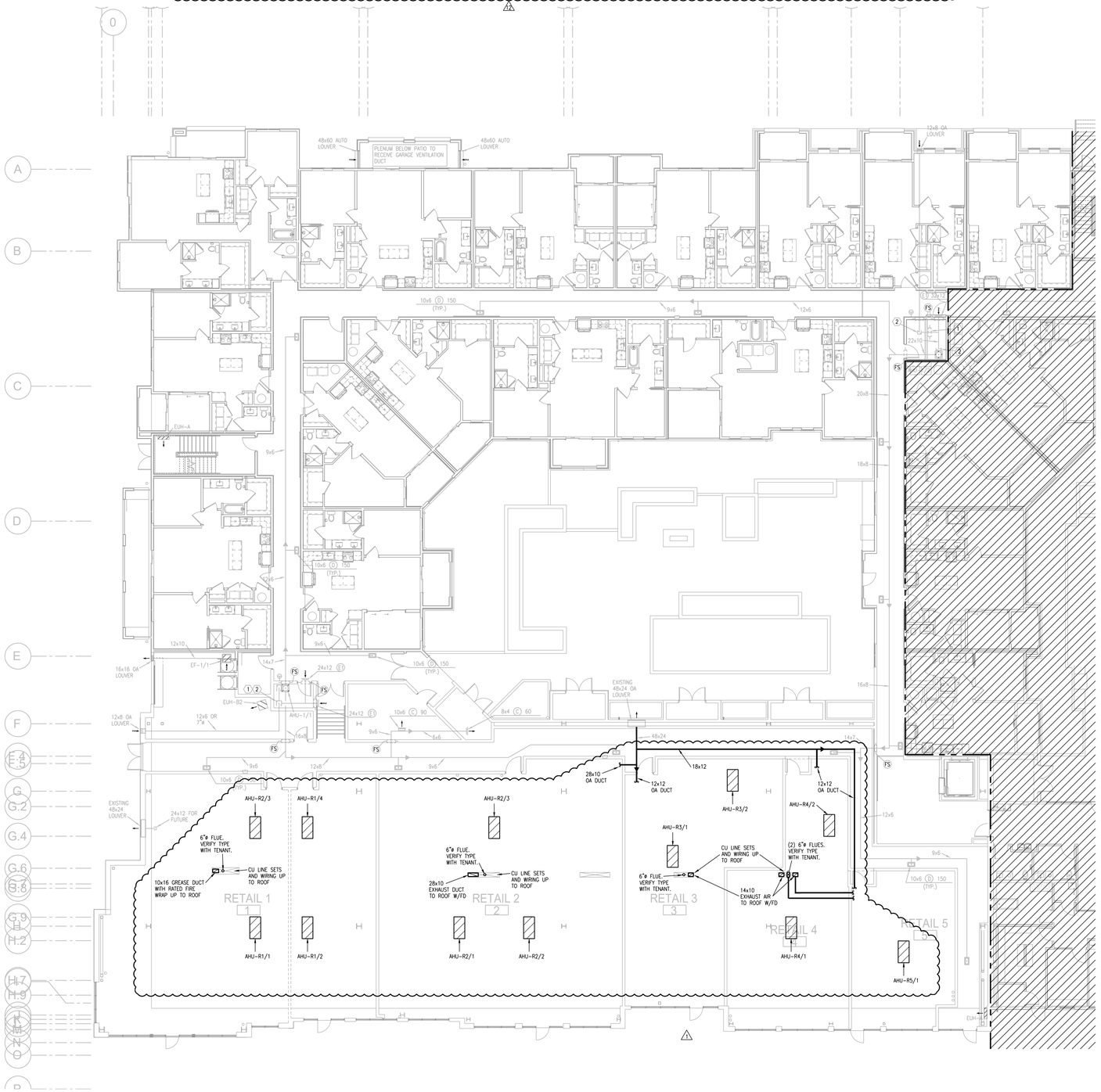
## HVAC SYSTEM SCHEDULE

| MARK | MFGR | NOM TON | AHU MODEL | CFM | OA CFM | E.S.P. | HP | SMBH | TMBH | HEAT CAP | ELEC | FLA | OCP | OUTDOOR UNIT MFGR | MODEL | ELEC | FLA | OCP | SEER | NOTES |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| R1/2, R1/3, R1/4, R2/2, R2/3, R2/4, R4/2, R8/2, R8/3, R8/4 | GOODMAN | 4 | ARUF61D14 | 1600 | TBD | 0.5 | 0.75 | 41 | 57.5 | 11.4 KW | 208/1 | 57 | 70 | GOODMAN | GSX14-0481 | 208/1 | 21 | 45 | 14.0 | |
| R1/1, R2/1, R5/1, R6/1, R6/2, R7/1, R7/2, R7/3, R8/1 | GOODMAN | 5 | ARUF61D14 | 1850 | TBD | 0.5 | 0.75 | 41 | 57.5 | 11.4 KW | 208/1 | 57 | 70 | GOODMAN | GSX14-0601 | 208/1 | 26.3 | 50 | 14.0 | |
| R6/3 | GOODMAN | 2 | ARUF25B14 | 600-800 | 100 | 0.5 | 0.33 | 17.0 | 23.2 | 7.5 KW | 208/1 | 40 | 50 | GOODMAN | GSX14025 | 208/1 | 14 | 25 | 14.0 | |
| R3/1, R3/2, R4/1 | GOODMAN | 3 | ARUF-37C14 | 1350 | TBD | 0.4 | FR | 25.8 | 33 | 7.5 KW | 208/1 | 40 | 50 | GOODMAN | GSX14-037 | 208/1 | 15 | 30 | 14.0 | |

NOTE: PROVIDE LONG LINE ACCESSORY KIT ON ALL SPLIT SYSTEMS THAT EXCEED MFGR'S LIMITS

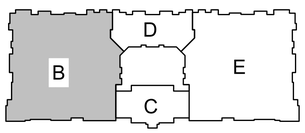
NOTES:

1. AHU POSITIONS TO BE VERIFIED WITH TENANTS.




1 FIRST FLOOR PLAN - AREA B
3/32"=1'-0"
HVAC

NORTH




KEY PLAN
NO SCALE

NORTH

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LSA PROJECT NO. 1904023

STATE OF MISSOURI
RICHARD R. BLAKEMORE
NUMBER
PROFESSIONAL ENGINEER
3-31-21

| | |
|---|---|
| ARCHITECT | TR,I ARCHITECTS |
| STRUCTURAL ENGINEER | BOB D CAMPBELL & COMPANY |
| CIVIL ENGINEER | RENAISSANCE INFRASTRUCTURE CONSULTING |
| GENERAL CONTRACTOR | BRINKMANN CONSTRUCTORS |
| MECHANICAL ENGINEER | LATIMER SOMMERS & ASSOCIATES |
| PLUMBING ENGINEER | LATIMER SOMMERS & ASSOCIATES |
| ELECTRICAL ENGINEER | LATIMER SOMMERS & ASSOCIATES |

Pearl COMPANIES

# Summit at West Pryor

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DATE: 09.12.19

REVISIONS

| # | | |
|---|---|---|
| 1 | TENANT FINISH | 3.31.2021 |

DWG BY RRB

TR,I PROJECT NO. 18-046

SHEET NO.

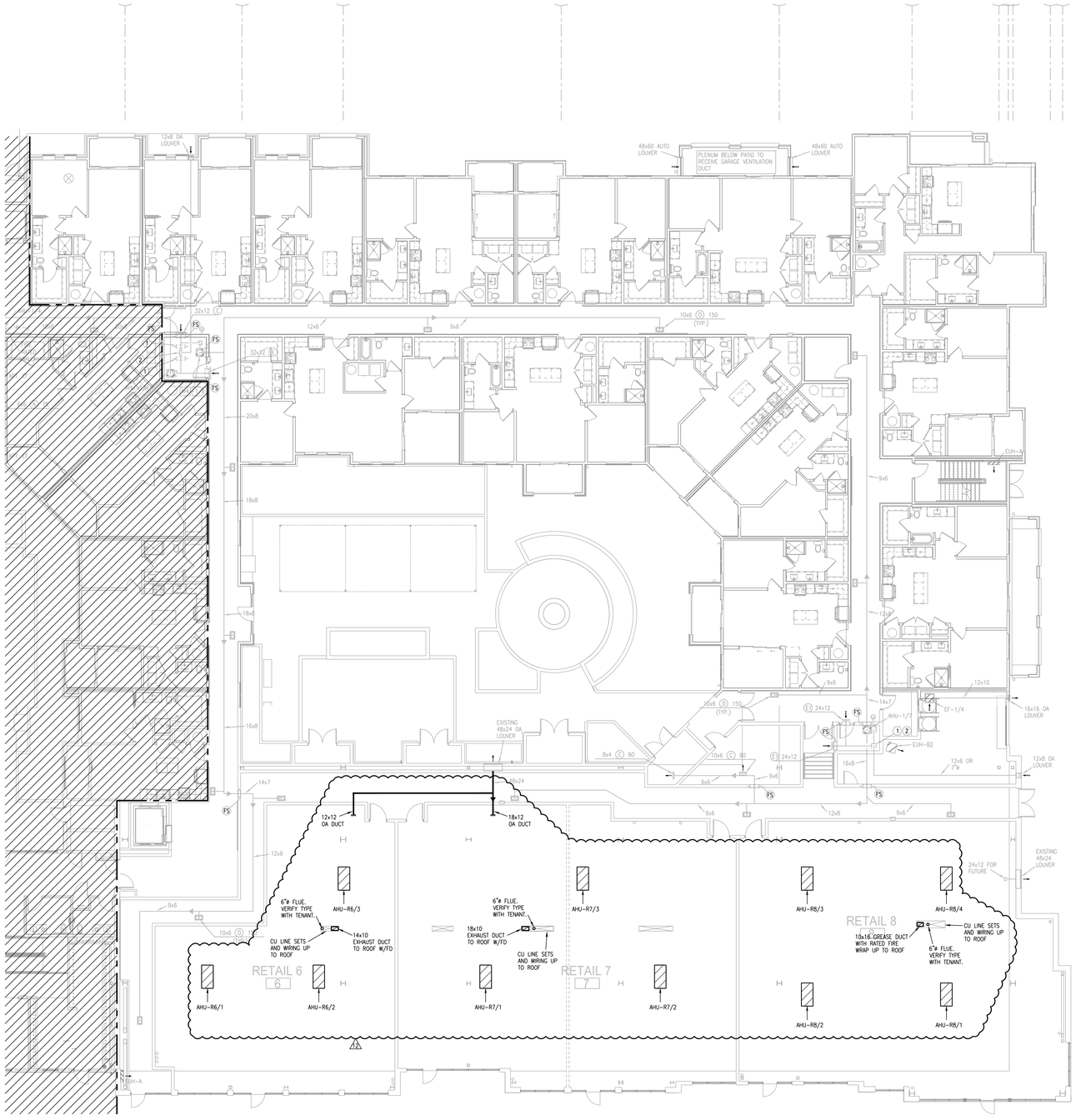
M103

FIRST FLOOR PLAN - AREA B - HVAC

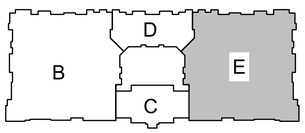
RELEASE FOR CONSTRUCTION
AS NOTED ON PLANS REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
04/08/2021

NOTES:

1. AHU POSITIONS TO BE VERIFIED WITH TENANTS.




1 **FIRST FLOOR PLAN - AREA E**
3/32"=1'-0" HVAC
NORTH




**KEY PLAN**
NO SCALE
NORTH

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LSA PROJECT NO. 1904023

STATE OF MISSOURI
RICHARD R. BEARDMORE
NUMBER
PROFESSIONAL ENGINEER
3-31-21

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|---|---|
| ARCHITECT | TR,I ARCHITECTS |
| STRUCTURAL ENGINEER | BOB D CAMPBELL & COMPANY |
| CIVIL ENGINEER | RENAISSANCE INFRASTRUCTURE CONSULTING |
| GENERAL CONTRACTOR | BRINKMANN CONSTRUCTORS |
| MECHANICAL ENGINEER | LATIMER SOMMERS & ASSOCIATES |
| PLUMBING ENGINEER | LATIMER SOMMERS & ASSOCIATES |
| ELECTRICAL ENGINEER | LATIMER SOMMERS & ASSOCIATES |

Pearl COMPANIES

# Summit at West Pryor

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www.trarchitects.com



**DATE:** 09.12.19

**REVISIONS** 1 TENANT FINISH 3.31.2021

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**TR,I PROJECT NO.** 18-046

**SHEET NO.**

M105

**FIRST FLOOR PLAN - AREA E - HVAC**

RELEASE FOR CONSTRUCTION
AS NOTED ON PLANS REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
04/08/2021

NOTES:

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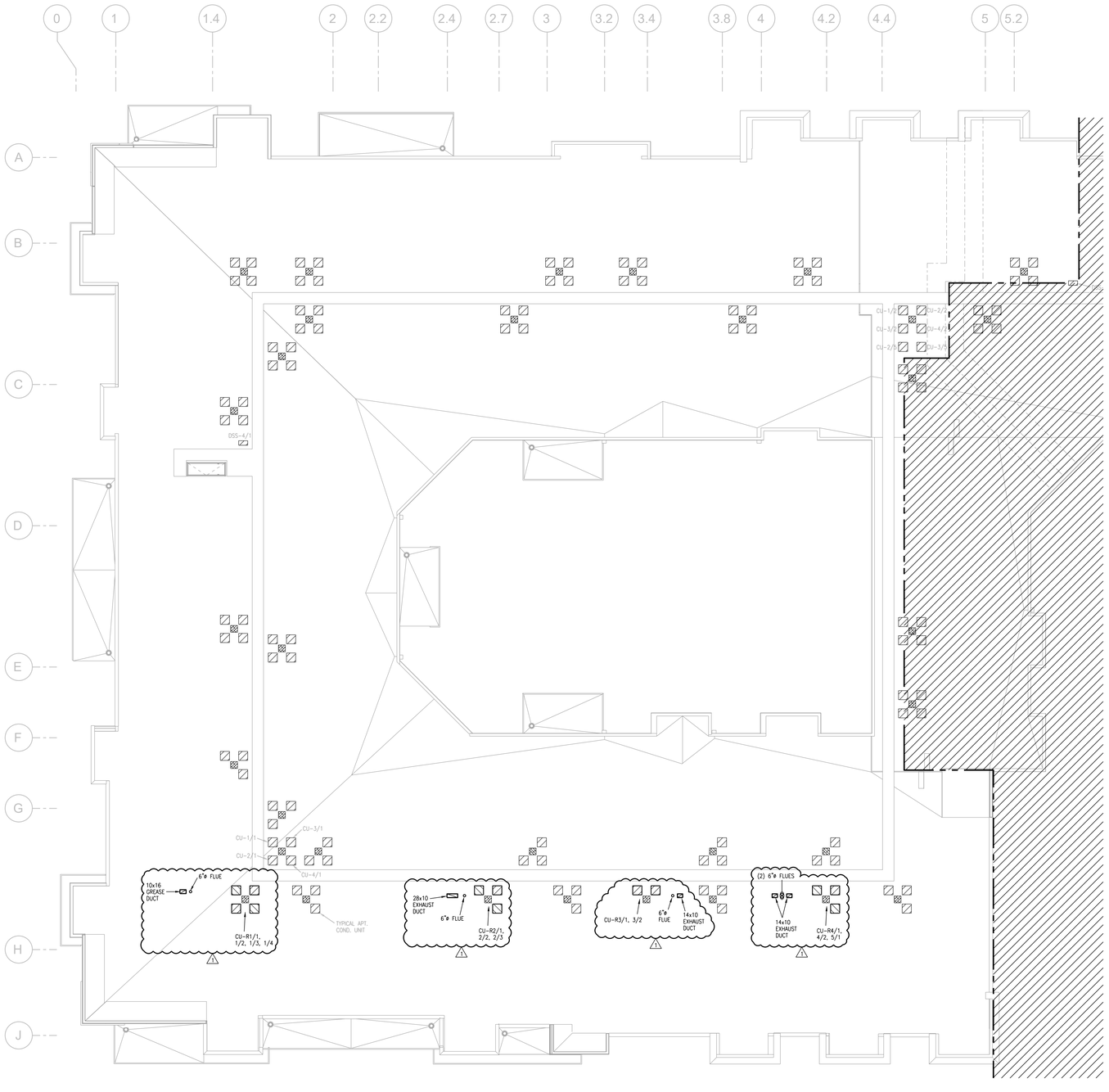
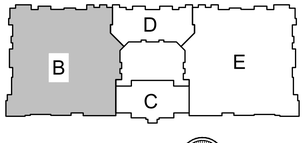



1 **ROOF PLAN - AREA B**
3/32"=1'-0" HVAC
NORTH




**KEY PLAN**
NO SCALE
NORTH

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3639 SW Summerfield Drive, Suite A
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LSA PROJECT NO. 1904023

STATE OF MISSOURI
RICHARD R. BLANCHCRE
NUMBER
PROFESSIONAL ENGINEER
3-31-21

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| ARCHITECT | TR,I ARCHITECTS |
| STRUCTURAL ENGINEER | BOB D CAMPBELL & COMPANY |
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| MECHANICAL ENGINEER | LATIMER SOMMERS & ASSOCIATES |
| PLUMBING ENGINEER | LATIMER SOMMERS & ASSOCIATES |
| ELECTRICAL ENGINEER | LATIMER SOMMERS & ASSOCIATES |

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**DATE:** 09.12.19

**REVISIONS** 1

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|---|---|
| 1 TENANT FINISH | 3.31.2021 |

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**TR,i PROJECT NO.** 18-046

**SHEET NO.**

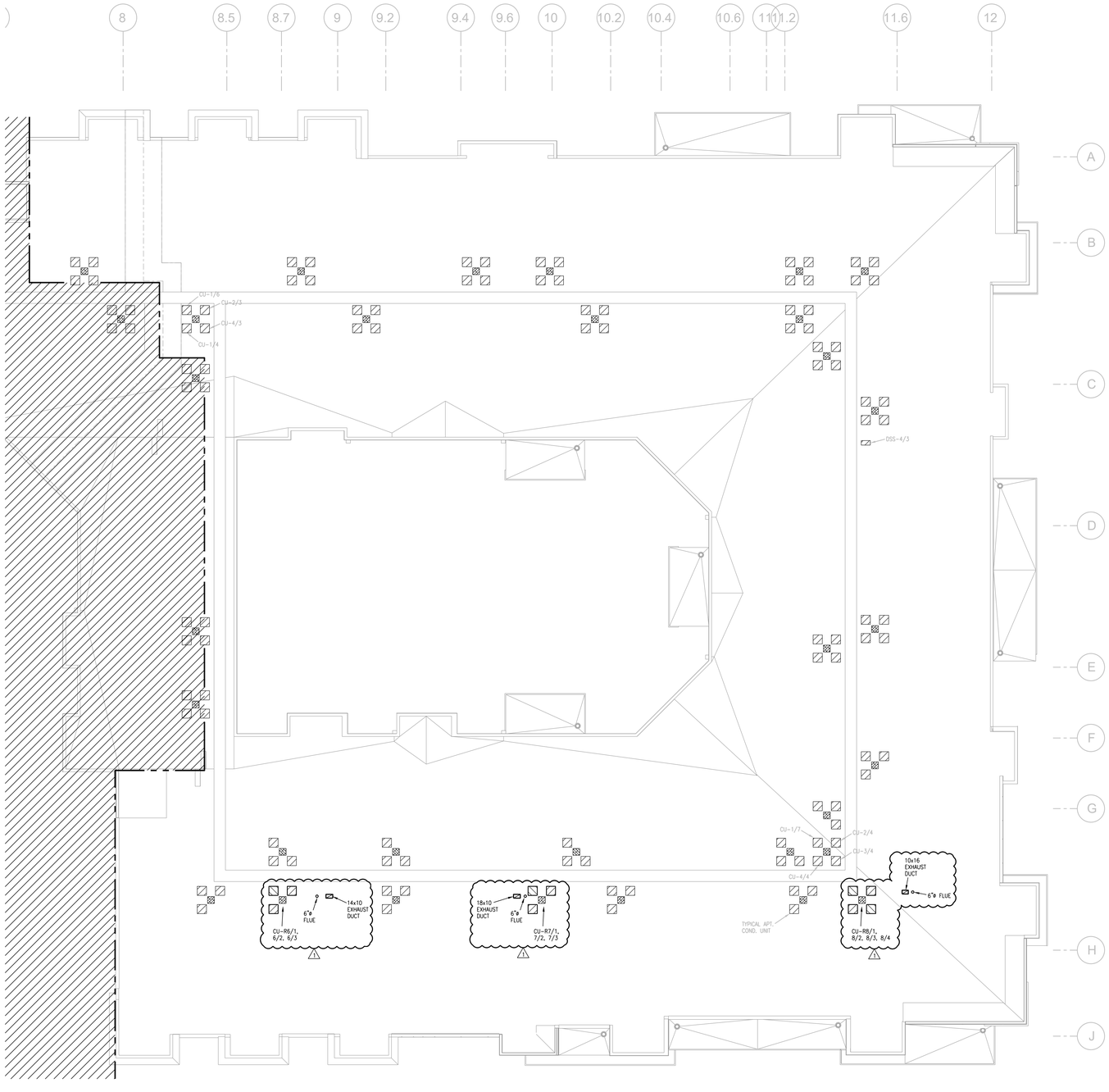
M112

**ROOF PLAN - AREA B - HVAC**

RELEASE FOR CONSTRUCTION
AS NOTED ON PLANS REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
04/08/2021

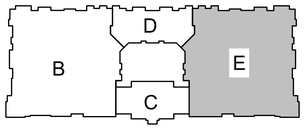
NOTES:

1. AHU POSITIONS TO BE VERIFIED WITH TENANTS.




1 **ROOF PLAN - AREA E**
3/32"=1'-0" HVAC

NORTH




**KEY PLAN**
NO SCALE

NORTH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STATE OF MISSOURI
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| MECHANICAL ENGINEER | LATIMER SOMMERS & ASSOCIATES |
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| ELECTRICAL ENGINEER | LATIMER SOMMERS & ASSOCIATES |

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**REVISIONS** 1

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| 1 | TENANT FINISH | 3.31.2021 |

**DWG BY** RRB

**TR,I PROJECT NO.** 18-046

**SHEET NO.**

M114

**ROOF PLAN - AREA E - HVAC**

RELEASE FOR CONSTRUCTION
AS NOTED ON PLANS REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
04/08/2021

1. ALL ● ARE TYPE "A" UNLESS NOTED OTHERWISE.
2. ALL STAIR LIGHTS ARE TYPE "L1" UNLESS NOTED OTHERWISE.
3. ALL ✖ ARE TYPE "X1" UNLESS NOTED OTHERWISE.
4. ALL ✖ ARE TYPE "X2" UNLESS NOTED OTHERWISE.
5. ALL ✖ ARE TYPE "X5" UNLESS NOTED OTHERWISE.
6. CONNECT FIRE/SMOKE DAMPERS SHOWN ON MECHANICAL PLANS TO 120V. AND FIRE ALARM RELAY TO SHUT UPON SMOKE DETECTION IN CORRIDORS.
7. SEE UNIT PLANS FOR FURTHER WORK.
8. LIGHTS AT APT. ENTRY DOORS CONNECT TO APT. HOT CIRCUIT.
9. ALL AHU'S HAVE AUTO DAMPER/THERMOSTAT SYSTEM TO WIRE. SEE HVAC PLANS.
10. EXIT SIGNS SHALL BE READILY VISIBLE TO OCCUPANTS.
11. EXTERIOR LIGHTING TO BE ROUTED THRU PHOTOCELL.
12. "DP-1" DENOTES DISTRIBUTION PANEL.

(1) TO LIGHTING CONTROL PANEL.

NOTES:

1. VERIFY PANEL LOCATIONS WITH TENANT PLANS.
2. PROVIDE (1) 2" CONDUIT FROM TENANT SPACE IN CHASE UP TO ROOF FOR FUTURE USE.
3. EXTERIOR DOOR/EXIT SIGN LOCATIONS MAY CHANGE.
4. CONNECT NEW FIRE ALARM DEVICES TO EXISTING HORN/STROBES UP TO 10 ADDITIONAL DEVICES.

LEGEND:

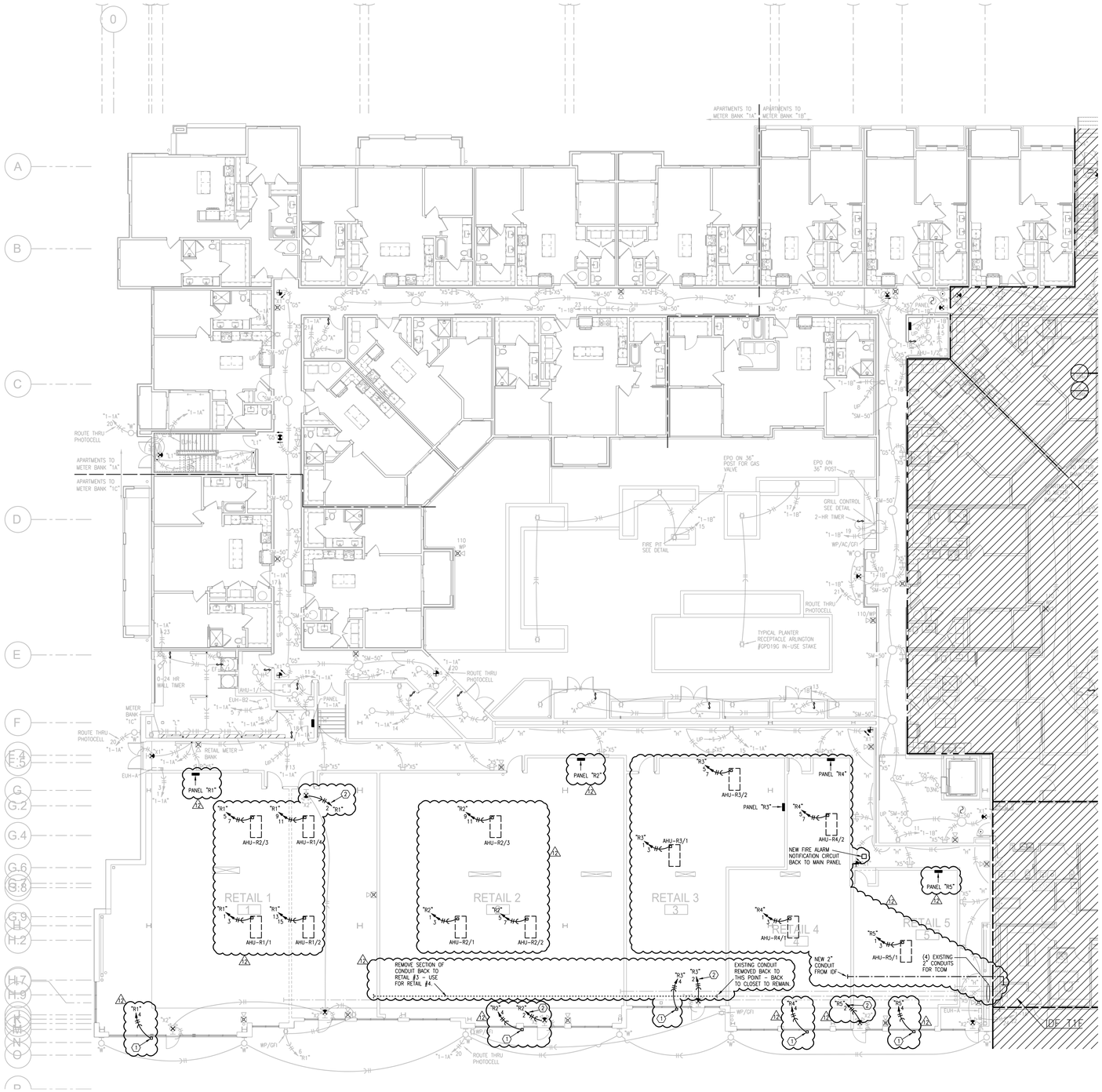
(1) JUNCTION BOX (JB) FOR SIGN WITH CIRCUIT TO TENANT PANEL.

(2) NEW HOME RUN.

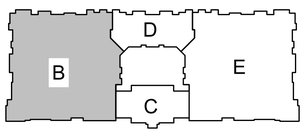
PANELBOARD SUMMARY

| MARK | QUANT | BUS AMPS | BRANCH BREAKERS |
|---|---|---|---|
| R1 | 1 | 400 | (4) 70/2, (1) 50/2, (3) 45/2, (20) 20/1 |
| R2 | 2 | 400 | (4) 70/2, (1) 50/2, (3) 45/2, (20) 20/1 |
| R3 | 1 | 200 | (2) 50/2, (2) 30/2, (20) 20/1 |
| R4 | 1 | 200 | (1) 70/2, (1) 50/2, (1) 30/2, (1) 45/2, (20) 20/1 |
| R5 | 1 | 200 | (1) 70/2, (1) 50/2, (20) 20/1 |
| R6 | 2 | 400 | (2) 70/2, (3) 50/2, (1) 25/2, (20) 20/1 |
| R7 | 1 | 400 | (3) 70/2, (3) 50/2, (20) 20/1 |
| R8 | 1 | 400 | (4) 70/2, (1) 50/2, (3) 45/2, (20) 20/1 |

NOTES: ALL PANELS ARE 120/208V 3PH 4W, MLO, 42 SPACE




1 FIRST FLOOR PLAN - AREA B
3/32"=1'-0" ELECTRICAL
NORTH




KEY PLAN
NO SCALE
NORTH

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3-31-21

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| RENAISSANCE INFRASTRUCTURE CONSULTING | CIVIL ENGINEER |
| BRINKMANN CONSTRUCTORS | GENERAL CONTRACTOR |
| LATIMER SOMMERS & ASSOCIATES | MECHANICAL ENGINEER |
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DATE: 09.12.19

REVISIONS (#)

| | | |
|---|---|---|
| 1 | TENANT FINISH | 3.31.2021 |

DWG BY RRB

TR.I PROJECT NO. 18-046

SHEET NO.

E103

FIRST FLOOR PLAN - AREA B - ELECTRICAL

RELEASE FOR CONSTRUCTION
AS NOTED ON PLANS REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
04/08/2021

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2. ALL STAIR LIGHTS ARE TYPE "L1" UNLESS NOTED OTHERWISE.
3. ALL ✖ ARE TYPE "x1" UNLESS NOTED OTHERWISE.
4. ALL ✖ ARE TYPE "x2" UNLESS NOTED OTHERWISE.
5. ALL ✖ ARE TYPE "x5" UNLESS NOTED OTHERWISE.
6. CONNECT FIRE/SMOKE DAMPERS SHOWN ON MECHANICAL PLANS TO 120V. AND FIRE ALARM RELAY TO SHUT UPON SMOKE DETECTION IN CORRIDORS.
7. SEE UNIT PLANS FOR FURTHER WORK.
8. LIGHTS AT APT. ENTRY DOORS CONNECT TO APT. HOT CIRCUIT.
9. ALL AHU'S HAVE AUTO DAMPER/THERMOSTAT SYSTEM TO WIRE. SEE HVAC PLANS.
10. EXIT SIGNS SHALL BE READILY VISIBLE TO OCCUPANTS.
11. EXTERIOR LIGHTING TO BE ROUTED THRU PHOTOCELL.
12. "DP-1" DENOTES DISTRIBUTION PANEL.

(1) TO LIGHTING CONTROL PANEL.

NOTES:

1. VERIFY PANEL LOCATIONS WITH TENANT PLANS.
2. PROVIDE (1) 2" CONDUIT FROM TENANT SPACE IN CHASE UP TO ROOF FOR FUTURE USE.
3. EXTERIOR DOOR/EXIT SIGN LOCATIONS MAY CHANGE.
4. CONNECT NEW FIRE ALARM DEVICES TO EXISTING HORN/STROBES UP TO 10 ADDITIONAL DEVICES.

LEGEND:

(1) JUNCTION BOX (JB) FOR SIGN WITH CIRCUIT TO TENANT PANEL.

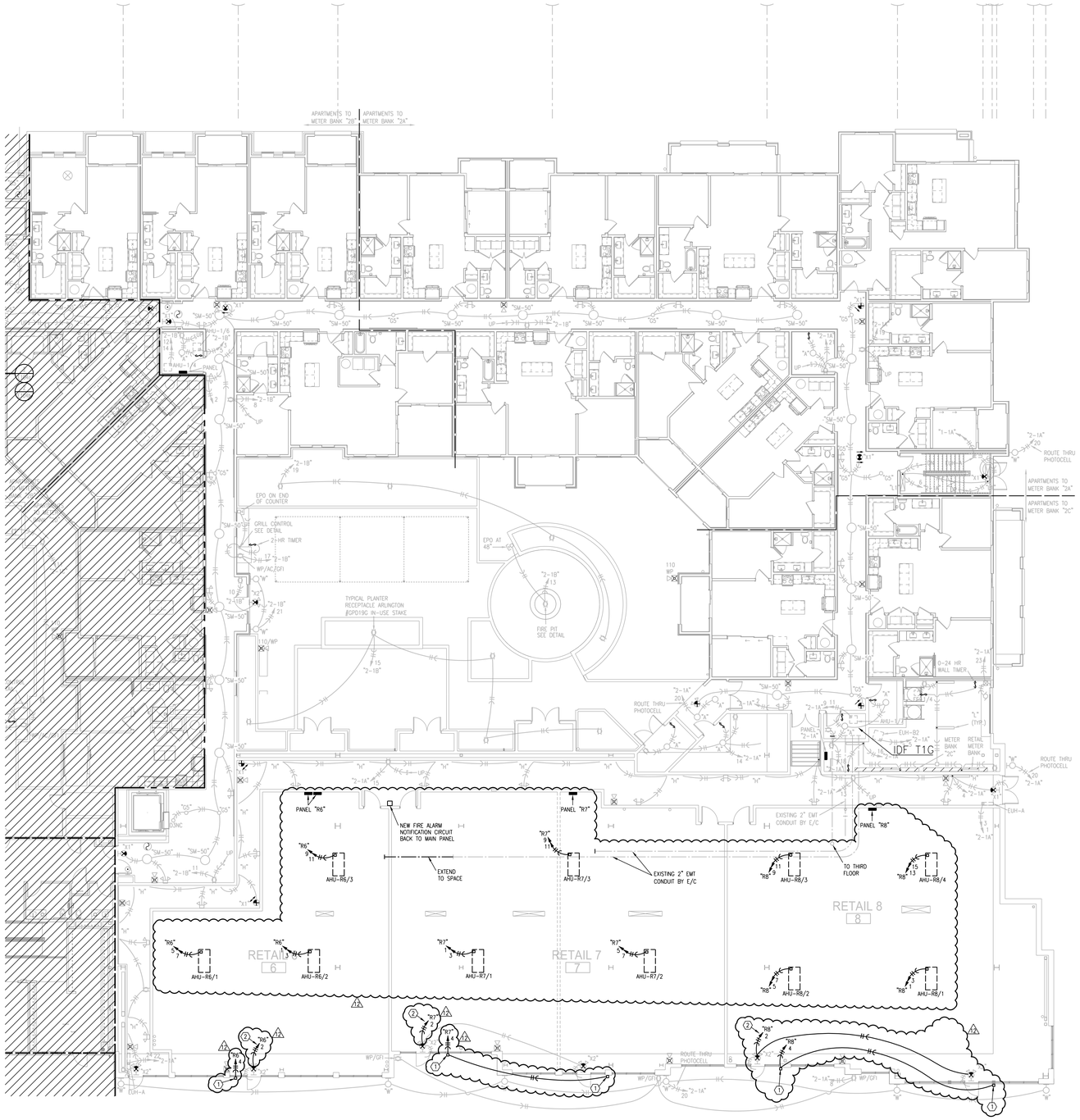
(2) NEW HOME RUN.

PANELBOARD SUMMARY

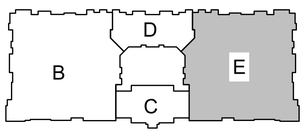
| MARK | QUANT | BUS AMPS | BRANCH BREAKERS |
|---|---|---|---|
| R1 | 1 | 400 | (4) 70/2, (1) 50/2, (3) 45/2, (20) 20/1 |
| R2 | 2 | 400 | (4) 70/2, (1) 50/2, (3) 45/2, (20) 20/1 |
| R3 | 1 | 200 | (2) 50/2, (2) 30/2, (20) 20/1 |
| R4 | 1 | 200 | (1) 70/2, (1) 50/2, (1) 30/2, (1) 45/2, (20) 20/1 |
| R5 | 1 | 200 | (1) 70/2, (1) 50/2, (20) 20/1 |
| R6 | 2 | 400 | (2) 70/2, (3) 50/2, (1) 25/2, (20) 20/1 |
| R7 | 1 | 400 | (3) 70/2, (3) 50/2, (20) 20/1 |
| R8 | 1 | 400 | (4) 70/2, (1) 50/2, (3) 45/2, (20) 20/1 |

NOTES: ALL PANELS ARE 120/208V 3PH 4W, MLO, 42 SPACE

12




1 **FIRST FLOOR PLAN - AREA E**
3/32"=1'-0" ELECTRICAL
NORTH




**KEY PLAN**
NO SCALE
NORTH

LS&A
Latimer Sommers & Associates, P.A.
CONSULTING ENGINEERS
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Topeka, Kansas 66614-3974
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FAX: (785) 233-0647
Email: lsapa@lsapa.com
LSA PROJECT NO. 1904023

STATE OF MISSOURI
RICHARD R. BLAKEMORE
NUMBER
PROFESSIONAL ENGINEER
3-31-21

| | |
|---|---|
| ARCHITECT | TR.I ARCHITECTS |
| STRUCTURAL ENGINEER | BOB D CAMPBELL & COMPANY |
| CIVIL ENGINEER | RENAISSANCE INFRASTRUCTURE CONSULTING |
| GENERAL CONTRACTOR | BRINKMANN CONSTRUCTORS |
| MECHANICAL ENGINEER | LATIMER SOMMERS & ASSOCIATES |
| PLUMBING ENGINEER | LATIMER SOMMERS & ASSOCIATES |
| ELECTRICAL ENGINEER | LATIMER SOMMERS & ASSOCIATES |

Pearl COMPANIES

# Summit at West Pryor

TRi ARCHITECTS


TRi Architects
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T: 314-395-9750
F: 314-395-9751
www.trarchitects.com



DATE: 09.12.19

REVISIONS (#)

| | |
|---|---|
| 1 TENANT FINISH | 3.31.2021 |

DWG BY RRB

TRi PROJECT NO. 18-046

SHEET NO.

E105

FIRST FLOOR PLAN - AREA E - ELECTRICAL

RELEASE FOR CONSTRUCTION
AS NOTED ON PLANS REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
04/08/2021

1. ALL ● ARE TYPE "A" UNLESS NOTED OTHERWISE.
2. ALL STAIR LIGHTS ARE TYPE "L1" UNLESS NOTED OTHERWISE.
3. ALL ✖ ARE TYPE "X1" UNLESS NOTED OTHERWISE.
4. ALL ✖ ARE TYPE "X2" UNLESS NOTED OTHERWISE.
5. ALL ✖ ARE TYPE "X5" UNLESS NOTED OTHERWISE.
6. CONNECT FIRE/SMOKE DAMPERS SHOWN ON MECHANICAL PLANS TO 120V. AND FIRE ALARM RELAY TO SHUT UPON SMOKE DETECTION IN CORRIDORS.
7. SEE UNIT PLANS FOR FURTHER WORK.
8. LIGHTS AT APT. ENTRY DOORS CONNECT TO APT. HOT CIRCUIT.
9. ALL AHU'S HAVE AUTO DAMPER/THERMOSTAT SYSTEM TO WIRE. SEE HVAC PLANS.
10. EXIT SIGNS SHALL BE READILY VISIBLE TO OCCUPANTS.
11. EXTERIOR LIGHTING TO BE ROUTED THRU PHOTOCELL.
12. "DP-1" DENOTES DISTRIBUTION PANEL.

(1) TO LIGHTING CONTROL PANEL.

NOTES:

1. VERIFY PANEL LOCATIONS WITH TENANT PLANS.
2. PROVIDE (1) 2" CONDUIT FROM TENANT SPACE IN CHASE UP TO ROOF FOR FUTURE USE.
3. EXTERIOR DOOR/EXIT SIGN LOCATIONS MAY CHANGE.
4. CONNECT NEW FIRE ALARM DEVICES TO EXISTING HORN/STROBES UP TO 10 ADDITIONAL DEVICES.

LEGEND:

(1) JUNCTION BOX (JB) FOR SIGN WITH CIRCUIT TO TENANT PANEL.

(2) NEW HOME RUN.

PANELBOARD SUMMARY

| MARK | QUANT | BUS AMPS | BRANCH BREAKERS |
|---|---|---|---|
| R1 | 1 | 400 | (4) 70/2, (1) 50/2, (3) 45/2, (20) 20/1 |
| R2 | 2 | 400 | (4) 70/2, (1) 50/2, (3) 45/2, (20) 20/1 |
| R3 | 1 | 200 | (2) 50/2, (2) 30/2, (20) 20/1 |
| R4 | 1 | 200 | (1) 70/2, (1) 50/2, (1) 30/2, (1) 45/2, (20) 20/1 |
| R5 | 1 | 200 | (1) 70/2, (1) 50/2, (20) 20/1 |
| R6 | 2 | 400 | (2) 70/2, (3) 50/2, (1) 25/2, (20) 20/1 |
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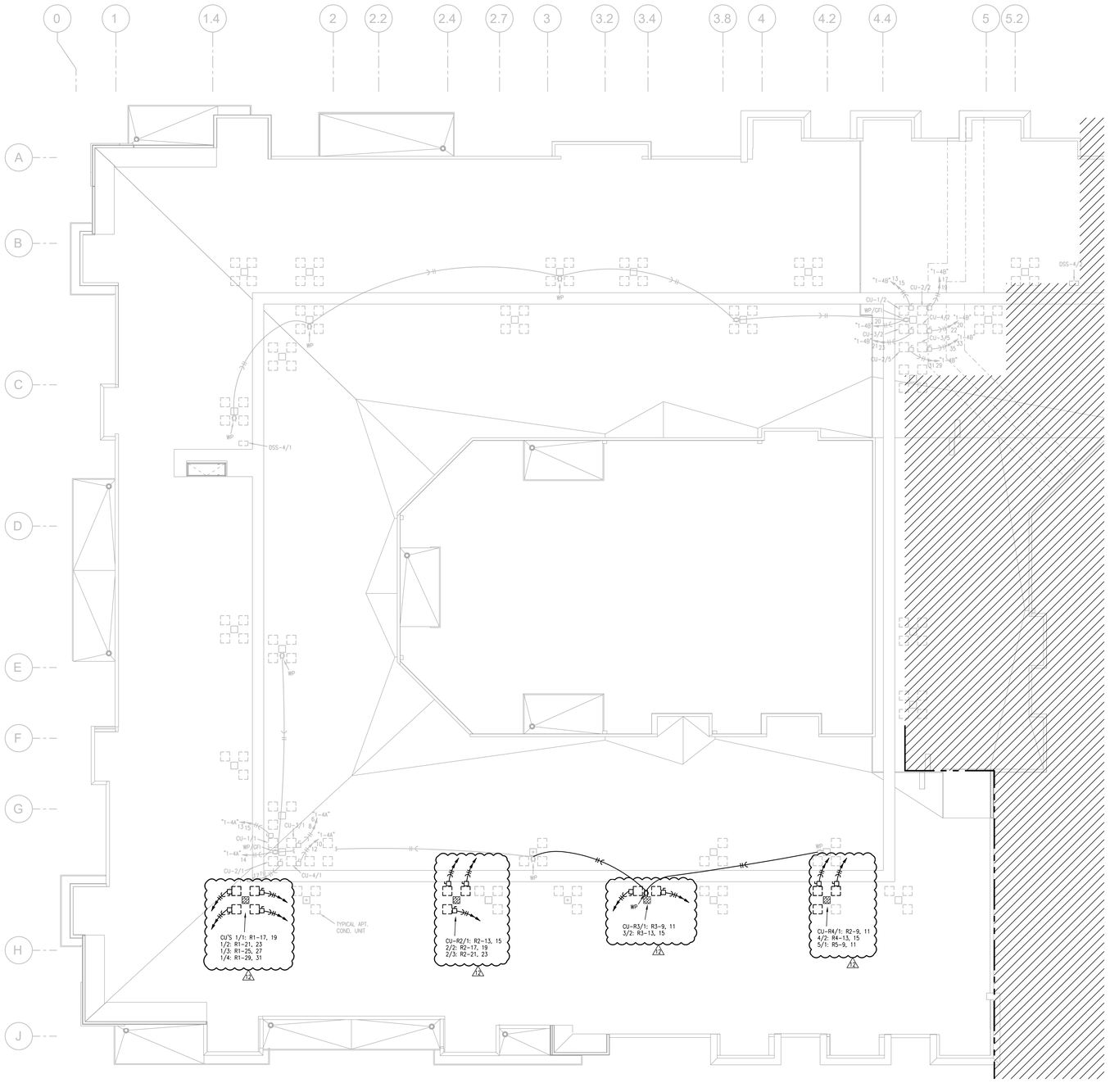
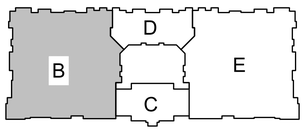
| R8 | 1 | 400 | (4) 70/2, (1) 50/2, (3) 45/2, (20) 20/1 |

NOTES: ALL PANELS ARE 120/208V 3PH 4W, MLO, 42 SPACE




(1) **ROOF PLAN - AREA B**
3/32"=1'-0" ELECTRICAL
NORTH




**KEY PLAN**
NO SCALE
NORTH

LS&A Latimer Sommers & Associates, P.A.
CONSULTING ENGINEERS
3639 SW Summerfield Drive, Suite A
Topeka, Kansas 66614-3974
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FAX: (785) 233-0647
Email: lsapa@lsapa.com
LSA PROJECT NO. 1904023

STATE OF MISSOURI
RICHARD R. BLANCHORE
NUMBER
PROFESSIONAL ENGINEER
3-31-21

| | |
|---|---|
| ARCHITECT | TR,I ARCHITECTS |
| STRUCTURAL ENGINEER | BOB D CAMPBELL & COMPANY |
| CIVIL ENGINEER | RENAISSANCE INFRASTRUCTURE CONSULTING |
| GENERAL CONTRACTOR | BRINKMANN CONSTRUCTORS |
| MECHANICAL ENGINEER | LATIMER SOMMERS & ASSOCIATES |
| PLUMBING ENGINEER | LATIMER SOMMERS & ASSOCIATES |
| ELECTRICAL ENGINEER | LATIMER SOMMERS & ASSOCIATES |

Pearl COMPANIES

# Summit at West Pryor

TR,I ARCHITECTS

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St. Louis, Missouri 63119
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F: 314-395-9751
www.triarchitects.com


**DATE:** 09.12.19

**REVISIONS** (#)

| | | |
|---|---|---|
| 1 | TENANT FINISH | 3.31.2021 |

**DWG BY** RRB

**TR,I PROJECT NO.** 18-046

**SHEET NO.**

E112

**ROOF PLAN - AREA B - ELECTRICAL**

RELEASE FOR CONSTRUCTION
AS NOTED ON PLANS REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
04/08/2021

1. ALL ● ARE TYPE "A" UNLESS NOTED OTHERWISE.
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(2) NEW HOME RUN.

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| R4 | 1 | 200 | (1) 70/2, (1) 50/2, (1) 30/2, (1) 45/2, (20) 20/1 |
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| R7 | 1 | 400 | (3) 70/2, (3) 50/2, (20) 20/1 |
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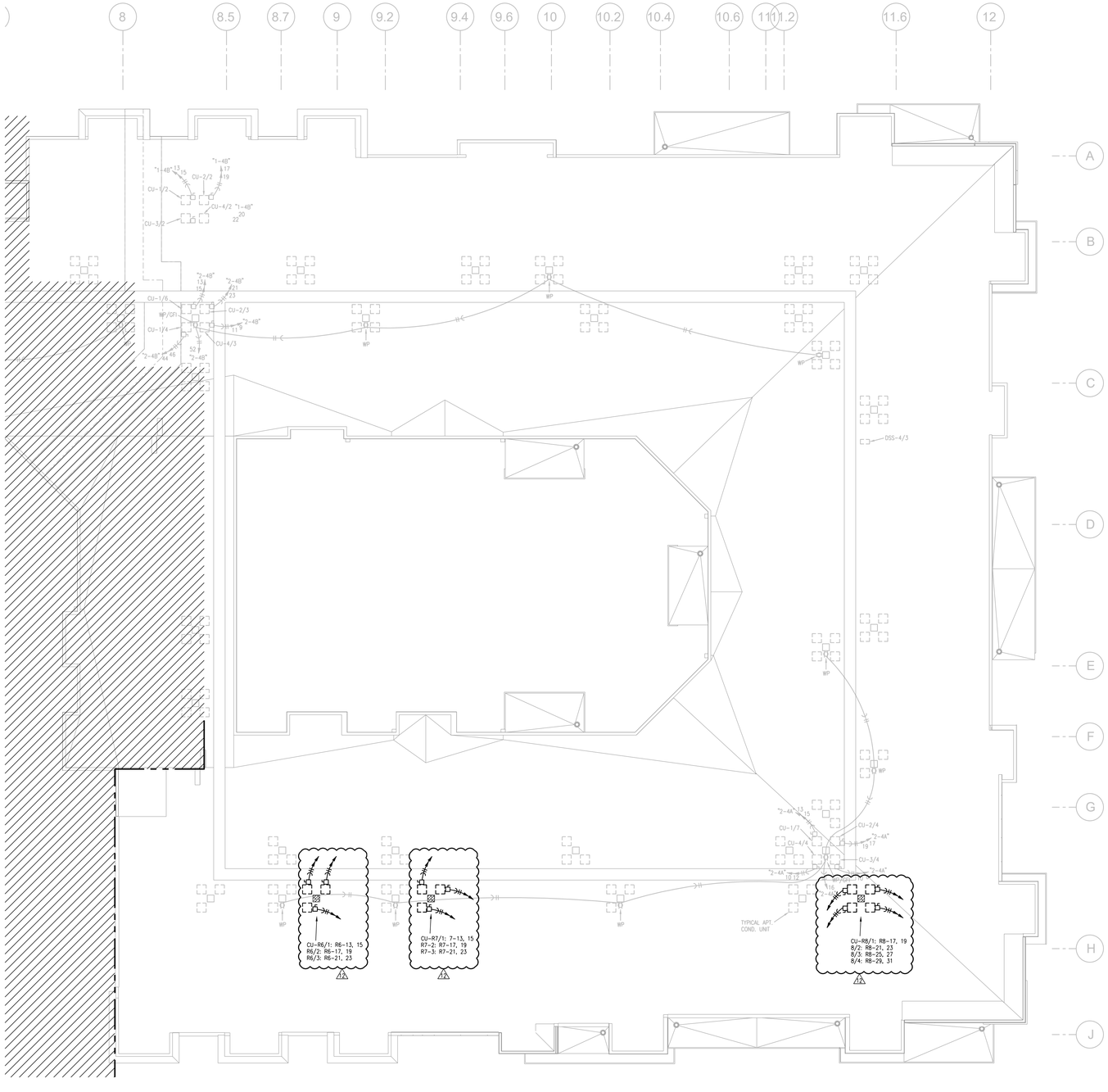
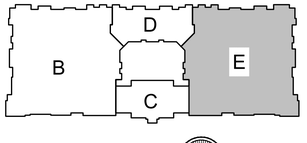
NOTES: ALL PANELS ARE 120/208V 3PH 4W, MLO, 42 SPACE

12




1 ROOF PLAN - AREA E
3/32"=1'-0" ELECTRICAL
NORTH




KEY PLAN
NO SCALE
NORTH

LS&A Latimer Sommers & Associates, P.A.
CONSULTING ENGINEERS
3639 SW Summerfield Drive, Suite A
Topeka, Kansas 66614-3974
Telephone: (785) 233-3232
FAX: (785) 233-0647
Email: lsapa@lsapa.com
LSA PROJECT NO. 1904003

STATE OF MISSOURI
RICHARD R. BLANCHORE
NUMBER
PROFESSIONAL ENGINEER
3-31-21

| | |
|---|---|
| ARCHITECT | TR,I ARCHITECTS |
| STRUCTURAL ENGINEER | BOB D CAMPBELL & COMPANY |
| CIVIL ENGINEER | RENAISSANCE INFRASTRUCTURE CONSULTING |
| GENERAL CONTRACTOR | BRINKMANN CONSTRUCTORS |
| MECHANICAL ENGINEER | LATIMER SOMMERS & ASSOCIATES |
| PLUMBING ENGINEER | LATIMER SOMMERS & ASSOCIATES |
| ELECTRICAL ENGINEER | LATIMER SOMMERS & ASSOCIATES |

Pearl COMPANIES

# Summit at West Pryor

TR,I ARCHITECTS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F: 314-395-9751
www.triarchitects.com



DATE: 09.12.19

REVISIONS (#)

| | |
|---|---|
| 1 TENANT FINISH | 3.31.2021 |

DWG BY RRB

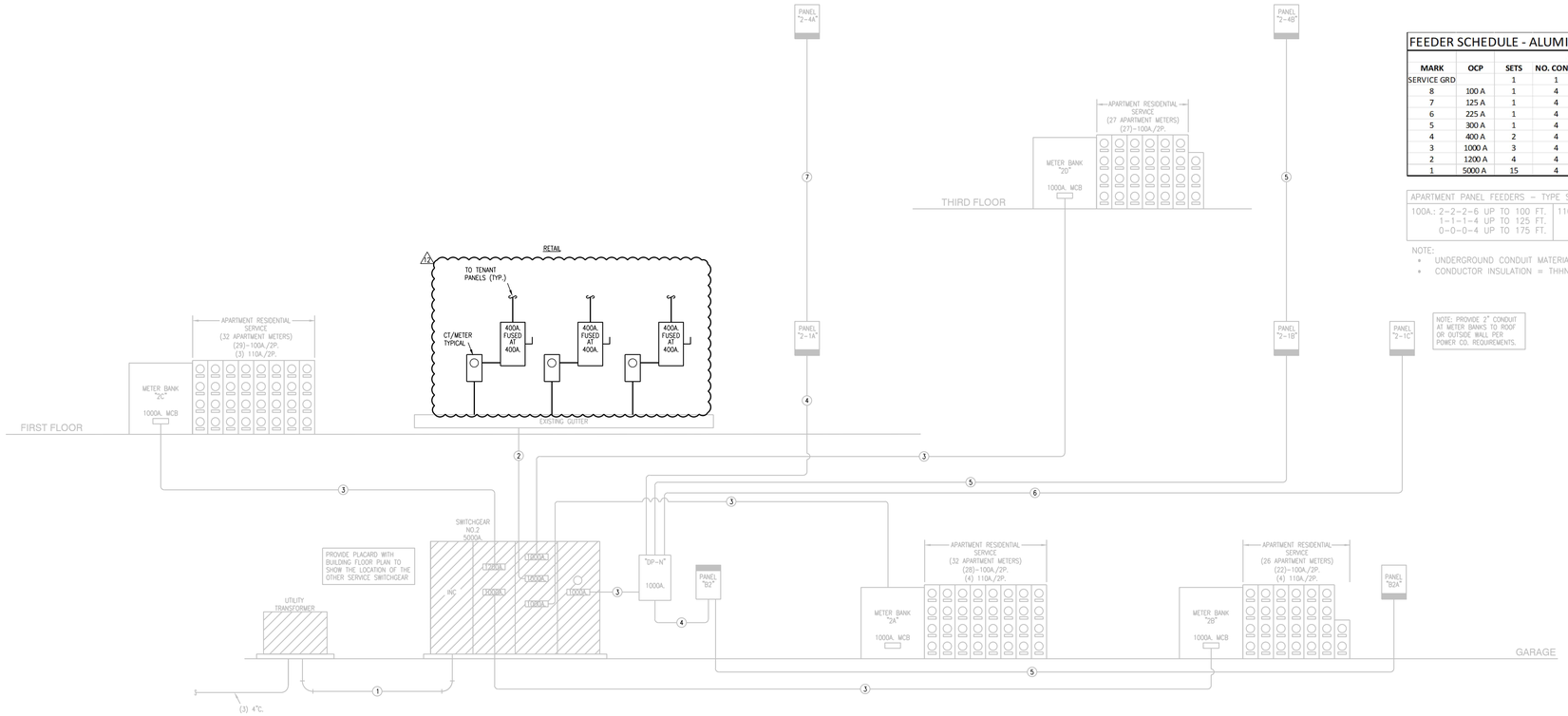
TR,I PROJECT NO. 18-046

SHEET NO.

E114

ROOF PLAN - AREA E - ELECTRICAL

RELEASE FOR CONSTRUCTION
AS NOTED ON PLANS REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
04/09/2021



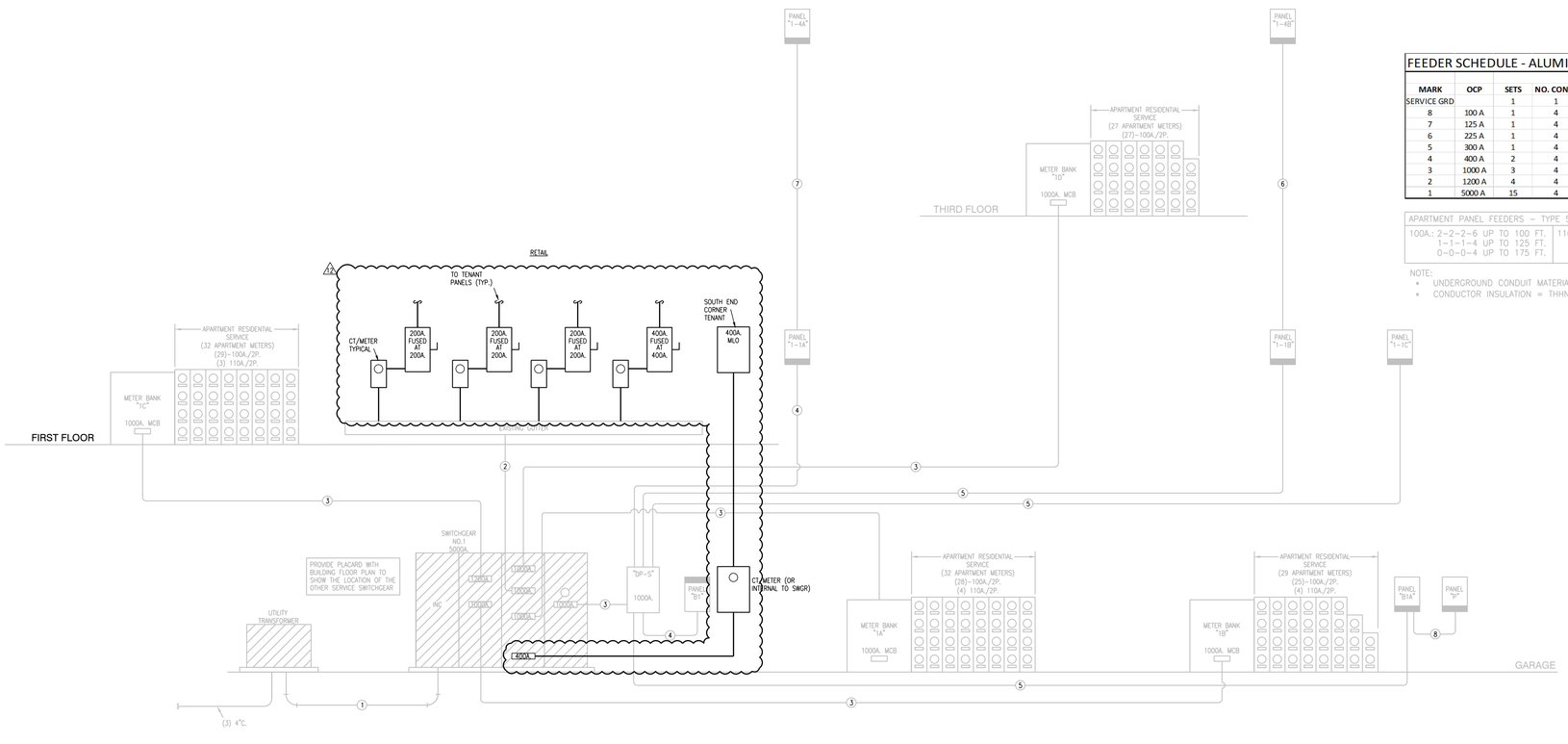

NOTE: PROVIDE 2" CONDUIT AT METER BANKS TO ROOF OR OUTSIDE WALL PER POWER CO. REQUIREMENTS.

| FEEDER SCHEDULE - ALUMINUM AA8000 | | | | | | |
|---|---|---|---|---|---|---|
| | | ALUMINUM AA8000 | | | | |
| MARK | OCP | SETS | NO. COND. | SIZE | SIZE GRD | CONDUIT |
| SERVICE GRD | | 1 | 1 | | 3/0 | |
| 8 | 100 A | 1 | 4 | #1 | #6 | 1.25 |
| 7 | 125 A | 1 | 4 | #1/0 | #4 | 1.5 |
| 6 | 225 A | 1 | 4 | 300 KCMIL | #2 | 2.5 |
| 5 | 300 A | 1 | 4 | 500 KCMIL | #2 | 3 |
| 4 | 400 A | 2 | 4 | #4/0 | #1 | 2 |
| 3 | 1000 A | 3 | 4 | 600 KCMIL | #3/0 | 3 |
| 2 | 1200 A | 4 | 4 | 500 KCMIL | #3/0 | 3 |
| 1 | 5000 A | 15 | 4 | 600 KCMIL | #3/0 | 4 |

| APARTMENT PANEL FEEDERS – TYPE SER ALUMINUM | |
|---|---|
| 100A.: 2-2-2-6 UP TO 100 FT.<br>1-1-1-4 UP TO 125 FT.<br>0-0-0-4 UP TO 175 FT. | 110A.: 1-1-1-4 UP TO 115 FT.<br>0-0-0-4 UP TO 140 FT.<br>2/0-2/0-2/0-3 UP TO 180FT. |

NOTE:
- UNDERGROUND CONDUIT MATERIAL = SCH. 40 PVC.
- CONDUCTOR INSULATION = THHN/THWN.

## 2 ELECTRICAL DISTRIBUTION RISER DIAGRAM - NORTH SERVICE
NO SCALE




NOTE:
- UNDERGROUND CONDUIT MATERIAL = SCH. 40 PVC.
- CONDUCTOR INSULATION = THHN/THWN.

## 1 ELECTRICAL DISTRIBUTION RISER DIAGRAM - SOUTH SERVICE
NO SCALE

STATE OF MISSOURI
RICHARD R. BLANCHORE
NUMBER
PROFESSIONAL ENGINEER
3-31-21

| | |
|---|---|
| TR,i ARCHITECTS | ARCHITECT |
| BOB D CAMPBELL & COMPANY | STRUCTURAL ENGINEER |
| RENAISSANCE INFRASTRUCTURE CONSULTING | CIVIL ENGINEER |
| BRINKMANN CONSTRUCTORS | GENERAL CONTRACTOR |
| LATIMER SOMMERS & ASSOCIATES | MECHANICAL ENGINEER |
| LATIMER SOMMERS & ASSOCIATES | PLUMBING ENGINEER |
| LATIMER SOMMERS & ASSOCIATES | ELECTRICAL ENGINEER |

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www.triarchitects.com



DATE: 09.12.19

REVISIONS
1 TENANT FINISH 3.31.2021

DWG BY RRB
TR,i PROJECT NO. 18-046
SHEET NO.
E304
ELECTRICAL DETAILS


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Email: lsapa@lsapa.com

LSA PROJECT NO. 1904023