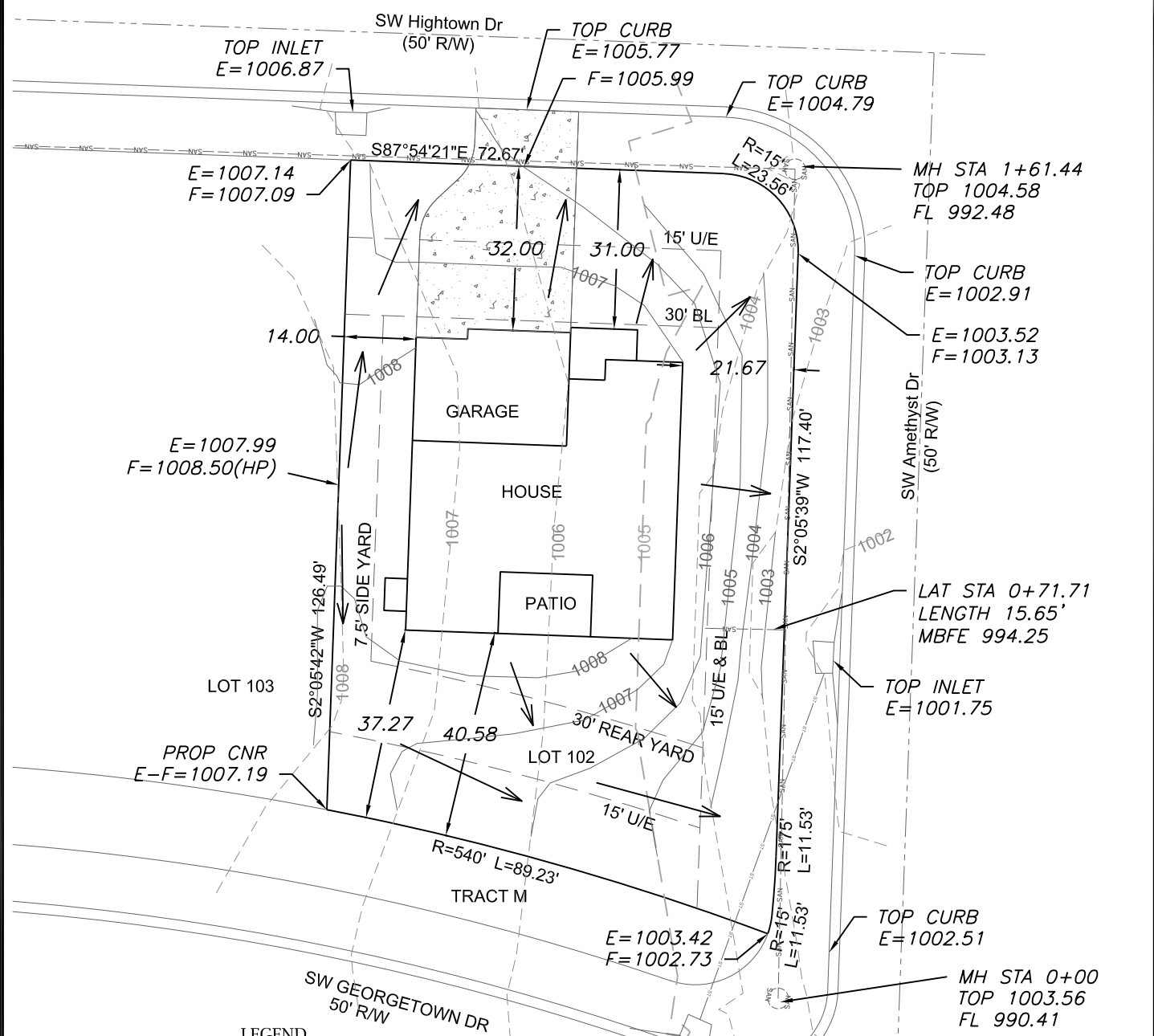




LEGEND

- Gas Meter
- Telephone or Fiber-Optic Pedestal
- Cable TV Pedestal
- Electric Pedestal
- Light Pole
- Mailbox
- Fire Hydrant
- Water Valve

PROPOSED HOUSE

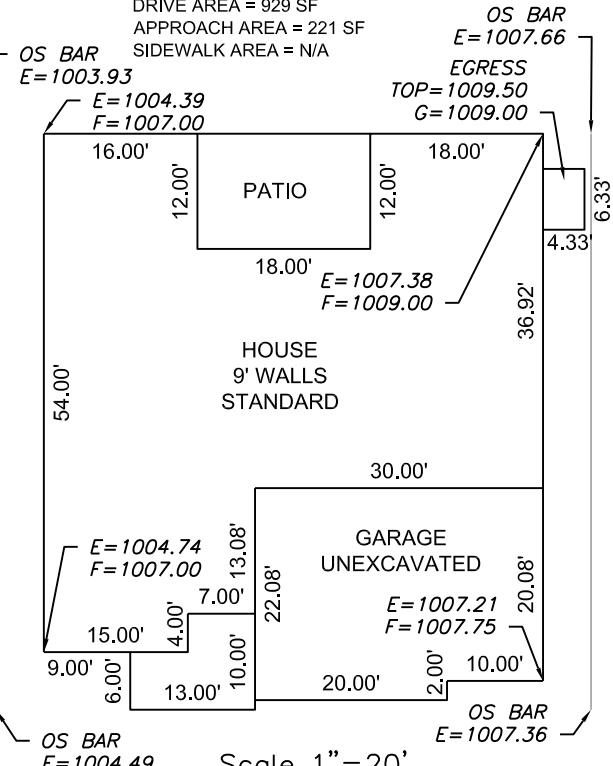
TOP FOUNDATION = 1009.75
GARAGE FLOOR = 1007.75
TOP FOOTING = 1000.75
BASEMENT FLOOR = 1001.08
DRIVEWAY SLOPE = 5.5%

E = EXISTING ELEVATION
F = PROPOSED FINAL ELEVATION
G = ADJACENT GRADE AT EGRESS
U/E = UTILITY EASEMENT
B/L = BUILDING LINE
S/Y/S = SIDE YARD SETBACK
R/Y/S = REAR YARD SETBACK

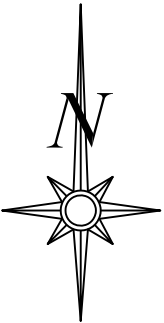
NOTES

- BUILDER TO VERIFY ALL BUILDING ELEVATIONS AND DIMENSIONS.
- THIS PLOT PLAN DOES NOT CONSTITUTE A BOUNDARY SURVEY.
- THE EASEMENTS SHOWN ON THIS PLOT PLAN ARE TAKEN FROM THE FINAL PLAT. OTHER EASEMENTS MAY EXIST.

EXTENDED LOT AREA = 14,498 SF
DRIVE AREA = 929 SF
APPROACH AREA = 221 SF
SIDEWALK AREA = N/A



RELEASE FOR CONSTRUCTION AS NOTED ON PLAT OR REVIEW LEE'S SUMMIT, MISSOURI 04050202



Scale 1"=30'

LOT INFORMATION

11,858.11 SQ. FT.
MSFE = 994.25
ADDRESS
1705 SW HIGHTOWN DR

LEGAL DESCRIPTION

LOT 102, THE RESERVE AT STONEY CREEK - 3RD PLAT, A SUBDIVISION AS RECORDED IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI.

Scale 1"=20'

PLAN: SYDNEY "MODERN PRAIRIE"

ENGINEERING SOLUTIONS
ENGINEERING & SURVEYING
50 SE 30TH STREET
LEE'S SUMMIT, MO 64082
P:(816) 623-9888 F:(816) 623-9849
WWW.ENGINEERINGSOLUTIONKCC.COM

STATE OF MISSOURI
MATTHEW J. SCHLICHT
PROFESSIONAL ENGINEER
PE-2006019708
3/17/2022

PLOT PLAN - LOT 102
THE RESERVE AT STONEY CREEK - 3RD PLAT
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI
SUMMIT HOMES
120 SE 30TH STREET
LEE'S SUMMIT, MO 64082
PROJECT NO. 1 FILE NAME LOT 102, RESERVE AT STONEY CREEK DATE 2/23/2021 SHEET 1 OF 1
Rev:

THIS DRAWING IS NOT VALID UNLESS THE SIGNATURE, DATE AND SEAL OF THE ENGINEER WHO SUPERVISED THE PREPARATION OF THIS DRAWING HAS BEEN AFFIXED HERETO.