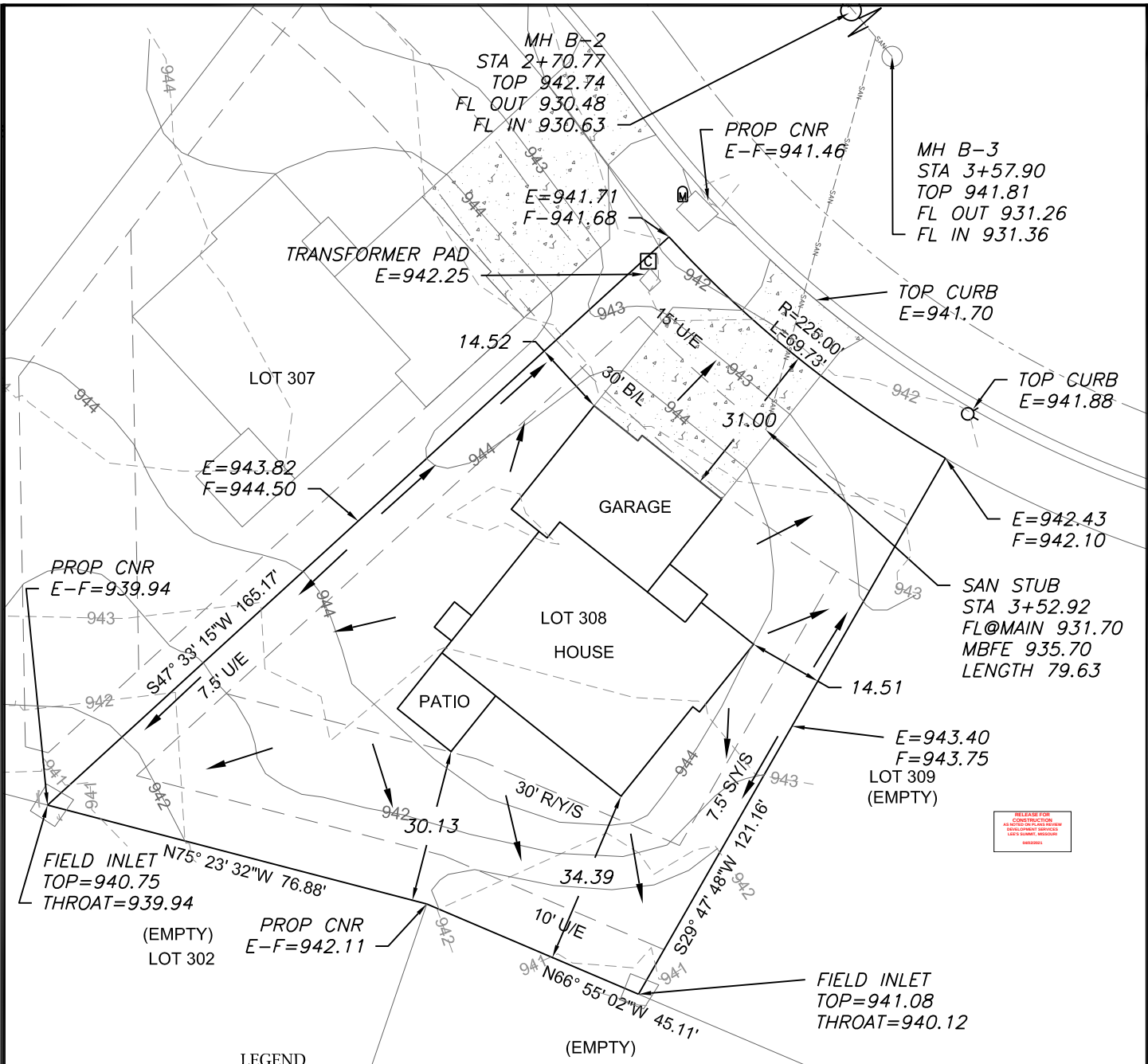




LEGEND

- Gas Meter
- Telephone or Fiber-Optic Pedestal
- Cable TV Pedestal
- Electric Pedestal
- Light Pole
- Mailbox
- Fire Hydrant
- Water Valve

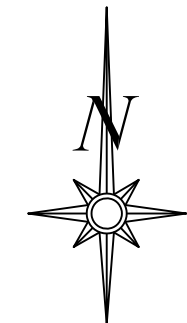
PROPOSED HOUSE

TOP FOUNDATION = 945.75
GARAGE FLOOR = 944.25
TOP FOOTING = 936.25
BASEMENT FLOOR = 936.58

E = EXISTING ELEVATION
F = PROPOSED FINAL ELEVATION
G = ADJACENT GRADE AT EGRESS
U/E = UTILITY EASEMENT
B/L = BUILDING LINE
S/Y/S = SIDE YARD SETBACK
R/Y/S = REAR YARD SETBACK

NOTES

1. BUILDER TO VERIFY ALL BUILDING ELEVATIONS AND DIMENSIONS.
2. THIS PLOT PLAN DOES NOT CONSTITUTE A BOUNDARY SURVEY.
3. THE EASEMENTS SHOWN ON THIS PLOT PLAN ARE TAKEN FROM THE FINAL PLAT. OTHER EASEMENTS MAY EXIST.



Scale 1"=30'

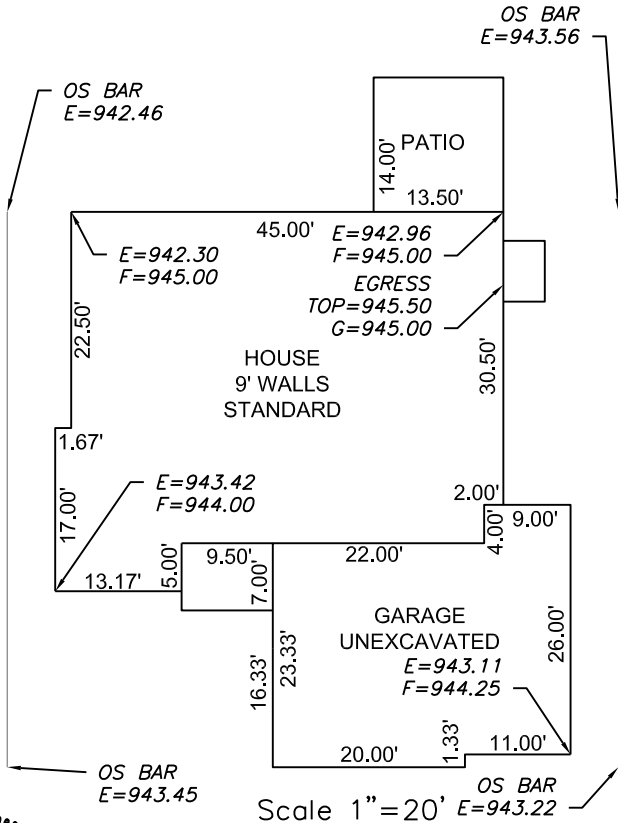
LOT INFORMATION

12,495.6 SQ. FT.
MBOE =943.00
MSFE=935.70
ADDRESS
1917 NE CATALINA AVE

LEGAL DESCRIPTION

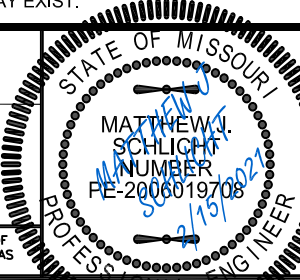
LOT 308, PARK RIDGE 6TH PLAT,
A SUBDIVISION AS RECORDED IN
LEE'S SUMMIT, JACKSON
COUNTY, MISSOURI.

DRIVEWAY SLOPE =7.5%



Scale 1"=20'

ENGINEERING SOLUTIONS
ENGINEERING & SURVEYING
50 SE 30TH STREET
LEE'S SUMMIT, MO 64082
P:(816) 623-9888 F:(816)623-9849
WWW.ENGINEERINGSOLUTIONKC.COM



PLOT PLAN - LOT 308

PARK RIDGE 6TH PLAT
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

WALKER CUSTOM HOMES LLC
PO BOX 3194
INDEPENDENCE, MO 64064

PROJECT NO.	FILE NAME	DATE	SHEET	OF
1	LOT 307, 308, PARK RIDGE	2/4/21	1	1

THIS DRAWING IS NOT VALID UNLESS THE SIGNATURE, DATE AND SEAL OF THE ENGINEER WHO SUPERVISED THE PREPARATION OF THIS DRAWING HAS BEEN AFFIXED HERETO.