

CONSTRUCTION STAKE PLOT PLAN

ACCU-SURV SURVEY COMPANY
300 S. SUNSET LANE
RAYMORE, MO. 64083
(816) 322-1973 FAX (816)322-9522

ORDERED BY: Stewart Builders, LLC
ADDRESS: 2316 S.W. Chase Circle
DESCRIPTION: Lot 66, SUMMIT VIEW FARMS 3RD PLAT, a subdivision in the City of Lee's Summit, Jackson County, Missouri.

XXXXX ACCEPTABLE DAYLIGHT LOCATION ELEV. = NONE
///// ACCEPTABLE WALK-OUT LOCATION ELEV. = NONE

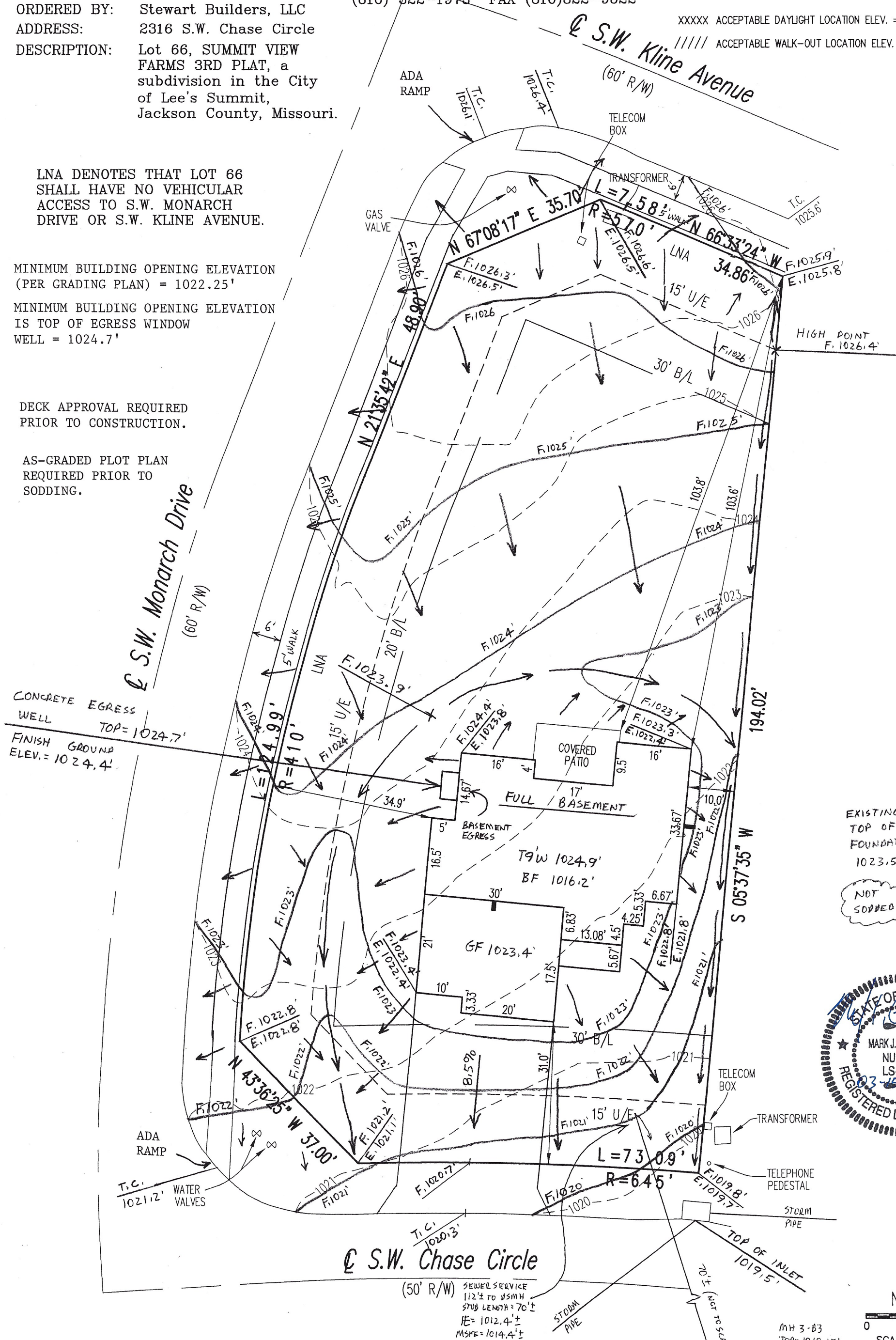
LNA DENOTES THAT LOT 66 SHALL HAVE NO VEHICULAR ACCESS TO S.W. MONARCH DRIVE OR S.W. KLINE AVENUE.

MINIMUM BUILDING OPENING ELEVATION (PER GRADING PLAN) = 1022.25'

MINIMUM BUILDING OPENING ELEVATION IS TOP OF EGRESS WINDOW
WELL = 1024.7'

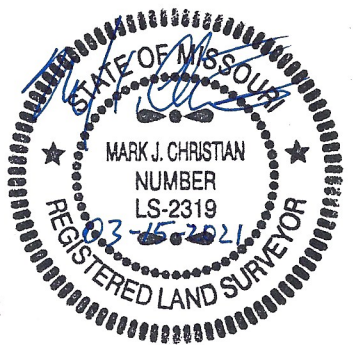
DECK APPROVAL REQUIRED PRIOR TO CONSTRUCTION.

AS-GRADED PLOT PLAN REQUIRED PRIOR TO SODDING.



EXISTING TOP OF FOUNDATION 1023.5'

NOT SODDED



NORTH
0 10 20
SCALE IN FEET

ATTENTION: Contractor to check and verify house dimensions and elevations at job site. We are not responsible for unknown or unplatted easements of any kind unless we are furnished the description of said easements before the field work is performed. NOTE: Final decision as to cuts and foundation height are to be made by builder on job site. NOTE: This plot plan is not to be construed as a boundary survey, and is not to be used for construction of fences. This plot plan is not an "AS-BUILT SURVEY" as the house shown was staked prior to construction and cannot be used in place of a "SURVEYOR'S REAL PROPERTY REPORT" or "MORTGAGE INSPECTION". ©Copyright 2021

MH 3-B3
TOP = 1018.15'
EIN = 1008.49'
MH 3-B4
TOP = 1020.00'
EOUT = 1009.78'
SCALE: 1" = 20'
DATE: 03-15-2021
JOB NO: 21043