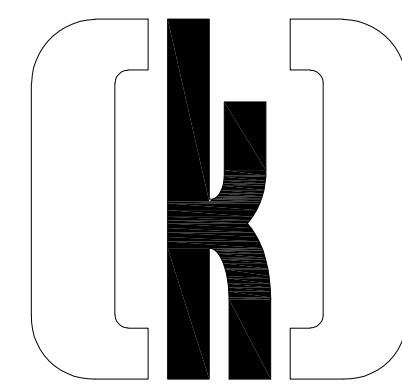


MILAN LASER HAIR REMOVAL TENANT DEVELOPMENT

Construction Documents
Issued for Permit/Construction
March 04, 2020

1734 NW Chipman Road
Lees Summit, MO 64081



Project Number 5629-21

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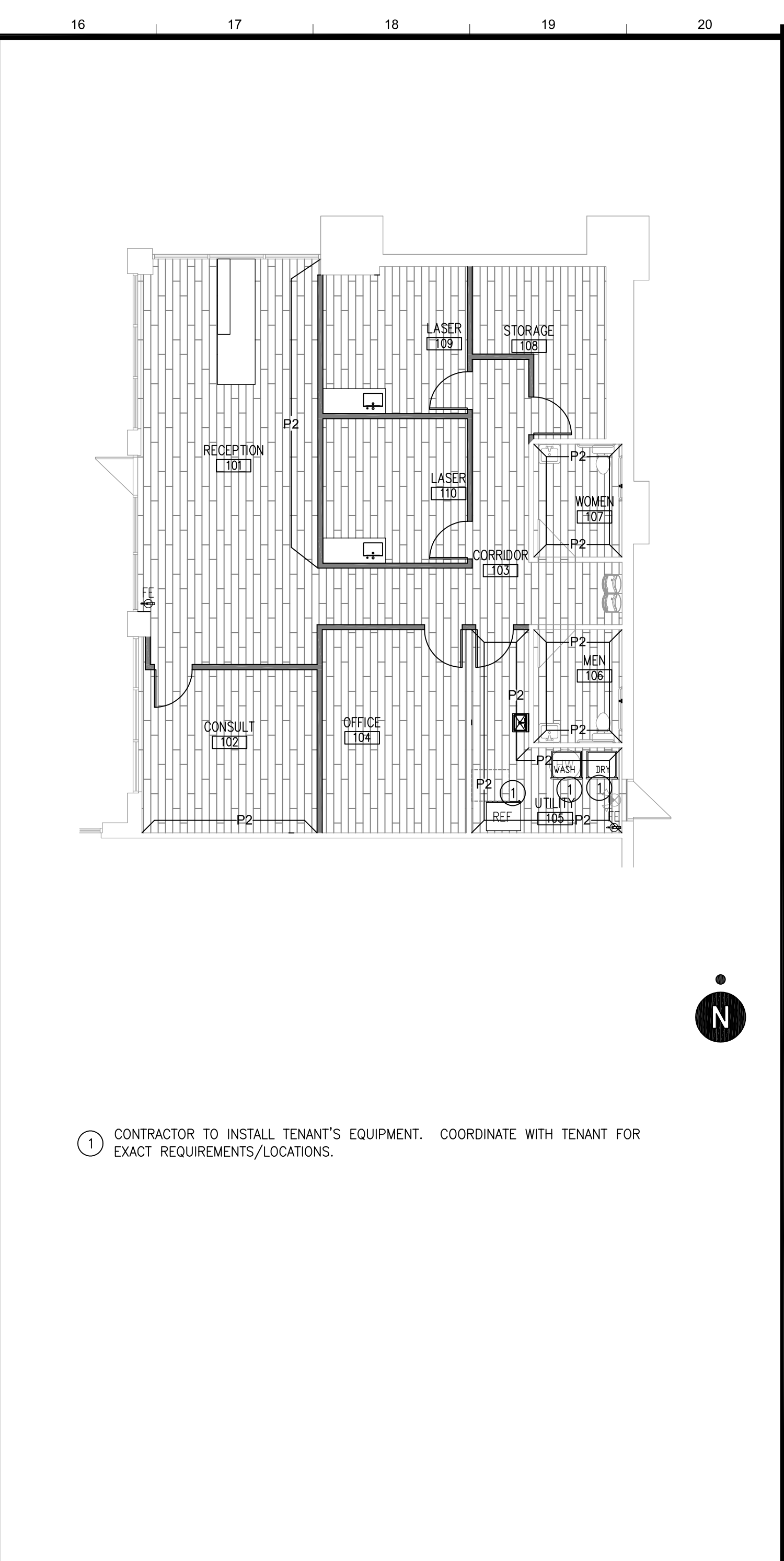
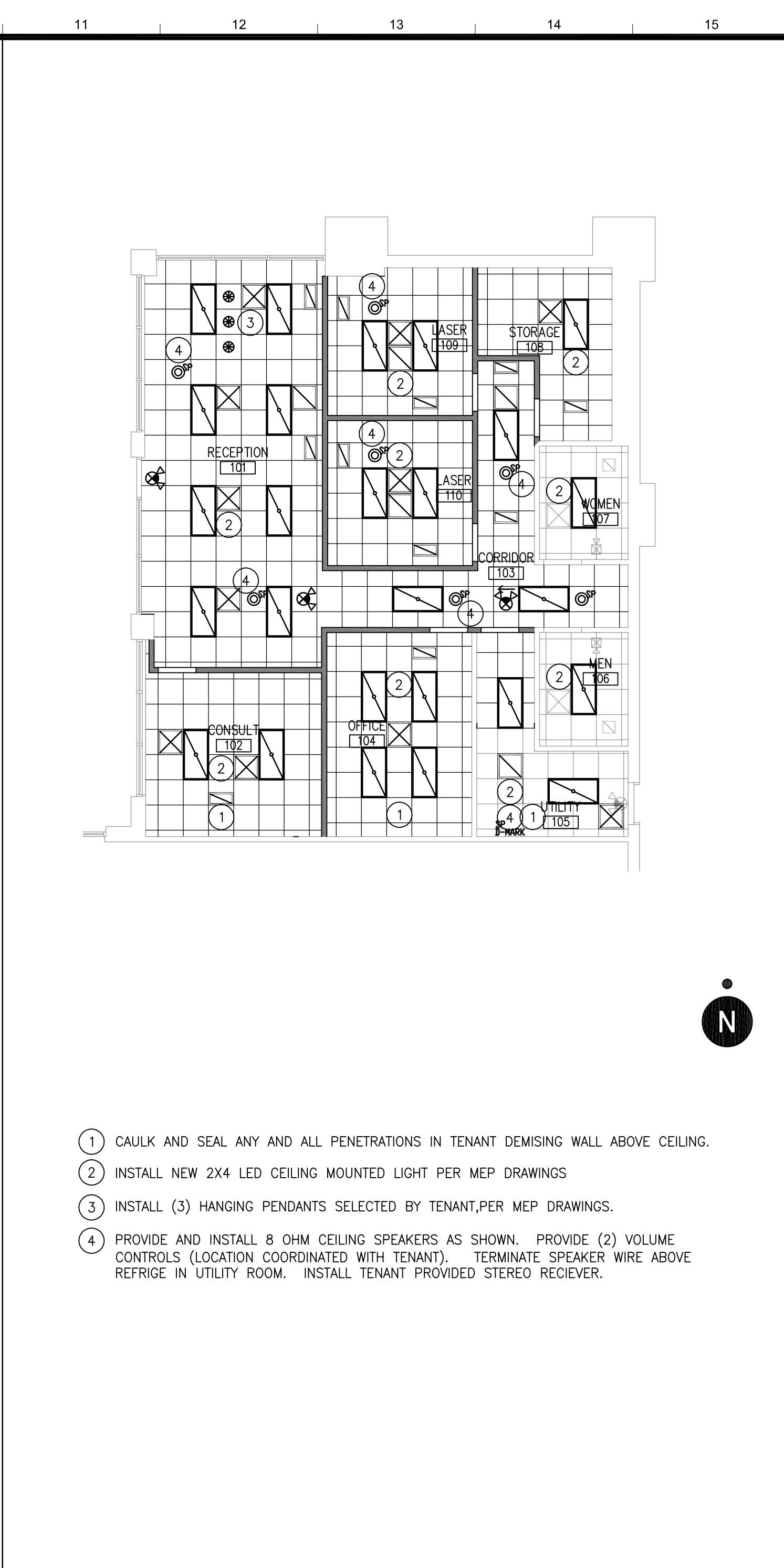
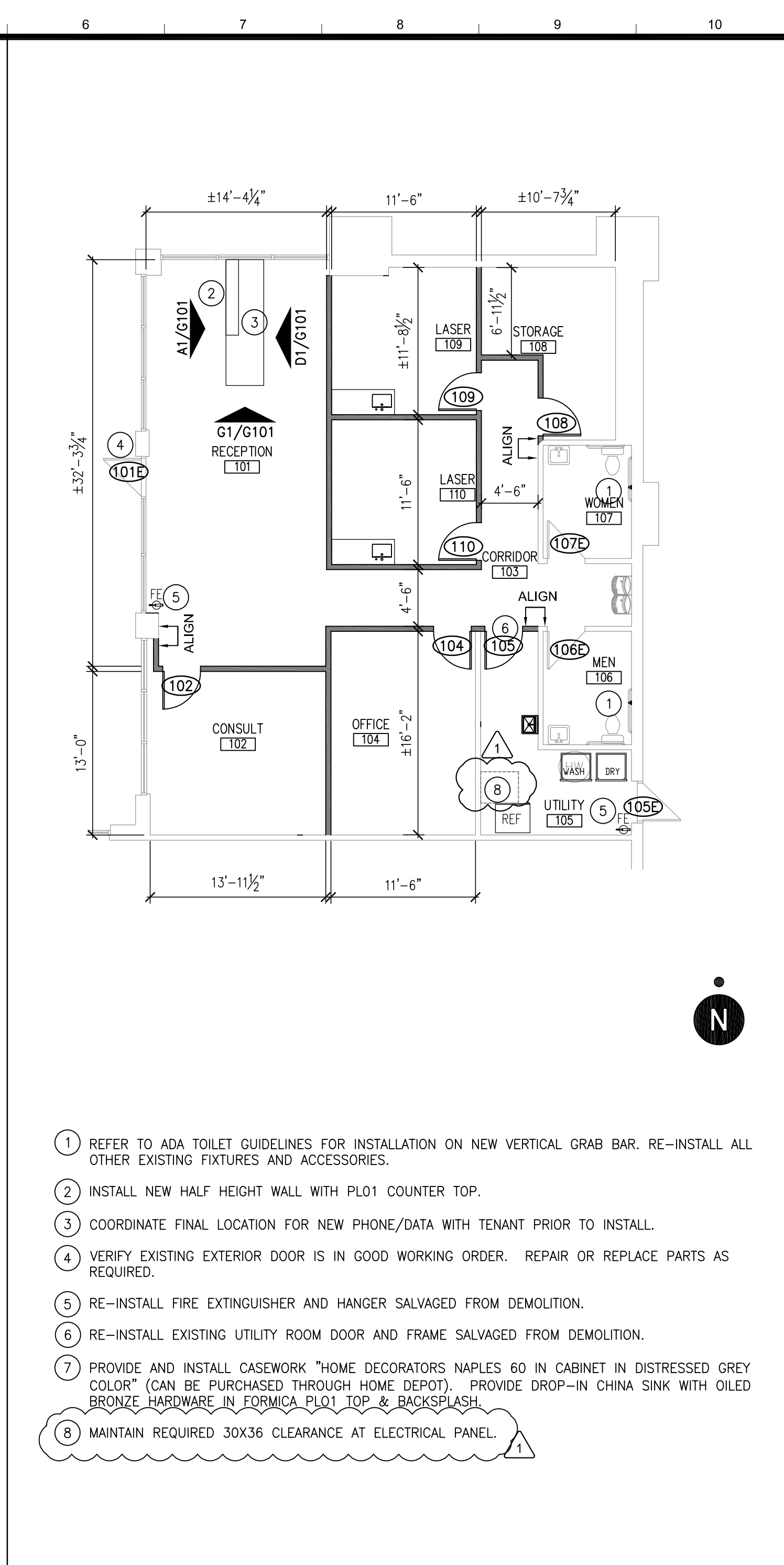
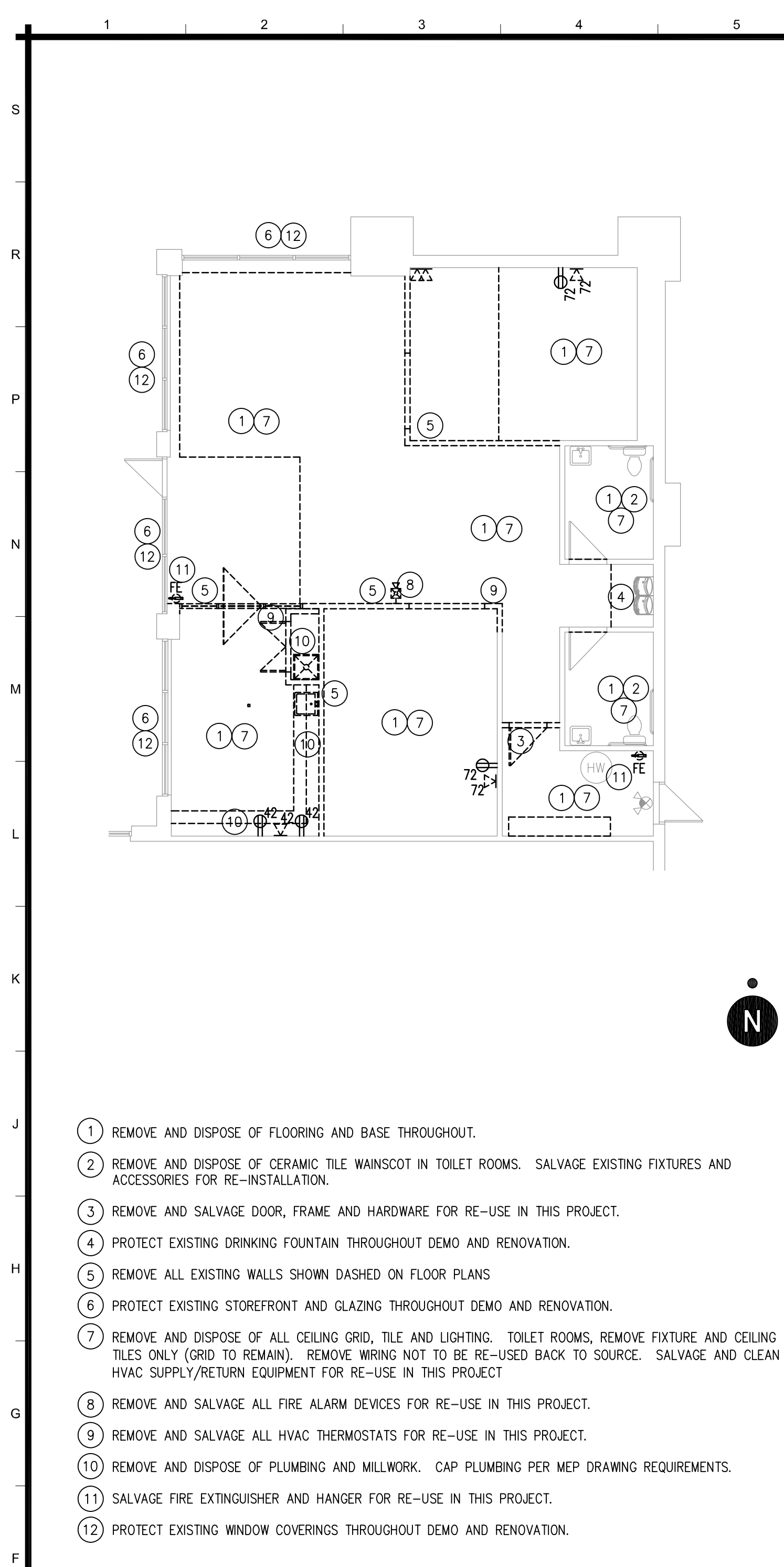
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E	E1	DEMOLITION PLAN AND NOTES
	SCALE: 1/8" = 1'-0"	

DEMOLITION NOTES:

1. BEFORE BEGINNING WORK AT THE SITE INSPECT THE EXISTING BUILDING AND DETERMINE THE EXTENT OF EXISTING FINISHES, SPECIALTIES, CASEWORK, EQUIPMENT, AND OTHER ITEMS WHICH MUST BE REMOVED AND REINSTALLED IN ORDER TO PERFORM THE WORK UNDER THIS CONTRACT.
2. PROTECT THE EXISTING FACILITIES AT ALL TIMES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY CONSTRUCTION.
3. REMOVE EXISTING DATA AND PHONE OUTLETS THROUGHOUT DEMO AREA. PATCH AND REPAIR ALL HOLES, NOT BEING REUSED, IN WALLS AND FLOORS. PREPARE SURFACES FOR NEW FINISHES.
4. ALL EXISTING POWER OUTLETS TO REMAIN U.N.O.
5. PATCH ALL HOLES AND IMPERFECTIONS IN ALL EXISTING WALLS AND SURFACES TO REMAIN.
6. REMOVE ALL ACOUSTICAL CEILING TILE AND GRID. SALVAGE ALL 2X4 LIGHT FIXTURES FOR REUSE ON THIS PROJECT.
7. CONTRACTOR IS RESPONSIBLE FOR PATCHING OR REPAIRING ANY AND ALL FIREPROOFING TO MATCH EXISTING MATERIAL AND THICKNESS, WHETHER CAUSED BY DEMOLITION OR CONSTRUCTION.
8. ANY MATERIAL THAT IS REMOVED THAT LANDLORD DOES NOT WISH TO RETAIN SHALL BE REMOVED FROM THE PROJECT SITE AND DISPOSED OF BY THE CONTRACTOR.
9. COORDINATE ALL DEMOLITION WITH NEW ARCHITECTURAL PLAN.
10. PROTECT ALL EXISTING THERMOSTATS AND HOUSINGS DURING DEMOLITION AND CONSTRUCTION.
11. PROTECT EXISTING FIRE ALARM AND SPRINKLER DEVICES DURING DEMOLITION AND CONSTRUCTION.

A	A1	GENERAL NOTES
		 SCALE: NTS

E6	ARCHITECTURAL PLAN AND NOTES	
		SCALE: 1/8" = 1'-0"

ARCHITECTURAL NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADHERING TO THE CONSTRUCTION SCHEDULES ESTABLISHED BY THE BUILDING MANAGER AND TENANT.
2. THE DOCUMENTS REFLECT CONDITIONS REASONABLY INTERPRETED FROM THE EXISTING VISIBLE CONDITIONS, OR FROM DRAWINGS OR INFORMATION FURNISHED BY THE LEASING AGENT. THE CONTRACTOR SHALL VISIT THE SITE AND BE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS AND THEIR IMPACT ON THE SCOPE OF THE WORK.
3. ALL DIMENSIONS ARE TO FACE OF FINISHED WALL, UNLESS NOTED OTHERWISE.
4. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB, INCLUDING MECHANICAL, ELECTRICAL, AND PLUMBING LAYOUTS.
5. COORDINATE WITH OWNER THE SHUT DOWN OF UTILITY SERVICE WITHIN THE EXISTING BUILDING SO AS TO MINIMIZE THE DISRUPTION OF SERVICE TO OTHER BUILDING TENANTS.
6. ALL COORDINATION OF WORK PERFORMED BY THE SUBCONTRACTORS SHALL BE BY THE GENERAL CONTRACTOR.
7. IN ACCORDANCE W/ SECTION 1008.1.9 OF IBC INTERNATIONAL BUILDING CODE, ALL DOOR HARDWARE ON EXIT DOORS SERVING AS A MEANS OF EGRESS SHALL MEET THE FOLLOWING REQUIREMENTS LISTED BELOW:

"ALL DOORS WILL BE READILY OPENABLE FROM THE SIDE FROM WHICH EGRESS IS TO BE MADE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT."
8. ALL MATERIALS TO MEET THE REQUIREMENTS OF IBC CHAPTER 8 FOR MATERIALS AND TESTING.

E11	REFLECTED CEILING PLAN AND NOTES
	 SCALE: 1/8" = 1'-0"

9. THE GENERAL CONTRACTOR AND INDIVIDUAL SUBCONTRACTORS ARE RESPONSIBLE FOR THE APPROVAL, AND PERFORMANCE OF THE M.E.P. SYSTEMS AND DEVICES INCLUDING LIFE SAFETY. ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES OF THE LOCAL JURISDICTION. REFERENCE MEP DRAWINGS FOR COORDINATION.
10. THE HVAC CONTRACTOR SHALL BALANCE THE ENTIRE SPACE AND PROVIDE A WRITTEN REPORT TO THE BUILDING ENGINEER OR BUILDING OWNER INDICATING MEASURED RESULTS FOR FULL SPACE AIR DISTRIBUTION. INSTALLATION LOCATIONS OF NEW BUILDING STANDARD THERMOSTATS SHALL BE APPROVED BY TENANT. FINAL BALANCING AND ALL CONTROL DEVICES MUST BE COORDINATED WITH BUILDING MANAGEMENT BEFORE TURN OVER OF THE PROJECT.
11. VERIFY ELECTRIC & DATA RECEPTACLE LOCATIONS & CONFIGURATIONS WITH TENANT. ALL TELEPHONE AND DATA CABLES IN THE SPACE AND FROM THE DEMARK LOCATION ARE TO BE LABELED, BUNDLED AND STRAPPED TO THE FLOOR STRUCTURE ABOVE.
12. FIRE ALARM SCOPE: VERIFY EXISTING FIRE ALARM DEVICES AND SMOKE DETECTORS ARE TIED INTO THE EXISTING BUILDING FIRE ALARM SYSTEM AND ARE IN PROPER WORKING ORDER PER CODE.
13. VERIFY PROPER OPERATION OF ALL EXISTING DUCT SMOKE DETECTORS TO REMAIN WITHIN TENANT SPACES. PROVIDE NEW DUCT SMOKE DETECTORS OR FAN POWERED BOXES WHERE REQUIRED. PROVIDE NEW DUCT SMOKE DETECTORS OR FAN POWERED BOX SHUTDOWN FOR BOXES WITH CAPACITY GREATER THAN 2000 CFM WHERE NOT EXISTING. FAN POWERED BOXES SMALLER THAN 2000 CFM SHALL BE SHUT DOWN VIA BUILDING CONTROL SYSTEM UPON ACTUATION OF RETURN AIR DUCT SMOKE DETECTOR SERVING TENANT SPACE.
14. ALL LOCKS AND KEYS FOR ENTRY DOORS MUST BE COORDINATED WITH BUILDING MANAGEMENT FOR SPECIFICATION.

THESE RESULTS ARE

FINISH LEGEND			
CODE	TYPE	DESCRIPTION	NOTES
ACT01	CEILING TILE	MATCH EXISTING BUILDING STANDARD	THROUGHOUT
RB01	RUBBER BASE	JOHNSONITE 4" BASE: #262 DRIZZLE	THROUGHOUT
VP1	VINYL FLOOR	MILAN – RASKINS ALPINE PLANK: STORMY #6002 12MIL WEAR LAYER: 48" X 7.25" PLANK	THROUGHOUT
P01	PAINT	SHERWIN WILLIAMS – 7506 LOGGIA	THROUGHOUT U.N.O.
P02	PAINT	SHERWIN WILLIAMS – AC-22 NANTUCKET FOG	EAST WALL RECEPTION SOUTH WALL CONSULT TOILET ROOMS AND UTILITY ROOM
P03	PAINT	SHERWIN WILLIAMS – 7005 PURE WHITE	ALL DOORS AND MTL FRAMES
PL01	LAMINATE	FORMICA 9285-58 WHITE TWILL: MATTE FINISH	ALL COUNTER TOPS

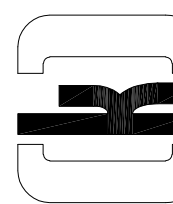
GENERAL NOTES

1. ALL MATERIALS / FINISHES TO COMPLY WITH IBC CHAPTER 8 REQUIREMENTS.
2. ALL WALL PAINT TO BE EGGSHELL FINISH U.N.O.
3. ALL HOLLOW METAL DOORS AND HOLLOW METAL FRAMES TO BE P03 SEMI-GLOSS FINISH, DOORS ARE PAINTED SATIN FINISH P03.
4. ALL WALLS IN BOTH TOILETS, WALL BEHIND DRINKING FOUNTAIN AND WALL BEHIND UTILITY SINK TO BE

A6	FURNITURE/FINISH PLAN AND NOTES
	 SCALE: 1/8" = 1'-0"

64119
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KATHLEEN ANN WARMAN - ARCHITECT
MO # 8-5819

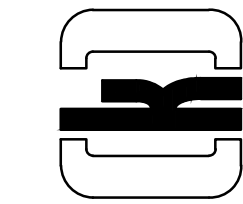
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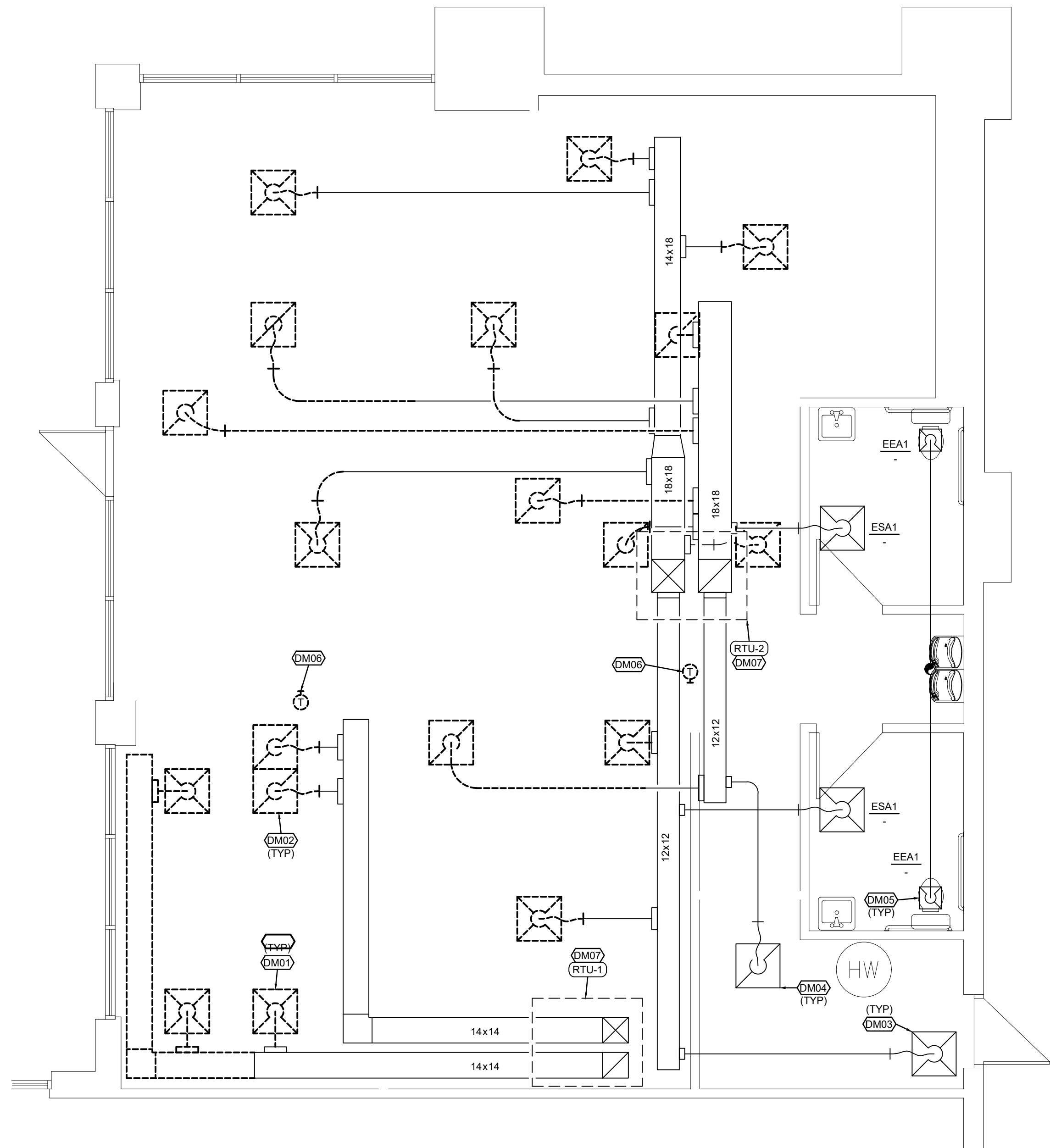
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DRAWN BY: PAM
APPROVED BY: BLH

SHEET NUMBER

M101

JOB NUMBER

#5629-21

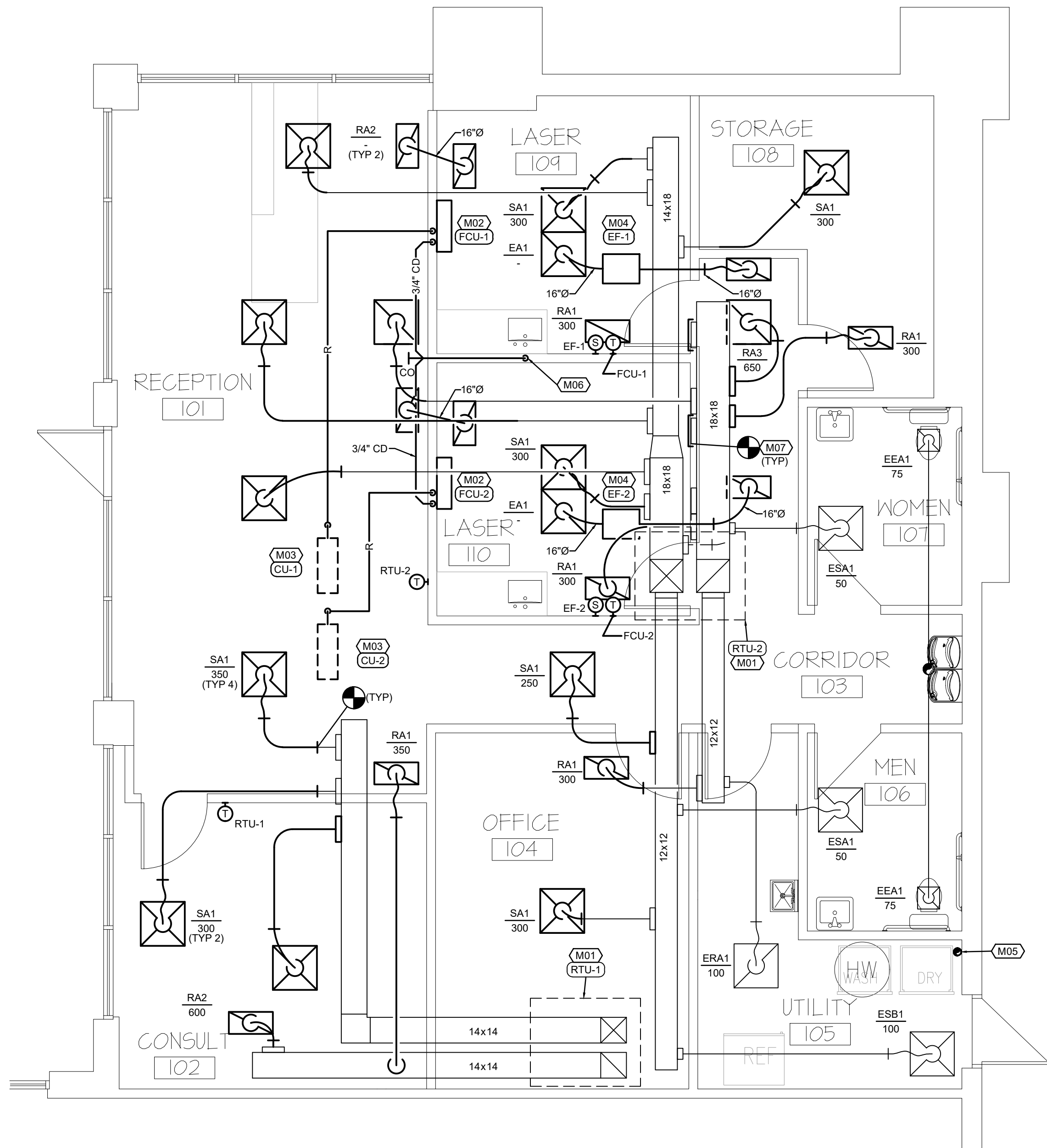


FLOOR PLAN-MECHANICAL DEMOLITION

SCALE: 1/4"=1'-0"

FLOOR PLAN NOTES

1. REMOVE EXISTING DIFFUSER AND DUCTWORK TO LOCATION INDICATED.
2. REMOVE EXISTING RETURN GRILLE AND DUCTWORK TO LOCATION INDICATED.
3. EXISTING SUPPLY DIFFUSER TO REMAIN.
4. EXISTING RETURN GRILLE TO REMAIN.
5. EXISTING EXHAUST GRILLE AND ASSOCIATED DUCTWORK TO REMAIN.
6. REMOVE EXISTING THERMOSTAT AND RETAIN FOR REINSTALLATION.
7. EXISTING ROOFTOP UNIT TO REMAIN.



FLOOR PLAN-MECHANICAL NEW WORK

SCALE: 1/4"=1'-0"

FLOOR PLAN NOTES

1. REBALANCE EXISTING ROOFTOP UNIT TO CFM INDICATED IN SCHEDULE. REPLACE EXISTING FILTERS. REINSTALL EXISTING THERMOSTAT AND PROVIDE NEW CONTROL WIRING BACK TO ASSOCIATED ROOFTOP UNIT.
2. PROVIDE WALL MOUNTED FAN COIL UNIT INSTALLED PER MANUFACTURER'S REQUIREMENTS. CONDENSATE AND REFRIGERANT ROUTING PER PLANS.
3. PROVIDE CONDENSING UNIT INSTALLED ON ROOF ON 4X4 TIMBER BLOCKS PER MANUFACTURER'S REQUIREMENTS. ROUTE REFRIGERANT PIPING DOWN THROUGH ROOF THROUGH PRE-MANUFACTURED ROOF CURB. CONTRACT LANDLORD APPROVED ROOFING CONTRACTOR TO FLASH AND SEAL PENETRATION TO MAINTAIN ROOFING WARRANTY.
4. PROVIDE EXHAUST FAN INSTALLED SUSPENDED FROM STRUCTURE UTILIZING ALL THREAD RODS PER MANUFACTURER'S REQUIREMENTS. INSTALL SPEED CONTROLLER FURNISHED WITH FAN IN LASER EQUIPMENT ROOM.
5. PROVIDE 4" DRYER VENT CONNECTION AND ROUTE UP TO ROOF AND TERMINATE WITH VENT CAP. CONTRACT LANDLORD APPROVED ROOFING CONTRACTOR TO FLASH AND SEAL ROOFING PENETRATION TO MAINTAIN ROOFING WARRANTY.
6. 3/4" CONDENSATE DRAIN PIPING DOWN TO HUB DRAIN BELOW SINK.
7. CAP ALL REMAINING TAPS AIRTIGHT. INSULATE TO MATCH ADJACENT TO MAINTAIN VAPOR BARRIER.

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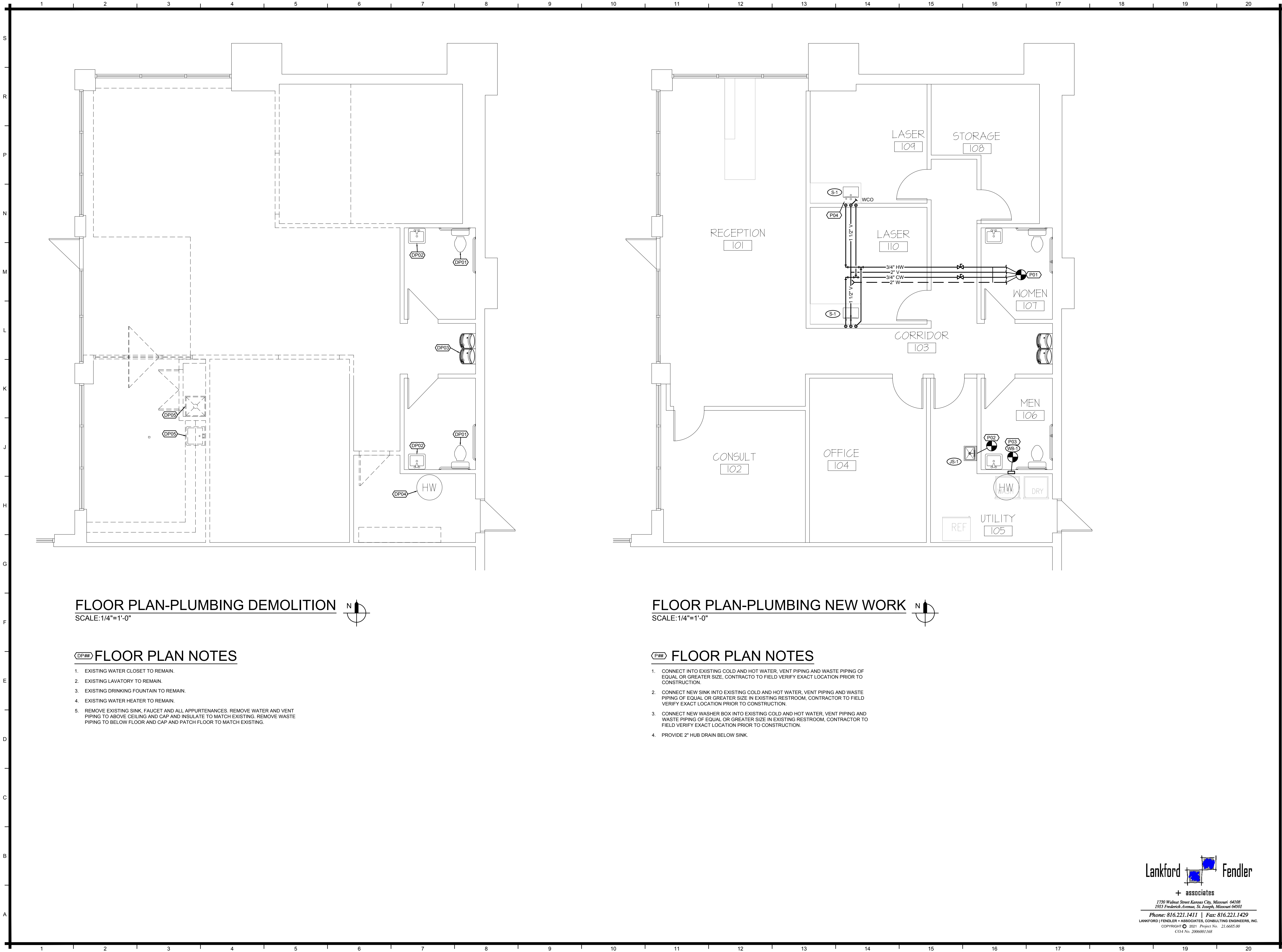
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#5629-21



FLOOR PLAN-PLUMBING DEMOLITION

SCALE:1/4"=1'-0"

FLOOR PLAN NOTES

- EXISTING WATER CLOSET TO REMAIN.
- EXISTING LAVATORY TO REMAIN.
- EXISTING DRINKING FOUNTAIN TO REMAIN.
- EXISTING WATER HEATER TO REMAIN.
- REMOVE EXISTING SINK, FAUCET AND ALL APPURTENANCES. REMOVE WATER AND VENT PIPING TO ABOVE CEILING AND CAP AND INSULATE TO MATCH EXISTING. REMOVE WASTE PIPING TO BELOW FLOOR AND CAP AND PATCH FLOOR TO MATCH EXISTING.

FLOOR PLAN-PLUMBING NEW WORK

SCALE:1/4"=1'-0"

FLOOR PLAN NOTES

- CONNECT INTO EXISTING COLD AND HOT WATER, VENT PIPING AND WASTE PIPING OF EQUAL OR GREATER SIZE, CONTRACTO TO FIELD VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION.
- CONNECT NEW SINK INTO EXISTING COLD AND HOT WATER, VENT PIPING AND WASTE PIPING OF EQUAL OR GREATER SIZE IN EXISTING RESTROOM, CONTRACTOR TO FIELD VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION.
- CONNECT NEW WASHER BOX INTO EXISTING COLD AND HOT WATER, VENT PIPING AND WASTE PIPING OF EQUAL OR GREATER SIZE IN EXISTING RESTROOM, CONTRACTOR TO FIELD VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION.
- PROVIDE 2" HUB DRAIN BELOW SINK.

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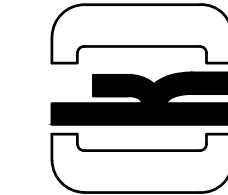
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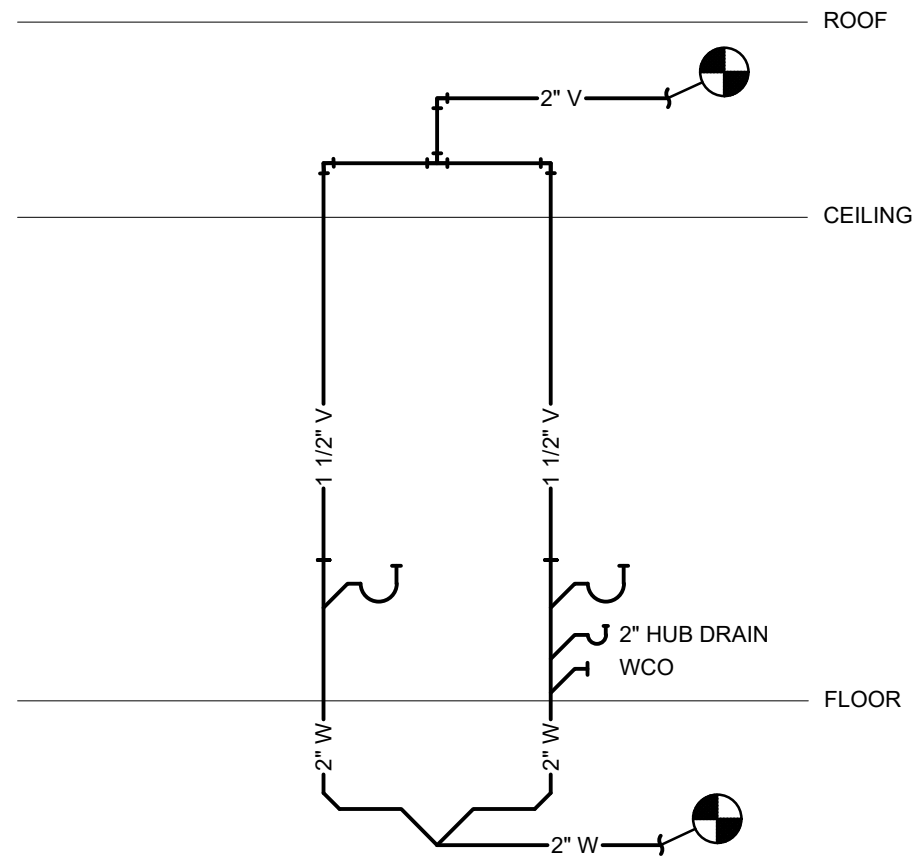
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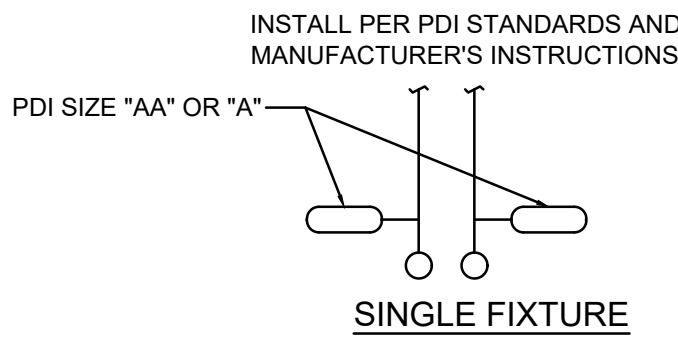
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03/22/2021



WASTE/VENT RISER DIAGRAM
NO SCALE

PLUMBING FIXTURE SCHEDULE

MARK NO.	FIXTURE TYPE	MANUFACTURER	MODEL NO.	DESCRIPTION	CONNECTION SIZE			
					CW	HW	WASTE	VENT
S-1	SINK	CONTRACTOR FURNISHED	CONTRACTOR FURNISHED	CONTRACTOR FURNISHED. ACCESSORIES: ELKAY LK-35 STRAINER WITH 1-1/2" TAILPIECE, 1-1/2" 17 GA. SEMI-CAST BRASS P-TRAP WITH CLEANOUT, CHROME-PLATED RISERS WITH LOOSE KEY ANGLE STOPS.	1/2"	1/2"	2"	1-1/2"
JS-1	JANITOR SINK	STERN-WILLIAMS	MTB-2424	SIZE 24" X 24" X 10", TERRAZZO SERVICE SINK WITH CAST BRASS DRAIN, STAINLESS STEEL STRAINER, 3" DRAIN CONNECTION, CHICAGO FAUCETS MODEL 897-CCP WITH QUATURN OPERATING CARTRIDGE, VACUUM BREAKER SPOUT WITH PAIL HOOK AND WALL BRACE, 3/4" MALE HOSE THREAD OUTLET, 369 LEVER HANDLES, FLANGED ADJUSTABLE SUPPLY ARM AND INTEGRAL SUPPLY STOPS AND CHECK VALVES. ACCESSORIES: V-70 EXTRUDED VINYL BUMPER GUARDS ON EXPOSED SIDES, T-35 3/8" RUBBER HOSE WITH STAINLESS STEEL WALL BRACKET.	1/2"	1/2"	3"	2"
WB-1	WASHER WALL BOX	SIOUX CHIEF	696-2313 SERIES	RECESSED SUPPLY AND DRAIN WALL BOXES WITH QUARTER TURN VALVES, MINI SHOCK ARRESTORS, SWEAT WATER CONNECTIONS, 2" DRAIN, ABS COVERS.	1/2"	1/2"	2"	1-1/2"



PDI SIZE	PIPE SIZE	FIXTURE UNIT LOAD
AA	1/2"	1-3
A	1/2"	1-11
B	3/4"	12-32
C	1"	33-60
D	1 1/4"	61-113
E	1 1/2"	114-154
F	2"	155-330

FIXTURE	TYPE OF SUPPLY CONTROL	WEIGHT IN FIXTURE - UNITS					
		PUBLIC			PRIVATE		
SERVICE SINK	FAUCET	TOTAL	C.W.	H.W.	TOTAL	C.W.	H.W.
WASHER	EQUIPMENT CONNECTION	4	3	3	3	2.25	2.25

DO NOT PROVIDE AIR CHAMBERS. PROVIDE WATER HAMMER ARRESTERS BY SIOUX CHIEF. PRECISION PLUMBING PRODUCTS, WATTS OR APPROVED EQUIVALENT WITH PISTON AND O-RING CONSTRUCTION, HAVING PDI #WH-201, ASSE # 1010, AND ANSI # A112.26.1M CERTIFICATION. INSTALL IN HORIZONTAL OR VERTICAL POSITION, BUT NEVER UPSIDE DOWN. INSTALL IN LINE WITH WATER FLOW DIRECTION IF POSSIBLE. SIZE THE UNITS PER THE TABLES SHOWN ABOVE.

WATER HAMMER ARRESTER DETAIL

NO SCALE

GENERAL NOTES (TYPICAL ALL SHEETS)

- PLUMBING CONTRACTOR IS RESPONSIBLE TO SEE THAT WORK MEETS AND IS IN ACCORDANCE WITH ALL REQUIREMENTS OF FEDERAL, STATE, AND LOCAL LAWS AND CODES AND/OR REQUIREMENTS, INCLUDING HEALTH CODES AND BUILDING OWNER.
- ALL EXISTING PIPING SHOWN ON DRAWINGS IS SCHEMATIC AND IS BASED ON EXISTING RECORD DRAWINGS PROVIDED BY THE OWNER AND DO NOT REFLECT EXACT EXISTING CONDITIONS. CONTRACTOR TO FIELD VERIFY EXACT DEPTH AND/OR LOCATIONS ON JOB SITE. CONTRACTOR SHALL REROUTE NEW WORK TO ACCOMMODATE EXACT LOCATIONS OF EXISTING UTILITIES, STUBOUTS AND/OR CONNECTIONS.
- CUTTING AND PATCHING OF FLOORS, WALLS, CEILING, ETC., REQUIRED IN STRICT ACCORDANCE WITH THE RULES AND REGULATIONS OF THE ARCHITECT'S AND/OR BUILDING OWNER REQUIREMENTS.
- COORDINATE ALL WORK WITH OTHER TRADES PRIOR TO INSTALLATION TO AVOID ROUTING CONFLICTS.
- ANY MATERIAL REMOVED THAT OWNER DOES NOT WISH TO RETAIN SHALL BE REMOVED FROM PROJECT SITE AND DISPOSED OF BY CONTRACTOR.
- INSTALL ELASTOMERIC JOINT SEALER AROUND ALL PIPES PASSING THRU INTERIOR NON-RATED CONCRETE AND MASONRY WALLS, GYPSUM-BOARD PARTITIONS, AND CONCRETE FLOOR/ROOF SLABS. FOR FIRE RATED INTERIOR CONCRETE AND MASONRY WALLS, GYPSUM-BOARD PARTITIONS, AND CONCRETE FLOOR/ROOF SLABS SEAL ALL PIPES. INSTALL FIRESTOP MATERIALS IN ALL GAPS PRIOR TO SEALANT APPLICATION. INSTALL SEALER ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS.
- PLUMBING CONTRACTOR SHALL MAKE FINAL CONNECTION TO ALL EQUIPMENT BY OTHERS. VERIFY CONNECTIONS SIZES AND REQUIREMENTS.
- PLUMBING CONTRACTOR SHALL SCAN FLOOR UTILIZING GROUND PENETRATING RADAR PRIOR TO ANY CORE DRILLING OR SAW CUTTING OF SLAB AND SHALL VERIFY PLACEMENT WITH BUILDING OWNER'S REPRESENTATIVE PRIOR TO DRILLING.
- ALL CABLE TIES FOR LOW VOLTAGE SYSTEMS LOCATED IN PLENUMS UTILIZED FOR AIR MOVEMENT THAT ARE NOT INSTALLED IN CONDUIT SHALL BE 25/50 FLAME AND SMOKE RATED, HELLERMANN TYTON T50 R2C2UL OR EQUIVALENT.

PLUMBING SYMBOLS

- EXISTING TO REMAIN
- NEW PIPING
- CW COLD WATER
- HW HOT WATER
- V SANITARY VENT ABOVE GROUND/FLOOR
- W SANITARY WASTE BELOW GROUND/FLOOR
- SHUT OFF VALVE
- PIPE DROP/PIPE RISE
- BOTTOM OUTLET TEE
- TOP OUTLET TEE
- PLUMBING FIXTURE DESIGNATION
- ETR EXISTING TO REMAIN
- CONNECT TO EXISTING
- WCO WALL CLEAN OUT

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DATE: MARCH 04, 2021
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DRAWN BY: PAM
APPROVED BY: BLH

SHEET NUMBER
P201

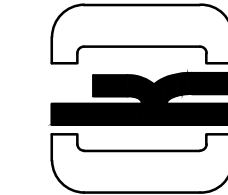
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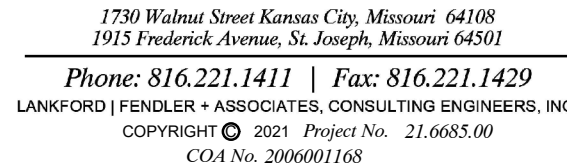
MEP ENGINEER:
LANKFORD, FENDLER & ASSOCIATES
1730 WALNUT ST.
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T: 816-221-1411

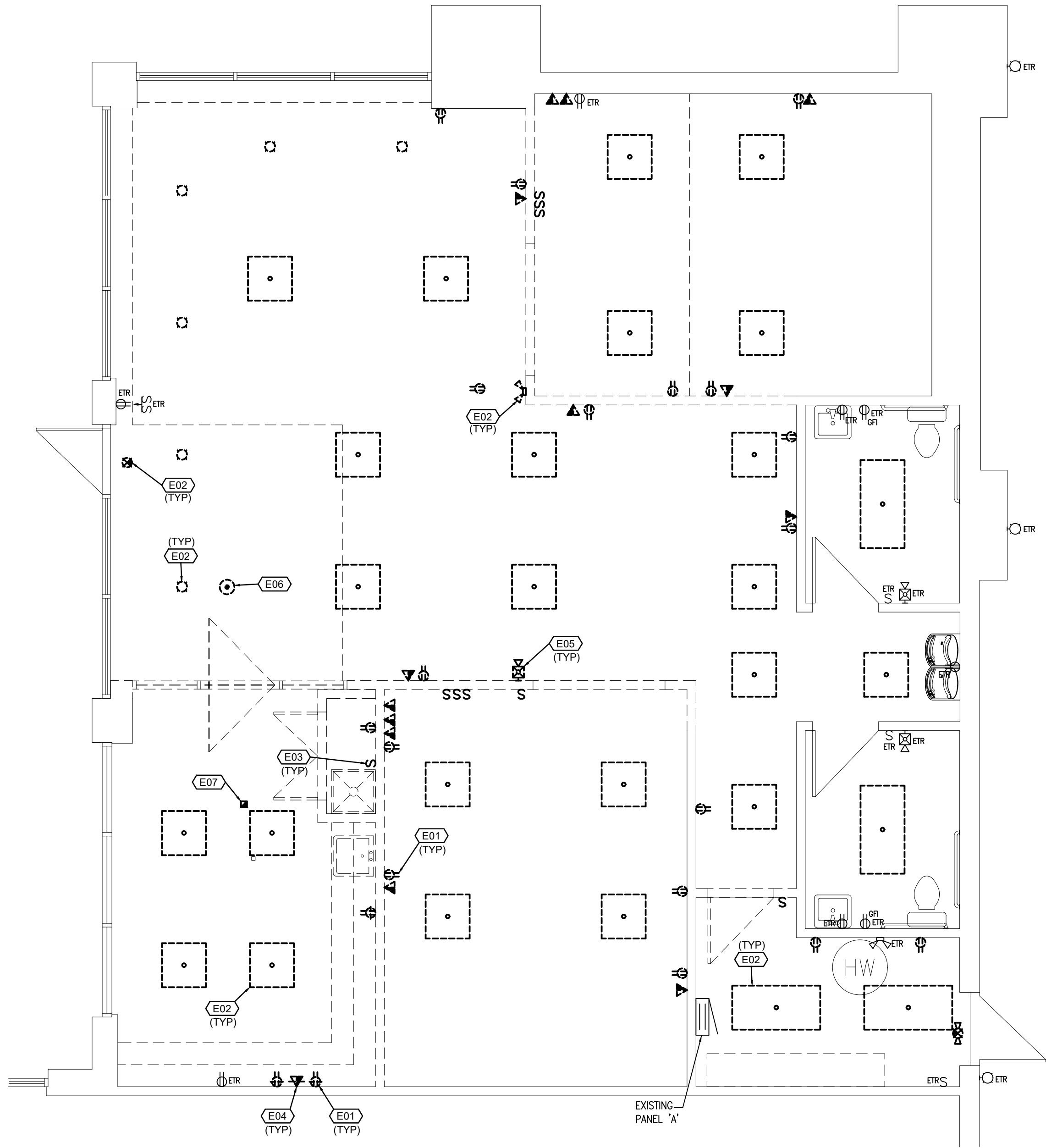
GENERAL CONTRACTOR:
CONSTRUCTION DESIGNWORKS, LLC
6657 WOODLAND DRIVE
SHAWNEE, KS 66218
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WARMAN ARCHITECTURE + DESIGN
1735 SWIFT AVENUE
NORTH KANSAS CITY, MISSOURI 64111
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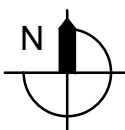
RELEASE FOR
CONSTRUCTION
AS NOTED ON PLANS REVIEW
DEVELOPMENT SERVICES
LEES SUMMIT, MISSOURI
03/22/2021





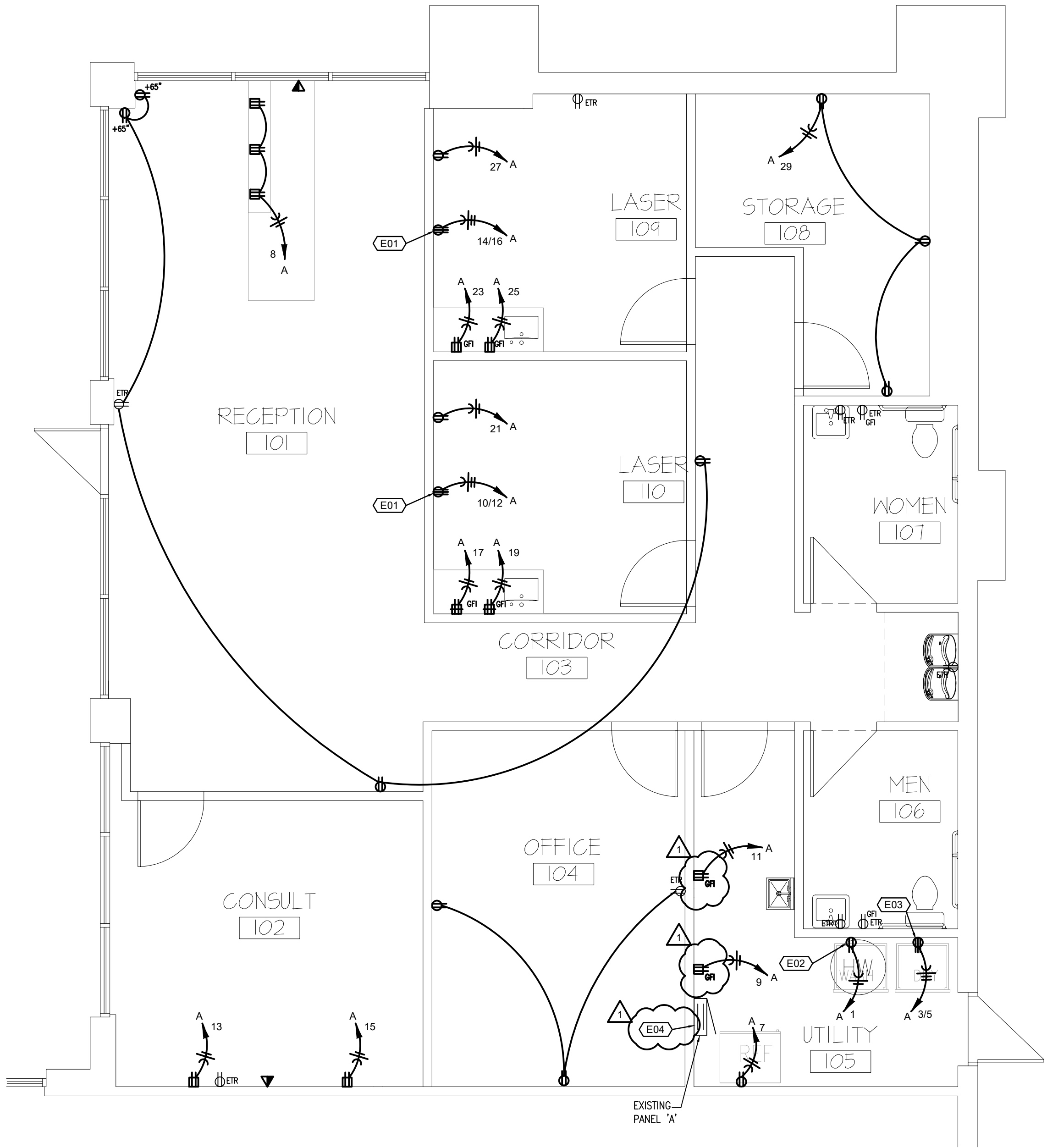
FLOOR PLAN-ELECTRICAL DEMOLITION

SCALE: 1/4"=1'-0"



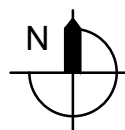
DE## FLOOR PLAN NOTES

- EXISTING RECEPTACLE TO BE REMOVED. REMOVE ALL ASSOCIATED WIRING AND CONDUIT BACK TO NEAREST DEVICE TO REMAIN.
- EXISTING LIGHT FIXTURE TO BE REMOVED. REMOVE ALL ASSOCIATED WIRING AND CONDUIT BACK TO NEAREST DEVICE TO REMAIN.
- EXISTING LIGHT SWITCH TO BE REMOVED. REMOVE ALL ASSOCIATED WIRING AND CONDUIT BACK TO NEAREST DEVICE TO REMAIN.
- EXISTING DATA DEVICE TO BE REMOVED. REMOVE ALL ASSOCIATED WIRING AND CONDUIT BACK TO NEAREST DEVICE TO REMAIN.
- EXISTING FIRE ALARM DEVICE TO BE REMOVED. REMOVE ALL ASSOCIATED WIRING AND CONDUIT BACK TO NEAREST DEVICE TO REMAIN.
- EXISTING FLOOR BOX TO BE REMOVED. REMOVE ALL ASSOCIATED WIRING AND CONDUIT BACK TO NEAREST DEVICE TO REMAIN. PATCH EXISTING FLOOR TO MATCH SURROUNDINGS.
- EXISTING POWER POLE TO BE REMOVED. REMOVE ALL ASSOCIATED WIRING AND CONDUIT BACK TO NEAREST DEVICE TO REMAIN. PATCH AND REPAIR FLOOR TO MATCH SURROUNDINGS.



FLOOR PLAN-POWER

SCALE: 1/4"=1'-0"



E## FLOOR PLAN NOTES

- 30A / 208V / 2-POLE TWIST LOCK RECEPTACLE. CONFIRM RECEPTACLE VOLTAGE, AMPERAGE, AND LOCATION WITH OWNER PRIOR TO ROUGH-IN.
- RECEPTACLE FOR WASHER. CONFIRM LOCATION WITH OWNER PRIOR TO ROUGH-IN.
- 30A / 208V / 2-POLE RECEPTACLE FOR DRYER. CONFIRM VOLTAGE, AMPERAGE, AND LOCATION WITH OWNER PRIOR TO ROUGH-IN.
- FIELD-VERIFY LOCATION OF PANELBOARD. NEC-REQUIRED CLEARANCE SHALL BE MAINTAINED IN FRONT OF PANEL.



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1915 Frederick Avenue, St. Joseph, Missouri 64501

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CDA No. 200600168

REVISIONS		SOURCE	CITY COMMENTS
#	BY	DATE	
1	LTD	3/9/21	

DATE:	MARCH 04, 2021
DESIGNED BY:	JSV
DRAWN BY:	JSV
APPROVED BY:	LTD

SHEET NUMBER
E101

JOB NUMBER
#5629-21

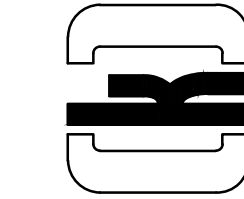
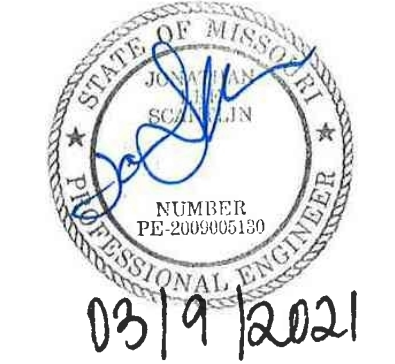
MILAN LASER HAIR REMOVAL
TENANT DEVELOPMENT

1734 NW CHIPMAN ROAD
LEES SUMMIT, MO 64081

DESIGNER:
KCD-KANSAS CITY DESIGN
GROUP, LLC
4006 N 126TH STREET
KANSAS CITY, KS 66109
T: 816.682.0329

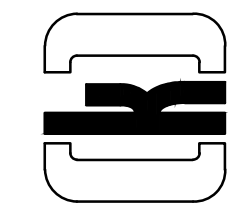
MEP ENGINEER:
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#	BY	DATE	REVISIONS	
			SOURCE	CITY COMMENTS
1	LTD	3/9/21		

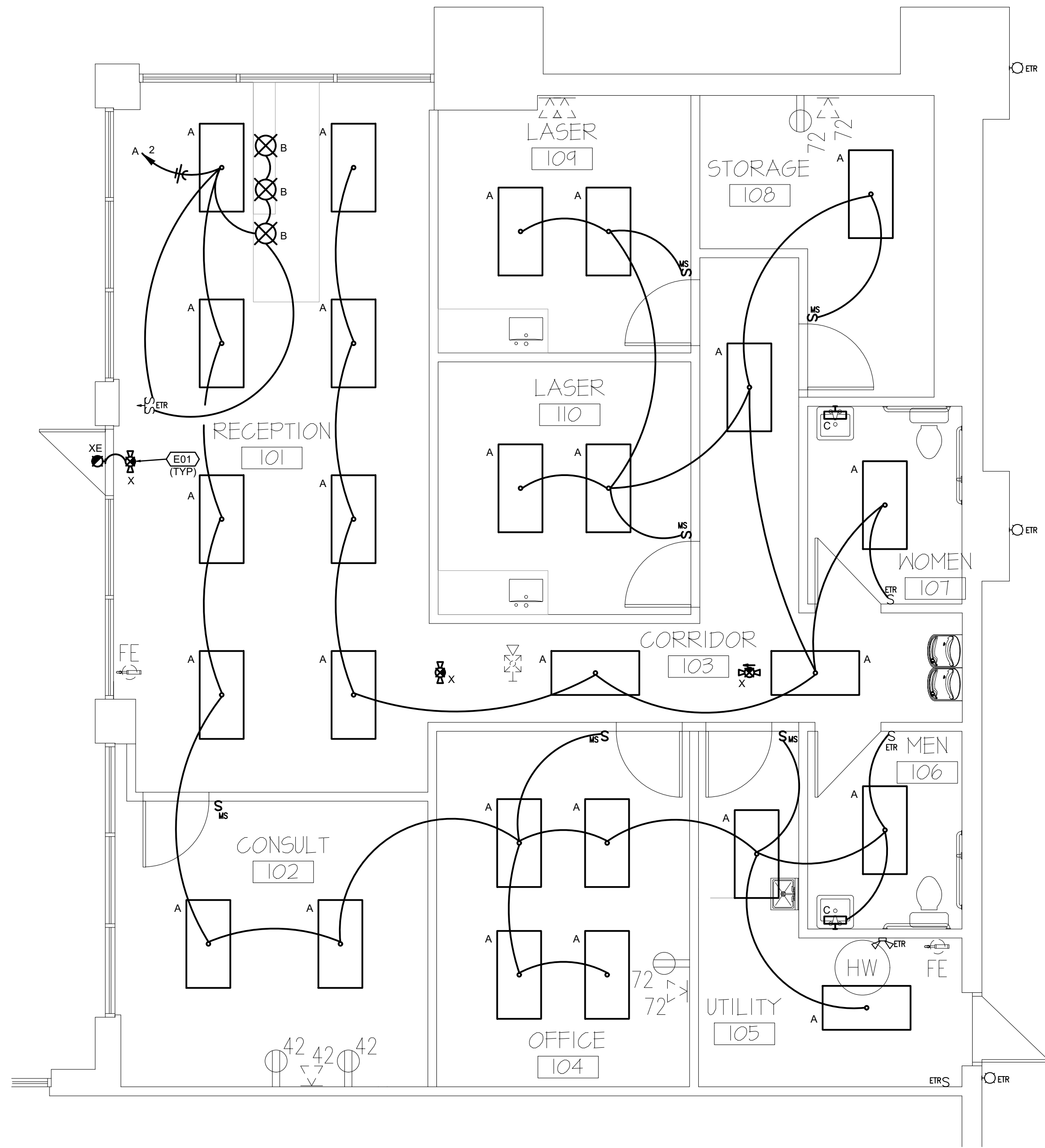
DATE: MARCH 04, 2021
DESIGNED BY: JSV
DRAWN BY: JSV
APPROVED BY: LTD

SHEET NUMBER

E102

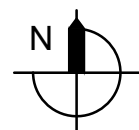
JOB NUMBER

#5629-21



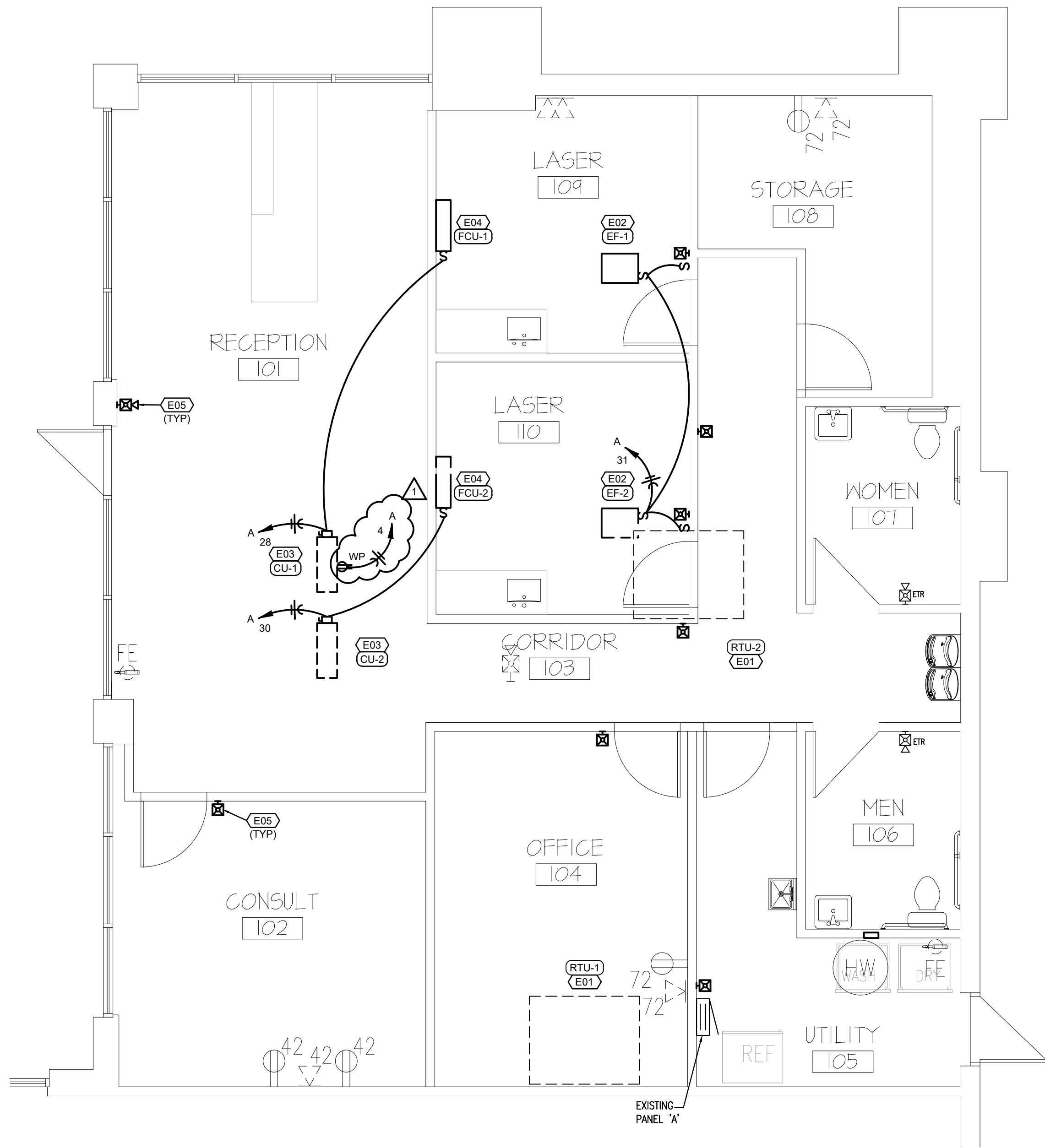
FLOOR PLAN-LIGHTING

SCALE:1/4"=1'-0"



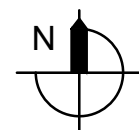
FLOOR PLAN NOTES

1. CONNECT EXIT/EMERGENCY LIGHT TO UNSWITCHED LIGHTING CIRCUIT SERVING THIS AREA.
2. REMOTE EMERGENCY LIGHT. POWER FROM EXIT SIGN.



FLOOR PLAN-SYSTEMS

SCALE:1/4"=1'-0"



FLOOR PLAN NOTES

1. EXISTING ROOFTOP UNIT TO REMAIN.
2. PROVIDE 120V/20A/1-POLE MOTOR-RATED TOGGLE DISCONNECT AT UNIT AND MAKE POWER CONNECTION TO UNIT. INSTALL AND INTERCONNECT WITH FAN SPEED SWITCH FURNISHED WITH UNIT AS SHOWN.
3. PROVIDE 250V/30A/1-POLE/NEMA 3R DISCONNECT AT UNIT AND MAKE POWER CONNECTION TO UNIT. INTERCONNECT WITH INDOOR UNIT AS REQUIRED.
4. PROVIDE 120V/20A/1-POLE MOTOR-RATED TOGGLE DISCONNECT AT UNIT AND MAKE POWER CONNECTION TO UNIT. INTERCONNECT WITH OUTDOOR UNIT AS REQUIRED.
5. CONNECT NEW FIRE ALARM DEVICE TO EXISTING SYSTEM.

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BRANCH CIRCUIT COPPER CONDUCTOR AND CONDUIT SIZING CHART*

- * = UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- * = UNLESS OTHERWISE NOTED ON THE DRAWINGS, ALL BRANCH CIRCUITS AND FEEDERS TO BE PROVIDED WITH A NEUTRAL WIRE.
- * = ALL CONDUCTORS SIZED ON THE POWER RISER DIAGRAM OR IN BRANCH CIRCUIT CONDUCTOR TABLE ARE BASED ON 3 CURRENT CARRYING CONDUCTORS IN A RACEWAY OR CABLE. CONDUCTORS SHALL BE DERATED IN ACCORDANCE WITH THE NEC IF 4 OR MORE CONDUCTORS ARE PLACED IN A RACEWAY OR CABLE.

GENERAL NOTES:
1. ALL FIXTURES TO BE SELECTED BY OWNER