

#### LEGEND

- Gas Meter
- Telephone or Fiber-Optic Pedestal
- Cable TV Pedestal
- Electric Pedestal
- Light Pole
- Mailbox
- Fire Hydrant
- Water Valve

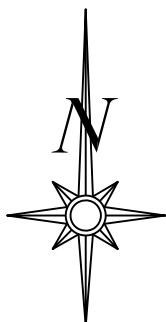
#### PROPOSED HOUSE

TOP FOUNDATION = 998.65  
GARAGE FLOOR = 996.65  
TOP FOOTING = 989.65  
BASEMENT FLOOR = 989.98

E = EXISTING ELEVATION  
F = PROPOSED FINAL ELEVATION  
G = ADJACENT GRADE AT EGRESS  
U/E = UTILITY EASEMENT  
B/L = BUILDING LINE  
S/Y/S = SIDE YARD SETBACK  
R/Y/S = REAR YARD SETBACK

#### NOTES

- BUILDER TO VERIFY ALL BUILDING ELEVATIONS AND DIMENSIONS.
- THIS PLOT PLAN DOES NOT CONSTITUTE A BOUNDARY SURVEY.
- THE EASEMENTS SHOWN ON THIS PLOT PLAN ARE TAKEN FROM THE FINAL PLAT. OTHER EASEMENTS MAY EXIST.



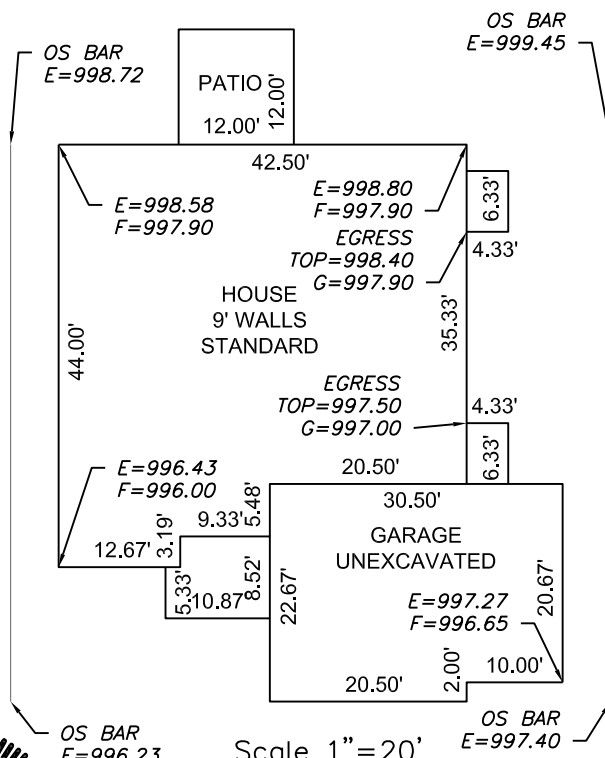
Scale 1"=30'

#### LOT INFORMATION

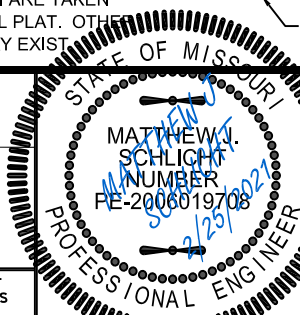
9008.41 SQ. FT.  
MBFE =984.45  
ADDRESS  
1529 SW GEORGETOWN DR

#### LEGAL DESCRIPTION

LOT 72, THE RESERVE AT  
STONE CREEK 3RD PLAT, A  
SUBDIVISION AS RECORDED IN  
LEE'S SUMMIT, JACKSON  
COUNTY, MISSOURI.



**ENGINEERING SOLUTIONS**  
ENGINEERING & SURVEYING  
50 SE 30TH STREET  
LEE'S SUMMIT, MO 64082  
P:(816) 623-9888 F:(816)623-9849  
WWW.ENGINEERINGSOLUTIONSKC.COM



#### PLOT PLAN - LOT 72

THE RESERVE AT STONEY CREEK - 3RD PLAT  
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

SUMMIT HOMES  
120 SE 30TH STREET  
LEE'S SUMMIT, MO 64082

PROJECT NO.	FILE NAME	DATE	SHEET	OF
1	LOT 72, RESERVE AT STONEY CREEK	2/10/21	1	1

THIS DRAWING IS NOT VALID UNLESS THE SIGNATURE, DATE AND SEAL OF THE ENGINEER WHO SUPERVISED THE PREPARATION OF THIS DRAWING HAS BEEN AFFIXED HERETO.