

NOTE : DECK APPROVAL WILL BE
REQUIRED PRIOR TO (FUTURE) DECK
CONSTRUCTION

EXTENDED LOT AREA = 9838.9 SF
DRIVEWAY AREA= 889.6 SF
DRIVEWAY APPROACH = 235.5 SF
SIDEWALK = 275.2 SF

DRIVEWAY SLOPE = 8.0%

LEGEND

- Gas Meter
- Telephone or Fiber-Optic Pedestal
- Cable TV Pedestal
- Electric Pedestal
- Light Pole
- Mailbox
- Fire Hydrant
- Water Valve

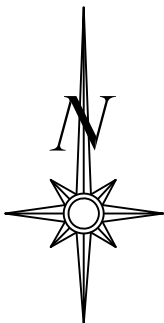
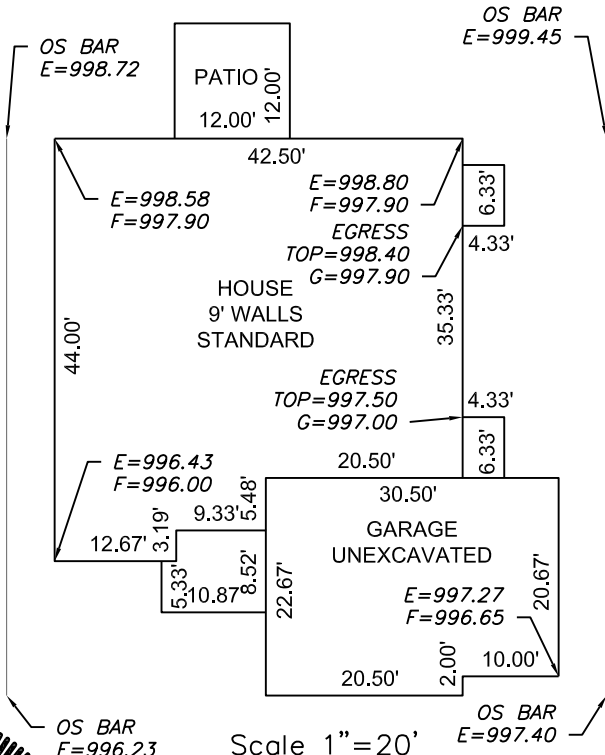
PROPOSED HOUSE

TOP FOUNDATION = 998.65
GARAGE FLOOR = 996.65
TOP FOOTING = 989.65
BASEMENT FLOOR = 989.98

E = EXISTING ELEVATION
F = PROPOSED FINAL ELEVATION
G = ADJACENT GRADE AT EGRESS
U/E = UTILITY EASEMENT
B/L = BUILDING LINE
S/Y/S = SIDE YARD SETBACK
R/Y/S = REAR YARD SETBACK

NOTES

- BUILDER TO VERIFY ALL
BUILDING ELEVATIONS AND
DIMENSIONS.
- THIS PLOT PLAN DOES NOT
CONSTITUTE A BOUNDARY
SURVEY.
- THE EASEMENTS SHOWN ON
THIS PLOT PLAN ARE TAKEN
FROM THE FINAL PLAT. OTHER
EASEMENTS MAY EXIST.



Scale 1"=30'

LOT INFORMATION

9008.41 SQ. FT.
MBFE =984.45
ADDRESS
1529 SW GEORGETOWN DR

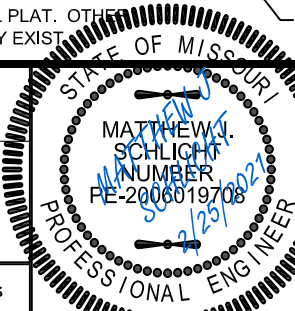
LEGAL DESCRIPTION

LOT 72, THE RESERVE AT
STONE CREEK 3RD PLAT, A
SUBDIVISION AS RECORDED IN
LEE'S SUMMIT, JACKSON
COUNTY, MISSOURI.

ENGINEERING
ENGINEERING & SURVEYING
SOLUTIONS

50 SE 30TH STREET
LEE'S SUMMIT, MO 64082
P:(816) 623-9888 F:(816) 623-9849
WWW.ENGINEERINGSOLUTIONKCC.COM

THIS DRAWING IS NOT VALID UNLESS THE SIGNATURE, DATE AND SEAL OF
THE ENGINEER WHO SUPERVISED THE PREPARATION OF THIS DRAWING HAS
BEEN AFFIXED HERETO.



PLOT PLAN - LOT 72

THE RESERVE AT STONEY CREEK - 3RD PLAT
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

SUMMIT HOMES
120 SE 30TH STREET
LEE'S SUMMIT, MO 64082

PROJECT NO.	FILE NAME	DATE	SHEET	OF
1	LOT 72, RESERVE AT STONEY CREEK	2/10/21	1	1