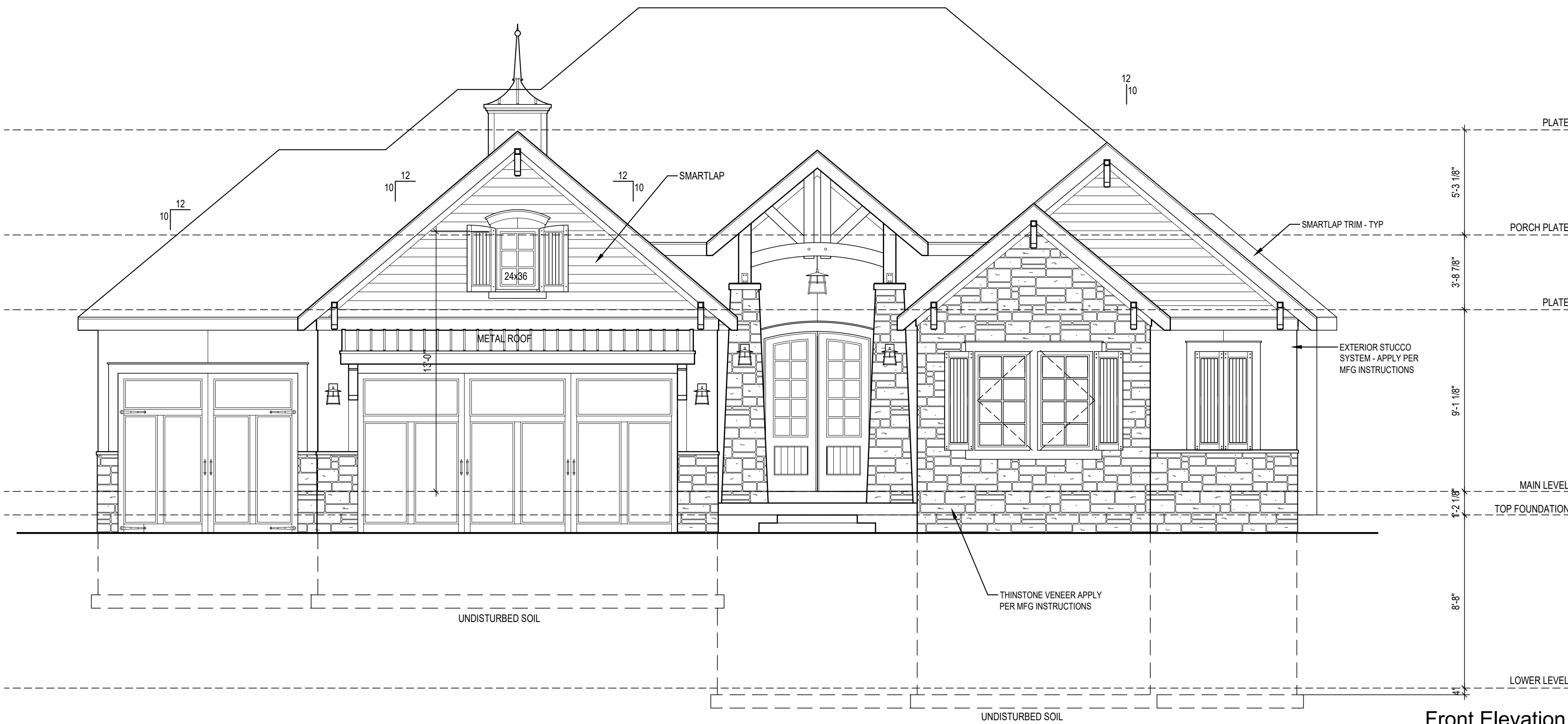


ELEVATION NOTES

1. FINAL GRADE LINE MAY VARY PER EXISTING SITE CONDITIONS. REFER TO PLOT PLAN FOR SPECIFIC SITE GRADE CONDITIONS.
2. ALL ROOFING TO BE ASPHALT COMPOSITION UNLESS NOTED OTHERWISE.
3. ROOF AND SOFFIT VENTS PER LOCAL CODES. WHERE POSSIBLE, PROVIDE ROOF VENTING ON BACK SIDE OF ROOF.
4. GUTTER AND DOWNSPOUT LOCATIONS TO BE DETERMINED BY GUTTER INSTALLER.
5. SMART PANEL SIDING ON SIDE AND REAR ELEVATIONS UNLESS NOTED OTHERWISE.
6. REFER TO STRUCTURAL SHEETS FOR EXTERIOR DECK DETAILS.

NOMENCLATURE

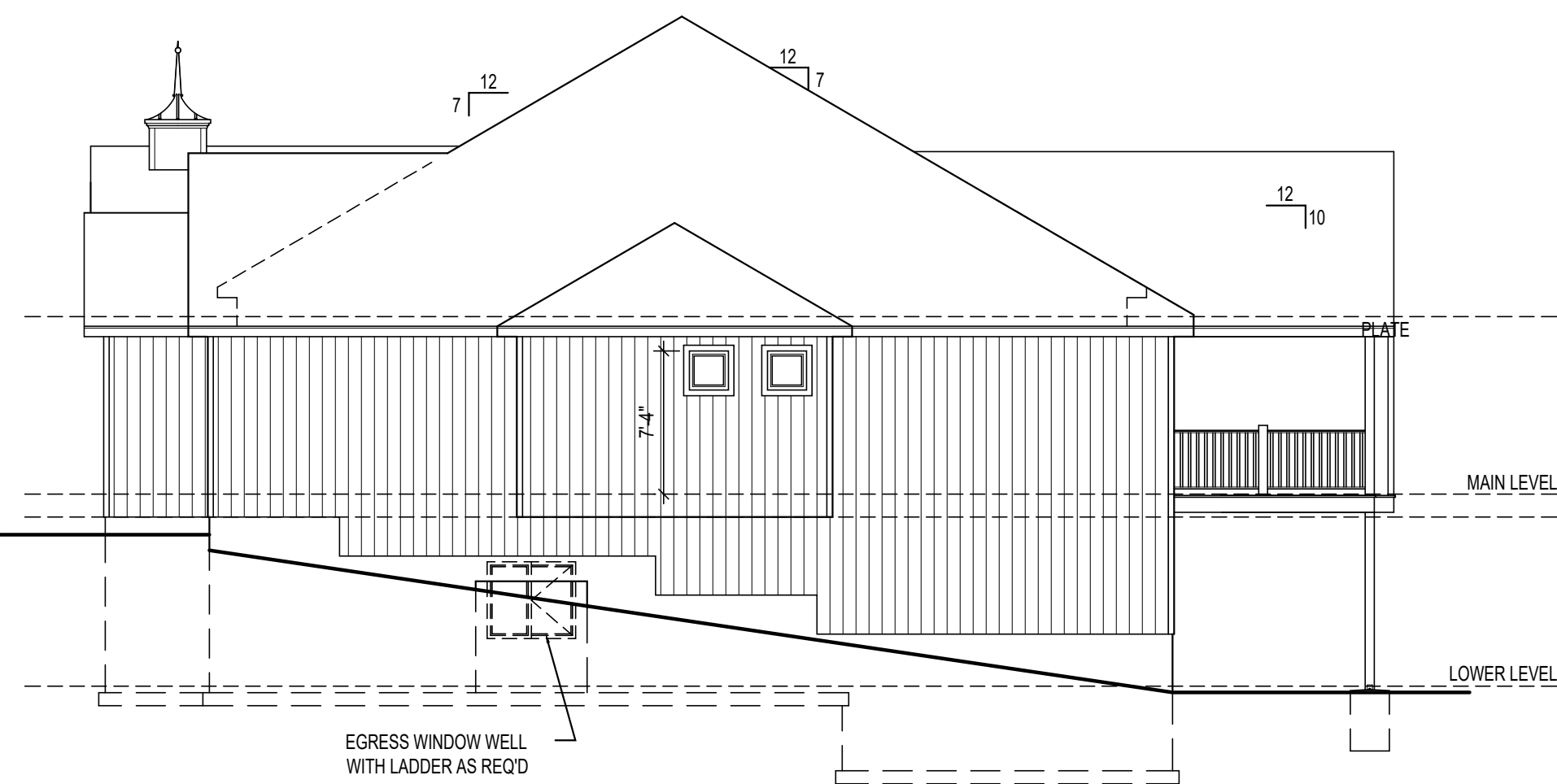
WINDOW CALLOUT (RE: WINDOW SCHEDULE)
TEMPERED GLASS ON DOOR OR WINDOW (RE: WINDOW NOTES)
EGRESS WINDOW PER CODE (RE: WINDOW NOTES)



Front Elevation

1/4" = 1'-0"

1



Side Right Elevation

1/8" = 1'-0"

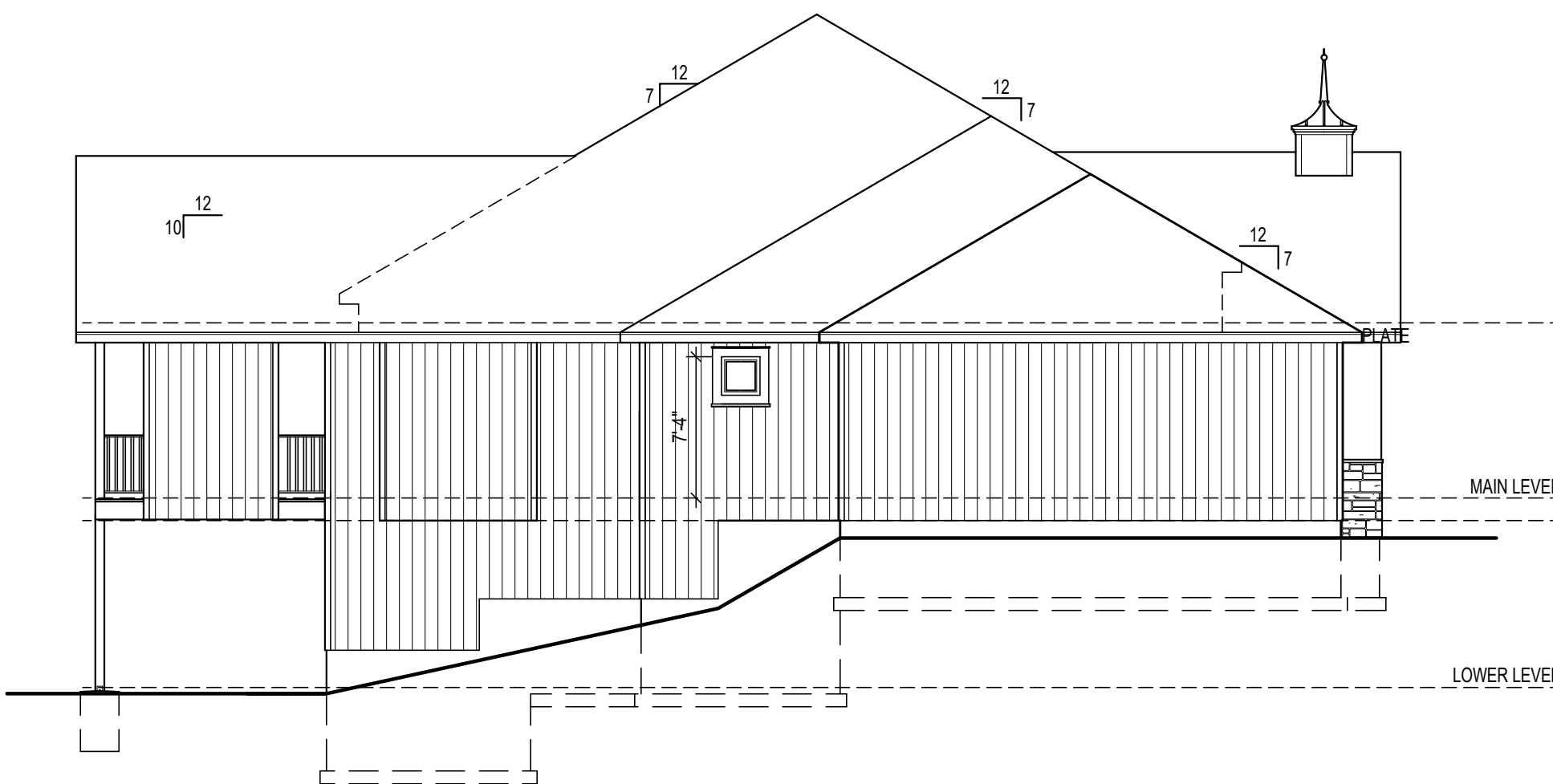
2



Rear Elevation

1/8" = 1'-0"

3



Side Left Elevation

1/8" = 1'-0"

4



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THE SUMMERFIELD CUSTOM

Jim and Kari Wilcox
2155 NW Killarney Ln, Lee's Summit, MO
Lot 135 - Woodside Ridge Subdivision

Project #: 8083-XXXX

DATE:

For Permit: 2/12/2021

Exterior
Elevations

A100

4. BUILDING PERMIT WILL BE REQUIRED FOR THE PROJECT. THIS SET OF DOCUMENTS TO BE SUBMITTED AS A PERMIT SET OF DRAWINGS.
5. ALL CONTRACTORS SHALL VISIT THE JOB SITE AND SHALL REVIEW THE PERMIT DRAWINGS TO FAMILIARIZE THEMSELVES WITH THE REQUIREMENTS AND INTENT OF THE SCOPE OF WORK. ANY DEFICIENCIES OR DISCREPANCIES DISCOVERED SHALL BE REPORTED FOR REVIEW AND CLARIFICATION TO THE CITY ENGINEER.
6. ALL NEW CONSTRUCTION SHALL MEET LATEST EDITIONS OF ALL APPLICABLE NATIONAL, STATE AND LOCAL BUILDING CODES - INTERNATIONAL RESIDENTIAL CODE.
7. ALL WORKMANSHIP SHALL BE TO THE HIGHEST QUALITY. QUALITY MATERIALS SHALL BE USED THROUGHOUT. ALL WORK SHALL BE DONE IN A MANNER SO AS TO MATCH ADJACENT WORK AND FINISHES AND APPROVED BY OWNER.
8. CONTRACTORS SHALL REMOVE ALL CONSTRUCTION DEBRIS. ALL CONSTRUCTION DEBRIS SHALL BE CONTAINED PER CITY REQUIREMENTS. AREAS FOR MATERIAL STORAGE, TRASH DISPOSAL, WORKMANS PARKING ETC. SHALL BE OBTAINED FROM THE CITY ENGINEER.
9. ALL DIMENSIONS TO BE VERIFIED BY CONTRACTOR.
10. IT IS THE RESPONSIBILITY OF THE CONTRACTORS TO COORDINATE WITH THE OWNER THE QUANTITY AND LOCATION FOR ALL LIGHTING, VENTILATION, EXHAUST FANS, VENTILATORS, AND MECHANICAL AND PLUMBING SYSTEMS AS REQUIRED.
11. THE CONTRACTORS SHALL ADHERE TO THE STATE OF KANSAS ONE CALL SYSTEM (800-473-3333) AND THE NATIONAL ONE CALL SYSTEM (800-473-3333). THE PERSON OR FIRM DOING EXCAVATION ON PUBLIC RIGHT OF WAY MUST GIVE NOTICE TO, AND OBTAIN INFORMATION FROM, UTILITY COMPANIES. THE CONTRACTORS SHALL NOTIFY THOSE COMPANIES WHICH HAVE A DEED IN THE NEAR BY AREA AND THE CONTRACTOR SHALL BE PERFORMED WHEN WORK COMMENCES.

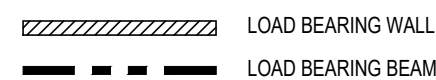
1. ALL FOOTING REIN TO BE EXTENDED TO MIN 36" BELOW FINISHED GRADE
2. ALL INTERIOR FOOTINGS FOR LOAD BEARING WALLS AND COLUMNS SHALL BE ISOLATED FROM THE BASEMENT FLOOR PLATE
3. EXTERIOR WALLS TO BE CONCRETE ON GRAVEL WITH WALK STEPS, PROVIDE ONE #4 BAR, 48" LONG DIAGONALLY AS CLOSE AS PRACTICAL TO CORNER
4. ALL REINFORCEMENT SHALL BE LAPPED A MIN 36" AT 24" END SPICES AND AROUND CORNERS
5. JOINTS ARE TO BE SPACED @ 36" WITH 7" MIN EMBED. A BOLT SHALL BE PLACED WITHIN 12" OF THE END OF EACH PLATE SECTION. FASTEN JOINTS TO SILL PLATES WITH (3) 6CM NAILS
6. WHERE JOINT IS PARALLEL TO FOUNDATION, PROVIDE SQUARED BOLT CLIPPING @ 32" MIN. (1ST SECTION)
7. PROVIDE 1" MIN. EMBEDMENT OF SILL PLATE INTO CONCRETE AND 1" VAPOR BARRIER & 1/2" PE VAPOR RETARDER WITH JOINTS LAPPED A MIN OF 2' BETWEEN SILL AND BASE
8. DRAIN PROOFING: ONE COAT COAT OF DRAIN PROOF OR EQUIVALENT "SILICONE" MEMBRANE SHALL BE APPLIED TO EXTERIOR WALL SURFACES BELOW GRADE. SEAL THE HOLES. VOICES BEFORE APPLICATION FOUNDATION DRAIN: INSTALL CONG. @ PERFORATED PVC DRAIN TIE. DRAIN TIE TO BE EXTENDED TO SQUARE SUMP PIT WHICH EXTENDS A MIN OF 10' FROM FOUNDATION
9. ALL FRAMING MEMBERS IN CONTACT WITH CONCRETE SHALL BE ACQ TREATED LUMBER
10. ALL STEEL FASTENERS (GALVANIZING, DRAIN, ANCHOR BOLTS) ON ACQ TO BE CORROSION PROTECTED
11. PROVIDE A "UFER" GROUND PER 3608.1
12. EGRESS WALL REQUIREMENTS
13. IF THE VERTICAL DISTANCE FROM THE WINDOW SILL TO ADJACENT GRAIS GREATER THAN 48" PROVIDE A LADDER
14. ADD DRAIN TO DAYLIGHT OR SUMP PUMP

1. COLUMN & PIER PAD SIZES SHOWN ARE BASED ON AN ASSUMED MINIMUM ALLOWABLE SOIL BEARING CAPACITY OF 1,500 psf.
2. GARAGE FOOTINGS PER DETAIL, COLUMN NOT REQUIRED UNLESS NOTED ON PLANS

1. FLOOR TRUSS OR JOIST LOADING SHALL BE PER THE GENERAL NOTES
JOISTS MAY BE SHOWN AS SIMPLE SPAN TO DEFINE SPANS AND BEARING
POINTS, TRUSS MGFS TO RUN CONTINUOUS WHERE POSSIBLE.
2. COORDINATE I-JOISTS LOCATIONS WITH PLUMBING DRAIN LINES AT ALL
TOILET LOCATIONS.
3. JOIST BLOCKING WHERE NOTED ON PLANS MAY BE OMITTED AT HVAC AND
PLUMBING LOCATIONS AS REQUIRED.
4. EXACT I-JOIST OR FLOOR TRUSS LAYOUT TO BE PROVIDED BY TRUSS
MANUFACTURER. DESIGN AND LAYOUT TO BE SUBMITTED TO VAN
DEURZEN AND ASSOCIATES TO REVIEW FOR GENERAL CONFORMANCE TO
THE DESIGN OF THE PROJECT. SUBMITTAL TO BE SUBMITTED TO THE CODES
ADMINISTRATION FOR PERMITTING.
5. IF A CONFLICT EXISTS BETWEEN SHOP DRAWINGS AND CONTRACT SET,
THE CONTRACT SET SUPERCEDES THE JOIST/TRUSS LAYOUT.

ALL I-JOIST AND OPEN WEB TRUSSES OVER UNFINISHED SPACE EXCEEDING 80 SQUARE FEET IN AGGREGATE AREA TO BE PROTECTED BY THE FOLLOWING METHOD:

- 3" MINERAL/ROCK WOOL COVERING BTM CHORD AND NETTING PER APA FORM R425 METHOD 4



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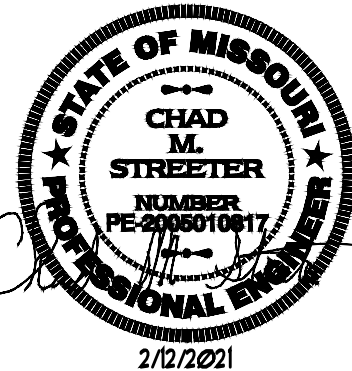
Project #: 8083-XXXX

DATE: _____

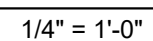
For Permit: 2/12/2021

Foundation Plan

A101



A102



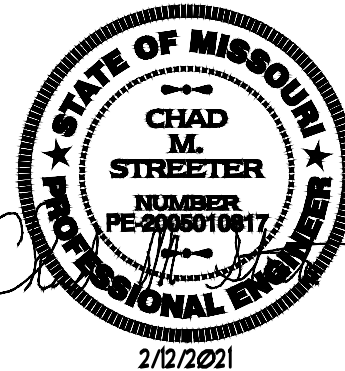


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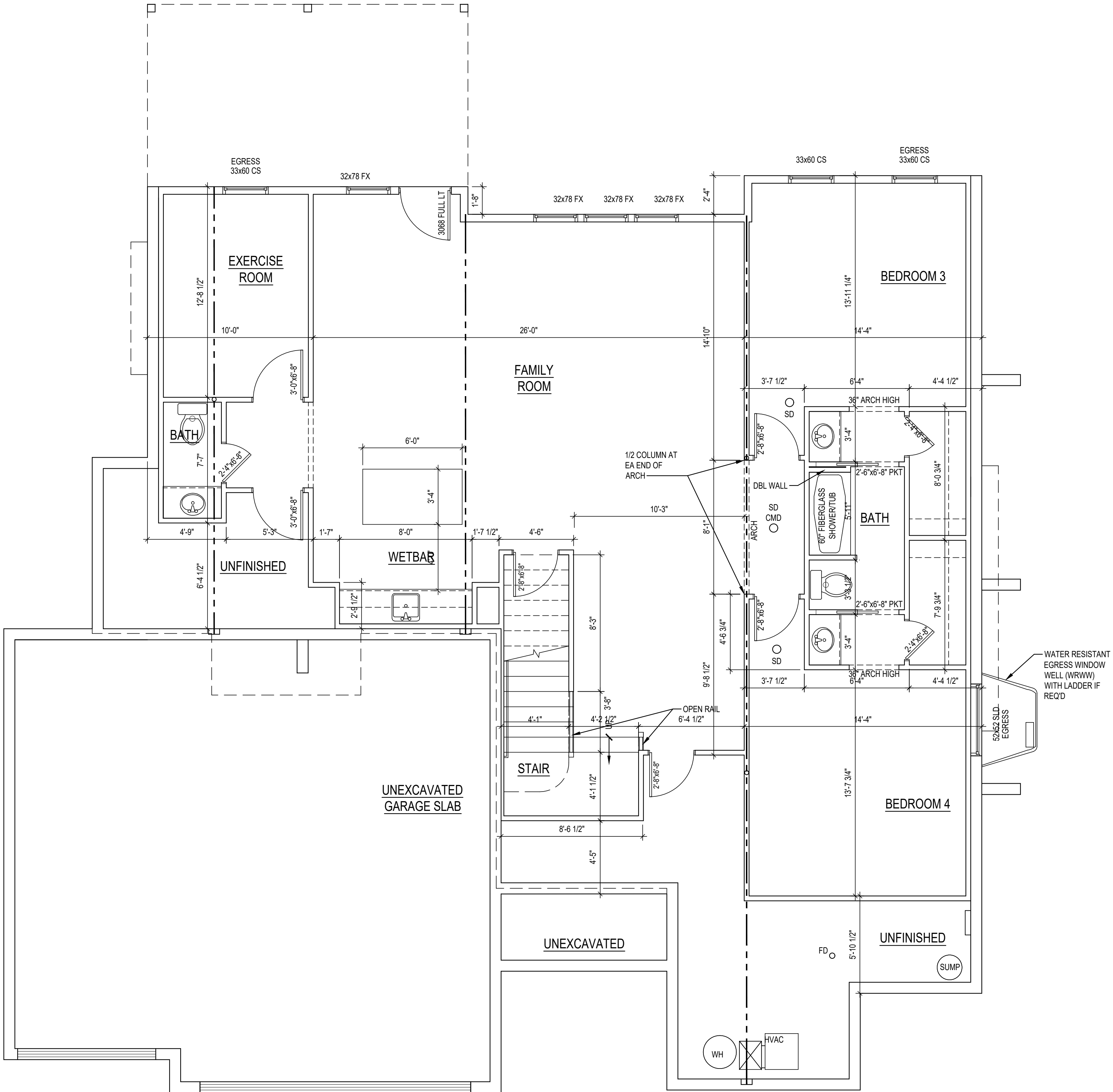
VAN DEURZEN & ASSOCIATES, P.A.
1011 KING STREET, SUITE 130
OVERLAND PARK, KS 66210
(913) 451-6305 FAX (913) 451-1021
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THE SUMMERFIELD CUSTOM

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LOWER LEVEL
FINISHED AREA: 1454 SF
UNFINISHED: 421 SF

Project #: 8083-XXXX

DATE:

For Permit: 2/12/2021

Basement Finish
Plan

A103

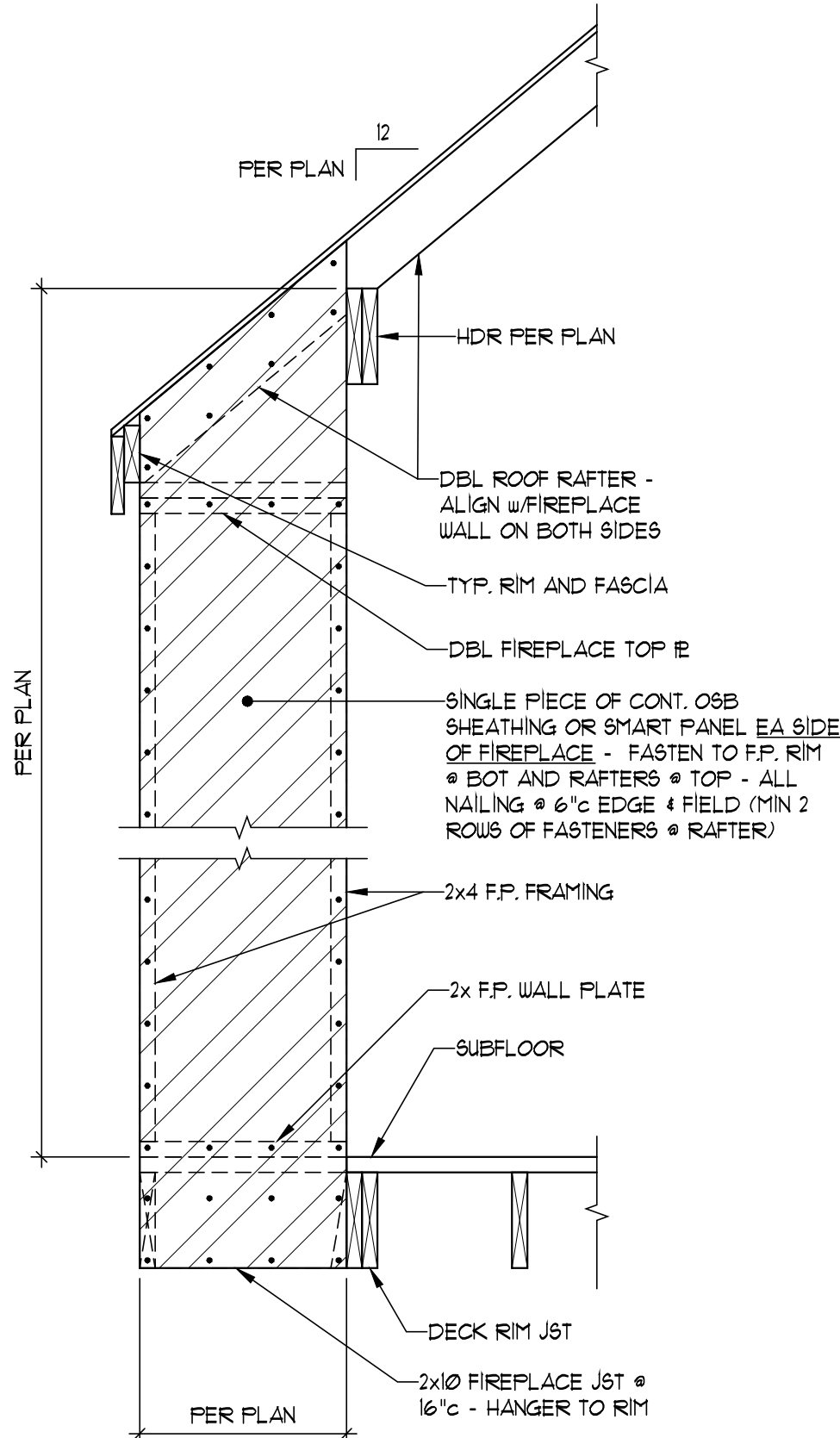
ROOF PLAN NOTES

- ALL ROOF RAFTERS NOT CALLED OUT ARE TO BE 2x6 SPF #1/#2 @ 16" c
- ALL CEILING JOISTS NOT CALLED OUT ARE TO BE 2x6 SPF #1/#2 @ 16" c
- ALL VAULTS TO BE FURRED DOWN w/2x MATERIAL TO PROVIDE FOR R-38 INSULATION
- ALL EXTERIOR AND LOAD BEARING WINDOW AND DOOR HEADERS TO BE (2) 2x10 D.FIR #2 UNLESS NOTED OTHERWISE ON PLANS
- ALL RIDGES, HIPs, AND VALLEYS NOT MARKED SHALL BE (1) NOMINAL SIZE LARGER THAN THE INTERSECTING RAFTERS
- CEILING JOISTS AND RAFTERS SHALL BE NAILED TO EACH OTHER WITH (3) 16d COM (3 1/2"x0.162") NAILS AND THE RAFTER SHALL BE NAILED TO THE TOP WALL PLATE WITH (3) 8d COM (2 1/2"x0.131") NAILS. CEILING JOISTS SHALL BE CONTINUOUS OR SECURELY JOINED WITH (3) 16d COM (3 1/2"x0.162") NAILS WHERE THEY MEET OVER INTERIOR PARTITIONS AND ARE NAILED TO ADJACENT RAFTERS TO PROVIDE A CONTINUOUS TIE ACROSS THE BUILDING WHEN SUCH JOISTS ARE PARALLEL TO THE RAFTERS.
- WHERE CEILING JOISTS ARE NOT CONNECTED TO THE RAFTERS AT THE TOP WALL PLATE (or AT LOCATIONS WHERE C.J. ARE PERPENDICULAR TO RAFTERS), INSTALL 2x4 RAFTER TIES @ 16" c WITH (3) 16d COM (3 1/2"x0.162") NAILS EA END.
- RAFTER CONNECTIONS DESIGNED TO RESIST UPLIFT FORCES PER IRC TABLE R802.11. ROOF HEADERS DO NOT HAVE NOTABLE UPLIFT TO REQUIRE HOLD DOWNS. REFER TO STRUCTURAL DETAIL SHEET S1 CONNECTION TABLE FOR FASTENERS
- INSTALL 2x4 COLLAR TIES @ 48" IN UPPER 1/3rd OF ROOF RAFTER.
- PROVIDE METAL FLASHING AT ALL ROOF VALLEYS.
- ROOF AND SOFFIT VENTS PER LOCAL CODES. WHERE POSSIBLE, PROVIDE ROOF VENTING ON BACK SIDE OF ROOF. BATH VENTS TO VENT DIRECTLY TO THE OUTSIDE.
- EXACT GUTTER AND DOWNSPOUT LOCATION BY GUTTER INSTALLER.
- PER IRC SECTION R802.3 - FOR ROOF PITCHES 3/12 OR GREATER, STRUCTURAL MEMBERS THAT SUPPORT RAFTERS AND CEILING JOISTS SUCH AS RIDGE BEAMS, HIPs AND VALLEYS THAT ARE SUPPORTED BY BRACES AND/OR PURLINS AT THE ENDS ARE NOT REQUIRED TO BE DESIGNED AS BEAMS AND ARE TO BE FRAMED USING LUMBER THAT IS NOMINALLY 2" WIDE BY ONE SIZE GREATER THAN ATTACHING FRAMING MEMBER (NOTE #5). THERE IS NO STRUCTURAL LINE LOADING ON THE MEMBER.

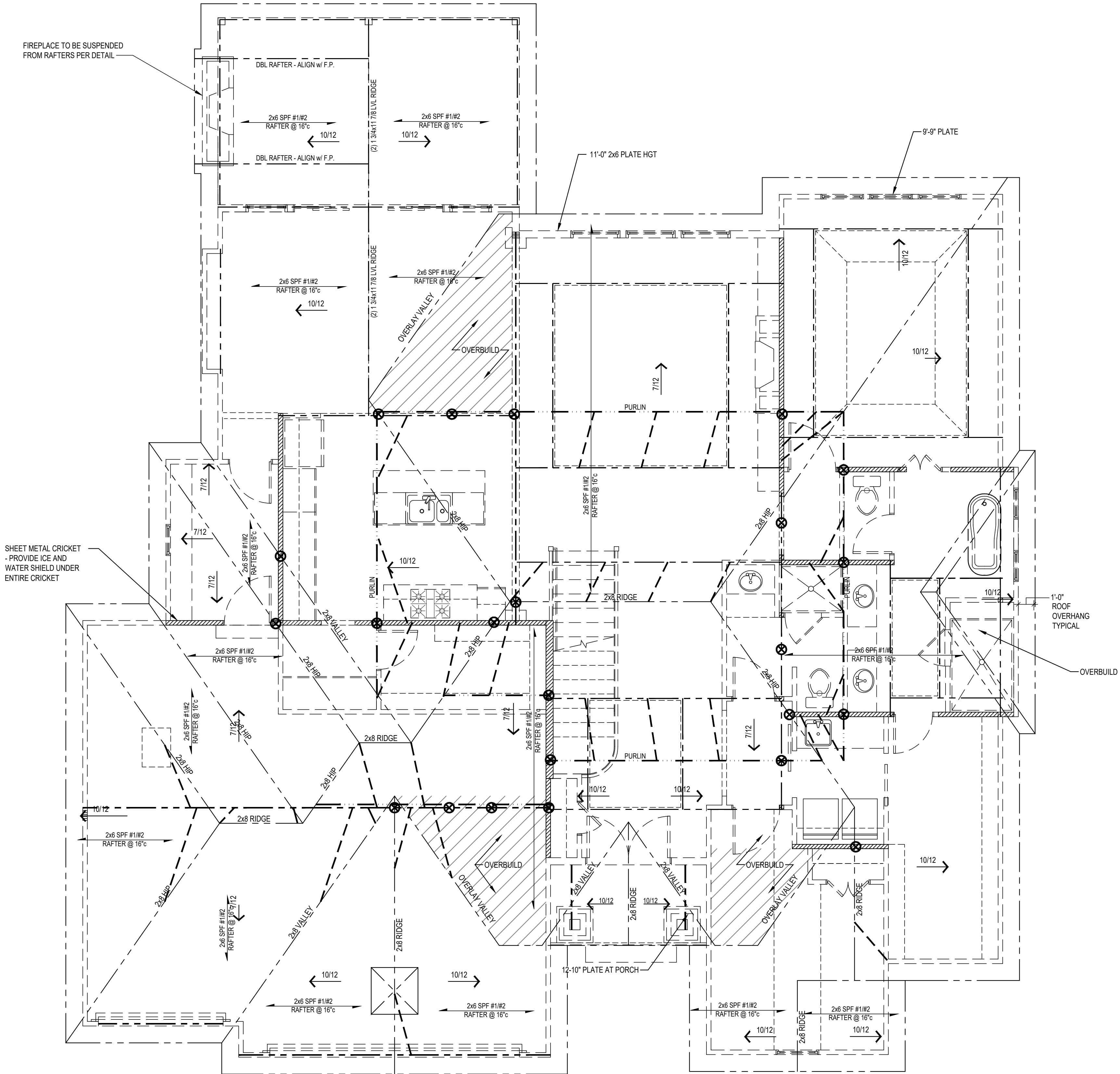
ROOF BRACING

- ROOF PURLINS TO BE PLACED APPROXIMATELY WHERE SHOWN ON PLANS. USE 2x6 STUD GRADE PURLIN PLACED PERPENDICULAR TO RAFTERS (UNLESS NOTED OTHERWISE ON PLANS)
- RIDGE, HIP, VALLEY, AND PURLIN BRACE STRUTS TO BE PLACED AS SHOWN ON PLANS. STRUTS TO BE 2x4 STUD GRADE w/ MAXIMUM UNBRACED LENGTH OF 8'-0" AND AT 4-45° ANGLE w/ HORIZONTAL OR GREATER (VERTICAL WHERE POSSIBLE)
- BRACES LONGER THAN 8'-0" SHALL BE 2x4 STRONG BACK BRACES

- LOAD BEARING INTERIOR WALL BELOW
--- LOAD BEARING BEAM BELOW
--- 2x6 ROOF PURLIN (UNLESS NOTED OTHERWISE ON PLANS)
--- 2x4 PURLIN/RIDGE BRACING (STRONG BACK IF OVER 8'-0" LONG)
⊗ 2x4 STRONG BACK POST



SUSPENDED FIREPLACE DETAIL
SCALE: 3/4" = 1'-0"



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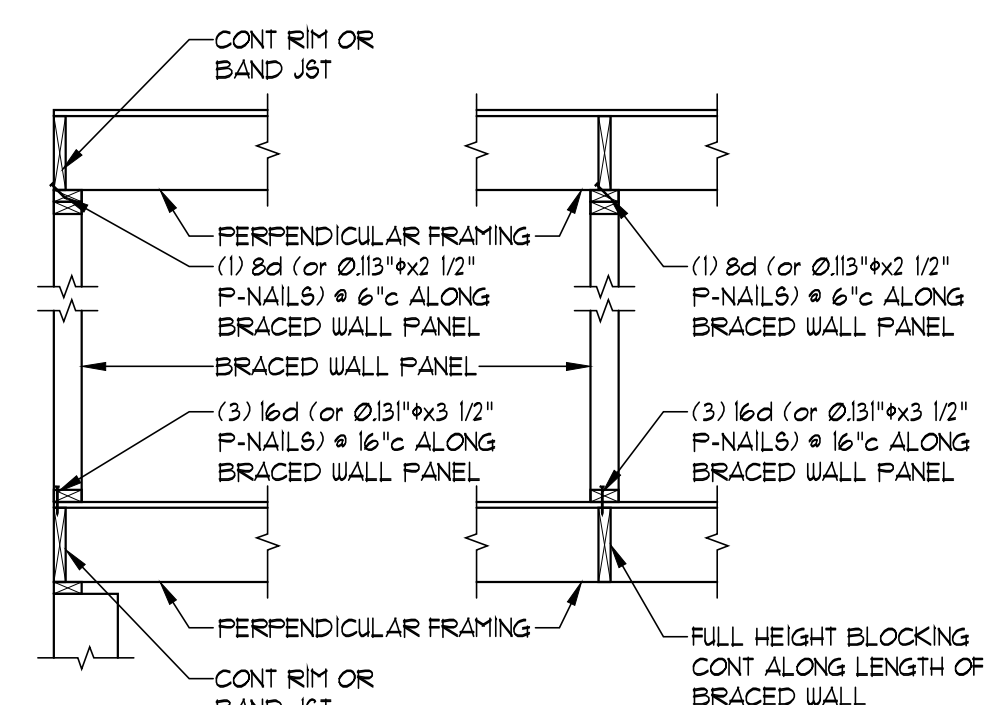
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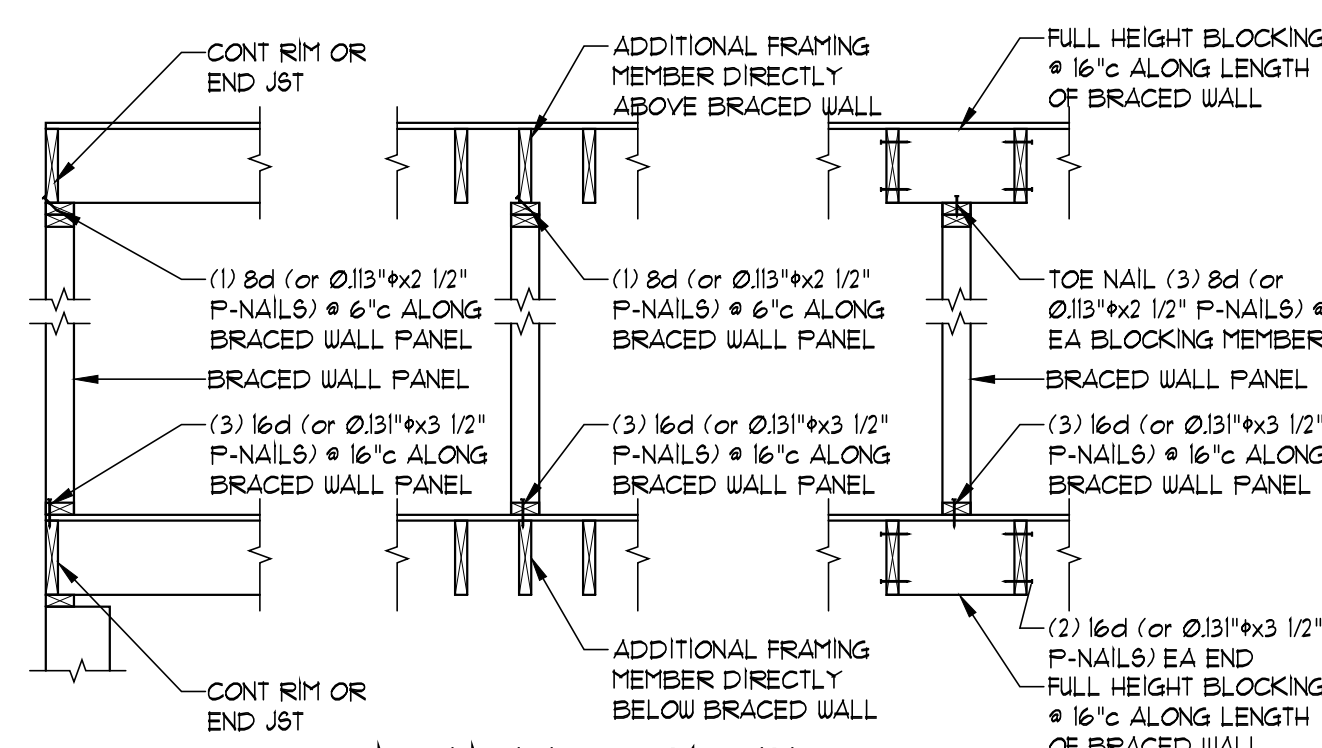
Roof Plan
1/4" = 1'-0"

1

Roof
Plan
A104



IRC FIGURE R602.10.2(1)
BRACED WALL PANEL CONNECTION WHEN PERPENDICULAR TO FLOOR/CEILING FRAMING



IRC FIGURE R602.10.2(2)
BRACED WALL PANEL CONNECTION WHEN PARALLEL TO FLOOR/CEILING FRAMING

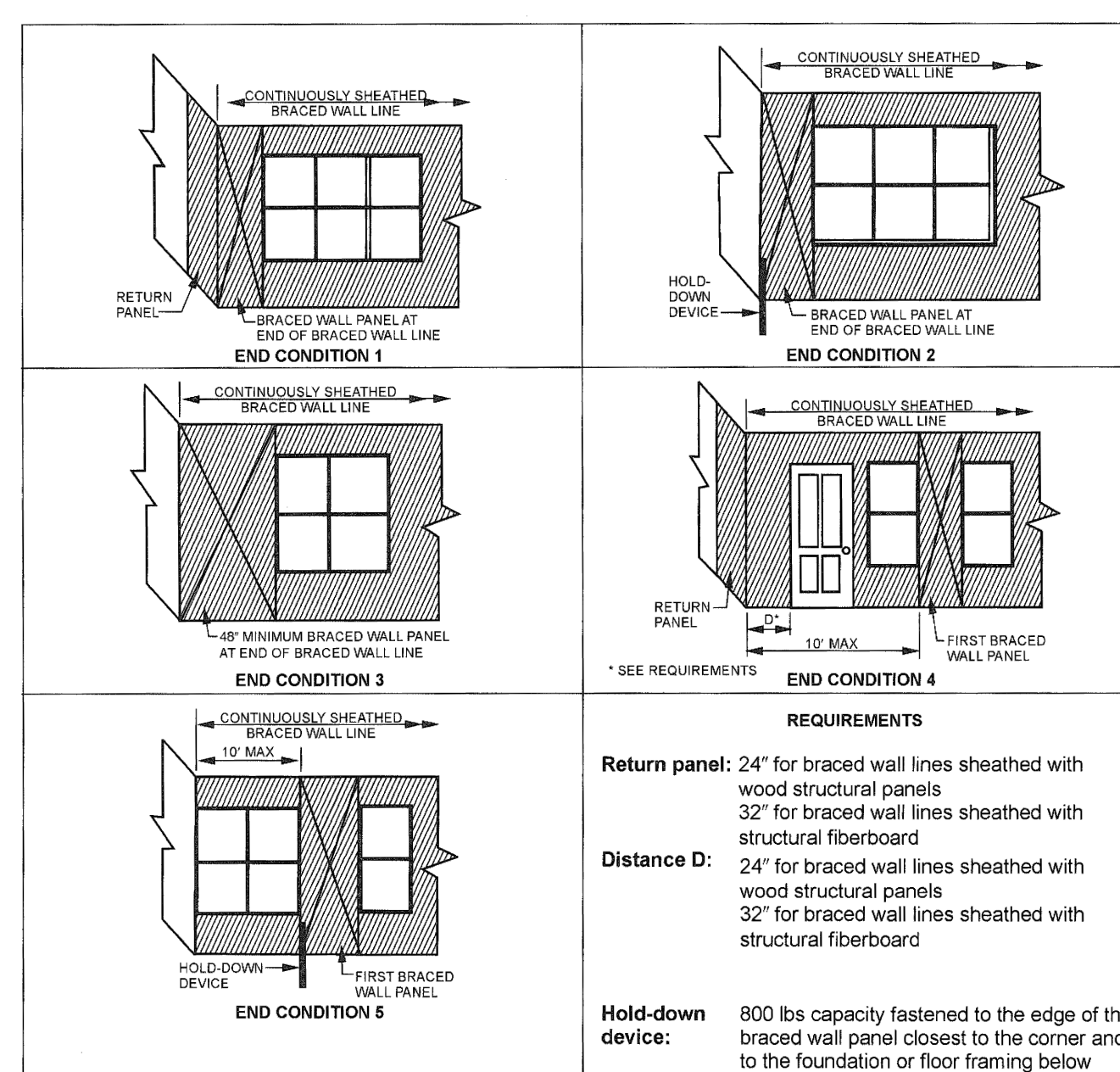
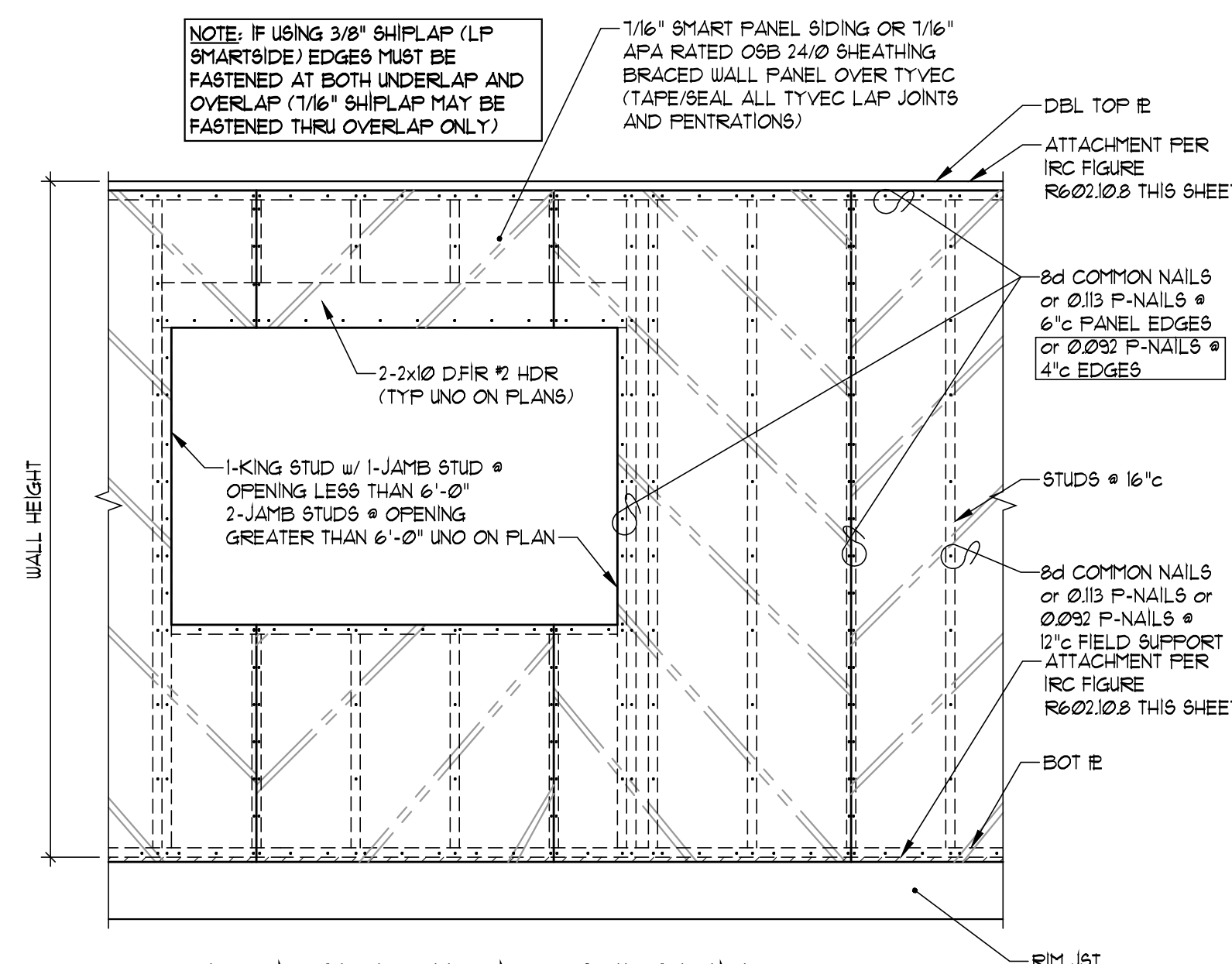
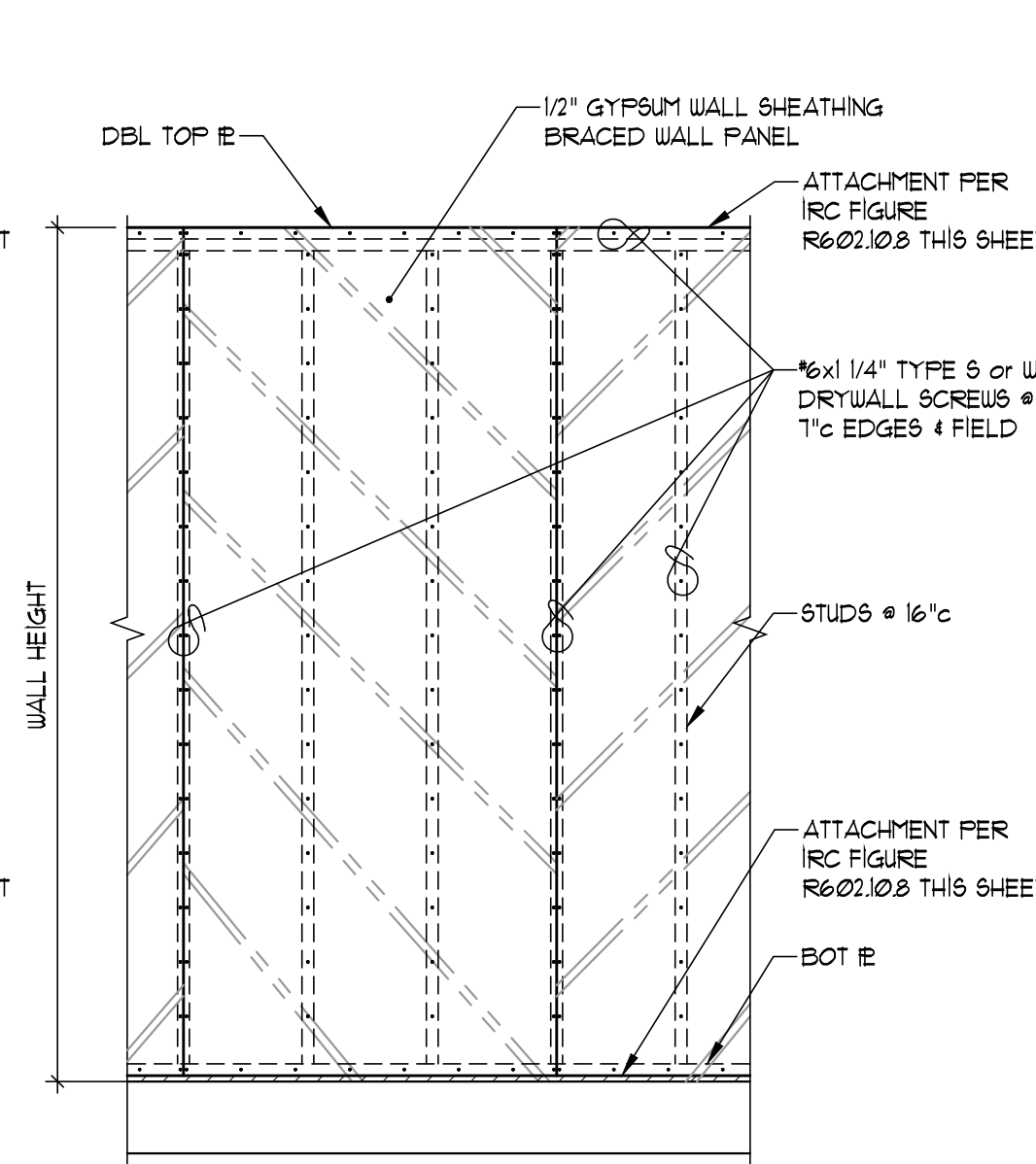


FIGURE R602.10.7
END CONDITIONS FOR BRACED WALL LINES WITH CONTINUOUS SHEATHING

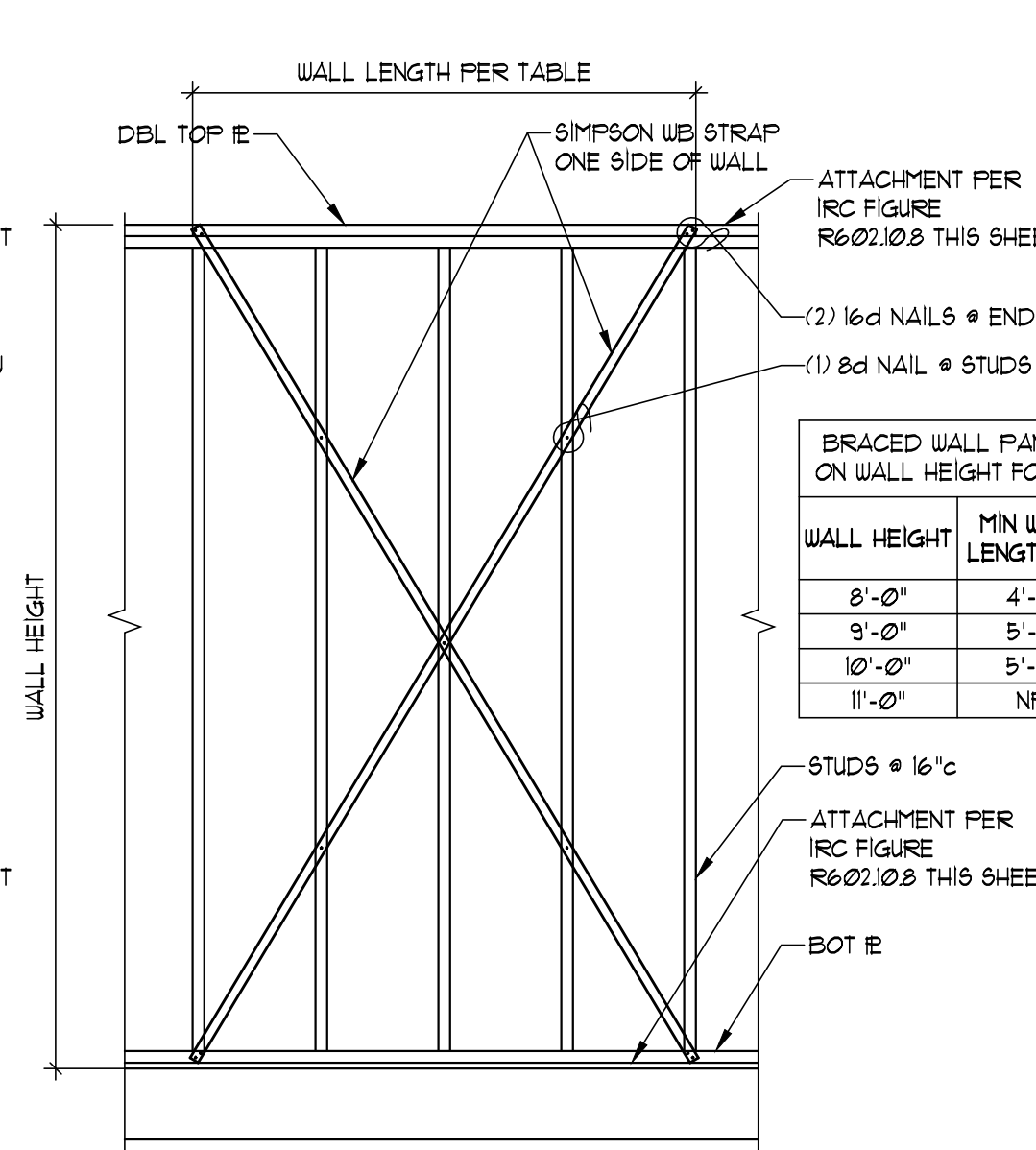
MINIMUM WALL STUD FRAMING NOMINAL SIZE AND GAGE	MAXIMUM PONY WALL HEIGHT (FEET)	MAXIMUM TOTAL WALL HEIGHT (FEET)	MAXIMUM OPENING WIDTH (FEET)	TENSION STRAP CAPACITY REQUIRED (LBS) FOR $V_h = 150$ mph	
				EXPOSURE B	EXPOSURE C
2x4 #2 GRADE	0	10	8	1000	1000
			9	1000	1000
			16	1075	1075
			18	1215	1215
			9	1000	1075
			16	1075	1075
	2	12	8	2500	DESIGN
			9	1500	3175
			16	3375	DESIGN
			18	3975	DESIGN
			9	2175	DESIGN
			16	3175	DESIGN
4	12	8	2150	DESIGN	
		12	3175	DESIGN	
		9	1000	2025	
		16	2150	3675	
		18	2550	DESIGN	
		9	1750	3175	
2x6 STUD GRADE	2	12	8	2400	DESIGN
			9	3000	DESIGN



TYPICAL EXTERIOR SHEATHING INSTALLATION (METHOD WSP & CS-WSP)
SCALE: 1/2" = 1'-0"



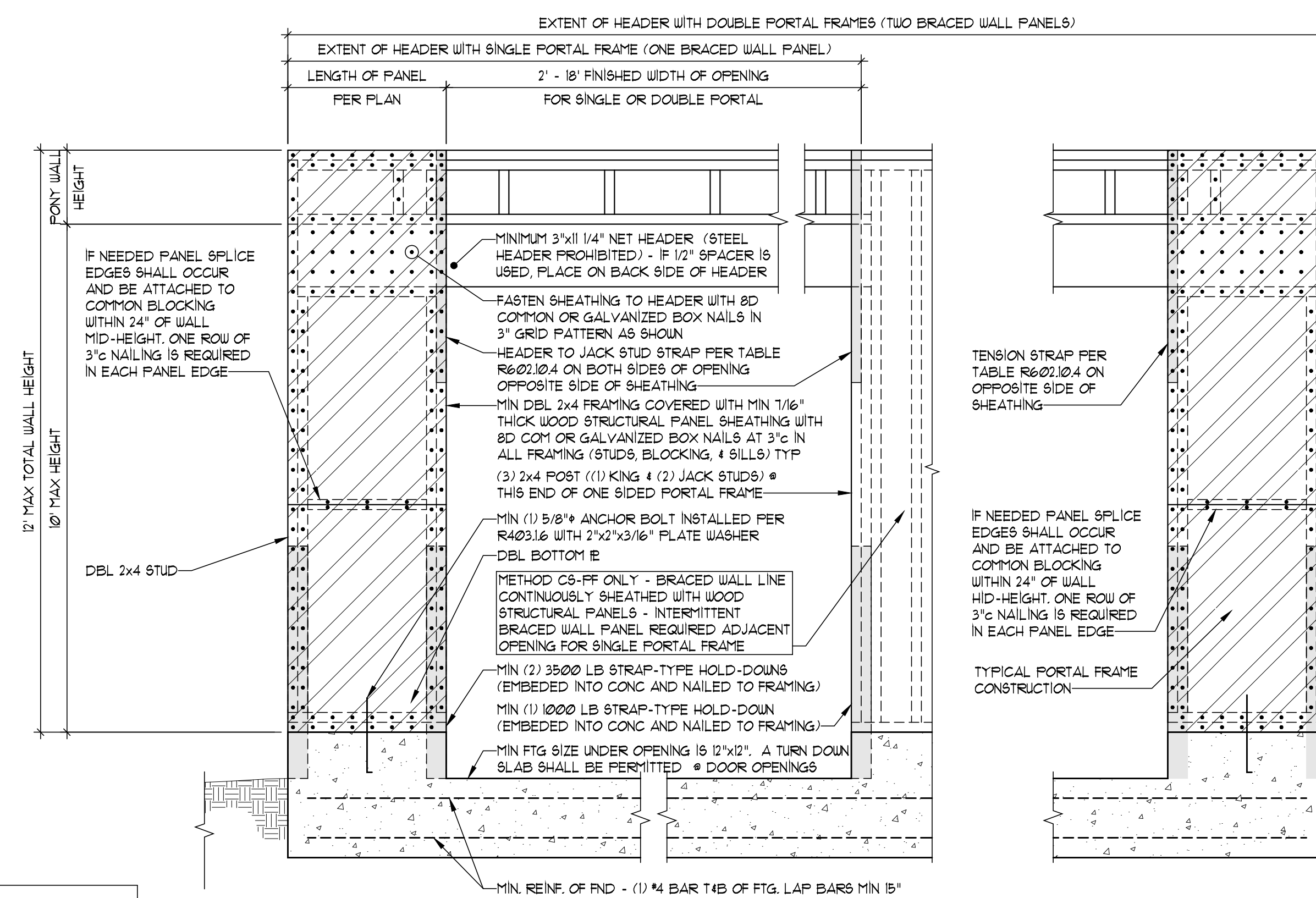
TYPICAL INTERIOR SHEATHING INSTALLATION (METHOD GB)
SCALE: 1/2" = 1'-0"



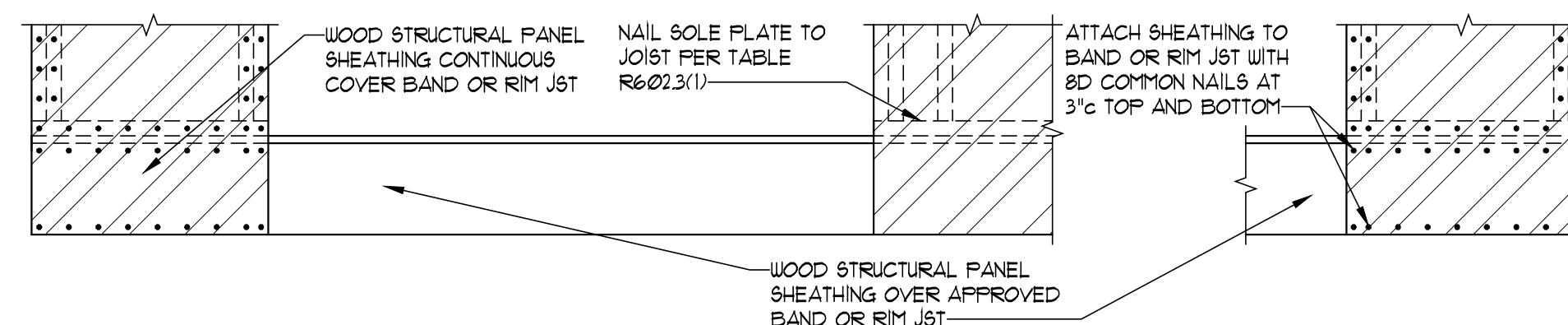
INTERIOR SHEATHING INSTALLATION (METHOD LIB)
SCALE: 1/2" = 1'-0"

BRACED WALL PANEL LENGTHS BASED ON WALL HEIGHT FOR 2012 IRC, TYPE IIB

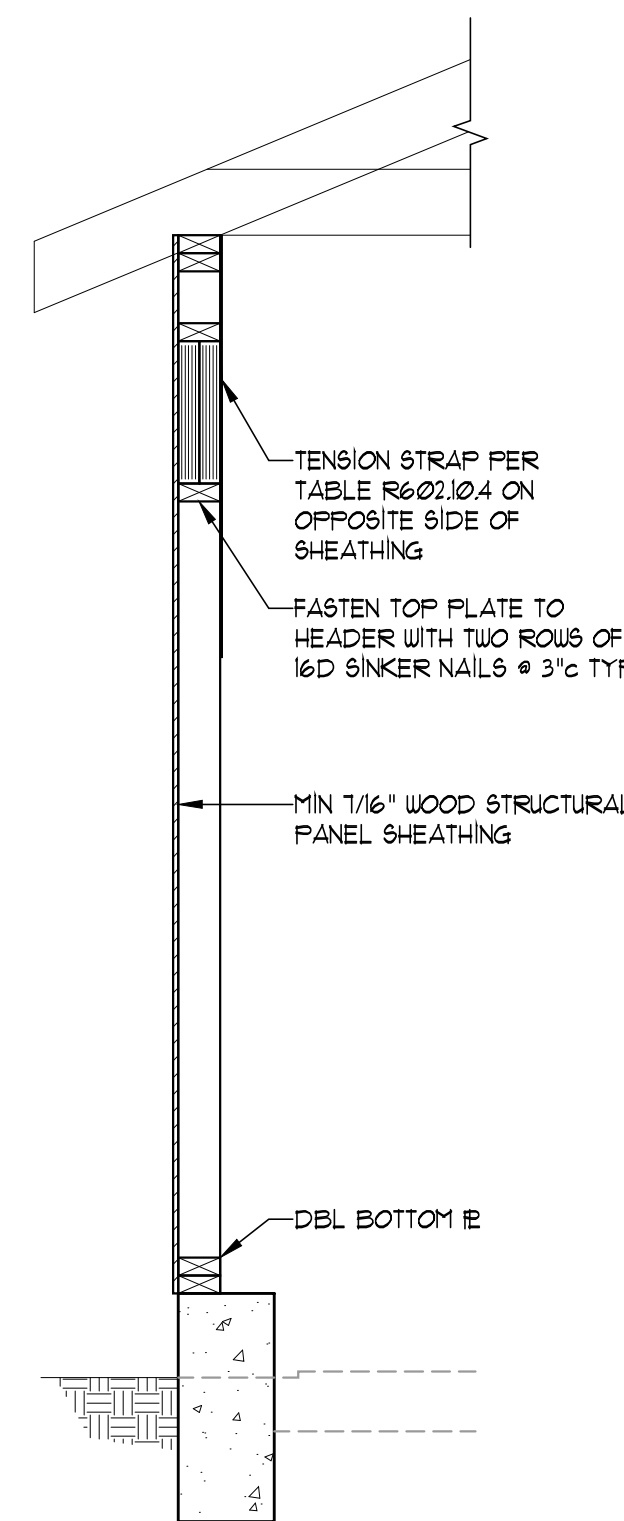
WALL HEIGHT	MIN WALL LENGTH (X)	MAX WALL LENGTH (X)
8'-0"	4'-1"	8'-0"
9'-0"	5'-2"	9'-0"
10'-0"	5'-9"	10'-0"
11'-0"	NP	NP



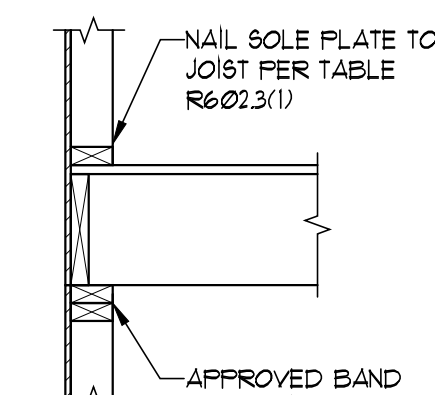
BRACED WALL METHOD "PFH" (also HEADER ATTACHMENT FOR CS-PF)
SCALE: 3/4" = 1'-0"



BRACED WALL METHOD "CS-PF" (ATTACHMENT TO WOOD FLOOR)
(REFER TO BRACED WALL METHOD "PFH" FOR HEADER ATTACH)
SCALE: 3/4" = 1'-0"



SECTION



SECTION

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Framing Notes and Details

S102