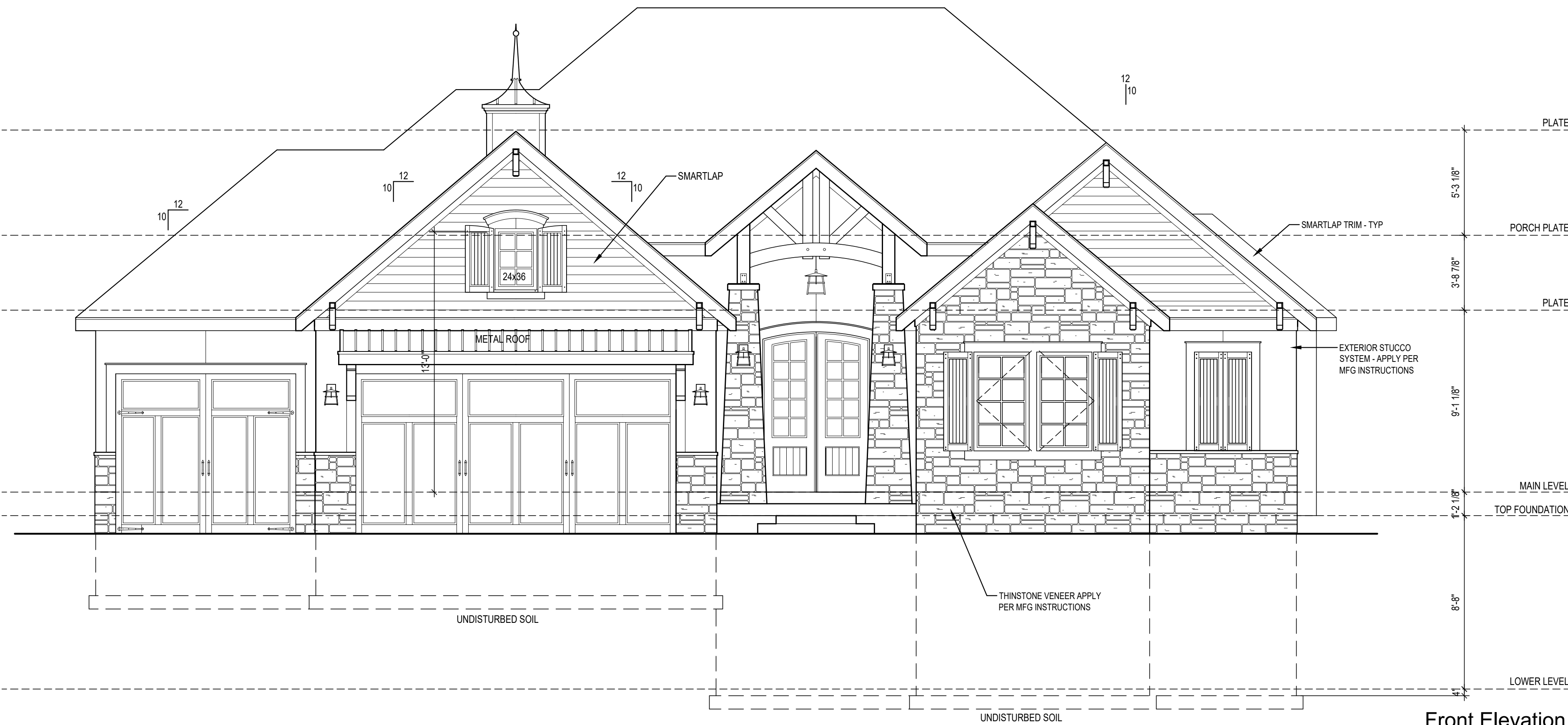


ELEVATION NOTES

1. FINAL GRADE LINE MAY VARY PER EXISTING SITE CONDITIONS. REFER TO PLOT PLAN FOR SPECIFIC SITE GRADE CONDITIONS.
2. ALL ROOFING TO BE ASPHALT COMPOSITION UNLESS NOTED OTHERWISE.
3. ROOF AND SOFFIT VENTS PER LOCAL CODES. WHERE POSSIBLE, PROVIDE ROOF VENTING ON BACK SIDE OF ROOF.
4. GUTTER AND DOWNSPOUT LOCATIONS TO BE DETERMINED BY GUTTER INSTALLER.
5. SMART PANEL SIDING ON SIDE AND REAR ELEVATIONS UNLESS NOTED OTHERWISE.
6. REFER TO STRUCTURAL SHEETS FOR EXTERIOR DECK DETAILS.

NOMENCLATURE

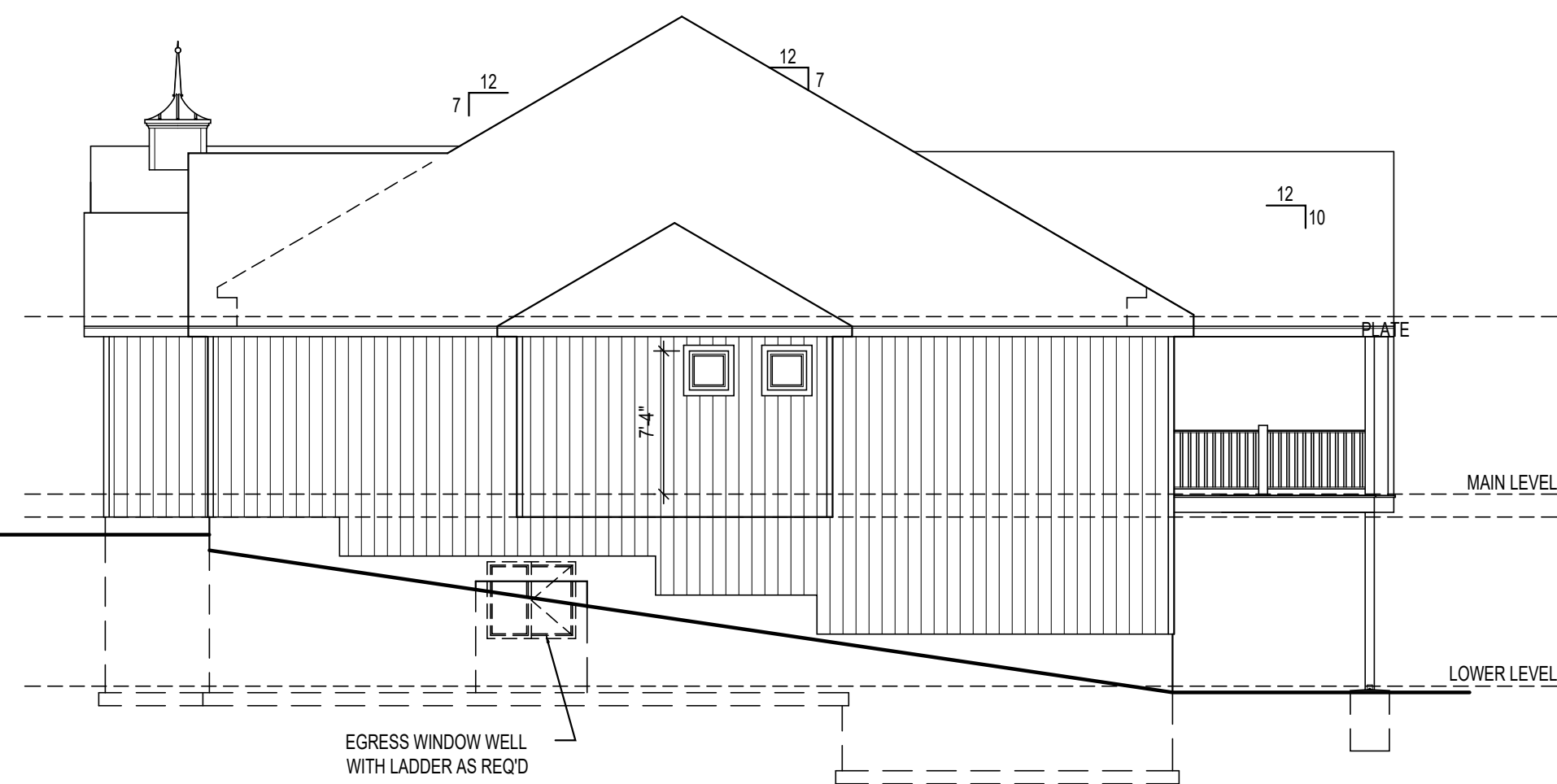
- WINDOW CALLOUT (RE: WINDOW SCHEDULE)
- TEMPERED GLASS ON DOOR OR WINDOW (RE: WINDOW NOTES)
- EGRESS WINDOW PER CODE (RE: WINDOW NOTES)



Front Elevation

1/4" = 1'-0"

1



Side Right Elevation

1/8" = 1'-0"

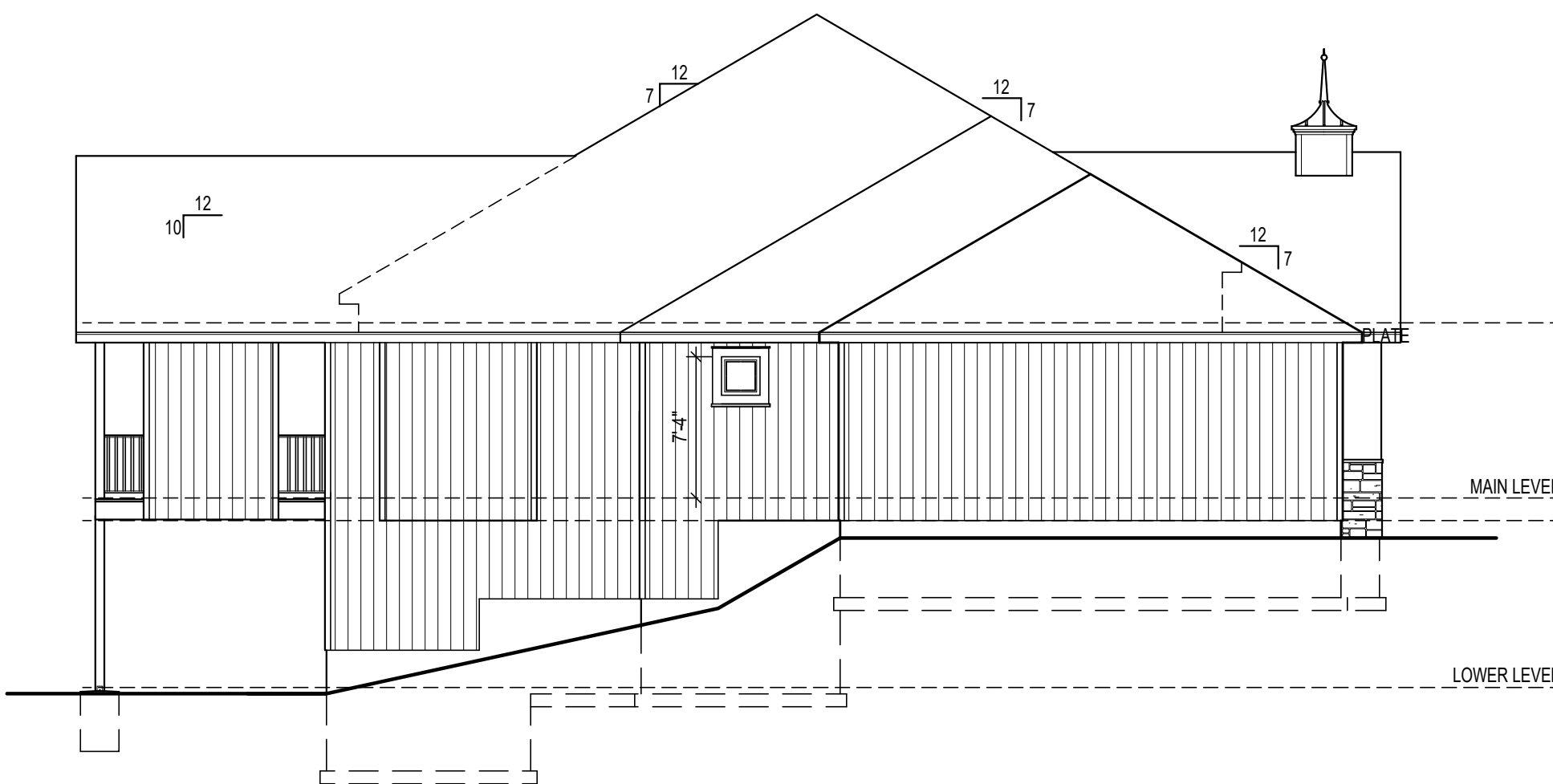
2



Rear Elevation

1/8" = 1'-0"

3



Side Left Elevation

1/8" = 1'-0"

4



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THE SUMMERFIELD CUSTOM

Jim and Kari Wilcox
2155 NW Killarney Ln, Lee's Summit, MO
Lot 135 - Woodside Ridge Subdivision

Project #: 8083-XXXX

DATE:

For Permit: 2/12/2021

Exterior
Elevations

A100

2. BUILDING PERMIT WILL BE REQUIRED FOR THE PROJECT. THIS SET OF DOCUMENTS TO BE SUBMITTED AS A PERMIT SET OF DRAWINGS.
3. THE PERMITTING AGENCY SHALL BE REQUIRED TO ADVISE THE PERMIT DERRIS HOLDER OF ANY DISCREPANCIES OR DISCREPANCIES DISCOVERED SHALL BE REPORTED FOR REVIEW AND CORRECTION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
4. THE PERMIT DERRIS HOLDER SHALL BE REQUIRED TO FAMILIARIZE HIMSELF WITH THE REQUIREMENTS AND INTENT OF THE SCOPE OF WORK. ANY DEFICIENCIES OR DISCREPANCIES DISCOVERED SHALL BE REPORTED FOR REVIEW AND CORRECTION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
5. ALL NEW CONSTRUCTION SHALL MEET LATEST EDITIONS OF ALL APPLICABLE NATIONAL, STATE, AND LOCAL BUILDING CODES - INTERNATIONAL RESIDENTIAL CODE.
6. ALL CONSTRUCTION SHALL BE OF THE HIGHEST QUALITY. QUALITY MATERIALS SHALL BE USED THROUGHOUT. ALL WORK SHALL BE DONE IN A MANNER SO AS TO MATCH ADJACENT WORK AND FINISHES AND APPROVED BY OWNER.
7. CONTRACTORS SHALL REMOVE ALL CONSTRUCTION DERRIS. ALL CONSTRUCTION DERRIS SHALL BE CONTAINED PER CITY REQUIREMENTS.
8. AREAS FOR MATERIAL STORAGE, TRASH DISPOSAL, WORKMANS PARKING, ETC., SHALL BE CONSIDERED.
9. ALL DIMENSIONS TO BE VERIFIED BY CONTRACTOR.
10. IT IS THE RESPONSIBILITY OF THE CONTRACTORS TO COORDINATE WITH THE CITY OF KANSAS FOR THE LOCATION OF ALL LIGHTING, ELECTRICAL OUTLETS, TELEPHONE OUTLETS, AND MECHANICAL AND PLUMBING SYSTEMS AS REQUIRED.
11. THE CONTRACTORS SHALL ADHERE TO THE STATE OF KANSAS ONE CALL SYSTEM (800-444-7435) OR (913) 763-3333 TO LOCATE ALL UTILITIES PRIOR TO ANY EXCAVATION. THE PERSON OR FIRM DOING EXCAVATION ON PUBLIC RIGHT OF WAY MUST GIVE NOTICE TO, AND OBTAIN INFORMATION FROM, UTILITY COMPANIES. THE CONTRACTORS SHALL NOTIFY THOSE COMPANIES WHICH HAVE AFFECTED THE NEARBY AREA OF THE CONSTRUCTION TO BE PERFORMED WHEN WORK COMMENCES.

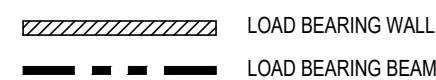
1. ALL FOOTINGS ARE TO BE EXTENDED TO MIN 36" BELOW FINISHED GRADE
2. ALL INTERIOR FOOTINGS FOR LOAD BEARING WALLS AND COLUMNS SHALL BE ISOLATED FROM THE BASEMENT FLOOR SLAB
3. FOR ALL EXTERIOR WALLS, FOUNDATION AND WALL STEPS, PROVIDE ONE 4" BAR, 48" LONG DIAGONALLY AS CLOSE AS PRACTICAL TO CORNER
4. ALL REINFORCEMENT SHALL BE LAPPED WITH A MIN 24" END LAPS, SPICES AND AROUND CORNERS
5. ALL WALLS ARE TO BE SPACED @ 36" WITH "M" EMBED. A BOLT SHALL BE PLACED WITHIN 12" OF THE END OF EACH PLATE SECTION
6. FASTEN JOISTS TO SLT PLATES WITH (3) 6CM NAILS
7. WHERE JOIST IS PARALLEL TO FOUNDATION, PROVIDE SLOPE BLOCKING @ 32" ON CENTER SPACES
8. VAPOR BARRIER 5 MIL PE VAPOR RETARDER WITH JOINTS LAPPED A MIN OF 6" BETWEEN SLAB & BASE
9. DAMP PROOFING: ONE COAT (MIN) OF DAMP PROOFING OR EQUIVALENT POLYMER MEMBRANE SHALL BE APPLIED TO EXTERIOR WALL SURFACES BELOW GRADE. SEAL THE HOLES. VOIDS BEFORE APPLICATION FOUNDATION DRAIN- INSTALL CONT-4" PERFORATED PVC DRAIN TIE DRAIN TIE TO BE EXTENDED TO SQUARE SUMP PIT WHICH EXTENDS A MIN OF 12" ABOVE FINISH FLOOR LEVEL
10. ALL FRAMING MEMBERS IN CONTACT WITH CONCRETE SHALL BE ACQ TREATED LUMBER
11. ALL STEEL FASTENERS (INCLUDING FLOOR ANCHOR BOLTS) ON ACQ TO BE POLYURETHANE (GALVANIZED)
12. PROVIDE A "UFER" GROUND ROD PER 3608.1
13. EGRESS WALL REQUIREMENTS:
 - A. IS A VERTICAL, DRAINAGE FROM THE WINDOW SILL TO ADJACENT GRADE OR GREATER THAN 4" PROVIDE A DRAINAGE
 - B. ADD DRAIN TO DAYLIGHT OR SUMP PUMP.

1. COLUMN & PIER PAD SIZES SHOWN ARE BASED ON AN ASSUMED MINIMUM ALLOWABLE SOIL BEARING CAPACITY OF 1,500 psf.
2. GARAGE FOOTINGS PER DETAIL, COLUMN NOT REQUIRED UNLESS NOTED ON PLANS

1. FLOOR TRUSS OR JOIST LAYOUT SHALL BE PER THE GENERAL NOTES
2. JOISTS MAY BE SHOWN AS SIMPLE SPAN TO DEFINE SPANS AND BEARING POINTS. TRUSS MGFS TO RUN CONTINUOUS WHERE POSSIBLE.
3. COORDINATE JOISTS LOCATIONS WITH PLUMBING DRAIN LINES AT ALL CONNECTIONS.
4. JOIST BLOCKING WHERE NOTED ON PLANS MAY BE OMITTED AT HVAC AND PLUMBING LOCATIONS AS REQUIRED.
5. EXACT JOIST OR FLOOR TRUSS LAYOUT TO BE PROVIDED BY TRUSS MANUFACTURER. DESIGN AND LAYOUT TO BE SUBMITTED TO VAN COUZEN AND ASSOCIATES FOR REVIEW FOR GENERAL CONFORMANCE TO THE DESIGN OF THE BUILDING PRIOR TO SUBMITTAL TO THE CODES ADMINISTRATION FOR PERMITTING.
6. IF A CONFLICT EXISTS BETWEEN SHOP DRAWINGS AND CONTRACT SET, THE CONTRACT SET SUPERCEDES THE JOIST/TRUSS LAYOUT.

ALL JOIST AND OPEN WEB TRUSSES OVER UNFINISHED SPACE EXCEEDING 80 SQUARE FEET IN AGGREGATE AREA TO BE PROTECTED BY THE FOLLOWING METHOD:

- 3" MINERAL/ROCK WOOL COVERING BTM CHORD AND NETTING PER APA FORM R425 METHOD 4



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1314 SW Market Street
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v: 816.786.4008
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Jim and Kari Wilcox
2155 NW Killarney Ln, Lee's Summit, MO
Lot 135 - Woodside Ridge Subdivision

Project #: 8083-XXXX

DATE:

For Permit: 2/12/2021

Foundation

Plan

Plan

A 101

AU

GENERAL PLAN REQUIREMENTS:

- ALL STUD WALL FRAMING SHALL BE CONTINUOUS FROM THE FLOOR TO ROOF OR CEILING DIAPHRAGM, U.N.O. ALL WALLS OVER 10'-0" ARE TO BE 2x6 @ 16" U.N.O.
- PROVIDE WATER-RESISTANT EXTERIOR WALL COVERING ON ALL FRAMED WALLS TO COMPLY WITH IRC SECTION 703.2.
- PROVIDE GFCI ELECTRICAL OUTLETS ON EXTERIOR, IN UNFINISHED BASEMENT, IN BATHROOMS, ABOVE KITCHEN COUNTERS, IN GARAGE, AND WITHIN 4'-0" OF ANY SINK.
- ALL EXTERIOR DOORS SERVED BY LANDING.
- INSTALL CARBON MONOXIDE DETECTORS PER IRC SECTION 315 OUTSIDE OF EACH SLEEPING AREA.
- INSTALL SMOKE DETECTORS IN EACH SLEEPING ROOM, OUTSIDE OF EACH SLEEPING AREA, WITH A MINIMUM OF ONE ON EACH FLOOR PER IRC SECTION 314.
- PROVIDE A "UFER" GROUND PER IRC 3608.1.
- REFER TO SHEET 93 FOR ALL WALL BRACING DETAILS AND/OR CALCULATIONS.
- INSTALL BLOCKING FOR TP HOLDERS, TOWEL BARS, AND TRIM BEAMS.
- GARAGE DOOR H-FRAME: THE H-FRAME FOR ATTACHMENT OF THE TRACK AND COUNTER BALANCE SHALL CONSIST OF THE FOLLOWING: 2x6 VERTICAL JAMBS RUNNING FROM FLOOR TO CEILING ATTACHED WITH 3 1/4"x120 NAILS @ 7" STAGGERED WITH (7) 3 1/4"x120 NAILS THRU JAMB INTO HEADER. MINIMUM 2x6 HEADER FOR ATTACHMENT OF COUNTER BALANCE SYSTEM.
- OVERHEAD GARAGE DOORS TO MEET 115 MPH WIND LOAD RESISTANCE REQUIREMENTS OF DASHA 108-17 AND ASTM E 330-02 PER IRC SECTION R 608.4.
- MAXIMUM RISER HEIGHT OF STAIRWAYS SHALL NOT EXCEED 7 3/4" AND THE TREADS SHALL PROVIDE A MINIMUM TREAD DEPTH OF 10".
- ALL EXTERIOR AND LOAD BEARING WINDOW AND DOOR HEADERS TO BE (2) 2x10 D.FIR #2 UNLESS NOTED OTHERWISE ON PLANS.
- ALL HEADER BEARINGS (OTHER THAN WINDOWS) TO BE (2) 2x4 STUDS UNLESS NOTED OTHERWISE. WINDOW HEADER BEARING TO BE (1) 2x4 EA END UNLESS NOTED OTHERWISE.
- ALL EXTERIOR PLATE HGTS TO BE 9'-0" UNLESS OTHERWISE NOTED. INTERIOR PLATE HGTS AS INDICATED IN ROOM CLG HEIGHTS NOTATION. NO HANDRAIL IS REQ'D FOR STEPS HAVING LESS 3 RISERS OR LESS. ANY LUMBER IN DIRECT CONTACT WITH CONCRETE TO BE TREATED.

ENERGY REQUIREMENTS

CONTRACTOR TO PROVIDE ENERGY AUDIT USING THE HERS ENERGY RATING SYSTEM. IN LIEU OF AN ENERGY AUDIT, THE FOLLOWING PRESCRIPTIVE REQUIREMENTS MAY BE FOLLOWED:

- ALL DUCTS, AIR HANDLERS, FILTER BOXES, AND BUILDING CAVITIES TO BE SEALED PER IRC SECTION N1102.2.
- THE BUILDING THERMAL ENVELOPE IS REQUIRED TO BE SEALED PER IRC SECTION N1102.4.
- CONTRACTOR TO SUBMIT "MANUAL 7" AND "MANUAL D" CALCULATIONS FOR THE HVAC SYSTEM.
- INSULATION TO COMPLY WITH IECC AS FOLLOWS:

WALLS	R-13
CEILING (FLAT)	R-49
CEILING (VAULTED)	R-38 (NOTE: VAULTED AREA NOT TO EXCEED 500sq ft OR 20% OF ROOF AREA, WHICHEVER IS LESS)

FLOORS OVER UNCONDITIONED SPACE	R-19
CRAWL SPACE WALLS	R-13 (or R-10 CONTINUOUS)
BASEMENT WALLS	R-13 (or R-10 CONTINUOUS)
SLABS	N/R
DUCTWORK	R-8
WINDOWS	U-0.35 (MAX) SHGC 0.40 (MAX)
U-FACTOR	U-0.35 (MAX)
SHGC	0.40 (MAX)
SKYLIGHTS	U-0.55 (MAX) SHGC 0.40 (MAX)
U-FACTOR	U-0.55 (MAX)
SHGC	0.40 (MAX)

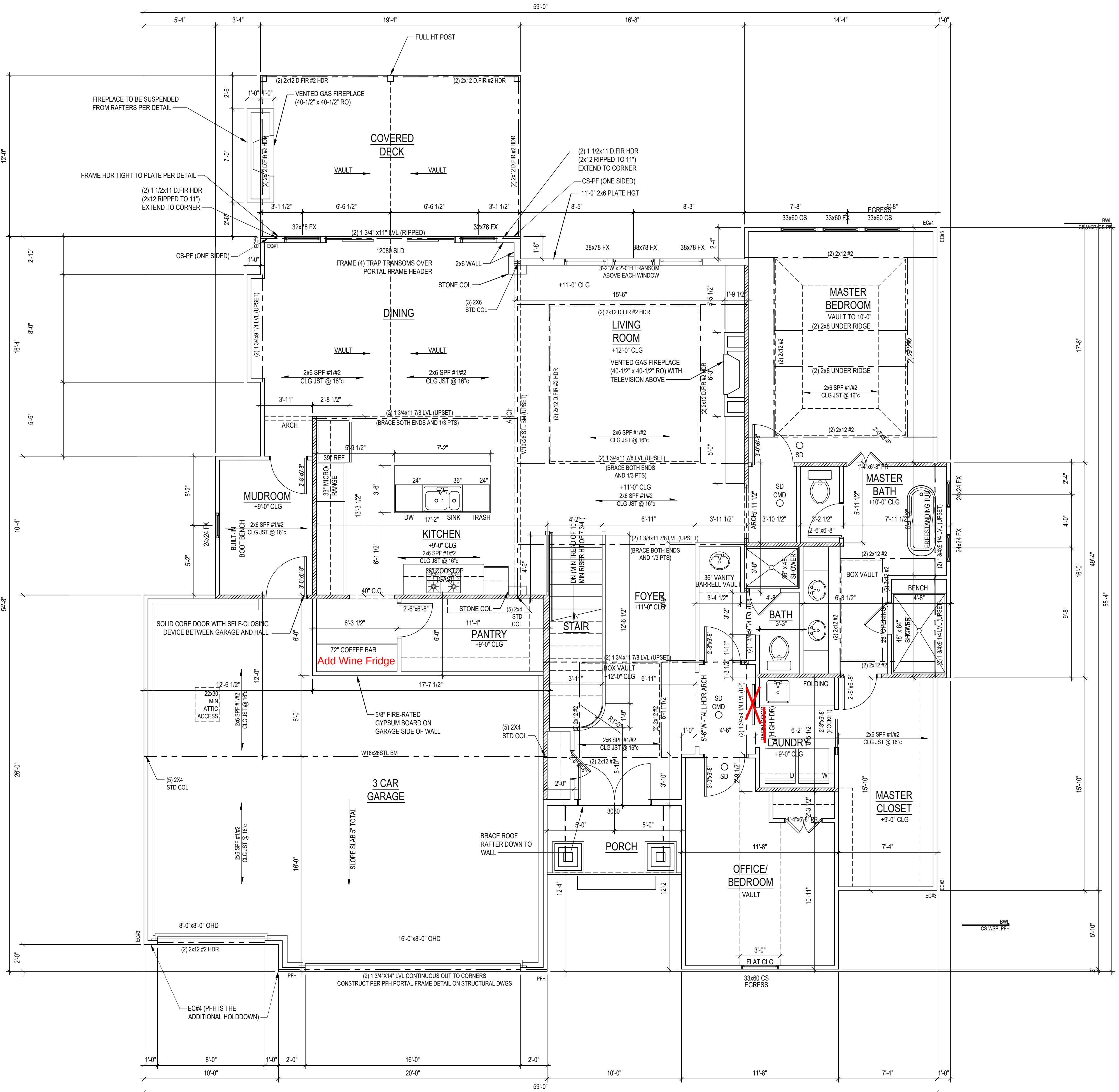
WINDOW AND DOOR NOTES

- VERIFY WINDOW AND DOOR SIZE WITH SUPPLIER PROVIDED CUT SHEET PRIOR TO FRAMING.
- WINDOW SUPPLIER TO CONFIRM EXACT SAFETY AND EGRESS WINDOW LOCATIONS PER LOCAL CODES.
- ALL WINDOWS TO BE LOW-E GLASS TO MEET ALL LOCAL ENERGY CODE REQUIREMENTS.
- ALL WINDOWS TO BE FRAMED TIGHT TO HEADERS UNLESS NOTED OTHERWISE ON ELEVATIONS.
- PROVIDE EGRESS WINDOW IN ALL SLEEPING ROOMS. WINDOWS SHALL COMPLY WITH THE FOLLOWING:

A. MINIMUM OPEN AREA	57 SF
B. MINIMUM OPENING HEIGHT	24 INCHES
C. MINIMUM OPENING WIDTH	20 INCHES
D. SILL HEIGHT 44" MAX ABOVE FLOOR	
- WINDOW SILLS ARE TO BE 24" MIN FIN FLOOR, OR SHALL BE FIXED / INOPERABLE.
- ALL WINDOWS AND GLAZED DOORS SHALL COMPLY WITH 2018 IRC SECTION R308, IRC SECTION R308.4: GLAZING IN HAZARDOUS LOCATIONS SHALL BE OF APPROVED SAFETY GLAZING MATERIALS: GLASS IN STORM DOORS, INDIVIDUAL FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS WITHIN 60" OF THE FLOOR, WALLS ENCLOSING STAIRWAYS AND LANDINGS WHERE THE GLAZING IS WITHIN 60" OF THE TOP OR BOTTOM OF STAIR ENCLOSURES FOR TUBS, SHOWERS AND WHIRLPOOLS, GLAZING IN FIXED OR OPERABLE PANELS EXCEEDING 9 SF AND WHOSE BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR OR WALKING SURFACE WITHIN 36".
- ALL OPERABLE WINDOWS AND DOORS SHALL HAVE FALL PROTECTION PER IRC R312.
- ALL GLAZING IN WINDOWS AND DOORS SHALL COMPLY WITH THE TEST CRITERIA FOR CATEGORY II IN ACCORDANCE WITH CPSC 16 CFR 1201.

WALL BRACING NOTES:

- SHEATHING METHOD CS-WSP, WSP, PFH, GB (or LIB), CS-PF
- ALL EXTERIOR WALLS ARE TYPE "CS-WSP" AND ARE CONTINUOUSLY SHEATHED UNLESS NOTED OTHERWISE. THE BRACED WALL NOTATIONS (IF SHOWN) REFLECT THE MINIMUM SHEATHING REQUIREMENTS PER CODE.
 - IF NO NOTATIONS ARE SHOWN FOR WALLS TYPE "CS-WSP" ON PLAN, WALL IS FULLY SHEATHED AND MEETS ALL REQUIREMENTS WITH END CONDITION #1, #3, OR #4.
 - EC # - END CONDITION PER IRC FIGURE R602.10.7, (FOR CONDITIONS #1, #3, & #4 NO HOLDDOWN REQUIRED).
 - INTERIOR WALL BRACING NOT REQUIRED FOR BRACED WALL SPACING 60FT OR LESS.
- XXXXXXXXXXXXXXXXXXXX DENOTES EXTERIOR BRACED WALL WOOD STRUCTURAL PANEL (WSP OR CS-WSP) ATTACHED PER DETAILS AND GENERAL NOTES
- XX PANEL



MAIN LEVEL
FINISH: 2134 SF
GARAGE: 734 SF
COVERED DECK: 232 SF

LOAD BEARING WALL
LOAD BEARING BEAM

First Floor Plan

1/4" = 1'-0"

1



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1314 SW Market Street
Lee's Summit, MO 64081
v: 816.786.4008
jfeconstruction.com

VAN DERURZEN & ASSOCIATES, P.A.
1011 KING STREET, SUITE 130
OVERLAND PARK, KS 66210
(913) 451-6305 FAX (913) 451-0201
WEB PAGE WWW.VANDERURZENANDASSOCIATES.COM
E-MAIL V2@VANDERURZENANDASSOCIATES.COM
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THE SUMMERFIELD CUSTOM

Jim and Kari Wilcox
2155 NW Killarney Ln, Lee's Summit, MO
Lot 135 - Woodside Ridge Subdivision

Project #: 8083-XXXX

DATE:

For Permit: 2/12/2021

First Floor Plan

A102

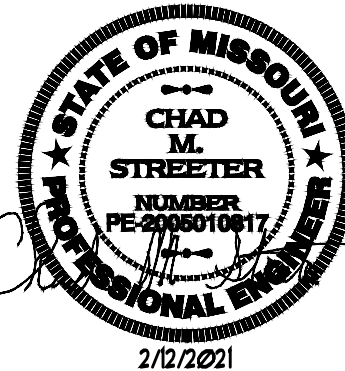


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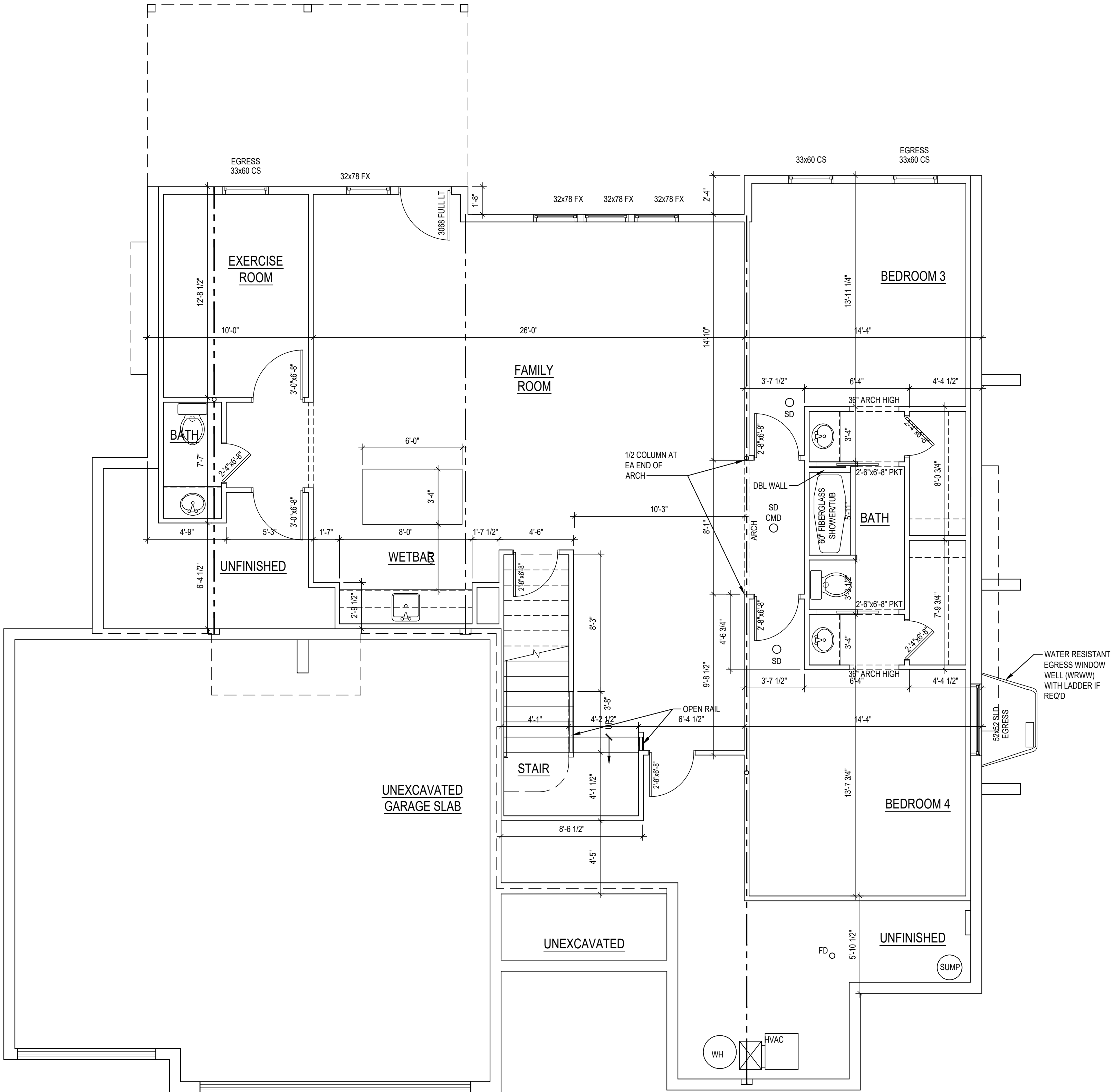
VAN DEURZEN & ASSOCIATES, P.A.
1011 KING STREET, SUITE 130
OVERLAND PARK, KS 66210
(913) 451-6305 FAX (913) 451-1021
WEB PAGE WWW.VANDEURZENASSOC.COM
E-MAIL: V2@VANDEURZENASSOC.COM

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THE SUMMERFIELD CUSTOM

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LOWER LEVEL
FINISHED AREA: 1454 SF
UNFINISHED: 421 SF

Project #: 8083-XXXX

DATE:

For Permit: 2/12/2021

Basement Finish Plan

A103

2. ALL ROOF RAFTERS NOT CALLED OUT ARE TO BE 2x6 SFS #11 @ 19"
3. ALL CEILING JOISTS NOT CALLED OUT ARE TO BE 2x6 SFS #11 @ 19"
4. ALL VAULTS TO BE FURRED DOWN w/2" MATERIAL TO PROVIDE FOR R-38 INSULATION
5. ALL EXTERIOR AND LOAD BEARING WINDOW AND DOOR HEADERS TO BE (2) 2x10 D FUR UNLESS NOTED OTHERWISE ON PLANS
6. ALL RIDGES, HIPs, AND VALLEYS NOT MARKED SHALL BE (1) NOMINAL SIZE OF THE INTERSECTION
7. CEILING JOISTS AND RAFTERS SHALL BE NAILED TO EACH OTHER WITH (3) 16G CUMS (3) 12x10 1627 NAILS AND THE RAFTER SHALL BE NAILED TO THE JOIST WITH (3) 16G CUMS (3) 8x6 CUMS (3) 12x10 1627 NAILS. JOISTS SHALL BE CONTINUOUS OR JOINTED WITH (1) JOINED WITH (3) 16G CUMS (3) 12x10 1627 NAILS WHERE THEY MEET OVER OTHER PARTITIONS AND ARE NAILED TO ADJACENT RAFTERS TO PROVIDE A CONTINUOUS THE ACROSS THE BUILDING WHEN SUCH JOISTS ARE PARALLEL TO THE RAFTERS
8. WHERE CEILING JOISTS ARE NOT CONNECTED TO THE RAFTERS AT THE TOP WALL PLATE (or at LOCATIONS WHERE CUMS ARE PERPENDICULAR TO RAFTERS) SHALL 2x4 RAFTERS BE @ 19" WITH (3) 16G CUMS (3) 12x10 1627 NAILS EA SDC
9. RAFTER CONNECTIONS DESIGNED TO RESIST UPLIFT FORCES PER IRC TABLE 6.2.1. ROOF HEADERS DO NOT HAVE NOTABLE UPLIFT TO REQUIRE REINFORCEMENT. REFER TO STRUCTURAL DETAIL SHEET S1 CONNECTION TABLE FOR FASTENERS
9. INSTALL 2x4 CUMS TIES @ 48" IN UPPER 13x6 of ROOF RAFTER
10. ALL CEILING VAULTS SHALL BE 12' HIGH TO ALLOW FOR 12' CEILING HEIGHT
11. ROOF AND SOFFIT VENTS PER LOCAL CODES. WHERE POSSIBLE, PROVIDE ROOF VENTING ON BACK SIDE OF ROOF. BATH VENTS TO VENT DIRECTLY TO THE OUTSIDE
12. EXHAUST FANS, DOWNSPOUT LOCATION BY GUTTER INSTALLER
13. PER IRC SECTION R802.3 FOR ROOF PITCHES 3/12 OR GREATER, STRUCTURAL MEMBERS THAT SUPPORT RAFTERS AND CEILING JOISTS, SUCH AS RIDGE BEAMS, HIPs AND VALLEYS THAT ARE SUPPORTED BY WALLS OR PURLING SHALL BE 2x10 OR GREATER. MEMBERS TO BE DESIGNED AS BEAMS AND ARE TO BE FRAMED USING LUMBER THAT IS NOMINALLY 2" WIDE BY ONE SIZE GREATER THAN ATTACHING FRAMING MEMBER (NOTE #4). THERE IS NO STRUCTURAL LINE LOADING ON THE

1. ROOF PURLINS TO BE PLACED APPROXIMATELY WHERE SHOWN ON PLANS. USE 2x6 STUD GRADE PURLIN PLACED PERPENDICULAR TO RAFTERS (UNLESS NOTED OTHERWISE ON PLANS)
2. RIDGE, HIP, VALLEY, AND PURLIN BRACE STRUTS TO BE PLACED AS SHOWN ON PLANS. STRUTS TO BE 2x4 STUD GRADE w/ MAXIMUM UNBRACED LENGTH OF 8'-0" AND AT A 45° ANGLE w/ HORIZONTAL OR GREATER (VERTICAL WHERE POSSIBLE)
3. BRACES LONGER THAN 8'-0" SHALL BE 2x4 STRONG BACK BRACES

-
- PER PLAN
- 12
- HDR FER PLAN
- DBL ROOF RAFTER -
ALIGN w/FIREPLACE
WALL ON BOTH SIDES
- TYP. RIM AND FASCIA
- DBL FIREPLACE TOP IE
- SINGLE PIECE OF CONT. OSB
SHEATHING OR SMART PANEL EA SIDE
OF FIREPLACE - FASTEN TO F.P. RIM
w/ BOT AND RAFTERS w/ TOP - ALL
NAILING w/ 6" EDGE 4 FIELD (MIN 2
ROWS OF FASTENERS w/ RAFTER)
- 2x4 F.P. FRAMING
- 2x F.P. WALL PLATE
- SUBFLOOR
- DECK RIM JST
- 2x10 FIREPLACE JST w/
16" c - HANGER TO RIM
- PER PLAN

Architectural roof plan showing structural details, rafter spacing, ridge lines, valleys, and overbuild areas. The plan includes numerous annotations such as "2x6 SPF #1/#2 RAFTER @ 16\"", "10/12", "OVERBUILD", "VALLEY", "RIDGE", and "PURLIN". It also shows a fireplace to be suspended from rafters, a sheet metal cricket, and a 12-10" plate at the porch.

JFE CONSTRUCTION INC.
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Lee's Summit, MO 64081
v: 816.786.4008
jfeconstruction.com

VA VAN DEURZEN & ASSOCIATES, P.A.
11011 KING STREET, SUITE 130
OVERLAND PARK, KS 66210
(913) 451-6305 FAX (913) 451-1021
WEB PAGE WWW.VANDEURZENAS800.COM
E-MAIL VA@VANDEURZENAS800.COM

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Lot 135 - Woodside Ridge Subdivision

For Permit: 2/12/2021

Discussion

Root

Plan

A 104

A104

ATION

THE SUMMERFIELD CUSTOM

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Lot 135 - Woodside Ridge Subdivision

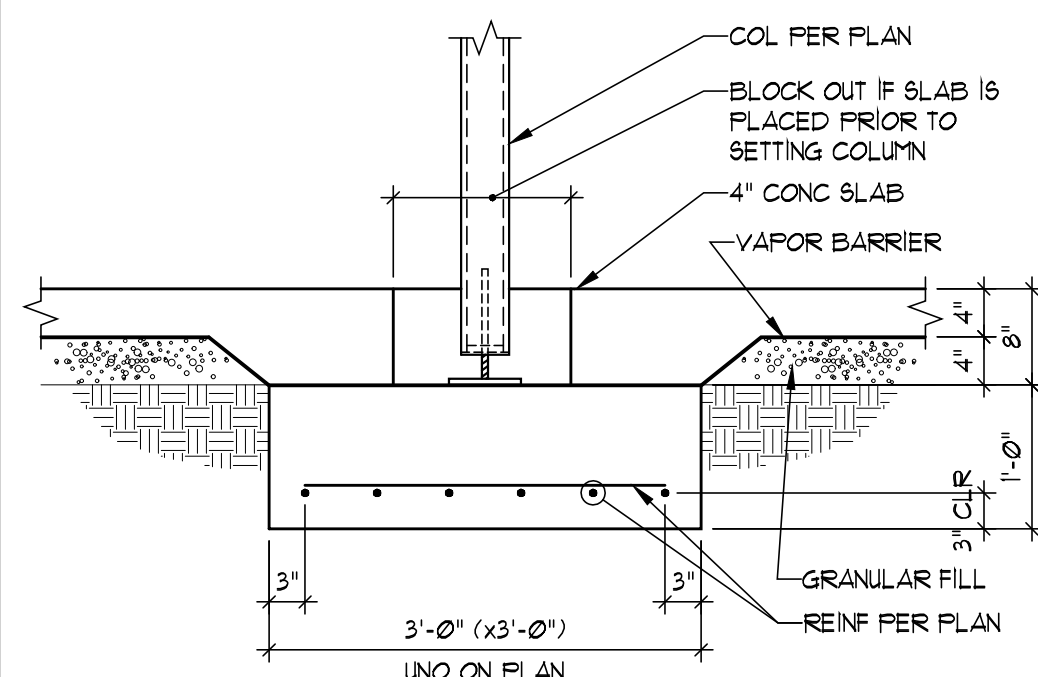
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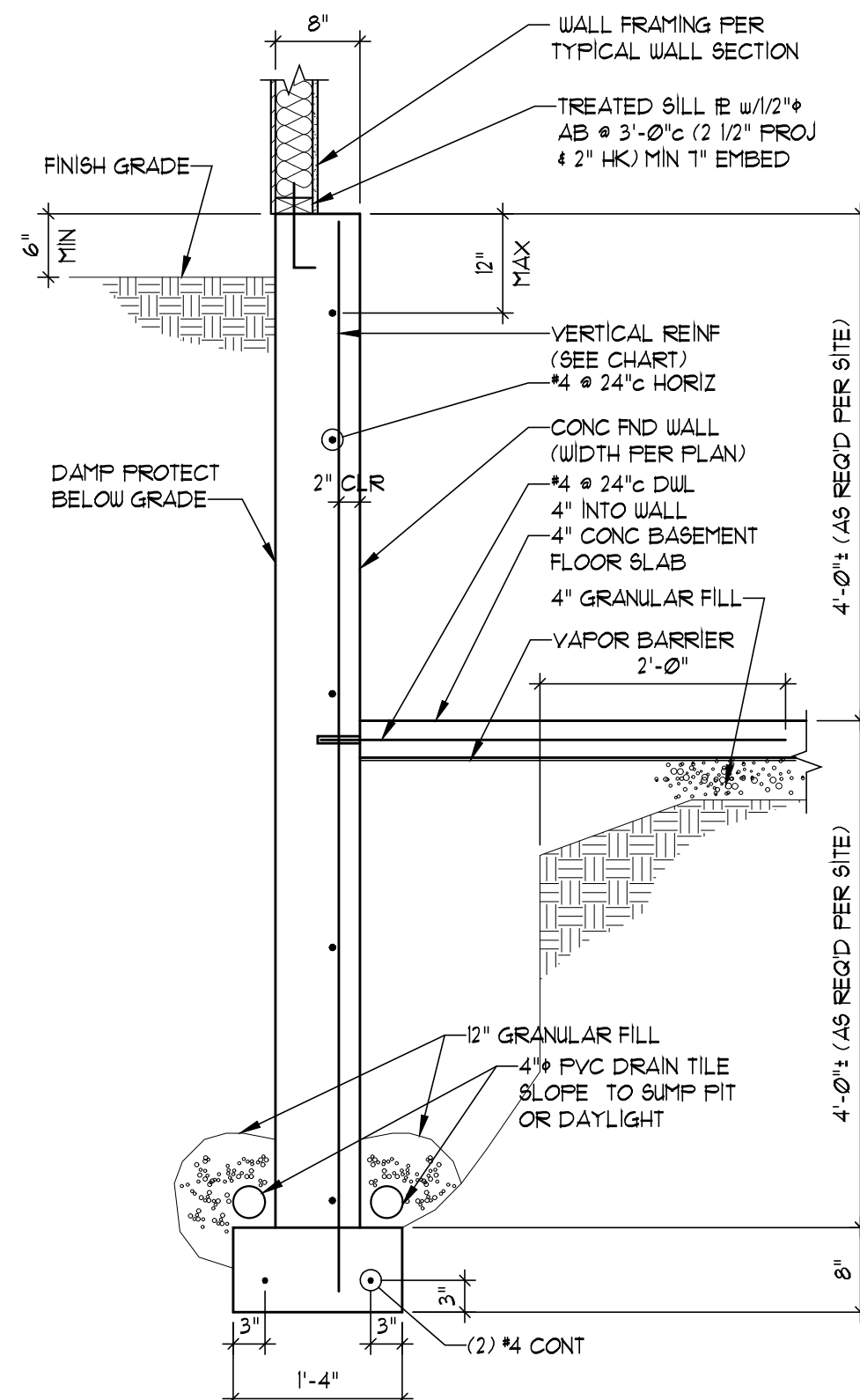
Framing Notes and Details

S101

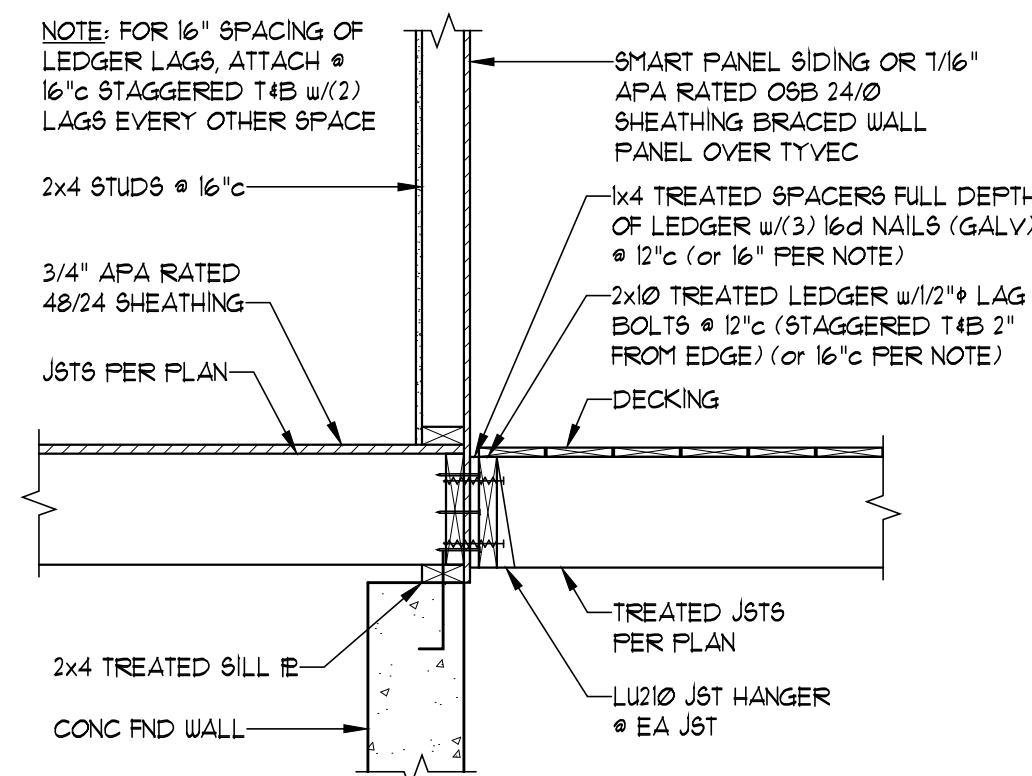


TYPICAL INTERIOR COLUMN
SCALE: 3/4" = 1'-0"

VERTICAL REINF (#4 BARS - GRADE 40)					
	8" WALL		10" WALL		
WALL HGT	8'	9'	8'	9'	10'
REINF SPACING	16"	12"	24"	16"	12"

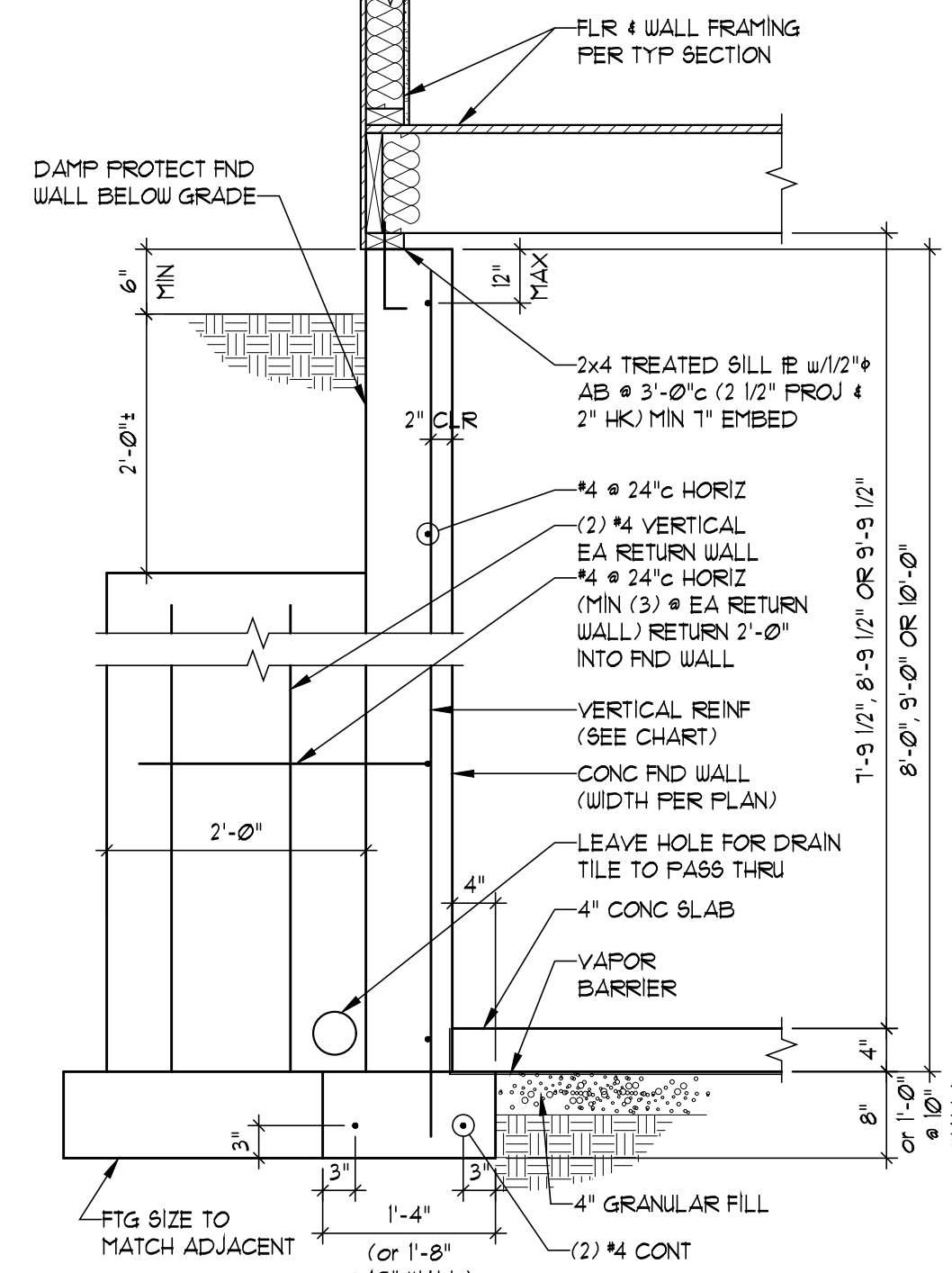


TYPICAL DAYLIGHT SECTION
SCALE: 3/4" = 1'-0"

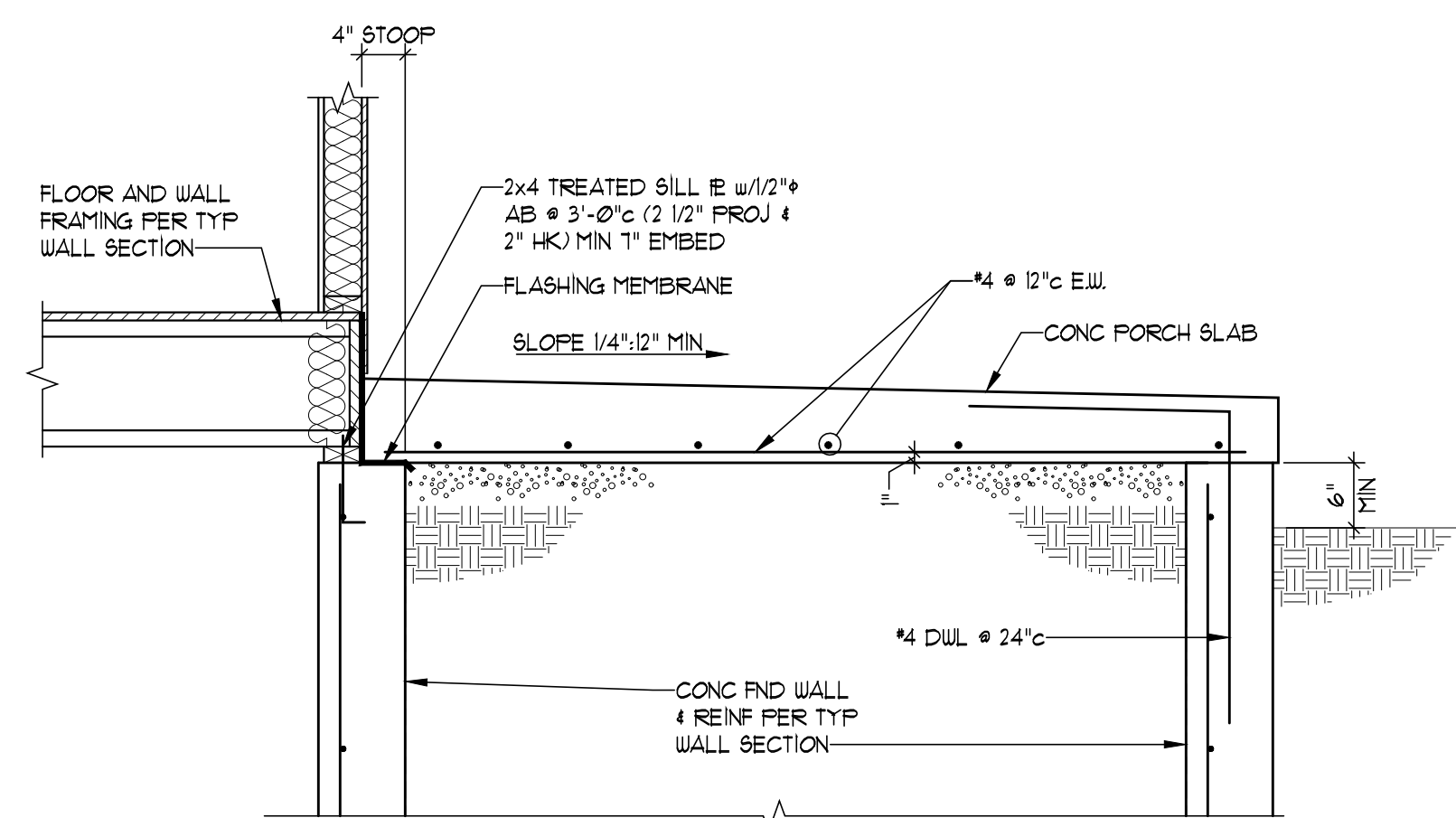


DECK ATTACHMENT
SCALE: 3/4" = 1'-0"

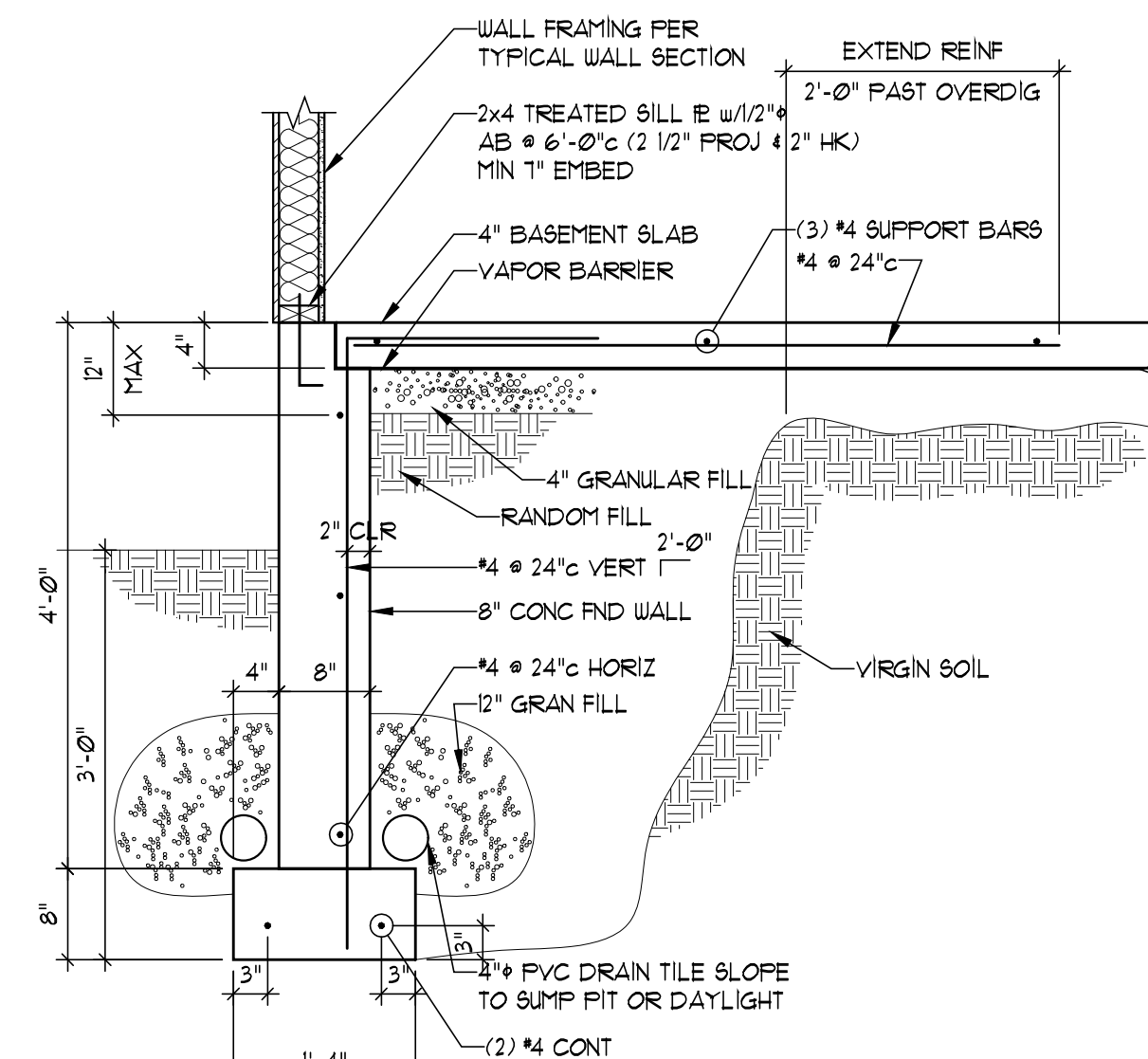
VERTICAL REINF (#4 BARS - GRADE 40)					
	8" WALL		10" WALL		
WALL HGT	8'	9'	8'	9'	10'
REINF SPACING	16"	12"	24"	16"	12"



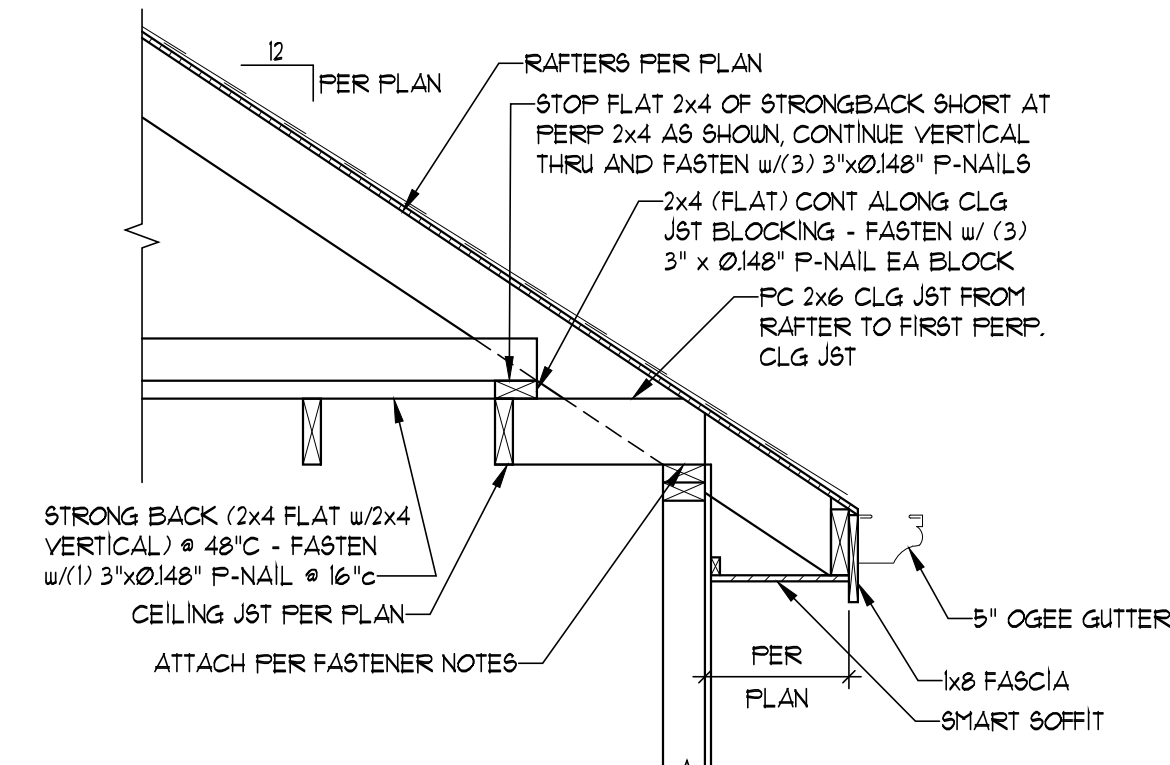
TYPICAL PILASTER SECTION
SCALE: 3/4" = 1'-0"



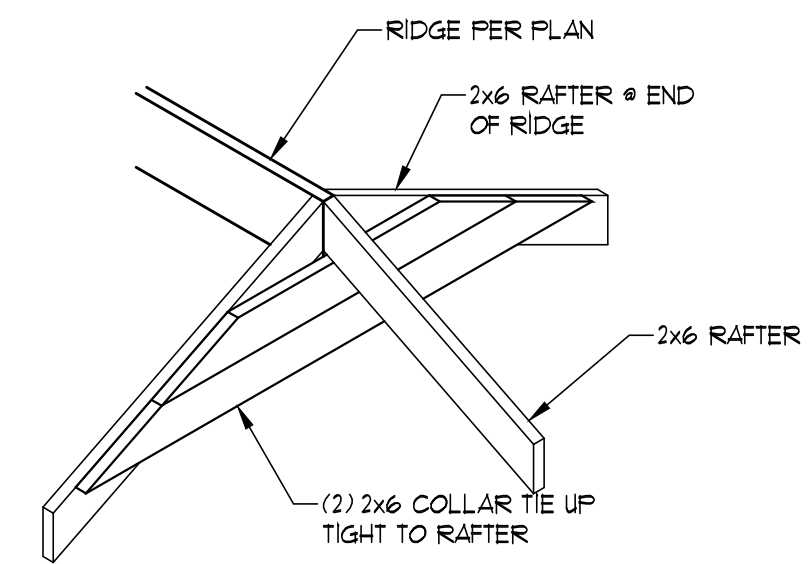
TYPICAL SECTION THRU PORCH
SCALE: 3/4" = 1'-0"



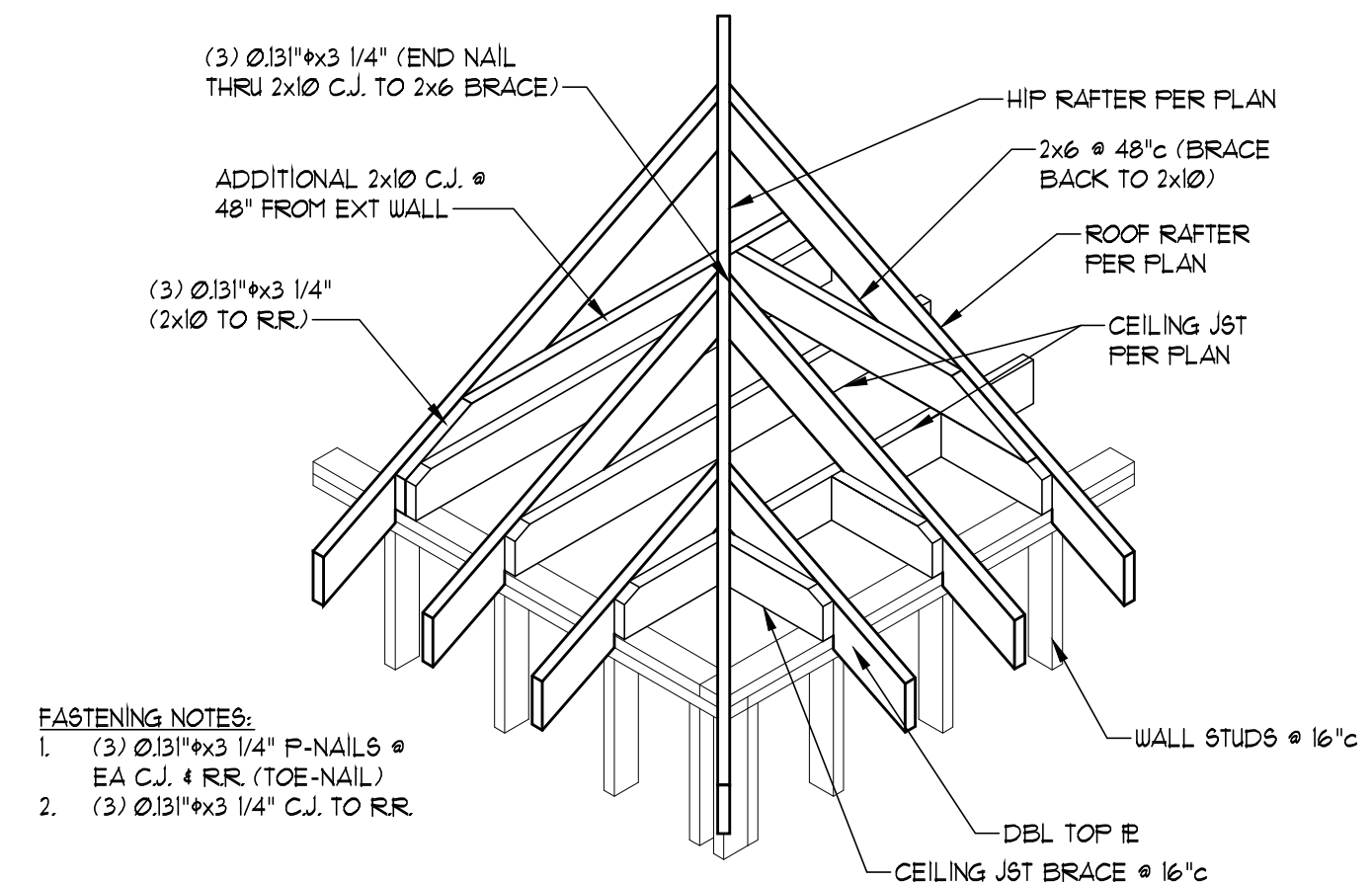
TYPICAL WALKOUT SECTION
SCALE: 3/4" = 1'-0"



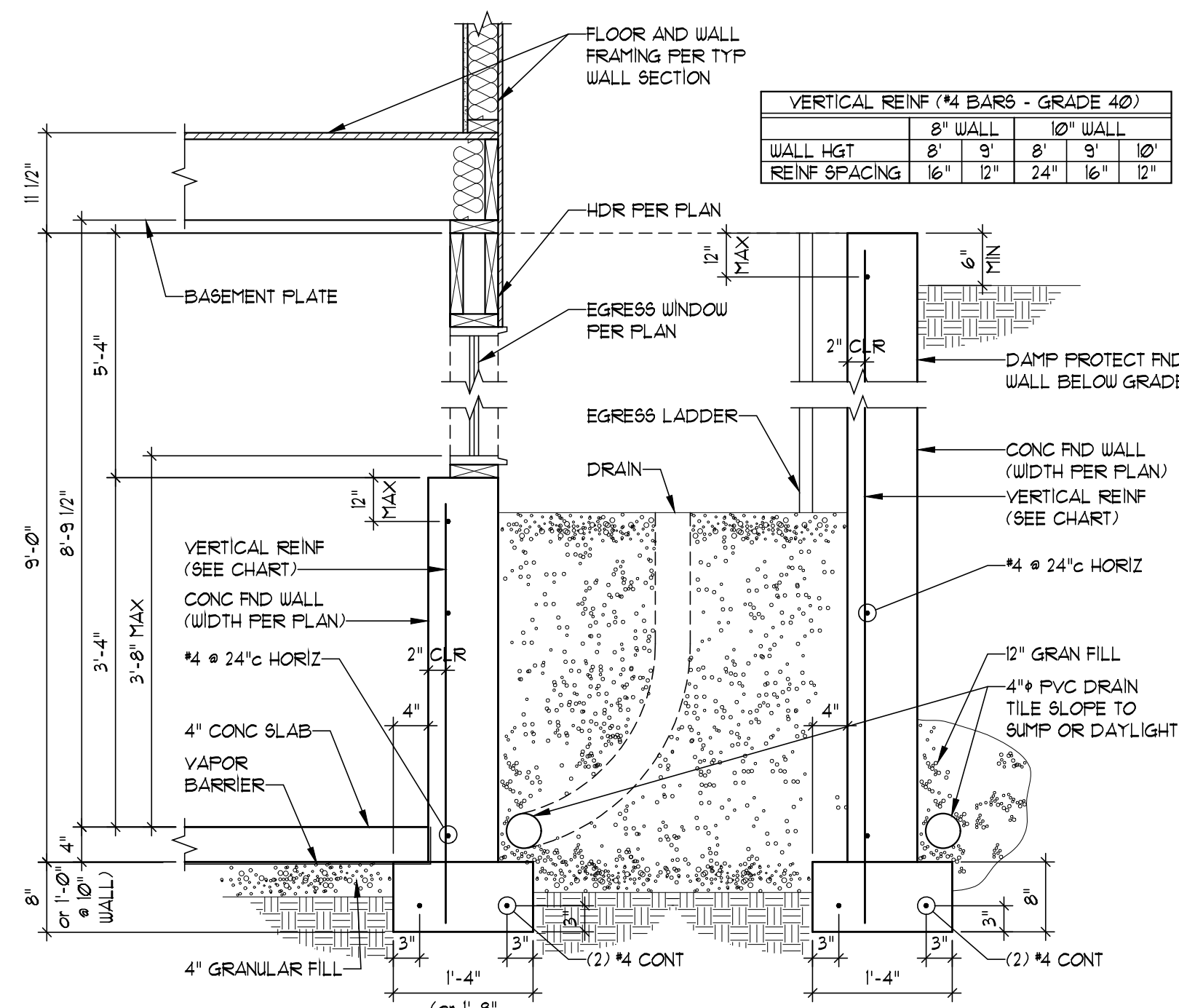
RAFTER ATTACHMENT AT PERPENDICULAR CONDITIONS
SCALE: 3/4" = 1'-0"



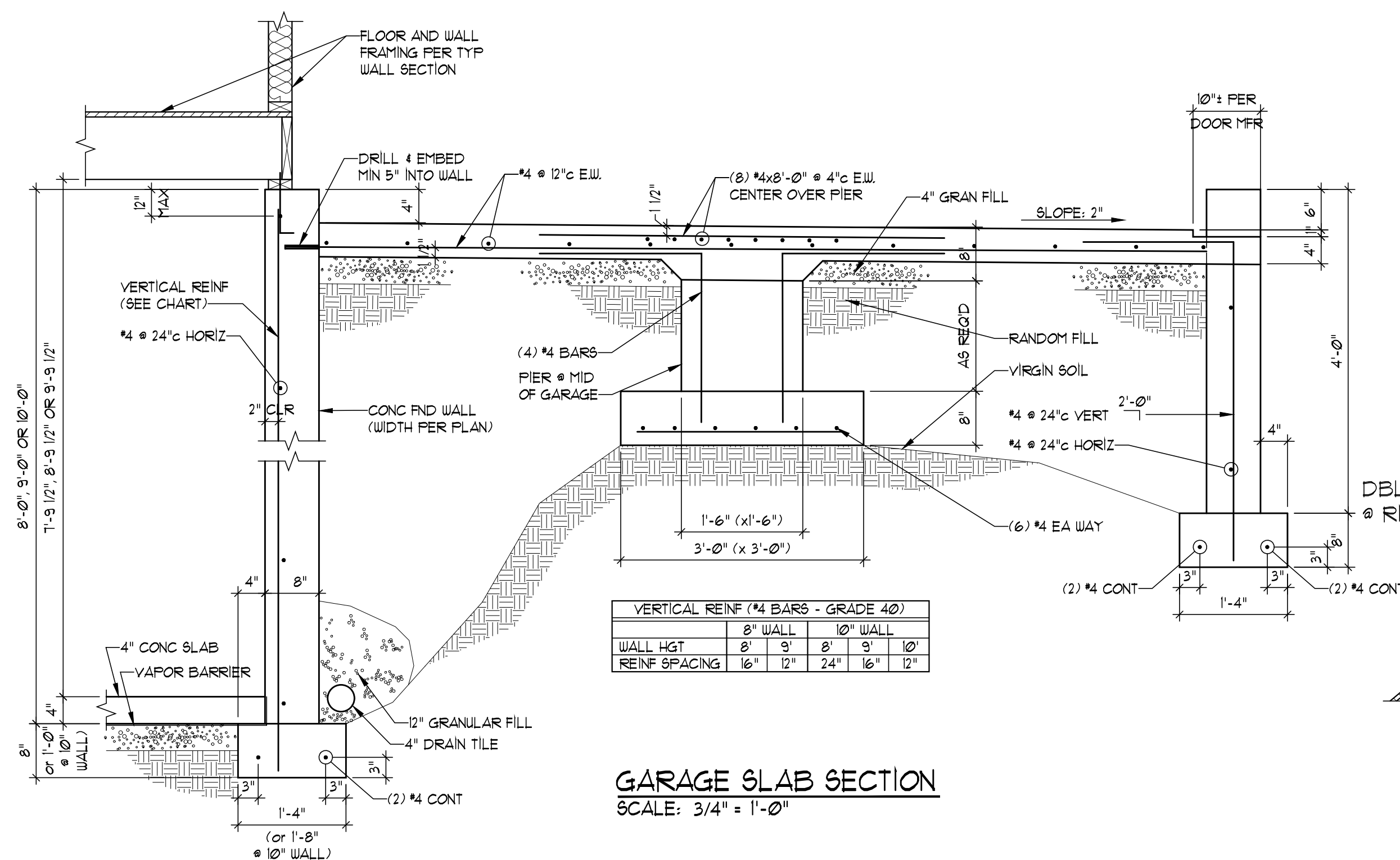
HIP RIDGE SUPPORT
SCALE: 1/2" = 1'-0"



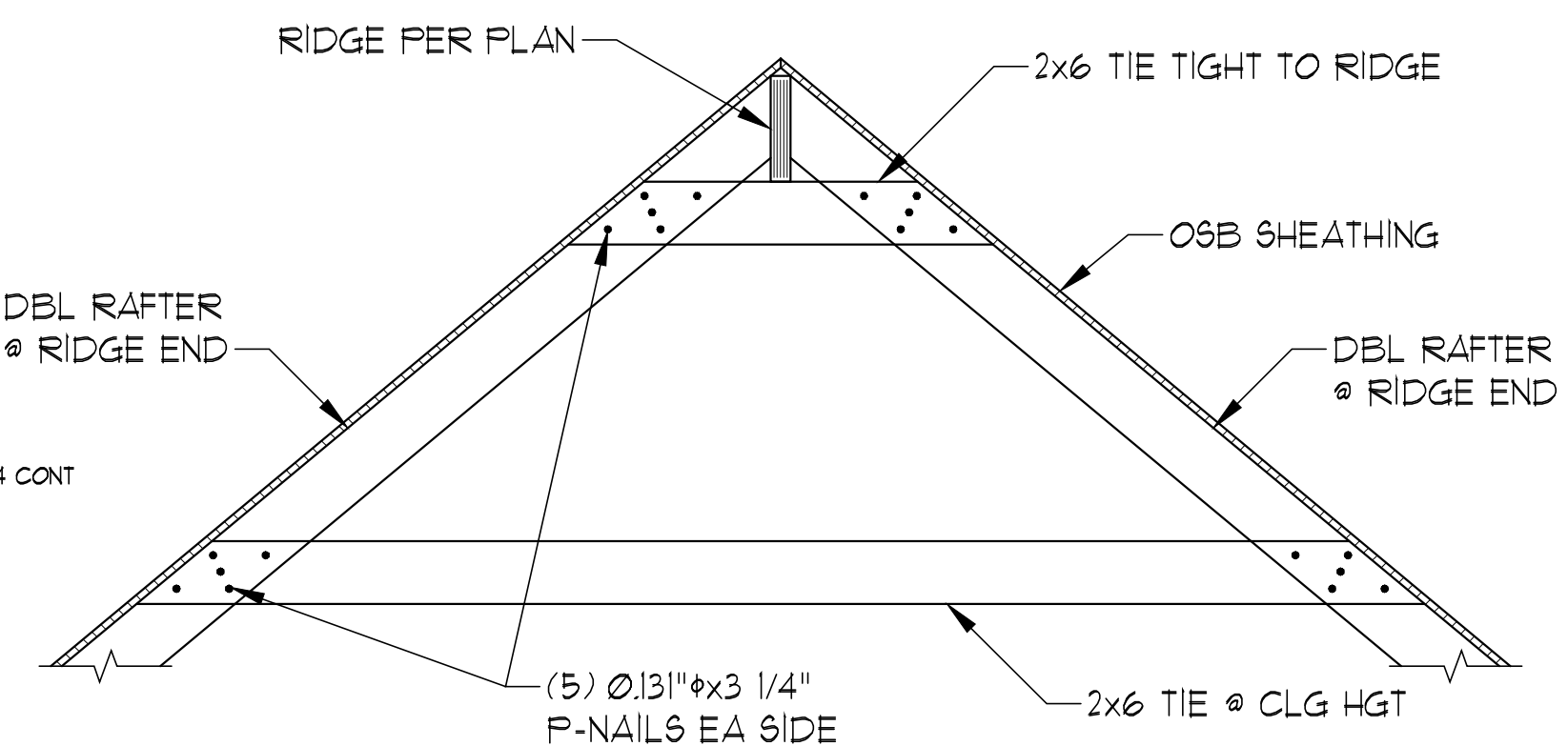
CEILING JOIST AND ROOF RAFTER CONNECTION @ HIP
SCALE: 1/2" = 1'-0"



TYPICAL WINDOW WELL
SCALE: 3/4" = 1'-0"



GARAGE SLAB SECTION
SCALE: 3/4" = 1'-0"



SCALE: $1/2" = 1'-0"$

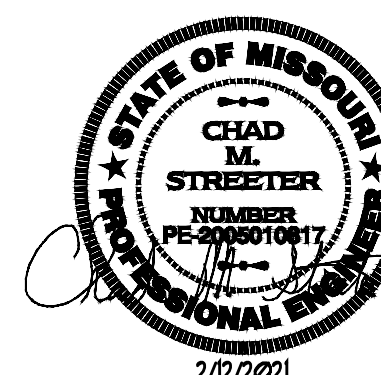


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JFE CONSTRUCTION INC.
1314 SW Market Street
Lee's Summit, MO 64081
v: 816.786.4008
jfeconstruction.com

VAN DEURZEN & ASSOCIATES, P.A.
1011 KING STREET SUITE 130
OVERLAND PARK, KS 66210
(913) 451-6305 FAX (913) 451-1021
WEB PAGE WWW.VANDERZENANDASSOCIATES.COM
E-MAIL VANDERZENANDASSOCIATES@GMAIL.COM

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THE SUMMERFIELD CUSTOM

Jim and Kari Wilcox
2155 NW Killarney Ln, Lee's Summit, MO
Lot 135 - Woodside Ridge Subdivision

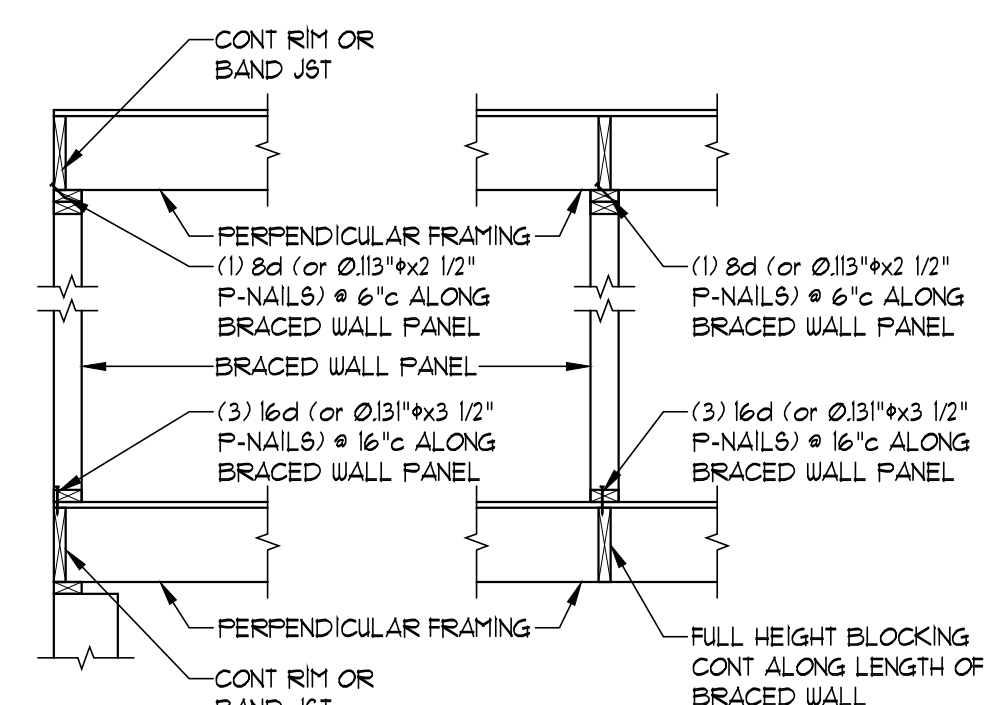
Project #: 8083-XXXX

DATE:

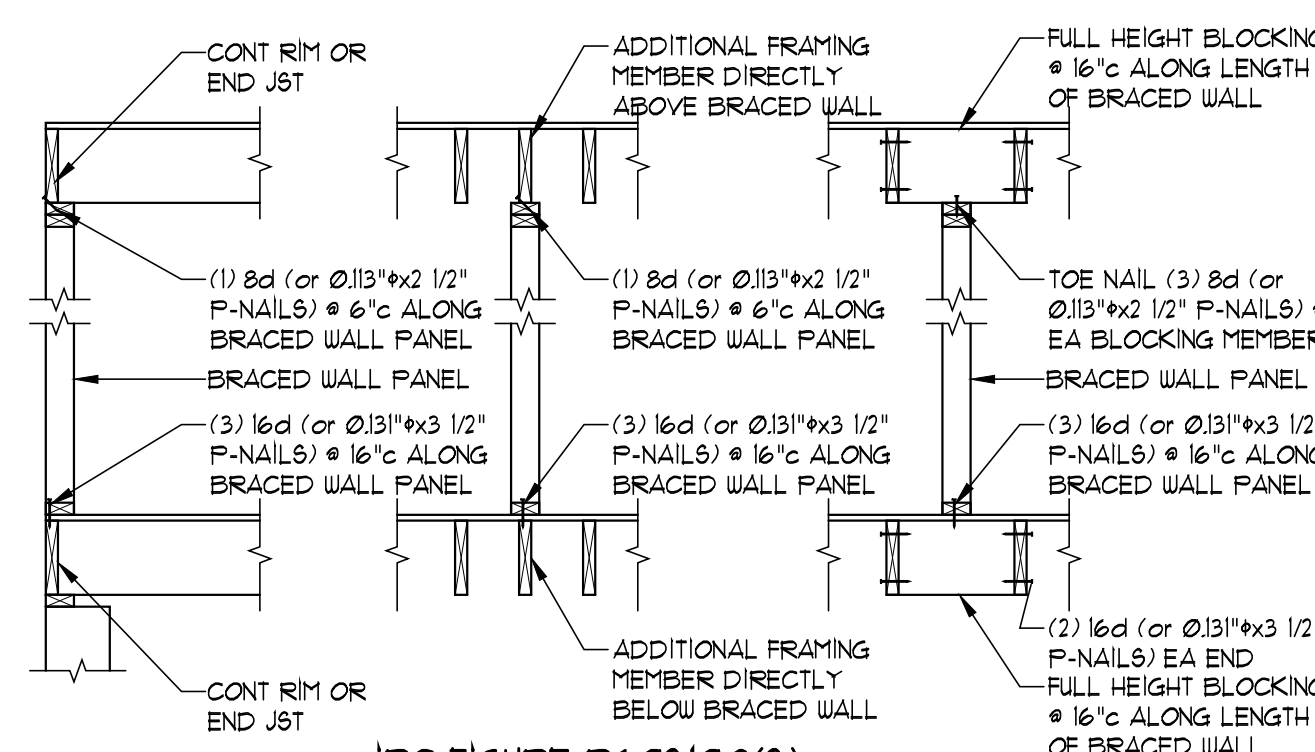
For Permit: 2/12/2021

Framing Notes
and Details

S102



IRC FIGURE R602.10.2(1)
BRACED WALL PANEL CONNECTION WHEN
PERPENDICULAR TO FLOOR/CEILING FRAMING



IRC FIGURE R602.10.2(2)
BRACED WALL PANEL CONNECTION WHEN
PARALLEL TO FLOOR/CEILING FRAMING

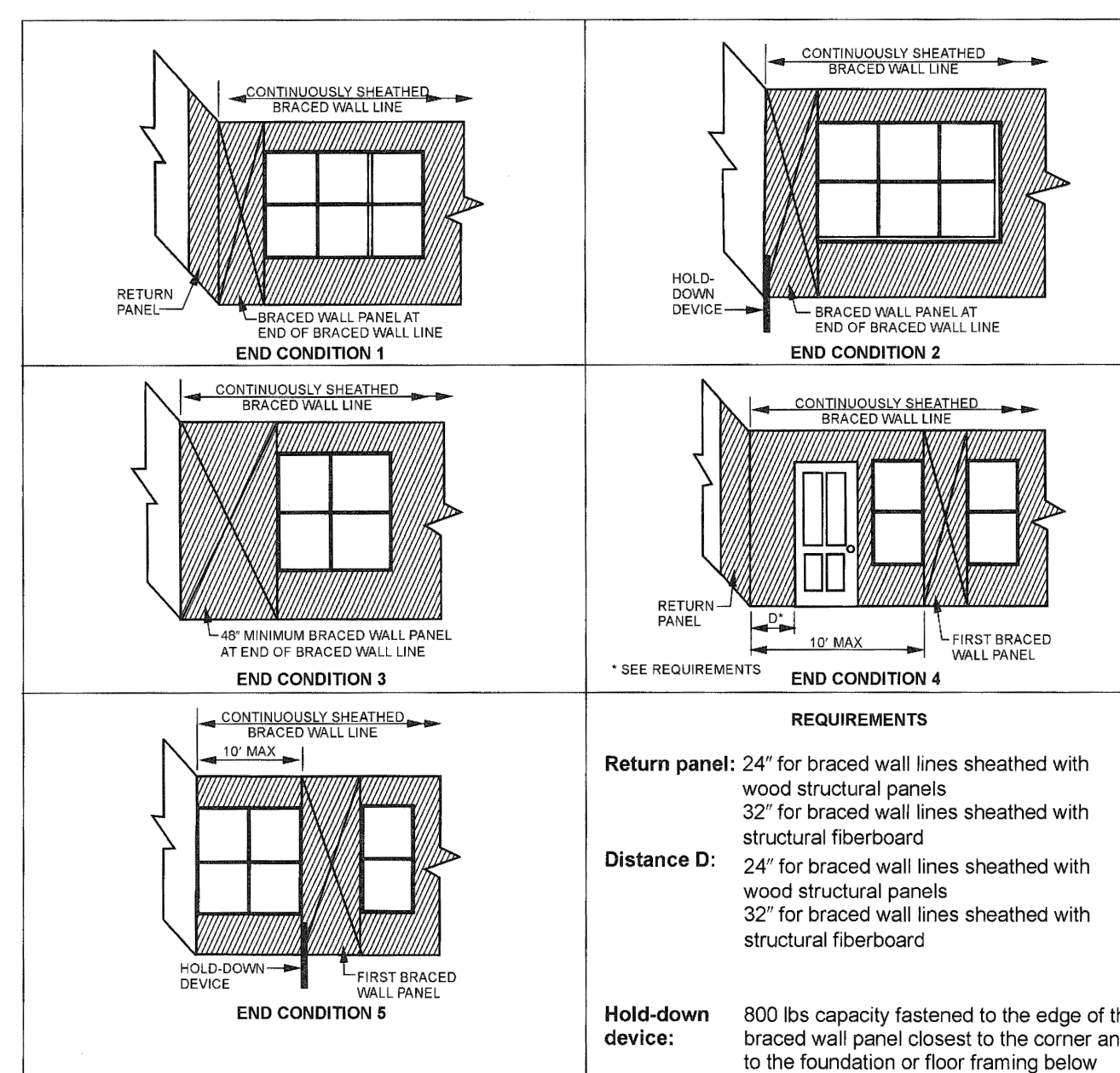
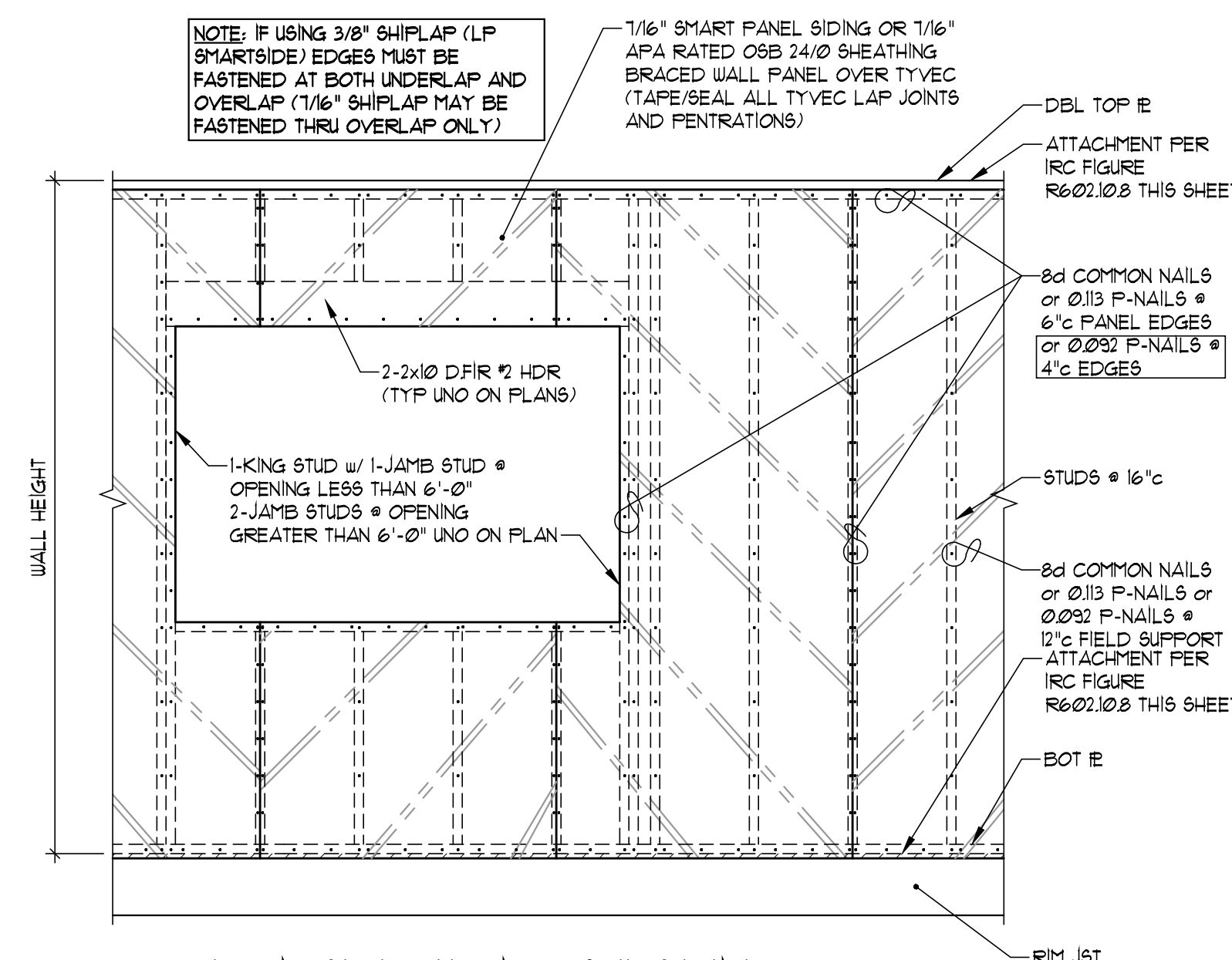
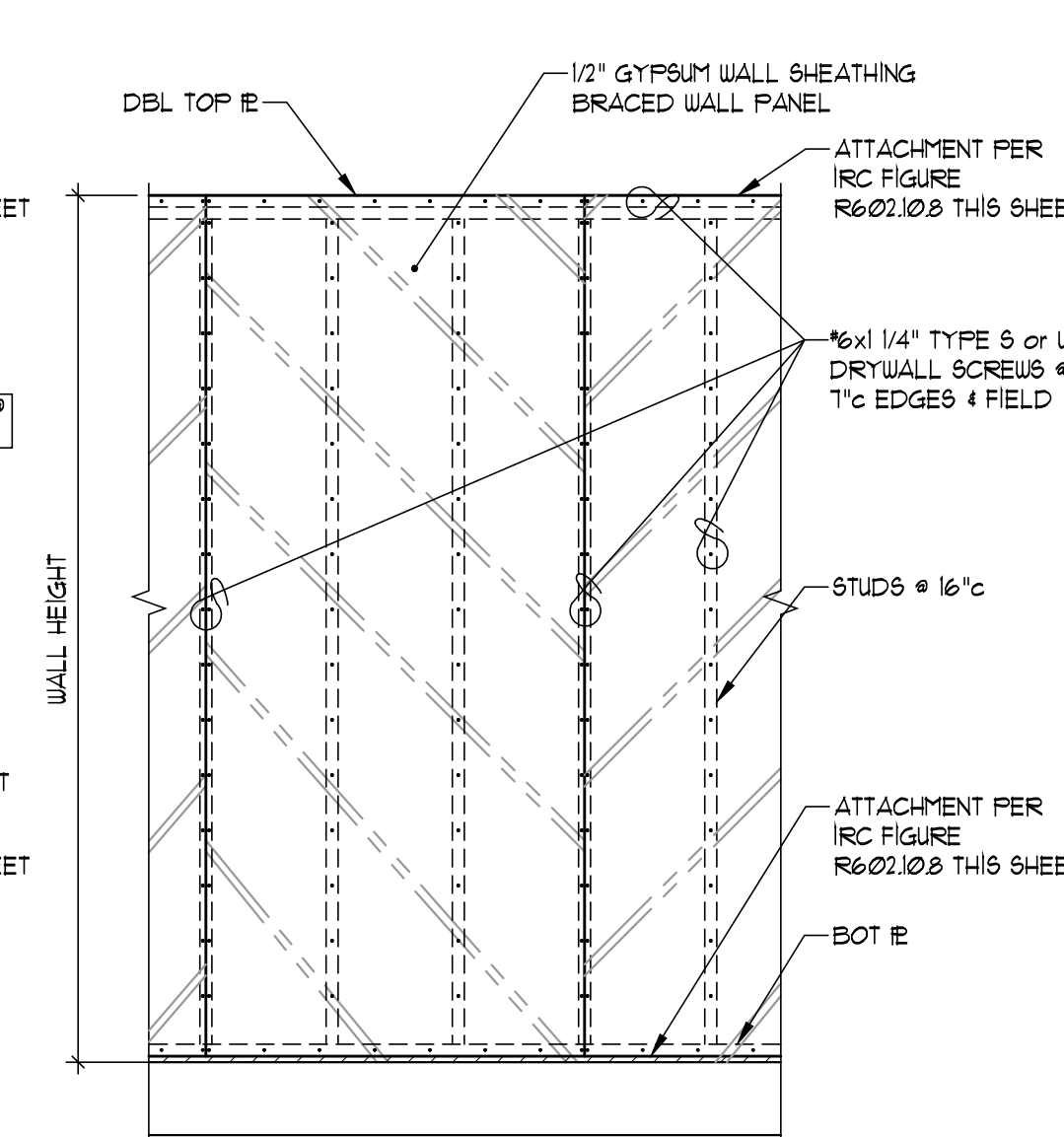


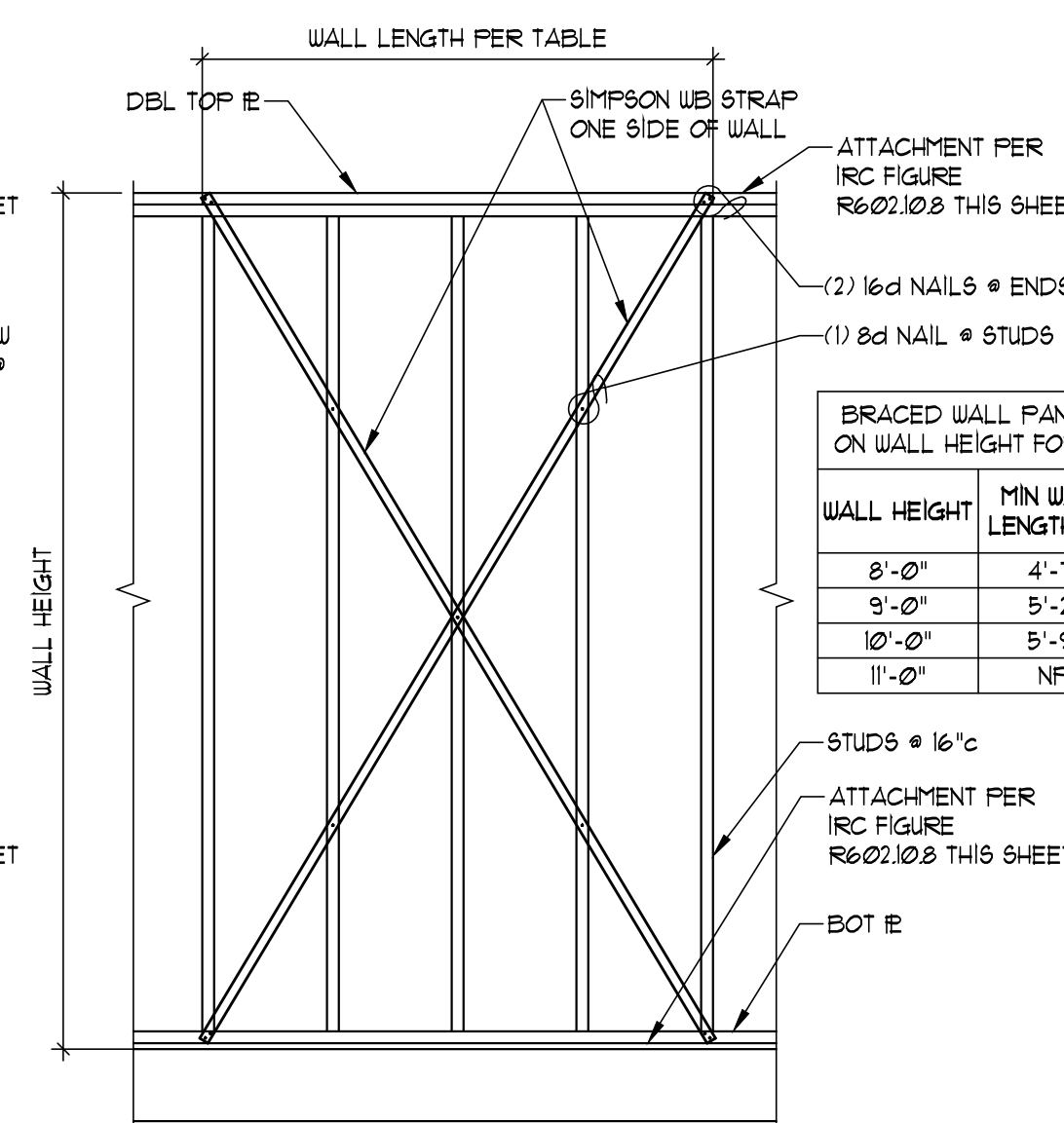
FIGURE 802.10.7
END CONDITIONS FOR BRACED WALL LINES WITH CONTINUOUS SHEATHING



TYPICAL EXTERIOR SHEATHING
INSTALLATION (METHOD WSP & CS-WSP)
SCALE: 1/2" = 1'-0"

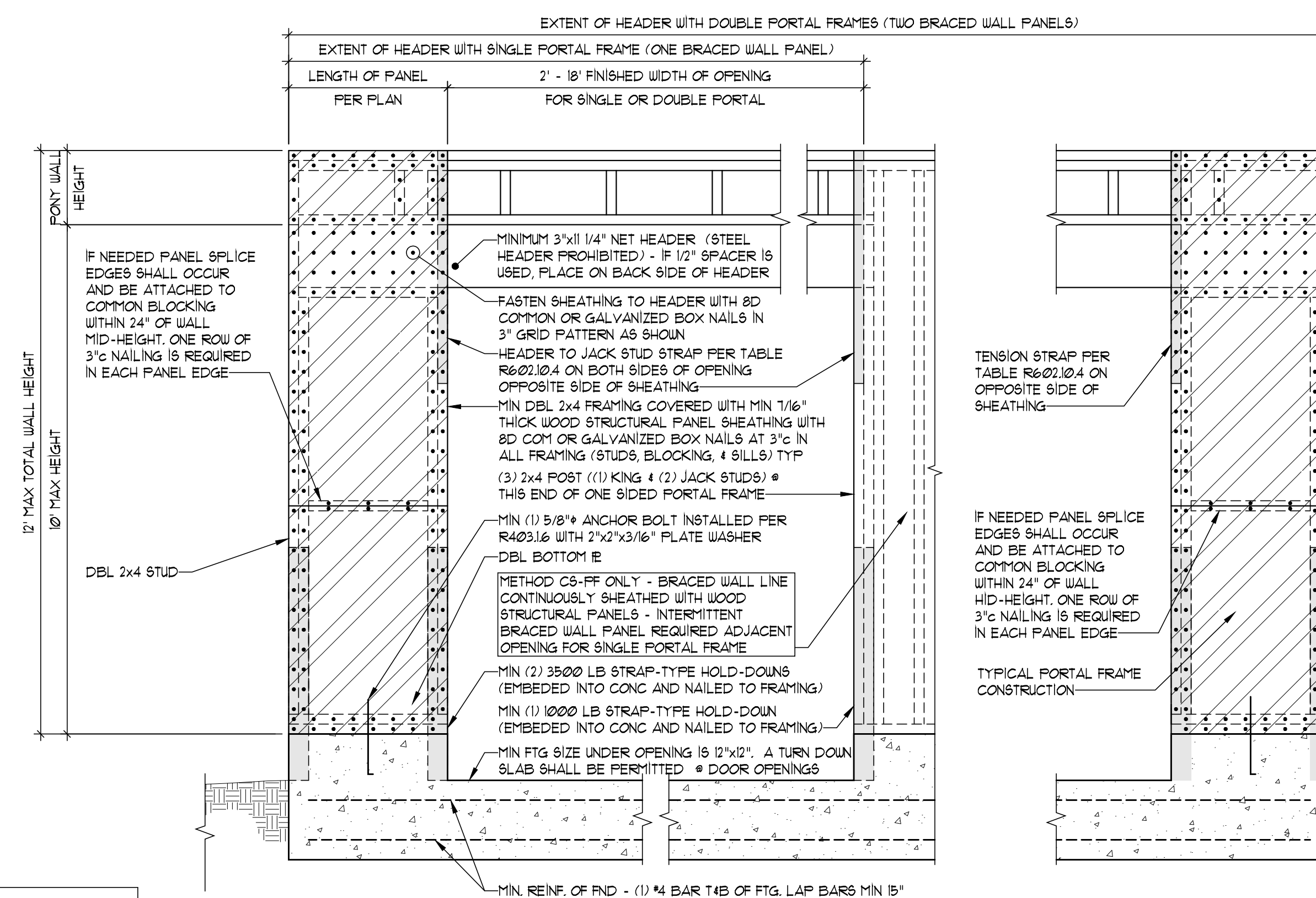


TYPICAL INTERIOR SHEATHING
INSTALLATION (METHOD GB)
SCALE: 1/2" = 1'-0"

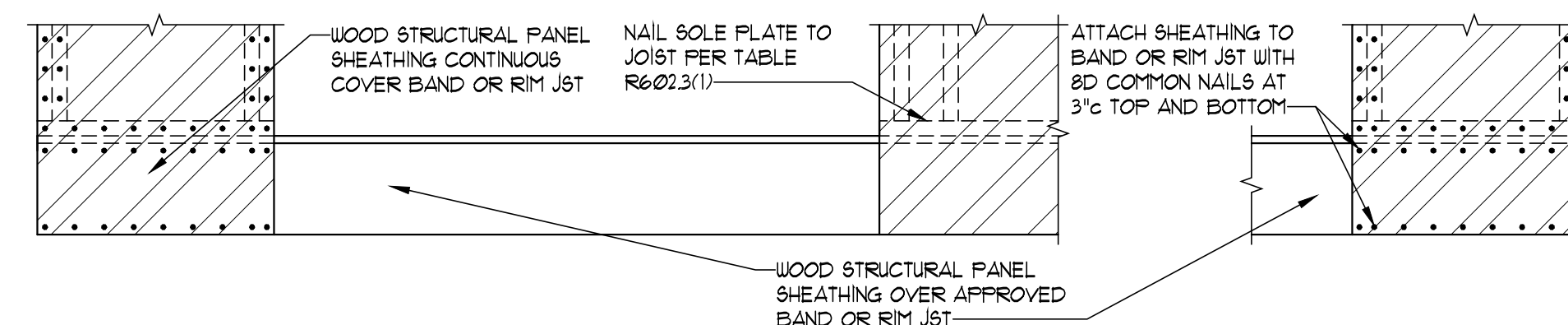


INTERIOR SHEATHING
INSTALLATION (METHOD LIB)
SCALE: 1/2" = 1'-0"

BRACED WALL PANEL LENGTHS BASED ON WALL HEIGHT FOR 2012 IRC, TYPE LIB		
WALL HEIGHT	MIN WALL LENGTH (X)	MAX WALL LENGTH (X)
8'-0"	4'-1"	8'-0"
9'-0"	5'-2"	9'-0"
10'-0"	5'-9"	10'-0"
11'-0"	NP	NP

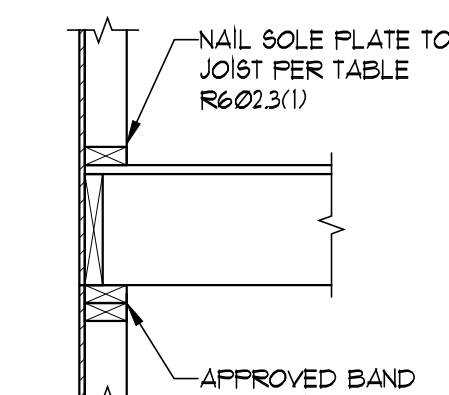


BRACED WALL METHOD "PFH" (also HEADER ATTACHMENT FOR CS-PF)
SCALE: 3/4" = 1'-0"



BRACED WALL METHOD "CS-PF" (ATTACHMENT TO WOOD FLOOR)
(REFER TO BRACED WALL METHOD "PFH" FOR HEADER ATTACH)
SCALE: 3/4" = 1'-0"

SECTION



SECTION