

USER: jelliers

DWG: F:\2018\1001-1500\018-1140-A\40-Design\AutoCAD\As-Built\Builds\Sheets\GNV\01_Street & Storm_36x24\C-MDR01_1140A.dwg
DATE: Feb 15, 2021 3:51pm

BASIN B1 (TRACT G) CONDITIONS:
100-YEAR W.S.E. (NON-CLOGGED): 926.48
CLOGGED CONDITION (ALL FLOW THROUGH
EMERGENCY SPILLWAY): 928.84

BASIN C1 DETENTION (TRACT E):
100-YEAR W.S.E. (NON-CLOGGED): 925.96
CLOGGED CONDITION (ALL FLOW THROUGH
EMERGENCY SPILLWAY): 927.41

RMLO - REAR MINIMUM LOW OPENING
FMLO - FRONT MINIMUM LOW OPENING

LOT TYPES:
S - STANDARD
D - DAYLIGHT
W - WALKOUT

- NOTES:
1. INDIVIDUAL LOT OWNERS SHALL NOT CHANGE OR OBSTRUCT THE DRAINAGE FLOW LINES OR PATHS ON THE LOTS, AS SHOWN ON THE MASTER DRAINAGE PLAN, UNLESS SPECIFIC APPLICATION IS MADE AND APPROVED BY THE CITY ENGINEER.
 2. PLAT IS LOCATED IN ZONE X, "AREAS OUTSIDE THE 1-PERCENT ANNUAL CHANCE FLOODPLAINS, AREAS OF 1-PERCENT ANNUAL CHANCE SHEET FLOW FLOODING WHERE THE AVERAGE DEPTHS ARE LESS THAN 1 FOOT, AREAS OF 1-PERCENT ANNUAL CHANCE STREAM FLOODING WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN 1 SQUARE MILE, OR AREAS PROTECTED FROM THE 1-PERCENT ANNUAL CHANCE FLOOD BY LEVEES. NO BASE FLOOD ELEVATIONS OR DEPTHS ARE SHOWN WITHIN THIS ZONE"
 3. BUFFER ZONE FOR NATURAL STREAMS IS LOCATED WITHIN PLAT.
 4. REFER TO SHEET C112-C114 FOR SWALE GRADING DETAILS.
 5. NO BUILDING PERMITS WILL BE ISSUED UNTIL AN AS-GRADED MASTER DRAINAGE PLAN HAS BEEN SUBMITTED TO THE CITY AND APPROVED BY THE CITY.

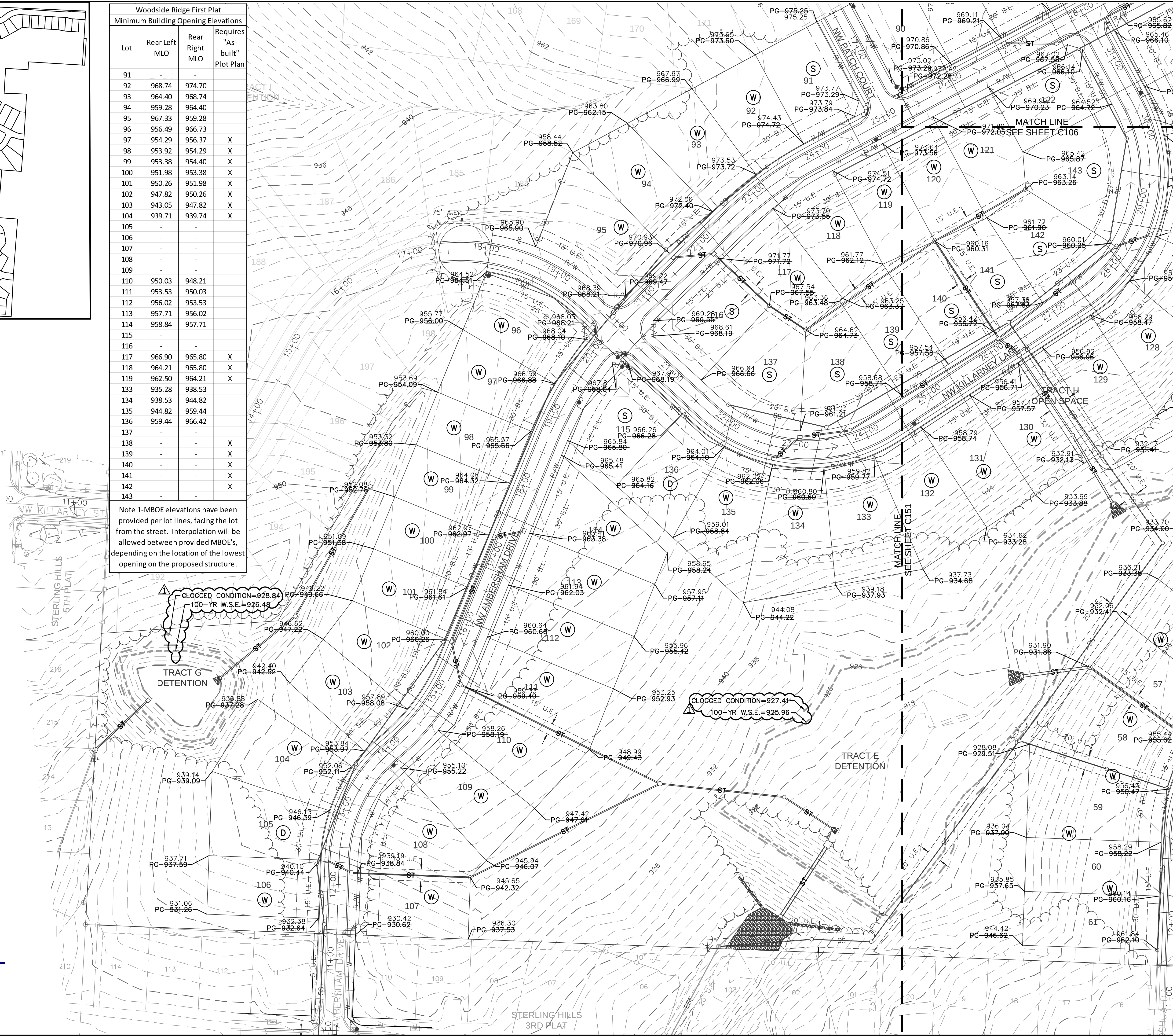
Key Map

Woodside Ridge First Plat			
Minimum Building Opening Elevations			
Lot	Rear Left MLO	Rear Right MLO	Requires "As-built" Plot Plan
91	-	-	
92	968.74	974.70	
93	964.40	968.74	
94	959.28	964.40	
95	967.33	959.28	
96	956.49	966.73	
97	954.29	956.37	X
98	953.92	954.29	X
99	953.38	954.40	X
100	951.98	953.38	X
101	950.26	951.98	X
102	947.82	950.26	X
103	943.05	947.82	X
104	939.71	939.74	X
105	-	-	
106	-	-	
107	-	-	
108	-	-	
109	-	-	
110	950.03	948.21	
111	953.53	950.03	
112	956.02	953.53	
113	957.71	956.02	
114	958.84	957.71	
115	-	-	
116	-	-	
117	966.90	965.80	X
118	964.21	965.80	X
119	962.50	964.21	X
120	965.28	962.50	
121	968.03	965.28	
122	969.55	968.03	
123	969.55	968.03	
124	969.55	968.03	
125	969.55	968.03	
126	969.55	968.03	
127	969.55	968.03	
128	969.55	968.03	
129	969.55	968.03	
130	969.55	968.03	
131	969.55	968.03	
132	969.55	968.03	
133	969.55	968.03	
134	969.55	968.03	
135	969.55	968.03	
136	969.55	968.03	
137	969.55	968.03	
138	969.55	968.03	X
139	969.55	968.03	X
140	969.55	968.03	X
141	969.55	968.03	X
142	969.55	968.03	X
143	969.55	968.03	X

Note 1-MBOE elevations have been provided per lot lines, facing the lot from the street. Interpolation will be allowed between provided MBOE's, depending on the location of the lowest opening on the proposed structure.

AS-BUILT

0' 30' 60' 120'
SCALE IN FEET



olsson

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TEL 816.861.1177
www.olsson.com

STATE OF MISSOURI
JULIE ELAINE SELLERS
NUMBER PE-2017000367
2/12/21
PROFESSIONAL

BY: _____
NO. REV. _____
DATE 4/2/2019
REVISIONS DESCRIPTION
REVISOR REVISED PER CITY COMMENTS

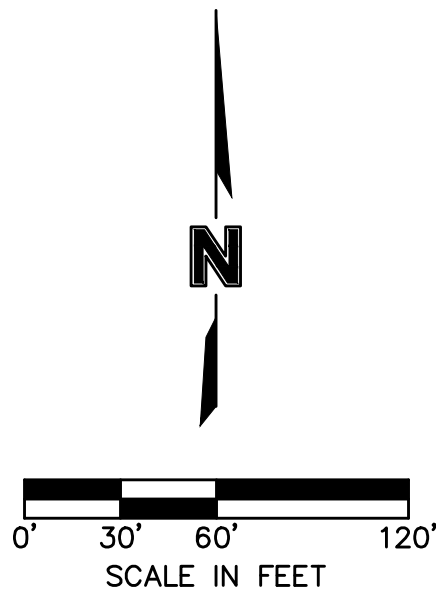
MASTER DRAINAGE PLAN
STREET & STORM SEWER PLANS
WOODSIDE RIDGE
FIRST PLAT
LEE'S SUMMIT, MO
2019
SHEET C150

drawn by: D.A.H.Q.
checked by: J.E.S.
designed by: S.M.S.
QA/QC by: M.G.D.
project no.: A18-1140
date: 2019.03.12

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5. SWALES TO BE CONSTRUCTED BETWEEN EACH OF THE LOTS 1-3 TO DRAIN TOWARDS THE ROADWAY.

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FMLO - FRONT MINIMUM LOW OPENING

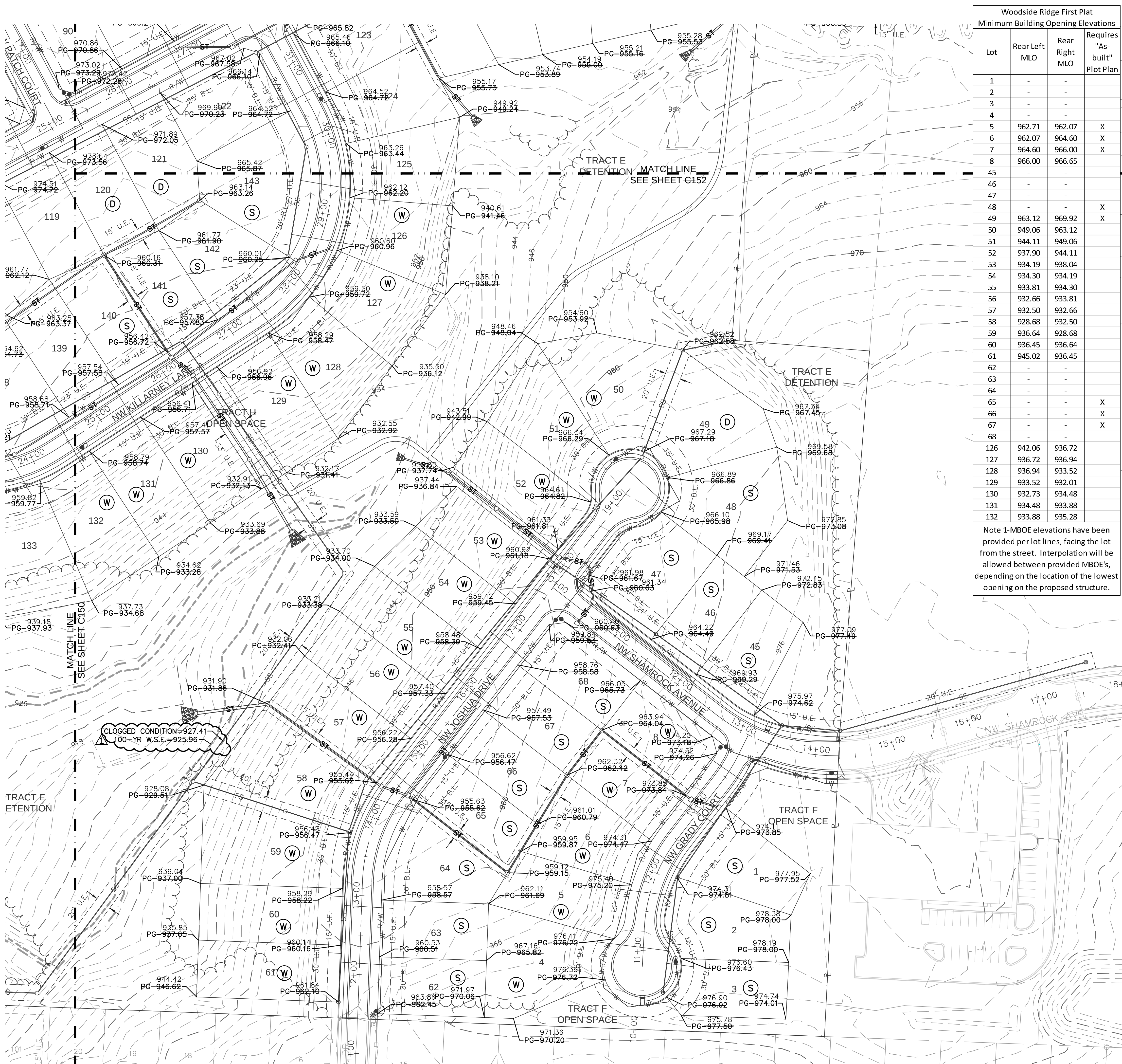
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AS-BUILT



Key Map



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Minimum Building Opening Elevations			
Lot	Rear Left MLO	Rear Right MLO	Requires "As-built" Plot Plan
1	-	-	
2	-	-	
3	-	-	
4	-	-	
5	962.71	962.07	X
6	962.07	964.60	X
7	964.60	966.00	X
8	966.00	966.65	
45	-	-	
46	-	-	
47	-	-	
48	-	-	X
49	963.12	969.92	X
50	949.06	963.12	
51	944.11	949.06	
52	937.90	944.11	
53	934.19	938.04	
54	934.30	934.19	
55	933.81	934.30	
56	932.66	933.81	
57	932.50	932.66	
58	928.68	932.50	
59	936.64	928.68	
60	936.45	936.64	
61	945.02	936.45	
62	-	-	
63	-	-	
64	-	-	
65	-	-	X
66	-	-	X
67	-	-	X
68	-	-	
126	942.06	936.72	
127	936.72	936.94	
128	936.94	933.52	
129	933.52	932.01	
130	932.73	934.48	
131	934.48	933.88	
132	933.88	935.28	

Note 1-MBOE elevations have been provided per lot lines, facing the lot from the street. Interpolation will be allowed between provided MBOE's, depending on the location of the lowest opening on the proposed structure.

BY

REVISIONS DESCRIPTION

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DATE

4/2/2019

REVISED PER CITY COMMENTS

MASTER DRAINAGE PLAN
STREET & STORM SEWER PLANS

WOODSIDE RIDGE
FIRST PLAT

LEE'S SUMMIT, MO

2019

SHEET
C151

olsson

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