





DIVISION 1 - GENERAL REQUIREMENTS

1. GENERAL REQUIREMENTS 01000
2. The General Conditions of the Contract for Construction of A.I.A. Document A201, latest edition, Forms part of this contract as if herein bound.
3. Satisfy all applicable local codes and ordinances. Reference the cover sheet for list of codes.
4. Contractor to pay for Construction Permit Fees, Excise Tax, Tap Fees, Ect. as applicable to the local Municipalities and Utility Companies.
5. Contractor is to meet all Building Owner Standards and Instructions for work.

PRODUCTS 01600

1. Where a specific manufacturer's product is named including make or model number or other designation, it has been selected to establish the significant qualities related to type, function, dimension, in-service performance, physical properties, appearance, and other characteristics of the product. Unless otherwise indicated, provided the named product or a product that is equal to or exceeds the specified product.
2. Deliver, store, and handle products using means and methods that will prevent damage, deterioration, and loss, including theft. Comply with manufacturer's written instructions.
3. Provide products complete with accessories, trim, finish, fasteners, and other items needed for a complete installation and indicated use and effect.
4. All products, and materials used in conjunction with, are to be installed in strict conformance with manufacturers instruction.

SPECIAL CONDITIONS 01700

1. General Contractor shall provide all water, light, and power necessary during construction until the completion of the building. All extensions, controls, and equipment beyond the points of temporary service shall be provided under the work of the respective Division requiring the same.
2. The General Contractor shall do all final cleaning of the building construction areas and wash windows.

CUTTING AND PATCHING

1. Contractor is to include as part of his scope all cutting and patching required through careful evaluation of the existing site and the construction documents. All holes, damages, defects, ect. in existing surfaces are to be patched to match existing conditions. Contractor shall coordinate the cutting of existing construction necessary to permit installation or performance of other Work.
2. Patching: Patch construction by filling, repairing, refinishing, closing up, and similar operations. Patch with durable seams that are as invisible as possible. Use materials identical to existing materials. If identical materials are unavailable or cannot be used, use materials that, when installed, will match the visual and functional performance of existing materials. For exposed surfaces, use materials that visually match existing adjacent surfaces to the fullest extent possible. Before patching, verify compatibility with and suitability of substrates, including compatibility with existing and new finishes or primers.
3. Cutting: Cut existing construction by sawing, drilling, breaking, chipping, grinding, and similar operations, including excavation, using methods least likely to damage elements retained or adjoining construction. In general, use hand or small power tools designed for sawing and grinding, not hammering and chipping. Cut holes and slots as small as possible, neatly to size required, and with minimum disturbance of adjacent surfaces. Temporarily cover openings when not in use. Provide temporary support of Work to be cut. Cut concrete using a cutting machine, such as an abrasive saw or a diamond-core drill.

DIVISION 2 - SITE WORK

NO WORK THIS SECTION

DIVISION 3 - CONCRETE

REFER TO CUTTING AND PATCHING

DIVISION 4 - MASONRY

NO WORK THIS SECTION

DIVISION 5 - METALS

METAL STUD FRAMING

1. Metal Studs and Runners: shall be as manufactured by Dietrich, Inryco/Milcor, USC, or approved equal. Studs shall be sized as indicated on the drawings and of gauge recommended by the manufacturers literature. Double studs at door jams shall be 20 gauge minimum. Standard stud spacing at no more than 16" O.C. unless otherwise noted on drawings.
2. At all walls indicated to extend to underside of decking provide Dietrich SLP-TRK slotted deflection track. Install and Finish per manufacturer's recommendations.

DIVISION 6 - WOODS AND PLASTIC

CARPENTRY

1. Each piece of framing lumber shall be identified by the grademark of an approved inspection agency or association. Wood Framing and all rough carpentry items shall be installed in accordance with UBC and/or FHA requirements whichever is most restrictive.

DIVISION 7 - THERMAL AND MOISTURE PROTECTION

INSULATION

1. Where insulating materials listed below will not be covered with gypsum board substitute specified insulation w/ product of same thickness and R-value and similar facing, but such shall have a flame spread rating of 25 or less and a smoke developed rating of 50 or less when tested in accordance with ASTM E84 unless more stringent requirements are listed for a specific product.
2. Interior insulation shall be unfaced acoustical batt insulation in thickness to fill entire cavity.
3. Insulation Schedule

3.1. Exterior Walls: batts of fiberglass with foil skim kraft (FSK) vapor barrier in thickness to match cavity depth

3.2. Gaps and voids around door and window areas and in built up wood lintels:Minimal expanding foam insulation shall be Dow Chemical Great Stuff. It is to be Tack free in 20 minutes and with full cure in 8 hours at room temperature and 50% relative humidity. It is to be paintable and stainable.

3.3. Interior non-loadbearing walls: Unfaced Fiberglass Batts - Certainteed CertaPRO AcustaTherm Batts

SEALANTS

1. Mildew-Resistant Silicone Rubber Sealant: Silicone rubber-based, one part elastomeric sealant, complying with FS TT-5-0021943, Class A, compounded specifically for mildew resistance and recommended by manufacturer for interior joints in wet areas; passing ANSI A136.1 test for mold growth.
2. Silicone Sealant: One-part nonacid-curing silicone sealant complying with ASTM C920; Type 5, Grade NS, Class 25, paintable, for uses at casings, window casings and hollow metal to drywall and masonry.
3. Joints and spaces to be caulked shall be clean, dry and free of dust, loose mortar or other foreign materials. After joints have been filled, they shall be neatly tooled to eliminate air pockets or voids and to provide a smooth, neat appearing surface.
4. Non-Elastomeric Sealants and Caulking Compounds: 1-component acrylic sealant: FS-TT-5-00230, Class B, Type 11, solvent based solids 95% acrylic for uses at exterior window and door frame perimeters and flashing

DIVISION 8 - DOORS AND WINDOWS

STEEL FRAMES AND DOORS 08110

1. Drywall frames shall be manufactured from cold-rolled 16 gauge steel conforming to ASTM A366 or A620 & A568. Frames shall be knock-down, double return back bend (to prevent cutting into wall) flush hairline miter at the corner of the head and jamb, and the corner reinforced with a concealed clip. Each jamb is to have one compression anchor to securely hold the frame between the studs and maintain proper alignment.
2. Welded Frames are to be fabricated of either cold-rolled steel conforming to ASTM ASTM A366 or A620 & A568 at interior locations or hot-dipped galvanized steel conforming to ASTM A924 and A653 at exterior locations both of 16 gauge material. Fabricate frames with mitered or coped and continuously welded corners and seamless face joints. Provide welded frames with temporary spreader bars.
3. All Frames and Doors are to be thoroughly degreased and cleaned of all imperfections and provided with one coat of oven-cured neutral color primer paint. Primer coat shall conform with ANSI A250.10. The primer coat is to be a preparatory base for necessary finish painting.
4. Frame Hardware Provisions: Frames are to be mortised, reinforced and drilled and tapped for all mortise finish hardware. Frames are to be reinforced only for surface mounted hardware, with drilling and tapping to be done in the field by the installation contractor. Steel plates and mortising boxes are to be welded to all hinge and lock reinforcement. Frames are handed. Hinge jams are to be mortised for hinges with 7 gage steel hinge reinforcement welded in place and drilled and tapped for fasteners in accordance with ANSI A156.7. The strike jamb is to be prepared for 4-7/8" universal strike in accordance with ANSI A 115.142. Additional hardware reinforcement (e.g. closer/holder as indicated by hardware schedule) is to be 12 gage minimum steel welded in place. Three door mutes are to be provided per strike jamb and two for double suing heads.
5. Door Hardware Provisions: Hinge preparations are handed. Hinge edges are to be mortised for hinges with 7 gage steel hinge reinforcements welded inside the door edge and drilled and tapped for fasteners in accordance with ANSI A156.7. The lock edge is to have a standard bevel (1:16) and be prepared for locks in accordance with hardware schedule. Additional hardware reinforcement (e.g. closer/pulls as indicated by hardware schedule) is to be 12 gage steel channel.

WOOD DOORS

1. Single swing interior doors shall be solid core premium grade veneer with matching edges. Species, stain, finish, to be seleted by owner. Comply with requirements of ANSI/NWMA I.S. 1 and Section 1400 of ANI "Architectural Woodwork Quality Standards" except as otherwise indicated. Coordinate stain color with interior designer.

FINISH HARDWARE

1. Provide finish hardware for all doors in project. The Contractor shall verify all keying requirements with owner prior to installation. Finish to be 26d. Hardware mounting heights by the door and hardware institute "Recommended Locations for Builders Hardware". Comply with all ADA requirements for hardware.

DIVISION 9 - FINISHES

GYPSUM DRYWALL

1. Materials shall meet the following standards:

a. Gypsum Nailboard - ASTM C36

b. Nails - ASTM C380

c. Metal Accessories - ASA A97.1

d. Water Resistant Gypsum Backing Board - ASTM C1278 (paragraph 6.1)
2. Use gypsum board fasteners that are recommended by gypsum board manufacturer except as otherwise indicated.
3. Furnish and install all trim accessories, adhesives and joint treatments per manufacturer's recommendations.
4. All gypsum board to be finished to Level 4 unless noted otherwise.
5. Schedule: (basis of design)

5.1. Interior side of exterior walls: ½" Gold Bond XP Gypsum Board.

5.2. Interior partitions - general: ⅝" Gold Bond Gypsum Board.

5.3. Interior ceilings and soffits: ⅝" Gold Bond Gypsum board.

5.4. Interior partitions in wet areas/toilet rooms: ⅝" Gold Bond XP Gypsum Board.

5.5. Interior partitions to receive wall tile: ⅝" Gold Bond exp Tile Backer

FLOORING GENERAL

1. Patch, level and prepare all floors as recommended by flooring manufacturer for each type of flooring to be placed. Use troubleable leveling and patching compound to fill cracks, holes, and depressions in substrates. Troubleable Leveling and Patching Compounds shall be of Latex-modified, portland cement based or blended hydraulic cement based formulation provided or approved by floor covering manufacturer for applications indicated.
2. Transitions between floor finishes: Floor finishes are to be tightly butted together (unless edge protection is specified or is required by the manufacturer.) At all transitions where finished floor height of a flooring is higher than adjacent floor finish, raise adjacent flooring with ROPPE SUBLEVELER TS-1 so finish heights are equal. Where flooring is to be tightly butted against ceramic or porcelain tile in addition to subleveler installation beneath the thinner floor material, edge protection is to be provided on tile as indicated in the finish legend.

PAINTING GENERAL

1. Paint shall be as manufactured by Sherwin Williams Paints or approved equal.

SURFACE PREPARATION FOR PAINT

1. General: Protect adjacent and underlying surfaces. Remove or mask electrical plates, hardware, light fixture trim, escutcheons, and fittings prior to preparing surfaces of finishing. Correct defects and clean surfaces capable of affecting work of this section. Seal marks that may bleed through surface finishes with compatible sealer.
2. Galvanized Steel: Remove surface contamination and oils and wash with solvent.
3. Uncoated Ferrous Metals: Remove grease, mill scale weld splatter, dirt and rust. Where heavy coatings of scale are evident, remove by hand or power tool wire brushing or sandblasting: wash with solvent. Apply treatment of phosphoric acid solution, ensuring weld joints, bolts and nuts are similarly cleaned. Spot Prime paint after repairs.
4. Shop primed Ferrous Metals: Sand and scrape to remove loose primer and rust. Feather edges to make patches inconspicuous. Clean with solvent. Prime bare steel surfaces.
5. Other existing Surfaces: Remove loose, flaking, powdery, and peeling paints. Light sand painted surfaces. Fill holes, cracks, depressions and other imperfections with compatible patching compound; sand flush with surface. Remove oil, grease, and wax by scraping; solvent wash and thoroughly rinse. Remove rust by wire brushing to expose base metal.

PAINTING SCHEDULE

1. Paint all new interior gypsum board walls:

1.1. 1 ct. PrepRite 200 Latex Primer and

1.2. 2 cts. ProMar 200 Int. Latex Eg-Shel
2. Paint all new and existing interior gypsum board walls in wet areas (Toilet and Janitor Rooms):

2.1. 1 ct. PrepRite 200 Latex Primer and

2.2. 2 cts. Waterbased Catalyzed Epoxy
3. Interior gypsum board ceilings and soffits (unless noted otherwise):

3.1. 1 ct. PrepRite 200 Latex Primer

3.2. 2 cts. ProMar 200 Int. Latex Flat
4. Interior and Exterior Ferrous metal (metal frames, exposed steel structure, misc. metal):

4.1. Touch up factory prime coat with compatible Metal Primer or

4.2. 1 ct. Sprayed All Surface Enamel oil Primer

4.3. 2 cts. Sprayed Promar 200 Int. Alkyd Eg-Shel Enamel
5. All wood to receive a transparent finish (unless noted otherwise):

5.1. 1 ct. General Finishes Pre-Stain Wood Conditioner

5.2. Up to 2 cts (to obtain dark color) General Finishes Dye Concentrates

5.3. 1 ct General Finishes Oil Base Wood Stain

5.4. 1 ct. General Finishes EF High Performance Polyurethane Top Coat-Satin

5.5. Sand between coats using 180 or finer grit sandpaper.

5.6. 1 ct. General Finishes EF High Performance Polyurethane Top Coat-Satin

DIVISION 10 - SPECIALTIES

FIRE EXTINGUISHER

1. Provide fire extinguishers as indicated per plan. Fire extinguisher shall be Cosmic 5E (2A,10B,C) by J.L. Industries or approved equal. Cabinets to be Ambassador by J.L. Industries or approved equal, Not Fire-Rated, Tub - 10 1/2 x 24 x 5 1/2 inches. Trim Material - Steel, white epoxy primer finish, Trim Style Semi recessed 3" rolled edge. Door Style - Vertical Duo Panel with pull handle, Door Glazing - Clear Safety Glass, with Die Cut Letters - Vertical Red Reverse.

DIVISION 11 - EQUIPMENT

COORDINATE DENTAL EQUIPMENT INSTALLATION WITH OWNER AND OWNER'S EQUIPMENT SUPPLIER.

DIVISION 12 - FURNISHINGS

CASEWORK

1. The General Contractor or his Subcontractor shall provide all necessary work to provide plastic laminate casework at locations indicated on these documents. Work under the contract shall include all labor, materials, and incidentals necessary to execute a complete workmanlike job in accordance with the requirements of all applicable codes and ordinances including the Americans with Disabilities Act Guidelines. The General Contractor or his Subcontractor to review shop drawings with Owner to verify casework layout and dimensions.
2. Casework shell units are to be constructed with 3/4" particle board sides and 1/2" particle board backs with plastic laminate or wood veneers on all exterior exposed vertical faces and also on the bottom face of upper wall units. Exposed edges to be .020 polyvinyl chloride impact/chip/mar-resistant edges. All interior surfaces on units with doors/drawers to be 85 gram melamine. For open units refer to interior elevations for interior surface and edges. Base cabinets are to be nominal 24" deep. Upper cabinets are to 14" deep O.A. from back of cabinet at wall to face of doors. Full height cabinets are to be 26" deep unless noted otherwise. Full height cabinets are to be constructed with solid center shelf with doors above and below.
3. Countertops: Outside corners of all countertops to have 1½" radius.

3.1. Plastic Laminate countertops are to be 1½" thick with plastic laminate faces and 3mm (⅛") flexible PVC edges. Backsplashes are to be provided as indicated on the interior elevations, and are to have matching plastic laminate on all exposed faces.

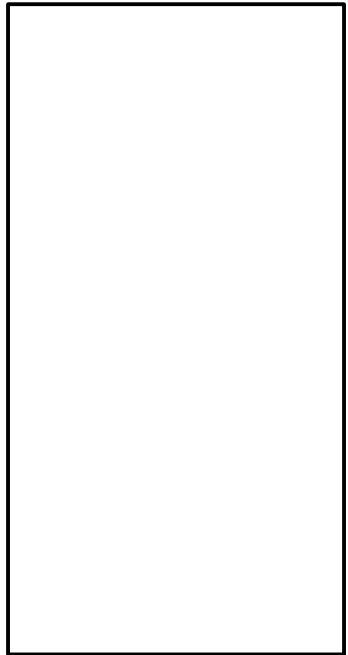
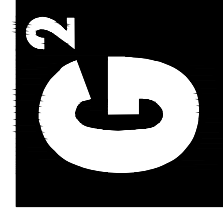
3.2. Solid Surface countertops shall be as indicated on Finish Legend. Surfaces of material are to be adhesively joined with inconspicuous seams.

3.3. Quartz Surfacing shall be as indicated on Finish Legend. Surfaces of material are to be epoxy joined with inconspicuous seams.
4. Wood Door Drawer and False Front Panels to have solid oak stile and rail oak panels to match existing dimensions and profiles of existing to remain optical display casework. Stain and finish per painting specifications.
5. Plastic Laminate Door, Drawer, and False Front Panels to have plastic laminate faces, 85 gram melamine backs, and 3mm (1/8") high impact resistant PVC edges.
6. Shelving to be 1" particle board fully adjustable on 1-1/4" centers. Edge to be .020 polyvinyl chloride impact/chip/mar-resistant edge. Shelving inside units with doors to have 85 gram melamine on top and bottom. Shelving of open units are to have plastic laminate to match the exterior.
7. Hardware shall be heavy-duty satin chrome. Hinges shall be European concealed heavy duty hinges. All doors over 36" tall to have three hinges. All pulls are to be 4" bent wire pulls, unless otherwise noted. Finish to be 26D. Removable panels are to be secured with Hafele Keku push fit fasteners.
8. Drawer boxes to be Blum Meta-Box system or Grass UniDrawer (unless noted otherwise). Slides to have 100 pound load rate. Drawer box depth is to be within 2" of drawer face panel height. Drawers indicated on drawings as FILE are to have white melamine box with KV 8505 slides and Hafele letter width file frame kit.
9. Provide one 2" dia standard plastic grommet with hole liner and slotted cover for every three linear feet of countertop that has knee space below. If knee space is less than three feet wide provide two grommets. Also provide one 2" dia standard plastic grommet at each location with power and/or data installed in cabinet. Color as selected by interior designer. Exact locations of grommets to be established and be confirmed by owner prior to installation.
10. All particle board is to be of 45-pound density particle board. All plastic laminate is to be General Purpose Type 107 HGS laminate as manufactured by Wilsonart or approved equal.
11. Provide fillers to match casework at sides of all casework abutting adjacent vertical surfaces. Also provide filler panels above upper cabinets where distance between upper cabinet and ceiling above is less than 8".
12. Metal Counter Supports: All support brackets are to be as manufactured by Rakks Counter Support Brackets (www.rakks.com). Material to be 6063-T6 extruded aluminum. Construction to be TIG welded along both 45° mitered sides and across the back. All sharp edges ground and deburred. Provide one support bracket for every three lineal feet of unsupported countertop.




2-2-21

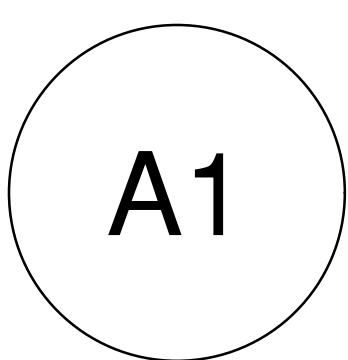
GUY GRONBERG  
ARCHITECTS, P.C.  
119 SE 5th St.  
Lee's Summit, MO 64063  
Phone: 816.524.0278  
Fax: 816.524.9519



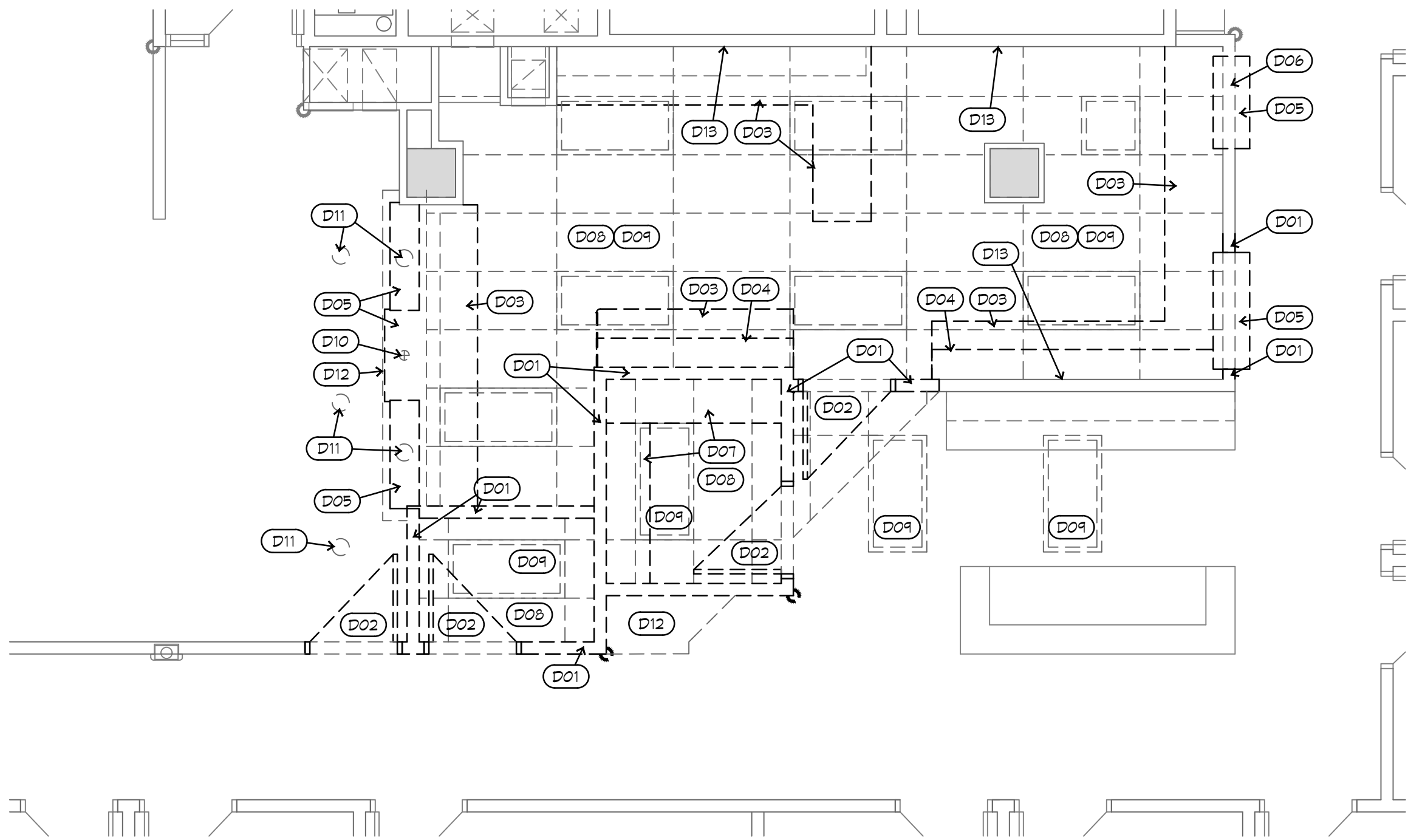
A Tenant Finish Project for:  
**Rockhill Women's Care**  
20 NE St. Luke's Boulevard, Suite 310  
Lee's Summit, Missouri 64086

 Saint Luke's  
East - Lee's Summit  
100 N.E. Saint Luke's Boulevard  
Lee's Summit, Missouri 64086

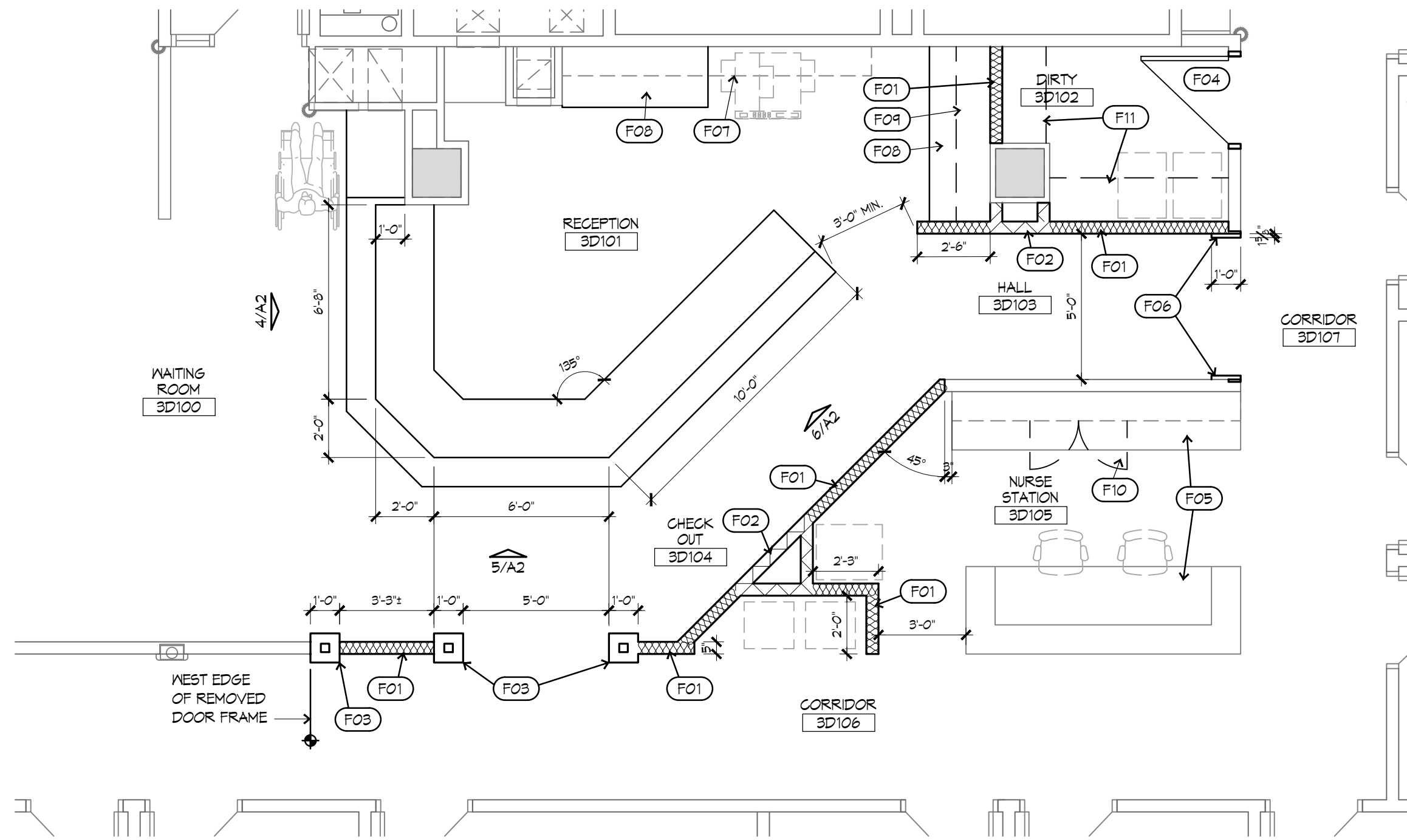
REV#	DATE	DESCRIPTION							
DATE: 2-2-21			PROJECT# 18025						







1 DEMOLITION PLAN  
1/8"=1'-0"



2 FLOOR PLAN  
1/8"=1'-0"



#### DEMOLITION PLAN NOTES

- (D01) REMOVE AND DISCARD GYPSUM BOARD PARTITION AND FRAMING.
- (D02) REMOVE AND RECLAIM DOOR FRAME AND HARDWARE.
- (D03) REMOVE AND RECLAIM BASE CABINETS AND COUNTERTOPS.
- (D04) REMOVE AND RECLAIM UPPER CABINETS.
- (D05) REMOVE AND DISCARD CHECK-IN/OUT HIGH COUNTER AND KNEE WALL.
- (D06) REMOVE AND DISCARD GYPSUM BOARD PARTITION AND FRAMING AND REFRAME OPENING FOR DOOR INDICATED ON FLOOR PLAN.
- (D07) REMOVE AND RECLAIM SHELVING, STANDARDS, AND BRACKETS.
- (D08) THROUGHOUT ROOM OR AREA REMOVE AND RECLAIM FULL ACOUSTICAL TILES. REMOVE AND DISCARD EXPOSED T-GRID AND PARTIAL ACOUSTICAL TILES. MECHANICAL DIFFUSER AND GRILLS ARE EXISTING TO REMAIN, ARE TO BE TEMPORARILY SUPPORTED, AND BE RESET IN NEW GRID. REMOVE AND DISCARD FLOORING WHERE NEW FLOORING IS INDICATED ON FINISH SCHEDULE.
- (D09) THROUGHOUT ROOM OR AREA RECLAIM ALL TROFFER LIGHT FIXTURES.
- (D10) REMOVE AND RECLAIM PENDANT LIGHT FIXTURE.
- (D11) REMOVE AND RECLAIM CAN LIGHT FIXTURE. PATCH AND REPAIR EXISTING TO REMAIN SOFFIT.
- (D12) REMOVE AND DISCARD LOW GYPSUM BOARD SOFFIT AND FRAMING.
- (D13) REMOVE AND DISCARD WALL COVERING. PATCH AND REPAIR WALL SURFACE TO RECEIVE PAINT.

#### FINISH SCHEDULE

RM. #	ROOM NAME	FLOOR	BASE	WALL				NOTES
				NORTH	EAST	SOUTH	WEST	
3D100	WAITING ROOM	PT-EX	B1	-	PT1	-	-	TL1 ON FACE OF DESK
3D101	RECEPTION	WVT	B1	PT1	PT1	PT1	PT1	
3D102	DIRTY	WVT	B1	PT1	PT1	PT1	PT1	
3D103	HALL	WVT	B1	PT1	PT1	PT1	PT1	
3D104	CHECK OUT	WVT	B1	PT1	PT1	PT1	PT1	TL1 ON FACE OF DESK
3D105	NURSE STATION	PT-EX	B1	PT1	-	-	PT1	
3D106	CORRIDOR	PT-EX	B1	PT1	-	-	-	
3D107	CORRIDOR	PT-EX	B1	-	-	-	PT1	

#### FINISH LEGEND

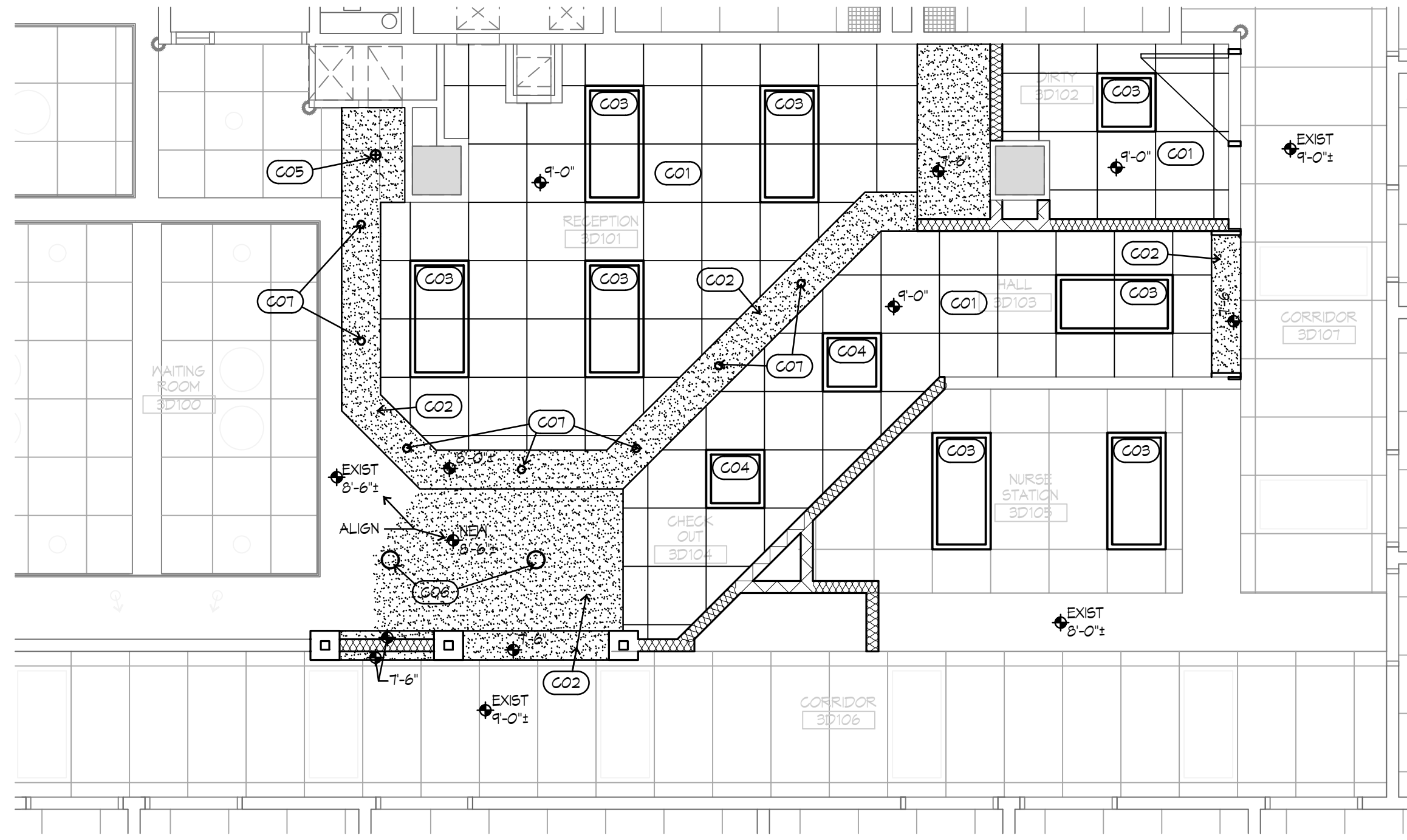
PT-EX	EXISTING TO REMAIN FLOORING. PATCH AND REPAIR AS REQUIRED FOR NEW LAYOUT.	TL1	4" X 8" PORCELAIN TILE. TILE IS TO BE SET IN A RUNNING BOND PATTERN. CONTRACTOR SHALL PROVIDE FOR AN ALLOWANCE OF \$1.00 A SQUARE FOOT FOR THE PURCHASE OF THE TILE MATERIAL ONLY. THIS PRICE DOES NOT INCLUDE LABOR, OVERHEAD AND PROFIT, SHIPPING, TAXES, AND MATERIALS FOR INSTALLATION INCLUDING MASTIC AND GROUT. ALL OF THESE ARE ADDITIONAL TO THE ALLOWANCE AND SHOULD BE ADDED TO THE PRICE AND INCLUDED IN THE BASE BID. INSTALL TILE PER MANUFACTURER'S RECOMMENDATIONS.
WVT	NEW WOOD VINYL TILE TO MATCH EXISTING		
B1	WALL BASE IS TO BE PROVIDED THROUGHOUT. EXISTING TO REMAIN TO BE PATCHED WITH NEW AS REQUIRED.		
PT1	PAINT - PRIMARY FIELD COLOR		
PT2	PAINT - SOFFITS		
PT3	PAINT - DOOR FRAMES TO MATCH EXISTING		

#### FLOOR PLAN NOTES

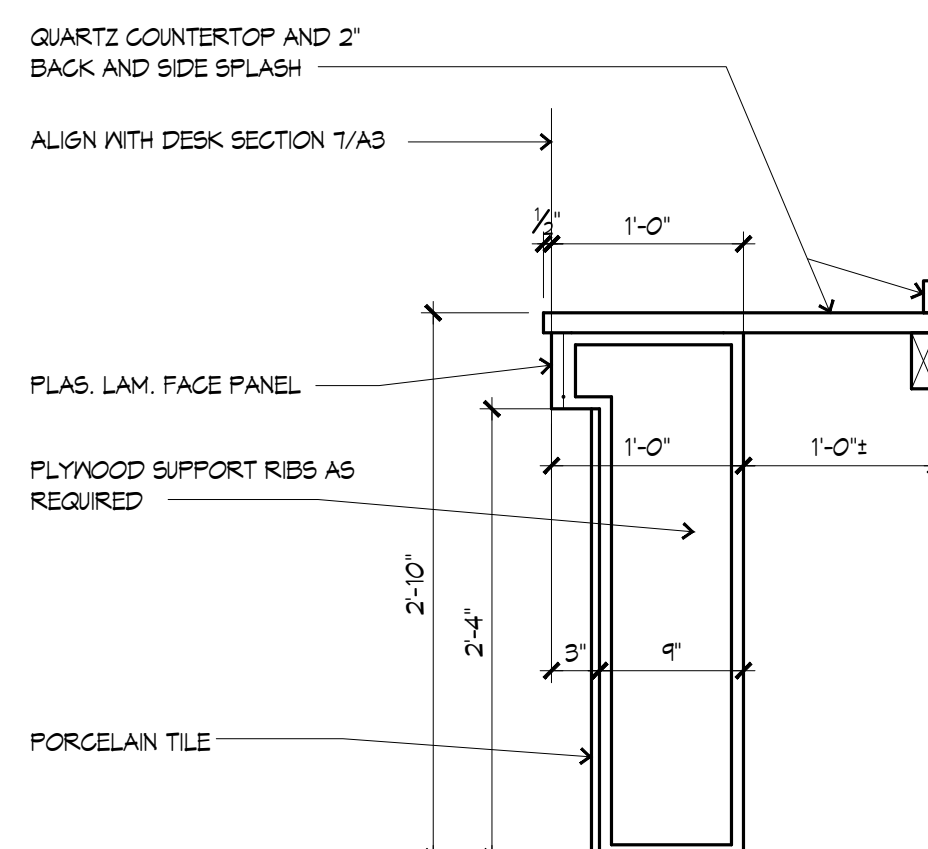
- (F01) CONSTRUCT WALL OF 3/8" GYPSUM BOARD ON EACH SIDE OF 3 3/8" METAL STUDS AT 16" O.C. FILL ALL CAVITIES WITH 3/2" UNFACED ACOUSTICAL BATTS. CONSTRUCT WALL FROM FLOOR TO 4" ABOVE CEILING.
- (F02) CONSTRUCT WALL OF 3/8" GYPSUM BOARD ON ONE SIDE OF 3 3/8" METAL STUDS AT 16" O.C. FILL ALL CAVITIES WITH 3/2" UNFACED ACOUSTICAL BATTS. CONSTRUCT WALL FROM FLOOR TO 4" ABOVE CEILING.
- (F03) FRAME OPENING EACH SIDE WITH 3/4" GYPSUM BOARD ON METAL STUD FRAMING TO FORM 12"x12" SQUARE.
- (F04) INSTALL DOOR, FRAME AND HARDWARE INDICATED TO BE RECLAIMED BY DEMOLITION NOTE. PROVIDE ADA LEVER HARDWARE. VERIFY LOCK FUNCTION WITH TENANT. PAINT FRAME TO MATCH EXISTING.
- (F05) EXISTING TO REMAIN CASEWORK.
- (F06) FURR OUT FILASTER WITH ONE LAYER 3/8" GYPSUM BOARD ON 1 1/2" METAL STUDS AT 16" O.C. EXTEND FURRING FROM FLOOR TO 4" ABOVE CEILING.
- (F07) RAISE EXISTING UPPER CABINETS TO CLEAR COPY MACHINE. COORDINATE HEIGHT WITH OWNER.
- (F08) INSTALL COUNTERTOP AND BASE CABINETS INDICATED TO BE RECLAIMED BY DEMOLITION PLAN NOTE D04. COORDINATE BASE CABINET SELECTIONS AND LOCATIONS WITH TENANT. PROVIDE NEW FILLER PANELS TO MATCH EXISTING AS REQUIRED.
- (F09) INSTALL UPPER CABINETS INDICATED TO BE RECLAIMED BY DEMOLITION PLAN NOTE D05. COORDINATE CABINET SELECTIONS AND HEIGHTS WITH TENANT. PROVIDE NEW FILLER PANELS TO MATCH EXISTING AS REQUIRED.
- (F10) AT NURSE STATION 3D105 AND AT SIMILAR NURSE STATION AT WEST SIDE OF TENANT SPACE (NOT SHOWN) PROVIDE NEW PLAS. LAM. DOORS ON OPEN CABINETS TO MATCH EXISTING DOORS. (FOUR DOORS TOTAL)
- (F11) INSTALL SHELVING, STANDARDS, AND BRACKETS INDICATED TO BE RECLAIMED BY DEMOLITION PLAN NOTE D07. MODIFY TO FIT NEW LAYOUT.

#### CEILING PLAN NOTES

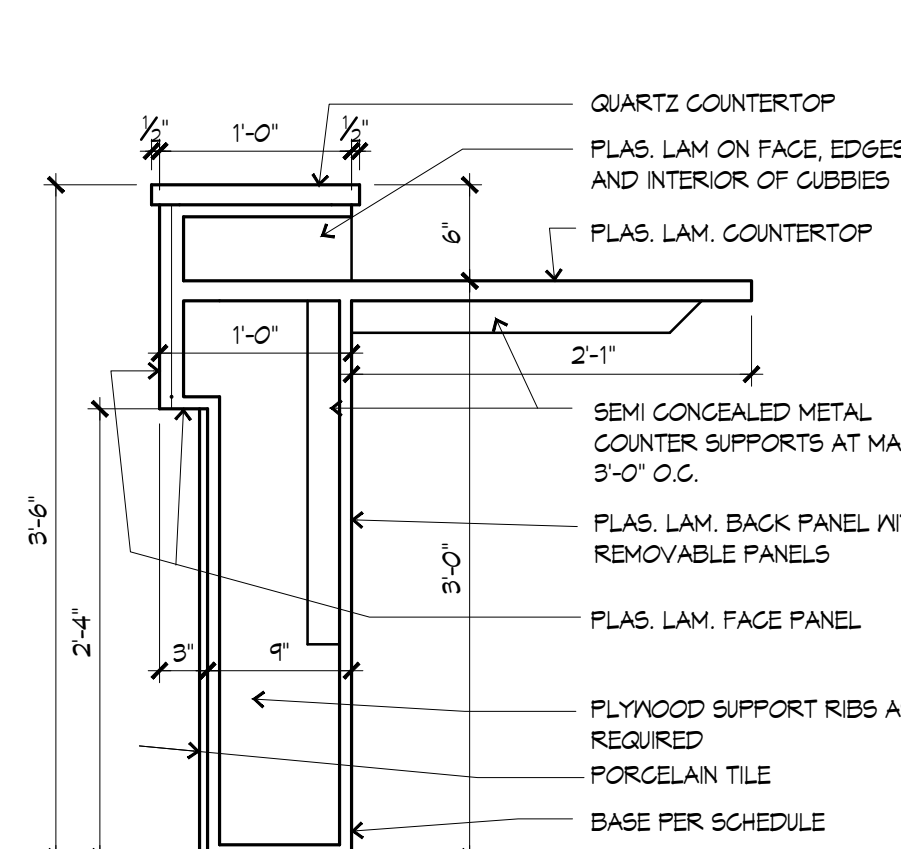
- (C01) PROVIDE RECLAIMED OR NEW 2'X2' ACOUSTICAL CEILING TILE IN NEW EXPOSED T-GRID TO MATCH EXISTING. MODIFY MECHANICAL DIFFUSER AND GRILLS AS REQUIRED FOR NEW LAYOUT.
- (C02) FRAME CEILING AND/OR SOFFIT FROM ONE LAYER OF 3/8" GYPSUM BOARD ON 3 3/8" METAL STUD FRAMING.
- (C03) INSTALL TROFFER LIGHT FIXTURE INDICATED TO BE RECLAIMED BY DEMOLITION PLAN NOTE D09.
- (C04) NEW 2'X2' TROFFER FIXTURE TO MATCH EXISTING FIXTURES.
- (C05) INSTALL PENDANT FIXTURE INDICATED TO BE RELOCATED BY DEMOLITION PLAN NOTE D11.
- (C06) INSTALL CAN LIGHT FIXTURE INDICATED TO BE RECLAIMED BY DEMOLITION PLAN NOTE D11.
- (C07) INSTALL NEW 3" DIA LED CAN LIGHTS IN SOFFIT.



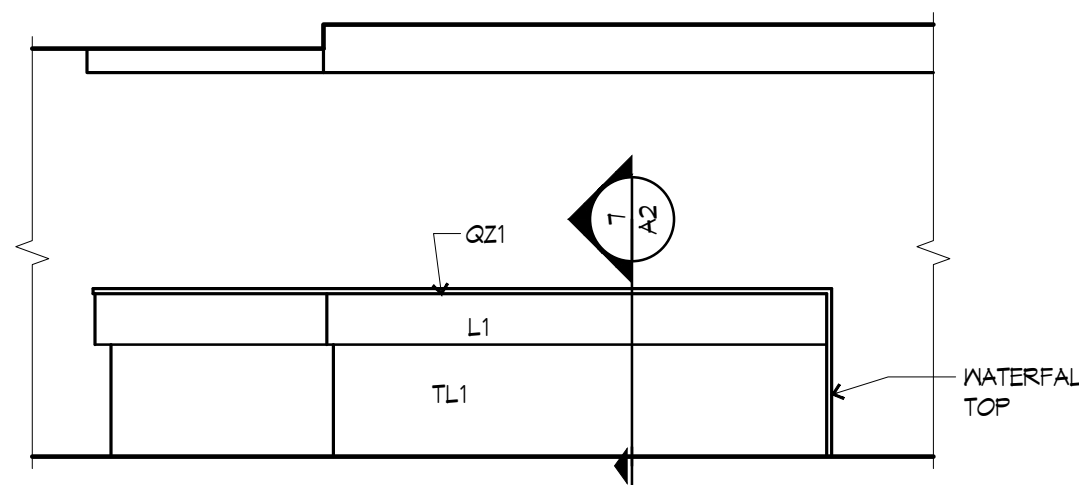
3 CEILING PLAN  
1/8"=1'-0"



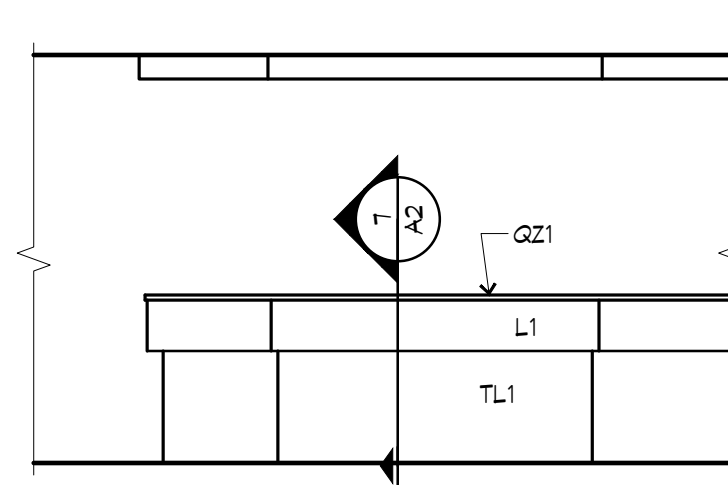
8 ADA SECTION  
1"=1'-0"



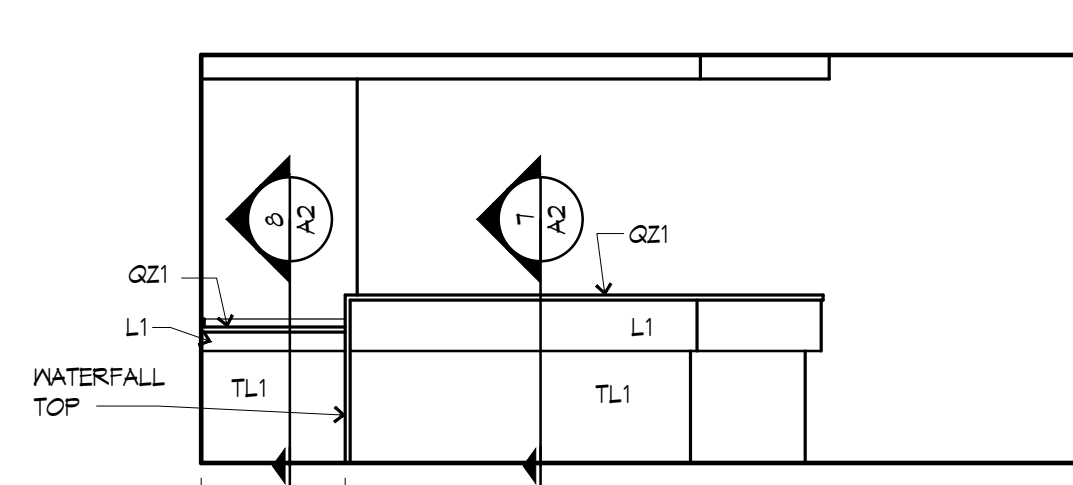
7 DESK SECTION  
1"=1'-0"



6 WAITING 100  
1/4"=1'-0"



5 WAITING 100  
1/4"=1'-0"



4 WAITING 100  
1/4"=1'-0"



2-2-21

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11355 S. 14th St.  
Lee's Summit, MO 64063  
Phone: 816.524.0219  
Fax: 816.524.0219



A Tenant Finish project for:

Rockhill  
Women's Care  
20 NE St. Luke's Boulevard, Suite 310  
Lee's Summit, Missouri 64086



Saint Luke's  
East - Lee's Summit  
100 N.E. Saint Luke's Boulevard  
Lee's Summit, Missouri 64086

REV#	DATE	DESCRIPTION

DATE: 2-2-21  
PROJECT# 18025

