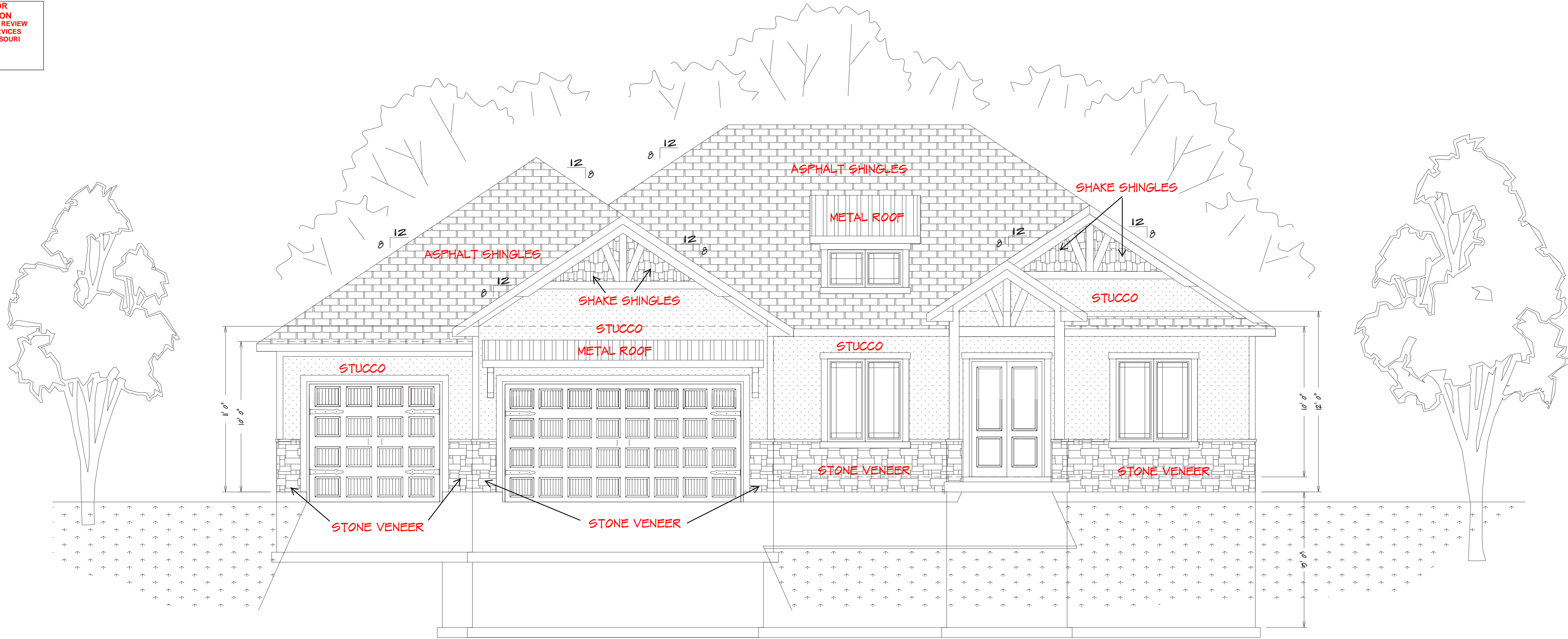


RELEASE FOR
CONSTRUCTION
AS NOTED ON PLANS REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
02/01/2021



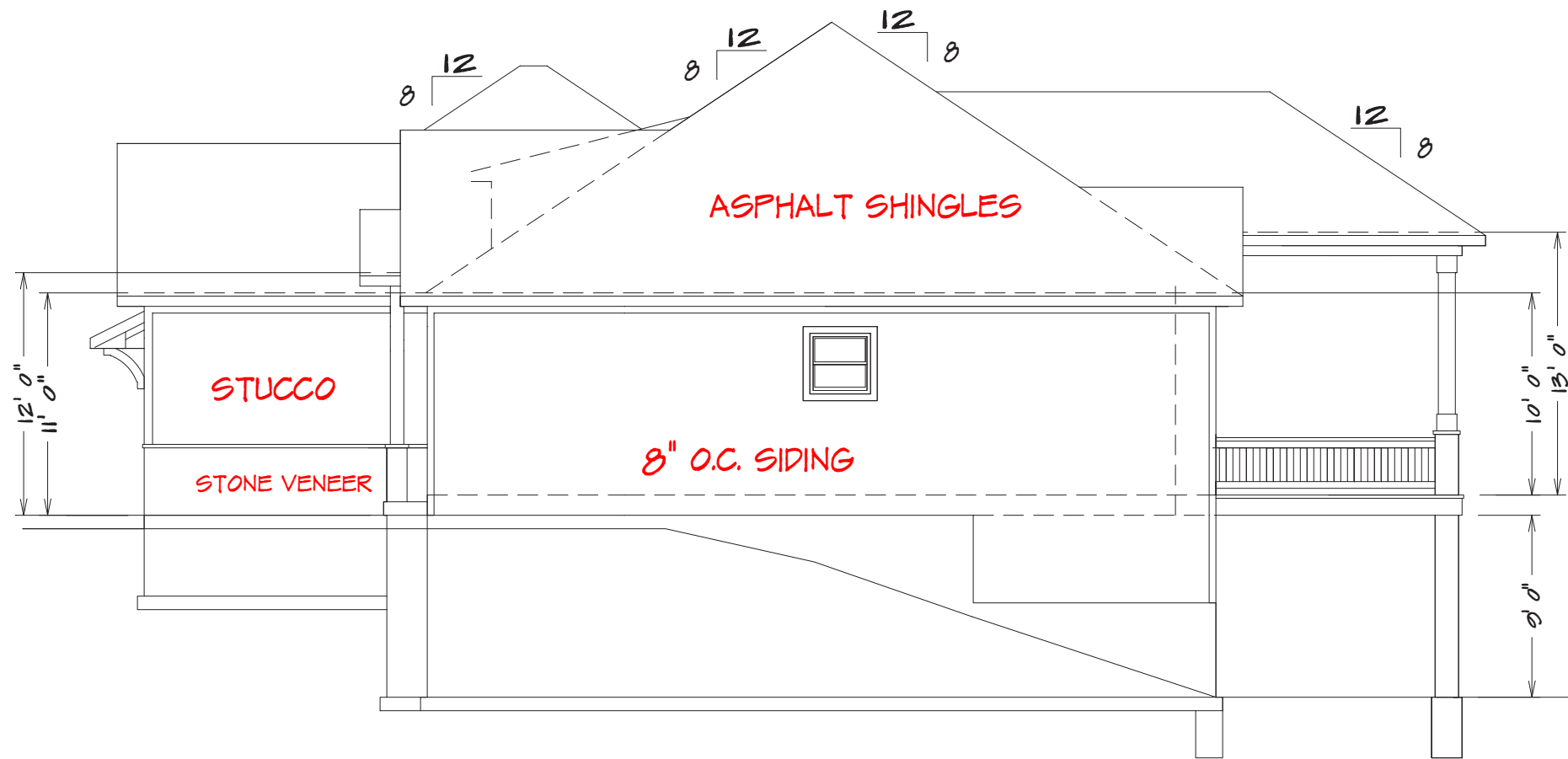
NOTE:
ACTUAL ELEVATIONS MAY VARY FROM ARCHITECTURAL
DRAWINGS, DUE TO TERRAIN/BACKFILL PROCESS
FRONT ELEVATION IS ARCHITECTURAL DRAWING AND
MAY VARY DUE TO MATERIALS AVAILABILITY

FRONT ELEVATION

1/4" = 1'0"

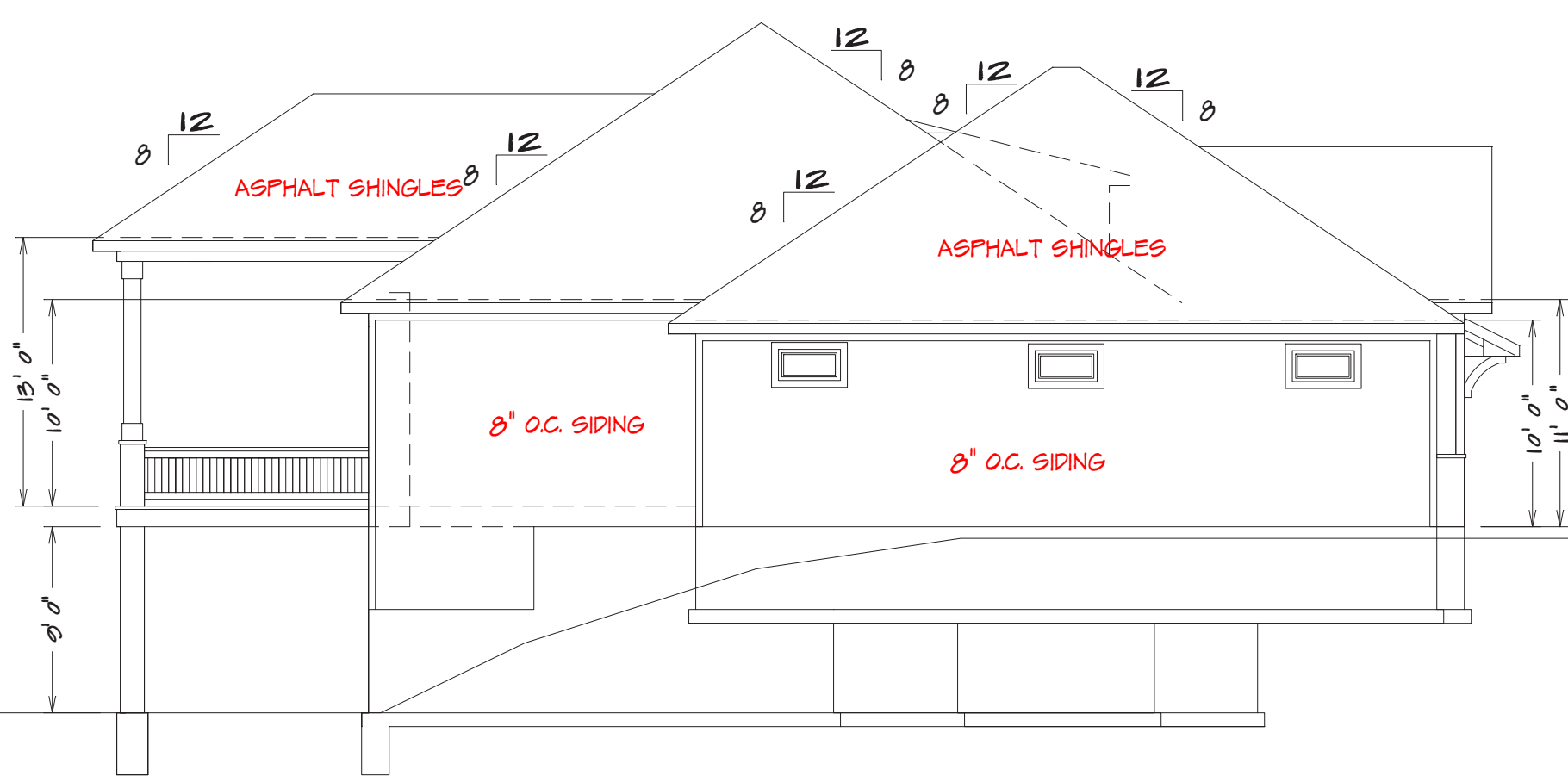
BUILDER/CONTRACTOR IS RESPONSIBLE TO
CHECK ALL DIMENSIONS FOR ACCURACY
BETWEEN FLOORS, FOUNDATION, AND ELEVATIONS.
ALSO VERIFY ALL BEAM, HEADERS, PAD LOCATIONS,
AND COLUMN SIZES.

LOT 126 WOODSIDE RIDGE
2115 NW KILLARNEY LN
LEES SUMMIT , MO 64081



RIGHT ELEVATION

1/8" = 1'0"



LEFT ELEVATION

1/8" = 1'0"



REAR ELEVATION

1/8" = 1'0"



SQUARE FOOTAGE

LIVING AREA
FIRST FLOOR = 1010
BASEMENT = 1347
COVERED DECK = 260

UNFINISHED AREA
STORAGE = 360
GARAGE = 900

BUILDER/CONTRACTOR IS RESPONSIBLE TO CHECK ALL DIMENSIONS FOR ACCURACY
BETWEEN FLOORS, FOUNDATION, AND ELEVATIONS. ALSO VERIFY ALL BEAM, HEADERS,
PAD LOCATIONS, AND COLUMN SIZES. BUILDER/CONTRACTOR IS RESPONSIBLE TO CHECK FOR
CONFLICTS WITH EXISTING UTILITIES AND STRUCTURES. BUILDER/CONTRACTOR
ACCEPTS ALL RESPONSIBILITY FOR LOT PLACEMENT, SETBACKS, AND PLANS.
BUILDER/CONTRACTOR AND HOME OWNER ACCEPTS RESPONSIBILITY FOR ANY AND ALL
COPYRIGHT INFRINGEMENTS OR RESUBMISSIONS TO OTHER COPYRIGHTED PLANS.
BUILDER/CONTRACTOR ACCEPTS RESPONSIBILITY FOR ANY ON SITE CHANGES MADE
TO STRUCTURE.

HOME BUYER:

PHONE:

DATE DRAWN:

SHEET NO.
1

PLAN NO.
SF-7008

DATE REVISED:

PHONE:

DESIGNER:

FILE NAME:
7008 ELEV

APPROX. SQ.FT.

LOT NO.

DATE REVISED:

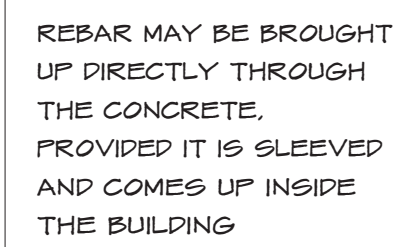
PHONE:

DESIGNER:

FILE NAME:
7008 ELEV

APPROX. SQ.FT.

S.D.
 = SMOKE DETECTOR



2. Reinforcing bars shall be permitted to be bonded together by the usual steel tie wires or other effective means. Where multiple concrete-encased electrodes are present at a building or structure, it shall be permissible to bond only one into the grounding electrode system." Proper lap splices are required

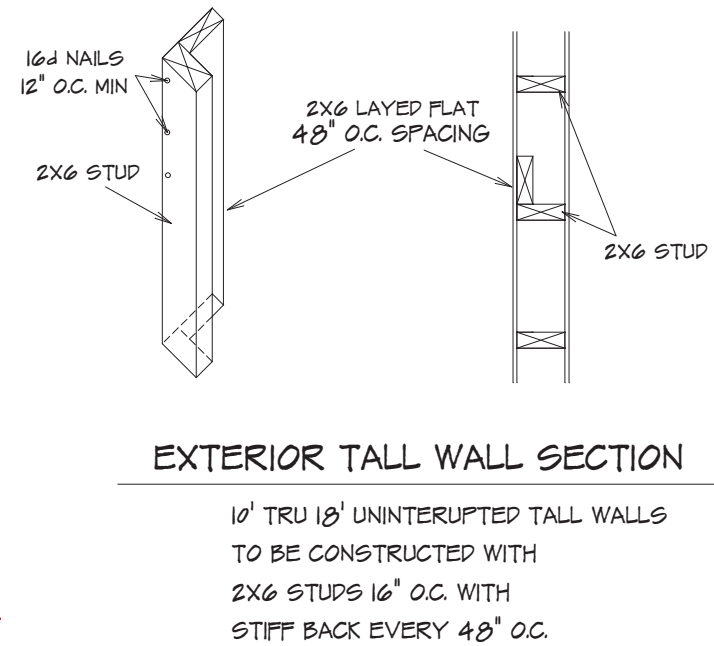
A circular red seal for the State of Missouri Professional Engineer. The outer ring contains the text "STATE OF MISSOURI" at the top and "PROFESSIONAL ENGINEER" at the bottom, separated by two red stars. The inner circle contains the name "AARON DELANEY OBERMEYER" at the top, "NUMBER" in the center, and "PE-008019580" at the bottom. A blue ink signature "Aaron D. Obermeyer" is written across the seal, and the date "11-16-20" is stamped in blue ink over the license number.

SEE ELEVATION FOR
WALL HEIGHTS

NOTE.. ELECTRICAL SERVICE
TO BE 200 AMP.

NOTE.. DOUBLE JOIST UNDER
ALL PARALLEL WALLS
ABOVE UNLESS NOTED

S.D.
= SMOKE DETECTOR



GENERAL HEADER SPECIFICATIONS:

REQUIRED AREAS NEEDING HEADERS:	HEADER DESCRIPTIONS:
WINDOWS/DOORS UP TO 38" R.O.	(2) #2 D-FIR 2X10'S
WINDOWS/DOORS 38" UP TO 72" R.O.	(2) #2 D-FIR 2X10'S W/1/2" GLUE FLY
WINDOWS/DOORS 72" UP TO 96" R.O.	(2) 3/1/2" LVL
8'0" GARAGE DOORS W/CEILING & ROOF LOAD	(2) 3/1/2" LVL
9'0" GARAGE DOORS W/CEILING & ROOF LOAD	(2) 3/1/2" LVL
8'0" GARAGE DOORS W/SECOND FLOOR	(2) 3/1/2" LVL
9'0" GARAGE DOORS W/SECOND FLOOR	(2) 11/7/8" LVL
12'0" GARAGE DOOR W/NO SECOND FLOOR	(2) 11/7/8" LVL
16'0" GARAGE DOORS W/SECOND FLOOR	(2) 14" LVL

USE HEADERS FOR OPENINGS ABOVE UNLESS SPECIFIED OTHERWISE.

R312.21 Window sills.

In dwelling units, where the opening of an operable window is located more than 72 inches (1829 mm) above the finished grade or surface below, the lowest part of the clear opening of the window shall be a minimum of 24 inches (610 mm) above the finished floor of the room in which the window is located. Operable sections of windows shall not permit openings that allow passage of a 4-inch-diameter (102 mm) sphere where such openings are located within 24 inches (610 mm) of the finished floor.

Exceptions:

- Windows whose openings will not allow a 4-inch-diameter (102 mm) sphere to pass through the opening when the opening is in its largest opened position.
- Openings that are provided with window fall prevention devices that comply with ASTM F 2090.
- Windows that are provided with window opening control devices that comply with Section R312.2.2.

R312.2.2 Window opening control devices.

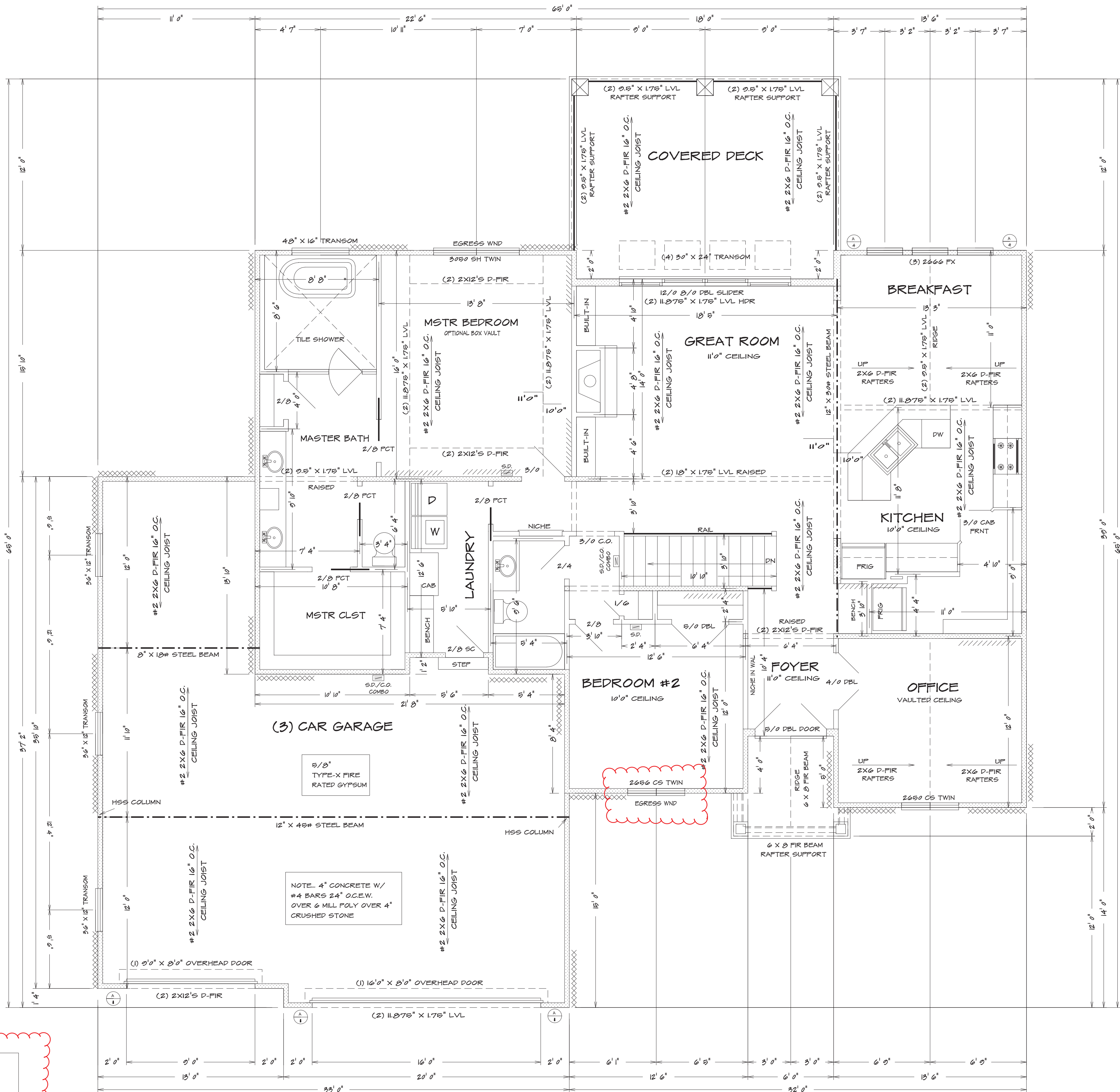
Window opening control devices shall comply with ASTM F 2090. The window opening control device, after operation to release the control device allowing the window to fully open, shall not reduce the minimum net clear opening area of the window unit to less than the area required by Section R310.11.

Bathrooms, water closet compartments and other similar rooms shall be provided with aggregate glazing area in windows of not less than 3 square feet, one-half of which must be operable.

Exception:

The glazed areas shall not be required where artificial light and a local exhaust system are provided. The minimum local exhaust rates shall be determined in accordance with Section M1307. Exhaust air from the space shall be exhausted directly to the outdoors.

126 WOODSIDE RIDGE
2115 NW KILLARNEY LN
LEES SUMMIT, MO 64081



FIRST FLOOR PLAN
1/4" = 1'0"

BUILDER/CONTRACTOR IS RESPONSIBLE TO CHECK ALL DIMENSIONS FOR ACCURACY BETWEEN FLOORS, FOUNDATION AND ELEVATIONS ALSO VERIFY ALL BEAM, HEADERS, PAD LOCATIONS, AND COLUMN SIZES. BUILDER/CONTRACTOR TO CHECK FOR COMPLIANCE WITH CONTRACTS, CITY, AND NATIONAL CODES. BUILDER/CONTRACTOR RESPONSIBLE FOR PERMIT PLACEMENT, SETBACKS, AND FLOOD PLANS. BUILDER/CONTRACTOR TO PROVIDE ALL NECESSARY INFORMATION FOR ALL COPYRIGHT INFRINGEMENTS OR RESOURCES TO OTHER COPYRIGHTED PLANS. BUILDER/CONTRACTOR ACCEPTS RESPONSIBILITY FOR ANY ON SITE CHANGES MADE TO STRUCTURE.

HOME BUYER:
BUILDER:
SUB-DIVISION:

PHONE:
PHONE:
LOT NO.

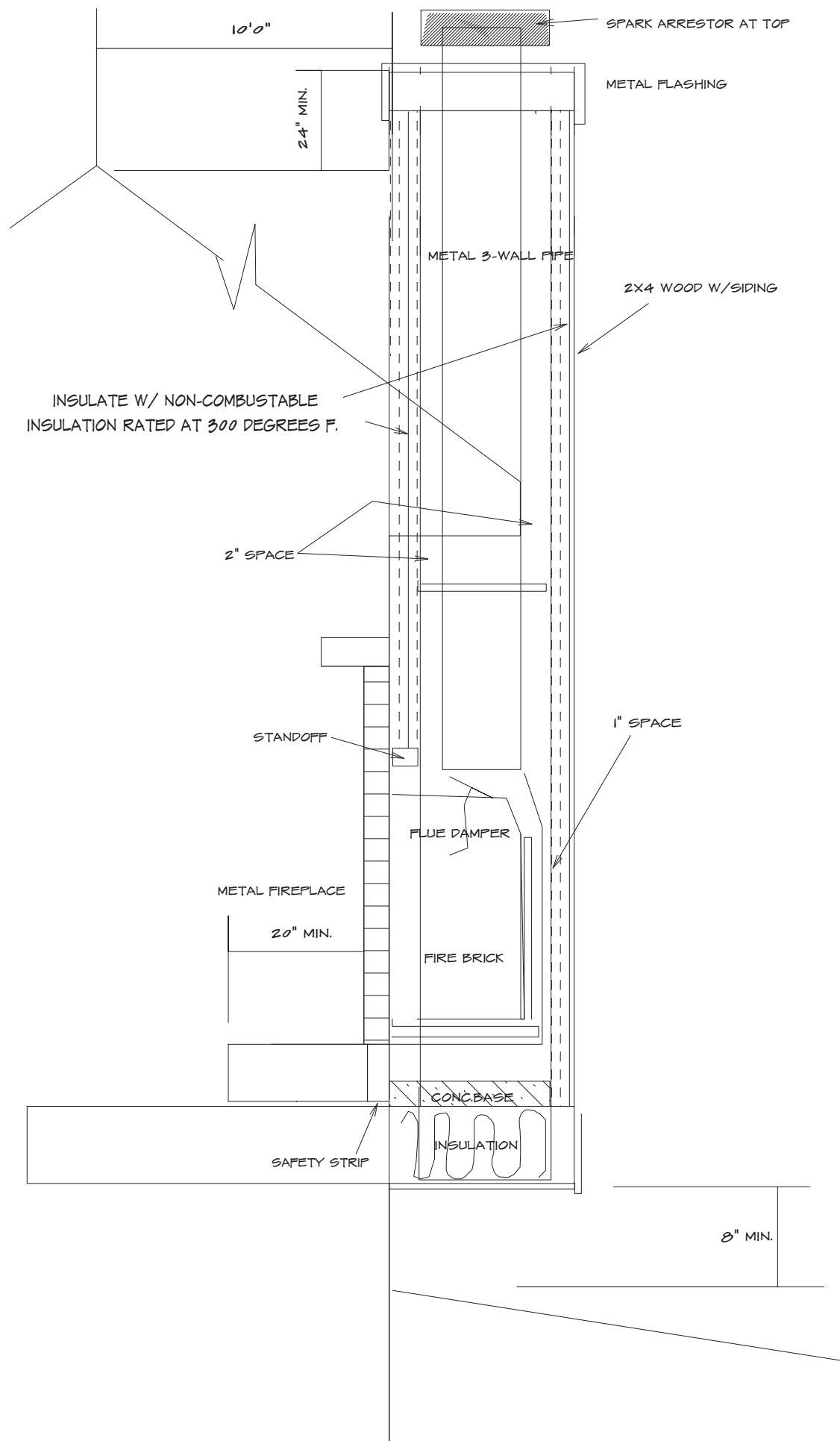
DATE DRAWN:
DATE REVISED:
DESIGNER:

SHEET NO.
PLAN NO.
FILE NAME:

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SF-7008
7008 FRI

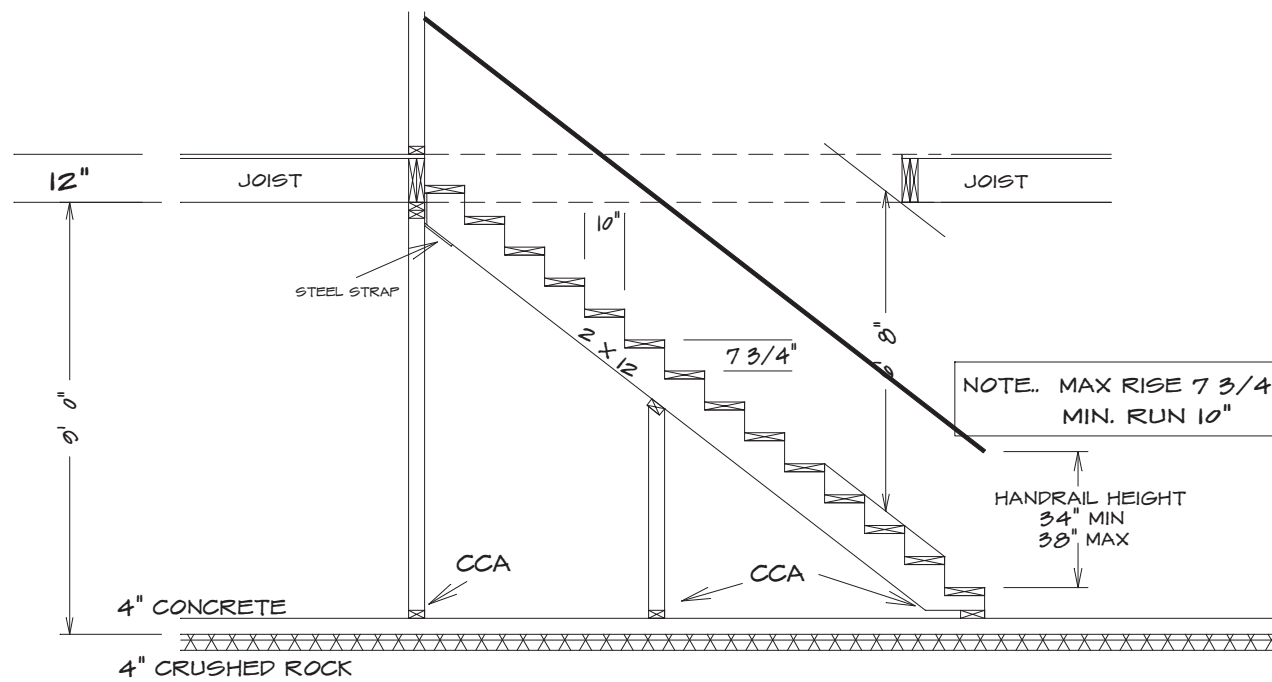
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7008 FRI





TYPICAL METAL FIRE PLACE

NOTE: SEE SPECS FOR SPECIFIC APPLICATIONS.



STAIR SECTION (TYP)



TYPICAL F.P. FRONT

EMERGENCY EGRESS

1. PROVIDE ONE WINDOW FROM EACH BEDROOM THAT HAS A MIN. OPENABLE AREA OF 5.7 SQ. FT. WITH A MIN. OPENABLE HEIGHT OF 24" AND WIDTH OF 21"

ELECTRICAL OUTLETS

1. ALL OUTLETS TO BE BRANCH CIRCUIT-INTERRUPTER OR GROUND FAULT CIRCUIT-INTERRUPTER PROTECTED EXCEPT: REFRIGERATOR, SINGLE OUTLET FOR SUMP PUMP AND SINGLE OUTLET IN GARAGE FOR A FREEZER
2. ALL RECP. TO BE TAMPER RESISTANT

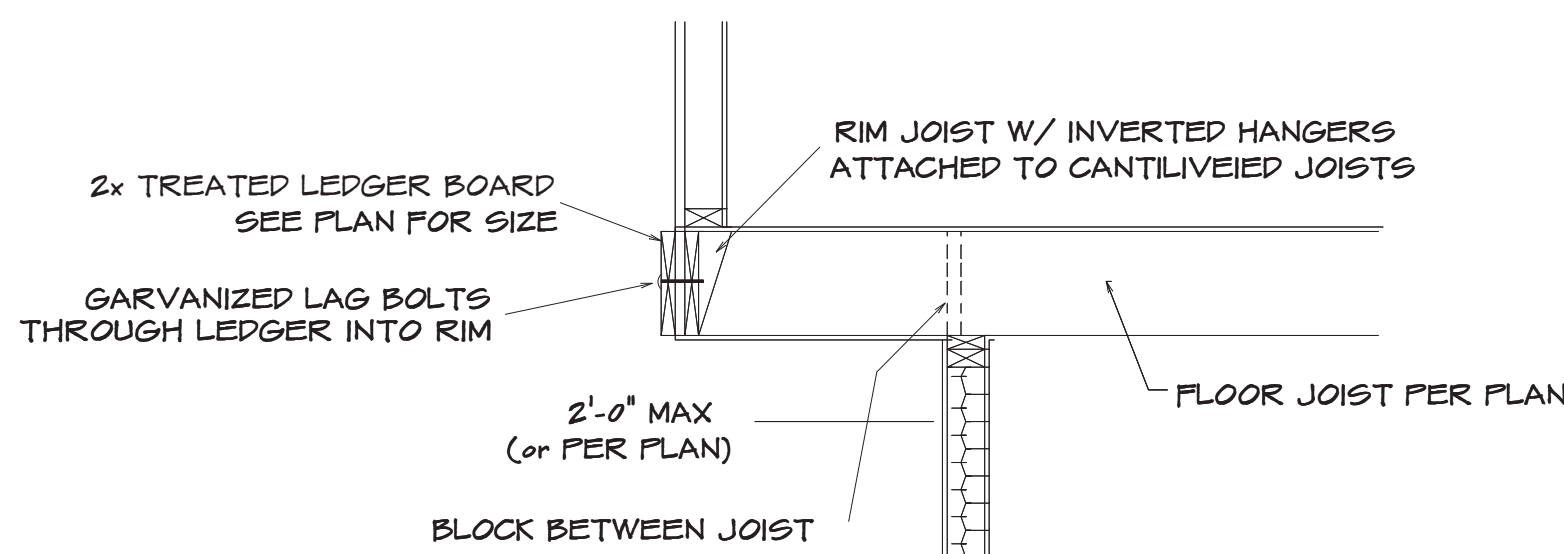
GARAGE

1. THE GARAGE FLOOR SHALL BE SLOPED TOWARD GARAGE DOORS
2. DOORS BETWEEN GARAGE AND DWELLING - MIN 1 5/8" SOLID CORE OR HONEY COMBED STEEL DOOR OR 20 MIN. RATED
3. GARAGE TO HAVE 8/8" TYPE X GYPSUM THROUGHOUT
4. THE H-FRAM SHALL CONSIST OF 2X6 FRAMING

GLAZING

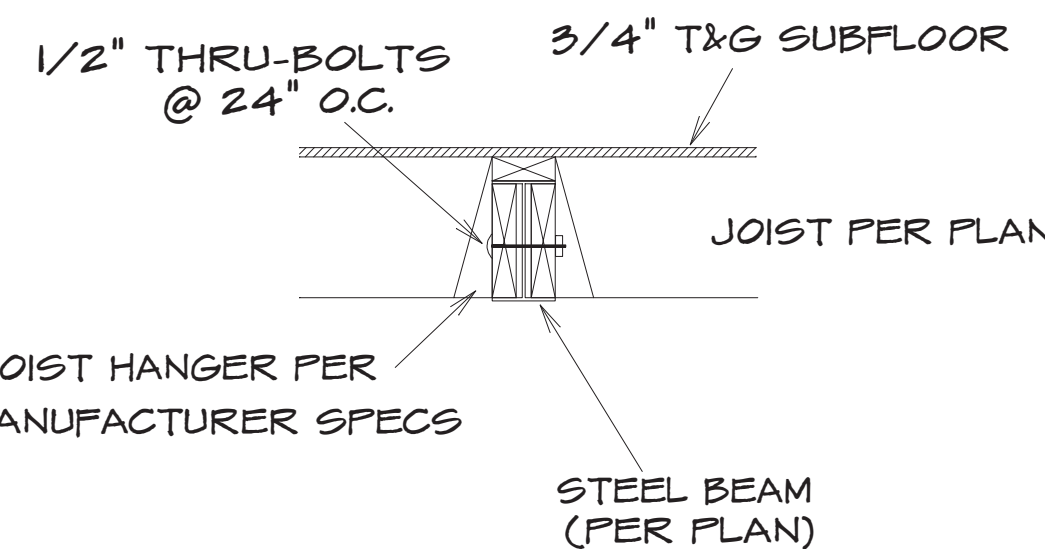
GLAZING IN HAZARDOUS LOCATIONS AS IDENTIFIED IN IRC SECTION R328.4 SHALL BE APPROVED SAFETY GLAZING MATERIALS: GLASS IN STORM DOORS, INDIVIDUAL FIXED OR OPENABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARCH OF THE DOOR IN CLOSED POSITION AND WHOSE BOTTOM EDGE IS WITHIN 60" OF THE FLOOR; WALLS ENCLOSED STAIRWAYS AND LANDING WHERE THE GLAZING IS WITHIN 60" OF THE TOP OR BOTTOM OF THE STAIR ENCLOSURES FOR STAIRS, TUBS, SHOWERS, AND WHIRLPOOLS; GLAZING IN FIXED OR OPENABLE PANELS EXCEEDING 0.50 FT. AND WHOSE BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR OR WALKING SURFACE WITHIN 36"

TYPICAL FRAMING DETAILS (Not to Scale)

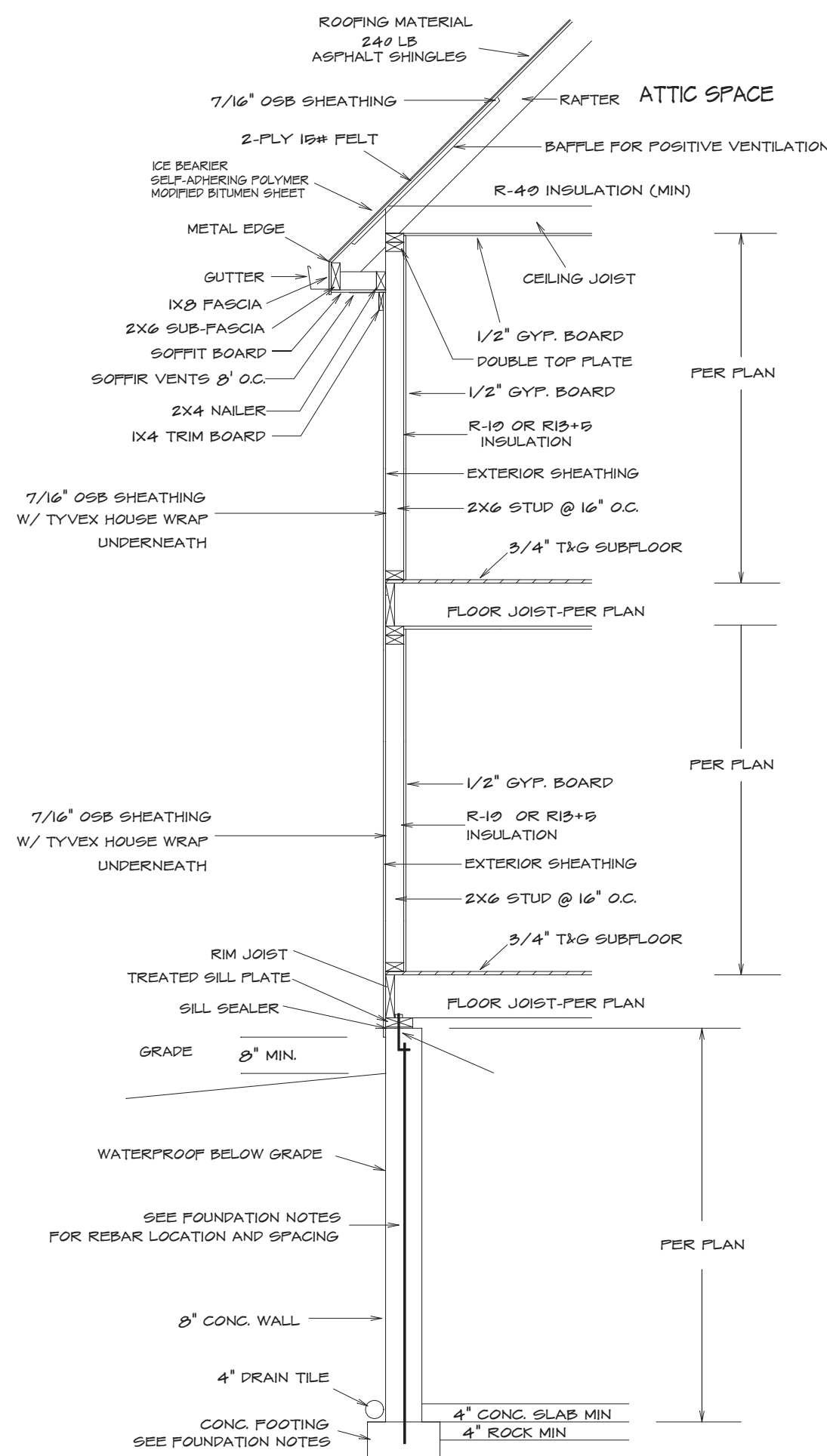


DECK JOIST SPAN	1/2" O LAG SPACING	EQUIVALENT SPACING FOR 16" O.C. JOIST BAYS
UP TO 10'-0"	16" O.C.	N/A
10'-0" - 14'-0"	12" O.C.	16" O.C. DBL EVERY OTHER
14'-0" - 18'-0"	8" O.C.	16" O.C. DBL EVERY JOIST BAY

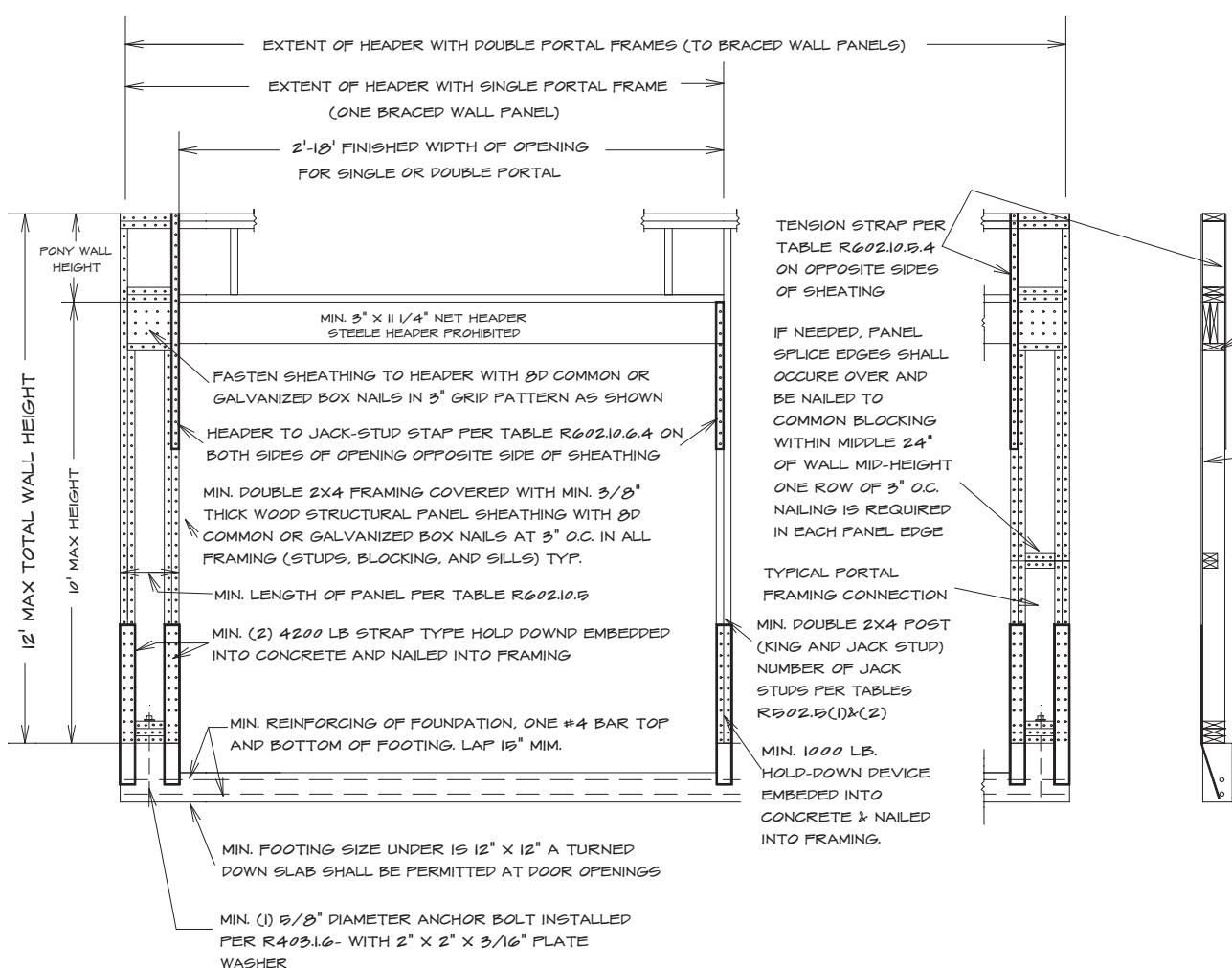
TYPICAL CANTILEVER FRAMING W/ DECK ATTACHMENT



UPSET STEEL BEAM/JOIST CONNECTION



TYPICAL WALL SECTION



ALTERNATE BRACED WALL PANEL
Method FFH: Portal frame with hold-downs

BRACED WALLS:

METHOD WS* (2018 IRC):
MIN. 5/16" APA RATED WITH 3/4 NAILS @ 6" AND 12"

METHOD GB (2018 IRC):
MIN. 1/2" GYPSUM BOARD WITH NO. 6 1/4" TYPE W OR S SCREWS @ 7" O.C. EDGES AND WALL (4'-0" LONG, BOTH FACES OF WALL)

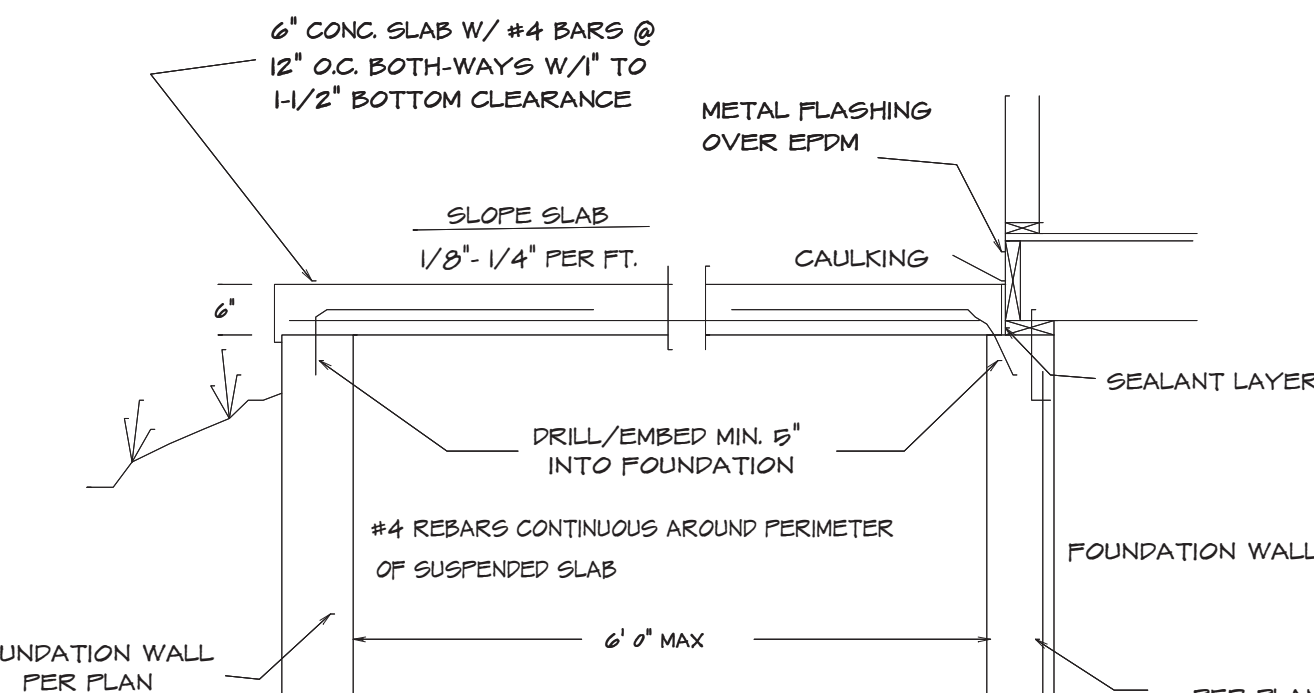
ALTERNATE BRACED WALL PANEL
Method FFH: Portal frame with hold-downs

ALTERNATE BRACED WALL PANEL
Method ABW: Alternate braced wall panels

ALTERNATE BRACED WALL PANEL
Method CS-FF: Continuously sheathed portal frame

PROVIDE SOLID BLOCKING ABOVE AND BELOW ALL BRACED WALL LINES WHERE FRAMING ABOVE OR BELOW RUNS PERPENDICULAR TO THE BRACING. THE BRACED WALL SOLE PLATE AND TOP PLATE SHALL BE FASTENED TO BLOCKING (NO PARALLEL FRAMING MEMBER WHERE PROVIDED) WITH (3) 1/4 NAILS @ 16" O.C.

SIMPSON STRIP-14 HOLD-DOWN STRAPS MAY BE SUBSTITUTED WITH SIMPSON PIER HOLD-DOWNS AND A 8/8" ANCHOR ROD DRILLED AND EPOXYED A MIN. 7" INTO THE FOUNDATION



- FORMWORK OPTIONS:
1. PROVIDE VULCRAFT 2VL (OR EQUAL CORRUGATED DECKING (SHORE AT MID-SPAN DURING CONSTRUCTION) or
 2. FLYWOOD FORMS WITH EXPANDABLE BAR JOIST OR TEMPORARY FRAMED WALLS BY CONTRACTOR

SUSPENDED PORCH STOOP DETAIL
OPTIONAL

INSULATION NOTES:

- 2018 IRC.
MIN. INSULATION SHALL BE PROVIDED ADJACENT TO HABITABLE AREAS AS FOLLOWS:
EXTERIOR FRAMED WALLS (R10 OR R15+5)
FLOOR OVER HEATED SPACE R10
FLOOR OVER OUTSIDE AIR R10
ATTIC - BLOWN IN R4-9
CATHEDRAL CEILING R3-0

SECTION R316 CARBON MONOXIDE ALARMS

Carbon monoxide alarms.
For new construction, an approved carbon monoxide alarm shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms in dwelling units within which fuel-burning appliances are installed and in dwelling units that have attached garages.

Carbon monoxide detection systems.
Carbon monoxide detection systems that include carbon monoxide detectors and audible notification appliances, installed and maintained in accordance with this section for carbon monoxide alarms and NFPA 720, shall be permitted. The carbon monoxide detectors shall be listed as complying with UL 297B. Where a household carbon monoxide detection system is installed, it shall become a permanent feature of the occupancy, owned by the homeowner and shall be maintained by an approved supervising station.

SMOKE ALARMS:

2018 IRC.

- PROVIDE SMOKE ALARMS IN EACH SLEEPING ROOM, OUTSIDE OF EACH SLEEPING ROOM AND ON EACH FLOOR, INCLUDING BASEMENT. ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE DWELLING. (SECTION R314.5)

FRAMING NOTE

1. ALL LUMBER SIZES ARE FOR #2 D-FIR-LARCH
2. ALL HEADERS TO BE MIN. (2) #2-DX10
3. BLOCK CANTILEVERS, DOOR JAMBS, AND OVER BEAMS
4. ALL HEADERS TO BEAR ON MIN. OF (3) 2X4 STUDS
5. JOIST UNDER BEARING PARTITIONS SHALL BE DOUBLED AND COMPLY WITH S&B IRC.
6. WATER-RESISTIVE BARRIER SHALL BE PROVIDED OVER ALL EXTERIOR WALL PER S&B IRC.
7. WHERE CEILING JOIST ARE NOT INSTALLED CONNECTED TO THE RAFTERS AT THE TOP PLATE AND/OR WHERE CEILING JOIST ARE NOT INSTALLED IN THE LOWER 1/3 OF ATTIC SPACE RAFTER TIES SHALL BE INSTALLED IN THE LOWER 1/3 OF ATTIC SPACE
8. COLLAR TIES SHALL BE PROVIDED IN THE ATTIC SPACE IN THE UPPER 1/3 OF ATTIC
9. ROOF IS DESIGNED FOR 30 P.S.F. ROOF SNOW LOAD (MIN)
10. MIN 2X12 ASPHALT SHINGLES
11. RAFTER TIES SHALL NOT BE REQUIRED WHEN A STRUCTURAL RIDGE HAS BEEN PROVIDED AND ADEQUATELY DESIGNED (AS IN A FULLY VAULTED ROOM) SUCH SHALL BE NOTED AS 'STRUCTURAL' ON THE PLAN PER 2018 IRC

Guard opening limitations.
Required guards on open sides of stairways, raised floor areas, balconies, and porches shall have intermediate rails or ornamental closures that do not allow passage of a sphere 4" or more in diameter.

Opening protection.
Openings from a private garage directly into a room used for sleeping purposes shall not be permitted.
Other openings between the garage and residence shall be equipped with solid wood doors not less than 1 3/8 inches in thickness, solid or honeycomb-core steel doors not less than 1 3/8 inches thick, or 20-minute fire-rated doors, equipped with a self-closing device.

BUILDER/CONTRACTOR IS RESPONSIBLE TO CHECK ALL DIMENSIONS FOR ACCURACY BETWEEN FLOORS, FOUNDATION AND ELEVATIONS. ALSO VERIFY ALL BEAM HEADERS, JOIST LOCATIONS, AND COLUMN SIZES. BUILDER/CONTRACTOR TO CHECK FOR CONFLICTS BETWEEN ALL SYSTEMS AND MATERIALS. BUILDER/CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS. BUILDER/CONTRACTOR AND HOME OWNER ACCEPTS RESPONSIBILITY FOR ANY AND ALL COPYRIGHT INFRINGEMENTS OR RESUBMISSIONS TO OTHER COPYRIGHTED PLANS. BUILDER/CONTRACTOR ACCEPTS RESPONSIBILITY FOR ANY ON-SITE CHANGES MADE TO STRUCTURE.

HOME BUYER:

BUILDER:

SUB-DIVISION:

PHONE:

PHONE:

LOT NO.

DATE DRAWN:

DATE REVISED:

DESIGNER:

PLAN NO.

FILE NAME:

7009 SEC1

SHEET NO.

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APPROX. SQ.FT.

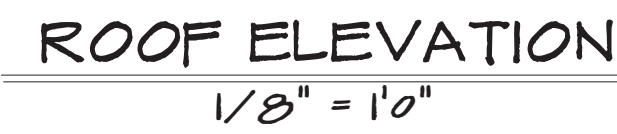


TYPICAL DETAILS



F.W. WALL REINFORCEMENT (CLASS 40 S.O.L. EXCEPT FOR RARE CIRCUMSTANCES)
(ALL REBARS TO BE GRADE 40)
Ø WALL W/ Ø BACKFILL VERT. +4 REBARS @ 15" Ø C. REBARS @ 18" Ø C. CONTINUOUS.
SET ON A 16" X 8" CONCRETE FOOTER WITH (2) #4 REBARS CONTINUOUS.
16" WALL W/ Ø BACKFILL VERT. +4 REBARS @ 8" Ø C. Ø WALL W/ Ø BACKFILL VERT. +4 REBARS @ 12" Ø C. SET ON A 24" X 12" CONCRETE FOOTER WITH (2) #4 REBARS CONTINUOUS.
HORIZ. #4 REBARS @ 24" Ø C.
Ø X 40" CONCRETE WALL WITH (3) #4 REBARS HORIZ. AND WITH #4 REBARS @ 24" Ø C. VERTICALLY. CRUSHED FLOOR - 4" CONCRETE ON 4" CRUSHED ROCK.
CONCRETE GARAGE FLOOR - 4" CONCRETE ON 4" CRUSHED ROCK WITH 6X6 10/10 WIRE MESH.
(SUPEREAD GARAGE FLOORS TO BE DESIGNED BY LICENSED ENGINEER)
COLLUM FOOTING FOR MIN. SOIL LOAD OF 100 PSF
42" X 42" X 12" CONCRETE PADS WITH (6) #4 REBARS EACH WAY (UNLESS NOTED)
CONCRETE GARAGE PADS - 16" X 8" WITH (2) #4 REBARS CONTINUOUS.
ALL FOOTINGS SHALL EXCEED A MINIMUM FROST DEPTH OF 48 INCHES BELOW GRADE.
MAXIMUM DEPTH OF UNPAVED LIFT IS (7 FEET) FOR 8-INCH WALL AND (8 FEET) FOR TEN-INCH WALL.
WATERPROOF CONCRETE WALL FROM FOOTING TO GRADE LINE.
OPTIONAL WALL-OUT WALL
16" X 8" CONCRETE FOOTING FOOTING W/ (3) #4 REBARS PARALLEL 12" Ø C. PROST CONTINUOUS.
#4 REBAR VERT. BENT INTO FOOTING 7" Ø 24" Ø C.
BELOW GRADE USE 4" Ø CONCRETE ON 4" CRUSHED ROCK WITH 6 MIL.-POLY. OVER CRUSHED ROCK BELOW GRADE.
DRAINAGE TILES, GRAVEL OR CRUSHED STONE DRAINAGE SYSTEMS OR OTHER APPROVED SYSTEMS OR MATERIALS SHALL BE INSTALLED AT OR BELOW THE AREA TO BE PROTECTED AND SHALL DISCHARGE BY GRAVITY OR MECHANICAL MEANS INTO AN APPROVED DRAINAGE SYSTEM. GRAVEL OR CRUSHED STONE DRAINS SHALL EXTEND AT LEAST 1 FOOT BEYOND THE OUTSIDE EDGE OF THE FOOTING AND 6 INCHES ABOVE THE TOP OF THE FOOTING AND BE COVERED WITH AN APPROVED FILTER MEMBRANE MATERIAL. THE TOP OF OPEN JOINTS OF DRAIN TILES SHALL BE PROTECTED WITH DRAIN TILES AND 6 INCHES ABOVE THE TOP OF THE FOOTING. DRAIN TILES SHALL BE COVERED OR PERFORATED PIPE SHALL BE PLACED ON A MINIMUM OF 2 INCHES OF WASHED GRAVEL OR CRUSHED ROCK AT LEAST ONE EIGHTH SIZE LARGER THAN THE TILE. JOINTS OF DRAINAGE TILES OR DRAINAGE AND COVERED WITH NOT LESS THAN 6 INCHES OF THE SAME MATERIAL.

TYPE OR LOCATION OF CONCRETE CONSTRUCTION	SPECIFIED COMPRESSIVE STRENGTH (f'_c)		
	Weathering Potential ^a		
	Severe	Material	Normal
Basement walls and other exterior walls not exposed to the weather	2,500	2,500 ^b	2,500
Basement slabs and interior exterior grade, except garage floor slabs	2,500	2,500	2,500
Basement walls, foundation walls, exterior walls, and other vertical concrete work, exposed to the weather	2,500	2,500 ^b	2,500 ^b
Porches, carport slabs and steps, exposed to the weather, and garage floor slabs		2,500 ^{b,c}	2,500 ^{b,c}



BEARING WALL

ALL RAFTERS TO BE #2 2X6 D-FIR 16" O.C.
UNLESS OTHER WISE NOTED
FURLINGS TO BE 2X10'S #2 D-FIR
FURLING TO BE SUPPORTED TO BEARING WALL LINES
WITH SUPPORTS SPACED 8'0" O.C. MAX
CONNECT RAFTERS TO CEILING JOIST W (4) 16d GALV. NAILS
CONNECT RAFTERS TO RIDGE, VALLEY, AND HIP RIDGE
WITH (4) 16d GALV. NAILS



LOT 126 WOODSIDE RIDGE
2115 NW KILLARNEY LN
LEES SUMMIT, MO 64081

HOME BUYER:	PHONE:	DATE DRAWN:	PLAN NO.	SHEET NO.
BUILDER:	PHONE:	DATE REVISED:	SF-7008	5
SUB-DIVISION:	LOT NO.	DESIGNER:	FILE NAME:	APPROX. SQFT.
			7008 SEC2	

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