



BUILDER&CONTRACTOR IS RESPONSIBLE TO CHECK ALL DIMENSIONS FOR ACCURACY BETWEEN FLOORS, FOUNDATION, AND ELEVATIONS. ALSO VERIFY ALL BEAM, HEADERS, PAD LOCATIONS, AND COLUMN SIZES.

FRONT ELEVATION

1/4" = 1'0"

ALL NOTES, SECTIONS, AND DRAWINGS ARE IN ACCORDANCE WITH THE 2018 IRC

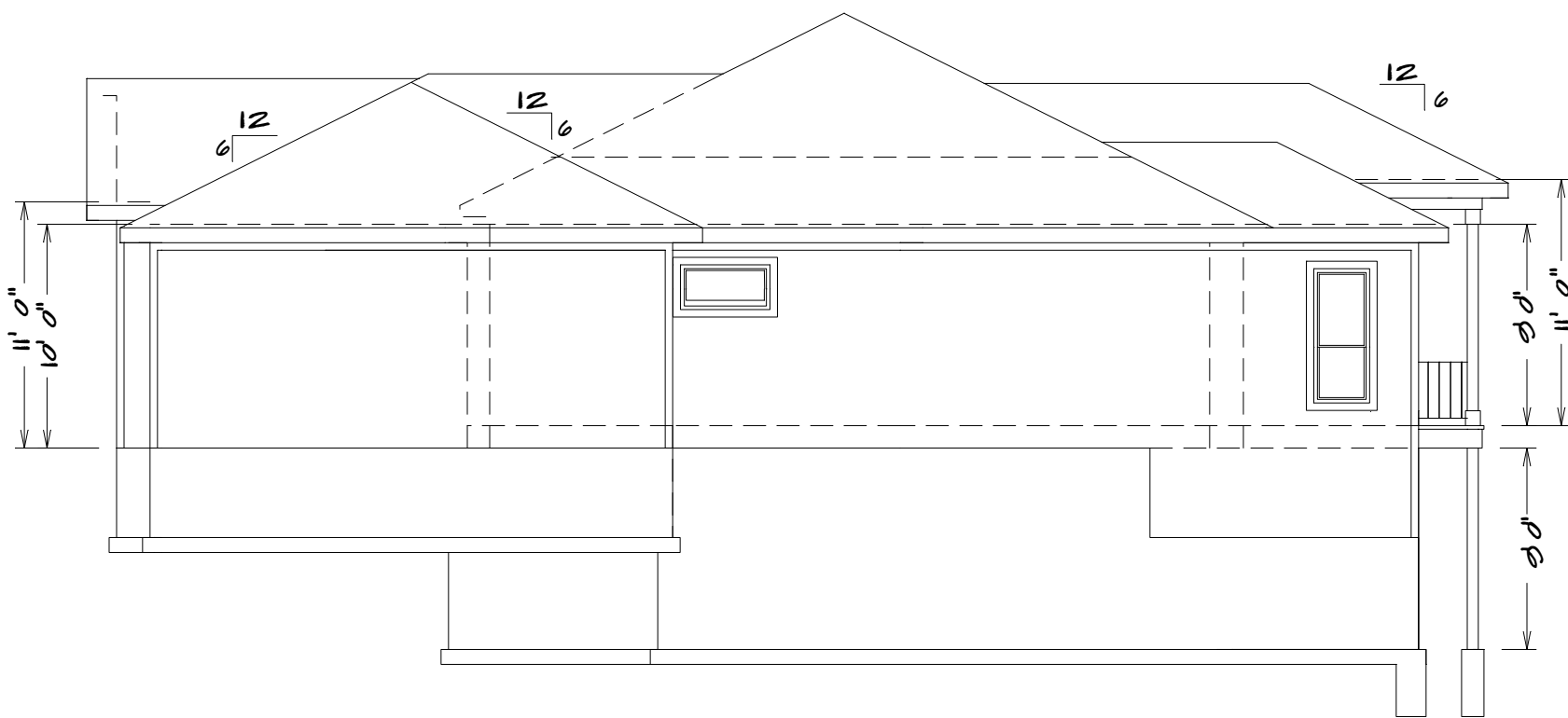
NOTE:
ACTUAL ELEVATIONS MAY VARY FROM ARCHITECTURAL DRAWINGS, DUE TO TERRAIN/BACKFILL PROCESS
FRONT ELEVATION IS ARCHITECTURAL DRAWING AND MAY VARY DUE TO MATERIALS AVAILABILITY

LOT 32 WHISPERING WOODS
1721 SW 27th ST.
LEE'S SUMMIT, MO



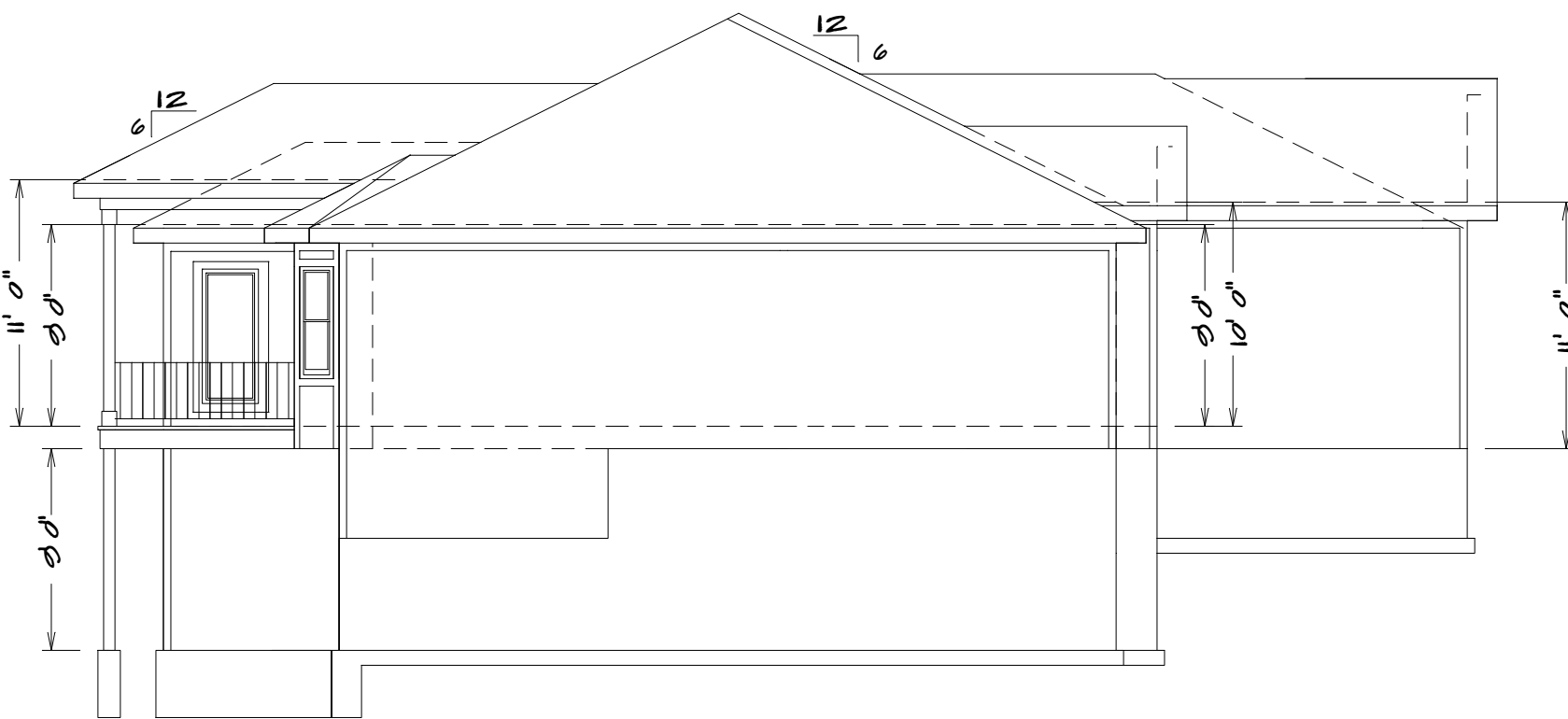
REAR ELEVATION

1/8" = 1'0"



RIGHT ELEVATION

1/8" = 1'0"



LEFT ELEVATION

1/8" = 1'0"

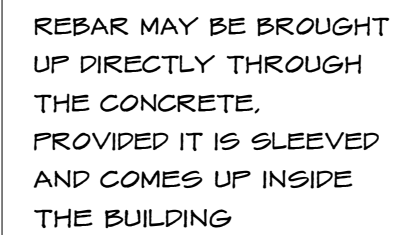


SQUARE FOOTAGE

LIVING AREA
FIRST FLOOR = 1684
BASEMENT = 680
COVERED DECK = 178
UNFINISHED AREA
STORAGE BASEMENT = 920
GARAGE (FIRST FLOOR) = 780
UNDER STOOP = 50

RELEASE FOR CONSTRUCTION
AS NOTED ON PLANS REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
01/20/2021

S.D.
 = SMOKE DETECTOR



2. Reinforcing bars shall be permitted to be bonded together by the usual steel tie wires or other effective means. Where multiple concrete-encased electrodes are present at a building or structure, it shall be permissible to bond only one into the grounding electrode system.¹¹ Proper lap splices are required

STEEL COLUMNS TO BE
3" DIAMETER SCHEDULE 40 PIPE MANUFACTURED
IN ACCORDANCE WITH ASTM A53 GRADE B OR
APPROVED EQUIVALENT UNLESS NOTED

Diagram illustrating a dead-man connection detail. The diagram shows a cross-section of a wall and foundation. Key dimensions and specifications include:

- Wall thickness: 2'-0"
- Dead-man dimensions: 8" (8") x 2'-0"
- Reinforcement: #4 vertical bars, with a note to "EXTEND HORIZONTAL STEEL FROM FOUNDATION WALL INTO DEAD-MAN".
- Grading: "HOLD 2'-0" BELOW GRADE".
- Variable dimension: "VARIES (PER PLAN)".

DD-7126



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BUILDER/CONTRACTOR ACCEPTS RESPONSIBILITY FOR LOT PLANNING, SET-BACKS, AND NATIONAL CODES. BUILDER/CONTRACTOR COMPLIES WITH CONTRACTS, CITY, AND NATIONAL CODES. BUILDER/CONTRACTOR ACCEPTS RESPONSIBILITY FOR FOUNDATIONS, FOUNDATION, AND ELEVATIONS. ALSO VERIFY ALL BEAM, HEADERS, AND LOCATIONS. BUILDER/CONTRACTOR ACCEPTS RESPONSIBILITY FOR ANY ON SITE CHANGES MADE TO STRUCTURE.

HOME BUYER:

PHONE:

DATE DRAWN:

PLAN NO.

HEET NO.

BUILDER:
SUB-DIVISION:

PHONE: _____
LOT NO. _____

DATE REVISED:

DESIGNER:

FILE NAME:
7126 BSMT

sq. ft.

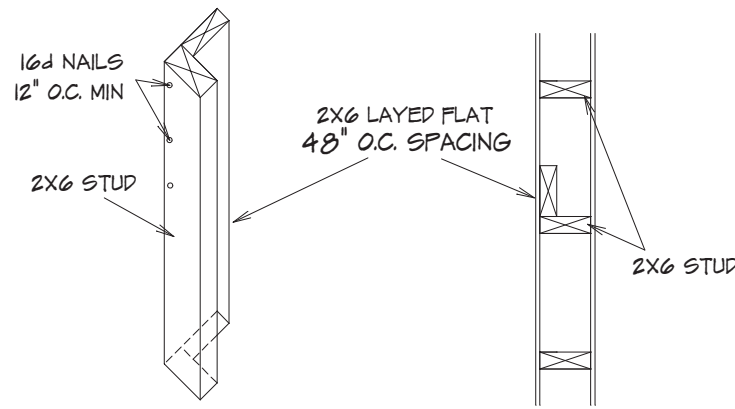


SEE ELEVATION FOR
WALL HEIGHTS

NOTE... ELECTRICAL SERVICE
TO BE 200 AMP.

NOTE... DOUBLE JOIST UNDER
ALL PARALLEL WALLS
ABOVE UNLESS NOTED

S.D.
= SMOKE DETECTOR



EXTERIOR TALL WALL SECTION

10' TRU 18' TALL UNINTERRUPTED WALLS
TO BE CONSTRUCTED WITH
2X6 STUDS 16" O.C. WITH
STIFF BACK EVERY 48" O.C.

ITEM #2

GENERAL HEADER SPECIFICATIONS:

REQUIRED AREAS NEEDING HEADERS:	HEADER DESCRIPTIONS:
WINDOWS/DOORS UP TO 58" R.O.	(2) #2 D-FIR 2X10'S
WINDOWS/DOORS 58" UP TO 72" R.O.	(2) #2 D-FIR 2X10'S W/1/2" GLUE FLY
WINDOWS/DOORS 72" UP TO 86" R.O.	(2) 2 1/2" L.V.L.
8'0" GARAGE DOORS W/CEILING & ROOF LOAD	(2) 2 1/2" L.V.L.
8'0" GARAGE DOORS W/CEILING & ROOF LOAD	(2) 2 1/2" L.V.L.
8'0" GARAGE DOORS W/SECOND FLOOR	(2) 2 1/2" L.V.L.
8'0" GARAGE DOORS W/SECOND FLOOR	(2) 11 7/8" L.V.L.
16'0" GARAGE DOOR W/NO SECOND FLOOR	(2) 11 7/8" L.V.L.
16'0" GARAGE DOORS W/SECOND FLOOR	(2) 14" L.V.L.

USE HEADERS FOR OPENINGS ABOVE UNLESS SPECIFIED OTHERWISE.

R312.2.1 Window sills.

In dwelling units, where the opening of an operable window is located more than 72 inches (1829 mm) above the finished grade or surface below, the lowest part of the clear opening of the window shall be a minimum of 24 inches (610 mm) above the finished floor of the room in which the window is located. Operable sections of windows shall not permit openings that allow passage of a 4-inch-diameter (102 mm) sphere where such openings are located within 24 inches (610 mm) of the finished floor.

Exceptions:

- Windows whose openings will not allow a 4-inch-diameter (102 mm) sphere to pass through the opening when the opening is in its largest opened position.
- Openings that are provided with window fall prevention devices that comply with ASTM F 2090.
- Windows that are provided with window opening control devices that comply with Section R312.2.2.

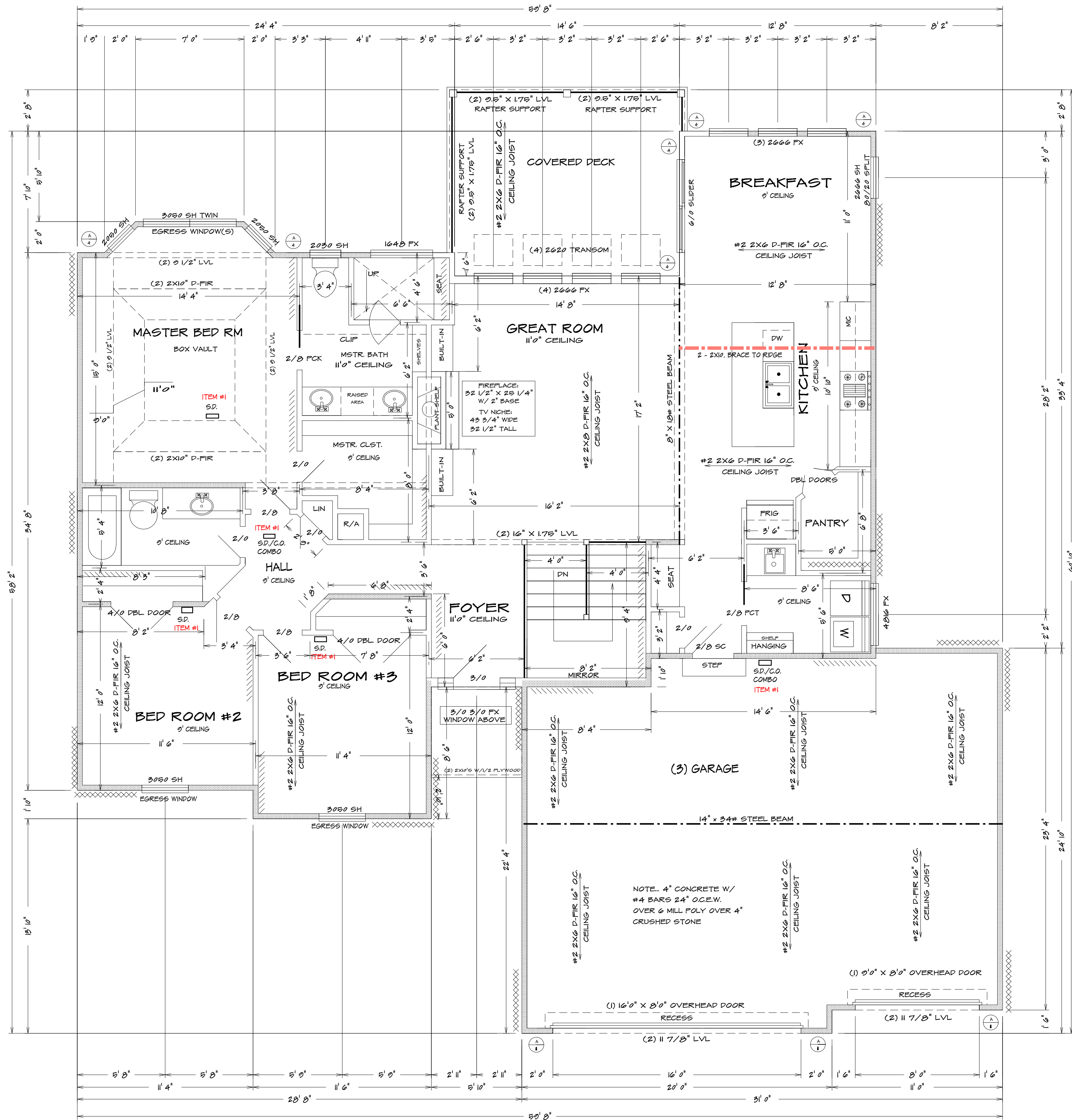
R312.2.2 Window opening control devices.

Window opening control devices shall comply with ASTM F 2090. The window opening control device, after operation to release the control device allowing the window to fully open, shall not reduce the minimum net clear opening area of the window unit to less than the area required by Section R310.11.

Bathrooms, water closet compartments and other similar rooms shall be provided with aggregate glazing area in windows of not less than 3 square feet, one-half of which must be operable.

Exception:

The glazed areas shall not be required where artificial light and a local exhaust system are provided. The minimum local exhaust rates shall be determined in accordance with Section M1507. Exhaust air from the space shall be exhausted directly to the outdoors.



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ARE IN ACCORDANCE WITH THE 2018 IRC

BEARING WALL LINES
FIRST FLOOR PLAN
1/4" = 1'0"

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LEE'S SUMMIT, MISSOURI
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BETWEEN FLOORS, FOUNDATION, AND ELEVATIONS ALSO VERIFY ALL BEAM, HEADERS,
FAS LOCATIONS, AND COLUMN SIZES. BUILDER/CONTRACTOR TO CHECK FOR
COMPLIANCE WITH CONTRACTS, CITY, AND NATIONAL CODES. BUILDER/CONTRACTOR
ACCEPTS ALL RESPONSIBILITY FOR LOT PLACEMENT, SET-BACKS, AND FLOOD PLAINS.
BUILDER/CONTRACTOR ACCEPTS RESPONSIBILITY FOR ANY ON-SITE CHANGES MADE
TO STRUCTURE.

HOME BUYER:

BUILDER:

SUB-DIVISION:

PHONE:

PHONE:

LOT NO.

DATE DRAWN:

DATE REVISED:

DESIGNER:

PLAN NO.

DD-7126

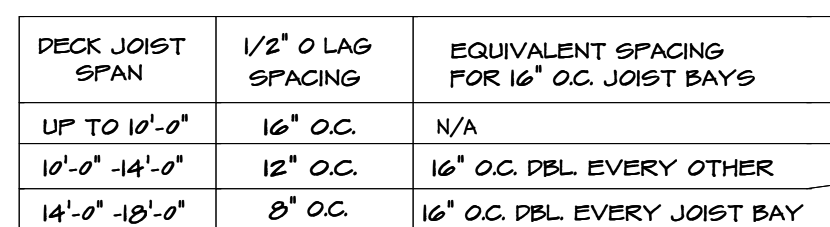
FILE NAME:

7126 FLR1

SHEET NO.

5

APPROX. SQ.FT.



TYPICAL CANTILEVER FRAMING W/ DECK ATTACHMENT



1. PROVIDE ONE WINDOW FROM EACH BEDROOM THAT HAS A MIN. OPENABLE AREA OF 5.7 SQ. FT. WITH A MIN. OPENABLE HEIGHT OF 24" AND WIDTH OF 21"

1. ALL OUTLETS TO BE BRANCH CIRCUIT-INTERRUPTER
OR GROUND FAULT CIRCUIT-INTERRUPTER PROTECTED

EXCEPT. REFRIGERATOR. SINGLE OUTLET FOR SUMP PUMP
AND SINGLE OUTLET IN GARAGE FOR A FREEZER

2. ALL RECEPT. TO BE TAMPER RESISTANT

1. THE GARAGE FLOOR SHALL BE SLOPED TOWARD GARAGE DOORS
2. DOORS BETWEEN GARAGE AND DWELLING - MIN 1 3/8" SOIL CORE OR HONEY COMBED STEEL DOOR OR 20 MIN. RATED
3. GARAGE TO HAVE 5/8" TYPE X GYPSUM THROUGHOUT
4. THE H-FRAM SHALL CONSIST OF 2X6 FRAMING





GLAZING IN HAZARDOUS LOCATIONS AS IDENTIFIED IN IRC SECTION R508.4 SHALL BE APPROVED SAFETY GLAZING MATERIALS: GLASS IN STORM DOORS, INDIVIDUAL FIXED OR OPENABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARCH OF THE DOOR IN CLOSED POSITION AND WHOSE BOTTOM EDGE IS WITHIN 60" OF THE FLOOR; WALLS ENCLOSED STAIRWAYS AND LANDINGS WHERE THE GLAZING IS WITHIN 60" OF THE TOP OR BOTTOM OF THE STAIR ENCLOSURES FOR SPAS, TUBS, SHOWERS, AND WHIRLPools; GLAZING IN FIXED OR OPENABLE PANELS EXCEEDING 0.50 SQ. FT. AND WHOSE BOTTOM EDGE IS LESS THAN 10' ABOVE THE FLOOR OR WALKING SURFACE WITHIN 36"

TYPICAL FRAMING DETAILS (Not to Scale)

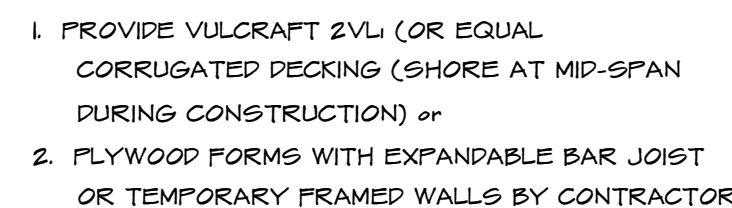


XXXXXXXXXXXXXXXXX METHOD WSP 2018 IRC
MIN. 5/16" APA RATED WIT
NAILS @ 6" AND 12"

//////////
METHOD GB 2018 IRC
MIN. 1/2" GYPSUM BOARD
6 1-1/4" TIE W OR S SCRI
O.C. EDGES AND WALL (4'
BOTH FACES OF WALL

- 1. ALTERNATE BRACED WALL PANEL.**

 METHOD FF1: Partial frame with hold-downs
 - 2. ALTERNATE BRACED WALL PANEL.**

 METHOD FG1: at garage door openings in
Seismic Design Categories A, B and C
 - 3. ALTERNATE BRACED WALL PANEL.**

 METHOD ABW: Alternate braced wall panels
 - 4. ALTERNATE BRACED WALL PANEL.**

 METHOD CS-PP: Continuously sheathed partial frame
- 5. PROVIDE SLOPE BRACING ABOVE AND BELOW**
 THE CHORD LINES WHERE THEY MEETING ABOVE
 OR BELOW RIGID PROXIMITY TO THE BRACING
 THE BRACED WALL, SOLID PLATE AND TOP PLATE
 SHALL BE FASTENED TO BLOODS (8) (6) PARALLEL
 FRAMING MEMBER WHERE PROVIDED WITH (3) 164
 NAILS @ 12" OC.
- 6. SUBMIT SHOP DRAW HOLD-DOWN STRAPS MAY BE**
 SUBSTITUTED WITH GARFONTE TYPE HOLD-DOWN
 AND A 6/8" ANCHOR ROD WELDED AND EPOXYED A
 MIN. 2' INTO THE FOUNDATION

ITEM #3



SUSPENDED PORCH STOOP DETAIL

OPTIONAL

2018 IRC.
MIN. INSULATION SHALL BE PROVIDED
ADJACENT TO HABITABLE AREAS AS
FOLLOWS:

EXTERIOR FRAMED WALLS (R10 OR R13+5)	
FLOOR OVER HEATED SPACE	R10
FLOOR OVER OUTSIDE AIR	R10
ATTIC - BLOWN IN	R40
CATHEDRAL CEILING	R30

Carbon monoxide alarms.
For new construction, an approved carbon monoxide alarm shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms in dwelling units within which fuel-fired appliances are installed and in dwelling units that have attached garages.

R3102 Carbon monoxide detection systems. Carbon monoxide detection systems that include carbon monoxide detectors and audible notification appliances, installed and maintained in accordance with this section for carbon monoxide alarms and NFPA 720, shall be permitted. The carbon monoxide detectors shall be listed as complying with UL 2075. Where a household carbon monoxide detection system is installed, it shall become a permanent feature of the occupant owned by the homeowner and shall be monitored by an approved supervising station.

2018 IRC

- PROVIDE SMOKE ALARMS IN EACH SLEEPING ROOM, OUTSIDE OF EACH SLEEPING ROOM AND ON EACH FLOOR, INCLUDING BASEMENT. ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE DWELLING. (SECTION R314.5)

1. ALL LUMBER SIZES ARE FOR #2 D-MR-LARCH
2. ALL HEADERS TO BE MIN. (2) #2-2X10
3. BLOCK CANTILEVERS, DOOR JAMBS, AND OVER BE
4. ALL HEADS TO BEAR ON MIN. OF (2) 2X4 STUDS
5. JOIST UNDER BEARING PARTITIONS SHALL BE D

Guard opening limitations. Required guards on open sides of stairways, raised floor areas, balconies, and porches shall have intermediate rails or ornamental closures that do not allow passage of a sphere 4" or more in diameter.

Opening protection.
Openings from a private garage directly into a room used for sleeping purposes shall not be permitted.
Other openings between the garage and residence shall be equipped with solid wood doors not less than 1 3/8 inches in thickness solid or honeycomb-core steel doors not less than 1 3/8 inches thick, or 20-minute fire-rated doors, equipped with a self-closing device.

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HOME BUYER:

BUILDER:

SUB-DIVISION:

PHONE:

PHONE:

LOT NO.

DATE DR

DATE RE

DESIGNED

PLAN NO.

D-7126

10/20/2016

ET NO.

4

PPROX. SQ.FT.

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FIND WALL REINFORCEMENT (CLASS 80 SOIL,
 EXCEPT FOR RARE CIRCUMSTANCES)
 (ALL REBARS TO BE GRADE 40)
 6" WALL W/ 8" BACKFILL VERT. +4 REBARS @ 12" O.C.
 12" WALL W/ 8" BACKFILL VERT. +4 REBARS @ 18" O.C.
 SET ON A 16" X 24" CONCRETE FOOTER WITH (2) #4
 REBARS CONTINUOUS.
 16" WALL W/ 8" BACKFILL VERT. +4 REBARS @ 8" O.C.
 12" WALL W/ 8" BACKFILL VERT. +4 REBARS @ 12" O.C.
 SET ON A 24" X 12" CONCRETE FOOTER WITH (2) #4
 REBARS CONTINUOUS.
 HORIZ. #4 REBARS @ 24" O.C.
 8" X 40" CONCRETE WALL WITH (3) #4 REBARS
 HORIZ. AND WITH #4 REBARS @ 24" O.C. VERTICALLY
 CONCRETE FLOOR - 4" CONCRETE ON 4"
 CRUSHED ROCK
 CONCRETE GARAGE FLOOR - 4"
 CONCRETE ON 4" CRUSHED ROCK WITH
 6X6 10/10 WIRE MESH.
 (SUPERVED) GARAGE FLOORS TO BE
 DESIGNED BY LICENCED ENGINEER
 COLUMN FOOTING FOR MIN. SOIL
 LOAD OF 18000 LBS
 42" X 42" X 4" CONCRETE PADS WITH (6)
 #4 REBARS EACH WAY (UNLESS NOTED)
 CONCRETE GARAGE PADS - 16" X 8" WITH (2)
 #4 REBARS CONTINUOUS.
 ALL FOOTINGS SHALL EXCEED A MINIMUM FROST
 PROTECT DEPTH OF 48" BELOW GRADE LINE.
 MAXIMUM DEPTH OF UNBALANCED FILL IS 7 (SEVEN)
 FEET FOR 8-INCH WALL AND (2) FEET FOR TENCHIN
 WALL.
 WATERPROOF CONCRETE WALL FROM FOOTING TO
 GRADE LINE.
 OPTIONAL: WALL-OUT WALL
 12" X 24" CONCRETE FOOT FOOTER W/ (3) #4
 REBARS PARALLEL 12" O.C. CONTINUOUS.
 #4 REBAR VERT. BENT INTO FOOT 17" @ 24" O.C.
 BELOW GRADE USE 4" OF CONCRETE ON 4"
 CRUSHED ROCK WITH 6 MIL-PLY OVER CRUSHED
 ROCK BELOW GRADE
 DRAINAGE TILES, GRAVEL OR CRUSHED STONE
 DRAINAGE SYSTEMS OR OTHER APPROVED
 SYSTEMS OR MATERIALS SHALL BE INSTALLED AT
 OR BELOW THE AREA TO BE PROTECTED AND SHALL
 DISCHARGE BY GRAVITY OR MECHANICAL MEANS
 INTO AN APPROVED DRAINAGE SYSTEM.
 GRAVEL OR CRUSHED STONE DRAINS SHALL EXTEND
 AT LEAST 1 FOOT BEYOND THE OUTSIDE EDGE OF THE
 FOOTING AND 6 INCHES ABOVE THE TOP OF THE
 FOOTING. THE DRAINAGE SYSTEM WITH AN APPROVED
 FILTER MEMBRANE MATERIAL. THE TOP OF OPEN
 JOINTS OF DRAIN TILES SHALL BE PROTECTED WITH
 STRIPS OF BUILDING PAPER, AND DRAINAGE TILES OR
 PERFORATED PIPE SHALL BE PLACED ON A MINIMUM
 OF 2 INCHES OF WASHED GRAVEL OR CRUSHED
 ROCK AT LEAST ONE SIZE LARGER THAN THE
 TILE JOINT OPENING OR PERFORATION AND
 COVERED WITH NOT LESS THAN 6 INCHES OF THE
 SAME MATERIAL.

TYPE OR LOCATION OF CONCRETE CONSTRUCTION	SPECIFIED COMPRESSIVE STRENGTH (1")		
	Weathering Potential		
	Maritime	Maritime	Severe
Basement walls and foundations not exposed to the weather	2,500	2,500	2,500
Basement slabs and interior kitchen grade, except garage floor slabs	2,500	2,500	2,500
Basement walls, foundations walls, exterior walls, and other vertical concrete work, exposed to the weather	2,500	2,500	2,500
Porches, support slabs and walls exposed to the weather, and garage floor slabs	2,500	2,500	2,500



ROOF ELEVATION

$$1/8'' = 1'0''$$

NOTE... HIP RIDGE FOR THE MAIN ROOF AS:
2X8 FOR UNBRACED LENGTH UP TO 9'0"
2X10 FOR UNBRACED LENGTH UP TO 10'0"
2X12 FOR UNBRACED LENGTH UP TO 12'0"

ALL RAFTERS TO BE #2 2X6 D-FIR 16' O.C.
UNLESS OTHER WISE NOTED

FURLING RAFTERS TO BEARING WALL LINES

CONNECT RAFTERS TO CEILING JOIST W (4) 16d GALV. NAILS

CONNECT RAFTERS TO RIDGE, VALLEY, AND HIF RIDGE
WITH (4) 16d GALV. NAILS

VERT. RIDGE AND RAFTER SUPPORTS TO BE EQUAL TO OR GREATER
THAN THE DEPTH OF RAFTERS



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HOME BUYER:	PHONE:	DATE DRAWN:	PLAN NO.	SHEET NO.
BUILDER:	PHONE:	DATE REVISED:	DD-7126	5
SUB-DIVISION:	LOT NO.	DESIGNER:	FILE NAME:	APPROX. SQFT.
			7126 SEC2	

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