

AMERICAN BBQ STORE-TI

342 SW BLUE PARKWAY
LEE'S SUMMIT, MISSOURI 64086

PERMIT DOCUMENTS

12 JAN 2021

COLLINS WEBB #: 21011



OWNER

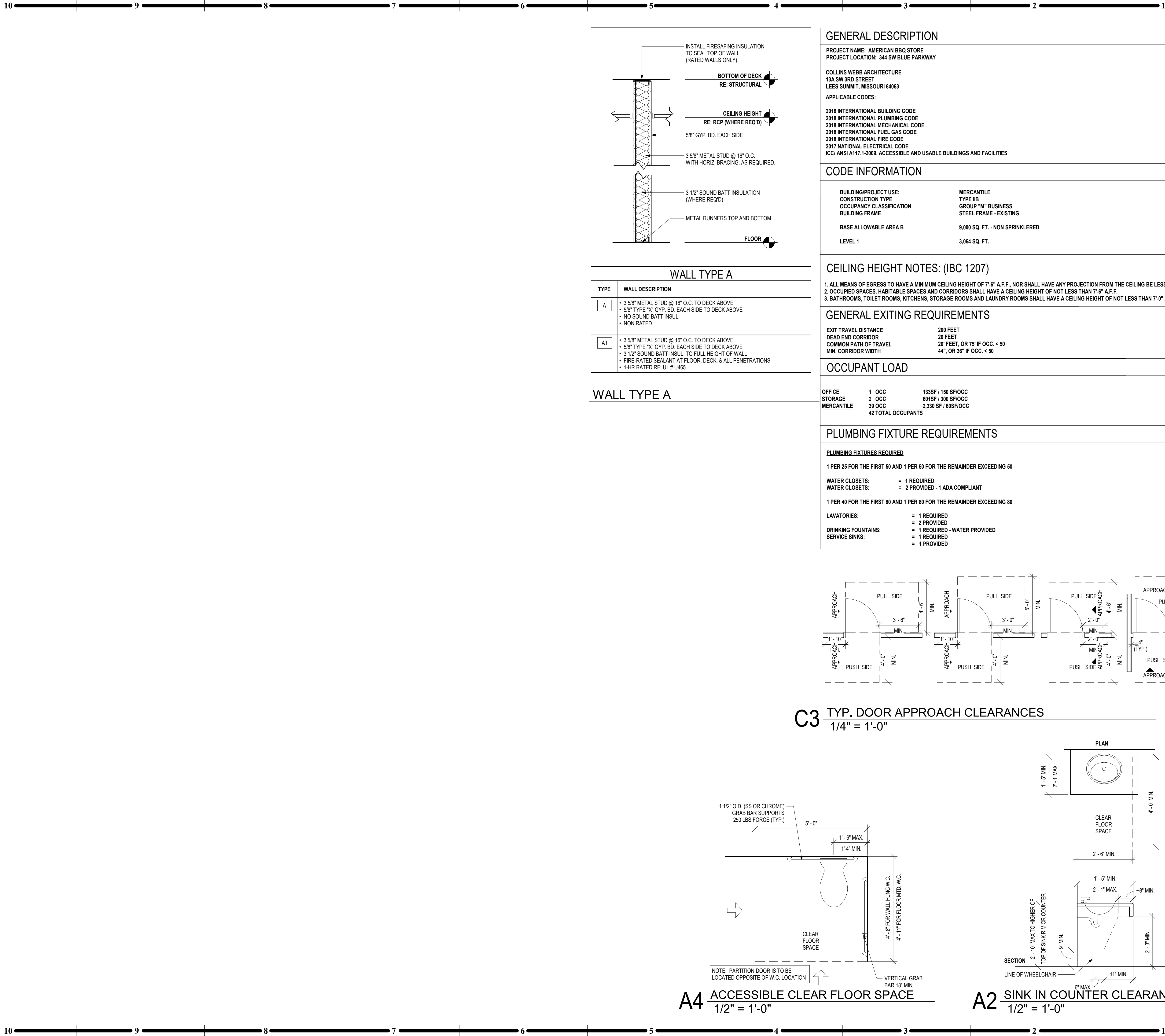
AMERICAN BBQ STORE
342 SW BLUE PARKWAY
LEE'S SUMMIT, MISSOURI 64063

ARCHITECT

COLLINS | WEBB ARCHITECTURE
13A SW 3RD STREET
LEE'S SUMMIT, MISSOURI 64063
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13A SW 3rd St., Lee's Summit, Missouri 64063 | 816.249.2270 | www.collinsandwebb.com

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GENERAL INFORMATION NOTES:

- ALL CONTRACTORS AND THEIR SUPERVISORY PERSONNEL SHALL REVIEW THE GENERAL AND SUPPLEMENTARY CONDITIONS TO THE CONTRACT.
- ALL WORK SHALL CONFORM WITH APPLICABLE BUILDING CODES, REGULATIONS AND ORDINANCES.
- CONTRACTOR AND/OR OWNER SHALL OBTAIN ALL REQUIRED BUILDING AND OCCUPANCY PERMITS.
- CONTRACTOR SHALL BECOME FULLY ACQUAINTED WITH CONDITIONS RELATED TO THE WORK.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE MEANS, METHODS, AND SEQUENCES OF CONSTRUCTION AND THE SAFETY OF ALL CONSTRUCTION PERSONNEL AND VISITORS.
- DRAWINGS CONTAINED IN THIS SET SHALL NOT BE REPRODUCED FOR SHOP DRAWINGS. COPIES OF THESE DRAWINGS SUBMITTED AS SHOP DRAWINGS WILL BE REJECTED AND RETURNED TO THE CONTRACTOR.
- EACH INSTALLER MUST EXAMINE SUBSTRATE AND/OR CONDITIONS UNDER WHICH THE WORK WILL BE INSTALLED AND REPORT TO THE CONTRACTOR IN WRITING ANY CONDITIONS DETRIMENTAL TO THE PROPER AND TIMELY EXECUTION OF THAT INSTALLERS WORK. DO NOT PROCEED UNTIL UNSATISFACTORY CONDITIONS ARE CORRECTED. COMMENCING WITH INSTALLATION SHALL CONSTITUTE ACCEPTANCE OF THE SUBSTRATE AND/OR CONDITIONS.
- DO NOT SCALE DRAWINGS. FOLLOW WRITTEN DIMENSIONS AND NOTES. CONTACT ARCHITECT FOR CLARIFICATIONS, IF REQUIRED.
- DIMENSIONS SHOWN ON THE FLOOR PLAN ARE TO THE FACE OF GYP. BOARD WALL (FGC), FACE OF MASONRY (FOM), FACE OF CONCRETE WALLS (FOC), AND COLUMN GRID LINES, UNLESS OTHERWISE NOTED OR INDICATED.
- ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IN WRITING FOR RESOLUTION, PRIOR TO PROCEEDING WITH THE WORK. IN THESE INSTANCES, NO CHANGE ORDERS OR EXTENSIONS OF TIME WILL BE ALLOWED OR ACCEPTED FOR PROCEEDING WITH THE WORK WITHOUT THE ARCHITECTS WRITTEN DIRECTION AND APPROVAL. ALSO, CONTRACTOR MUST REPAIR AND/OR REPLACE ANY UNAUTHORIZED WORK, AS INDICATED BY THE ARCHITECT, AT NO ADDITIONAL COST TO THE OWNER.
- ALL DISSIMILAR METAL MATERIALS SHALL BE ISOLATED WITH AN APPROVED NONMETAL ISOLATION MATERIAL.
- OPEN EXTERIOR JOINTS AROUND WINDOW AND DOOR FRAMES, BETWEEN WALLS AND FOUNDATIONS, BETWEEN WALL PANELS, AND AT PENETRATIONS OF UTILITIES THROUGH THE BUILDING ENVELOPE, ETC., SHALL BE SEALED, CAULKED, FLASHED OR WEATHER-STRIPPED AS REQUIRED FOR COMPATIBILITY WITH ADJACENT MATERIALS & TO ELIMINATE AIR LEAKAGE AND WATER ENTRY.
- DOOR OPENINGS NOT LOCATED BY DIMENSION SHALL BE CENTERED IN WALL SHOWN OR LOCATED 4 INCHES FROM FINISH WALL TO FINISH JAMB, ALWAYS ALLOWING A MINIMUM OF 18" FROM THE PULL SIDE OF THE DOOR TO THE INTERSECTING WALL.
- CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES AND THEIR SERVICE CONNECTIONS WITH THE PROPER UTILITY COMPANY.
- CONTRACTOR SHALL COORDINATE SIZE, LOCATIONS AND NUMBER OF ALL ROOF OPENINGS AND ROOF ACCESSORIES WITH ALL OTHER TRADES.
- PROVIDE INDEPENDENT FRAMING & ATTACHMENTS TO THE STRUCTURE - ADEQUATE TO SUPPORT THE CEILING SYSTEM, LIGHT FIXTURES, DUCTS, DIFFUSERS, SPRINKLER PIPING AND BUS DUCTS.
- CONTRACTOR TO INSTALL WOOD BLOCKING AND PLYWOOD AS REQUIRED FOR THE MOUNTING OF ALL TOILET ACCESSORIES, MILLWORK/ CASEWORK, HANDRAILS, FIRE EXTINGUISHERS, WALL SPEAKERS, POSTER CASES, TELEVISIONS, ELECTRICAL PANELS, FIRE ALARMS, MEP ITEMS, AND AV EQUIPMENT, ETC.

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REVISION DATES:

STATE OF MISSOURI
SAM COLLINS
NUMBER
A-2017002629
01/12/2021
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PROFESSIONAL SEAL

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ISSUE DATE: 12 JAN 2021
COLLINS WEBB #: 21011

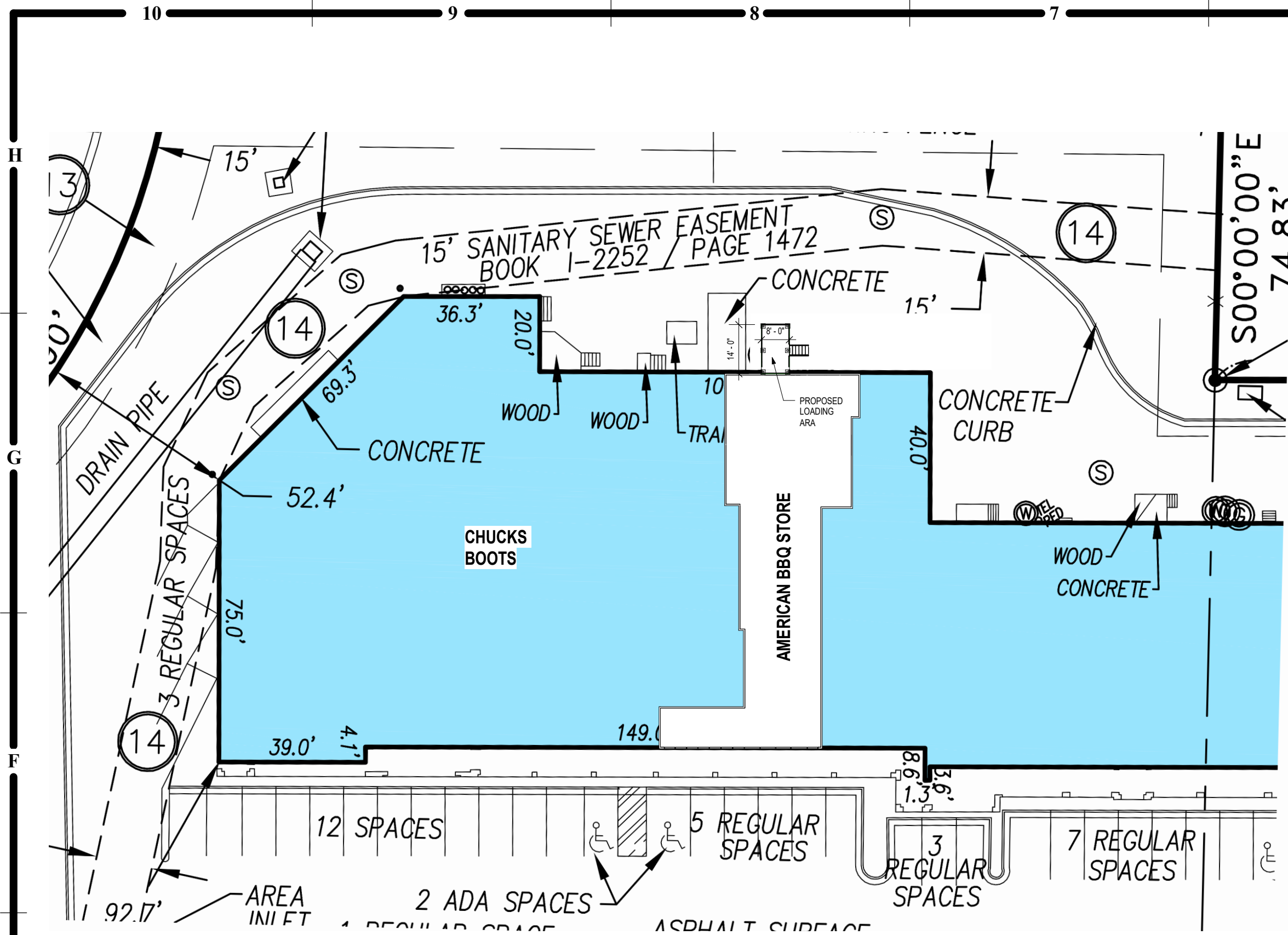
GENERAL INFORMATION



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ARCHITECTURAL SITE - FOR REFERENCE
E12 ONLY
1" = 30'-0"

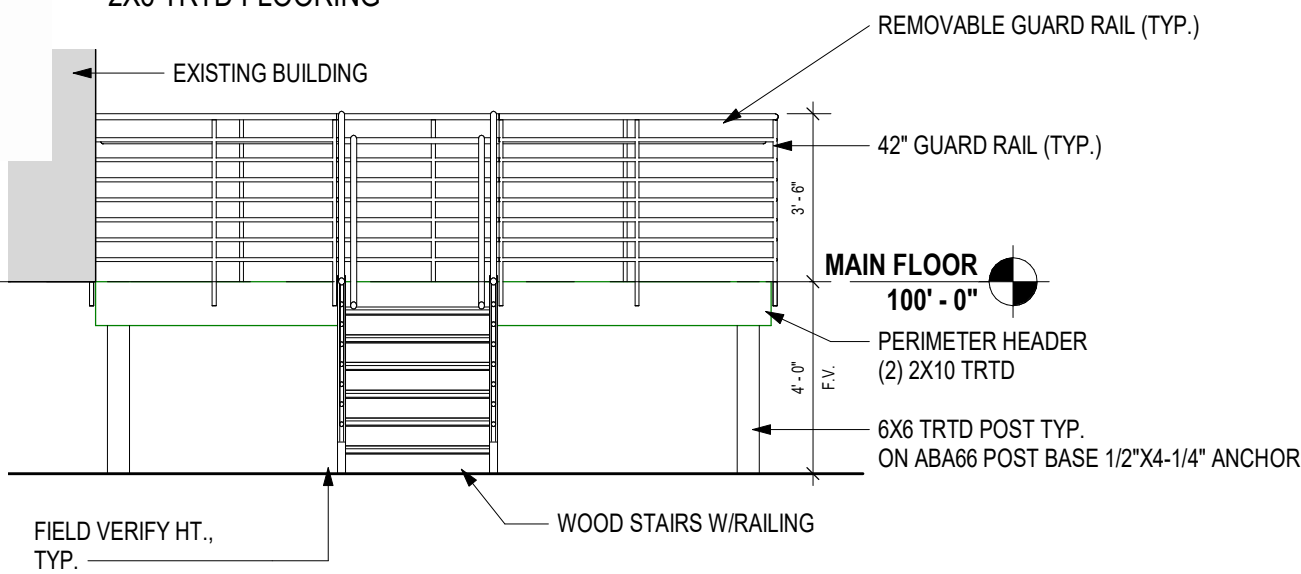
PLAN SCOPE/NOTES:

FIRE EXTINGUISHERS - AS MARKED ON PLAN FE-1
1. PROVIDE PORTABLE FIRE EXTINGUISHERS IN OCCUPANCIES AND LOCATIONS AS REQUIRED BY THE STATE FIRE PREVENTION CODE. SEE PLANS FOR SUGGESTED LOCATIONS.
2. PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED, INSPECTED, AND MAINTAINED WITH NFPA 10, STANDARD FOR PORTABLE FIRE EXTINGUISHERS.

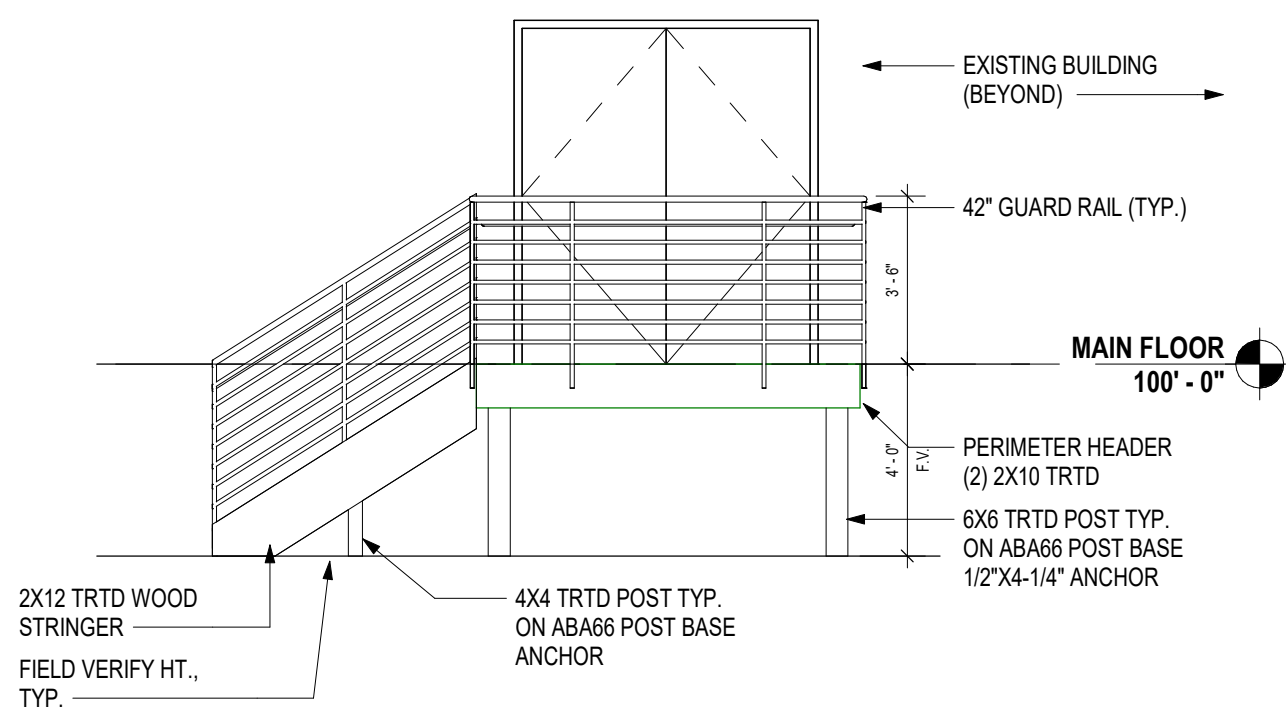
1. ELECTRICAL
A. ADD OUTLET TO WALL AS MARKED
B. ADD DEDICATED 20 AMP CIRCUIT OUTLET AS MARKED
C. ADD GFCI OUTLETS AS MARKED
D. ADD (1) LOW OUTLET - (1) HIGHER OUTLET AS MARKED-24" & 72" OFF FLOOR
E. ADD DEDICATED 220-20AMP DEDICATED OUTLETS

2. PLUMBING
PLUMBING FIXTURES REQUIRED BASED ON OCCUPANT LOAD
WATER CLOSETS - 1 REQUIRED
LAVATORIES - 1 REQUIRED
DRINKING FOUNTAINS - 1 REQUIRED
A. NEW PLUMBING FIXTURES - USE EXISTING PIPES AND DRAINS IN CURRENT LOCATION
B. ADD GREASE INTERCEPTOR TO SINK IN-LINE DRAIN
C. ADD NEW TOILETS TO BATHROOM - USE EXISTING DRAIN LOCATIONS
D. ADD MOP SINK-USE EXISTING DRAIN LOCATIONS.

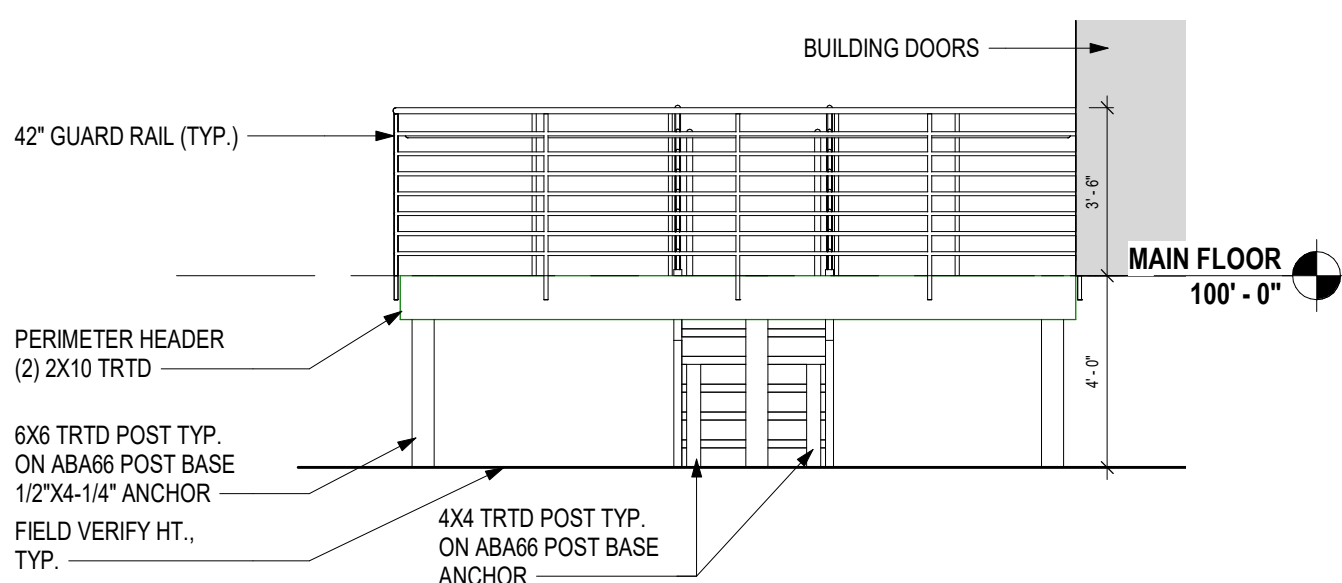
3. GENERAL CONSTRUCTION NOTES
A. ENLARGE EXISTING 3/0 DOOR OPENING TO TYPICAL 6/0 DOUBLE DOOR
CORE CONCRETE WALL TO INSTALL DOOR UNIT. MAINTAIN MINIMUM 2 WELD TABS IF CORING ON A SEAM OF CAST WALL. FIELD VERIFY AND COORDINATE WITH STRUCTURAL ENGINEER BY OWNER.
B. CONSTRUCT NEW NON-LOAD BEARING INTERIOR WALLS AS MARKED
C. STORE FRONT DOOR UPGRADE-INSTALL NEW TRANSOM GLASS AND DOUBLE DOOR FRAME. PROVIDE TEMPERED GLAZING AS REQUIRED
D. EXISTING WALLS TO REMAIN AS MARKED
E. CONSTRUCT A DOCK AREA. DOCK NOT CONNECTED TO STRUCTURE. CONSTRUCT TO MEET ALL CODE REQUIREMENTS.
2X10 TRTD FLOOR JOIST 12" OC-JOIST HANGER
2X10 TRTD (2) PERIMETER RIM BOARDS
6X6 TRTD POST AS MARKED ON 12"X36" CONCRETE PIERS
2X6 TRTD FLOORING



E7 DECK ELEVATION - WEST
1/4" = 1'-0"



C7 DECK ELEVATION - NORTH
1/4" = 1'-0"



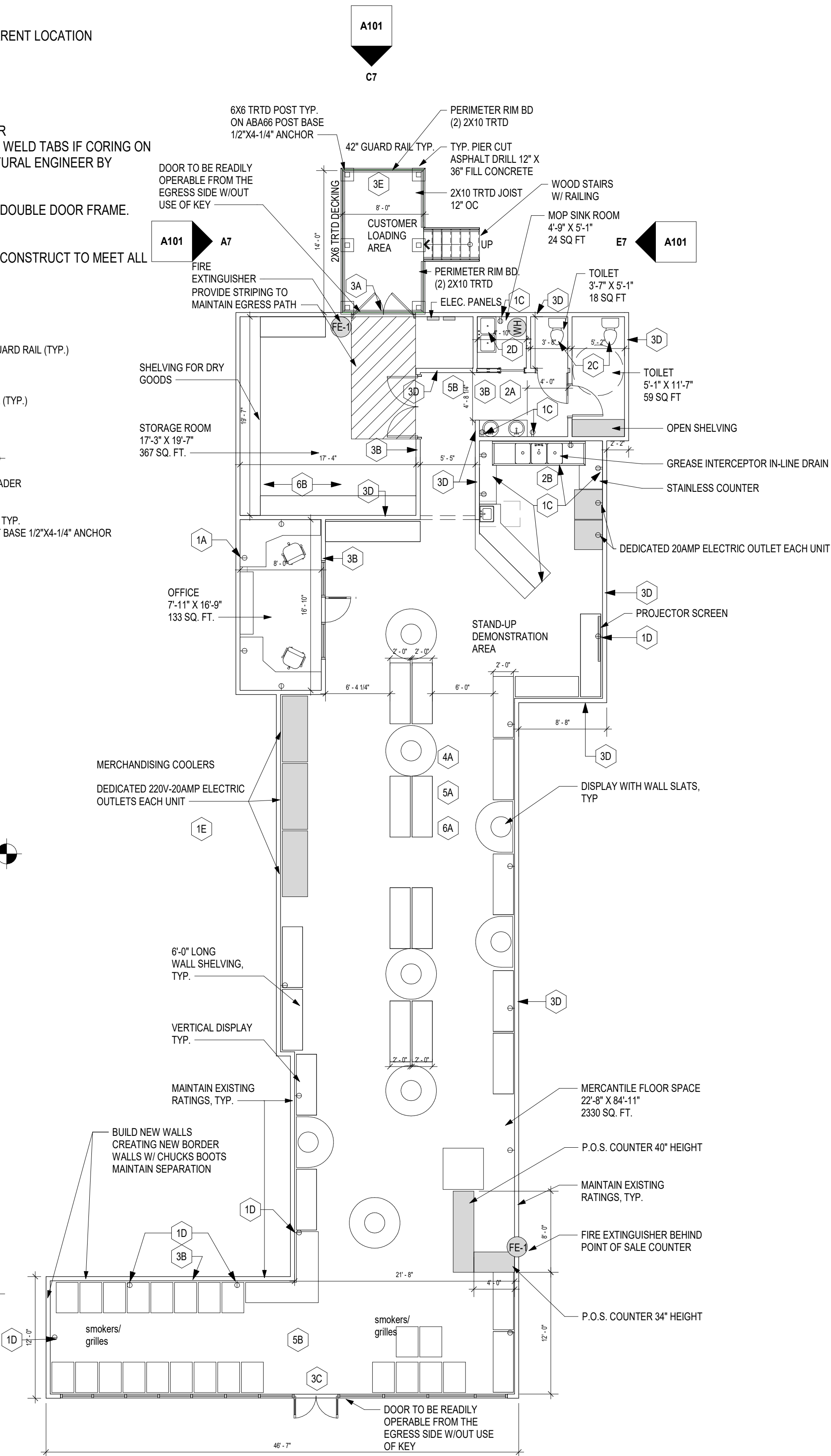
A7 DECK ELEVATION - EAST
1/4" = 1'-0"

A4 MAIN FLOOR
1/8" = 1'-0"

4. HVAC NOTES
A. HVAC COMPLETED BY GOLF-TEC. EVERYTHING TO REMAIN.

5. CEILING FINISH
A. CEILING TO REMAIN ACOUSTICAL DROP CEILING TILE
B. ADD TO MATCH EXISTING ACOUSTICAL CEILING TILE

6. FLOORING
A. FLOORING TO BE COMMERCIAL RATED VINYL PLANK AS MARKED.
B. EXISTING CONCRETE FINISH FLOOR TO REMAIN.



GENERAL NOTES: FLOOR PLANS

- SEE GENERAL ARCHITECTURAL SHEETS FOR ADDITIONAL NOTES AND DETAILS THAT ARE APPLICABLE.
- ARCHITECTURAL ELEVATION 100'-0"
- DIMENSIONS SHOWN ON THE FLOOR PLAN ARE TO THE FACE OF GYP. BOARD WALL (FG), FACE OF MASONRY (FM), FACE OF CONCRETE WALLS (FC), AND COLUMN GRID LINES, UNLESS NOTED OR SHOWN OTHERWISE.
- NOTE: WALL THICKNESSES ARE ACTUAL DIMENSIONS AND PER WALL TYPES. SEE GENERAL SHEETS.
- DOOR OPENINGS NOT LOCATED BY DIMENSION SHALL BE CENTERED IN WALL SHOWN OR LOCATED 4 INCHES FROM FINISH WALL TO HINGE SIDE OF THE DOOR, ALWAYS ALLOWING A MINIMUM OF 18" FROM THE PULL SIDE (STRIKE SIDE) OF THE DOOR TO THE INTERSECTING WALL OR OTHER PROTRUDING OBJECTS.
- ALL ALCOVES WITHOUT A SPACE IDENTIFICATION NUMBER SHALL HAVE THE SAME FINISHES AS THE ADJOINING SPACES.
- PROVIDE FINISH LEVELS AS DESCRIBED:
LEVEL 1:
- FIRE RATED WALL AREAS ABOVE FINISHED CEILINGS, WHETHER OR NOT ACCESSIBLE IN THE COMPLETED CONSTRUCTION.
LEVEL 2:
- AREAS WHERE SETTING TYPE COMPOUND FOR WATER RESISTANT GYPSUM BACKER OR FIBER REINFORCED WALL PANELS ARE USED.
- ALL ROOM SIDE WALLS IN AUDITORIUMS WHERE AN ACOUSTIC PANEL IS INSTALLED.
- ALL OPEN TO PLENUM SPACES ABOVE CEILINGS.
- OPEN TO STRUCTURE SPACES WHERE PAINTED BLACK.
- AREAS IN MECHANICAL, ELECTRICAL AND STORAGE ROOMS.
LEVEL 3:
- ALL ROOM SIDE WALLS IN AUDITORIUMS WHERE WALL CARPET IS INSTALLED.
- PUBLIC CIRCULATION CORRIDORS WHERE ROOM SIDE WALLS HAVE WALLCOVERING OR WOOD SLAT WALL TREATMENTS.
- OPEN TO STRUCTURE SPACES WHERE PAINTED OTHER THAN BLACK.
LEVEL 4:
- AREAS FOR BACK OF HOUSE EMPLOYEE OPERATIONS WHERE ROOM SIDE WALLS AND/OR CEILINGS HAVE PAINTED SURFACES.
- CIRCULATION CORRIDORS WHERE ROOM SIDE WALLS AND/OR CEILINGS HAVE PAINTED SURFACES.
- WALLS THAT HAVE FELT WALL COVERING.
LEVEL 5:
- PUBLIC LOBBIES, BAR, AND LOUNGE AREAS WHERE WALLS AND/OR CEILINGS HAVE PAINTED OR WALL COVERINGS INSTALLED ON SURFACES WITHIN BAR/LOUNGE AREAS
8. RE: FINISH LEGEND, FINISH SCHEDULE AND SPECIFICATIONS FOR DOOR AND DOOR FRAME FINISHES.
9. STAIR ENCLOSURES, SHAFT WALLS, EXIT PASSAGE WALLS AND EXTERIOR WALLS TO BE COORDINATED FOR PHASE OF WORK PER MATRIX AND PROJECT SCOPING.
10. MAINTAIN AND PROTECT EXISTING EXPANSION JOINTS DURING CONSTRUCTION. PATCH/REPAIR/REPLACE TO MATCH EXISTING RATINGS AS REQUIRED ON THE SHELL PORTION OF PROJECT.

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ISSUE DATE: 12 JAN 2021
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1ST FLOOR PLAN



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