

HY-VEE INC.

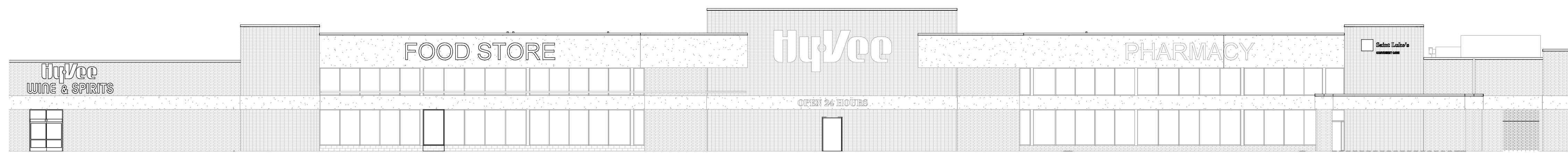
5820 Westown Parkway West Des Moines, Iowa 50266



PROJECT LOCATION:

LEE'S SUMMIT, MO #2

310 SW WARD RD, LEE'S SUMMIT, MO 64081



DRAWING SCHEDULE

GENERAL G0.0 CODE ANALYSIS PLAN	H03.0A HVAC DEMOLITION ROOF PLAN - PART A H03.0B HVAC DEMOLITION ROOF PLAN - PART B	
STRUCTURAL S0.1 STRUCTURAL NOTES S1.0 FOUNDATION PLAN S2.0 ROOF FRAMING PLAN S5.0 STRUCTURAL SECTIONS & DETAILS S5.1 STRUCTURAL SECTIONS & DETAILS S5.2 STRUCTURAL SECTIONS & DETAILS	PLUMBING P0.0 PLUMBING NOTES & SCHEDULES P0.1 PLUMBING SCHEDULES P1.0A UNDERFLOOR PLUMBING PLAN - A P1.0B UNDERFLOOR PLUMBING PLAN - B P2.0A PLUMBING FLOOR PLAN - A P2.0B PLUMBING FLOOR PLAN - B P2.5 PLUMBING ENLARGED PLANS P2.6 PLUMBING ENLARGED PLANS P3.0A PLUMBING ROOF PLAN - A P3.0B PLUMBING ROOF PLAN - B P4.0 SINK DETAILS P4.1 PLUMBING DETAILS P5.0 WASTE & VENT RISER DIAGRAM - A P5.1 WASTE & VENT RISER DIAGRAM - B PD1.0A UNDERFLOOR DEMOLITION PLUMBING PLAN - A PD1.0B UNDERFLOOR DEMOLITION PLUMBING PLAN - B PD2.0A DEMOLITION PLUMBING PLAN - A PD2.0B DEMOLITION PLUMBING PLAN - B PE1.0A PLUMBING STUB-UP PLAN - A PE1.0B PLUMBING STUB-UP PLAN - B	
ARCHITECTURE A0.0 FIXTURE & EQUIPMENT PLAN A0.2 EXISTING FIXTURE & EQUIPMENT PLAN A0.3 OVERLAY PLAN A0.4 PHASING PLAN A0.4A PHASED EXITING PLAN AD1.0 ARCHITECTURAL DEMOLITION PLAN AD2.0 DEMOLITION SLAB AND FLOOR FINISH PLAN AD5.1 DEMOLITION REFLECTED CEILING PLAN AD8.0 DEMOLITION ROOF PLAN A1.0 FLOOR PLAN A2.0 FLOOR FINISH & JOINT PLAN A2.0A FLOOR FINISH & JOINT PLAN A2.2 FINISH SCHEDULE A2.3 DOOR SCHEDULE & DETAILS A2.4 INTERIOR DECOR PLAN A2.4A MISC DECOR AND ASSET PROTECTION PLAN A2.5 INTERIOR WALL DETAILS A3.0 FRONT ENTRANCE PLANS & DETAILS A3.0A FRONT ENTRANCE ELEVATIONS A3.1 ENLARGED PLAN & ELEVATIONS - FOOD SERVICE A3.1A ENLARGED PLAN & ELEVATIONS - FOOD SERVICE A3.2 ENLARGED PLAN & ELEV - HICKORY HOUSE, ASIAN, HIBACHI, ITALIAN A3.3 ENLARGED PLAN & ELEVATIONS - BAKERY A3.4 ENLARGED PLAN & ELEVATIONS - DELICATESSAN A3.5 ENLARGED PLAN & ELEVATIONS - MEAT/SEAFOOD A3.6 ENLARGED PLAN & ELEVATIONS - CUSTOMER SERVICE & MONEY SERVICE A3.7 ENLARGED PLAN & ELEVATIONS - PHARMACY A3.7A ENLARGED PLAN & ELEVATIONS - CLINIC A3.8 ENLARGED PLAN & ELEVATIONS - RESTROOM A3.8A ENLARGED PLAN & ELEVATIONS - MISCELLANEOUS OFFICES A3.8B ENLARGED PLAN & ELEVATIONS - MISCELLANEOUS OFFICES A3.9 ENLARGED PLAN & ELEVATIONS - CASUAL DINING A3.10 ENLARGED PLAN & ELEVATIONS - FLORAL A3.12 ENLARGED PLAN & ELEVATIONS - WINE & SPIRITS A3.13 ENLARGED PLAN & ELEVATIONS - PRODUCE PREP A5.0 DIMENSIONED BULKHEAD PLAN A5.1 REFLECTED CEILING PLAN A5.2 ENLARGED PARTIAL RCP PLANS & CEILING DETAILS A6.0 EXTERIOR ELEVATIONS A8.0 ROOF PLAN	FIRE PROTECTION FP0.0 FIRE PROTECTION NOTES AND SYMBOLS FP1.0 FIRE PROTECTION FLOOR PLAN - PART A FP1.1 FIRE PROTECTION FLOOR PLAN - PART B	
EQUIPMENT EQ1.0 EQUIPMENT PLAN EQ1.1 ENLARGED EQUIPMENT PLAN EQ1.2 ENLARGED EQUIPMENT PLAN	ELECTRICAL E0.0 ELECTRICAL NOTES & SYMBOLS E0.0A ELECTRICAL DETAILS E0.1 ELECTRICAL EQUIPMENT LISTING E1.0 FEEDER RISER DIAGRAM E1.1 ELECTRICAL PANEL SCHEDULES E1.2 ELECTRICAL PANEL SCHEDULES E2.0A ELECTRICAL PLAN - PART A E2.0B ELECTRICAL PLAN - PART B E2.1 ELECTRICAL PART PLANS E2.2 ELECTRICAL PART PLANS E2.9A ROOF ELECTRICAL PLAN - PART A E2.9B ROOF ELECTRICAL PLAN - PART B E3.0A LIGHTING FLOOR PLAN - PART A E3.0B LIGHTING FLOOR PLAN - PART B E3.1 LIGHTING SCHEDULES AND DETAILS E4.4 REGISTER SYSTEMS PLAN E5.0B REFRIGERATION ELECTRICAL POWER PLAN - PART B ED1.0A ELECTRICAL DEMOLITION PLAN - PART A ED1.0B ELECTRICAL DEMOLITION PLAN - PART B ED2.0 ELECTRICAL DEMOLITION ROOF PLAN E7.1 CONTROL WIRE PULLS E7.2 CONTROL WIRE PULLS E7.3 REFRIGERATION CONTROL DETAILS AND BUSBAR LAYOUT	REFRIGERATION R0 REFRIGERATION CASE LOCATION PLAN R1.0 REFRIGERATION UNDER FLOOR PLAN R2.0 REFRIGERATION PIPING FLOOR PLAN R2.1 REFRIGERATION CONDENSATE PIPING FLOOR PLAN R3.0 REFRIGERATION SCHEDULES AND MACHINE ROOM LAYOUT R3.1 REFRIGERATION STRUCTURAL COORDINATION R4.0 REFRIGERATION LEGEND AND LINE SIZING SCHEMATIC R4.1 REFRIGERATION LEGEND AND LINE SIZING SCHEMATIC R4.2 REFRIGERATION LEGEND AND LINE SIZING SCHEMATIC R4.3 REFRIGERATION LEGEND AND LINE SIZING SCHEMATIC R4.4 REFRIGERATION EXISTING FLOOR PLAN R5.0 PIPING DETAILS R5.1 PIPING DETAILS

1 REMOVE SHEETS XE4.0 AND XE4.0A FROM THE DRAWING SCHEDULE IN THEIR ENTIRETY.



SCOPE OF WORK

- NEW WINE AND SPIRITS DEPARTMENT IN ADJACENT STORAGE SPACE
- NEW OFFICES AND EMPLOYEE LOUNGE IN ADJACENT STORAGE SPACE
- REMOVE MARKET GRILLE RESTAURANT AND ADD CASUAL SEATING AREA
- ADD STARBUCKS KIOSK
- ADD SUSHI ISLAND
- REMODEL AT KITCHEN AND PREP AREAS
- ADD DELICATESSEN DEPARTMENT
- NEW PRODUCE PREP AND PRODUCE COOLER
- ADD CUSTOMER REACH IN DOORS TO DAIRY COOLER
- RESET CENTER STORE FIXTURES
- NEW PHARMACY AND CLINIC
- NEW FLORAL DEPARTMENT
- NEW CUSTOMER SERVICE & AISLES ONLINE GROCERY PICK UP AREA AT FRONT OF STORE

GENERAL NOTES REGARDING MOLD AND MILDEW

- THE FOLLOWING REQUIREMENTS SHALL APPLY TO ALL NEW AND REMODEL CONSTRUCTION PROJECTS.
- IN THE EVENT THE CONTRACTOR DISCOVERS, AT ANY TIME DURING DEMOLITION, CONSTRUCTION AND/OR REMODELING OPERATIONS, EXISTING CONDITIONS THAT COULD INCLUDE THE PRESENCE OF MOLD AND/OR MILDEW, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE TENANT'S REPRESENTATIVE AND THE PROFESSIONAL OF RECORD, IN WRITING, OF THE CONCERNS AND/OR SUSPICIONS.
- CONCURRENTLY, THE CONTRACTOR SHALL BE RESPONSIBLE TO RETAIN A MOLD AND MILDEW CERTIFIED TESTING AGENCY TO PERFORM AN INVESTIGATION AND TESTING AS REQUIRED TO EVALUATE THE NATURE AND EXTENT OF THE PROBLEM. IF THE TESTING AGENCY CONFIRMS HAZARDS, THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN A MINIMUM OF TWO (2) BIDS FROM COMPANIES QUALIFIED AND LICENSED TO PERFORM ALL NECESSARY REMEDIATION WORK, COMPLYING WITH ALL LOCAL, STATE AND FEDERAL ENVIRONMENTAL REGULATIONS, CODES, AND STATUTES.
- ONCE DISCOVERY OR SUSPICION OF MOLD AND/OR MILDEW IS MADE, THE CONTRACTOR SHALL TAKE ALL RESPONSIBLE MEASURES AND PRACTICE PRECAUTIONS TO PROTECT ALL CONSTRUCTION PERSONNEL AND THE PUBLIC FROM EXPOSURE TO MOLD AND/OR MILDEW, AND SUCH PRECAUTIONS SHALL REMAIN IN PLACE UNTIL SUCH A TIME AS THE OWNER OR HEALTH AUTHORITY DIRECTS OTHERWISE. CONSTRUCTION OPERATIONS SHALL NOT BE STOPPED OR CURTAILED, EXCEPT IN THE AREA OF MOLD/MILDEW CONCERN, DUE TO THESE REQUIRED PRECAUTIONS.
- THE CONTRACTOR SHALL MAKE ALL REASONABLE EFFORTS TO AVOID CONDITIONS FAVORABLE TO THE DEVELOPMENT OF MOLD AND MILDEW, ESPECIALLY IN VOIDS WHICH WILL BE CONCEALED AND NOT VENTILATED, IN ALL CASES, INTERIOR SPACES AND INTERIOR FINISHED CONSTRUCTION SHALL BE MAINTAINED IN DRY AND WELL-VENTILATED CONDITIONS.
- THE CONTRACTOR SHALL COMPLY WITH FEDERAL ENVIRONMENTAL AND OSHA REGULATIONS AND ALL LOCAL AND STATE HEALTH DEPARTMENT REQUIREMENTS AND RECOMMENDATIONS REGARDING MOLD AND MILDEW.
- ALL PENETRATIONS SHALL BE SEALED WATER-TIGHT TO PREVENT MOISTURE MIGRATION FROM ENTERING THE BUILDING OR WALL CAVITIES.
- INSURE THAT THERE ARE NO WATER LEAKS IN CONCEALED PLUMBING CHASES. ALL EXISTING SUPPLY AIR PATHS AND ALL EXISTING RETURN AIR PATHS AND PLENUMS SHALL BE KEPT DRY.
- DUCTWORK TO BE RE-USED SHALL BE CLEANED AND TREATED AS REQUIRED TO REMOVE POTENTIAL FOR MOLD AND MILDEW. ALL DAMP AREAS SHALL BE DRIED THOROUGHLY PRIOR TO ENCLOSURE.

DEMOLITION REQUIREMENTS

- ALL WORK SHALL BE DONE IN A SAFE AND WORKMAN-LIKE MANNER AND IN STRICT ACCORDANCE WITH THE LOCAL AND/OR STATE BUILDING CODES, NATIONAL ELECTRIC CODE (NEC), OSHA, AND ALL APPLICABLE CODES, REGULATIONS, ORDINANCES, AND AUTHORITIES HAVING JURISDICTION.
- EACH SUBCONTRACTOR IS RESPONSIBLE FOR HAVING A THOROUGH KNOWLEDGE OF ALL DRAWINGS AND SPECIFICATIONS IN THEIR RELATED FIELD. THE FAILURE TO ACQUAINT THEMSELVES WITH THIS KNOWLEDGE DOES NOT RELIEVE THEM OF ANY RESPONSIBILITY FOR PERFORMING WORK PROPERLY. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED BECAUSE OF CONDITIONS THAT OCCUR DUE TO FAILURE TO FAMILIARIZE WORKERS WITH THIS KNOWLEDGE.
- THE EXISTING BUILDING SHALL BE PROTECTED FROM MOISTURE, DUST, AND DEBRIS. INSTALL DUST PARTITIONS OR DRAPES AS REQUIRED AND/OR AS DIRECTED BY THE TENANT'S CONSTRUCTION MANAGER.
- ANY DAMAGE TO PROPERTY (ADJACENT OR EXISTING), WHICH OCCURS DURING THE PROCESS OF CONSTRUCTION SHALL BE REPAIRED/REPLACED AT NO ADDITIONAL COST TO THE TENANT.
- NO FLAMMABLE MATERIALS OR LIQUIDS MAY BE STORED IN THE EXISTING BUILDING.
- THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF THE EXISTING BUILDING AT ALL TIMES. THIS INCLUDES KEEPING THE BUILDING SECURE FROM PERSONS, ENVIRONMENTAL ELEMENTS, OR HAZARDS. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE INTEGRITY OF ALL EXISTING SECURITY SYSTEMS. THE CONTRACTOR SHALL OBTAIN PERMISSION FROM STORE MANAGER PRIOR TO THE MODIFICATION OF ANY EXISTING SECURITY SYSTEM FOR THE OPENING (DEMOLITION) OF ANY EXTERIOR WALL.
- REMOVE ANY EXISTING ITEMS, SERVICES, FINISHES OR SURFACES AS REQUIRED FOR THE INSTALLATION OF NEW CONSTRUCTION. PROVIDE FURRING FOR CONDUITS AND PIPING, SHOWN OR NOT, AND FINISH OUT FURRING TO MATCH ADJACENT EXISTING FINISHES.
- REPAIR, RE-ROUTE, AND EXTEND ALL SERVICES, PIPING, CONDUIT OF EXISTING ITEMS AND EQUIPMENT AS REQUIRED DURING THE CONSTRUCTION PROCESS FOR THE COMPLETE INSTALLATION AND OPERATIONS OF NEW EQUIPMENT. THIS INCLUDES ALL ITEMS SHOWN OR NOT SHOWN ON THE DRAWINGS. RESET EXISTING EQUIPMENT OR RELATED ITEMS AS REQUIRED FOR PROPER OPERATIONS.
- WHERE EXISTING FINISHES ARE TO REMAIN, CLEAN, REPAIR, PATCH, AND/OR REPAINT AS NECESSARY TO BLEND WITH ADJACENT SURFACES OR AS CALLED OUT ON DRAWINGS. COORDINATE WITH THE TENANT'S CONSTRUCTION MANAGER.
- THE CONTRACTOR SHALL RESPOND TO ALL REQUIREMENTS OF THE ENGINEER/ARCHITECT FOR VERIFICATIONS, RESPONSES AND SUBMISSIONS.
- DURING ENTIRE CONSTRUCTION PERIOD, PROVIDE ONE UL LISTED 2A-20BC DRY CHEMICAL FIRE EXTINGUISHER, OR ONE STANDARD UL LISTED 2-1/2 GALLON WATER (E-10) AND ONE UL LISTED 10BC CARBON DIOXIDE FIRE EXTINGUISHER MOUNTED TOGETHER IN EACH 3000 SQ FT OF WORK AREA OR FRACTION THEREOF MINIMUM OF TWO AVAILABLE IN ALL CONSTRUCTION AREAS AT ALL TIMES.
- NOTES INDICATING DEMOLITION WORK ARE NOT CONFINED SOLELY TO THE DEMOLITION PLANS. THE GENERAL CONTRACTOR SHALL SCHEDULE OF THIS PROJECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE DELIVERY OF MATERIALS IN A TIMELY MANNER.
- ALL ADJACENT BUILDINGS AND TENANT SPACES SHALL REMAIN IN SERVICE DURING DEMOLITION/CONSTRUCTION.
- MUD AND DEBRIS TRACKED ONTO OWNER PAVING OR CITY STREETS TO BE CLEANED IMMEDIATELY.
- IT IS IMPERATIVE THAT THE ROOF FRAMING AND ROOFING SYSTEM BE KEPT INTACT TO ELIMINATE POTENTIAL WATER DAMAGE OR MOISTURE INFILTRATION. THE CONTRACTOR SHALL KEEP THE BUILDING WATER-TIGHT AT ALL TIMES AND MAKE REPAIRS IMMEDIATELY SHOULD ANY DAMAGE OCCUR TO THE ROOFING SYSTEM.
- BUILDING COMPONENTS AFFECTED BY THE SCOPE OF WORK AND ALLOWED TO REMAIN SHALL BE SECURED TO PREVENT FALLING, LOOSENING, OR CREATING DAMAGE OF ANY KIND IN THE FUTURE.
- WHEN UTILITIES ARE REMOVED, CAP AND SEAL A MINIMUM OF 8" BELOW FINISH FLOOR OR A MINIMUM OF 6" ABOVE FINISH CEILING. REFER TO MEP DRAWINGS FOR ADDITIONAL ITEMS TO BE REMOVED.
- NOTES INDICATING DEMOLITION WORK ARE NOT CONFINED SOLELY TO THE DEMOLITION PLANS. THE GENERAL CONTRACTOR SHALL REVIEW ALL CONSTRUCTION DOCUMENTS, INCLUSIVE OF SCHEDULES AND SPECIFICATIONS, TO DETERMINE FULL EXTENT OF DEMOLITION WORK.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ADEQUATE SHORING, BRACING AND SUPPORT SYSTEMS FOR EXISTING STRUCTURE AND TO KEEP THE EXISTING STRUCTURE INTACT IN A SAFE CONDITION DURING DEMOLITION AND NEW CONSTRUCTION. THE CONTRACTOR SHALL RETAIN A REGISTERED PROFESSIONAL ENGINEER TO DESIGN THE SHORING OR BRACING AND SPECIFY DEMOLITION PROCEDURES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE MEANS AND METHODS OF DEMOLITION AND NEW CONSTRUCTION.
- THE CONTRACTOR SHALL FIELD VERIFY THE EXTENT OF DEMOLITION. THE WORK INCLUDES, BUT IS NOT LIMITED TO, THE DEMOLITION AND REMOVAL OF WALLS, DOORS, FIXTURES, PLUMBING, MECHANICAL AND ELECTRICAL ITEMS INCLUDING CONDUITS AND DUCTWORK AS SHOWN ON DRAWING OR AS REQUIRED FOR THE INSTALLATION OF THE NEW WORK FOR A COMPLETE JOB.

SITE VERIFICATION NOTES

- THE ARCHITECT HAS MADE A SCOPE VISIT WITH MEASUREMENTS AND PHOTOGRAPHS OF EXISTING CONDITIONS AND THE ARCHITECTURAL DRAWINGS INDICATE EXISTING CONDITIONS VERIFIED IN THE FIELD. IT, HOWEVER, REMAINS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO THE SUBMISSION OF THEIR BID AND TO THE COMMENCEMENT OF ANY WORK. NO ADDITIONAL COMPENSATION WILL BE PAID DUE TO THE CONTRACTOR'S FAILURE TO ACQUAINT THEMSELVES WITH EXISTING SITE CONDITIONS WHICH INCLUDE, BUT ARE NOT LIMITED TO, GRADES, EXTENT OF PAVING, OR UTILITIES.
- THE CONTRACTOR SHALL FIELD LOCATE AND VERIFY ALL PROPERTY LINES, EASEMENTS, SETBACKS AND RESTRICTIONS. A REGISTERED SURVEYOR SHALL ESTABLISH ALL PROPERTY LINES AND SETBACKS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND CLEARLY FLAG PROPERTY LINES AND SETBACKS. IT REMAINS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO DETERMINE EXACT LOCATION OF ALL SAID BOUNDARIES.
- ALL UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES (WHETHER SHOWN OR NOT) PRIOR TO THE SUBMISSION OF THEIR BID OR THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER AND ARCHITECT OF THE DISCOVERY OF EXISTING UTILITIES NOT SHOWN OR NOTED ON DRAWINGS.
- THE CONTRACTOR SHALL VERIFY EXACT LOCATIONS AND DEPTHS OF UNDERGROUND UTILITY SERVICES PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR SHALL VERIFY ALL GRADES AND PROPOSED FINAL GRADES, IF RAMPS, STOOPS, STAIRS, SIDEWALKS, FLATWORK OR PAVING ARE INSTALLED, VERIFY FINAL GRADES SURROUNDING THE NEW CONSTRUCTION AND ADJUST STAIR RISERS, RAMP LENGTHS, LIMITS OF PAVING, ETC., TO ACCOMMODATE THE REQUIRED RAMP SLOPE, RISER HEIGHTS OR PAVING AREAS. ALL RAMPS AND STAIRS SHALL MEET ADA-ADAGS (OR ADOPTED HANDICAP ACCESSIBILITY REQUIREMENTS). IF THERE IS CONFLICT IN FIELD CONDITIONS, NOTIFY THE CONSTRUCTION MANAGER AND THE ARCHITECT IMMEDIATELY TO DETERMINE WHAT ACTION SHOULD BE TAKEN TO MATCH EXISTING CONDITIONS.
- THE CONTRACTOR SHALL VERIFY EXISTING FINISH FLOOR ELEVATION AT ALL INTERIOR WALLS OF THE EXISTING BUILDING PRIOR TO ESTABLISHING THE FINISH FLOOR ELEVATION. TO VERIFY FLOOR ELEVATION, THE CONTRACTOR SHALL REMOVE A SMALL PORTION OF THE WALL AT THE PROPOSED OPENING BETWEEN THE INTERIOR WALLS.
- THE CONTRACTOR SHALL VERIFY EXISTING FOOTING DEPTHS AND MATCH AT NEW ADDITION TO INSURE PROPER BLOCK COURSING. ANY DISCREPANCY SHALL BE REPORTED TO THE CONSTRUCTION MANAGER PRIOR TO ANY EXCAVATION.
- FOR ANY ROOF WORK REQUIRED AS PART OF THESE DOCUMENTS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO MATCH EXISTING ROOF INSULATION THICKNESS UNLESS DIRECTED OTHERWISE. REFER TO THE ROOFING SPECIFICATIONS SECTION.
- REPORT ANY DISCREPANCIES FOUND IN THE FIELD IMMEDIATELY TO THE CONSTRUCTION MANAGER AND THE ARCHITECT PRIOR TO MAKING ANY STRUCTURAL MODIFICATIONS OR ORDERING OF ANY MATERIALS.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS AND/OR THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION AND INSTRUCTION. THESE CONSTRUCTION DOCUMENTS HAVE BEEN DESIGNED AND DRAWN ASSUMING EXISTING BUILDING CONDITIONS MATCH THE ORIGINAL DRAWINGS. THE CONTRACTOR, IMMEDIATELY UPON ARRIVAL AT THE SITE, SHALL VERIFY ALL EXISTING STRUCTURAL COLUMN DIMENSIONS, STRUCTURAL BEARING HEIGHTS AND EXISTING DIMENSIONS. IF DISCREPANCIES ARE FOUND BETWEEN WHAT IS SHOWN ON THE DRAWINGS AND EXISTING FIELD CONDITIONS, CONTACT THE CONSTRUCTION MANAGER AND THE ARCHITECT IMMEDIATELY TO DETERMINE WHAT ACTION SHOULD BE TAKEN TO MATCH EXISTING CONDITIONS. THE BEGINNING OF CONSTRUCTION BY THE GENERAL CONTRACTOR MEANS ACCEPTANCE OF THE EXISTING CONDITIONS.

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HENDERSON ENGINEERS
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 LENEXA, KS 66214
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FINAL CONSTRUCTION DOCUMENTS - 10/20/2020

CODE ANALYSIS

1) APPLICABLE CODES

BUILDING CODE: 2018 INTERNATIONAL BUILDING CODE (IBC)
MECHANICAL CODE: 2018 INTERNATIONAL MECHANICAL CODE (IMC)
PLUMBING CODE: 2018 INTERNATIONAL PLUMBING CODE (IPC)
ELECTRIC CODE: 2017 NATIONAL ELECTRICAL CODE (NEC)
FIRE CODE: 2018 INTERNATIONAL FIRE CODE (IFC)
ACCESSIBILITY CODE: 2009 ICC A117.1
FUEL / GAS CODE: 2018 INTERNATIONAL FUEL GAS CODE

2) DEFERRED SUBMITTALS

FIRE PROTECTION SYSTEM SHOP DRAWINGS
FIRE ALARM SYSTEM SHOP DRAWINGS

3) USE GROUP: M

4) TYPE OF CONSTRUCTION: II-B - UNLIMITED

5) THIS BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM.

6) MIXED OCCUPANTS

A2 - BREAK ROOM AND FOOD TENANT - ACCESSORY USE
 B - OFFICE, CUSTOMER SERVICE, PHARMACY, BAR - ACCESSORY USE
 F-1 - FOOD PREP AREAS (DELI, BAKERY, MEAT, PRODUCE) - ACCESSORY USE
 M - RETAIL SALES - MIXED USE
 S1 - RECEIVING, STOCK/STORAGE ROOMS, COOLERS/FREEZERS - STORAGE AREAS (MIXED USE)

7) ALLOWABLE AREA:

- A) ALL ALLOWABLE TABULAR AREA - UNLIMITED
- B) ENTIRE BUILDING IS FULLY SPRINKLERED

8) ACTUAL BUILDING AREA:

- A) EXISTING FOOTPRINT AREA (MAIN LEVEL) = 85,703 SF
- B) NO ADDED SQUARE FOOTAGE AS PART OF THIS REMODEL

9) OCCUPANT LOAD: TABLE 1004.5

OCCUPANCY LOAD CALCULATIONS				
Name	Area	Occupancy Load	Occupants	
ASSEMBLY	3,269.16	15	218	
BUSINESS	2,318.24	150	18	
MERCANTILE	54,930.62	60	916	
PREP	6,033.35	200	31	
STORAGE	13,907.86	300	44	
Grand total	79,646.43		1,225	

10) EXITS REQUIREMENTS

- A) (4) EXITS REQUIRED (SECTION 1006.3.2) - (7) PUBLIC & (1) EMPLOYEE PROVIDED
- B) 250' MAXIMUM TRAVEL (TABLE 1017.2)
- C) TOTAL OCCUPANT LOAD OF LIQUOR STORE = 202 OCCUPANTS
- D) TOTAL OCCUPANT EXIT OF LIQUOR STORE = 770 OCCUPANTS
- E) TOTAL OCCUPANT LOAD OF GROCERY PUBLIC SPACE = 916 OCCUPANTS
- F) TOTAL OCCUPANT EXIT OF GROCERY PUBLIC SPACE = 2,310 OCCUPANTS
- G) TOTAL EMPLOYEE OCCUPANT EXIT = 195 OCCUPANTS
- H) TOTAL OCCUPANT EXIT PROVIDED = 3,275 OCCUPANTS (3,275 > 1,225)
- I) TOTAL ACCESSIBLE EXITS (PER ADA): 2 REQUIRED & 5 PROVIDED

11) TRAVEL DISTANCE

MAXIMUM TRAVEL DISTANCE: 250 FT

12) PLUMBING FIXTURE COUNTS

PER TABLE 403.1 (IPC) AND CHAPTER 29 (IBC)
TOTAL BUILDING OCCUPANT LOAD: 1,225
LOAD DISTRIBUTION: 50% MALE, 50% FEMALE
DISTRIBUTION COUNT: 613 MALE & 613 FEMALE

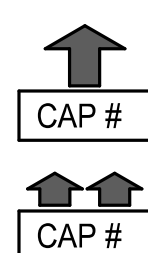
LAVATORIES REQUIRED:
MALE LAVATORIES: 1 (6 PROVIDED)
FEMALE LAVATORIES: 1 (6 PROVIDED)

WATER CLOSETS REQUIRED:
MALE WATER CLOSETS: 2 (6 PROVIDED)
FEMALE WATER CLOSETS: 2 (6 PROVIDED)
UNISEX/FAMILY WATER CLOSETS: 0 (1 PROVIDED)

PER INTERNATIONAL PLUMBING CODE (IPC) TABLE 419.2
URINALS CAN BE SUBSTITUTED UP TO 50 PERCENT OF THE REQUIRED WATER CLOSETS

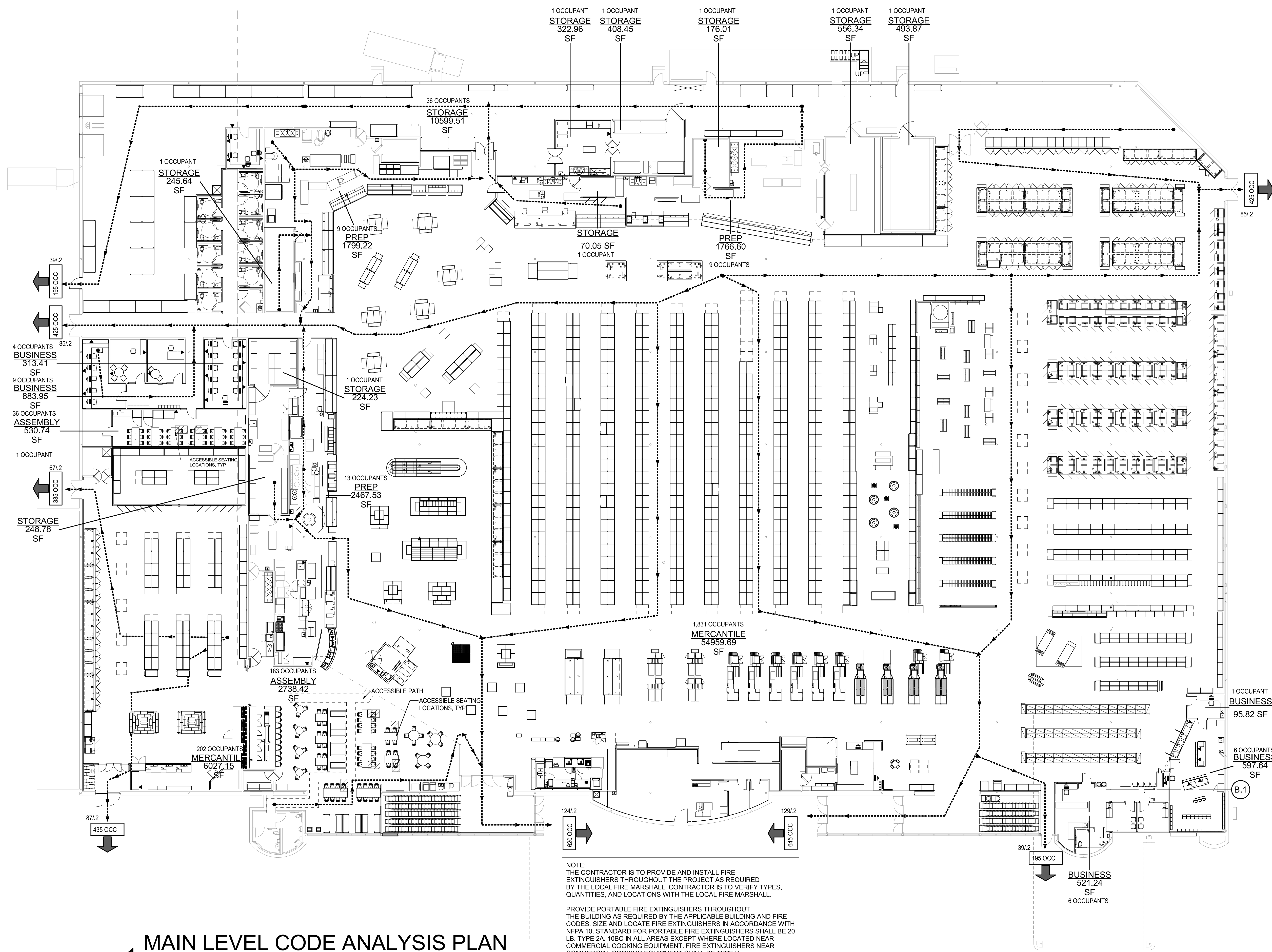
DRINKING FOUNTAINS:
 3 REQUIRED, 2 PROVIDED (HI-LOW) + WATER AT SEATING AREA

CODE KEY PLAN



POINT OF EGRESS AND EGRESS CAPACITY

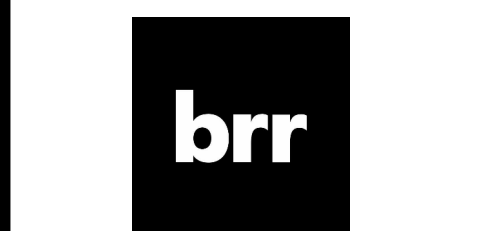
HORIZONTAL EXIT AND EGRESS CAPACITY



NOTE:
 THE CONTRACTOR IS TO PROVIDE AND INSTALL FIRE EXTINGUISHERS THROUGHOUT THE PROJECT AS REQUIRED BY THE LOCAL FIRE MARSHALL. CONTRACTOR IS TO VERIFY TYPES, QUANTITIES, AND LOCATIONS WITH THE LOCAL FIRE MARSHALL.
 PROVIDE PORTABLE FIRE EXTINGUISHERS THROUGHOUT THE BUILDING AS REQUIRED BY THE APPLICABLE BUILDING AND FIRE CODES. SIZE AND LOCATE FIRE EXTINGUISHERS IN ACCORDANCE WITH NFPA 10. STANDARD FOR PORTABLE FIRE EXTINGUISHERS SHALL BE 20 LB. TYPE 2A, 10BC IN ALL AREAS EXCEPT WHERE LOCATED NEAR COMMERCIAL COOKING EQUIPMENT. FIRE EXTINGUISHERS NEAR COMMERCIAL COOKING EQUIPMENT SHALL BE TYPE K.

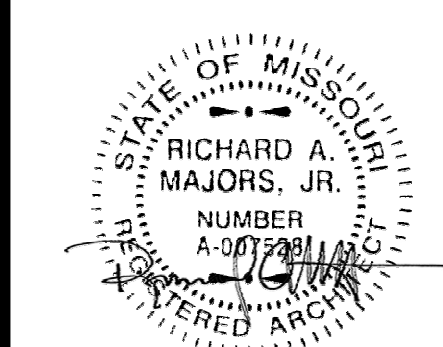
1 MAIN LEVEL CODE ANALYSIS PLAN

SCALE: 1/16" = 1'-0"



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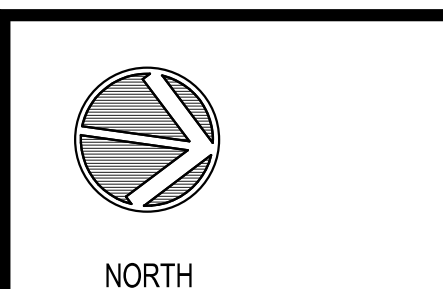
PROFESSIONAL SEAL



Richard A. Majors, Jr.
 Architect
 Missouri License No. A-007538

LOCATION
LEE'S SUMMIT, MO #2

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 FAX: (515) 281-2838

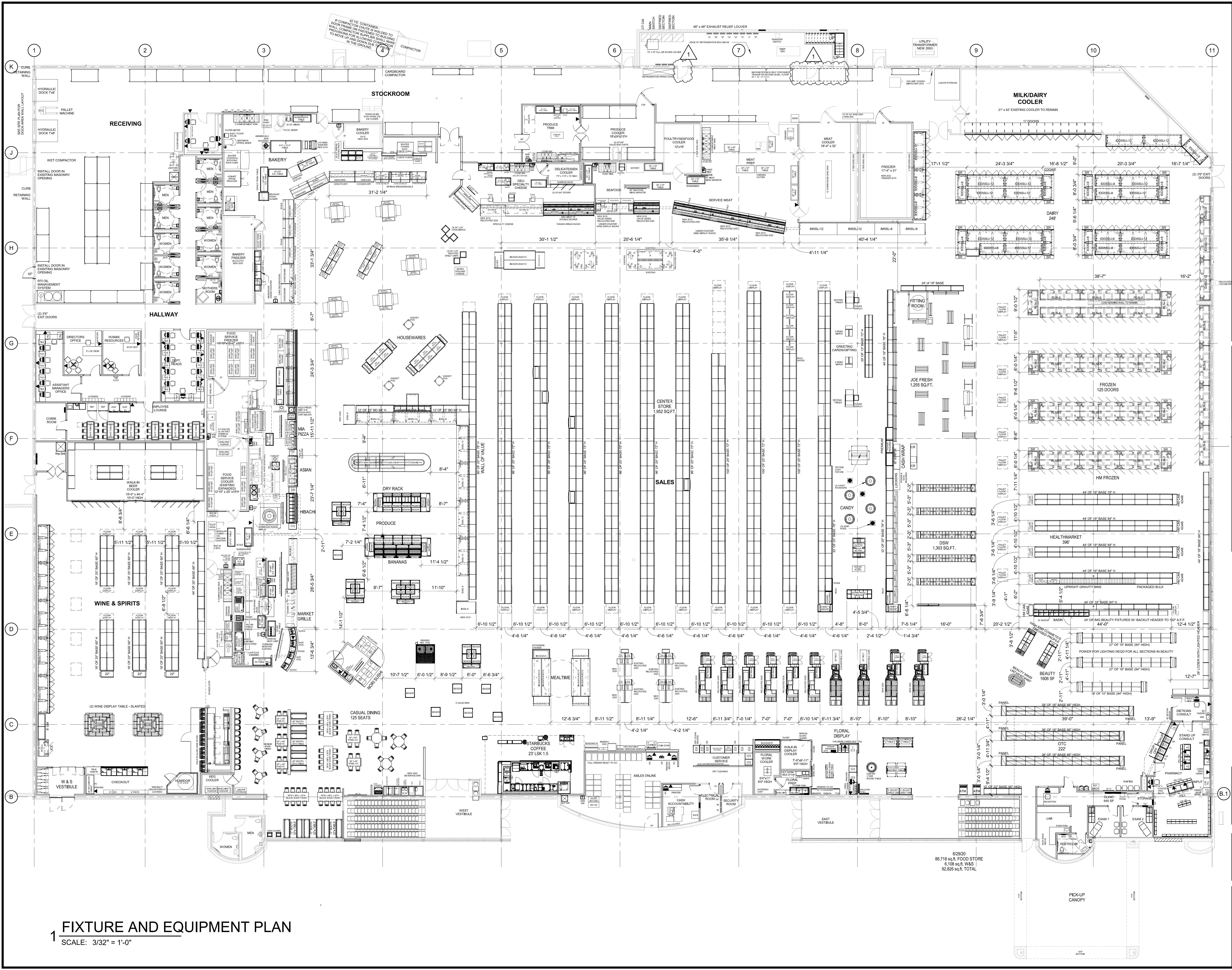


CODE ANALYSIS PLAN

PROJECT MANAGER: SB
 CHECKED BY: JPS
 DRAWN BY: AP
 DATE: 10/20/2020
 SCALE: AS INDICATED
 JOB NUMBER: 62930547

SHEET:

GO.0



1 FIXTURE AND EQUIPMENT PLAN
SCALE: 3/32" = 1'-0"



Architect of Record:
BRR Architecture, Inc.
Kansas City, MO 64111
8131 Metcalf Avenue
Suite 300
Overland Park, KS 66204
Tel: 913-262-9095
Fax: 913-262-9044

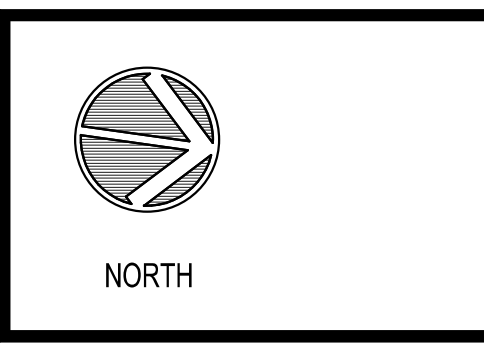
PROFESSIONAL SEAL
STATE OF MISSOURI
RICHARD A. MAJORS, JR.
ARCHITECT
NUMBER A-072811
EXPIRES 12/31/2021

11/13/20
Richard A. Majors, Jr.
Architect
Missouri License No. A-007328

LOCATION
LEE'S SUMMIT, MO #2

HY-VEE INC.
5820 WESTOWN PARKWAY
WEST DES MOINES, IOWA 50386
TEL: (515) 281-2600
FAX: (515) 281-2636

Hy-Vee
EMPLOYEE OWNED

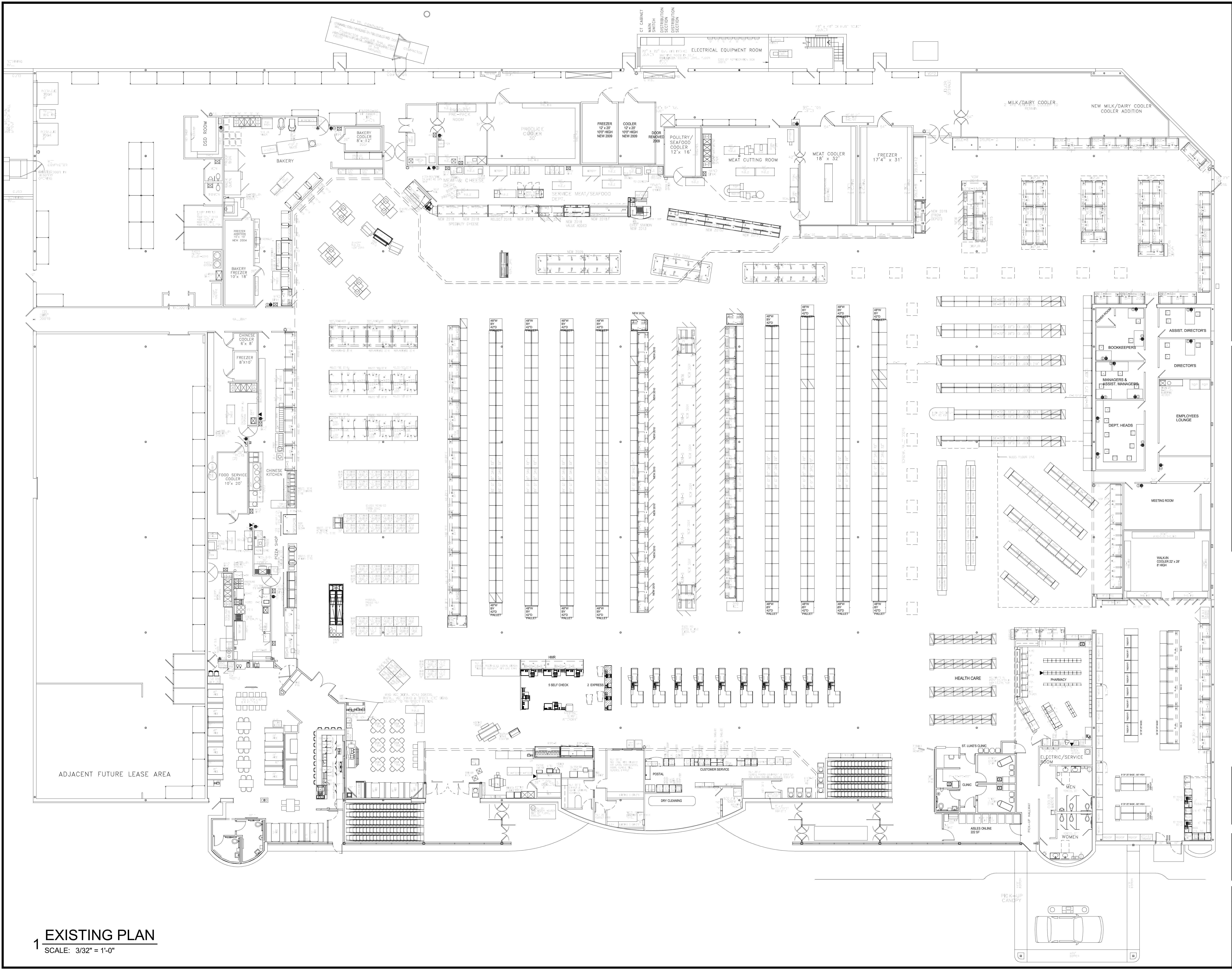


FIXTURE & EQUIPMENT PLAN

PROJECT MANAGER	CHECKED BY
SB	JPS
DRAWN BY:	DATE:
AD	10/20/2020
SCALE:	JOB NUMBER:
3/32" = 1'-0"	62930547
SHEET:	

A0.0

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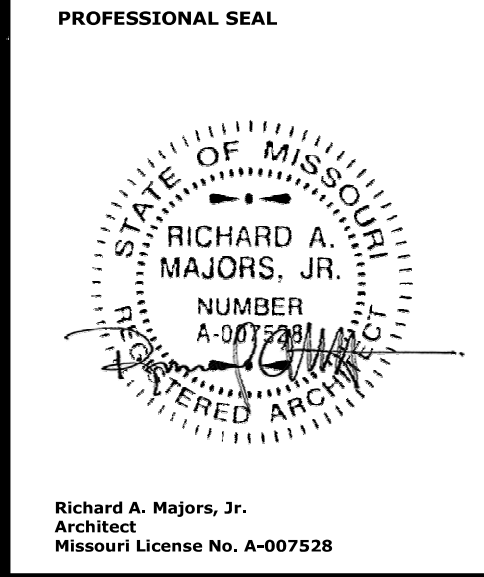


1 EXISTING PLAN
SCALE: 3/32" = 1'-0"

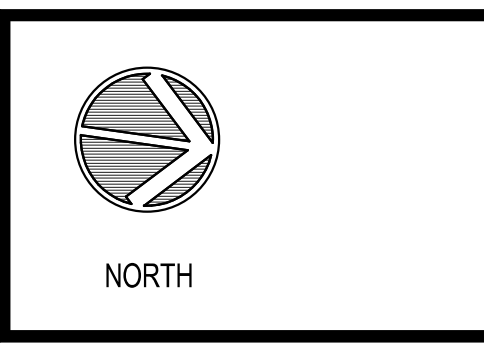
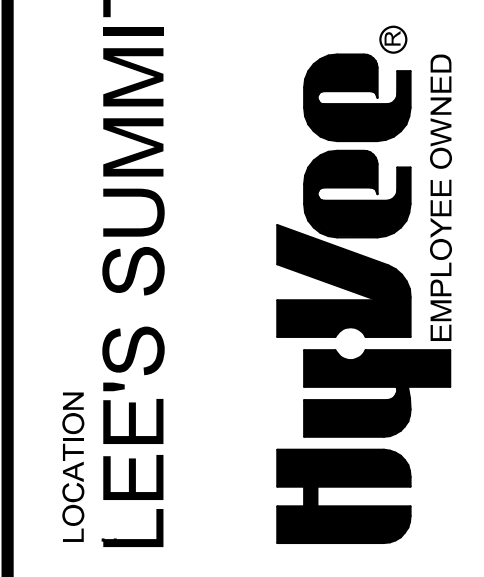
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Architect of Record:
BRR Architecture, Inc.
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Phoenix Suite 300
San Francisco Overland Park, KS 66204
Indianapolis
Atlanta Tel: 913-262-9095
Austin
Los Angeles
Chicago Fax: 913-262-9044



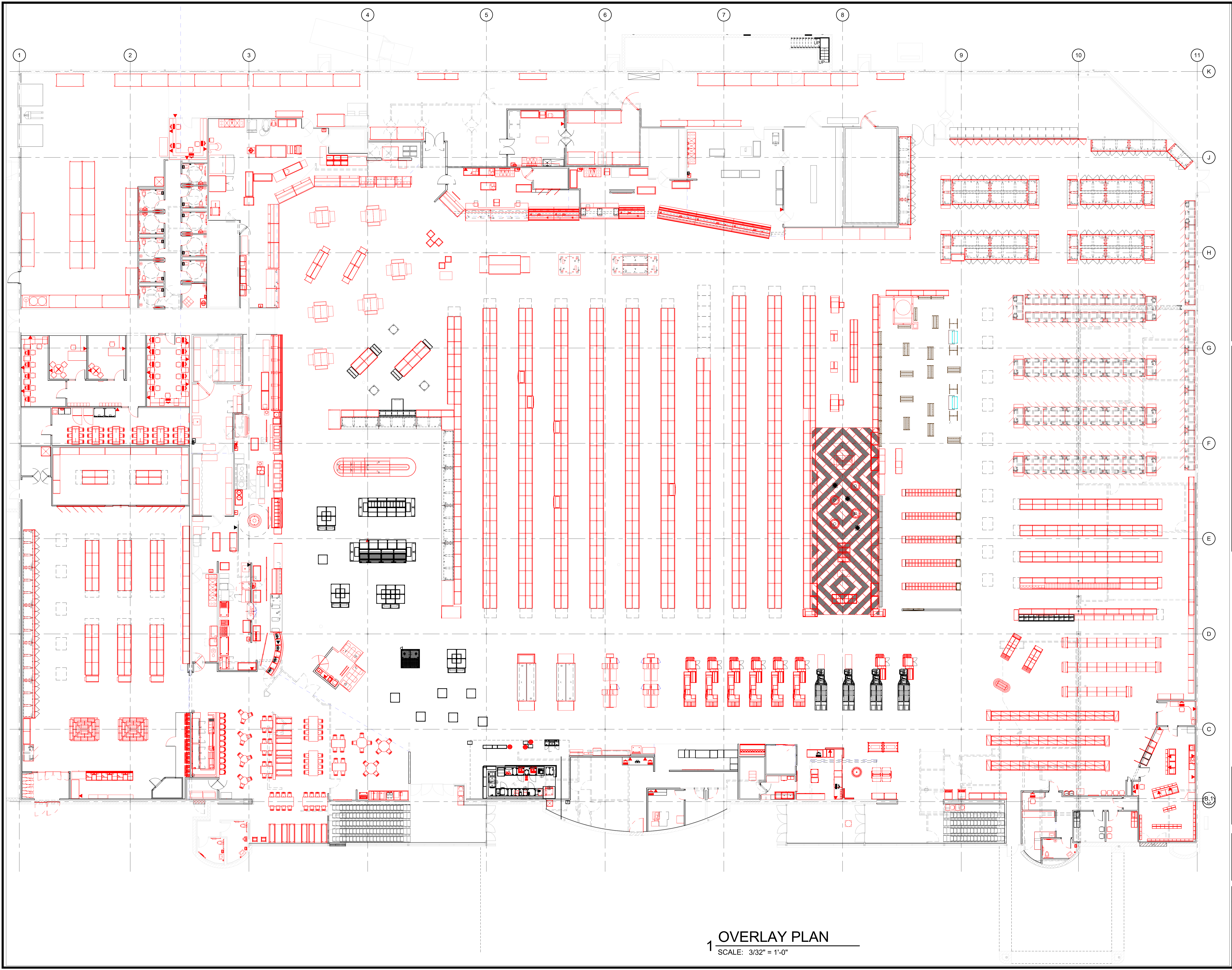
LOCATION
LEE'S SUMMIT, MO #2
HY-VEE, INC.
5820 WESTTOWN PARKWAY
WEST DES MOINES, IOWA 50386
TEL (515) 281-2800
FAX (515) 281-2835
EMPLOYEE OWNED



EXISTING FIXTURE & EQUIPMENT PLAN

PROJECT MANAGER	CHECKED BY
SB	JPS
DRAWN BY	DATE
SL	10/20/2020
SCALE	JOB NUMBER
3/32" = 1'-0"	62930547

SHEET
A0.2

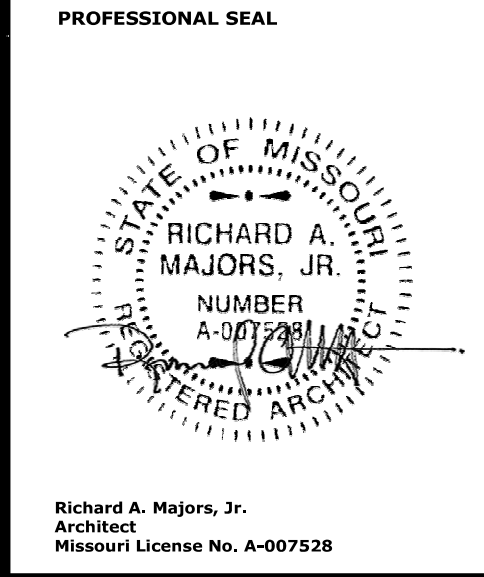


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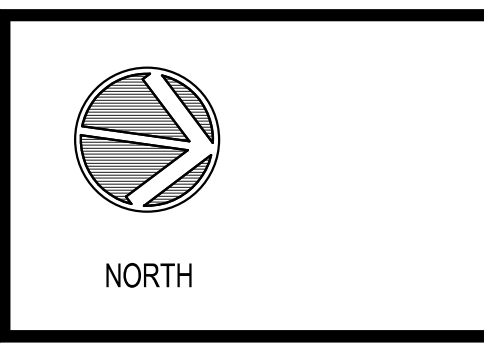
1 OVERLAY PLAN
 SCALE: 3/32" = 1'-0"



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 San Francisco Overland Park, KS 66204
 Indianapolis
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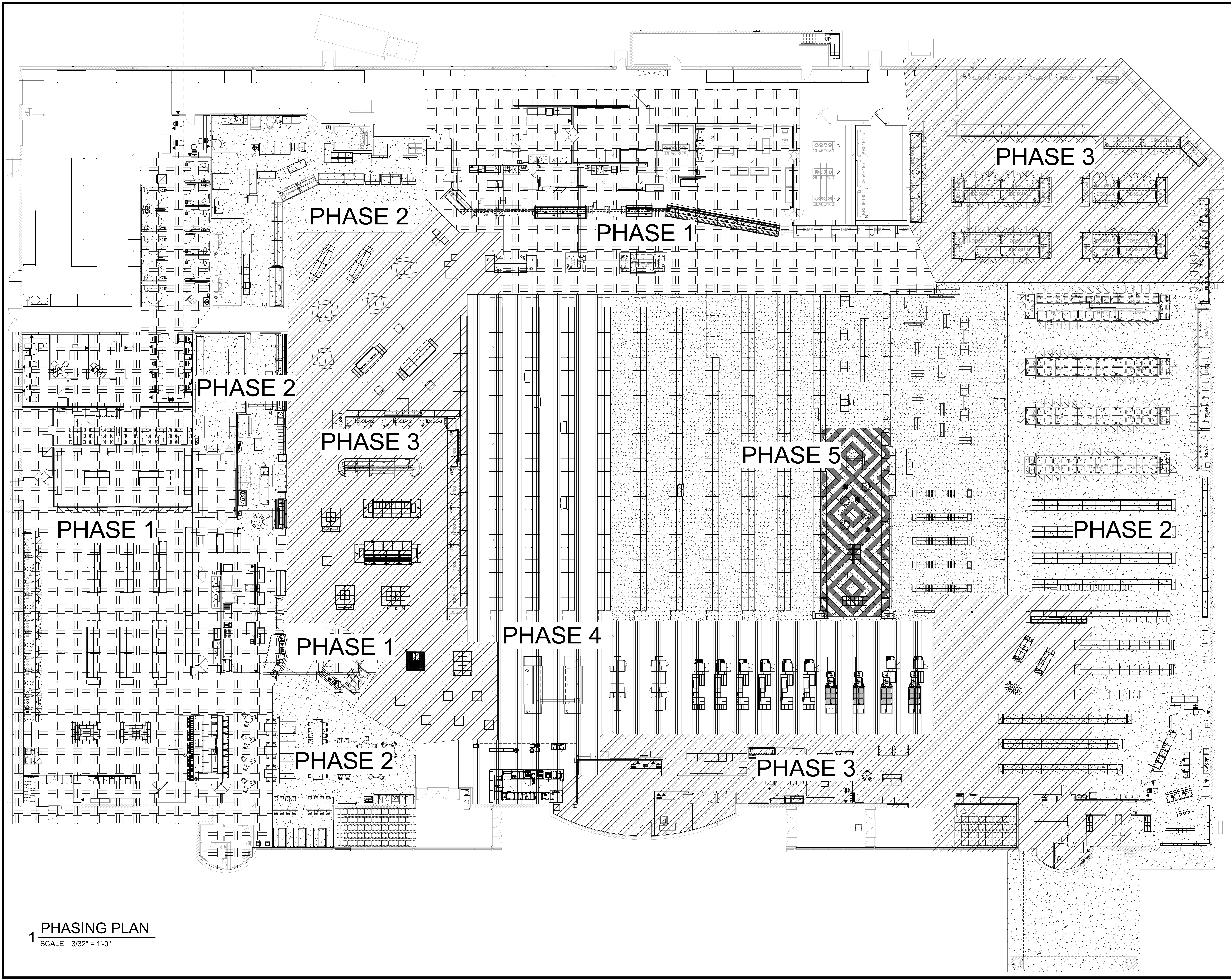
LOCATION
LEE'S SUMMIT, MO #2
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 WEST DES MOINES, IOWA 50386
 PHONE (515) 281-2800
 FAX (515) 281-2835
HyVee
 EMPLOYEE OWNED



OVERLAY PLAN

PROJECT MANAGER SB	CHECKED BY JPS
DRAWN BY AO	DATE 10/20/2020
SCALE 3/32" = 1'-0"	JOB NUMBER 62930547

SHEET
A0.3

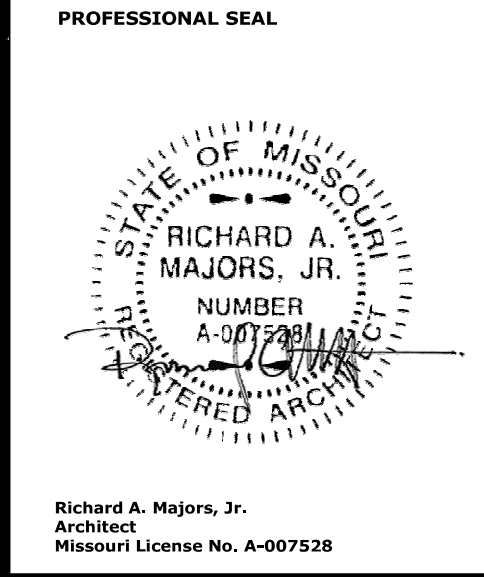


1 PHASING PLAN
SCALE: 3/32" = 1'-0"

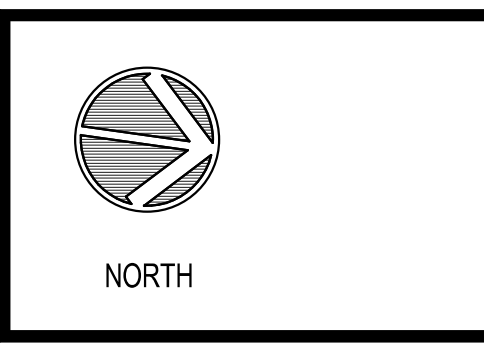
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Architect of Record:
BRR Architecture, Inc.
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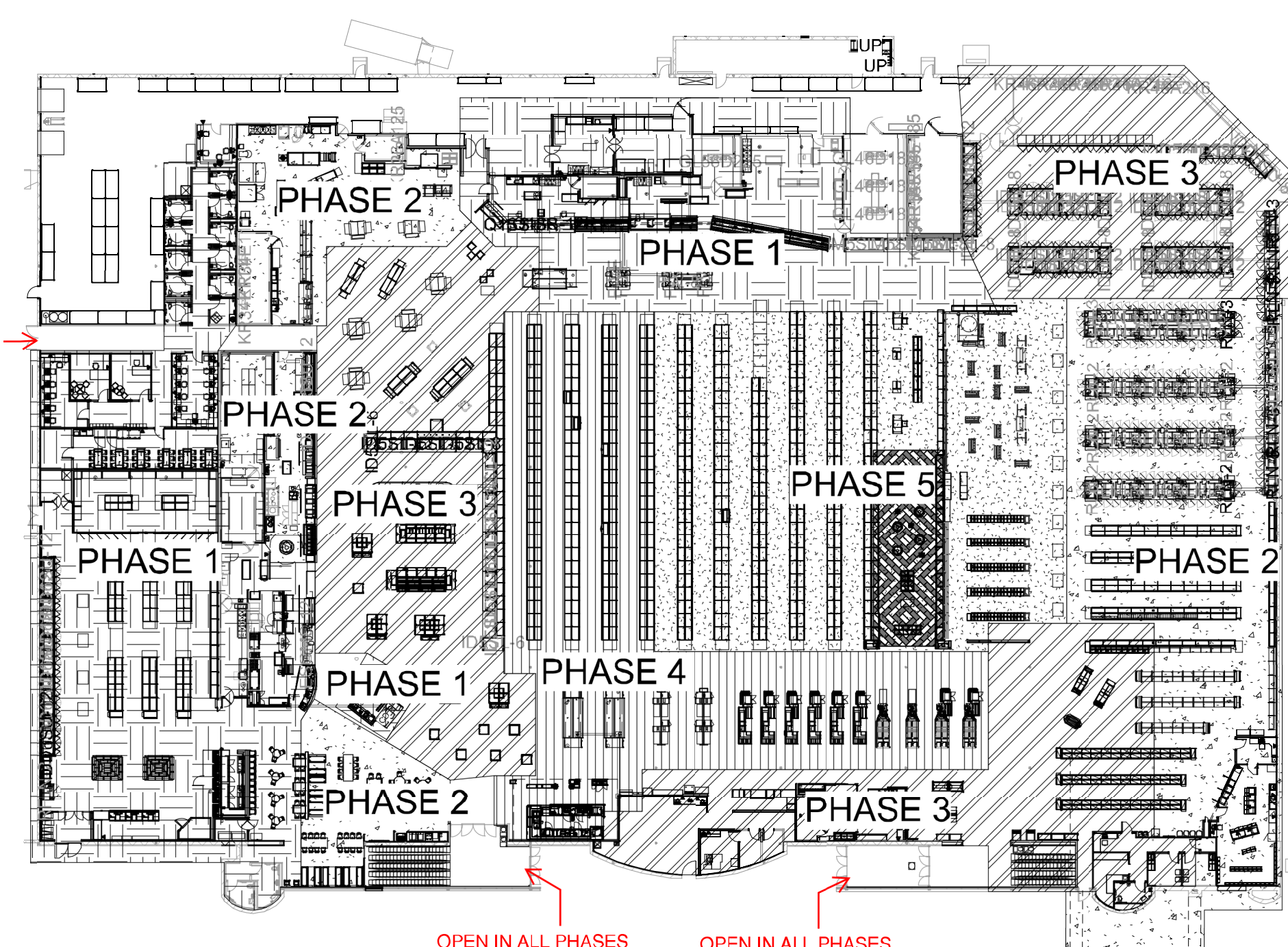
LOCATION
LEE'S SUMMIT, MO #2
HY-VEE, INC.
5820 WESTTOWN PARKWAY
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EMPLOYEE OWNED



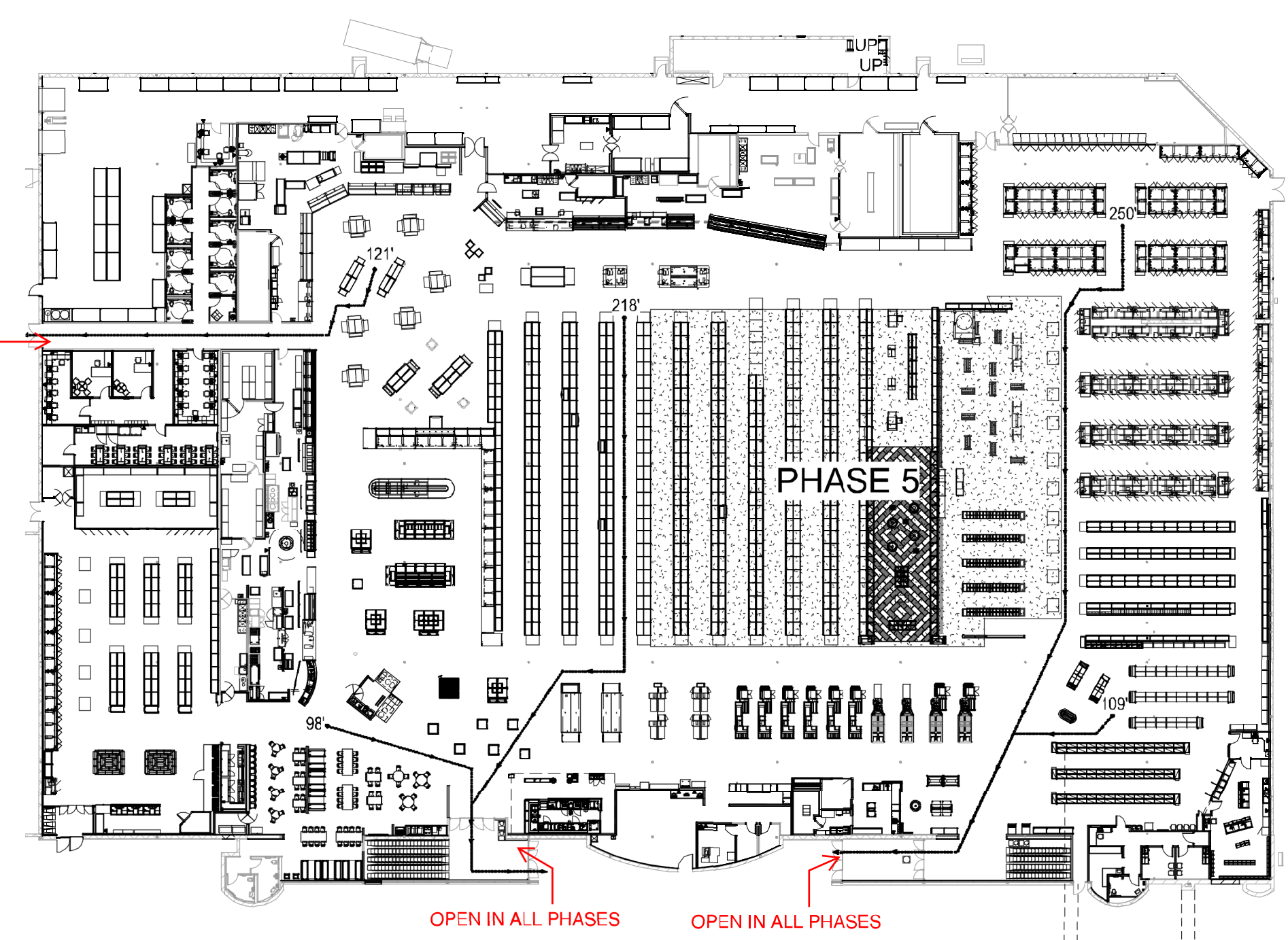
PHASING PLAN

PROJECT MANAGER	CHECKED BY
SB	JPS
DRAWN BY	DATE
AP	10/20/2020
SCALE	JOB NUMBER
3/32" = 1'-0"	62930547

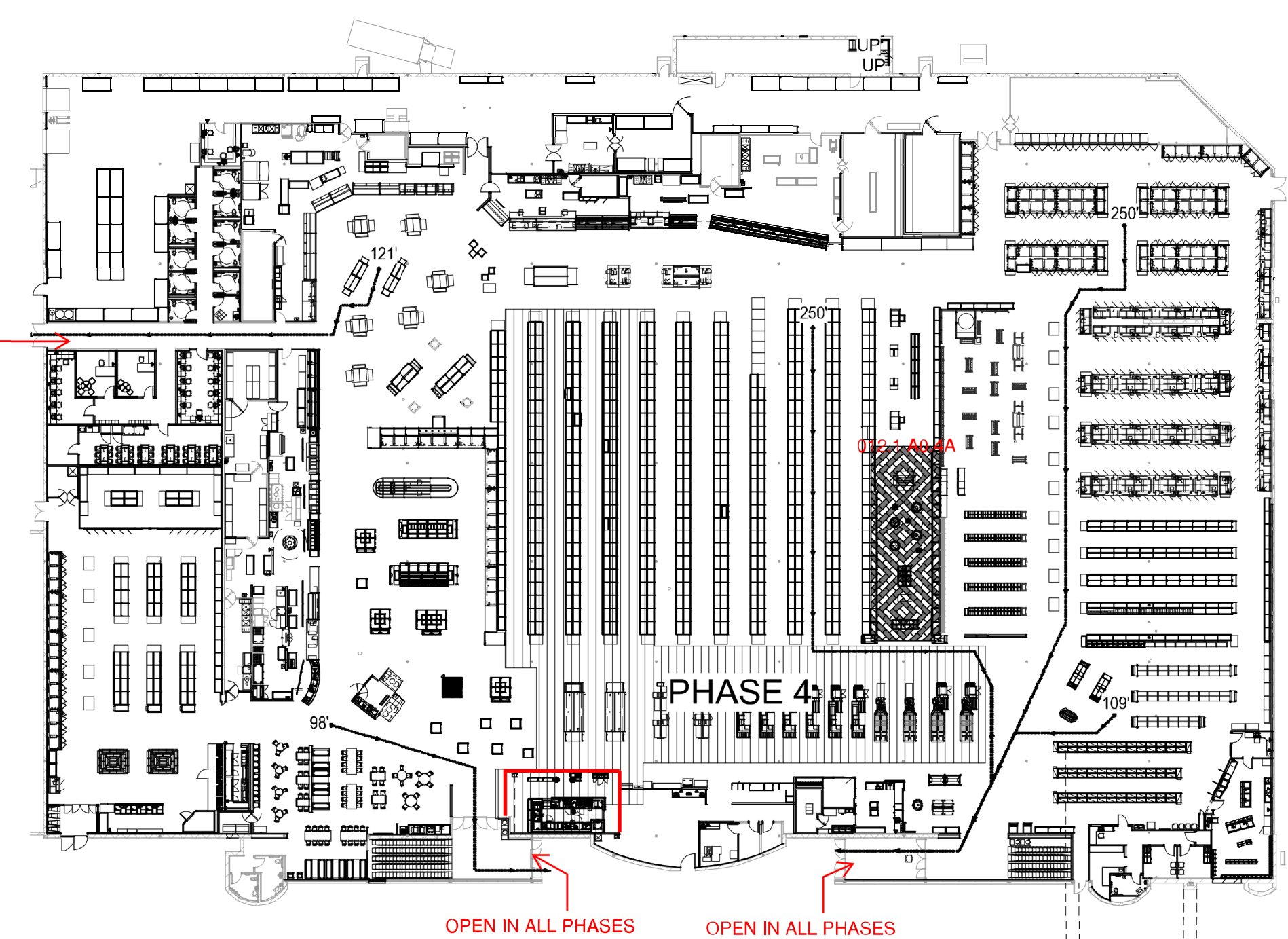
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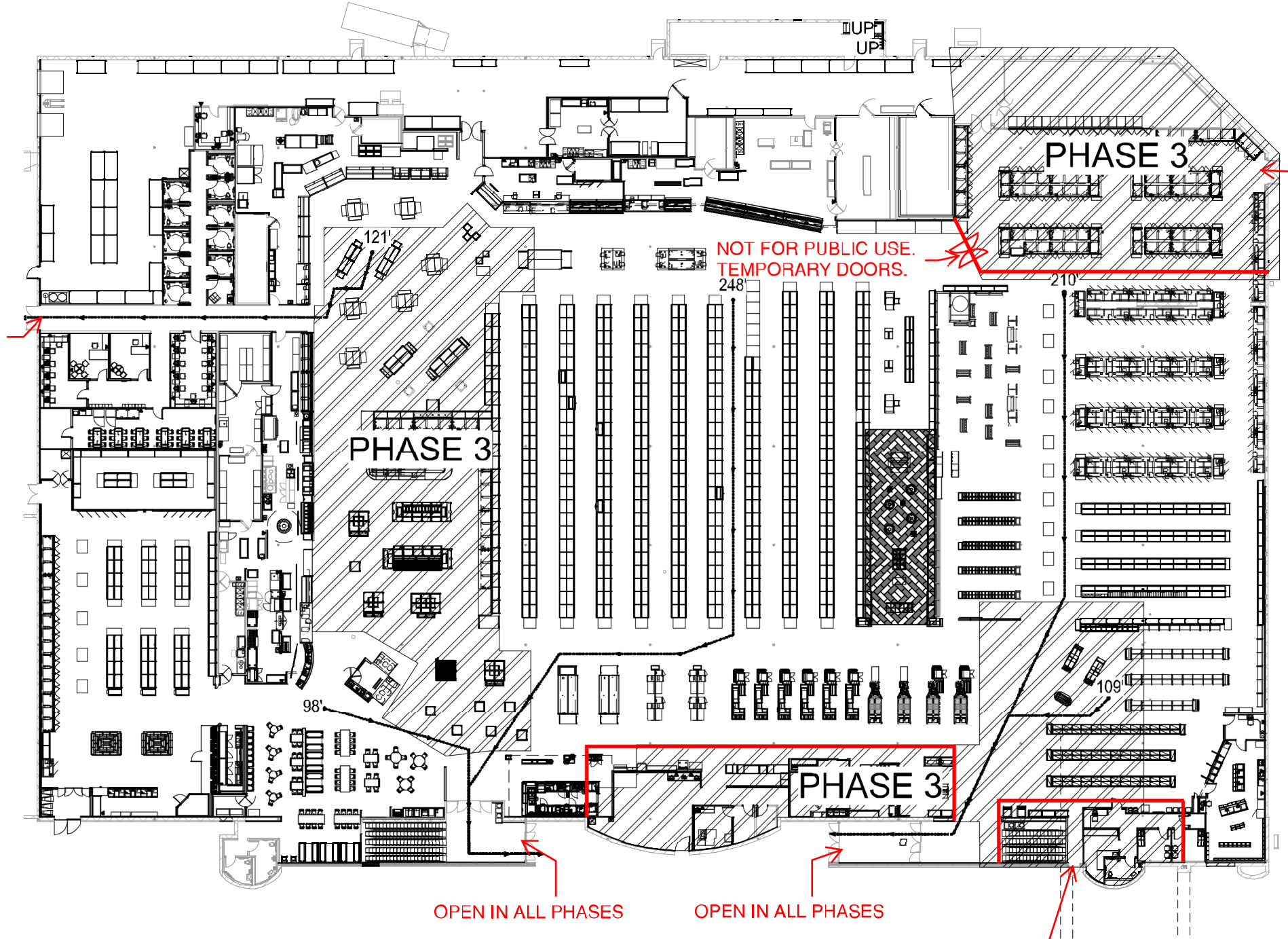
6 ALL PHASES
 SCALE: 1" = 40'-0"



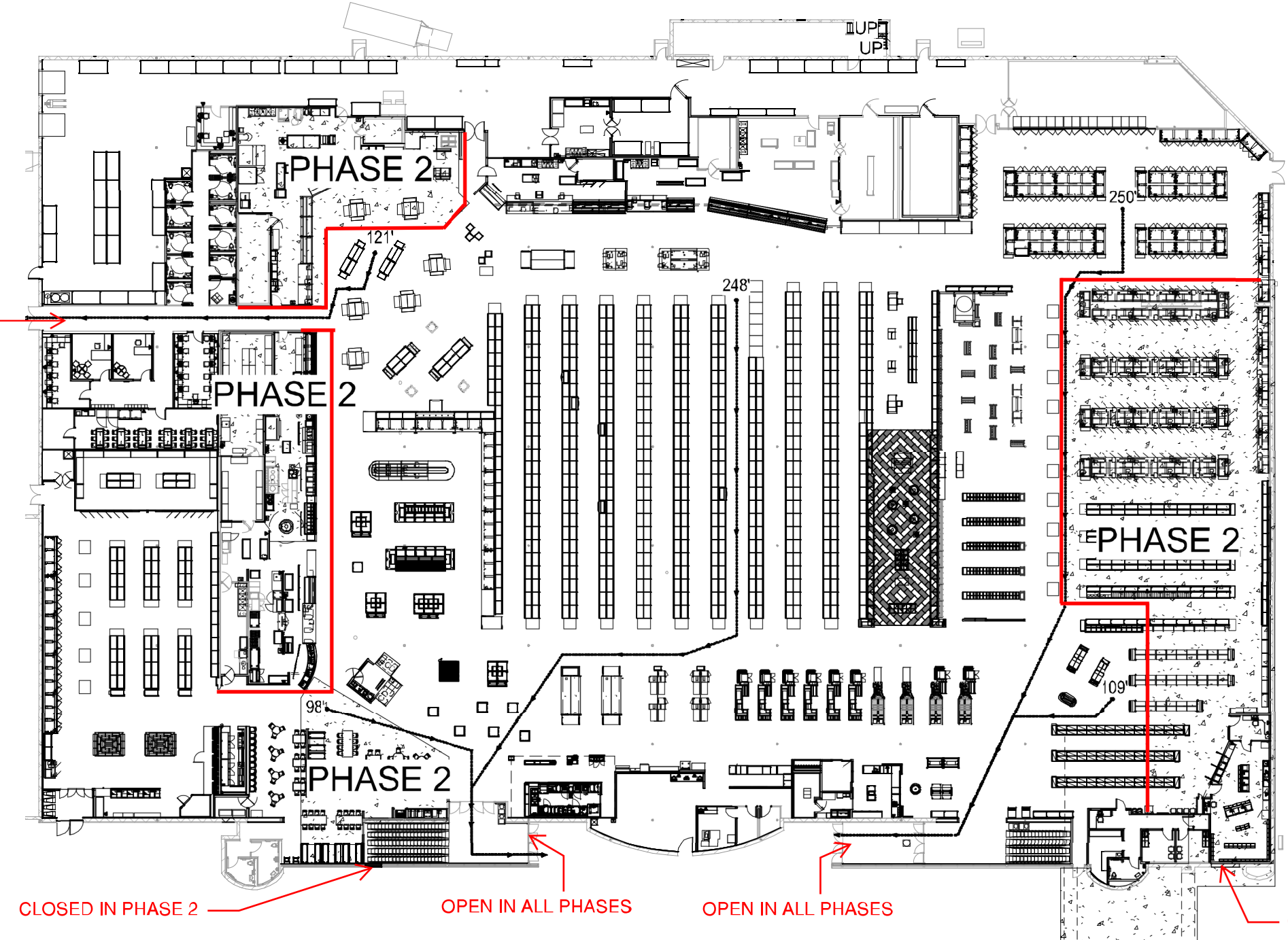
5 PHASE 5
 SCALE: 1" = 40'-0"
 Phase 5 Construction:
 55 days
 10/14/2021 - 12/31/2021
 — = Temporary walls



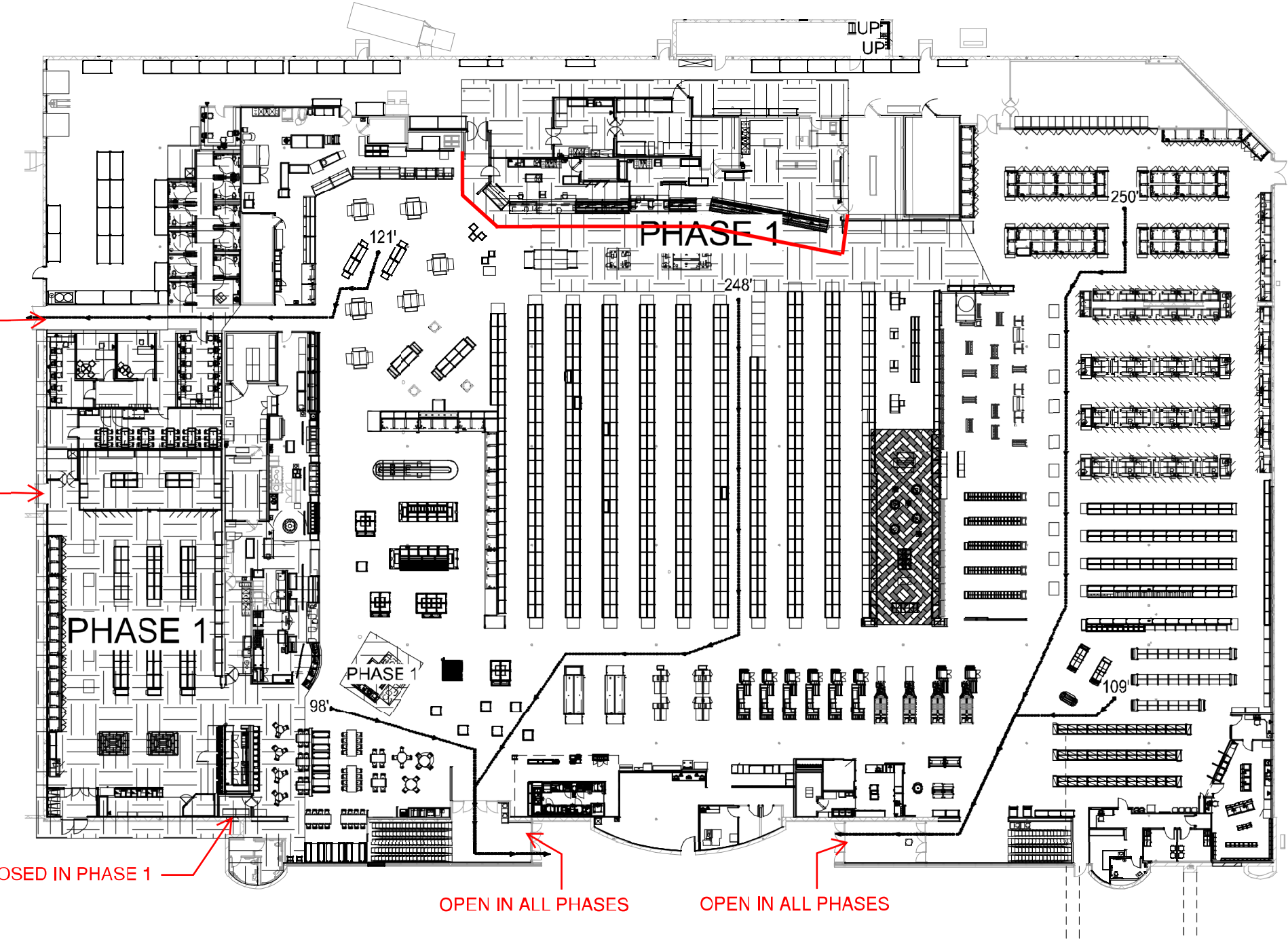
4 PHASE 4
 SCALE: 1" = 40'-0"
 Phase 4 Construction:
 40 days
 09/14/2021 - 11/08/2021
 — = Temporary walls



3 PHASE 3
 SCALE: 1" = 40'-0"
 Phase 3 Construction:
 77 days
 07/29/2021 - 11/15/2021
 — = Temporary walls
 THIS DOOR WILL BE BLOCKED DURING PHASE 3 CONSTRUCTION



2 PHASE 2
 SCALE: 1" = 40'-0"
 Phase 2 Construction:
 122 days
 03/26/2021 - 09/15/2021
 — = Temporary walls



1 PHASE 1
 SCALE: 1" = 40'-0"
 Phase 1 Construction:
 101 days
 01/14/2021 - 05/26/2021
 — = Temporary Walls

brr
 Architect of Record: Rich A. Majors
 BRR Architecture, Inc.
 Kansas City 8131 Metcalf Ave
 Overland Park, KS 66204
 Phone: 913-262-9095
 Fax: 913-262-9044
 Richard A. Majors, Jr.
 State of Missouri
 Professional Seal
 Number: A-072811
 11/13/20

LOCATION: **LEE'S SUMMIT, MO #2**
 HY-VEE INC.
 5820 WESTOWN PARKWAY
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 TELEPHONE: (515) 267-2800
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HyVee
 EMPLOYEE OWNED



PHASING

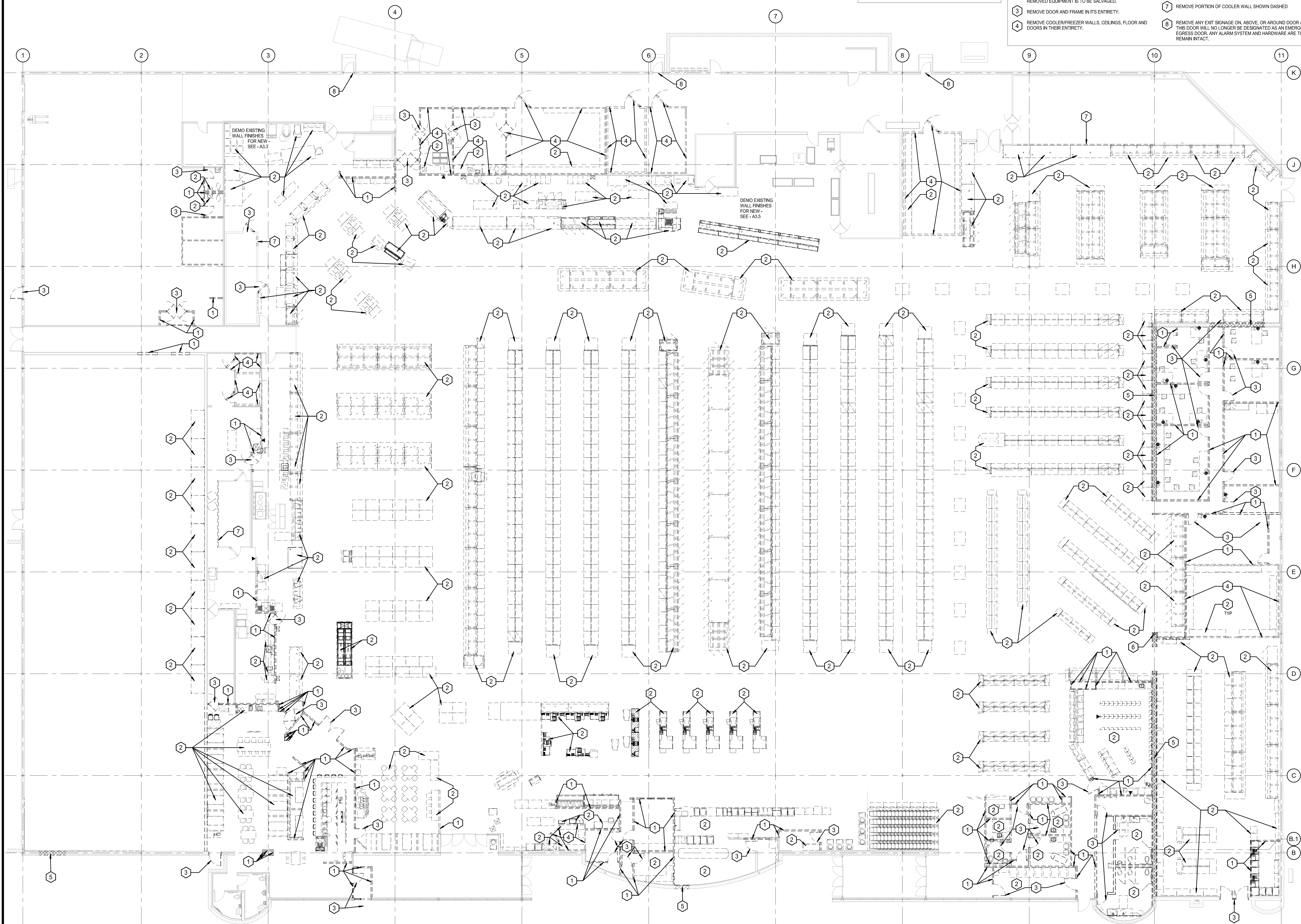
PROJECT MANAGER	SB	CHECKED BY	JPS
DRAWN BY	ADP	DATE	10/20/2020
SCALE	1" = 40'-0"	JOB NUMBER	62932547

SHEET: **A0.4a**

NOTE: WHERE JUST A PORTION OF A COOLER/FREEZER BOX OR COOLER/FREEZER BOX DOOR IS TO BE REMOVED, THE PARTIAL REMOVAL AND BOTH THE TEMPORARY AND PERMANENT SUPPORT OF THE EXISTING COOLER/FREEZER BOX CEILING ABOVE IS TO BE BY THE REFRIGERATION CONTRACTOR.

DEMOLITION NOTES

- 1 REMOVE WALL IN ITS ENTIRETY. PATCH/REPAIR EXISTING ADJACENT SURFACES TO RECEIVE NEW FINISHES.
- 2 REMOVE FIXTURE IN ITS ENTIRETY. CAP ALL ABANDONED UTILITIES. CONTRACTOR TO VERIFY WITH HY-VEE IF REMOVED EQUIPMENT IS TO BE SALVAGED.
- 3 REMOVE DOOR AND FRAME IN ITS ENTIRETY.
- 4 REMOVE COOLER/FREEZER WALLS, CEILINGS, FLOOR AND DOORS IN THEIR ENTIRETY.
- 5 REMOVE PORTION OF CMU WALL, REF STRUC
- 6 REMOVE COLUMN, REF STRUC
- 7 REMOVE PORTION OF COOLER WALL SHOWN DASHED
- 8 REMOVE ANY EXIT SIGNAGE ON, ABOVE, OR AROUND DOOR AS THIS DOOR WILL NO LONGER BE DESIGNATED AS AN EMERGENCY EGRESS DOOR. ANY ALARM SYSTEM AND HARDWARE ARE TO REMAIN INTACT.

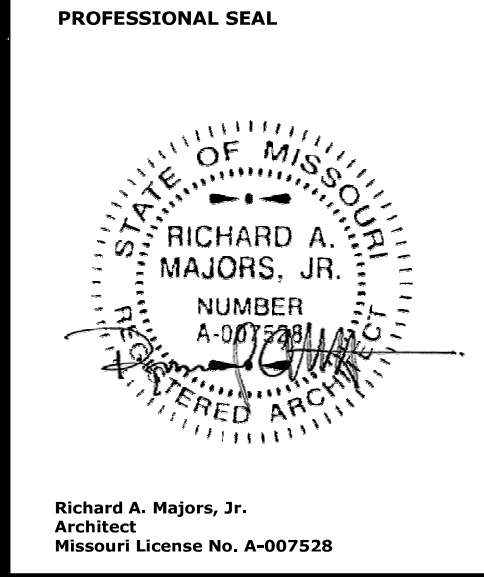


1 DEMOLITION PLAN
 SCALE: 3/32" = 1'-0"

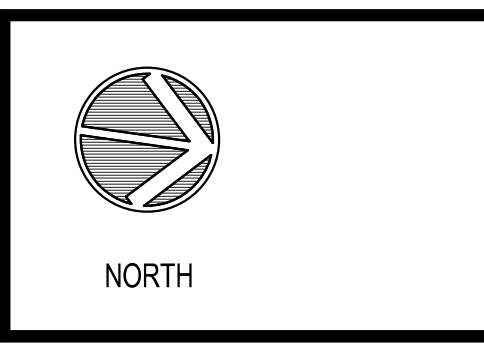
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Architect of Record:
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LOCATION
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HyVee
 EMPLOYEE OWNED

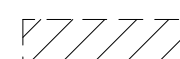







ARCHITECTURAL
 DEMOLITION PLAN

PROJECT MANAGER: SB
 CHECKED BY: JPS
 DRAWN BY: DATE: 10/20/2020
 SCALE: JOB NUMBER: 62930547
 As indicated

SHEET:
AD1.0

DEMOLITION LEGEND

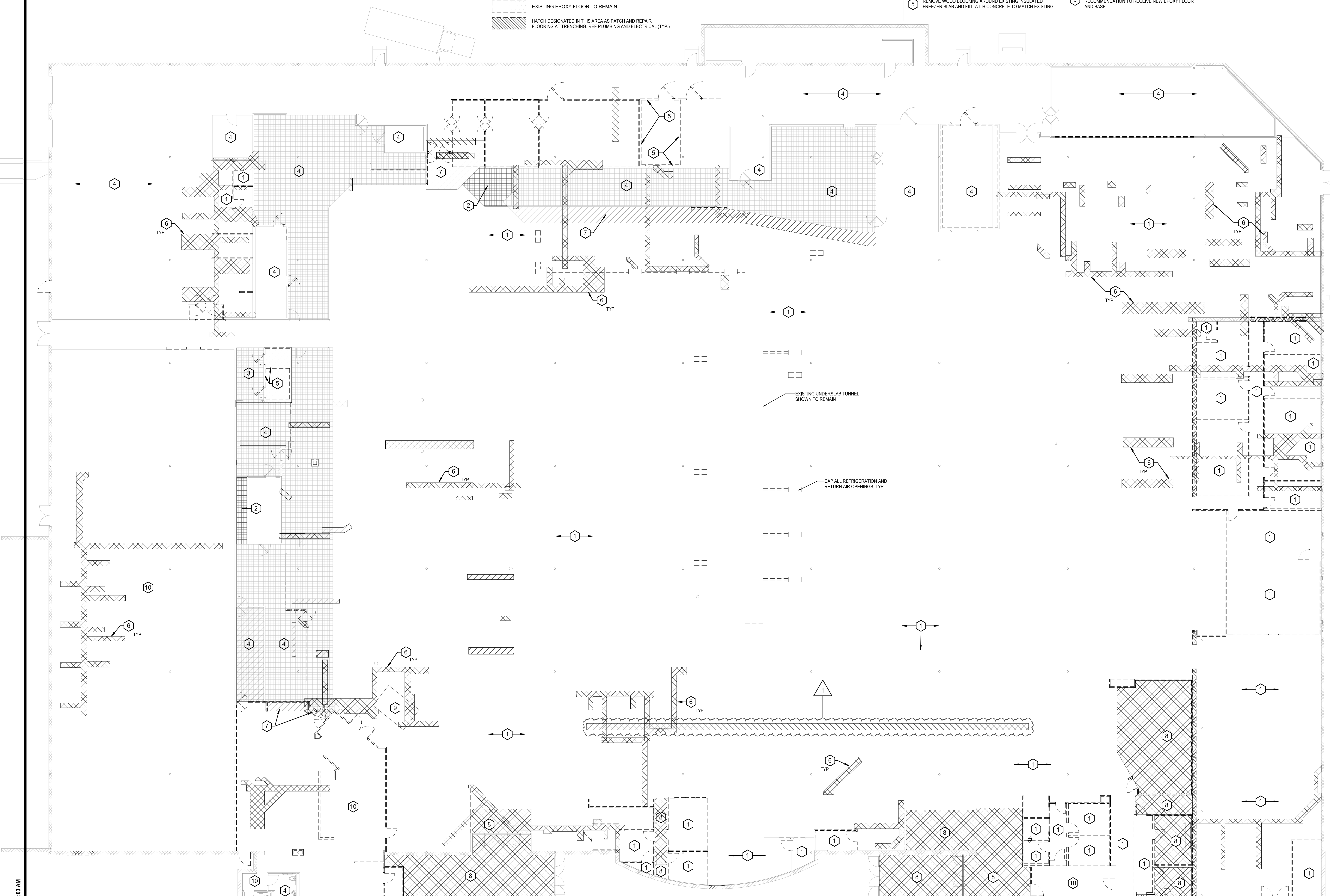
-  CONCRETE SLAB DEMOLITION
-  EXISTING FLOOR SLAB TO BE REMOVED FOR INSTALLATION OF UNDERSLAB UTILITIES
-  EXISTING QUARRY TILE FLOOR TO BE REMOVED
-  EXISTING QUARRY TILE FLOOR TO REMAIN
-  EXISTING EPOXY FLOOR TO REMAIN
-  HATCH DESIGNATED IN THIS AREA AS PATCH AND REPAIR FLOORING AT TRENCHING, REF PLUMBING AND ELECTRICAL (TYP.)

GENERAL NOTES

1. CONCRETE REMOVAL AREAS INDICATED FOR NEW UNDERSLAB UTILITY WORK ARE APPROXIMATE LOCATIONS. GENERAL CONTRACTOR AND REFRIGERATION CONTRACTORS ARE TO FIELD VERIFY EXISTING UNDERSLAB UTILITIES TO DETERMINE FINAL ROUTING OF NEW UNDERSLAB UTILITIES SO AS NOT TO CONFLICT WITH EXISTING UTILITIES TO REMAIN.
2. WHERE CONCRETE/FLOORING WORK IS REQUIRED AT EXISTING FLOORS THAT HAVE TILE, REMOVE PARTIAL TILES AROUND WORK AREA AS NEEDED SO THAT ONLY FULL TILES ARE USED TO FILL IN TO MATCH EXISTING.

DEMOLITION NOTES

- 1 REMOVE ALL EXISTING FLOOR FINISH IN ROOM & PATCH AND REPAIR FLOOR FOR NEW FINISH.
- 2 REMOVE ALL EXISTING QUARRY TILE IN AREA/ROOM & PREP AREA FOR NEW EPOXY SELF LEVELING INFILL AT DEPRESSED CONCRETE AREA TO MATCH FINISHED FLOOR HEIGHT OF SALES FLOOR.
- 3 REMOVE EXISTING CONCRETE SLAB AS NEEDED IN HATCHED AREA. PREP AREA FOR NEW INSULATED FREEZER SLAB.
- 4 EXISTING FINISHED FLOOR TO REMAIN. UNDO.
- 5 REMOVE WOOD BLOCKING AROUND EXISTING INSULATED FREEZER SLAB AND FILL WITH CONCRETE TO MATCH EXISTING.
- 6 REMOVE EXISTING CONCRETE SLAB AS NEEDED IN HATCHED AREA FOR INSTALLATION OF NEW UNDERSLAB UTILITIES.
- 7 REMOVE EXISTING FLOOR SLAB IN AREA INDICATED AND REPLACE WITH NEW FLOOR SLAB RECESSED 3/4" FOR INSTALLATION OF NEW QUARRY TILE. REF STRUCTURAL FOR REINFORCING REQUIRED AT JOINT BETWEEN OLD AND NEW FLOOR SLABS.
- 8 REMOVE EXISTING FLOOR FINISH AND BASE.
- 9 PREPARE FLOOR PER MANUFACTURERS RECOMMENDATION TO RECEIVE NEW EPOXY FLOOR AND BASE.
- 10 PREP EXISTING CONCRETE FLOOR FOR NEW FINISHES UNDERSLAB UTILITIES.



1 DEMO SLAB PLAN
 SCALE: 3/32" = 1'-0"

brr
 Architect of Record:
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 Phoenix Suite 300
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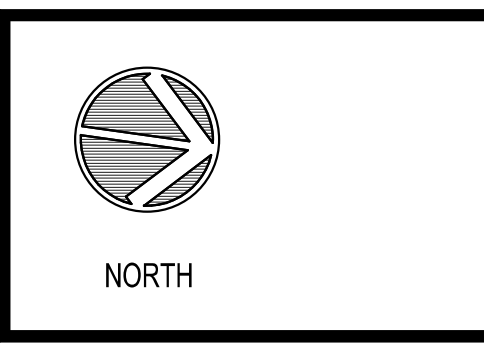
PROFESSIONAL SEAL
 STATE OF MISSOURI
 RICHARD A. MAJORS, JR.
 ARCHITECT
 NUMBER 4-107283
 EXPIRES 12/31/2021

Richard A. Majors, Jr.
 Architect
 Missouri License No. 00897328

LOCATION
LEE'S SUMMIT, MO #2

HY-VEE, INC.
 5820 WESTOWN PARKWAY
 WEST DES MOINES, IOWA 50386
 TEL: (515) 281-2800
 FAX: (515) 281-2838

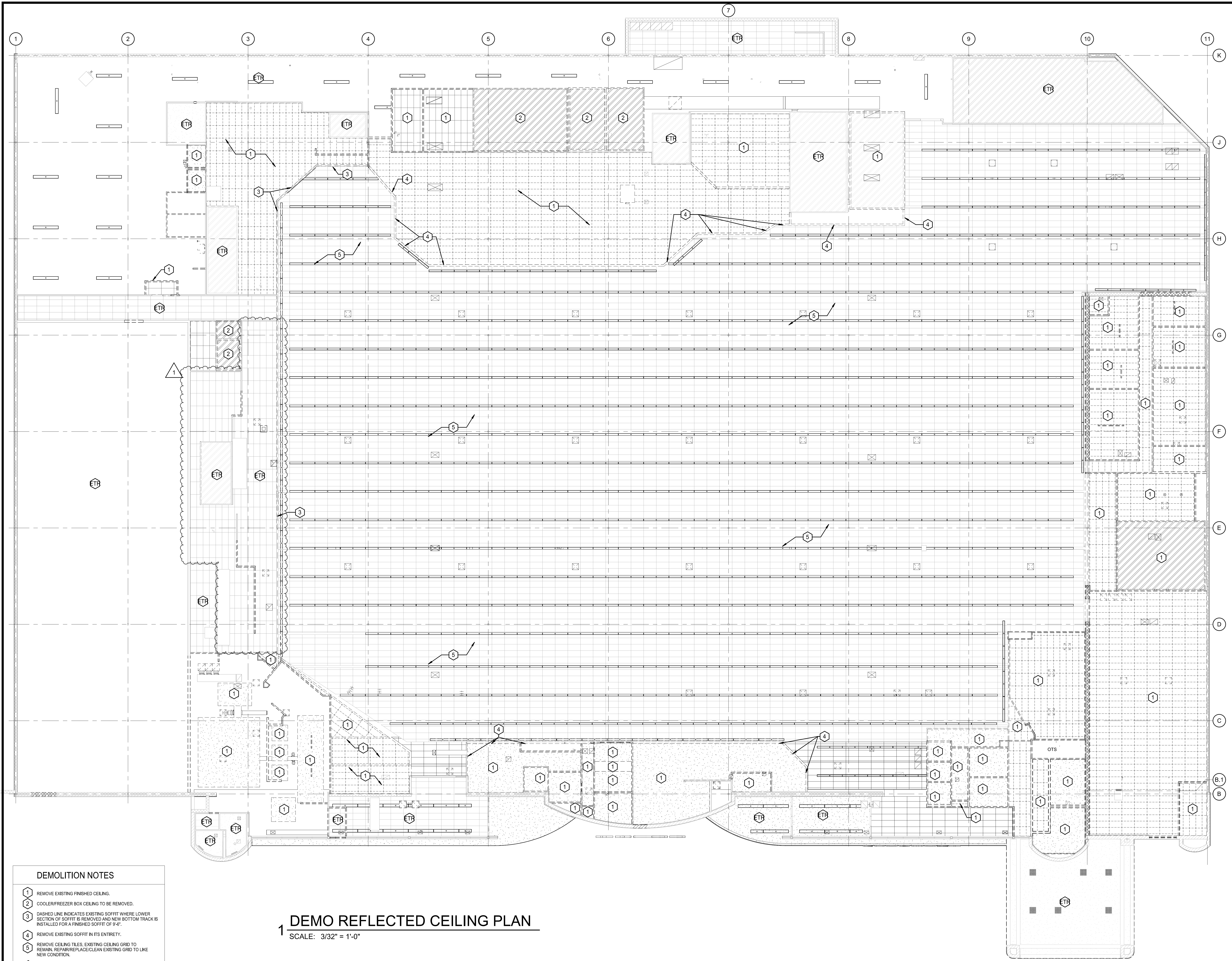
HyVee
 EMPLOYEE OWNED



DEMOLITION SLAB AND FLOOR FINISH PLAN

PROJECT MANAGER SB	CHECKED BY JPS
DRAWN BY: As indicated	DATE: 10/20/2020
SCALE: As indicated	JOB NUMBER: 62930547
SHEET:	

AD2.0



DEMOLITION NOTES

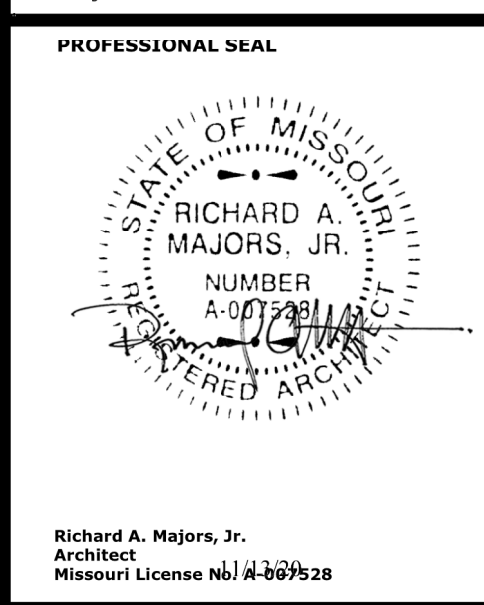
- 1 REMOVE EXISTING FINISHED CEILING.
- 2 COOLER/FREEZER BOX CEILING TO BE REMOVED.
- 3 DASHED LINE INDICATES EXISTING SOFFIT WHERE LOWER SECTION OF SOFFIT IS REMOVED AND NEW BOTTOM TRACK IS INSTALLED FOR A FINISHED SOFFIT OF 9'-6".
- 4 REMOVE EXISTING SOFFIT IN ITS ENTIRETY.
- 5 REMOVE CEILING TILES. EXISTING CEILING GRID TO REMAIN. REPAIR/REPLACE/CLEAN EXISTING GRID TO LIKE NEW CONDITION.
- ETR EXISTING TO REMAIN

1 DEMO REFLECTED CEILING PLAN
 SCALE: 3/32" = 1'-0"

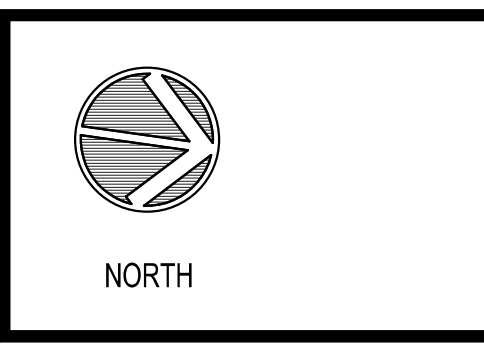
11/12/2020 11:32:08 AM



Architect of Record:
BRR Architecture, Inc.
 Kansas City 8131 Metcalf Avenue
 Overland Park, KS 66204
 Phoenix
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 Atlanta
 Los Angeles
 Chicago
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 Fax: 913-262-9044



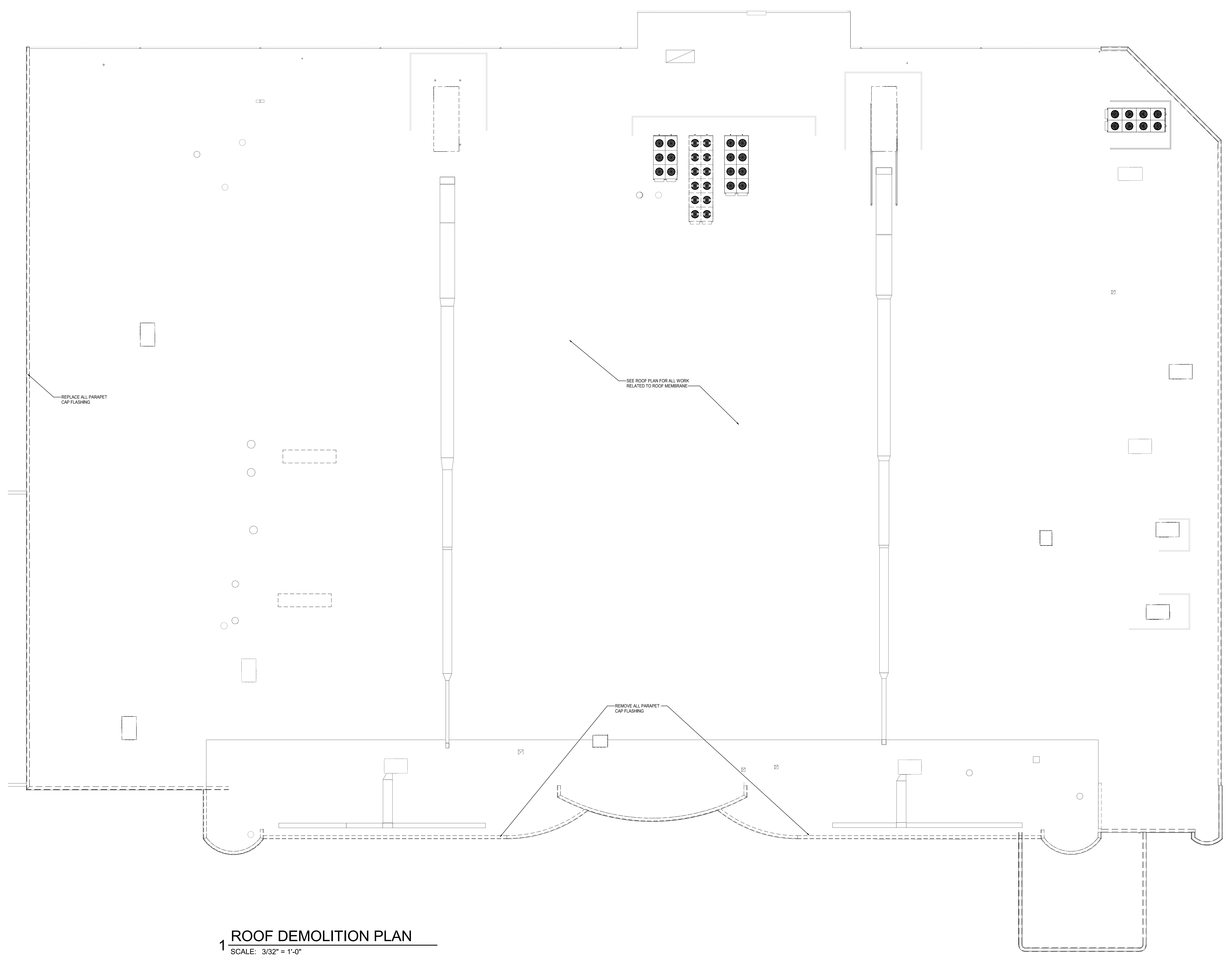
LOCATION
LEE'S SUMMIT, MO #2
 HY-VEE, INC.
 5820 WESTOWN PARKWAY
 WEST DES MOINES, IOWA 50386
 TEL: (515) 281-2800
 FAX: (515) 281-2838
HyVee
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DEMOLITION REFLECTED CEILING PLAN

PROJECT MANAGER SB	CHECKED BY JPS
DRAWN BY DATE	DATE 10/20/2020
SCALE As indicated	JOB NUMBER 62930547

SHEET:
AD5.1



REPLACE ALL PARAPET CAP FLASHING

SEE ROOF PLAN FOR ALL WORK RELATED TO ROOF MEMBRANE

REMOVE ALL PARAPET CAP FLASHING

1 ROOF DEMOLITION PLAN

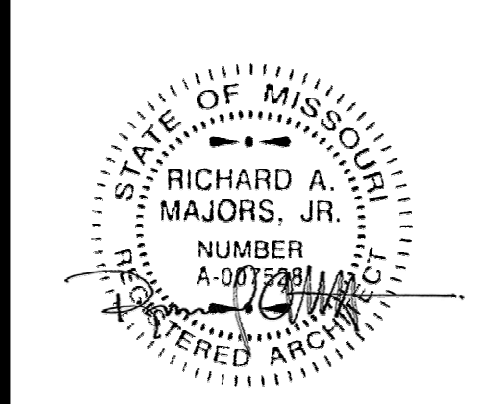
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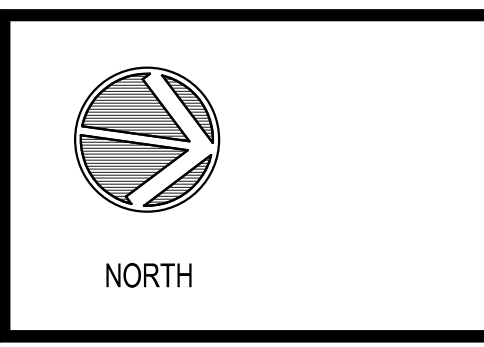
Architect of Record:
BRR Architecture, Inc.
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Tel: 913-262-9095
Fax: 913-262-9044

PROFESSIONAL SEAL



Richard A. Majors, Jr.
Architect
Missouri License No. A-007528

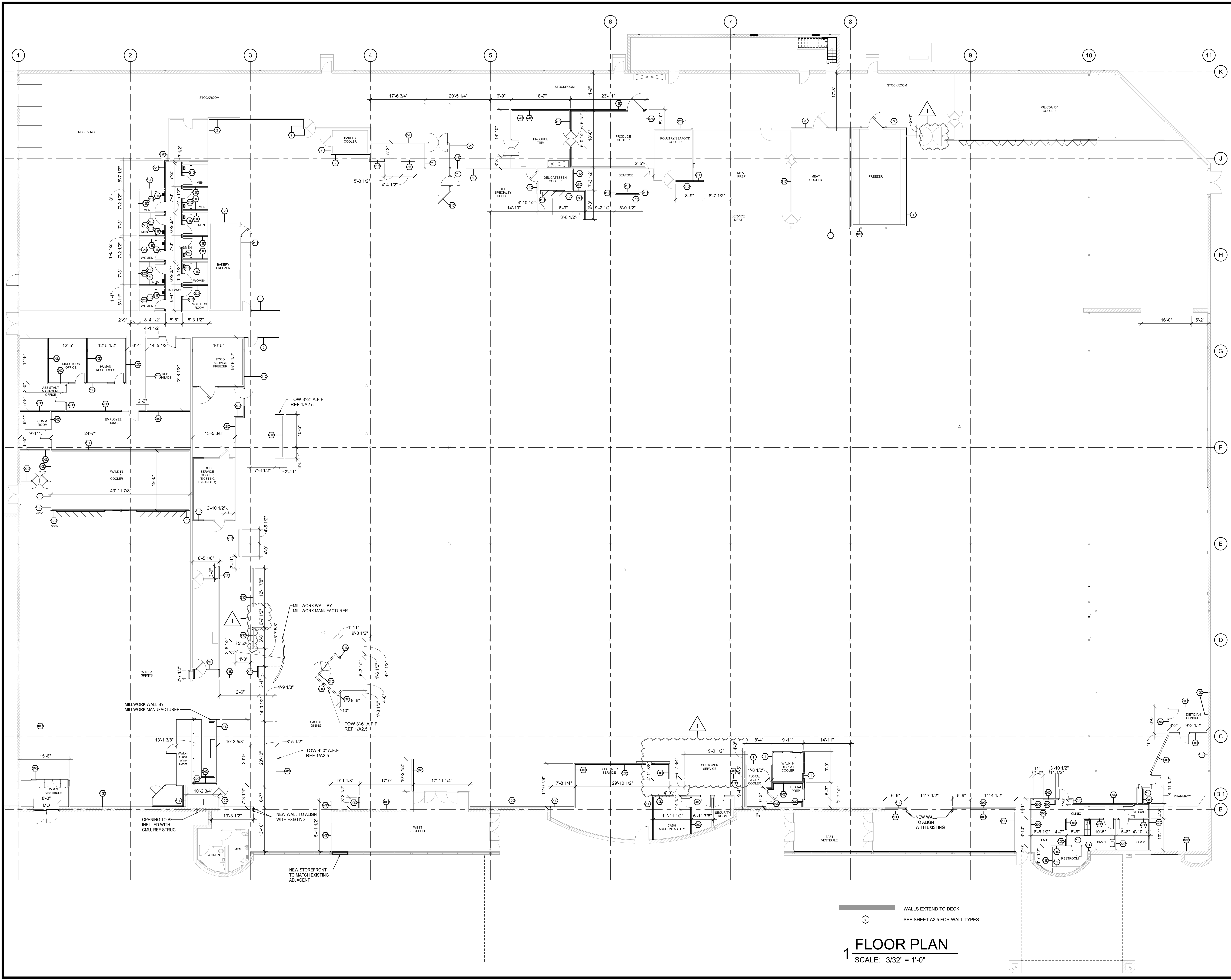
LOCATION
LEE'S SUMMIT, MO #2
HY-VEE, INC.
5820 WESTOWN PARKWAY
WEST DES MOINES, IOWA 50386
TEL: (515) 281-2800
FAX: (515) 281-2838
HyVee
EMPLOYEE OWNED



DEMOLITION
ROOF PLAN

PROJECT MANAGER SB	CHECKED BY JPS
DRAWN BY: 10/20/2020	DATE
SCALE: 3/32" = 1'-0"	JOB NUMBER: 62930547

SHEET:
AD8.0

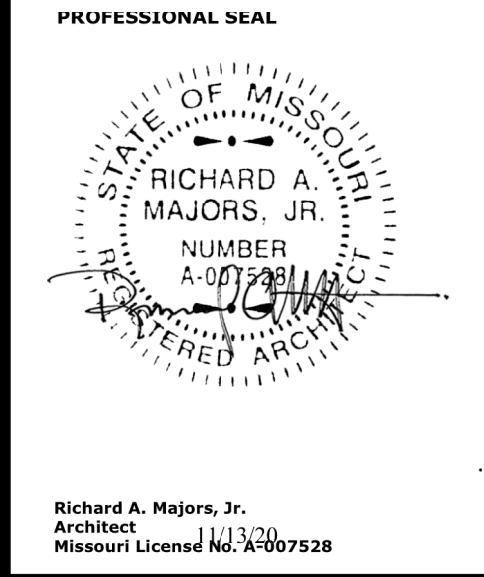


WALLS EXTEND TO DECK
 SEE SHEET A2.5 FOR WALL TYPES

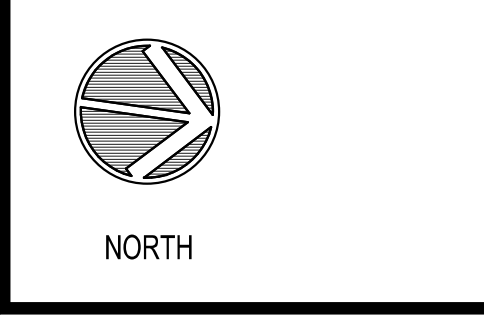
1 FLOOR PLAN
 SCALE: 3/32" = 1'-0"



Architect of Record:
 BRR Architecture, Inc.
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 Overland Park, KS 66204
 Phoenix
 San Francisco
 Philadelphia
 Atlanta
 Austin
 Dallas
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 Fax: 913-262-9044



LOCATION: **LEE'S SUMMIT, MO #2**
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 FAX: (515) 281-2838
HyVee
 EMPLOYEE OWNED



FLOOR PLAN

PROJECT MANAGER SB	CHECKED BY JPS
DRAWN BY AO	DATE 10/20/2020
SCALE 3/32" = 1'-0"	JOB NUMBER 62930547

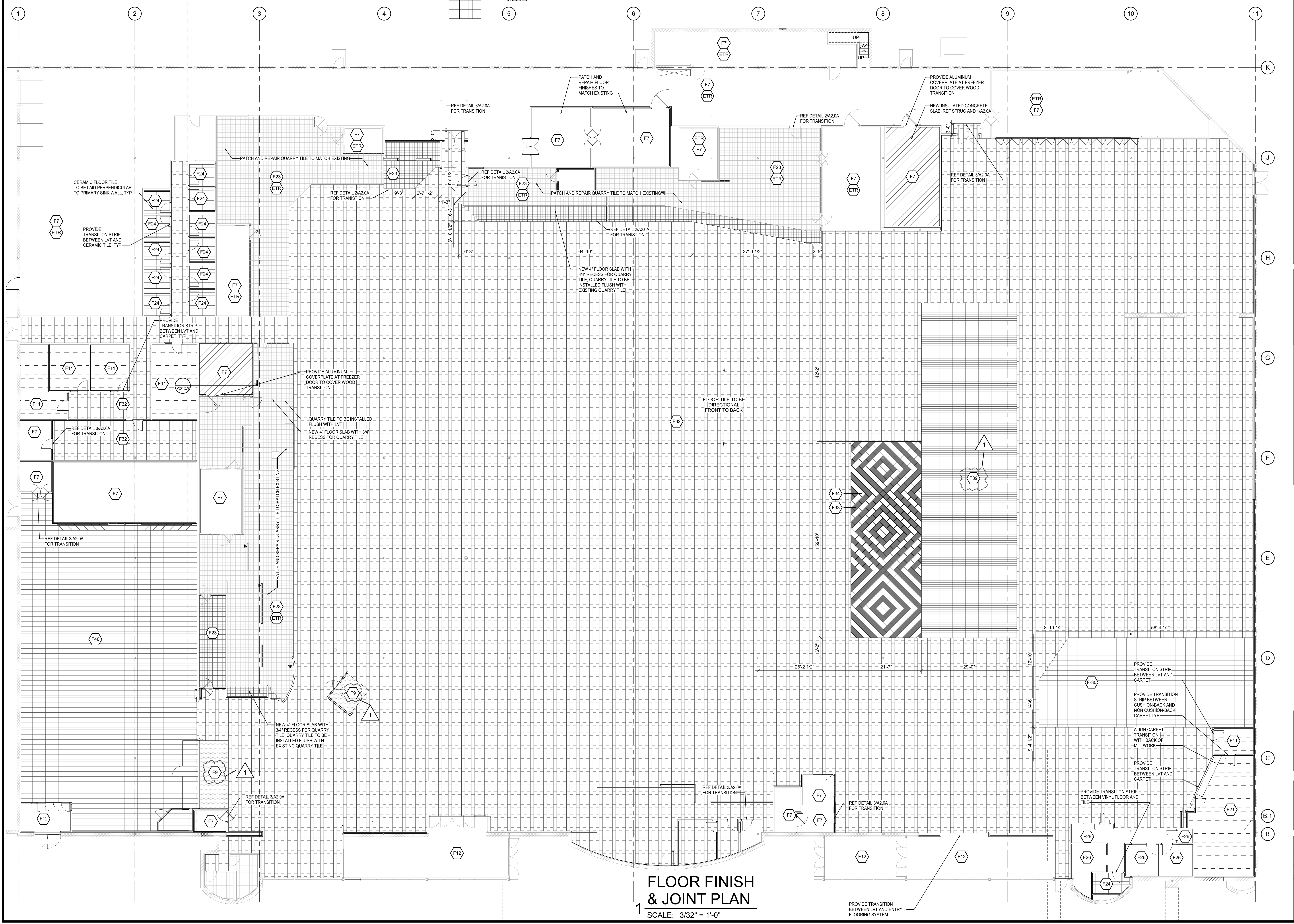
SHEET:
A1.0

LEGEND

- FLOOR DESIGNATED IN THIS AREA AS QUARRY TILE. SEE FLOOR FINISH PLAN FOR SPECIFIC FLOORING DESIGNATION. CONTRACTOR TO VERIFY DEPTH OF FLOOR FINISH MATERIAL. CUT CONTROL JOINTS @ 15' O.C. MAXIMUM EACH DIRECTION.
- FLOOR DESIGNATED IN THIS AREA AS CARPET. SEE FLOOR FINISH PLAN FOR SPECIFIC FLOORING DESIGNATION. CONTRACTOR TO VERIFY DEPTH OF FLOOR FINISH MATERIAL. CUT CONTROL JOINTS @ 12' O.C. MAXIMUM EACH DIRECTION.
- FLOOR DESIGNATED IN THIS AREA AS LVT. SEE FLOOR FINISH PLAN FOR SPECIFIC FLOORING DESIGNATION. CONTRACTOR TO VERIFY DEPTH OF FLOOR FINISH MATERIAL. CUT CONTROL JOINTS @ 12' O.C. MAXIMUM EACH DIRECTION.
- FLOOR DESIGNATED IN THIS AREA AS QUARRY TILE. SEE FLOOR FINISH PLAN FOR SPECIFIC FLOORING DESIGNATION. CONTRACTOR TO VERIFY DEPTH OF FLOOR FINISH MATERIAL. CUT CONTROL JOINTS @ 15' O.C. MAXIMUM EACH DIRECTION.

GENERAL FLOORING NOTES

- SEE SHEET A2.2 FOR ALL FLOOR FINISH, WALL AND BASE SPECIFICATIONS. SEE A3.7A FOR CLINIC FINISHES.
- AT CLOSE OF PROJECT, FURNISH NOT LESS THAN ONE BOX FOR EACH 50 BOXES, OR FRACTION THERE OF, OF EACH CLASS WEARING SURFACE, COLOR PATTERN, AND SIZE OF CARPET OR RESILIENT TILE INSTALLED.
- PROVIDE 6" VINYL BASE AROUND DOUBLE EXPRESS LANES AND ALL MILLWORK IN NON-FOOD SERVICE DEPARTMENTS (TYPICAL).
- INSTALL ALL CERAMIC AND PORCELAIN FLOOR TILE SO THAT GROUT JOINTS ARE 1/4" MAX.
- INSTALL SCHLUTER RENO-RAMP EDGING AT ALL EXPOSED EDGES OF CERAMIC FLOOR TILE, DEPTH AS REQUIRED.
- DO NOT SEAL CONCRETE ON COOLERS & FREEZERS.
- CONTRACTOR SHALL CUT CONTROL JOINTS IN A TIMELY MANNER TO PREVENT SLAB CRACKING. CONTROL JOINTS ARE TO BE INSTALLED @ 12'-0" O.C. (MAX) OR AS SHOWN ON PLAN.
- INSTALL EPOXY JOINT FILLER FOR ALL BACKROOM SAW & CONSTRUCTION JOINTS.
- DIMENSIONS ARE FROM FACE OF WALL AND CENTERLINE OF COLUMNS (TYPICAL).
- AT CONCRETE SLAB POUR JOINTS - PROVIDE 1/2" SMOOTH GREASED DOWELS AT 18" O.C. FREEZERS AND MEAT COOLER FLOORS WILL NOT HAVE DOWELS AT EDGE JOINTS.
- AT CONCRETE SLAB CONTROL JOINTS - SAW JOINT TO BE 1-1/4" DEEP MINIMUM.
- EPOXY FINISH TO EXTEND TO INTERIOR SIDE OF THRESHOLD TO COVER WOOD TRANSITION @ FREEZERS AND COOLERS.
- FLOORS TO SLOPE TO FLOOR DRAINS WHERE NOTED. MAXIMUM SLOPE OF 1/4" PER FOOT CROSS SLOPE TO MEET ADA & LOCAL CODES.
- AT EXISTING FLOOR SLOPES THAT SLOPE TO EXISTING AREA DRAINS, BUT ARE NO LONGER WITHIN A PREP SPACE, INSTALL EPOXY CONCRETE FLOOR LEVELER TO BRING FINISH FLOOR UP TO BE LEVEL WITH ADJACENT SLABS.



FLOOR FINISH & JOINT PLAN
 1
 SCALE: 3/32" = 1'-0"

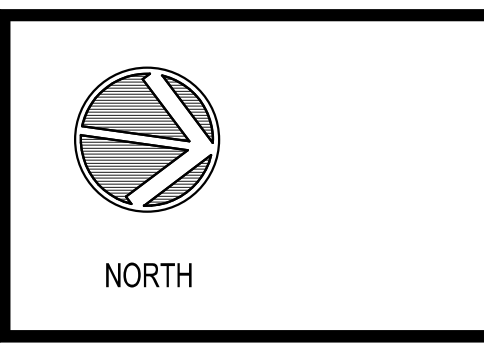
brr
 Architect of Record:
 BRR Architecture, Inc.
 Kansas City, MO 64111
 8133 Metcalf Avenue, Suite 300
 Overland Park, KS 66204
 Tel: 913-262-9995
 Fax: 913-262-9044

PROFESSIONAL SEAL
 RICHARD A. MAJORS, JR.
 ARCHITECT
 MISSOURI LICENSE NO. 11925238

LOCATION
LEE'S SUMMIT, MO #2

HY-VEE, INC.
 5820 WESTTOWN PARKWAY
 WEST DES MOINES, IOWA 50386
 TEL: (515) 281-2800
 FAX: (515) 281-2838

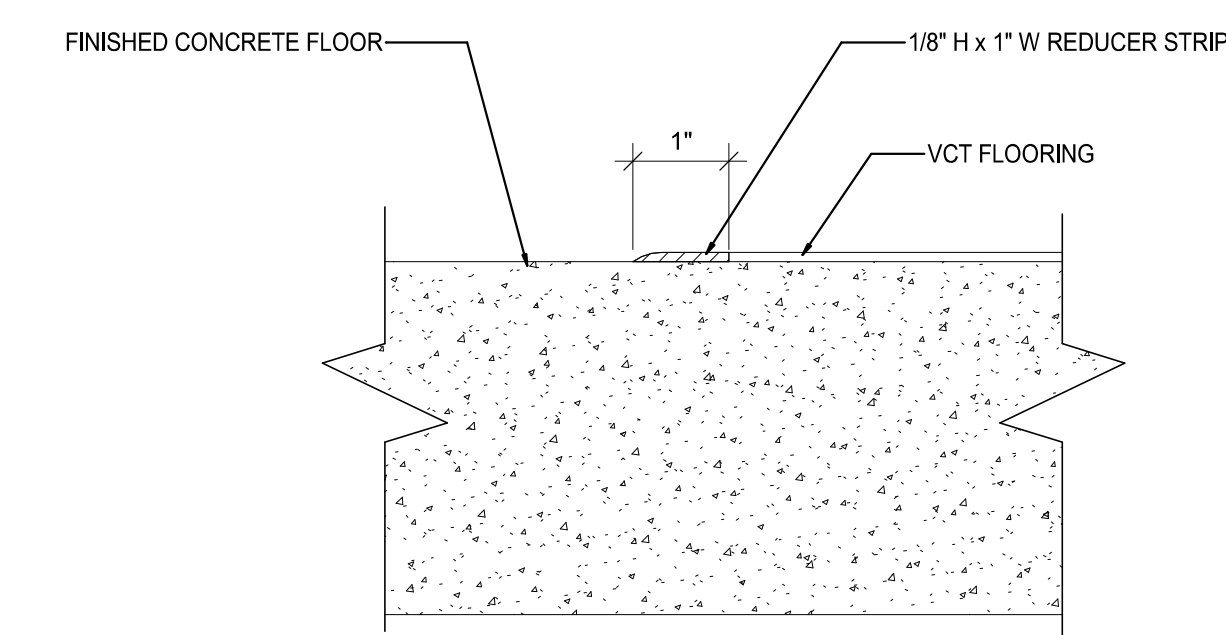
HyVee
 EMPLOYEE OWNED



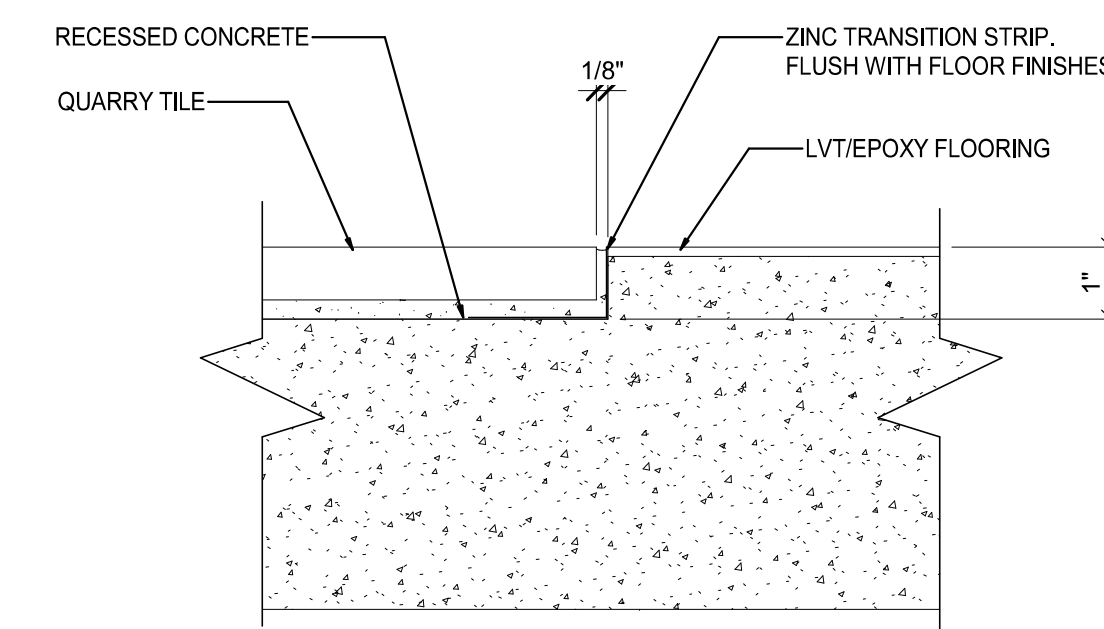
FLOOR FINISH & JOINT PLAN

PROJECT MANAGER	SB	CHECKED BY	JPS
DRAWN BY	AO	DATE	10/20/2020
SCALE	As indicated	JOB NUMBER	62930547
SHEET			

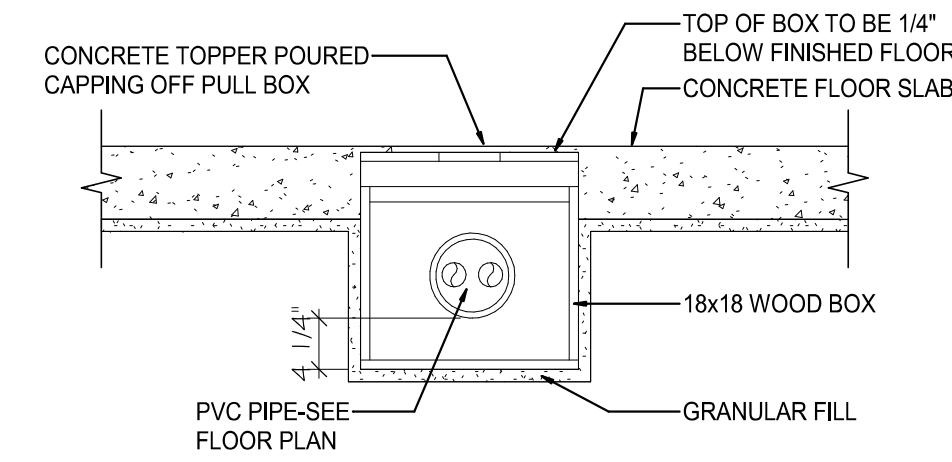
A2.0



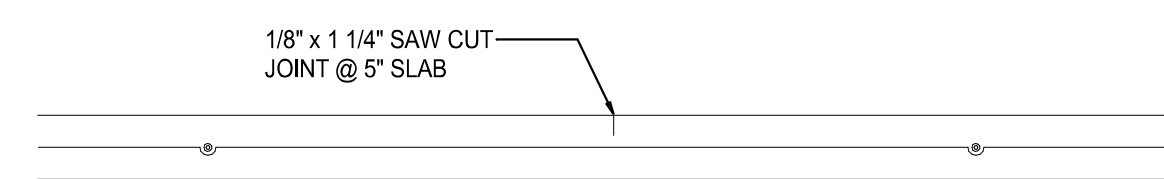
3 VCT TRANSITION
 SCALE: 6" = 1'-0"



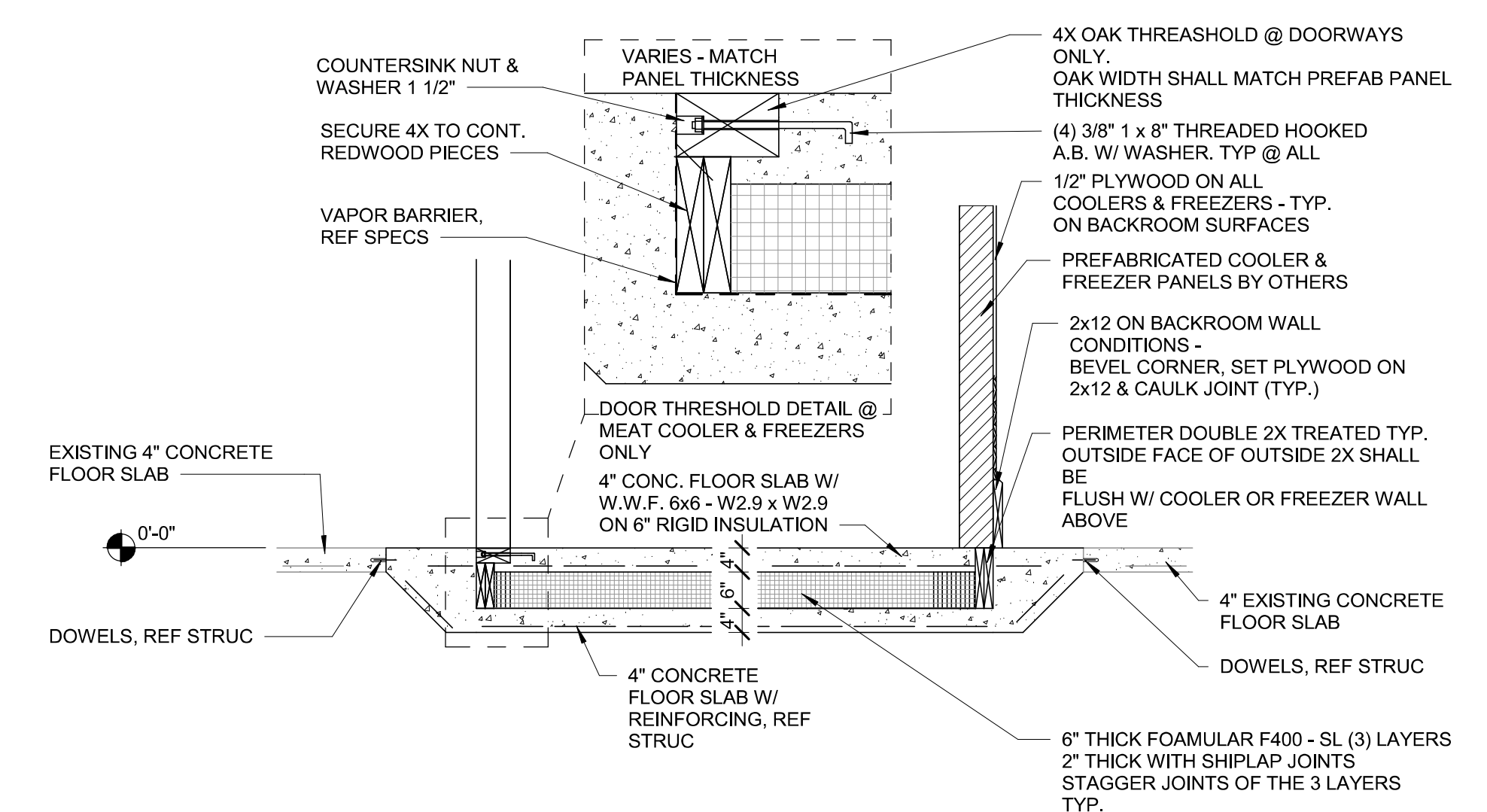
2 TILE TRANSITION
 SCALE: 6" = 1'-0"



5 PVC TRENCH JUNCTION
 SCALE: 3/4" = 1'-0"



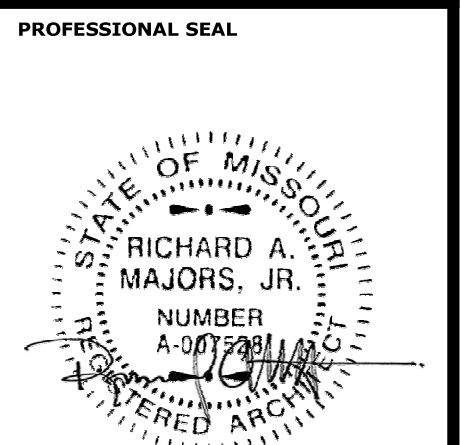
4 CONCRETE SLAB CONTROL JOINT
 SCALE: 1" = 1'-0"



1 INSULATED FLOOR SECTION
 SCALE: 1/2" = 1'-0"

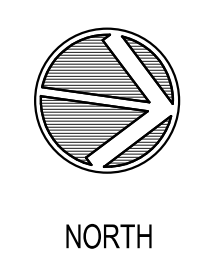


Architect of Record:
 BRR Architecture, Inc.
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 Overland Park, KS 66204
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 Fax: 913-262-9044



Richard A. Majors, Jr.
 Architect
 Missouri License No. A-007528

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 5820 WESTTOWN PARKWAY
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 TEL: (515) 281-2800
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HyVee
 EMPLOYEE OWNED



FLOOR FINISH & JOINT PLAN

PROJECT MANAGER SB	CHECKED BY JPS
DRAWN BY AO	DATE 10/20/2020
SCALE As indicated	JOB NUMBER 62930547

SHEET
A2.0A

SIGNAGE

Table with columns: KEY, MANUFACTURER, DESCRIPTION, SIZE, MATERIAL, LOCATION. Lists various signage items like ASLE-1, ASIAN-1, BAGEL-1, etc., with their respective details.

Table with columns: KEY, TYPE, MANUFACTURER, COLOR, NOTES, LOCATION. Lists fiberglass reinforced panels and laminates like FRP-1, FRP-2, etc.

Table with columns: KEY, TYPE, MANUFACTURER, SIZE, COLOR, NOTES, LOCATION. Lists window shades and window coverings like WS-1, WS-2, WS-3, etc.

Table with columns: KEY, TYPE, MANUFACTURER, SIZE, COLOR, NOTES, LOCATION. Lists ceiling materials like C1, C2, C3, etc., including acoustic tiles and gypsum board.

Table with columns: KEY, TYPE, MANUFACTURER, SIZE, COLOR, NOTES, LOCATION. Lists vinyl wall covering materials like VWC-1, VWC-2, etc.

Table with columns: KEY, TYPE, MANUFACTURER, SIZE, COLOR, NOTES, LOCATION. Lists miscellaneous materials like SS, CORR-1, FABRIC-3, etc.

Table with columns: KEY, TYPE, MANUFACTURER, SIZE, COLOR, NOTES, LOCATION. Lists wall base materials like B1, B2, B3, etc.

Table with columns: KEY, TYPE, MANUFACTURER, SIZE, COLOR, NOTES, LOCATION. Lists floor finish materials like F2, F3, F4, etc., including composite tile, epoxy terrazzo, and quarry tile.

Table with columns: FLOOR TRANSITIONS, KEY, FROM FLOORING TYPE, TO FLOORING TYPE, DELTA, FINISH, MANUFACTURER/ITEM, LOCATION. Lists transitions between different flooring types like F1, F2, F3, etc.

Table with columns: KEY, TYPE, MANUFACTURER, COLOR, NOTES, LOCATION. Lists wall caps and other solid surface materials like WC-1, WC-2, etc.

Table with columns: KEY, MANUFACTURER, COLOR, NOTES, LOCATION. Lists plastic laminate materials like P.LAM-12, P.LAM-13, etc.

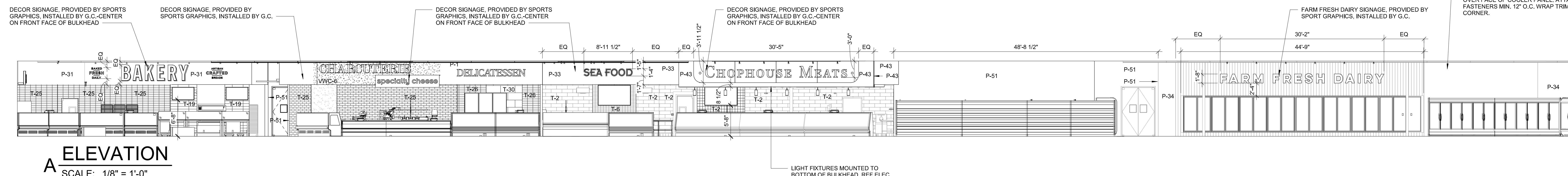
Table with columns: KEY, MANUFACTURER, COLOR, NOTES, LOCATION. Lists paint materials like P-1, P-2, P-3, etc., including Sherwin Williams and Benjamin Moore products.

Table with columns: KEY, TYPE, MANUFACTURER, SIZE, COLOR, NOTES, LOCATION. Lists wall tile materials like DALLIE, FLOOR TILE, VIRGINIA TILE, etc.

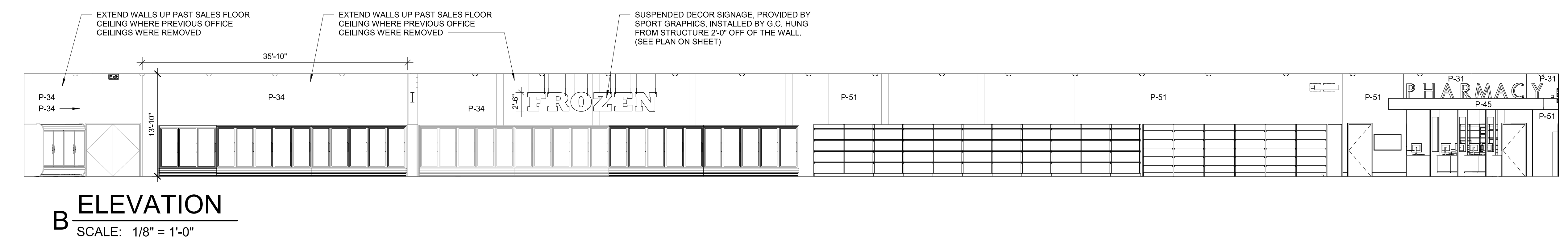
Professional seal for Richard A. Major, Jr., Architect, BRR Architecture, Inc. Includes contact information and a circular seal with the text 'PROFESSIONAL SEAL' and 'RICHARD A. MAJOR, JR. ARCHITECT'.

Advertisement for Lee's Summit, MO #2, featuring a large 'Hwy 66' logo and contact information for Hwy-Vec Inc.

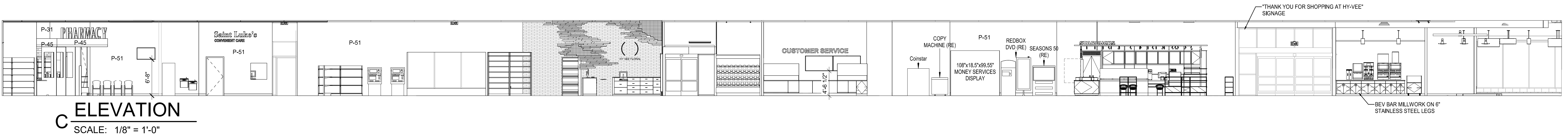
Finish schedule table with columns: PROJECT MANAGER, CHECKED BY, DATES, DRAWN BY, DATE, SCALE, JOB NUMBER, SHEET. Includes a large 'A2.2' graphic.



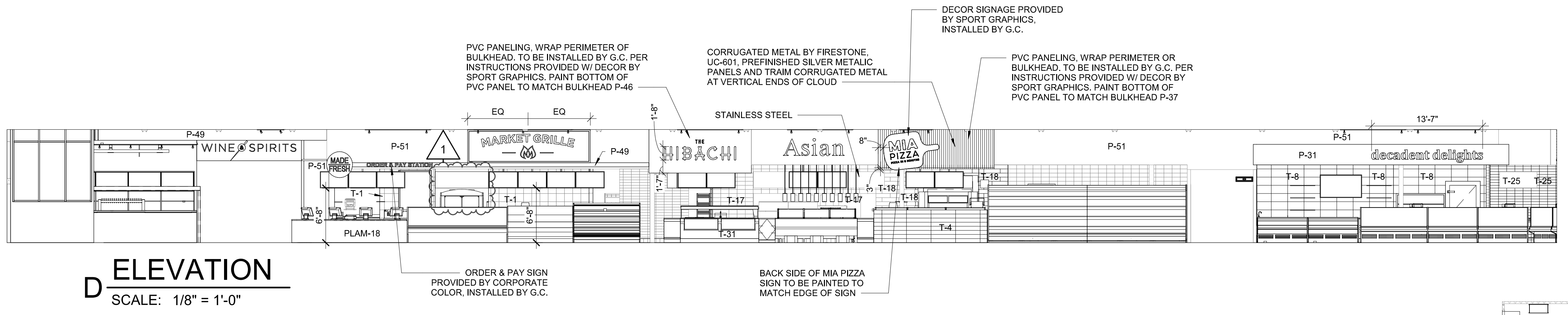
A ELEVATION
SCALE: 1/8" = 1'-0"



B ELEVATION
SCALE: 1/8" = 1'-0"

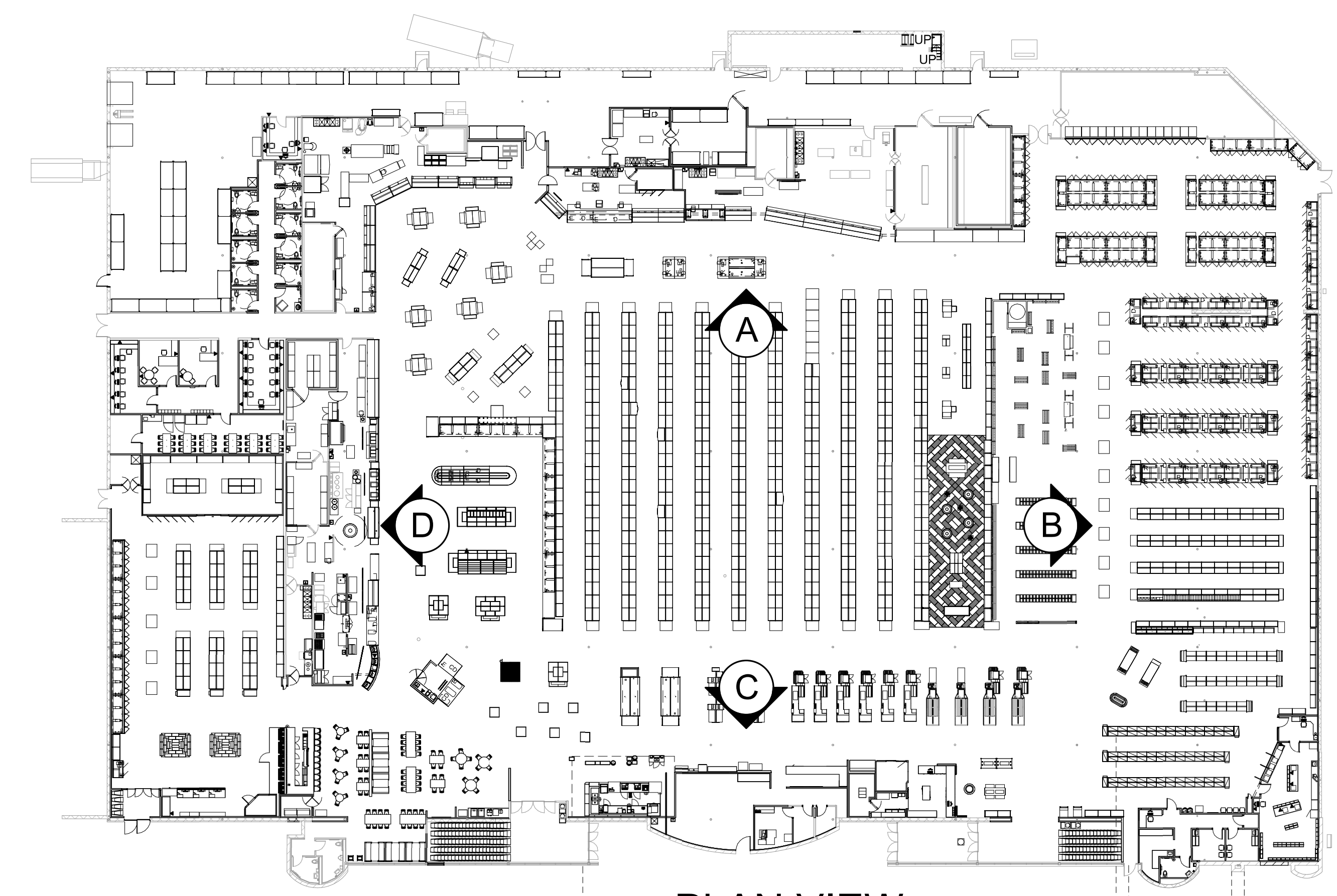


C ELEVATION
SCALE: 1/8" = 1'-0"



D ELEVATION
SCALE: 1/8" = 1'-0"

- DECOR NOTES:**
1. ALL DECOR SIGNAGE IS PROVIDED & INSTALLED BY CONTRACTOR.
 2. ALL CURTAIN WALL PAINTING BY CONTRACTOR.
 3. INSTALLATION DETAILS WILL BE PROVIDED BY THE DECOR SUPPLIER. VERIFY WITH CONSTRUCTION DOCUMENTS.
 4. SALES FLOOR COLUMNS TO BE PAINTED P-2. ALL COLUMNS EXPOSED IN SALES AREA TO BE WRAPPED WITH STAINLESS STEEL TO +40" A.F.F.
 5. USE B1 (VINYL BASE) THROUGHOUT STORE UNLESS NOTED OTHERWISE.
 6. FOR FINISH SCHEDULE SEE SHEET A2.2



PLAN VIEW
SCALE: N.T.S.

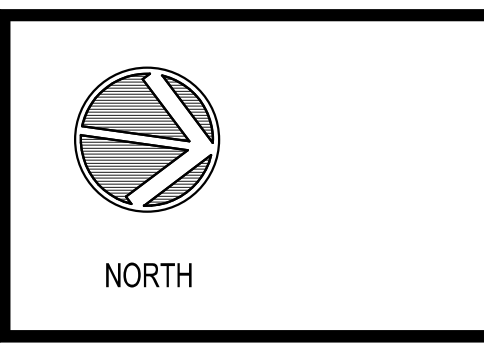
Architect of Record:
BBB Architecture, Inc.
Kansas City
Overland Park, KS 66204
Tel: 913-262-9095
Fax: 913-262-9044

Richard A. Major, Jr.
Architect
Missouri License No. A-007328

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HY-VEE, INC.
5820 WESTTOWN PARKWAY
WEST DES MOINES, IOWA 50396
TEL: (515) 281-2800
FAX: (515) 281-2838

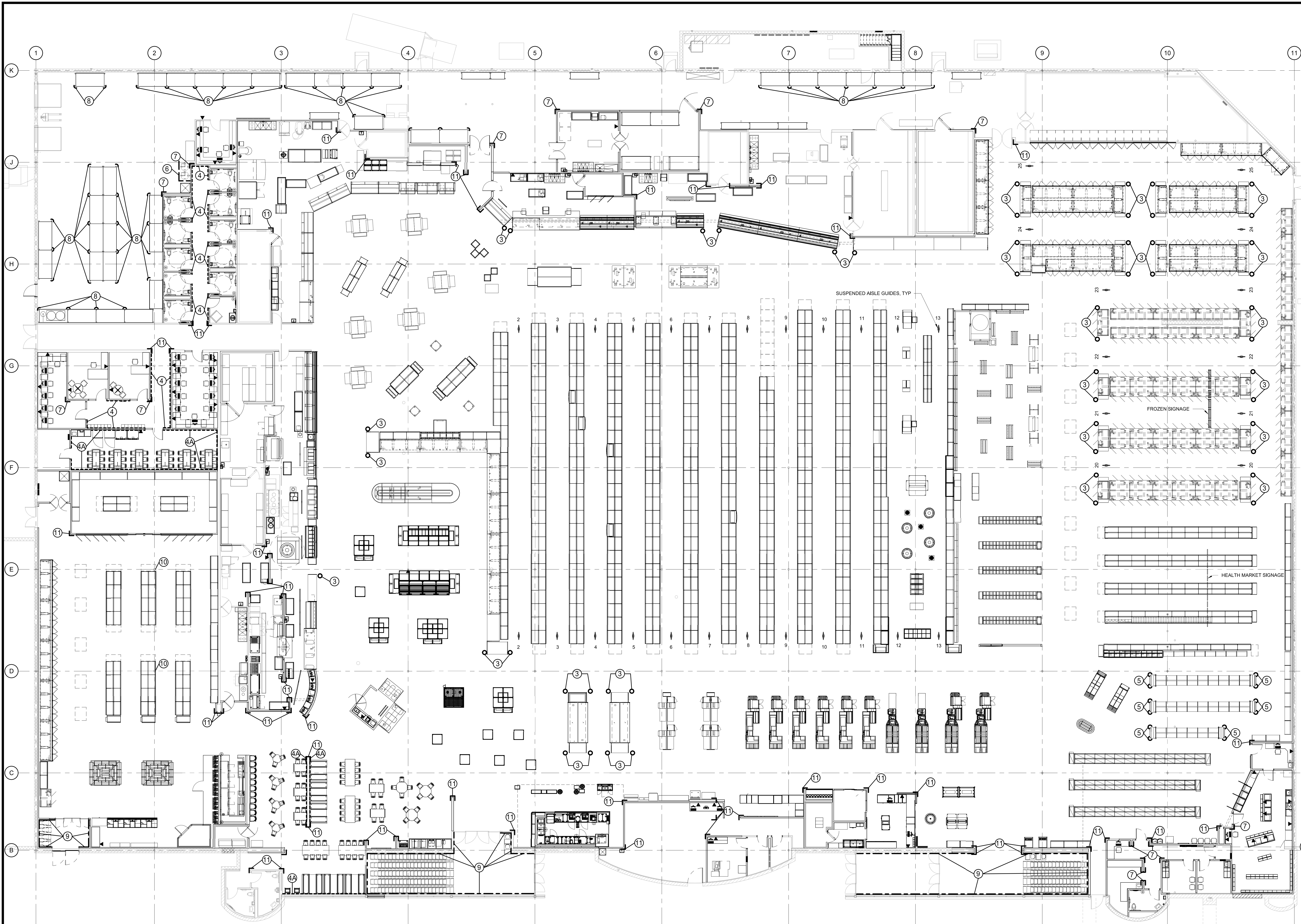
Hy-Vee
EMPLOYEE OWNED



INTERIOR DECOR PLAN

PROJECT MANAGER SB	CHECKED BY JPS
DRAWN BY AO	DATE 10/20/2020
SCALE As indicated	JOB NUMBER 62930547
SHEET	

A2.4



1 MISC. DECOR AND ASSET PROTECTION PLAN
 SCALE: 3/32" = 1'-0"

- | | | | | | |
|---|-----|--|---|-----|---|
| ① | --- | BOX RAIL - McCUE PRODUCT NUMBER CSB-96 | ⑦ | ┌ | BACKROOM CORNER GUARD - McCUE PRODUCT NUMBER CSWGC-36-KIT |
| ② | --- | CRASH BARRIER FLOOR GUARD | ⑧ | └ | RACK GUARD - McCUE PRODUCT NUMBER CSRG-SHOCK-10-KIT |
| ③ | ● | CASE BOLLARDS - McCUE PRODUCT NUMBER CSFP-3-24 KIT | ⑨ | --- | CARTSTOP - McCUE PRODUCT NUMBER CSR-4A-401 |
| ④ | --- | WALL GUARD - McCUE PRODUCT NUMBER GGT-80-101 | ⑩ | □ | S.S. COLUMN WRAPS |
| ⑤ | └ | LOW PROFILE GUARD - McCUE PRODUCT NUMBER GARD-8-LP-101 | ⑪ | ┌ | S.S. CORNER GUARDS |
| ⑥ | --- | BACKROOM FENCE - McCUE PRODUCT NUMBER CSSYP-48E-KIT | | | |

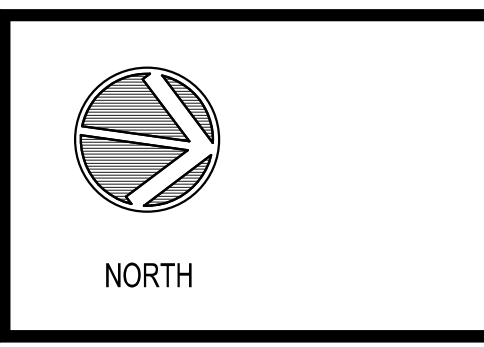
Architect of Record:
 BBE Architecture, Inc.
 Kansas City 8131 Metcalf Avenue
 Overland Park, KS 66204
 Phone: 913-262-9995
 Fax: 913-262-9044
 Missouri License No. A-007528

Richard A. Major, Jr.
 Architect
 Missouri License No. A-007528

LOCATION
LEE'S SUMMIT, MO #2

HY-VEE INC.
 5820 WESTOWN PARKWAY
 WEST DES MOINES, IOWA 50396
 TEL: (515) 267-2800
 FAX: (515) 267-2838

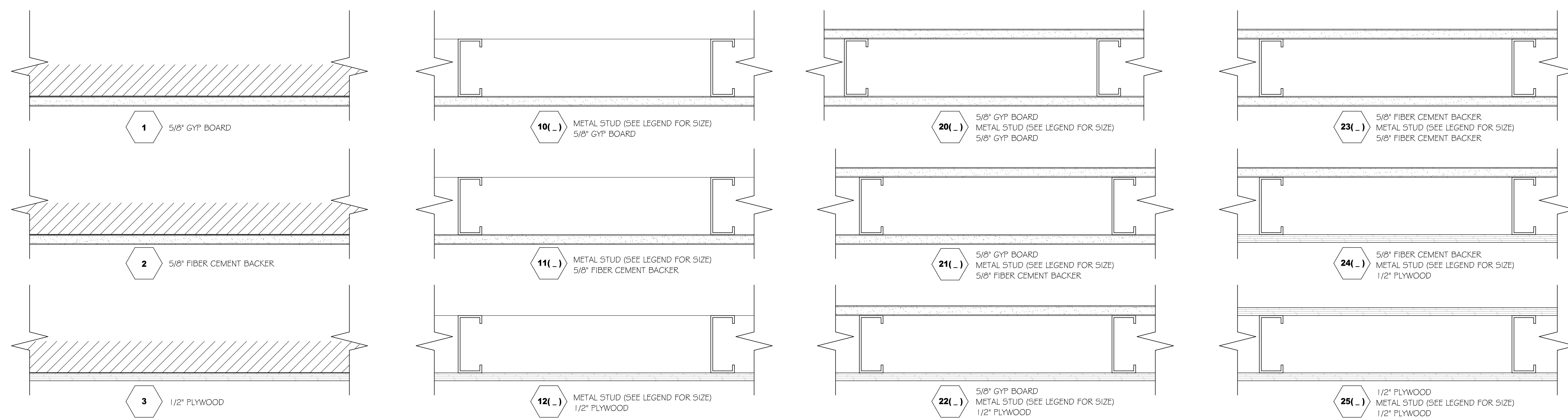
HyVee
 EMPLOYEE OWNED



MISC DECOR AND ASSET PROTECTION PLAN

PROJECT MANAGER SB	CHECKED BY JPS
DRAWN BY ADP	DATE 10/20/2020
SCALE 3/32" = 1'-0"	JOB NUMBER 62930547

SHEET
A2.4A



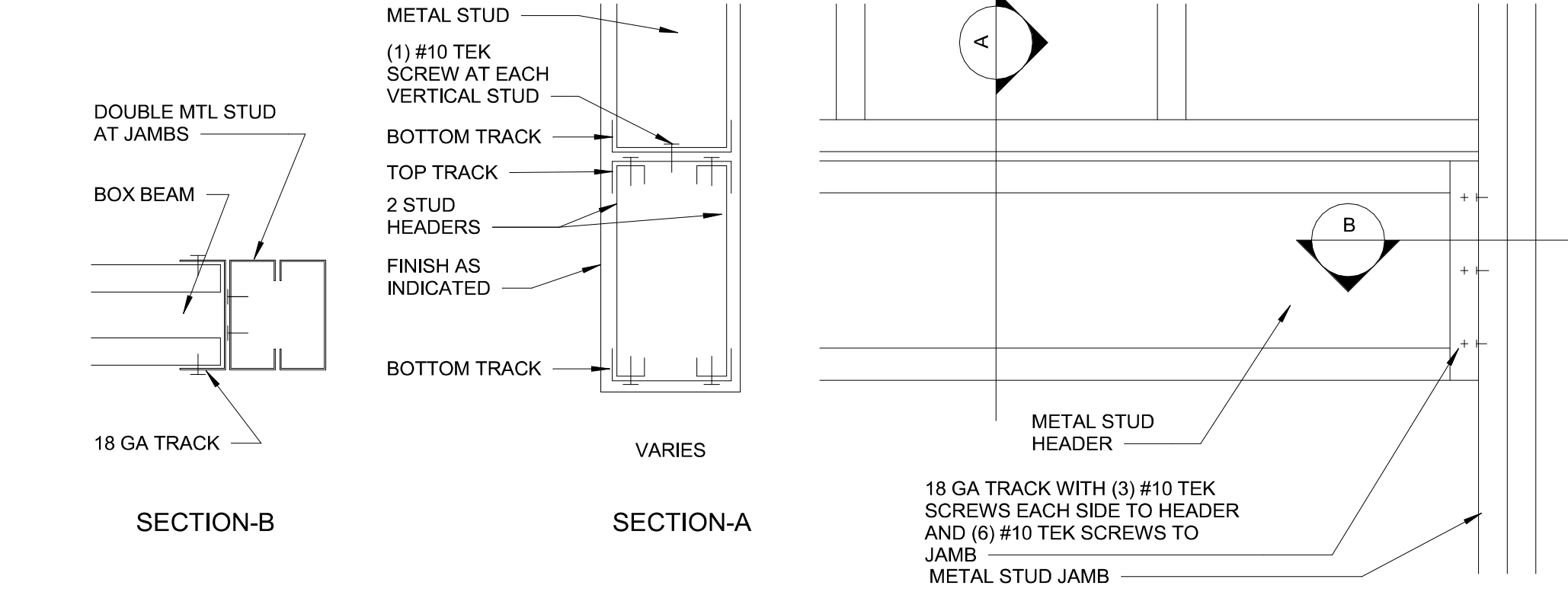
METAL STUD SIZE LEGEND

- A - 7/8"
- B - 1 5/8"
- C - 2 1/2"
- D - 3 5/8"
- E - 4"
- F - 6"
- G - 8"
- H - 10"

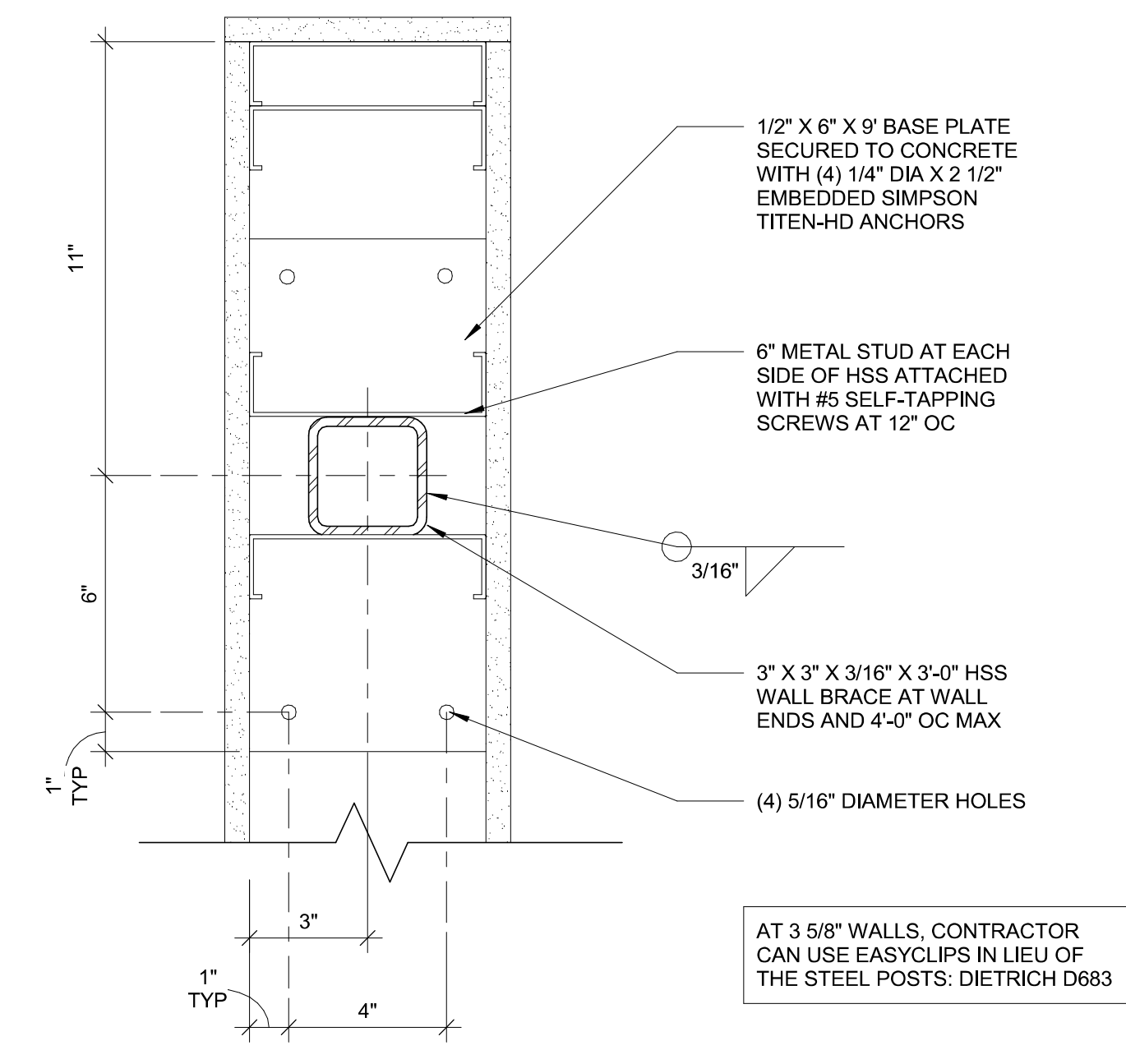
NOTE: ALL GYPSUM BOARD CALLED OUT IN PREP OR SERVICE AREAS AND IN RESTROOMS IS TO BE MOISTURE-RESISTANT GYPSUM BOARD. THE MOISTURE-RESISTANT GYPSUM BOARD ONLY NEEDS TO GO ON THE WET SIDE (PREP/SERVICE/RESTROOM SIDE) OF THE WALL.

INTERIOR NON-LOAD BEARING PARTITION HEADER SCHEDULE

HEADER LENGTH	HEADER MEMBERS	MINIMUM EFFECTIVE PROPERTIES PER STUD
2' TO 6'	(2) 6" X 18 GAUGE	1x = 2.042 Sx = 0.670
6' TO 8'	(2) 6" X 16 GAUGE	1x = 2.518 Sx = 0.839
8' TO 10'	(2) 6" X 14 GAUGE	1x = 3.094 Sx = 1.031
10' TO 12'	(2) 8" X 18 GAUGE	1x = 4.154 Sx = 1.033
12' TO 14'	(2) 8" X 16 GAUGE	1x = 5.110 Sx = 1.277
14' TO 16'	(2) 8" X 14 GAUGE	1x = 6.303 Sx = 1.576
16' TO 18'	(2) 10" X 14 GAUGE	1x = 12.325 Sx = 2.456
18' TO 26'	(2) 12" X 16 GAUGE	1x = 15.730 Sx = 2.334



2 HEADER CONNECTION DETAIL
 SCALE: 1 1/2" = 1'-0"



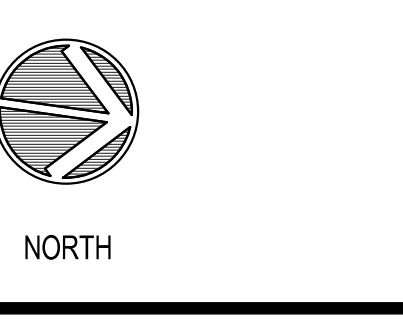
1 PLAN AT KNEE WALL
 SCALE: 3" = 1'-0"



Architect of Record:
 BRR Architecture, Inc.
 Kansas City 8131 Metcalf Avenue
 Overland Park, KS 66204
 Phone: 913-262-9095
 Fax: 913-262-9044



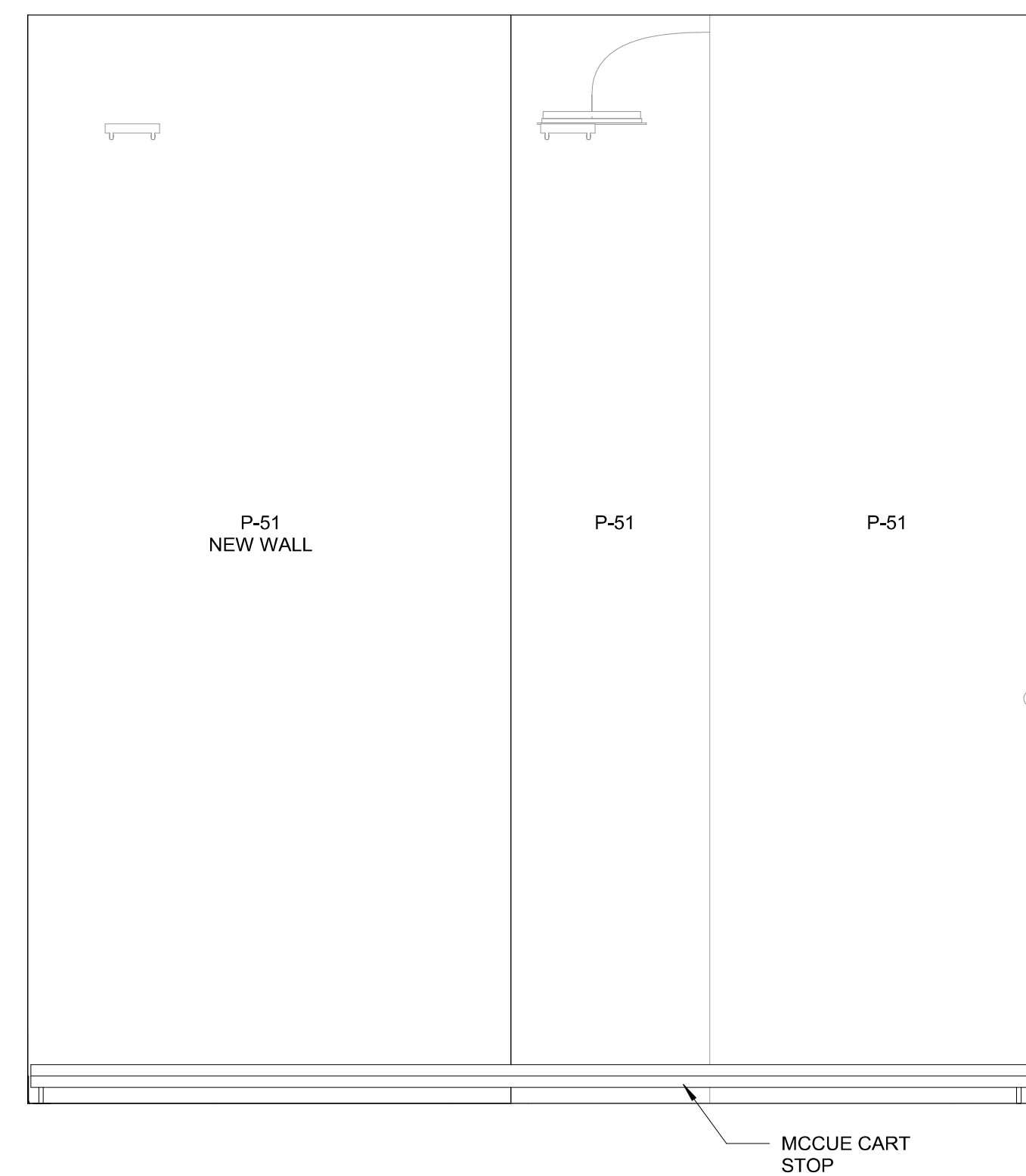
LOCATION
LEE'S SUMMIT, MO #2
 HY-VEE, INC.
 5820 WESTTOWN PARKWAY
 WEST DES MOINES, IOWA 50386
 TEL: (515) 281-2800
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HyVee
 EMPLOYEE OWNED



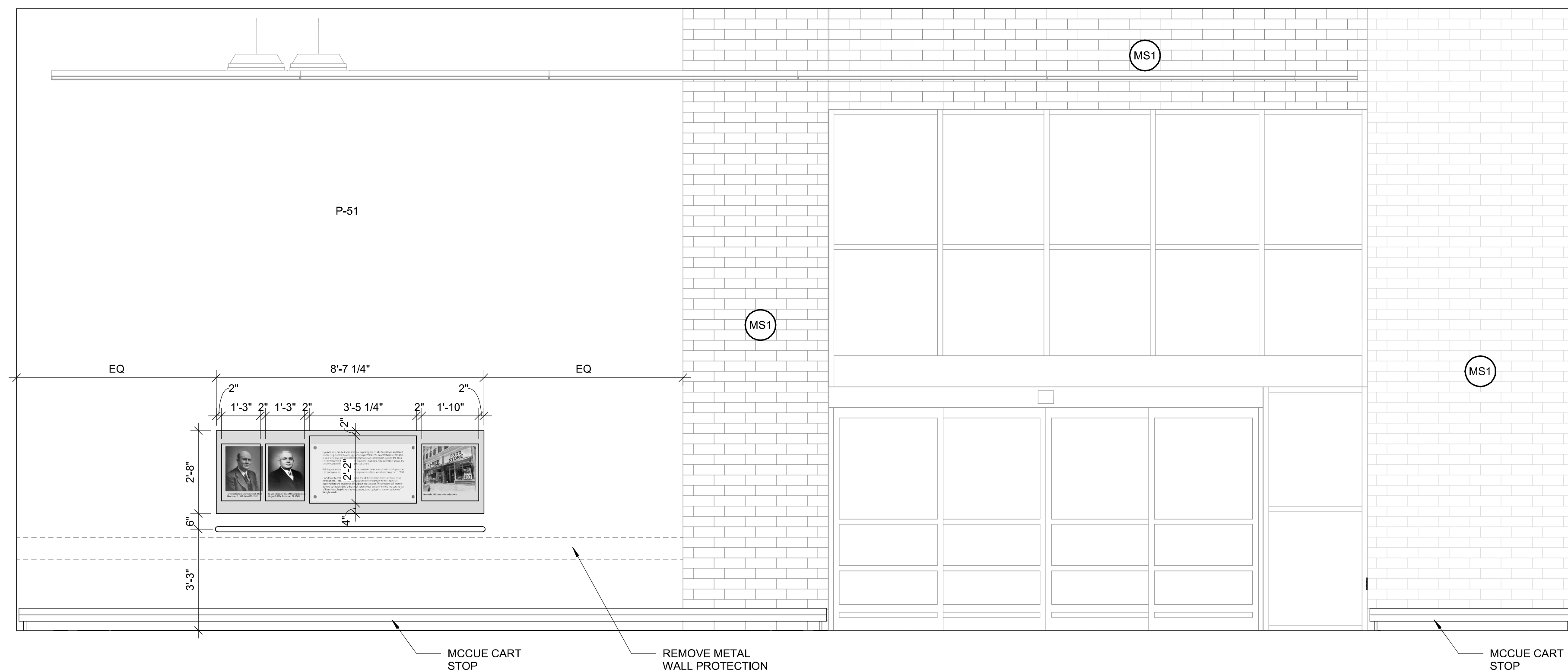
INTERIOR WALL DETAILS

PROJECT MANAGER SB	CHECKED BY JPS
DRAWN BY AP	DATE 10/20/2020
SCALE As indicated	JOB NUMBER 62930547

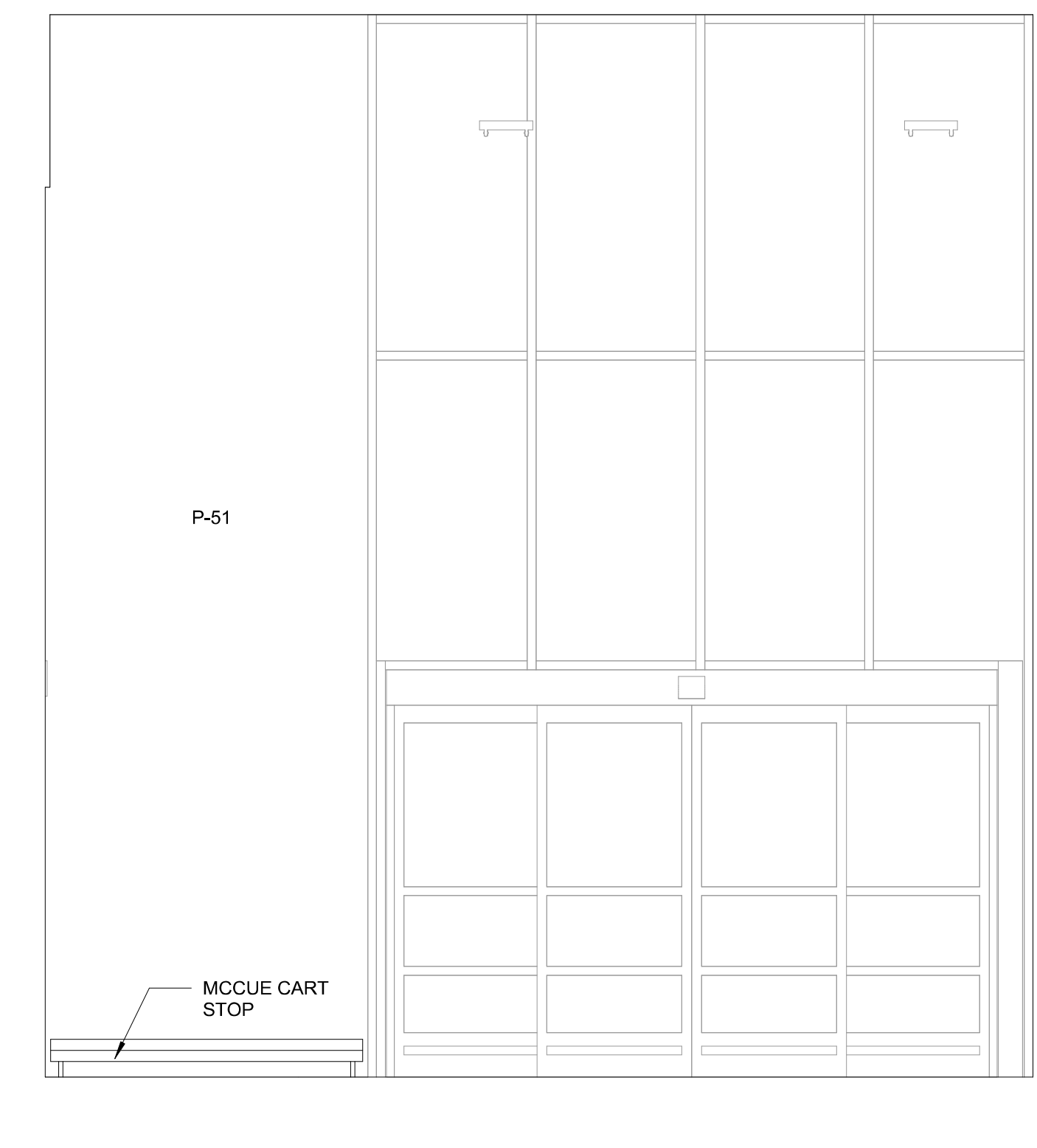
SHEET
A2.5



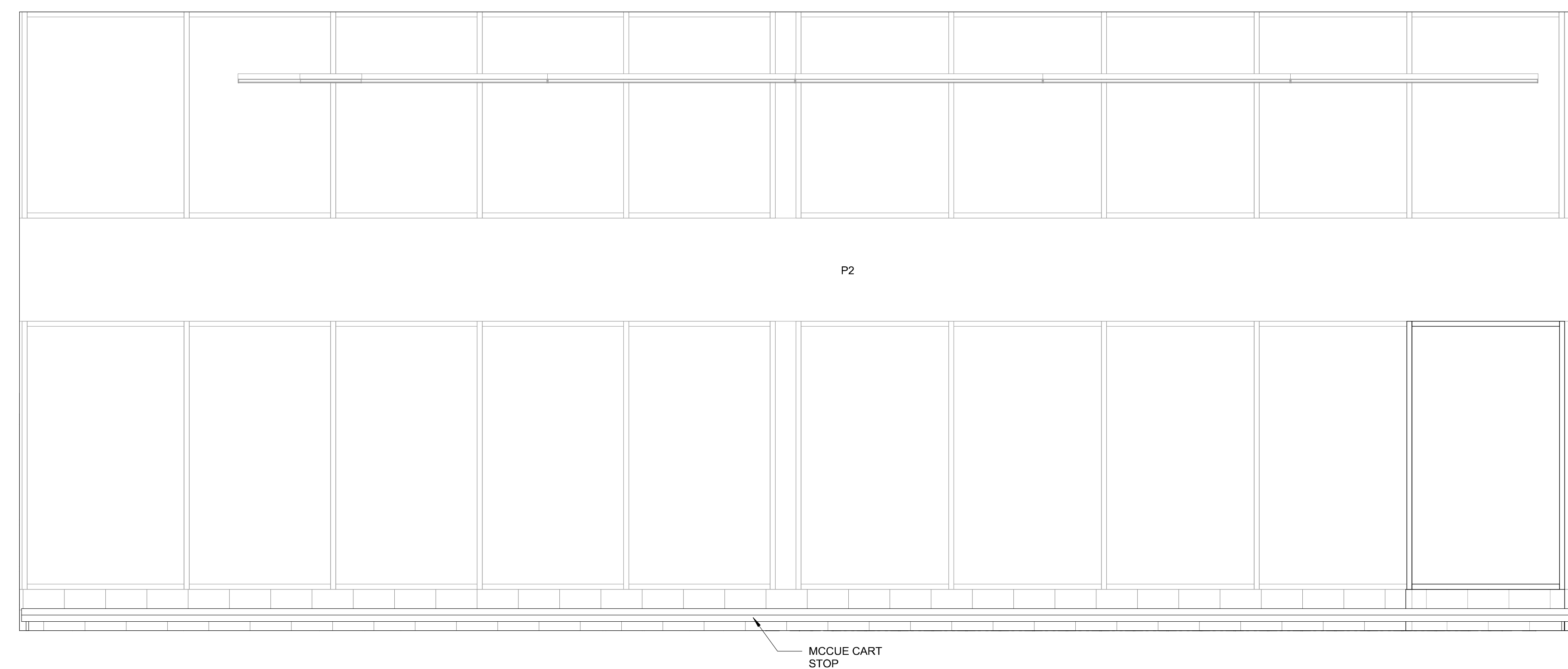
3 ELEVATION
 SCALE: 3/8" = 1'-0"



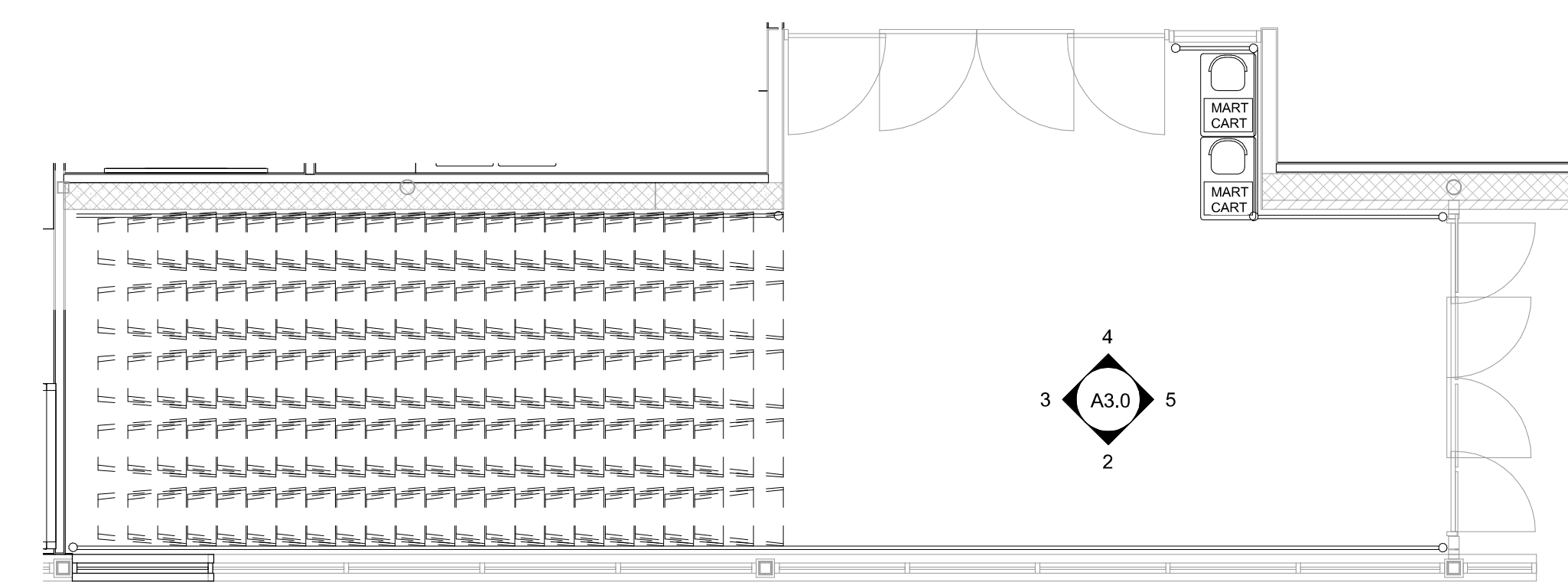
4 ELEVATION
 SCALE: 3/8" = 1'-0"



5 ELEVATION
 SCALE: 3/8" = 1'-0"



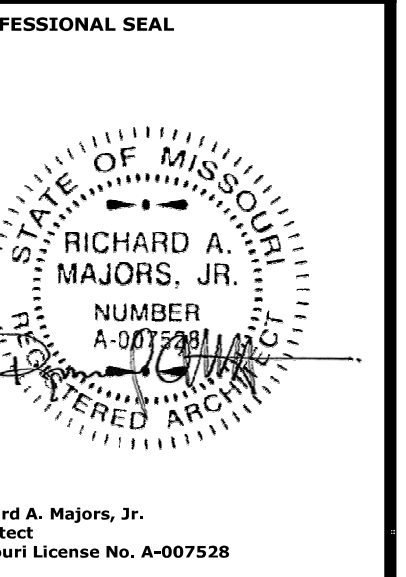
2 ELEVATION
 SCALE: 3/8" = 1'-0"



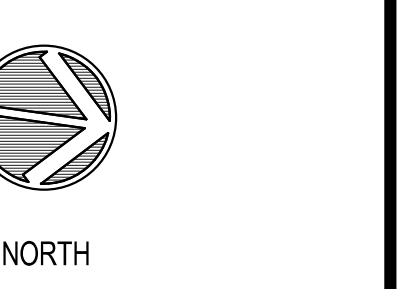
1 ENLARGED PLAN-FRONT END
 SCALE: 3/16" = 1'-0"



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 Kansas City 833 Metcalf Avenue
 Phoenix Suite 300
 San Francisco Overland Park, KS 66204
 Indianapolis Tel: 913-262-9095
 Austin Fax: 913-262-9044
 Miami
 Los Angeles
 Chicago



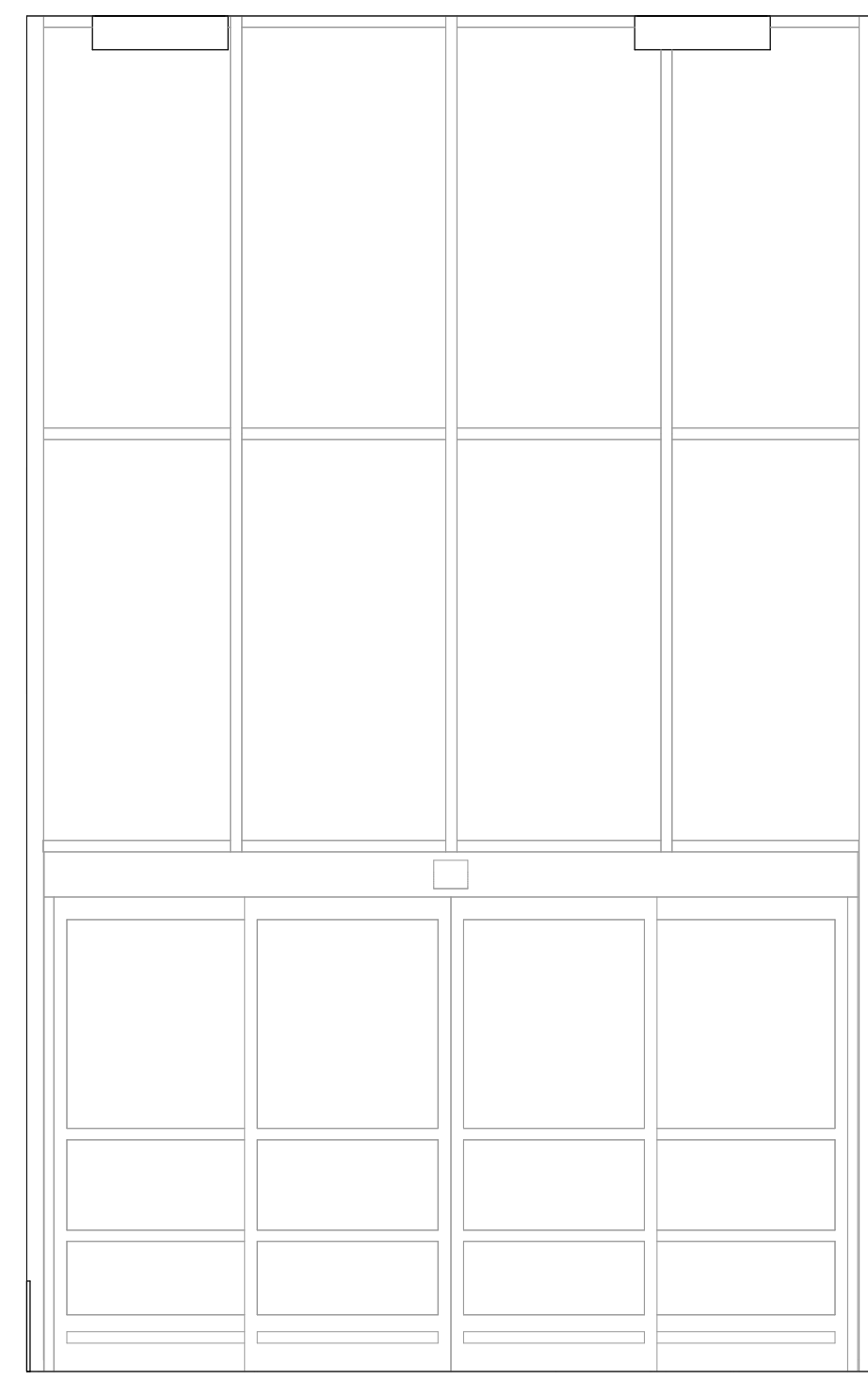
LOCATION
LEE'S SUMMIT, MO #2
 HY-VEE, INC.
 5820 WESTOWN PARKWAY
 WEST DES MOINES, IOWA 50386
 TEL: (515) 267-2800
 FAX: (515) 267-2838



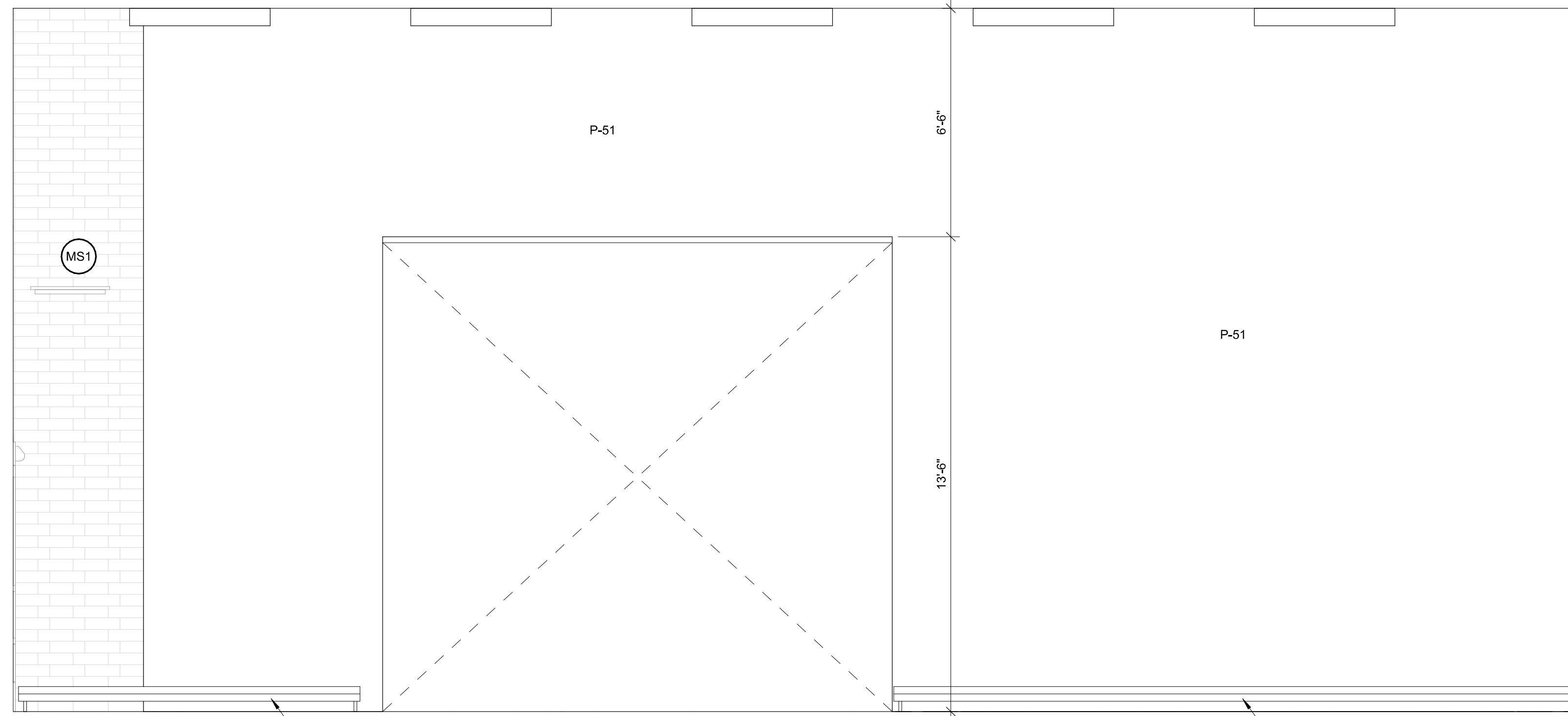
**FRONT ENTRANCE
 PLANS & DETAILS**

PROJECT MANAGER SB	CHECKED BY JPS
DRAWN BY AP	DATE 10/20/2020
SCALE As indicated	JOB NUMBER 62930547

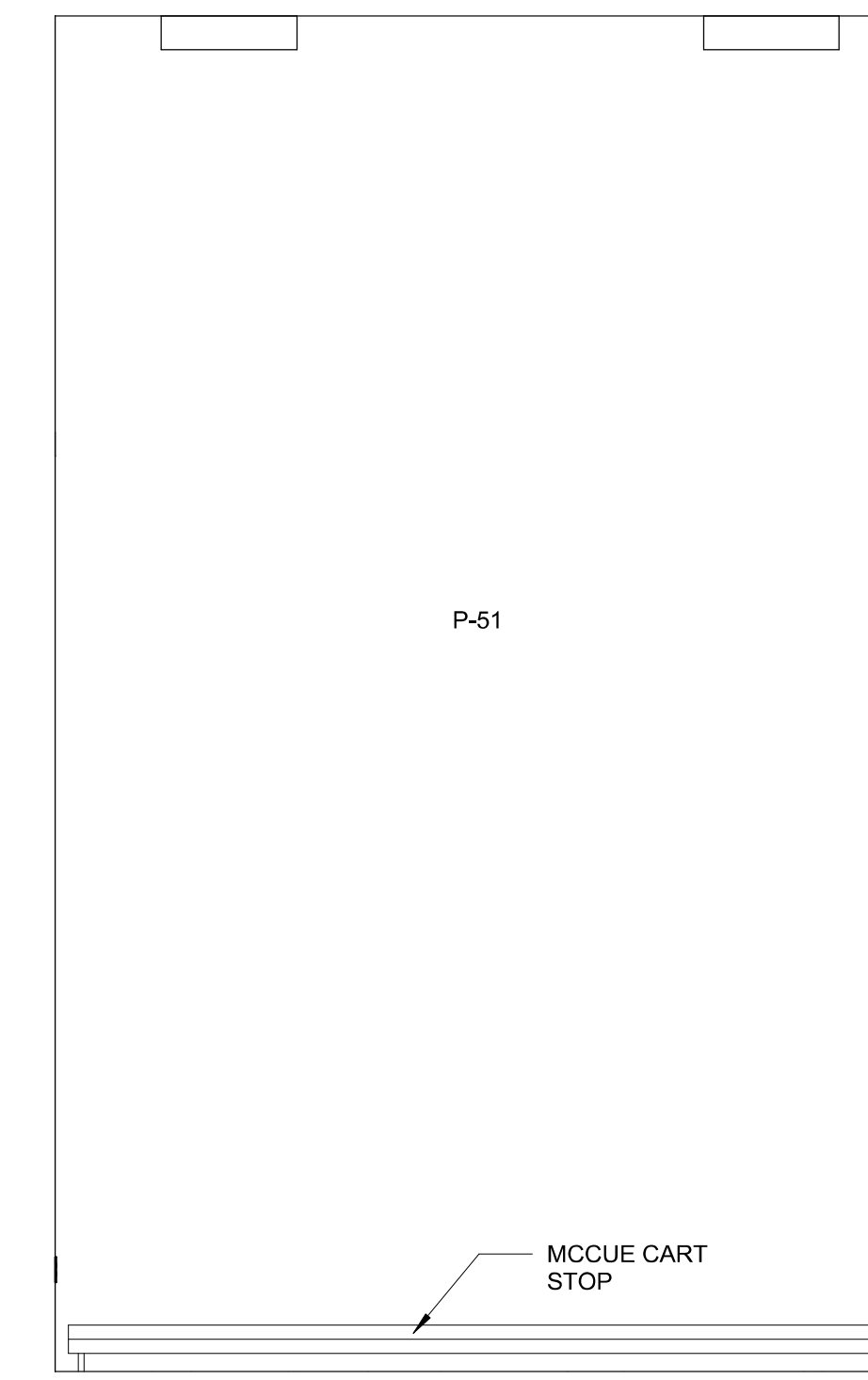
SHEET:
A3.0



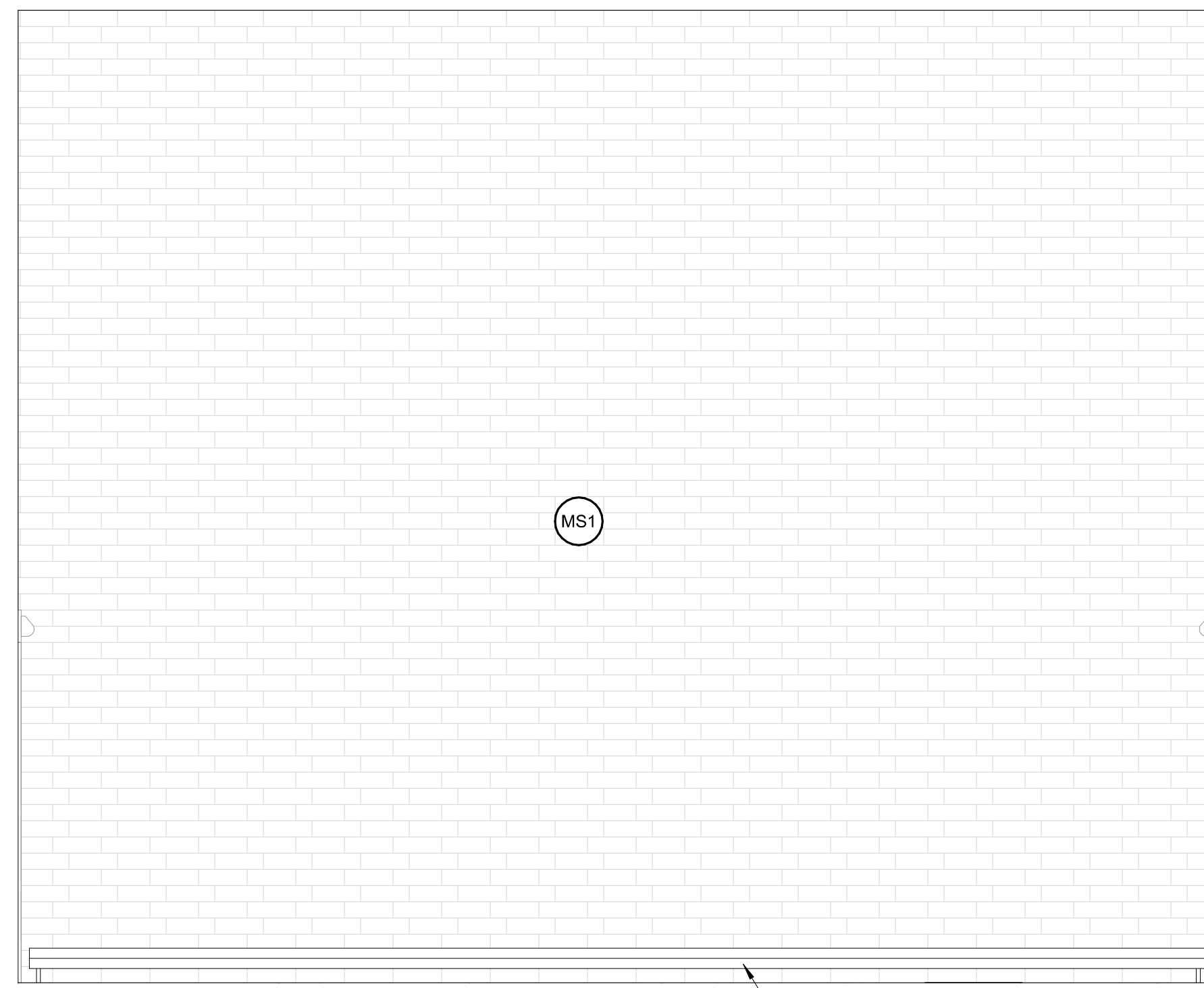
7 ELEVATION
 SCALE: 3/8" = 1'-0"



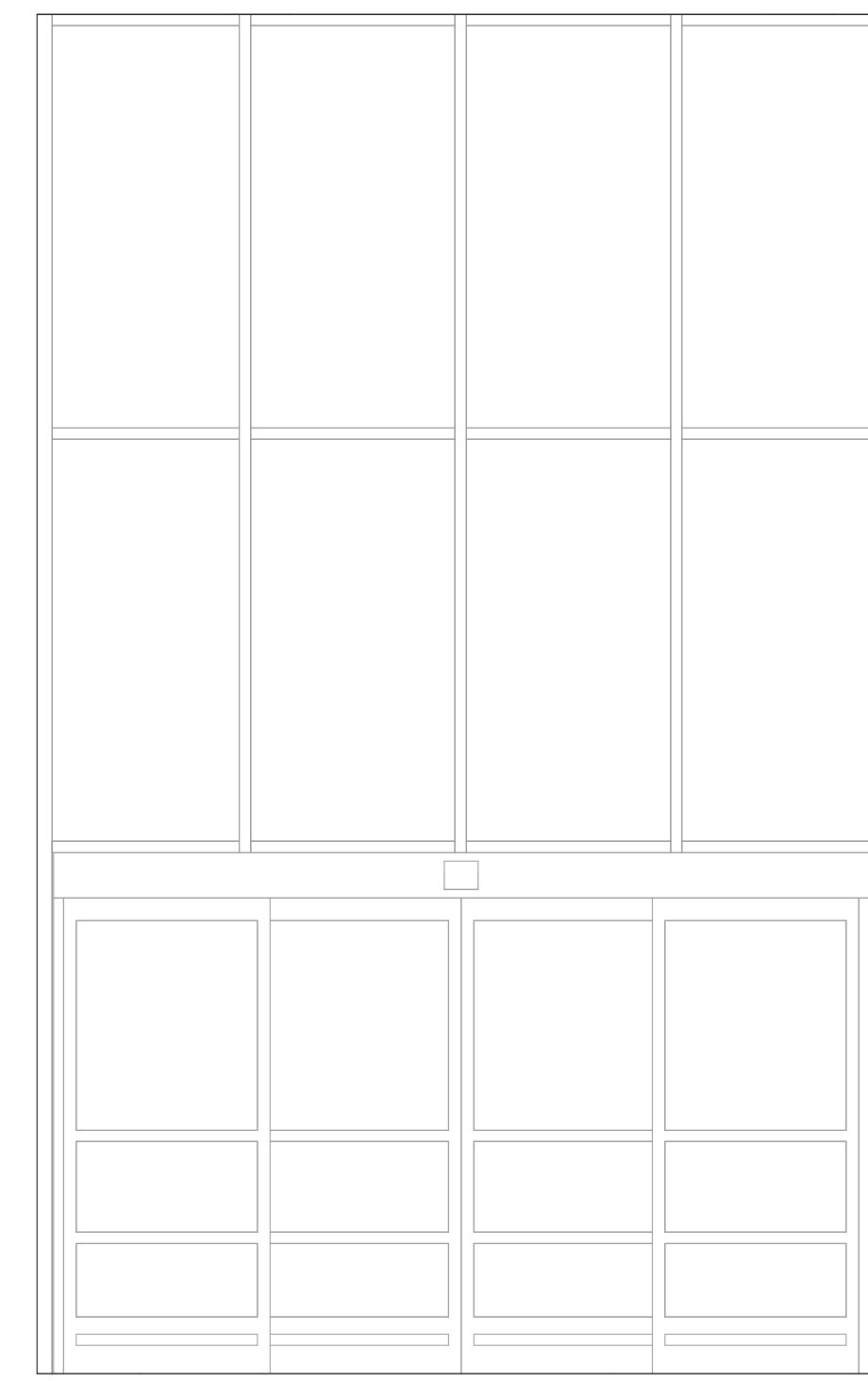
8 ELEVATION
 SCALE: 3/8" = 1'-0"



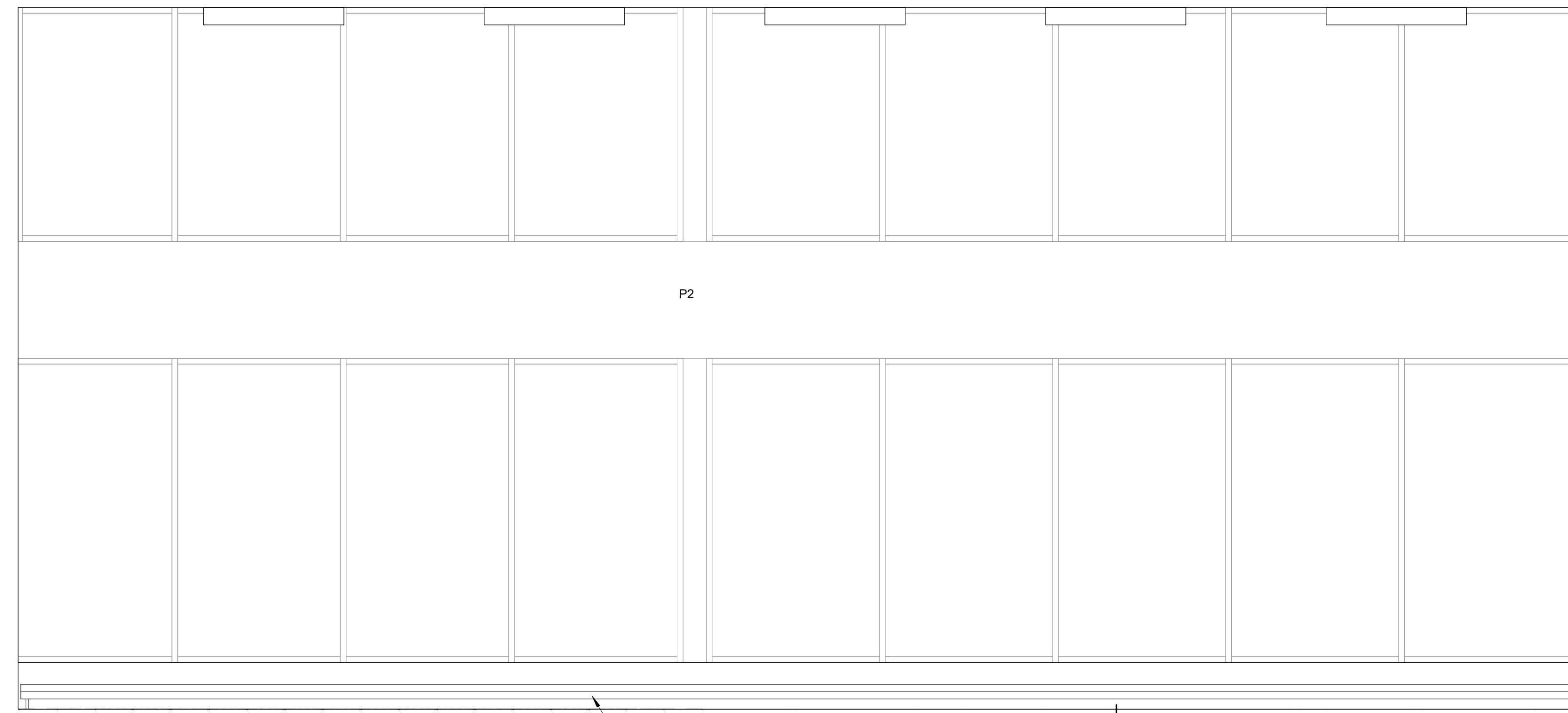
9 ELEVATION
 SCALE: 3/8" = 1'-0"



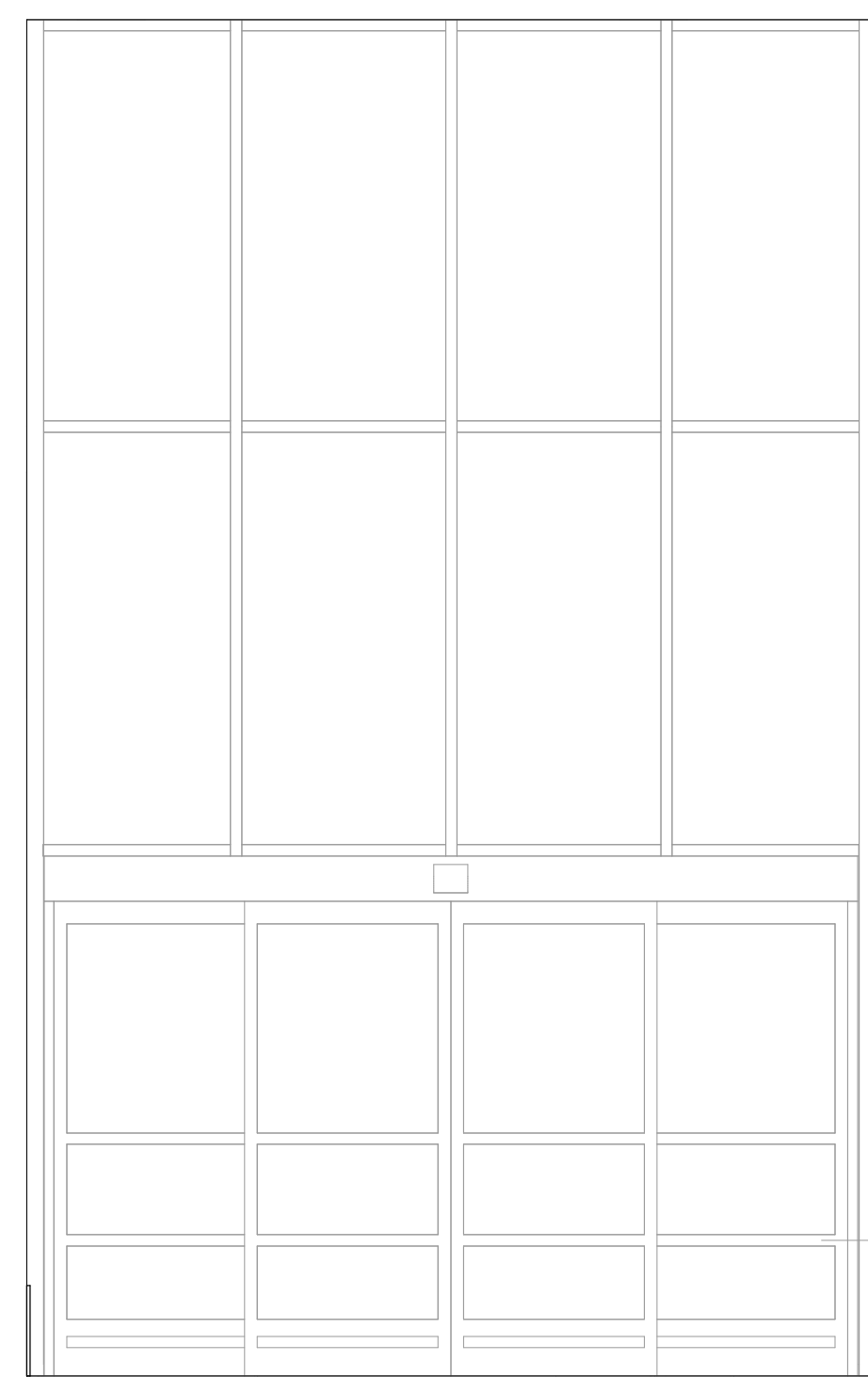
4 ELEVATION
 SCALE: 3/8" = 1'-0"



5 ELEVATION
 SCALE: 3/8" = 1'-0"



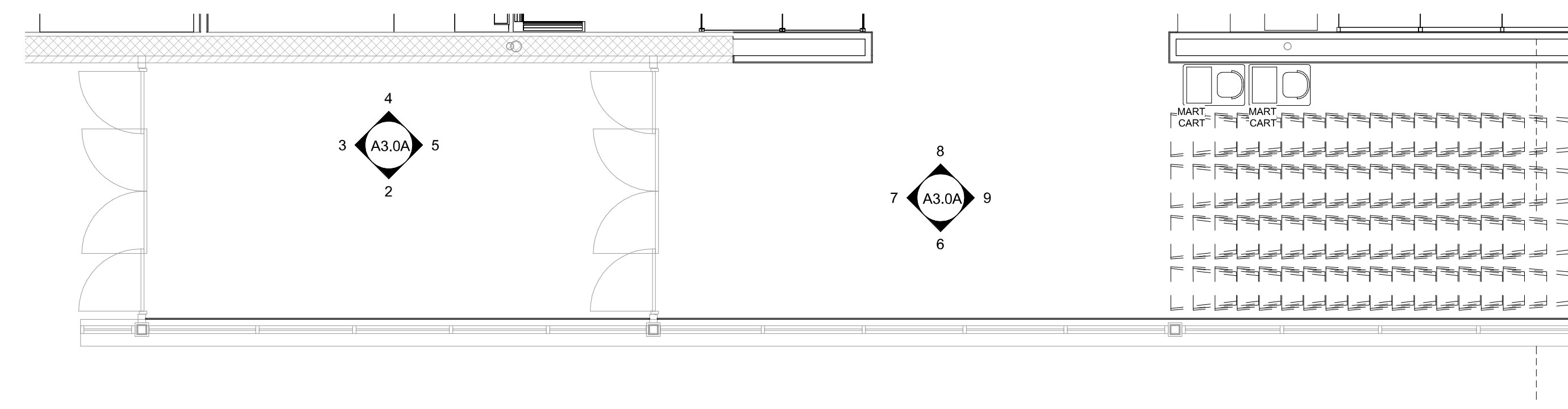
6 ELEVATION
 SCALE: 3/8" = 1'-0"



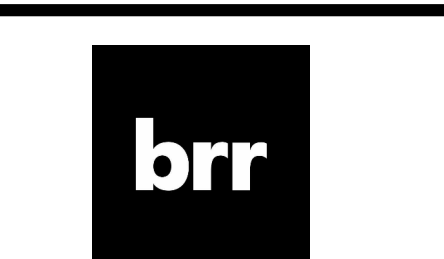
3 ELEVATION
 SCALE: 3/8" = 1'-0"



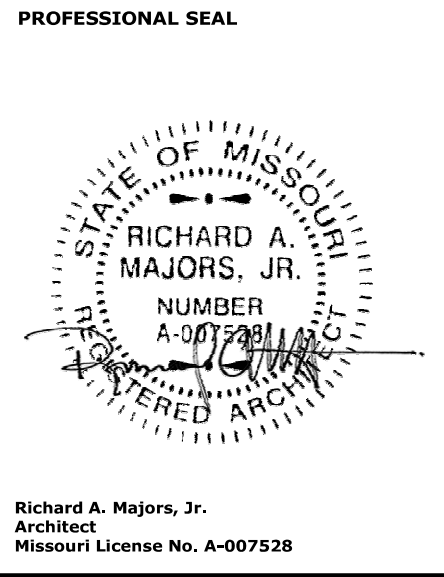
2 ELEVATION
 SCALE: 3/8" = 1'-0"



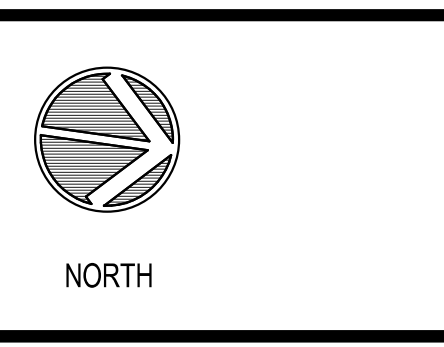
1 ENLARGED PLAN-FRONT END
 SCALE: 3/16" = 1'-0"



Architect of Record:
 BRR Architecture, Inc.
 Kansas City 8131 Metcalf Avenue
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 Phone: (913) 262-9095
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LOCATION: LEE'S SUMMIT, MO #2
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 5820 WESTOWN PARKWAY
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 FAX: (515) 281-2838
HyVee
 EMPLOYEE OWNED



FRONT ENTRANCE ELEVATIONS

PROJECT MANAGER SB	CHECKED BY JPS
DRAWN BY AP	DATE 10/20/2020
SCALE As indicated	JOB NUMBER 62930547

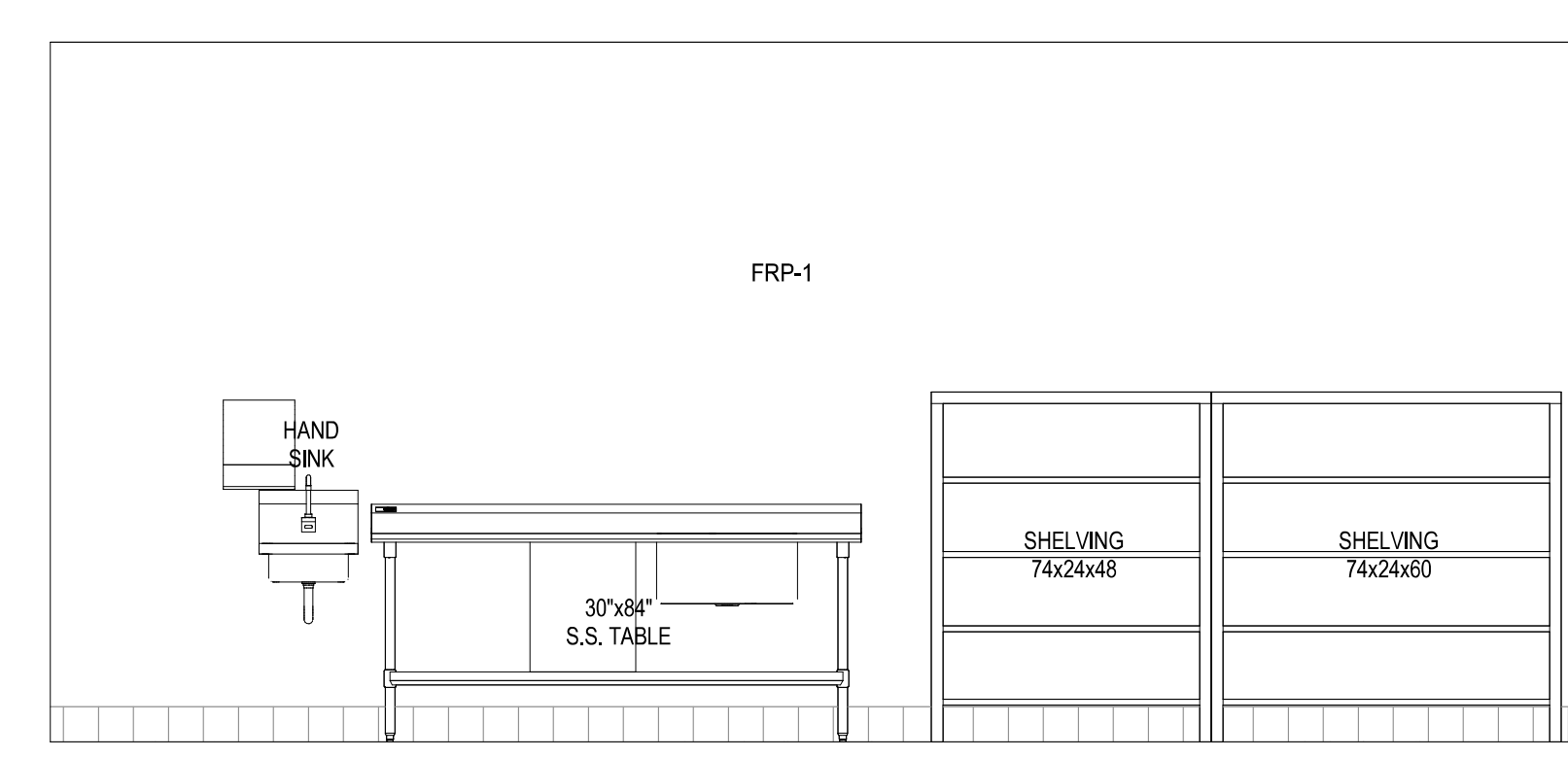
SHEET: **A3.0A**

GENERAL NOTES

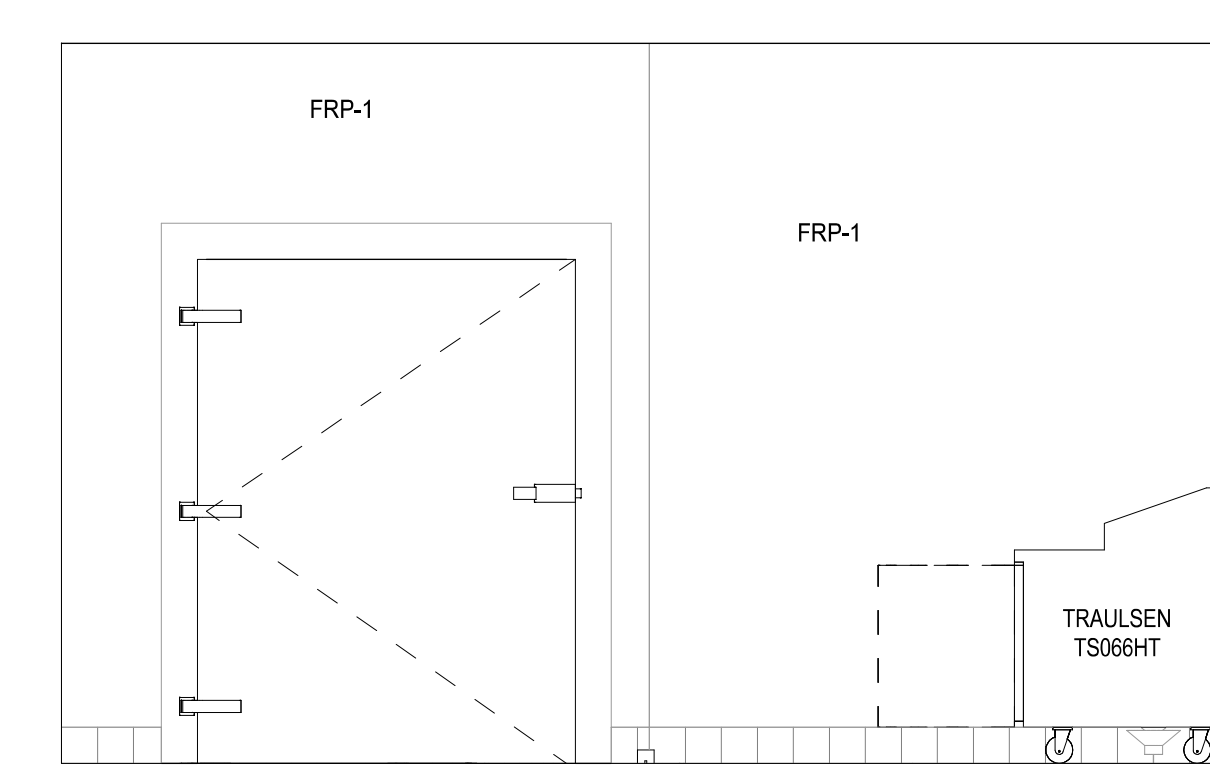
FOR FINISH SCHEDULE SEE SHEET A2.2.

BASE & FLOOR TILE - GRANULAR QUARTZ EPOXY - SEE FLOOR FINISH PLAN FOR COLOR DESIGNATION - BASE REFERENCE DETAIL 15/A3.1

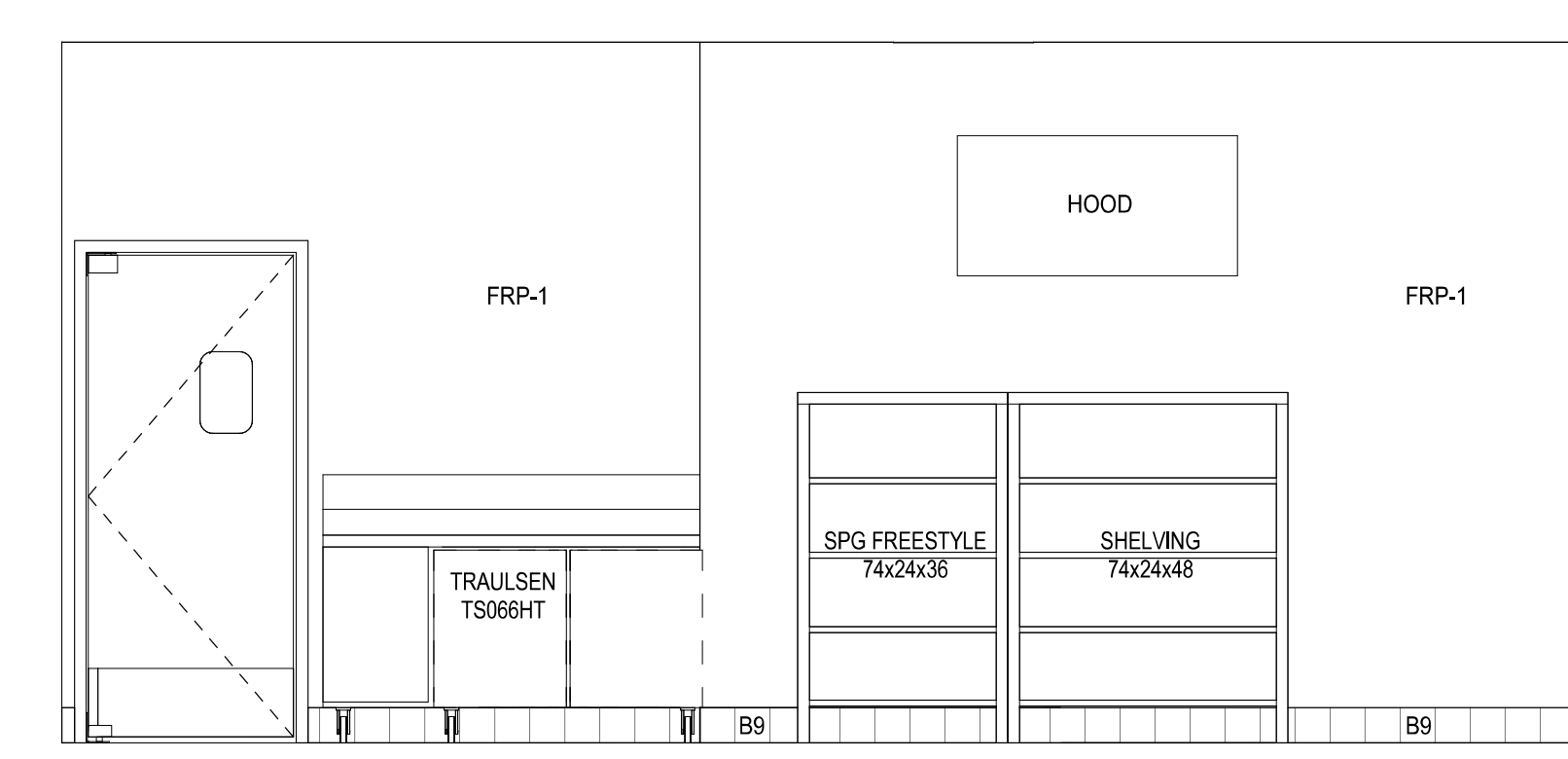
ALL MILLWORK IN FOOD SERVICE AREAS TO HAVE ALL SURFACES FINISHED - NO EXPOSED EDGES OR UNDER SIDES



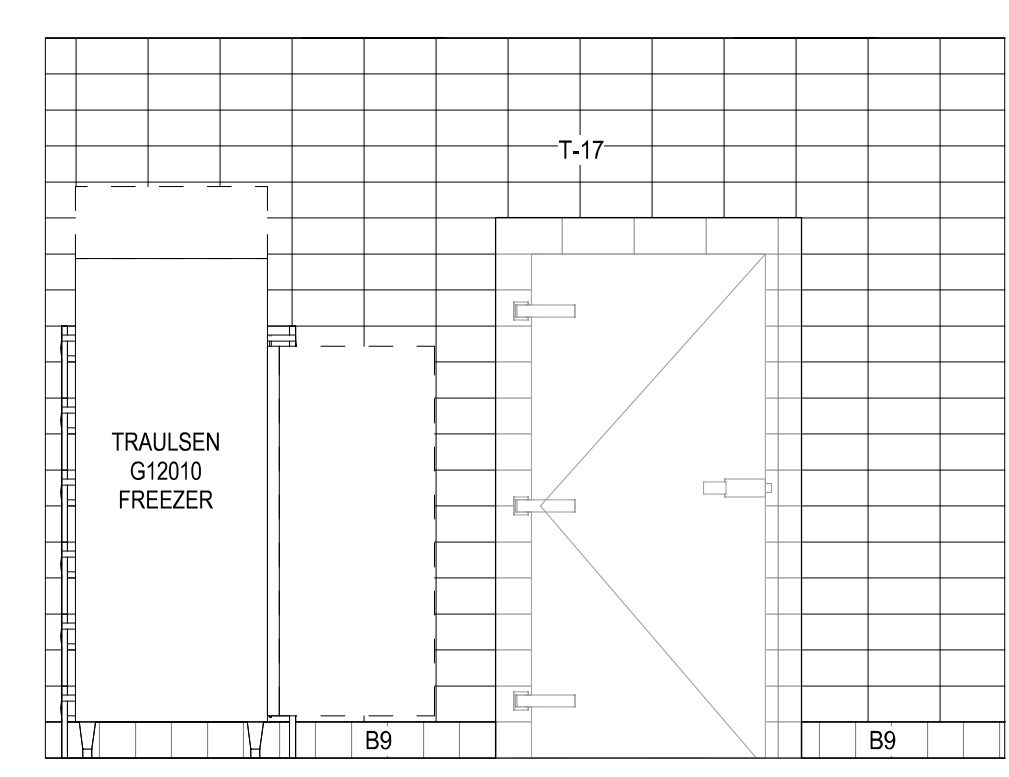
11 ELEVATION
SCALE: 3/8" = 1'-0"



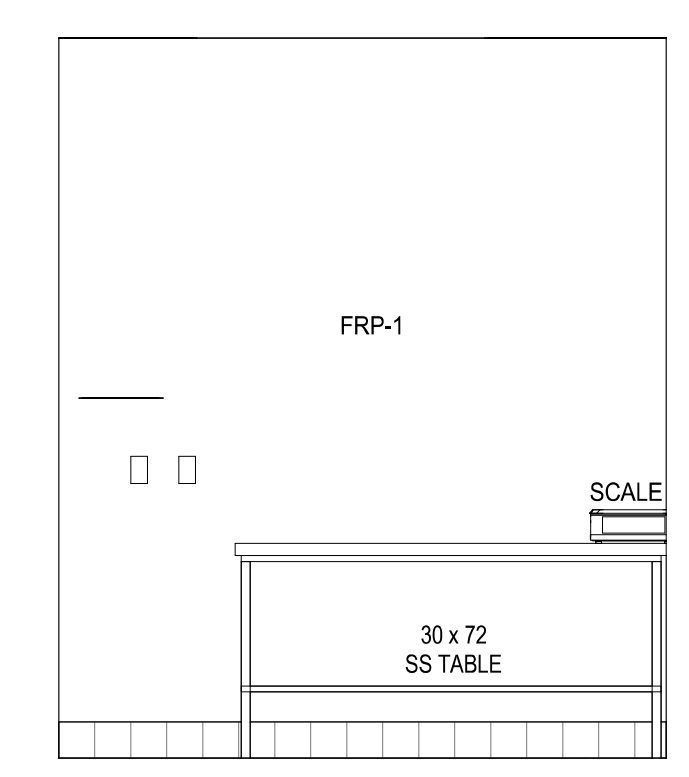
12 ELEVATION
SCALE: 3/8" = 1'-0"



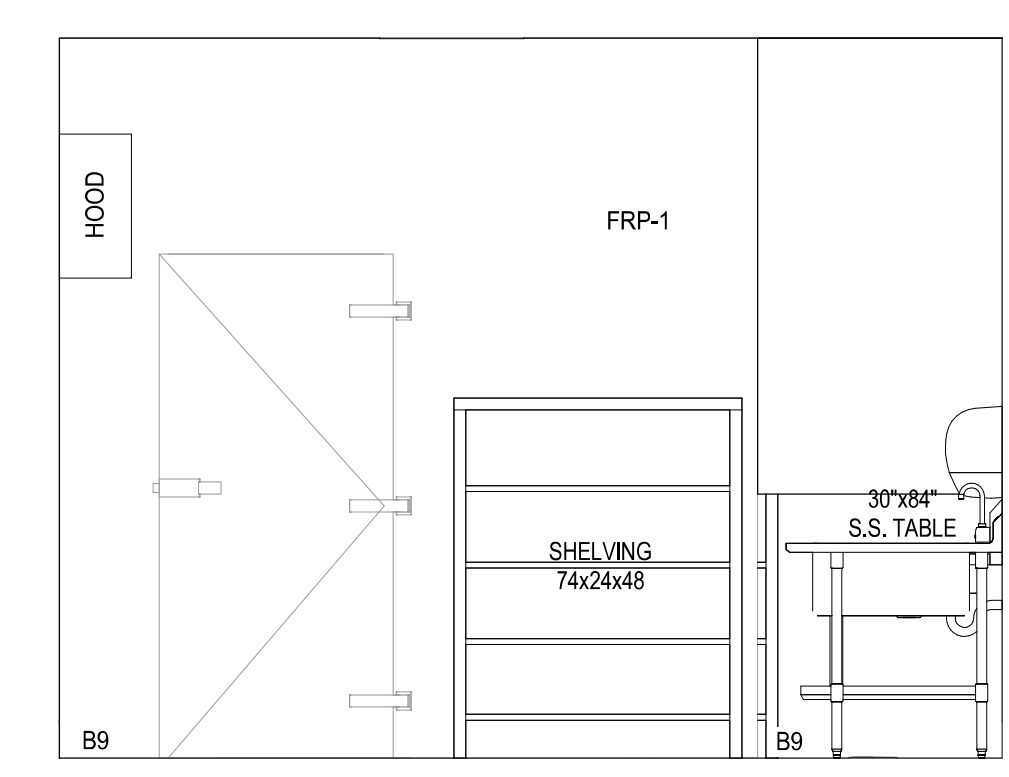
13 ELEVATION
SCALE: 3/8" = 1'-0"



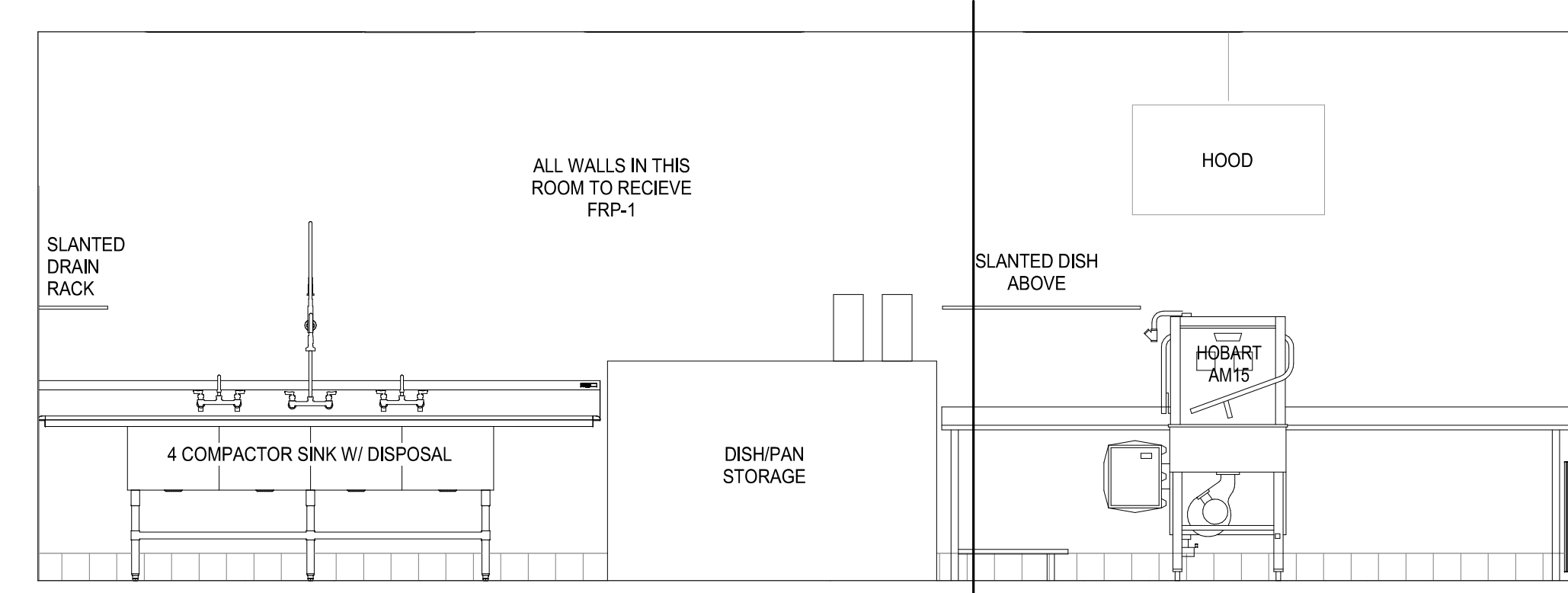
8 ELEVATION
SCALE: 3/8" = 1'-0"



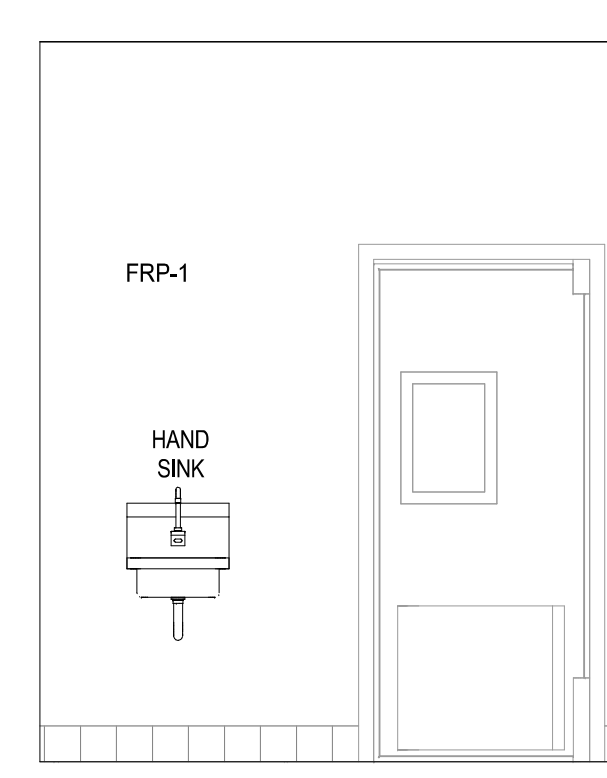
9 ELEVATION
SCALE: 3/8" = 1'-0"



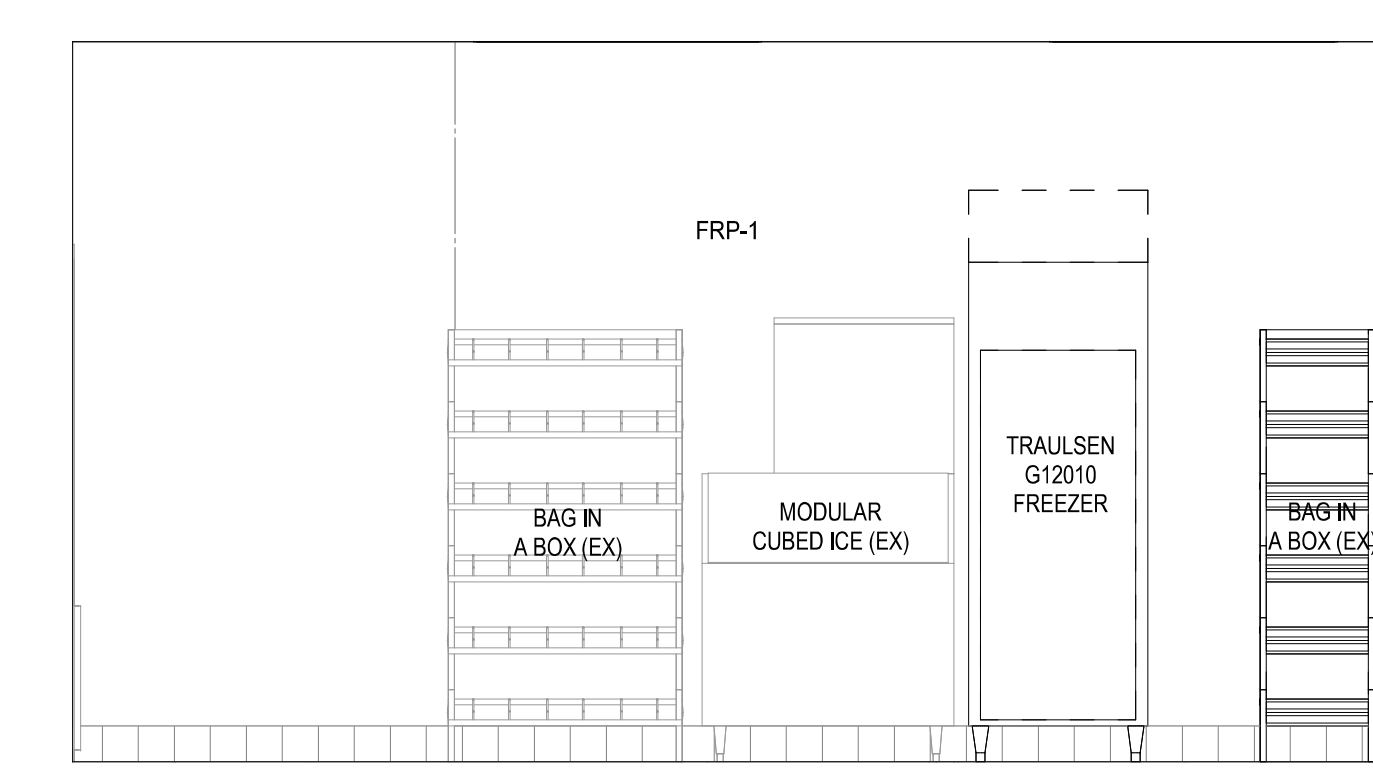
10 ELEVATION
SCALE: 3/8" = 1'-0"



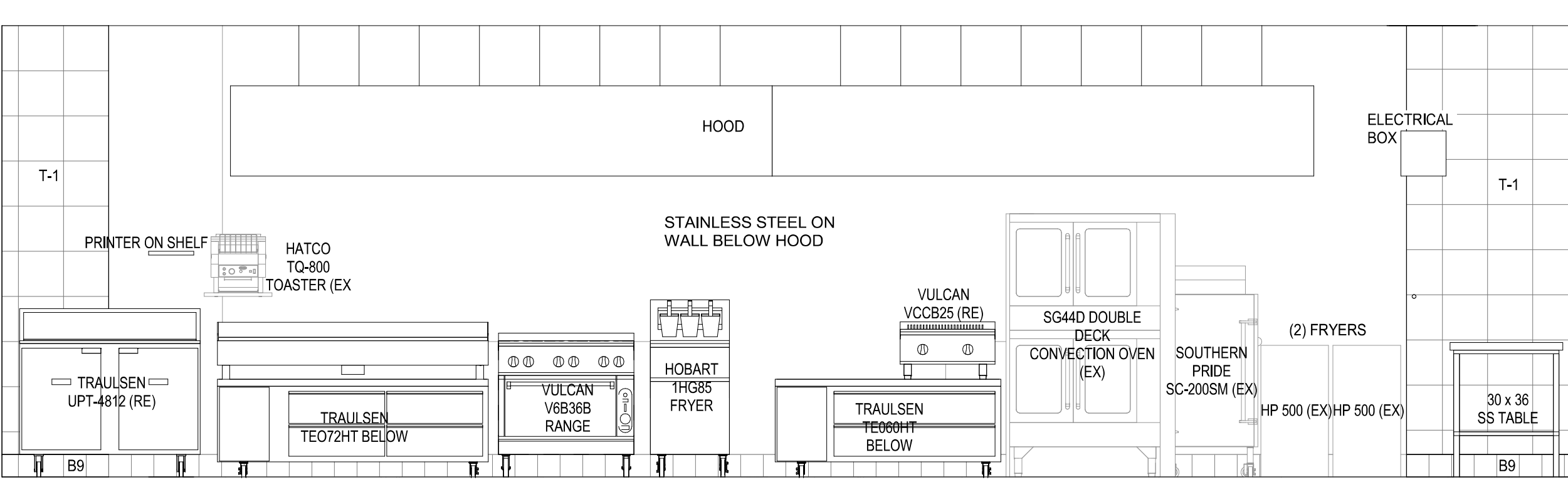
5 ELEVATION
SCALE: 3/8" = 1'-0"



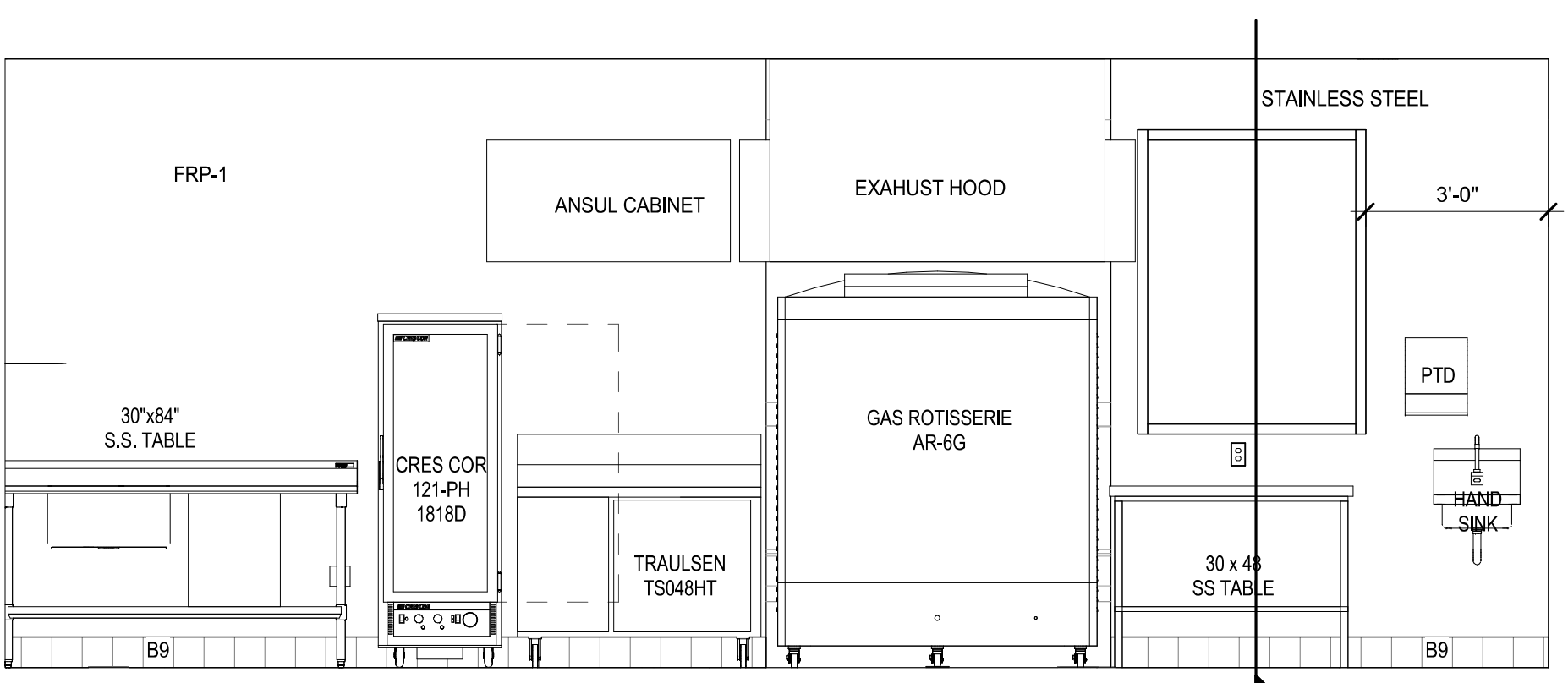
6 ELEVATION
SCALE: 3/8" = 1'-0"



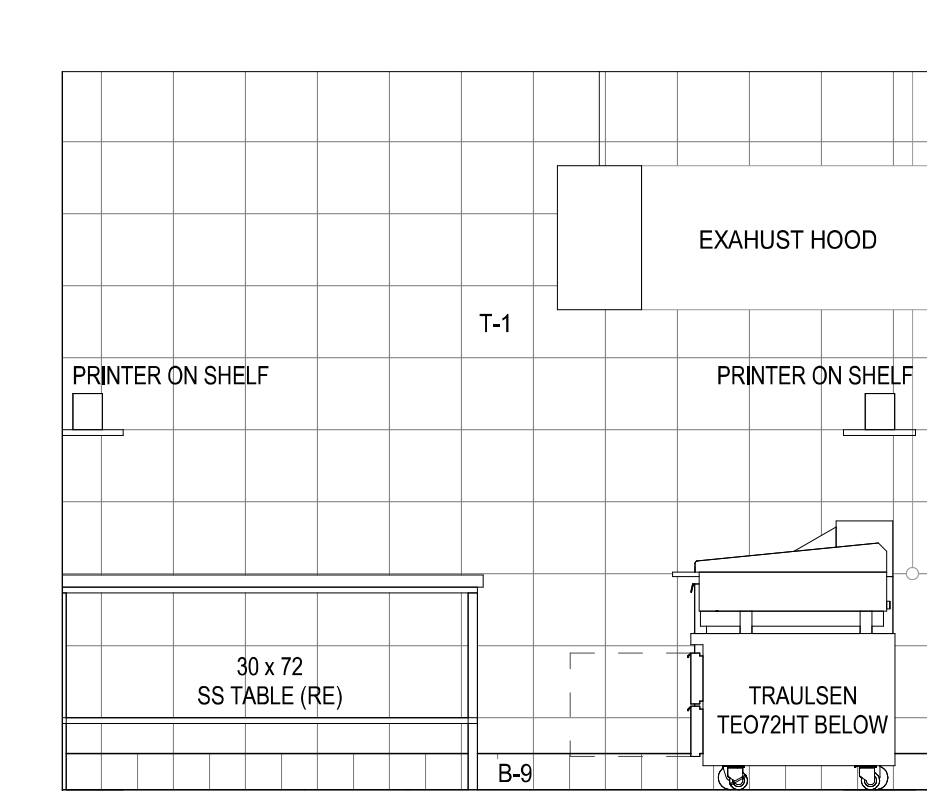
7 ELEVATION
SCALE: 3/8" = 1'-0"



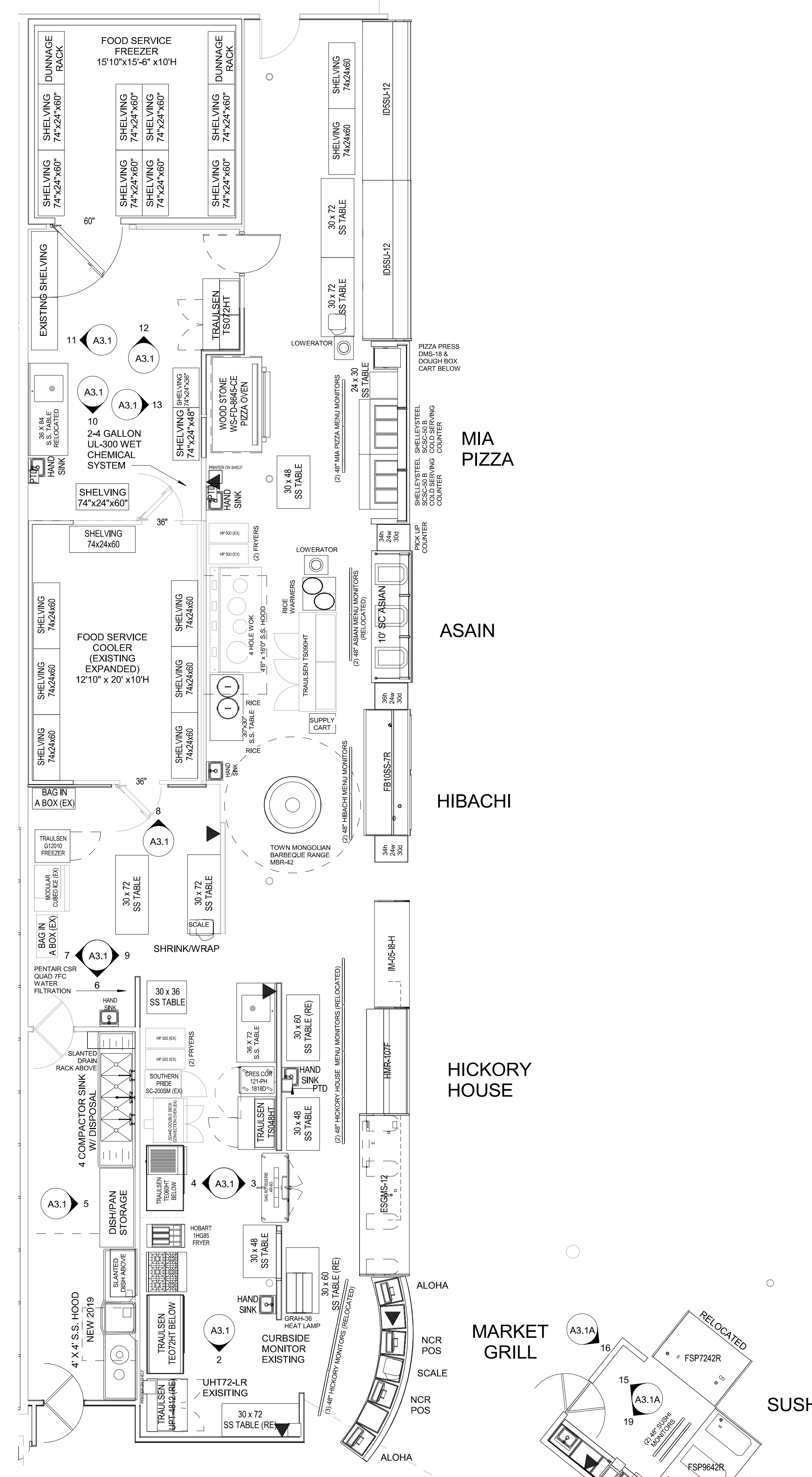
4 ELEVATION
SCALE: 3/8" = 1'-0"



3 ELEVATION
SCALE: 3/8" = 1'-0"



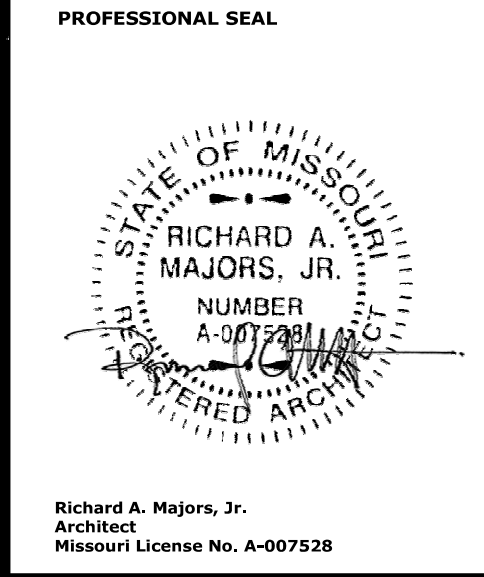
2 ELEVATION
SCALE: 3/8" = 1'-0"



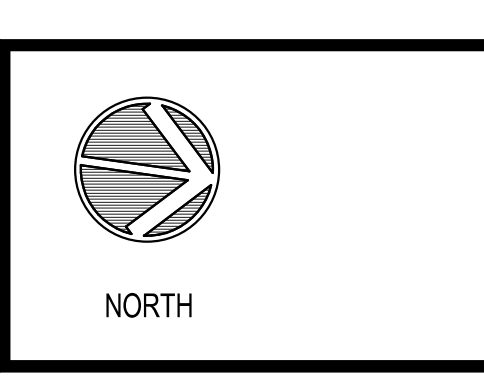
1 PARTIAL FLOOR PLAN - FOOD SERVICE
SCALE: 3/16" = 1'-0"



Architect of Record:
BRR Architecture, Inc.
Kansas City
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Tel: 913-262-9095
Fax: 913-262-9044



LOCATION: LEE'S SUMMIT, MO #2
HY-VEE INC.
5820 WEST TOWN PARKWAY
WEST DES MOINES, IOWA 50366
TEL: (515) 281-2800
FAX: (515) 281-2838
EMPLOYEE OWNED



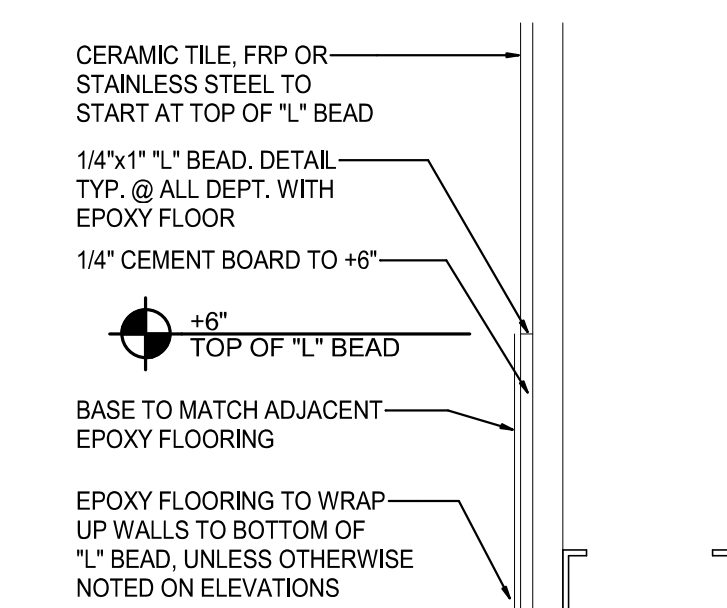
ENLARGED PLAN & ELEVATIONS - FOOD SERVICE

PROJECT MANAGER	SB	CHECKED BY	JPS
DRAWN BY	AP	DATE	10/20/2020
SCALE	As indicated	JOB NUMBER	62930547
SHEET			

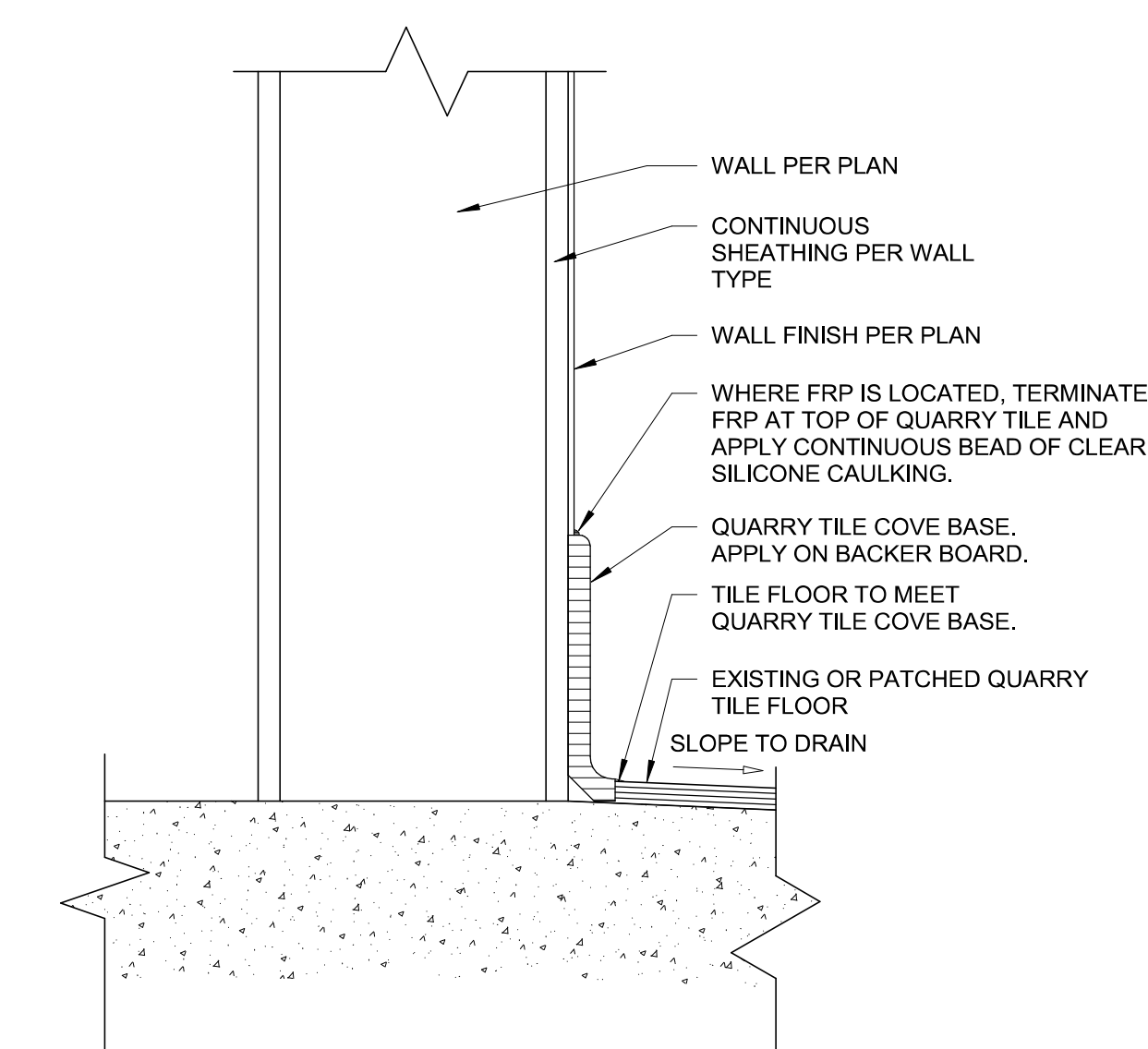
A3.1

GENERAL NOTES

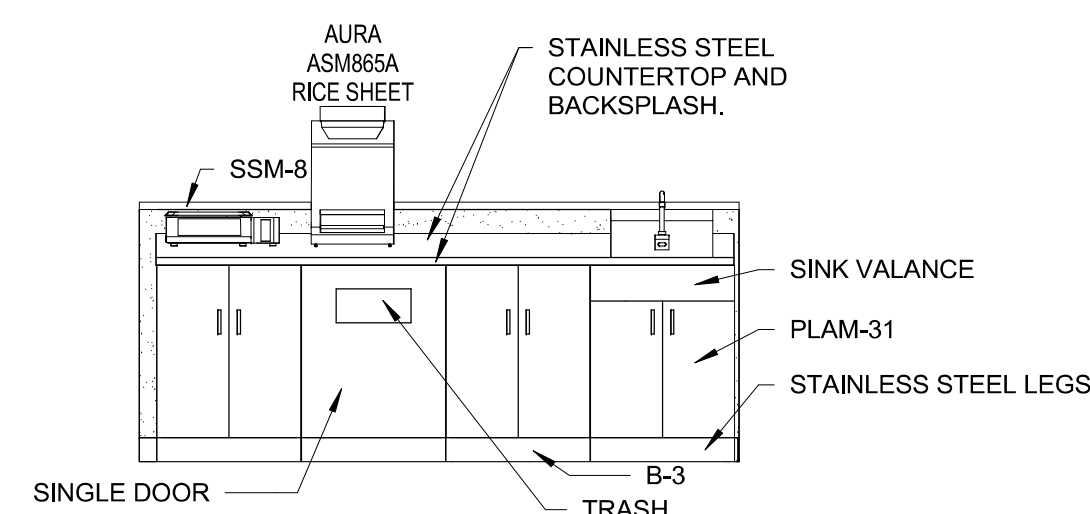
FOR FINISH SCHEDULE SEE SHEET A2.2.
 BASE & FLOOR TILE - GRANULAR QUARTZ EPOXY - SEE FLOOR FINISH PLAN FOR COLOR DESIGNATION - BASE REFERENCE DETAIL 19/A3.1
 ALL MILLWORK IN FOOD SERVICE AREAS TO HAVE ALL SURFACES FINISHED. NO EXPOSED EDGES OR UNDER SIDES



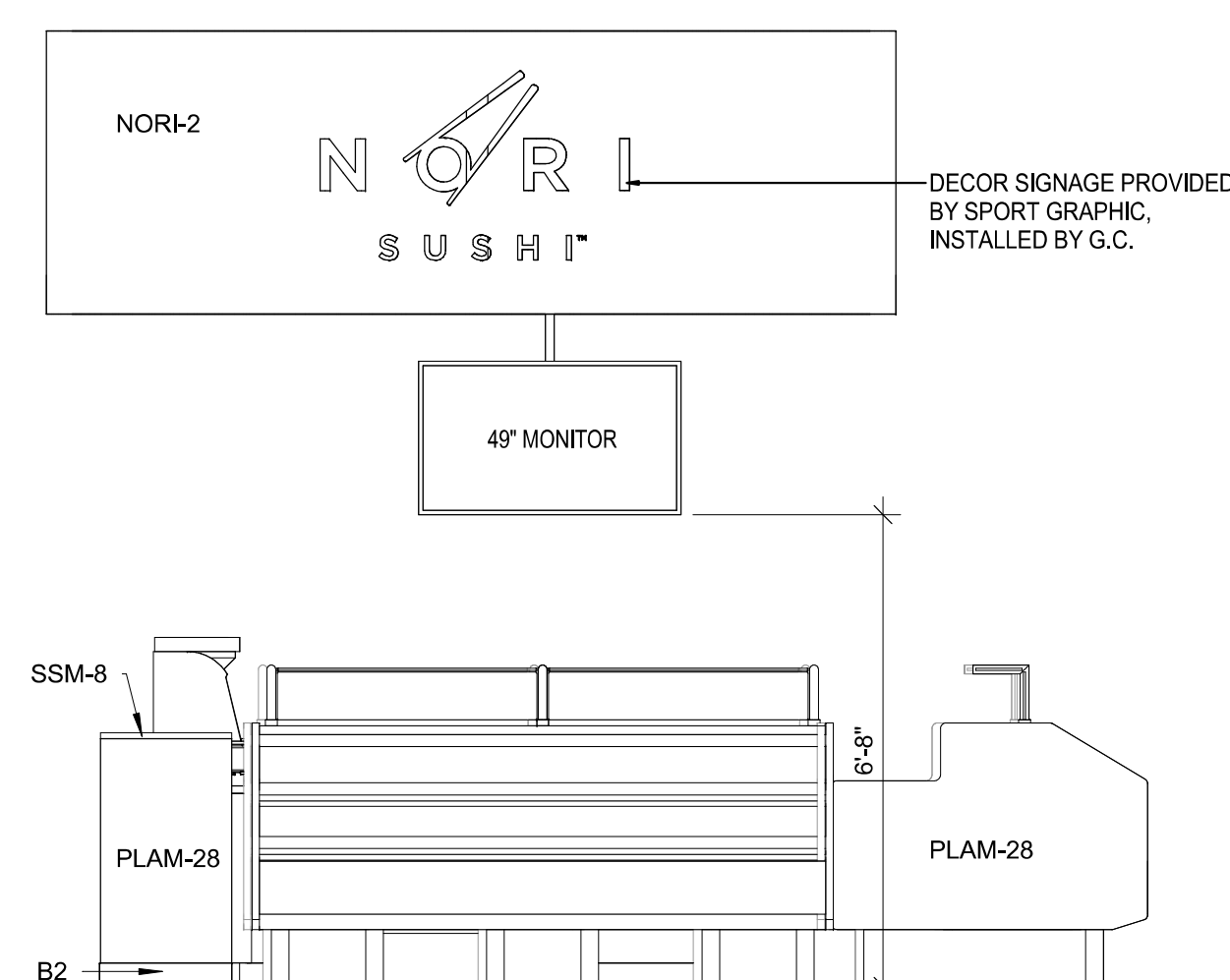
21 EPOXY BASE DETAIL
 SCALE: 3" = 1'-0"



20 QUARRY TILE BASE DETAIL
 SCALE: 3" = 1'-0"



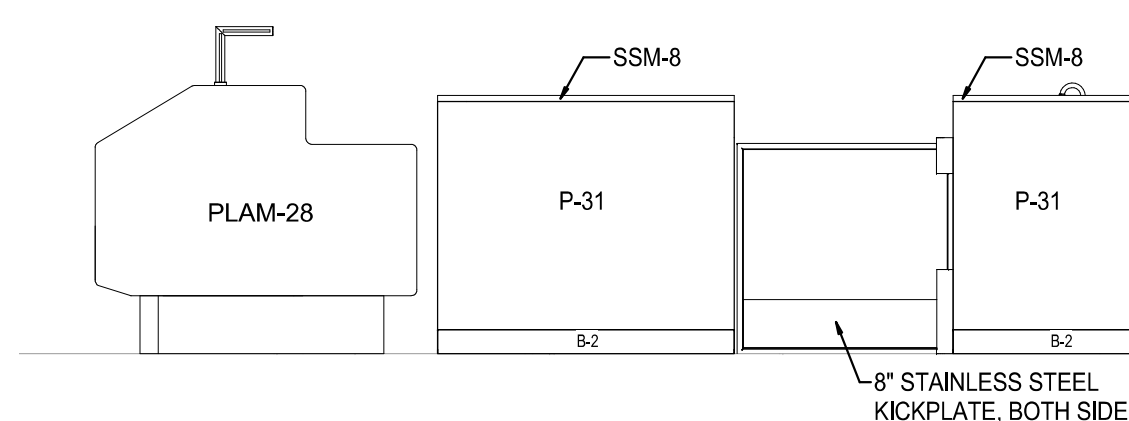
19 ELEVATION
 SCALE: 3/8" = 1'-0"



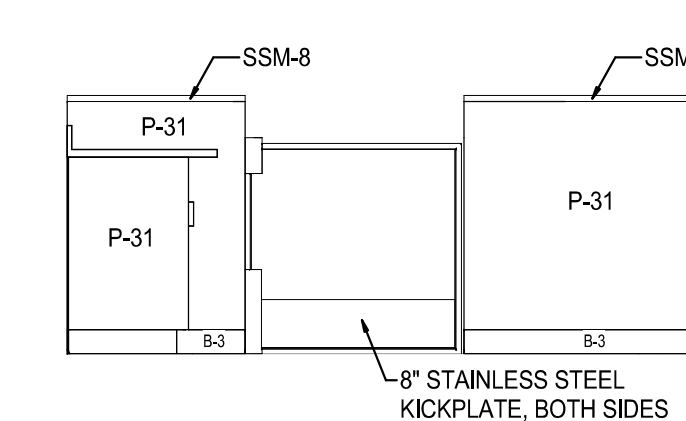
18 ELEVATION
 SCALE: 3/8" = 1'-0"



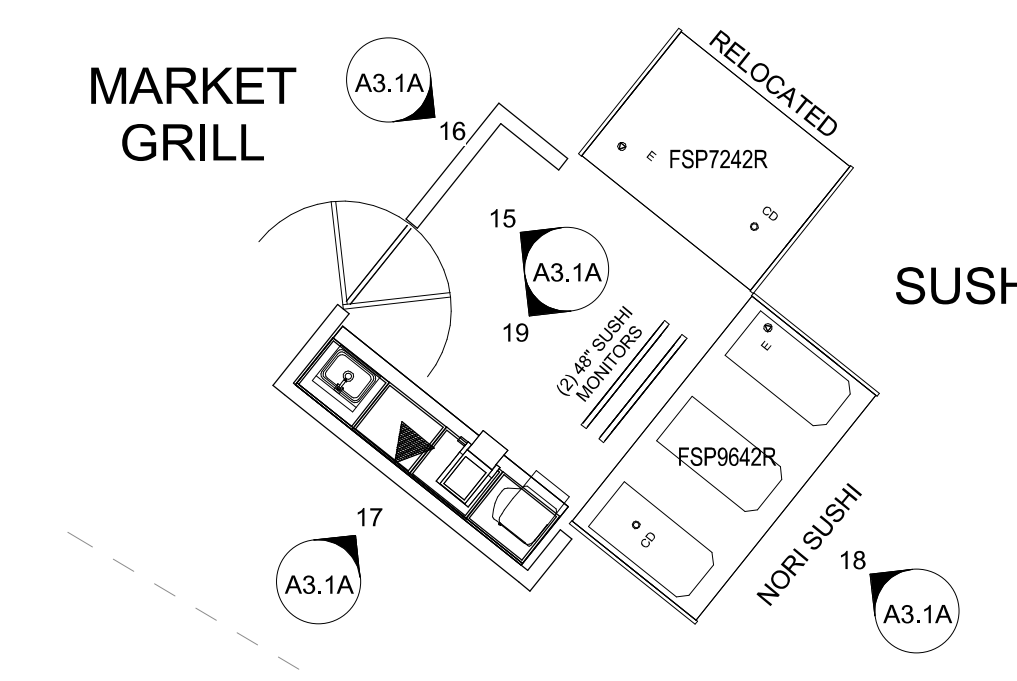
17 ELEVATION
 SCALE: 3/8" = 1'-0"



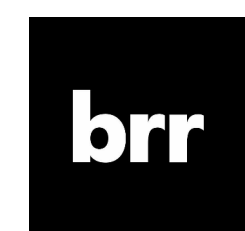
16 ELEVATION
 SCALE: 3/8" = 1'-0"



15 ELEVATION
 SCALE: 3/8" = 1'-0"

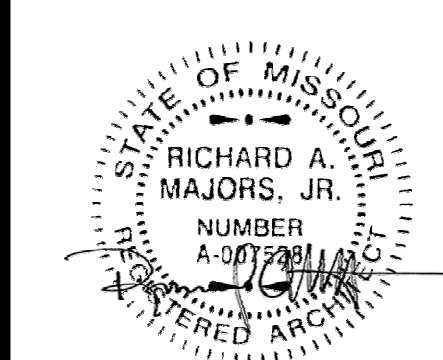


14 PARTIAL FLOOR PLAN - FOOD SERVICE
 SCALE: 3/16" = 1'-0"



Architect of Record:
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PROFESSIONAL SEAL



Richard A. Majors, Jr.
 Architect
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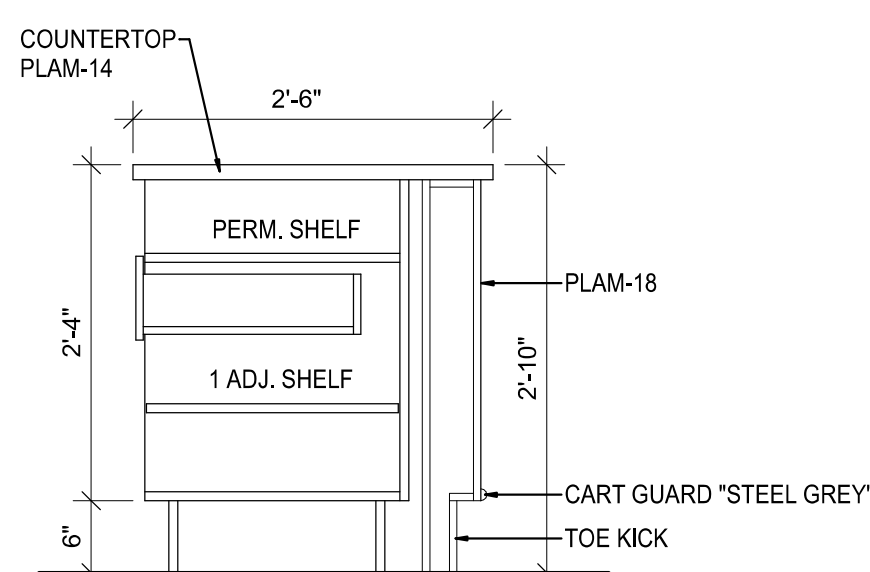
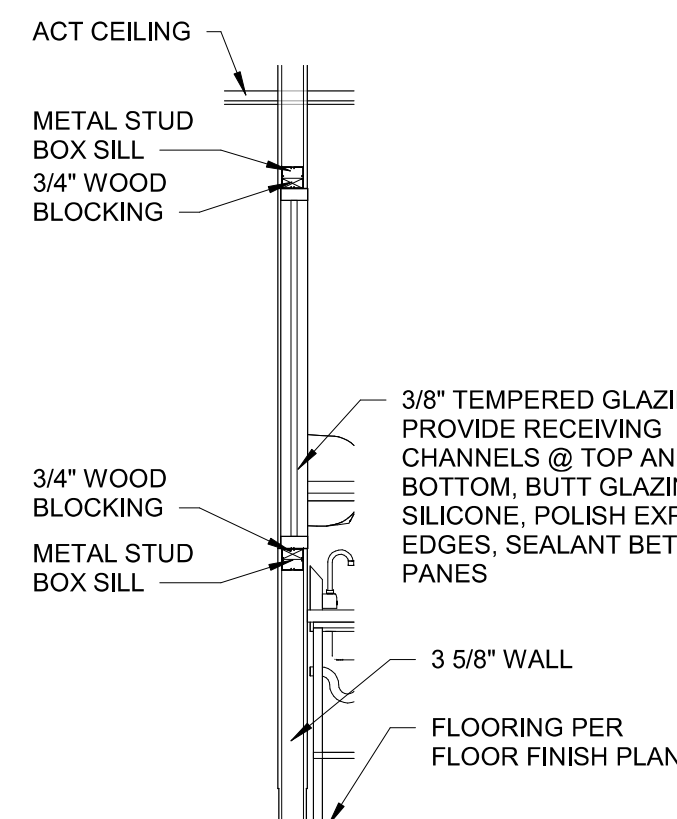
ENLARGED PLAN & ELEVATIONS - FOOD SERVICE

PROJECT MANAGER SB	CHECKED BY JPS
DRAWN BY AP	DATE 10/20/2020
SCALE As indicated	JOB NUMBER 62930547

SHEET
A3.1A

GENERAL NOTES

GENERAL NOTES:
 FOR FINISH SCHEDULE SEE SHEET A2.2.
 FOR 12x12 TILED WALLS:
 DO NOT CUT VERTICAL TILE EXCEPT AT THE FIRST COURSE. THE INTENT IS FOR THE WALL HEIGHT TO ACCOMMODATE FULL TILES ABOVE THE BASE.
 BASE & FLOOR TILE - GRANULAR QUARTZ EPOXY - SEE FLOOR FINISH PLAN FOR COLOR DESIGNATION - BASE REFERENCE DETAIL 19A3.1
 ***NOTE: SCHLUTER-RONDEO SATIN ANODIZED ALUMINUM RO 50A STRIP ON ALL OUTSIDE CORNERS WITH CERAMIC TILE.
 ALL MILLWORK IN FOOD SERVICE AREAS TO HAVE ALL SURFACES FINISHED- NO EXPOSED EDGES OR UNDER SIDES

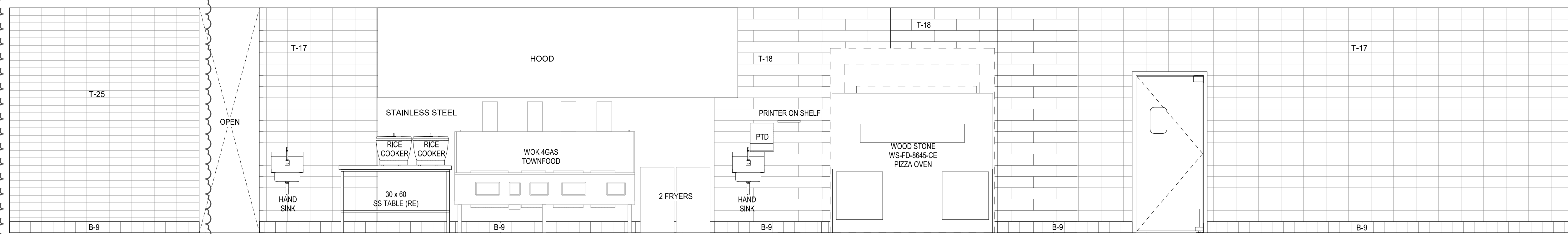


7 SECTION @ FOOD SERVICE WINDOW

SCALE: 3/8" = 1'-0"

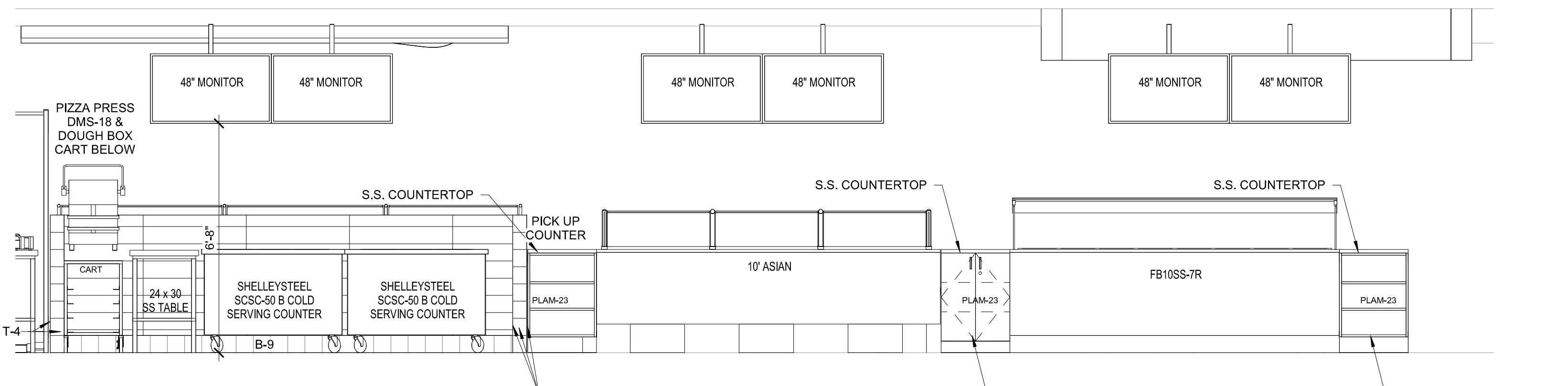
8 SECTION @ PAY STATION

SCALE: 3/4" = 1'-0"



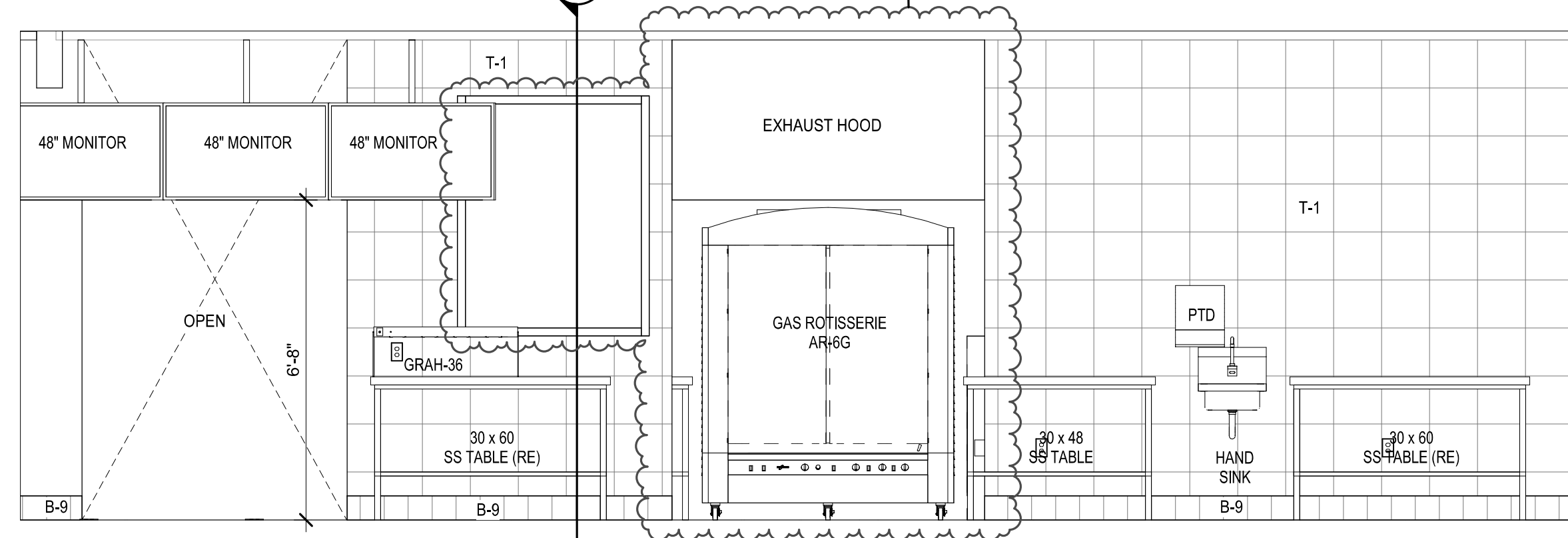
6 ELEVATION

SCALE: 3/8" = 1'-0"



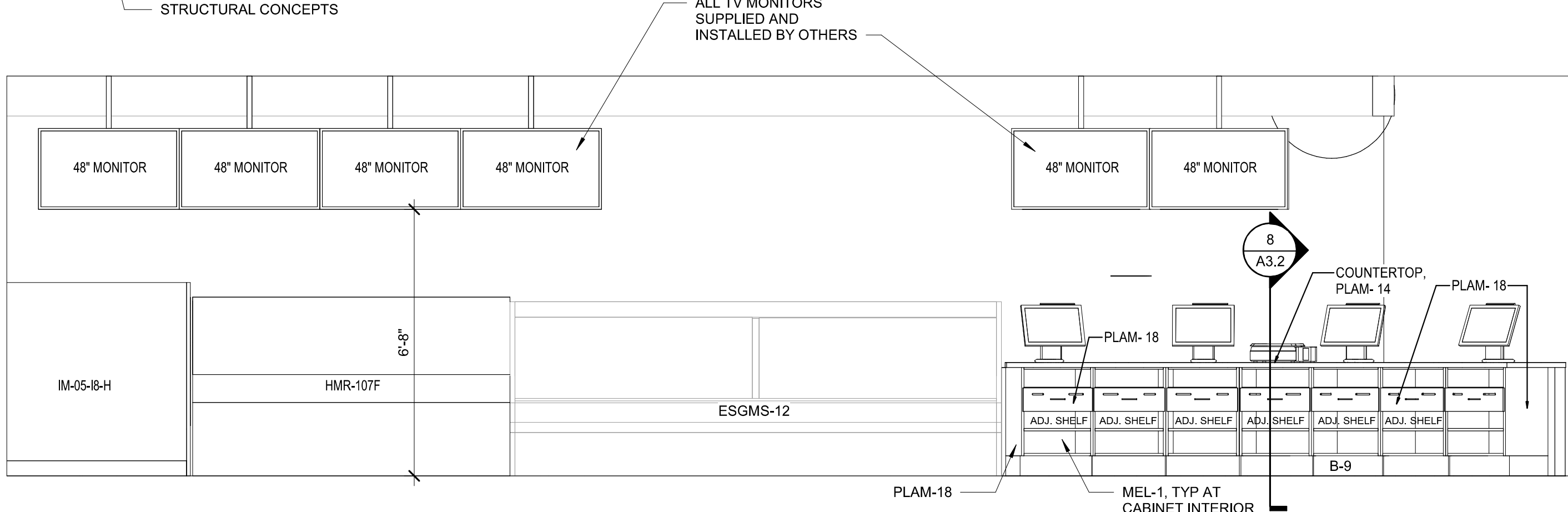
5 ELEVATION

SCALE: 3/8" = 1'-0"



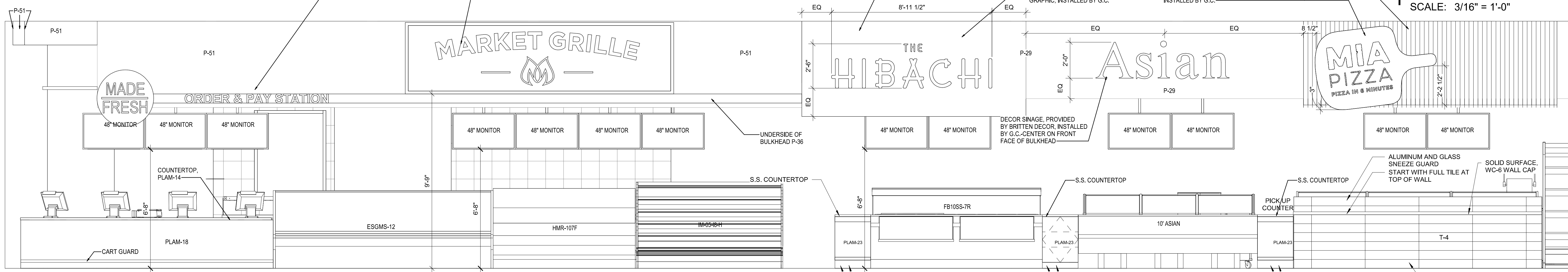
4 ELEVATION

SCALE: 3/8" = 1'-0"



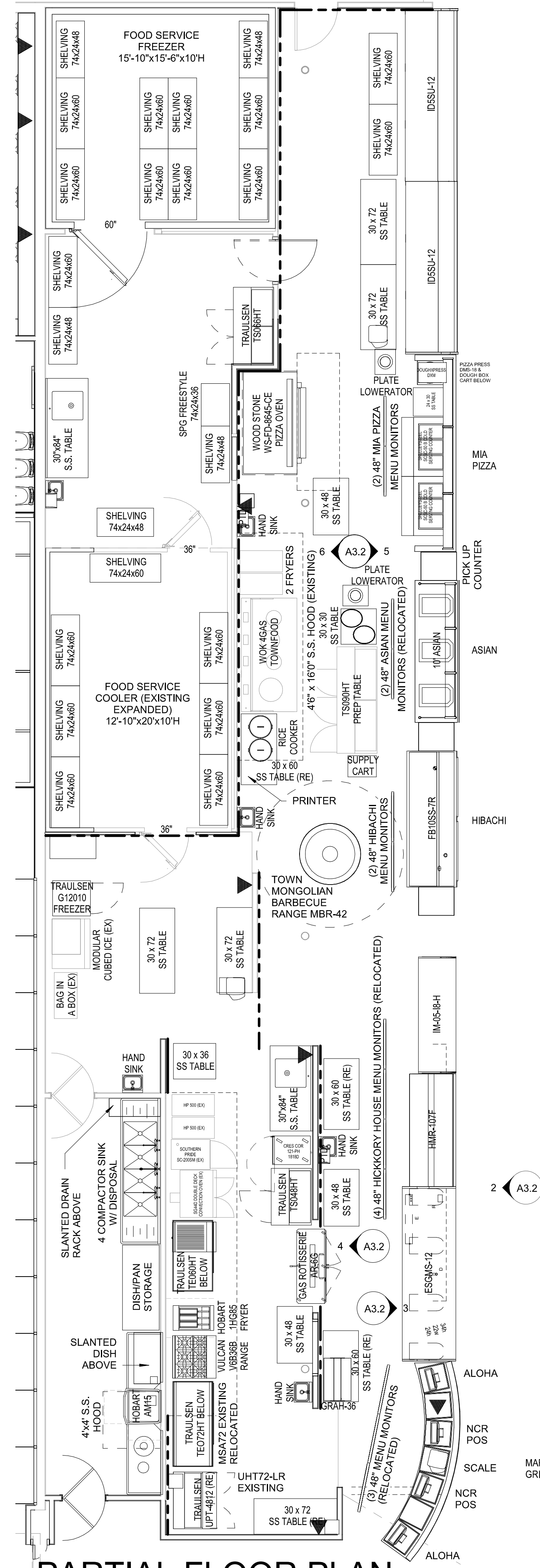
3 ELEVATION

SCALE: 3/8" = 1'-0"



2 ELEVATION

SCALE: 3/8" = 1'-0"



PARTIAL FLOOR PLAN - FRESH DEPARTMENT

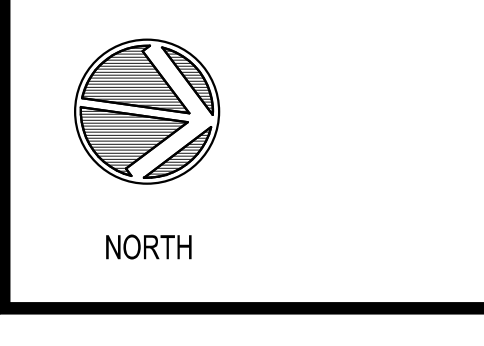
SCALE: 3/16" = 1'-0"

11/12/2020 11:37:27 AM

brr
 Architect of Record:
 BRR Architecture, Inc.
 Kansas City 833 Metcalf Avenue
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 Atlanta Tel: 913-262-9095
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 RICHARD A. MAJORS, JR.
 NUMBER A-072314
 REGISTERED ARCHITECT
 Richard A. Majors, Jr.
 Architect License No. A-007328

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HyVee
 EMPLOYEE OWNED



ENLARGED PLAN & ELEV - HICKORY HOUSE, ASIAN, HIBACHI, ITALIAN

PROJECT MANAGER	CHECKED BY
SB	JPS
DRAWN BY:	DATE
AP	10/20/2020
SCALE	JOB NUMBER
As indicated	62930547
SHEET:	

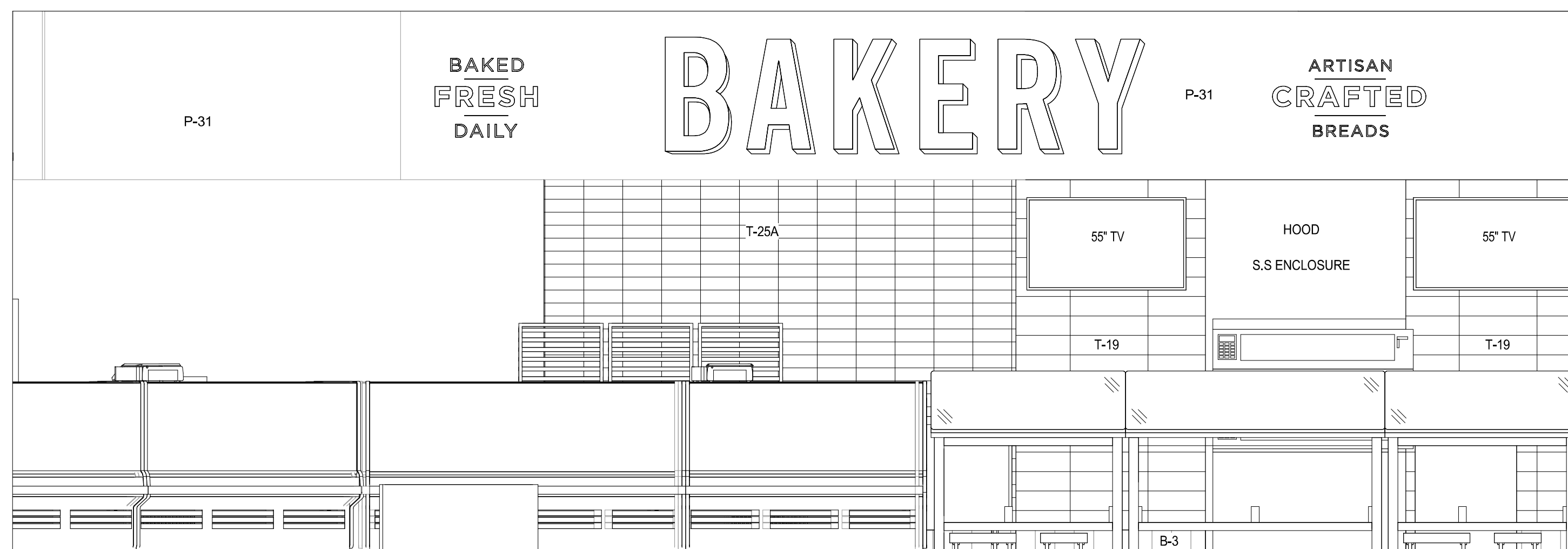
A3.2

GENERAL NOTES

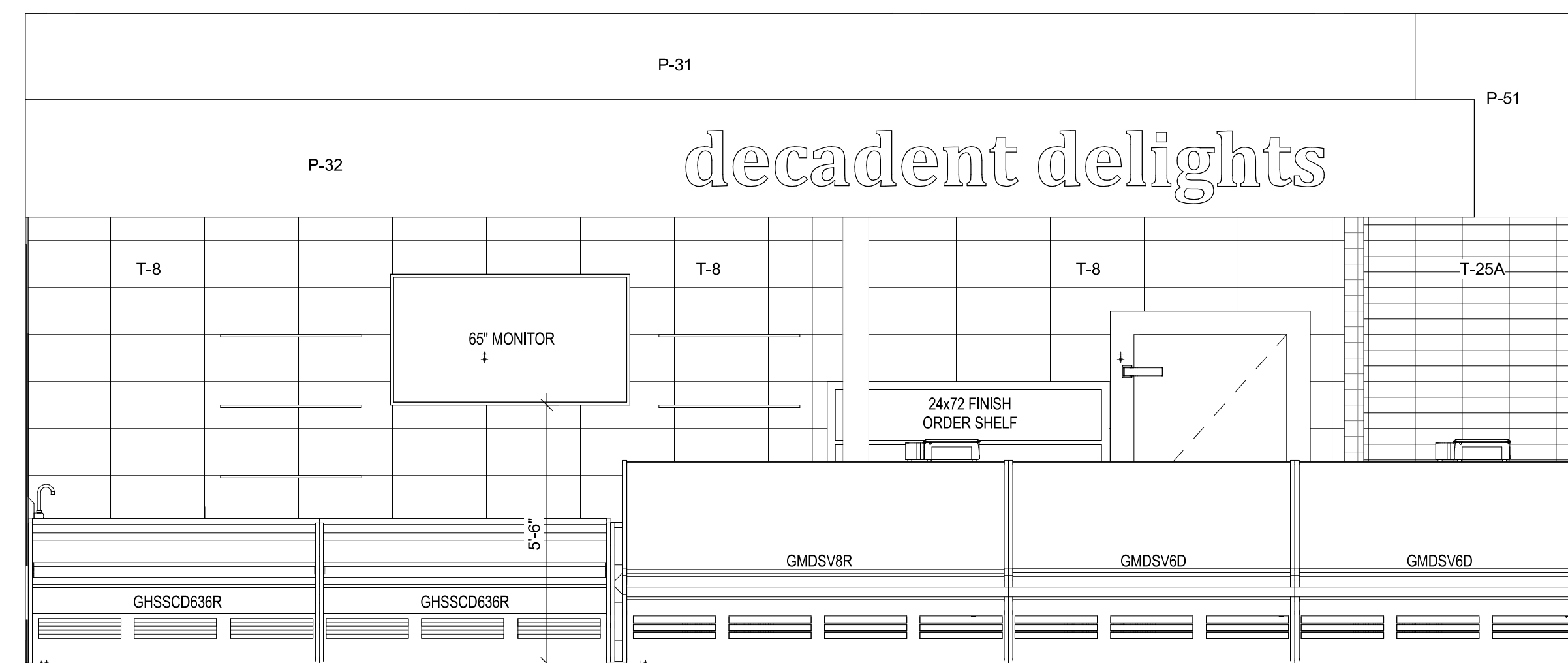
FOR FINISH SCHEDULE SEE SHEET A2.2.
 MILLWORK CABINETS FURNISHED BY HY-VEE

***NOTE: INSTALL SCHLUTER-RONDEC SATIN ANODIZED ALUMINUM RO 80X STRIP ON ALL OUTSIDE CORNERS WITH CERAMIC TILE

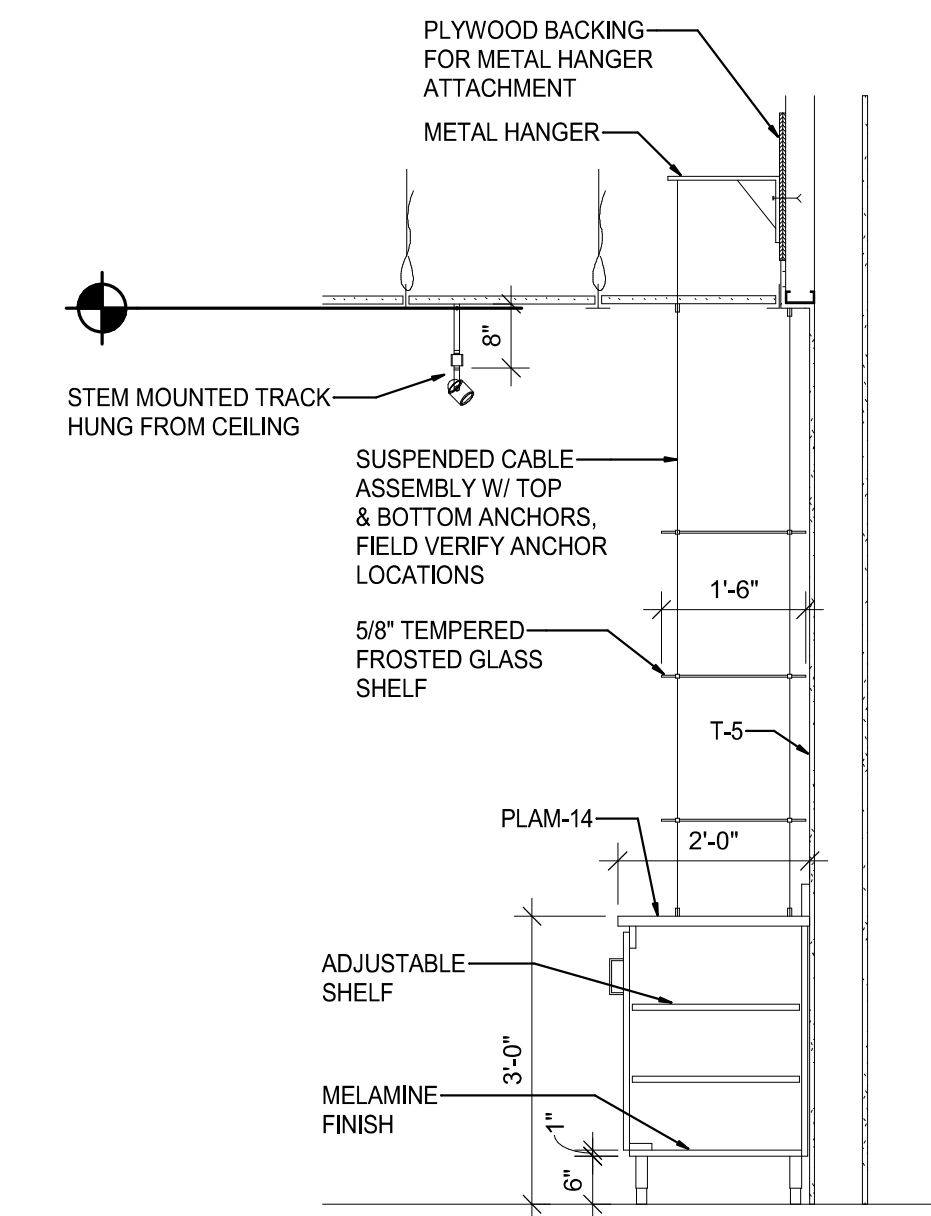
ALL MILLWORK IN FOOD SERVICE AREAS TO HAVE ALL SURFACES FINISHED- NO EXPOSED EDGES OR UNDER SIDES



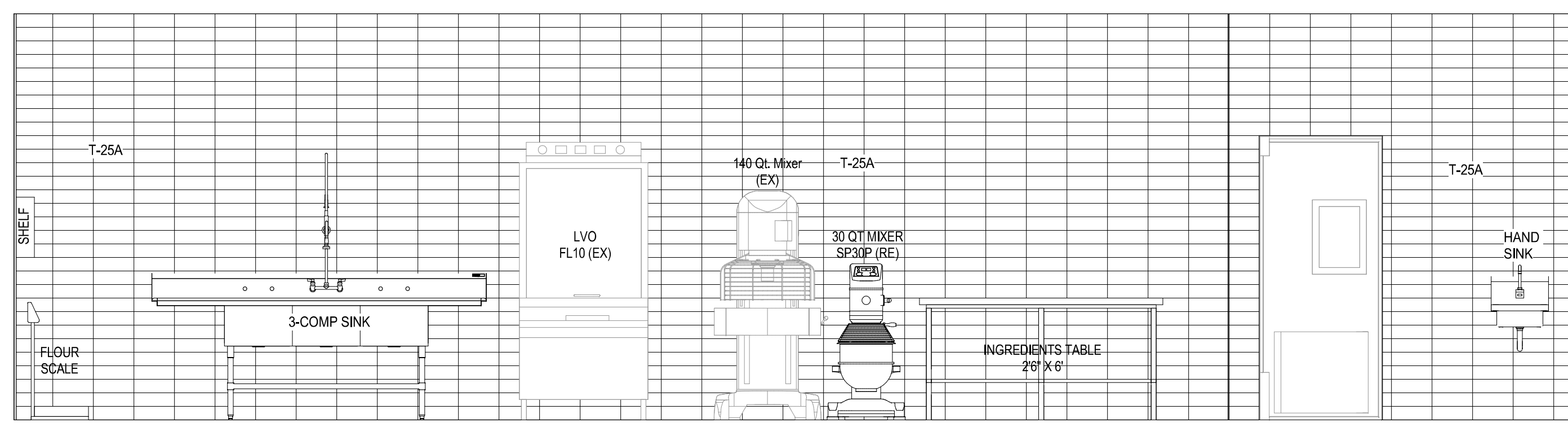
9 ELEVATION
 SCALE: 3/8" = 1'-0"



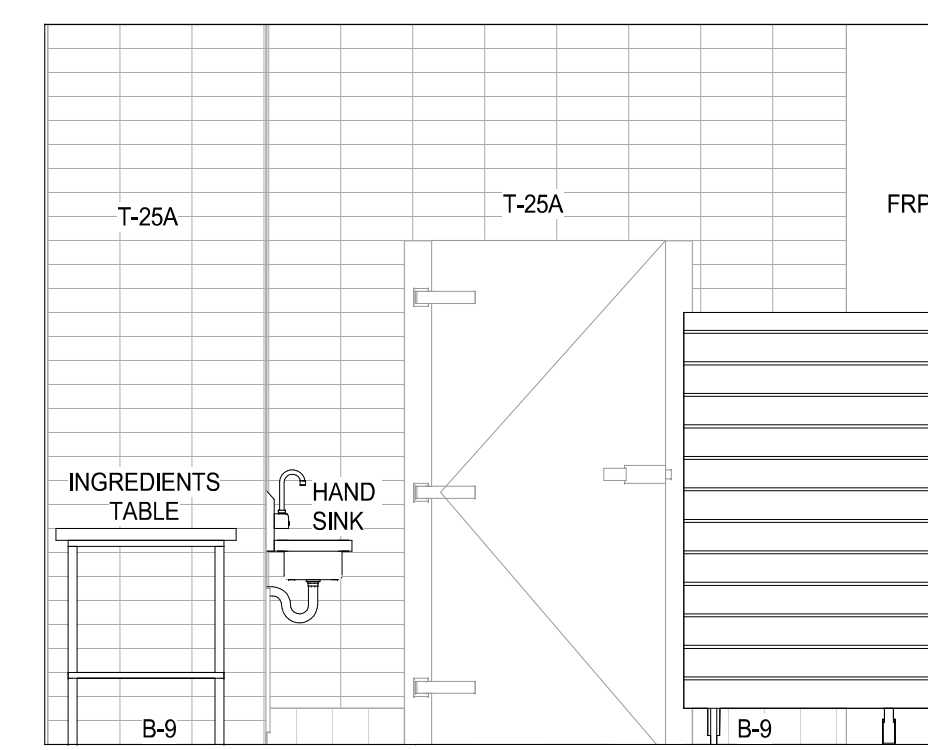
10 ELEVATION
 SCALE: 3/8" = 1'-0"



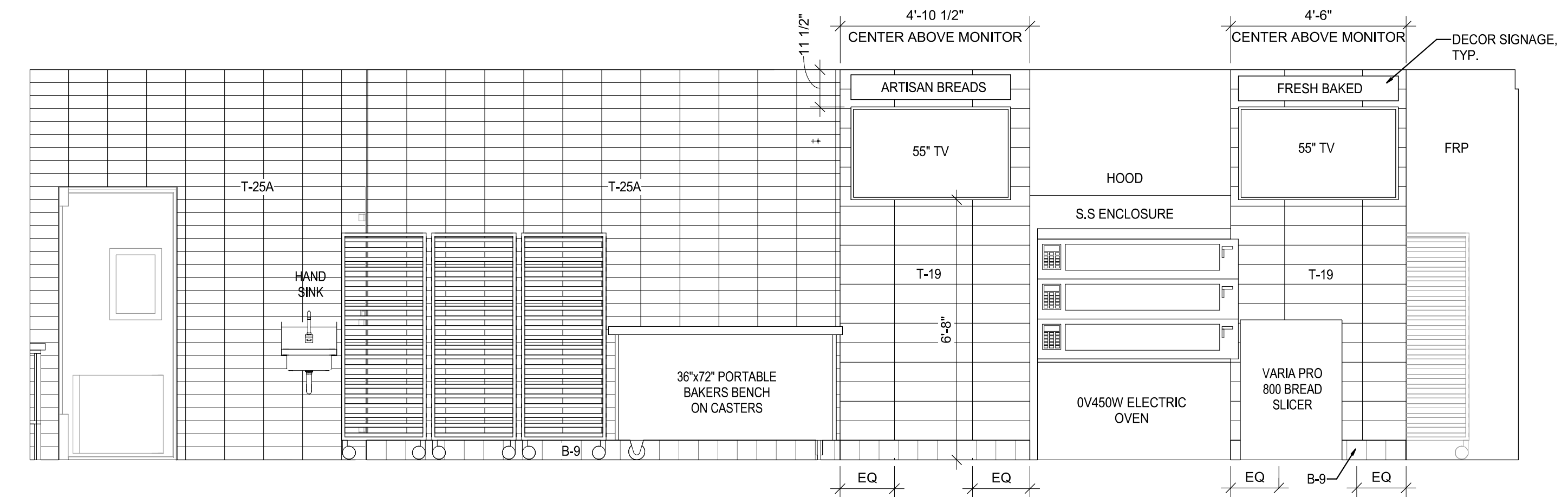
**SECTION THRU
 11 CAKE WALL**
 SCALE: 1/2" = 1'-0"



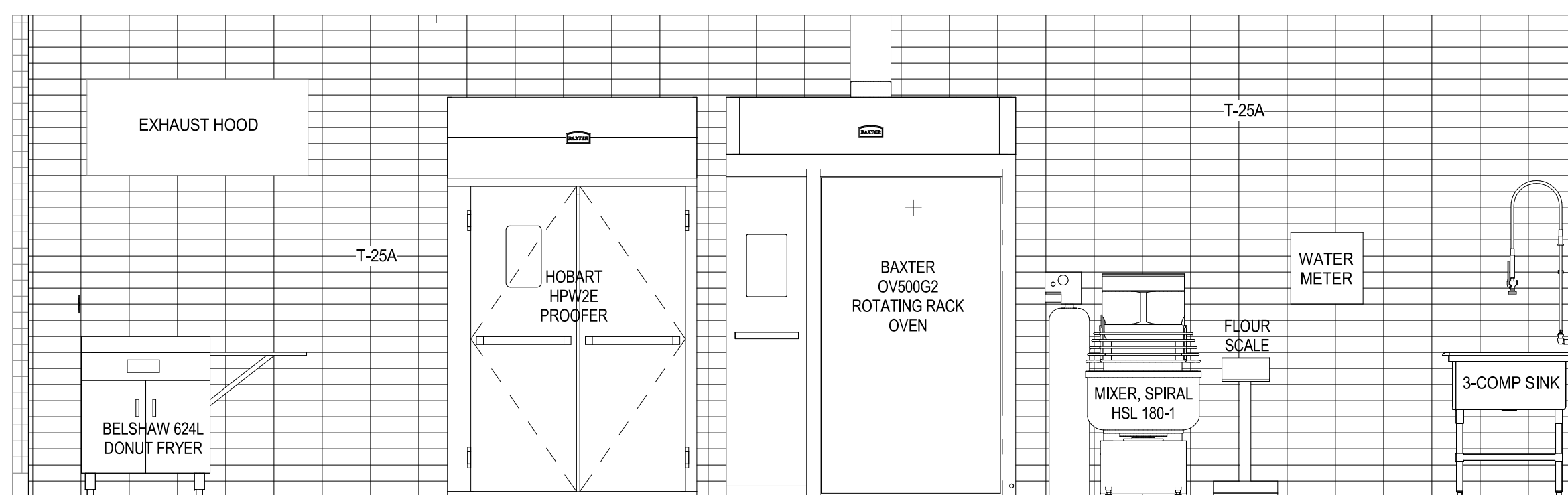
6 ELEVATION
 SCALE: 3/8" = 1'-0"



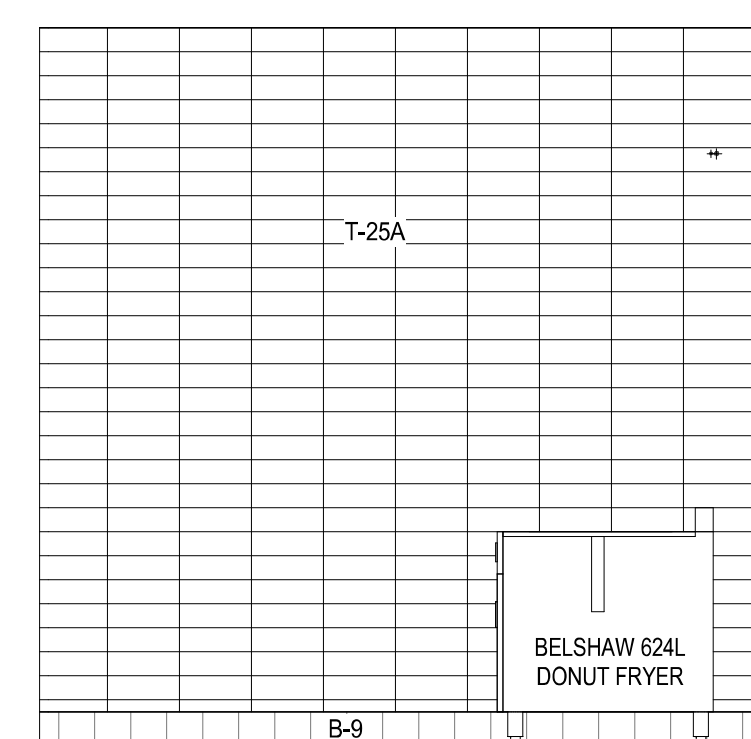
7 ELEVATION
 SCALE: 3/8" = 1'-0"



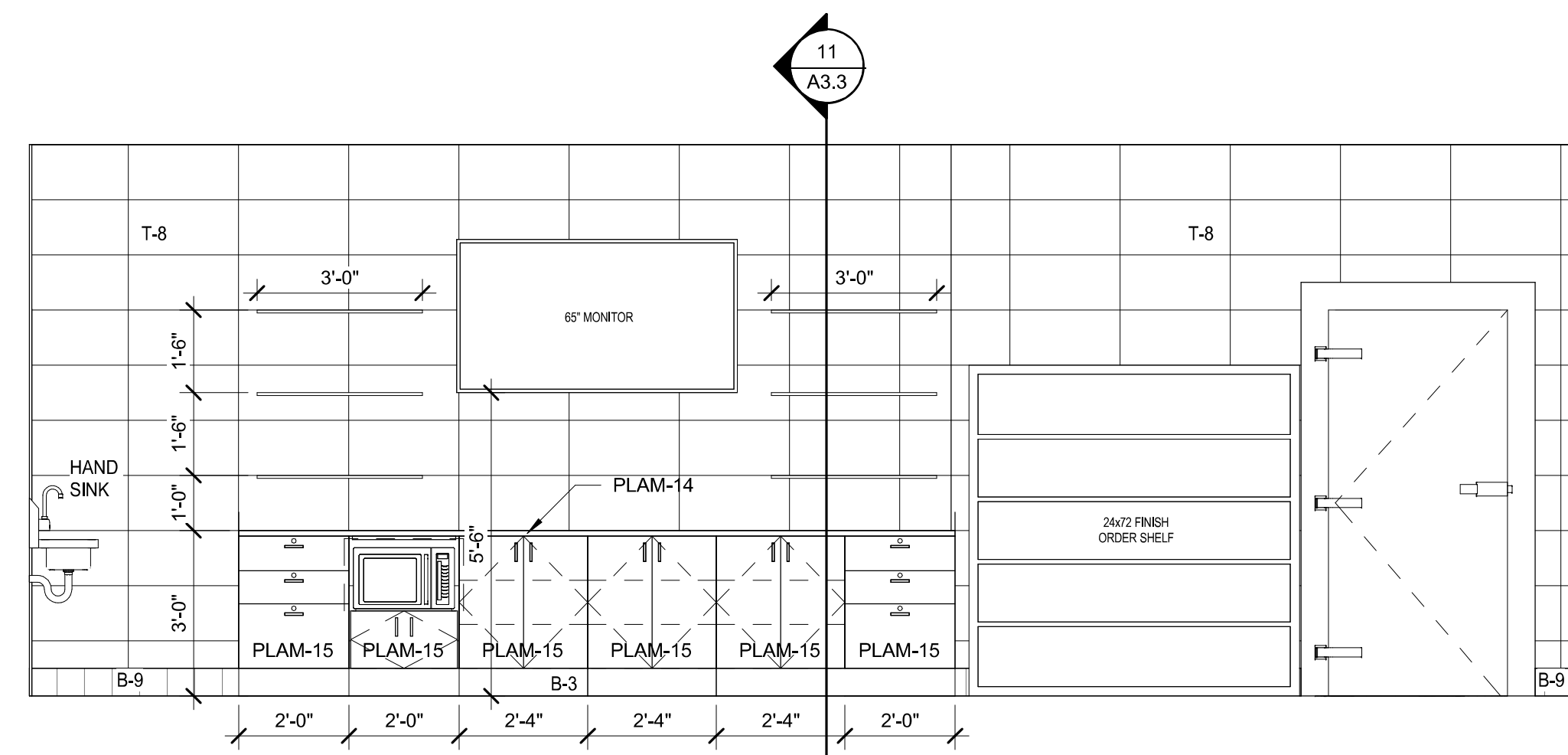
8 ELEVATION
 SCALE: 3/8" = 1'-0"



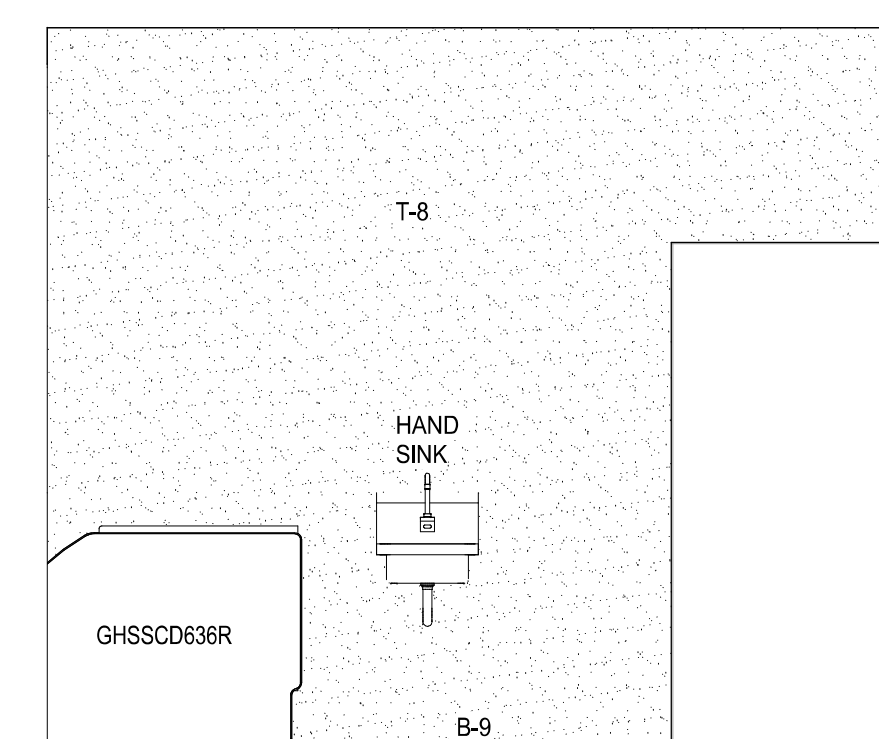
5 ELEVATION
 SCALE: 3/8" = 1'-0"



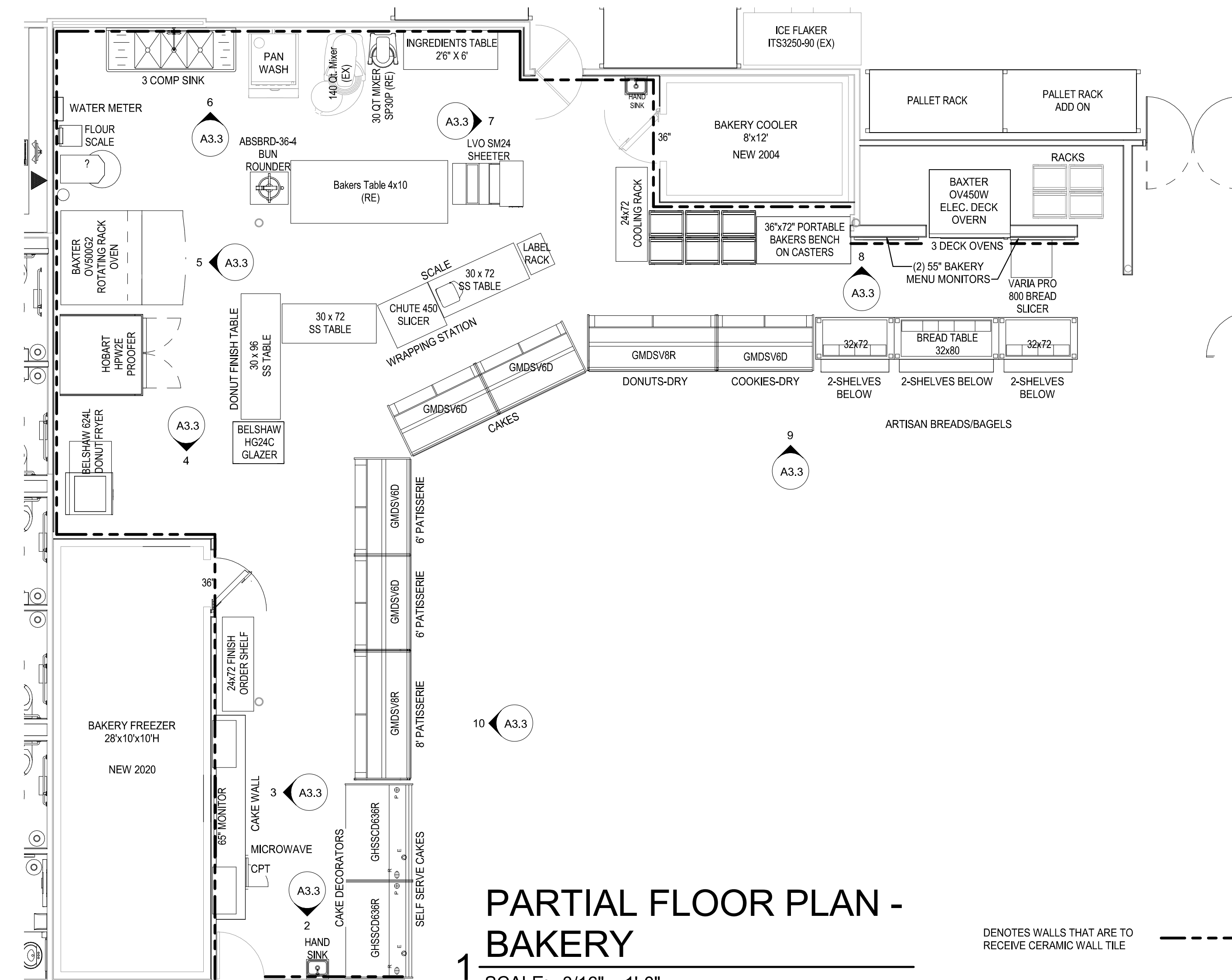
4 ELEVATION
 SCALE: 3/8" = 1'-0"



3 ELEVATION
 SCALE: 3/8" = 1'-0"



2 ELEVATION
 SCALE: 3/8" = 1'-0"

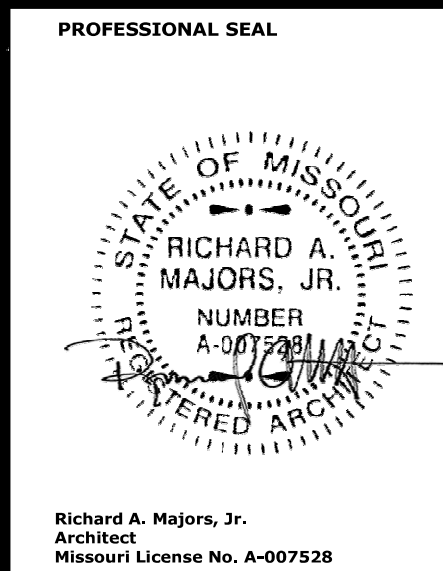


**PARTIAL FLOOR PLAN -
 1 BAKERY**
 SCALE: 3/16" = 1'-0"

--- DENOTES WALLS THAT ARE TO RECEIVE CERAMIC WALL TILE

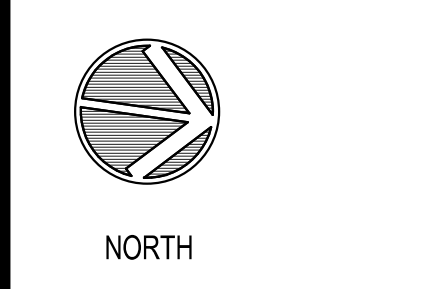
brr

Architect of Record:
 BRR Architecture, Inc.
 Kansas City, MO 64111
 Phoenix, AZ 85016
 Indianapolis, IN 46204
 Austin, TX 78701
 San Francisco, CA 94107
 Chicago, IL 60601



HY-VEE, INC.
 5820 WESTOWN PARKWAY
 WEST DES MOINES, IOWA 50386
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 FAX: (515) 261-2636

EMPLOYEE OWNED
Hy-vee



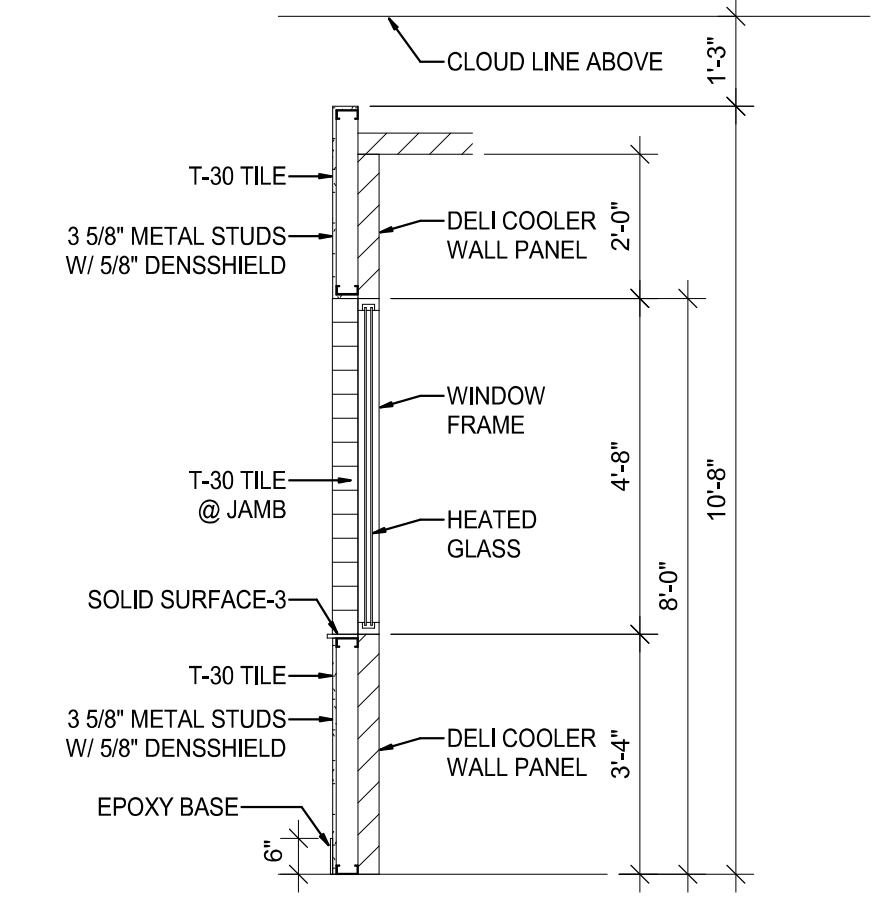
ENLARGED PLAN & ELEVATIONS - BAKERY

PROJECT MANAGER: SB
 CHECKED BY: JPS
 DRAWN BY: Author
 DATE: 10/20/2020
 SCALE: As indicated
 JOB NUMBER: 62930547

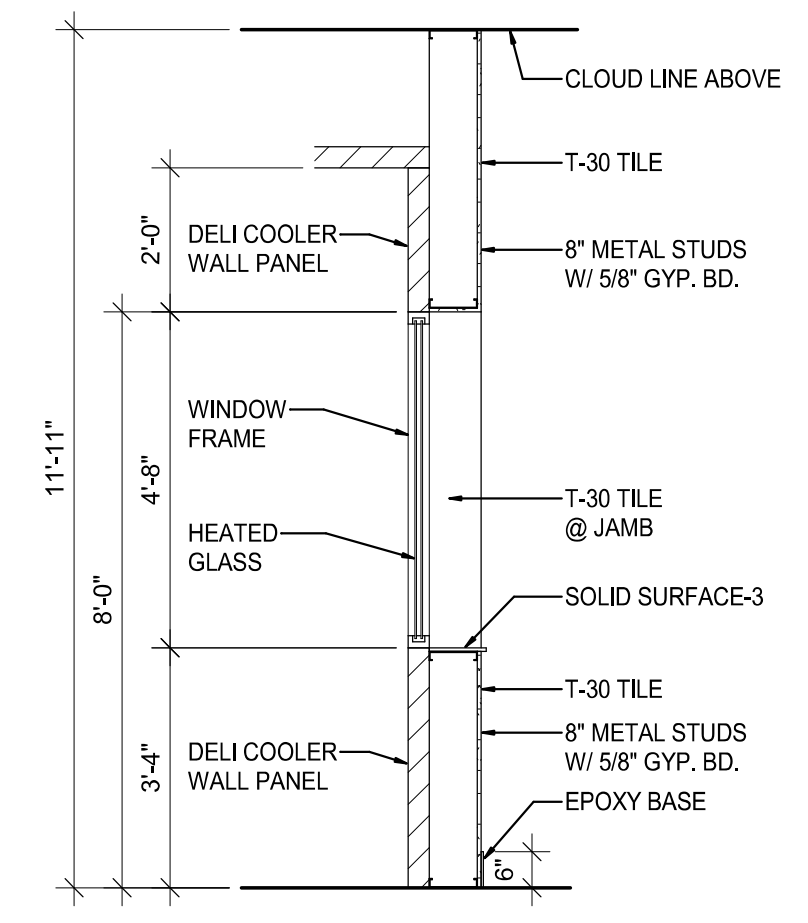
A3.3

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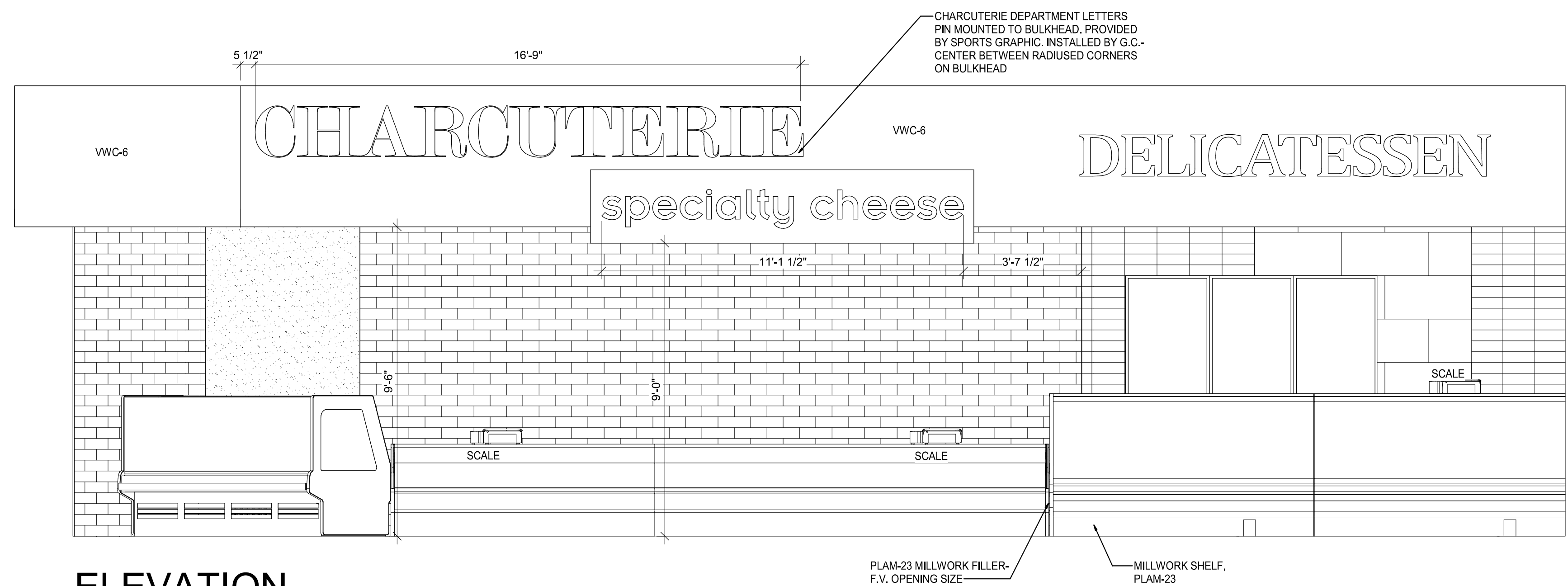
GENERAL NOTES
FOR FINISH SCHEDULE SEE SHEET A2.2.



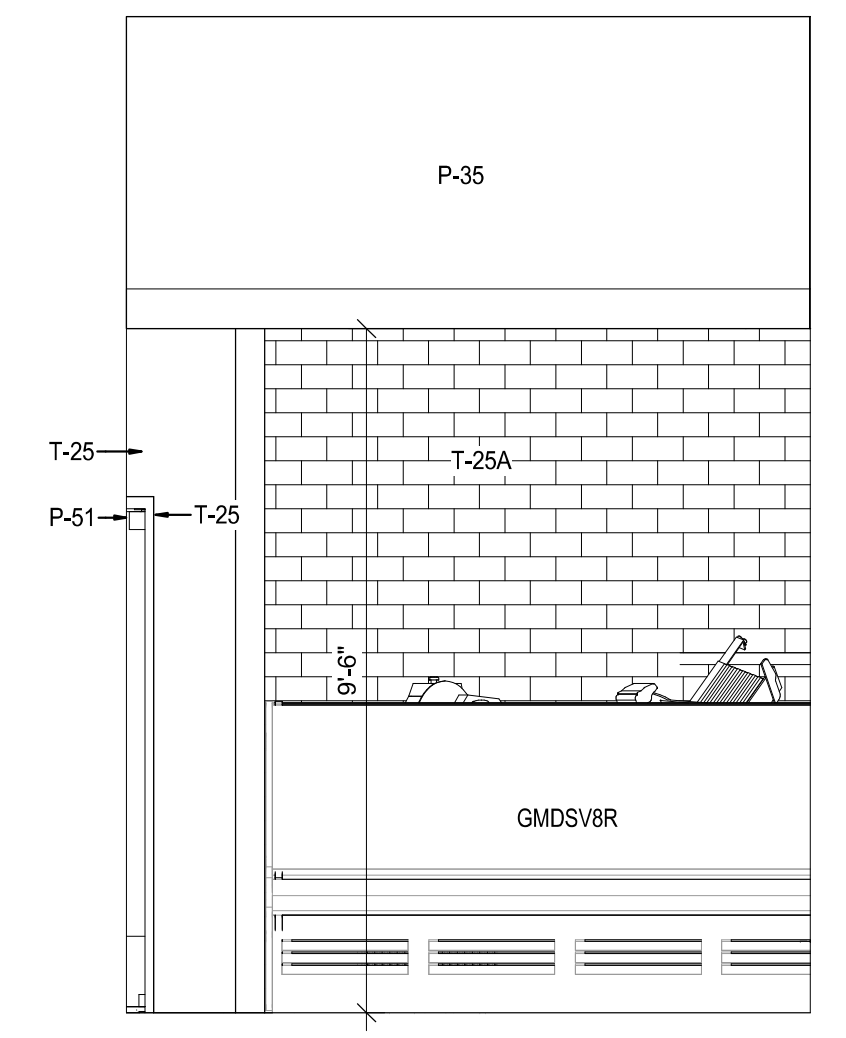
SECTION @ DELI COOLER WINDOW
8 SCALE: 3/8" = 1'-0"



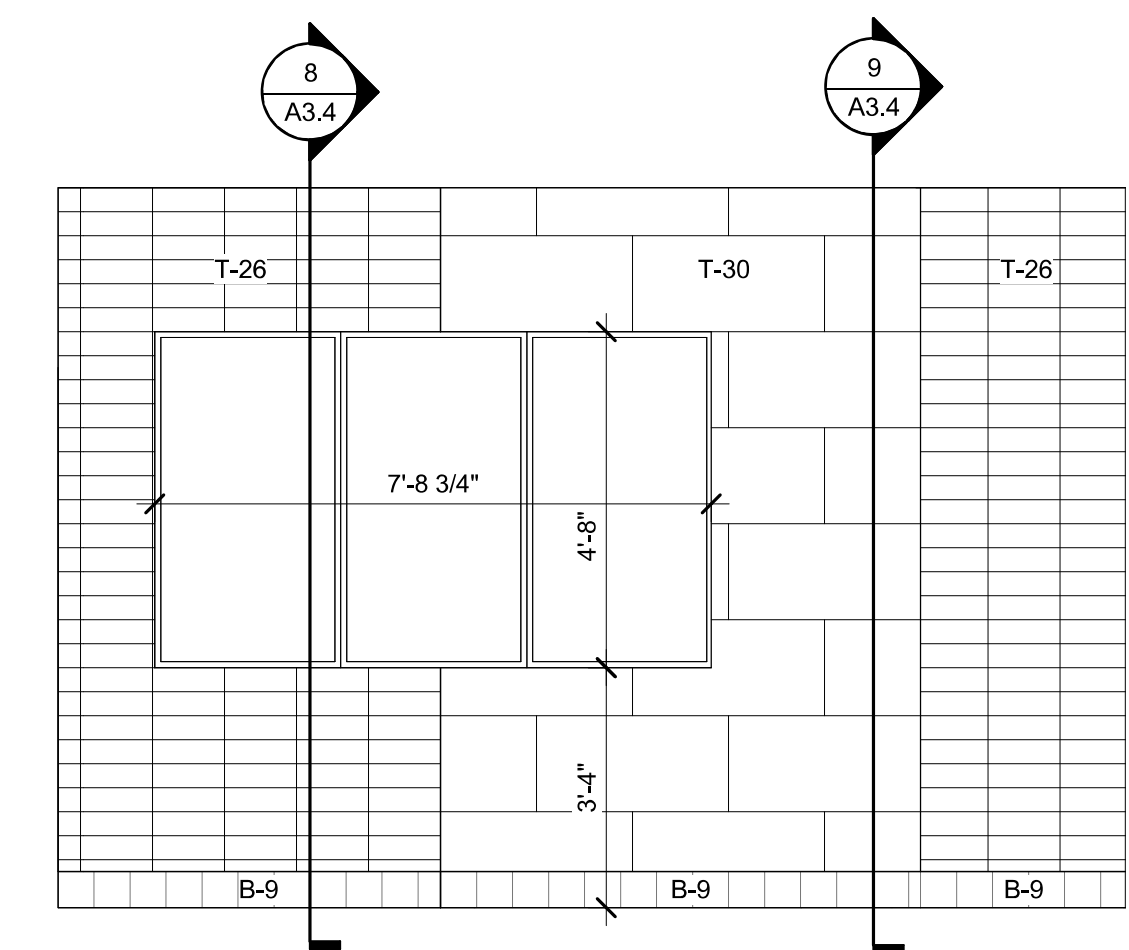
SECTION @ DELI COOLER WINDOW
9 SCALE: 3/8" = 1'-0"



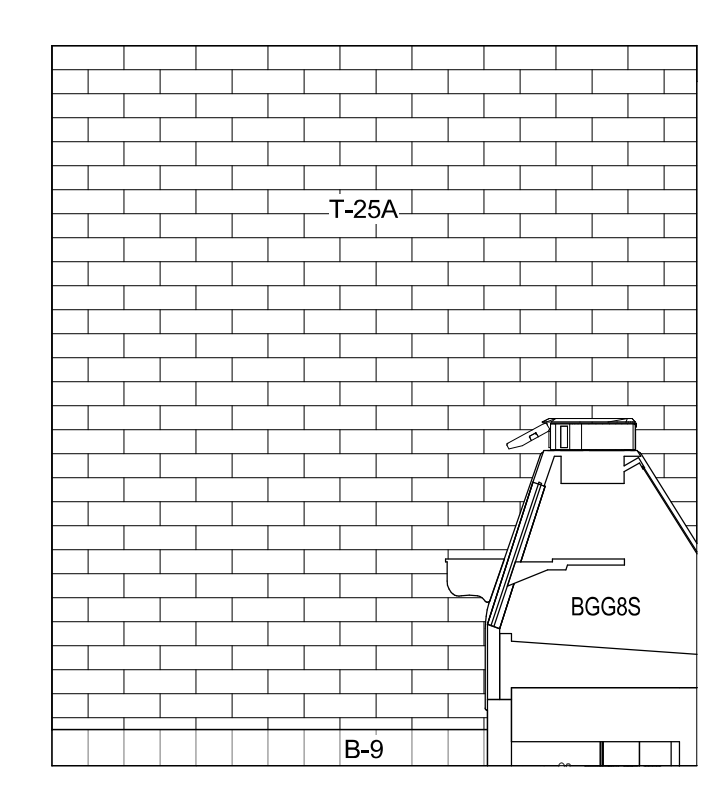
ELEVATION
6 SCALE: 3/8" = 1'-0"



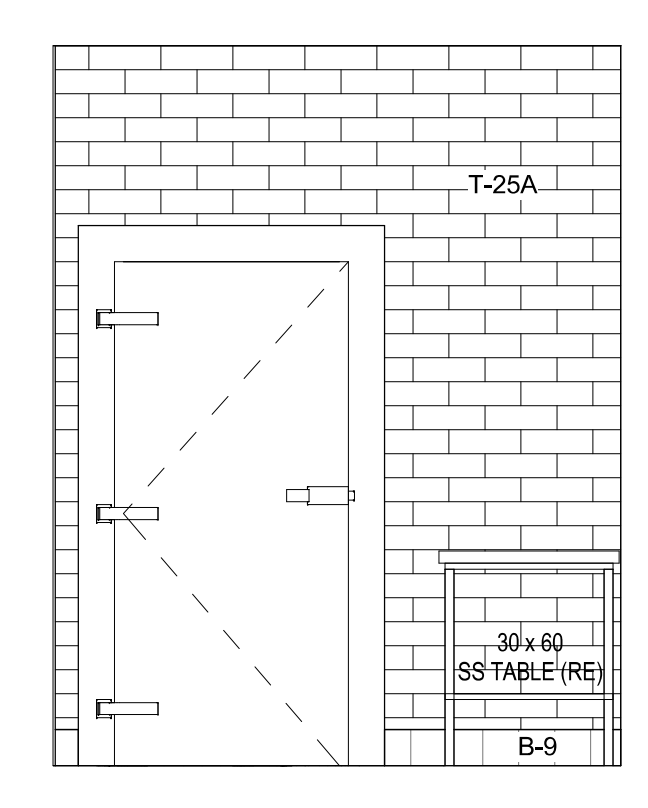
ELEVATION
7 SCALE: 3/8" = 1'-0"



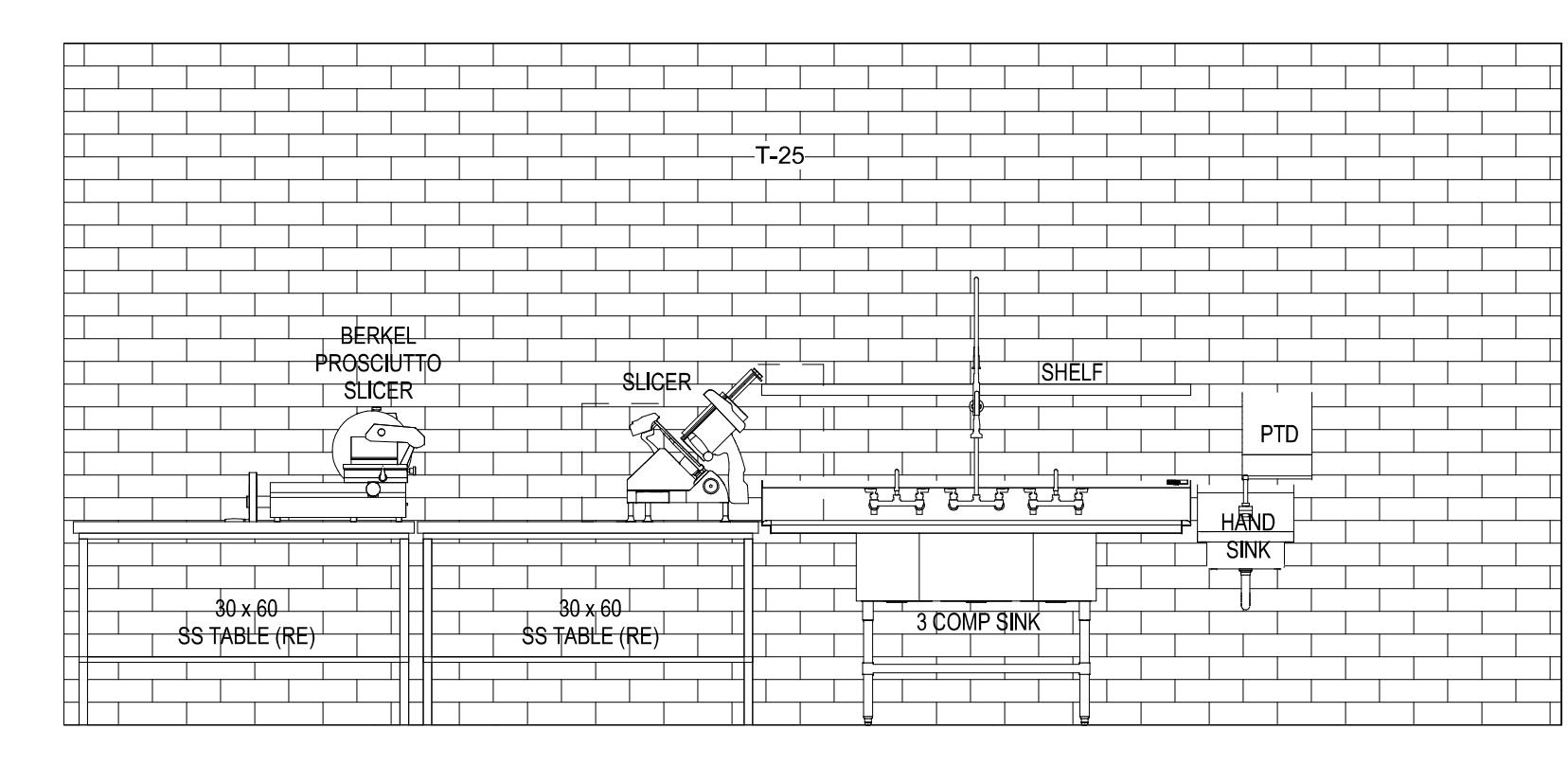
ELEVATION
4 SCALE: 3/8" = 1'-0"



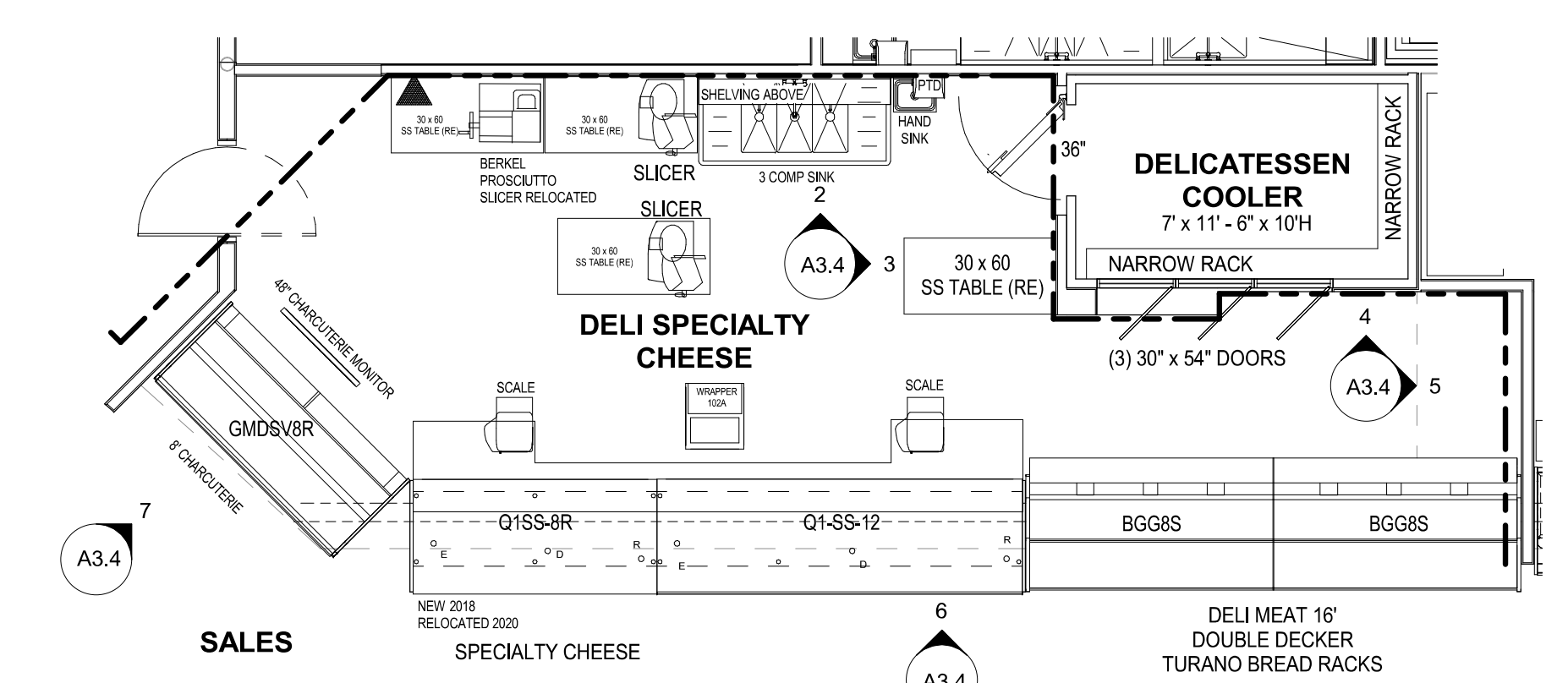
ELEVATION
5 SCALE: 3/8" = 1'-0"



ELEVATION
3 SCALE: 3/8" = 1'-0"



ELEVATION
2 SCALE: 3/8" = 1'-0"



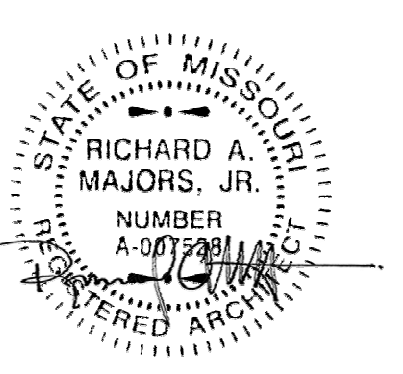
PARTIAL FLOOR PLAN - DELICATESSEN
1 SCALE: 3/16" = 1'-0"

DENOTES WALLS THAT ARE TO RECEIVE CERAMIC WALL TILE



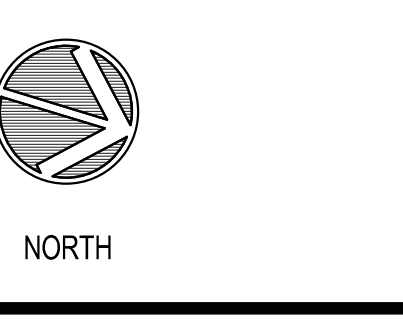
Architect of Record: Rich A. Majors
BRR Architecture, Inc.
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Indianapolis
Austin Tel: 913-262-9095
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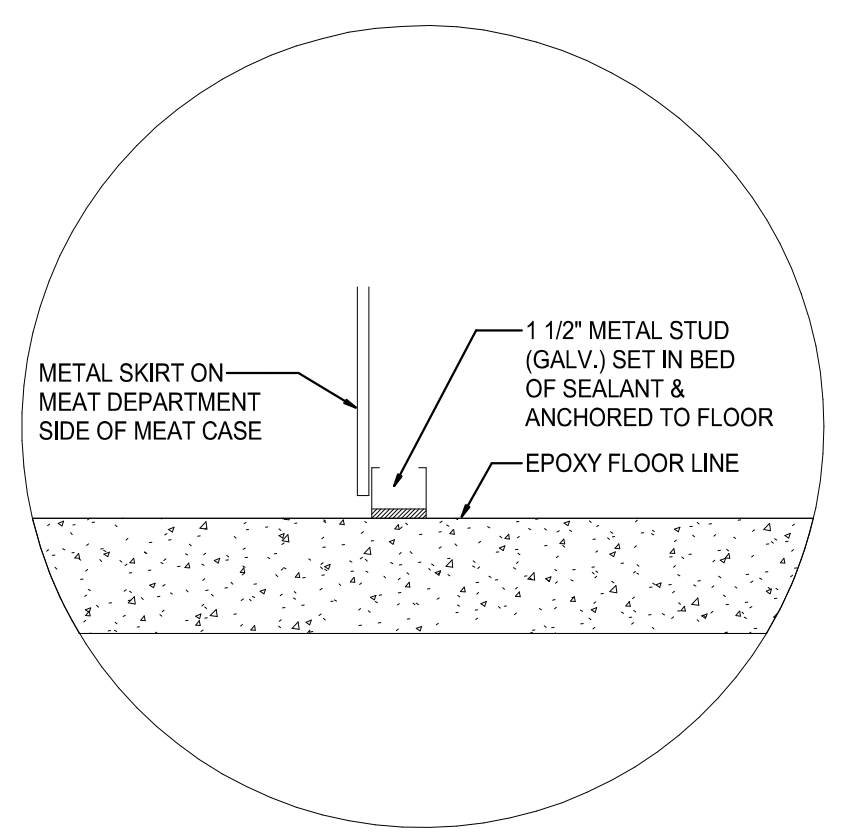
ENLARGED PLAN & ELEVATIONS - DELICATESSEN

PROJECT MANAGER: SB
DRAWN BY: ADP
SCALE: As indicated
JOB NUMBER: 62930547
CHECKED BY: JPS
DATE: 10/20/2020
JOB NUMBER: 62930547

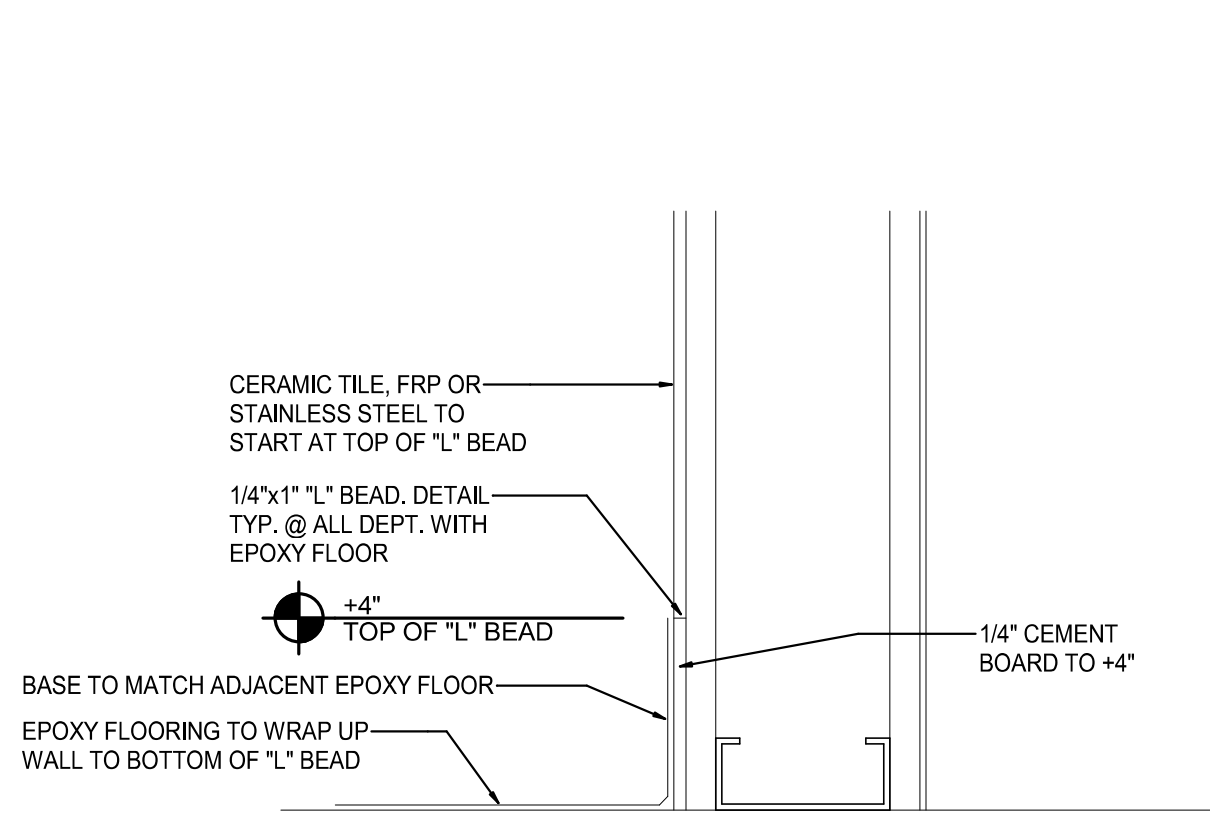
SHEET: **A3.4**

GENERAL NOTES

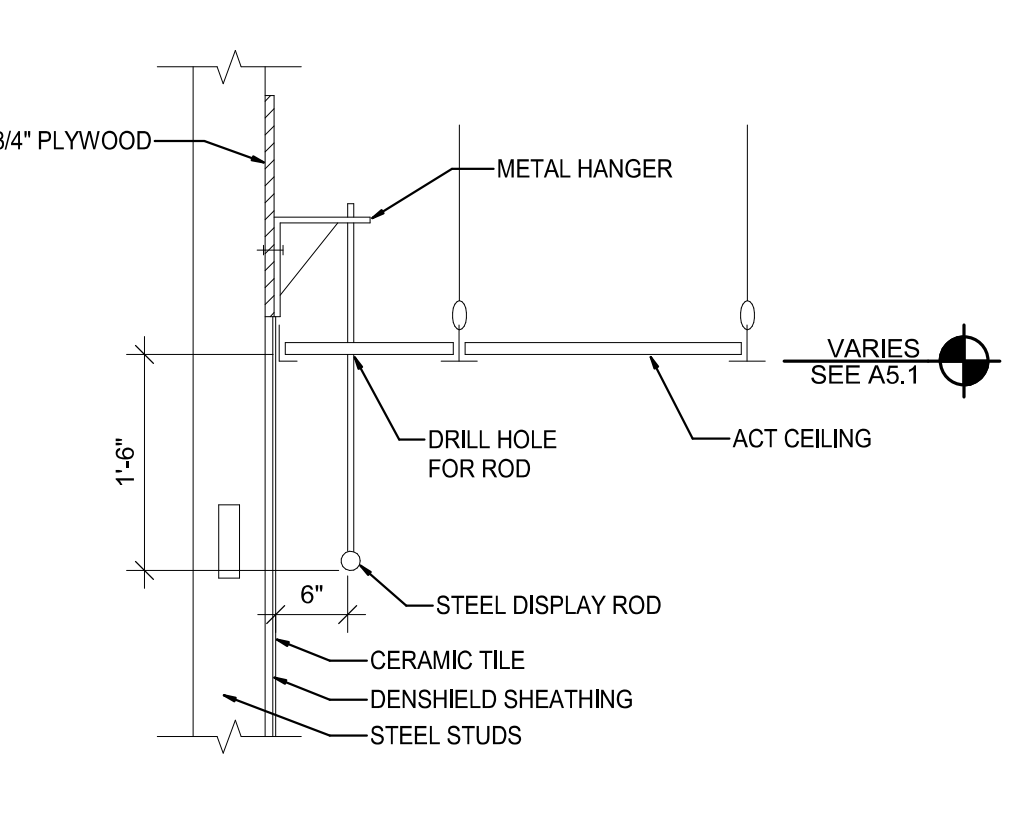
SEE SHEET A2.2 FOR FINISH SCHEDULES
 PROVIDE SCHLUTER RANDEL SATIN ANODIZED ALUMINUM RO-90A TRIM ON ALL OUTSIDE TILE CORNERS
 BASE AND FLOOR TILE
 EXISTING QUARRY TILE TO REMAIN. PATCH AND REPAIR AS NECESSARY.



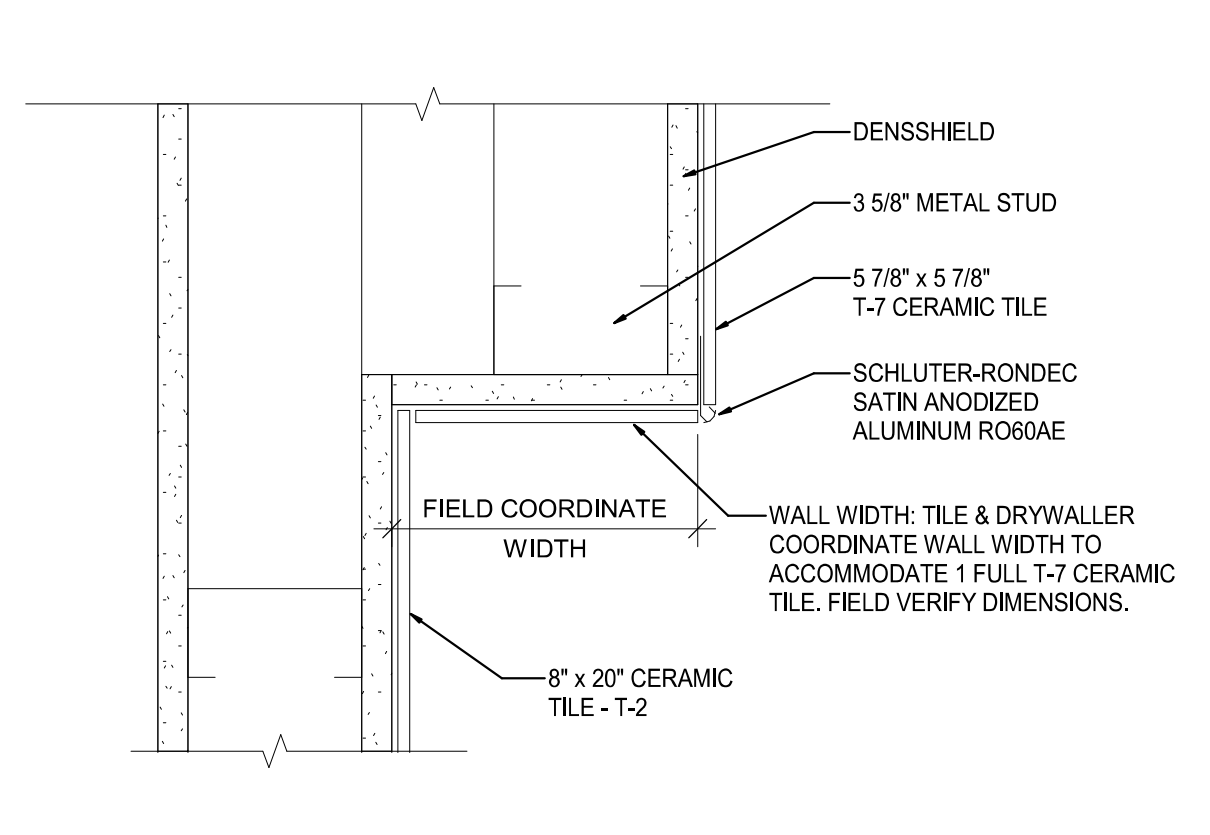
13 SERVICE MEAT CASE BASE DETAIL
 SCALE: 3/8" = 1'-0"



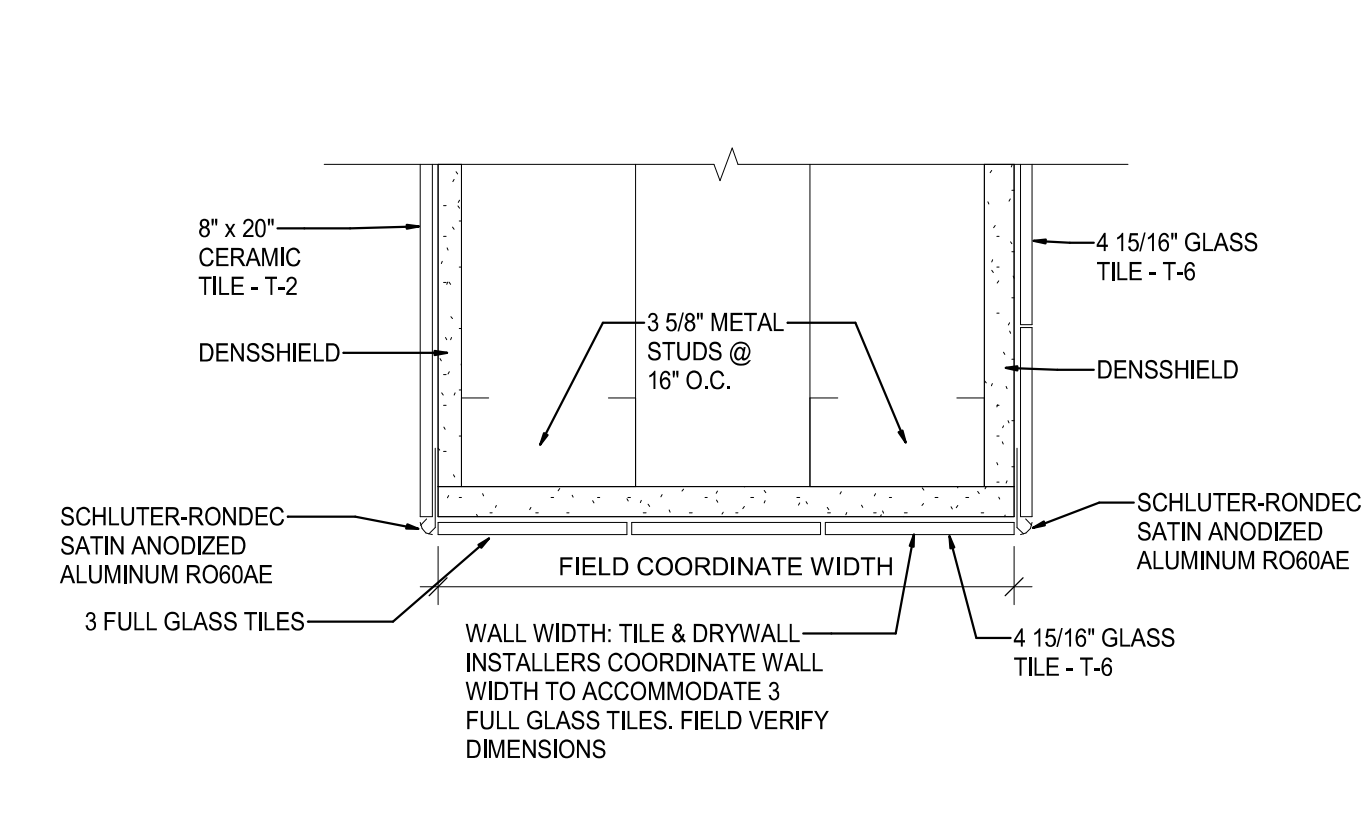
12 SEAFOOD EPOXY BASE DETAIL
 SCALE: 3" = 1'-0" ACCENT WALL ONLY



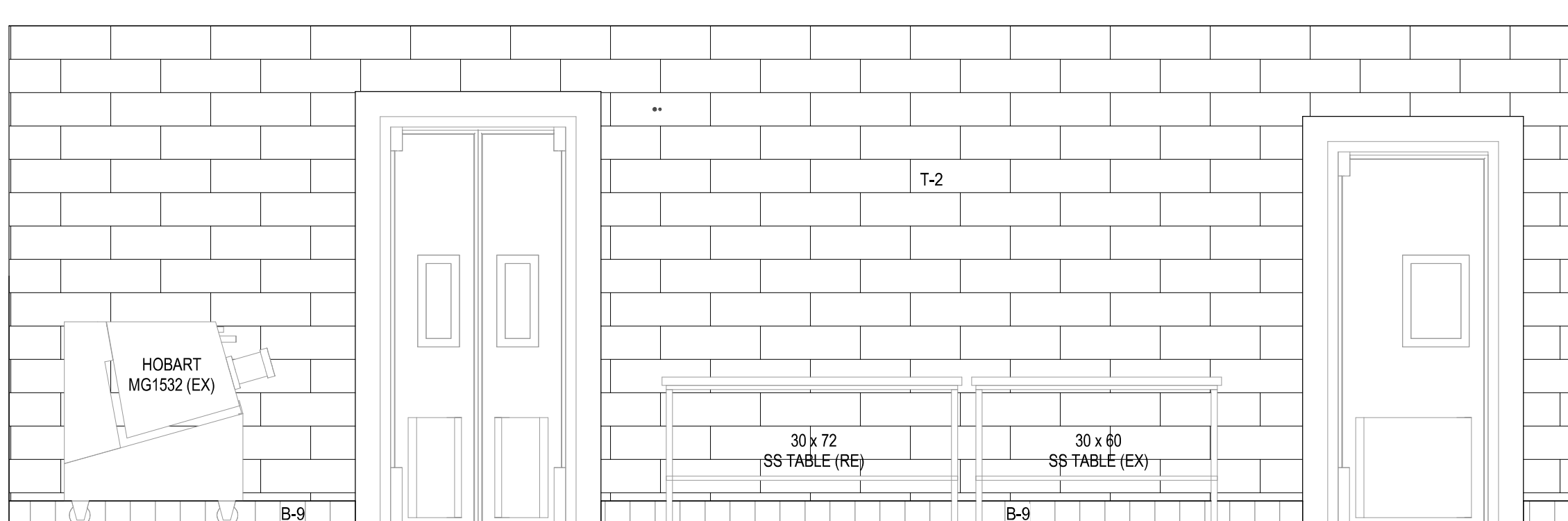
11 HANGING ROD DETAIL
 SCALE: 3/4" = 1'-0"



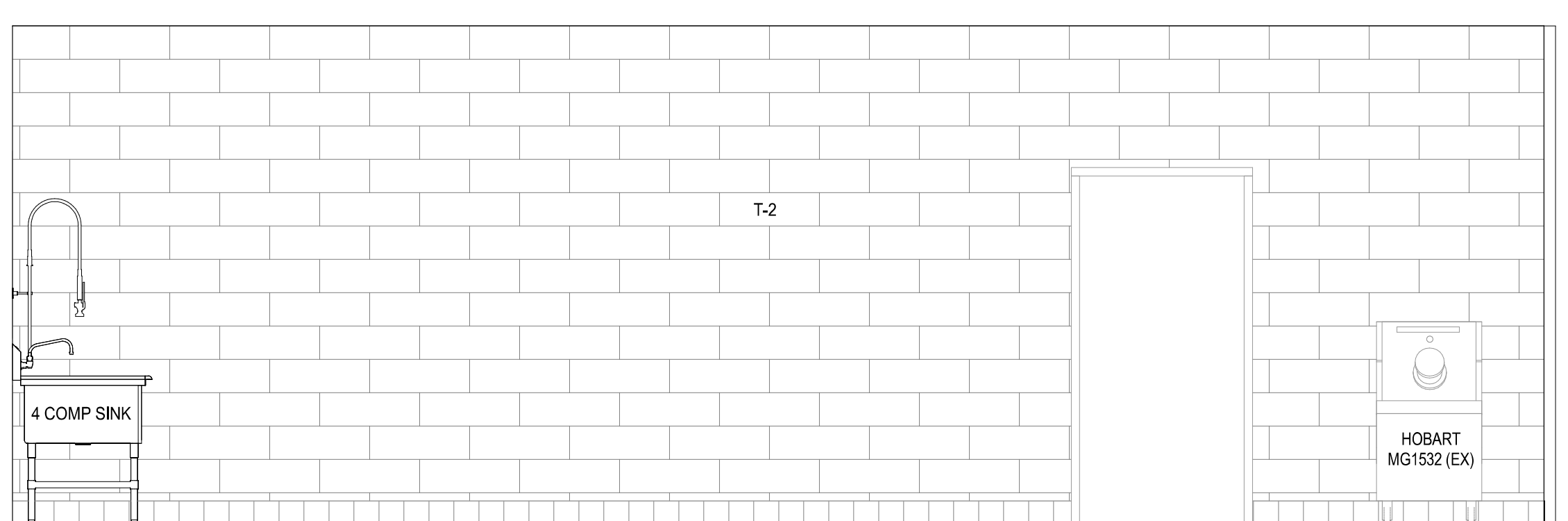
10 MEAT CERAMIC/GYP. BD. CORNER DETAIL
 SCALE: 3" = 1'-0"



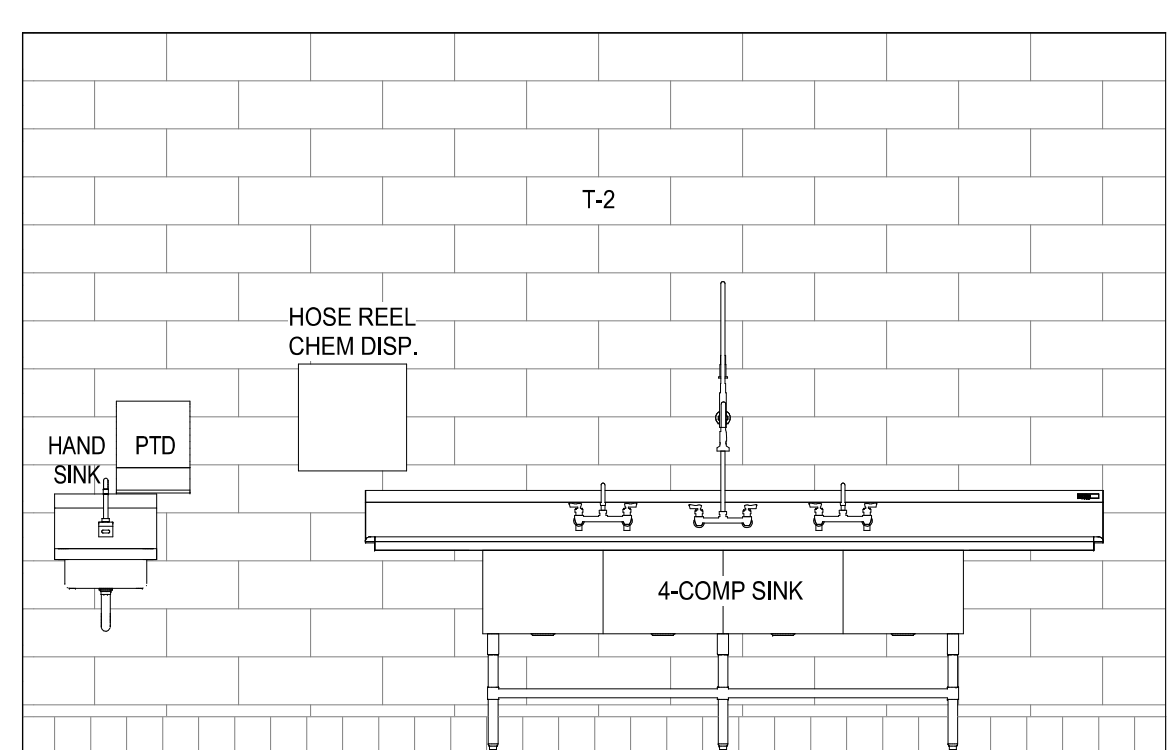
9 SEAFOOD GLASS/CERAMIC/GYP. BD. END WALL DETAIL
 SCALE: 3" = 1'-0"



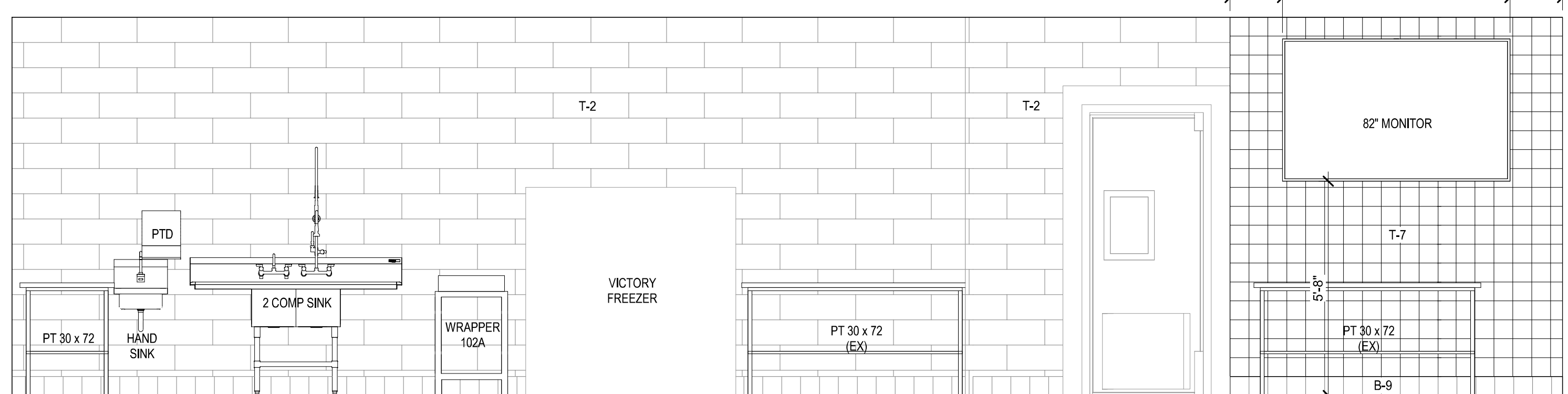
8 ELEVATION
 SCALE: 3/8" = 1'-0"



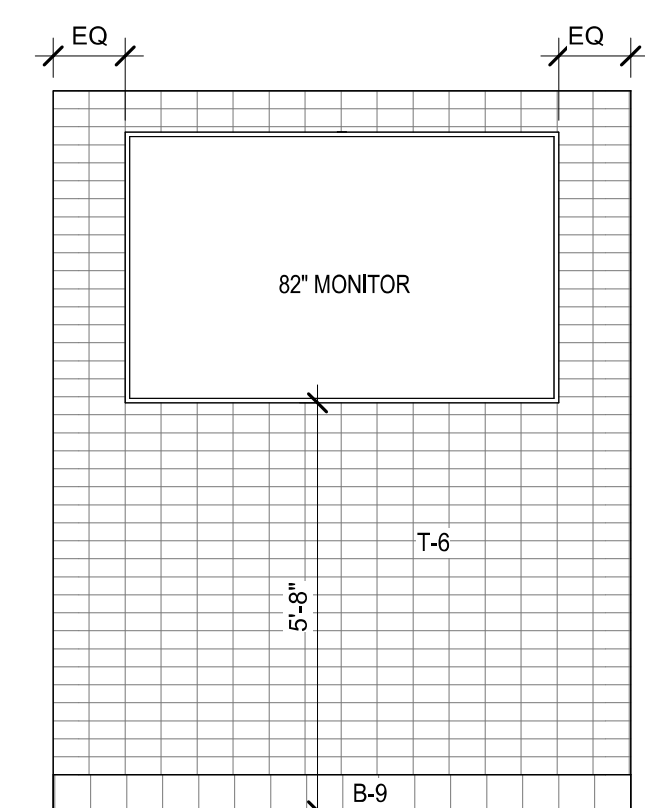
7 ELEVATION
 SCALE: 3/8" = 1'-0"



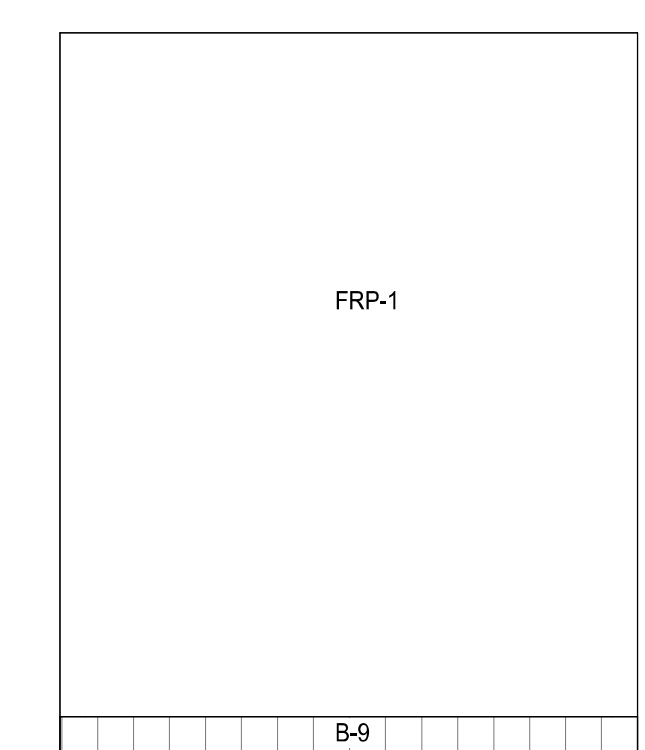
6 ELEVATION
 SCALE: 3/8" = 1'-0"



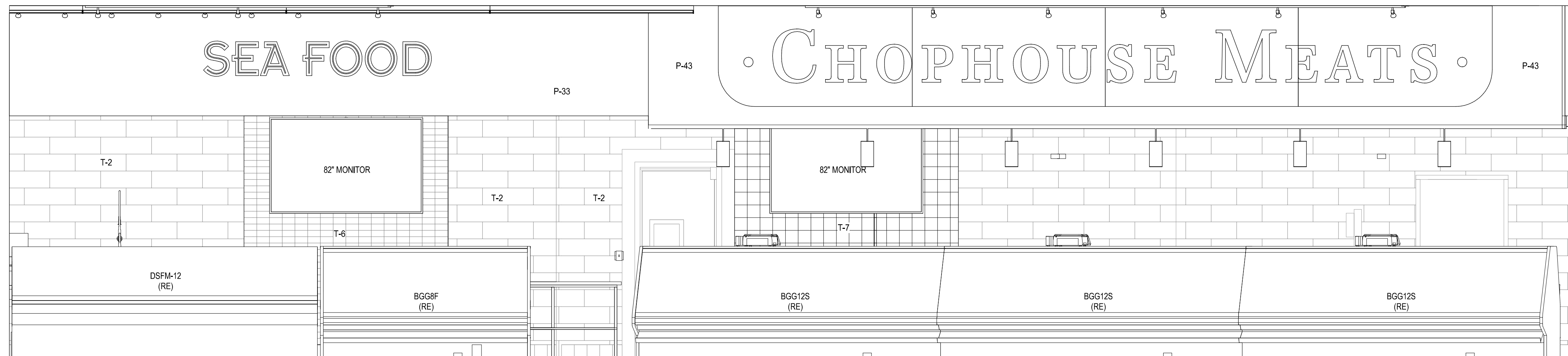
5 ELEVATION
 SCALE: 3/8" = 1'-0"



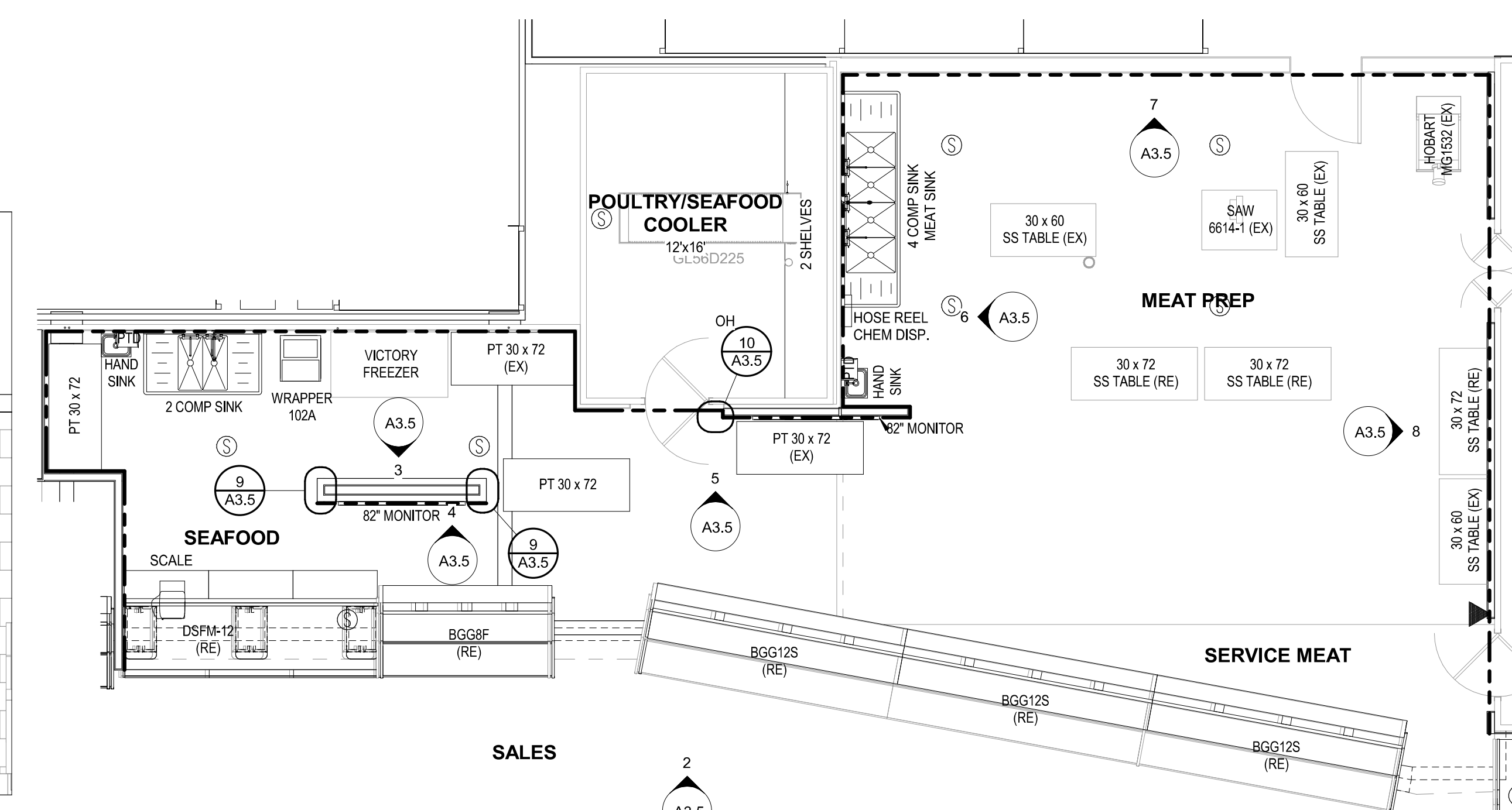
4 ELEVATION
 SCALE: 3/8" = 1'-0"



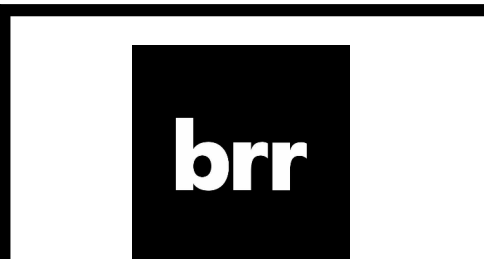
3 ELEVATION
 SCALE: 3/8" = 1'-0"



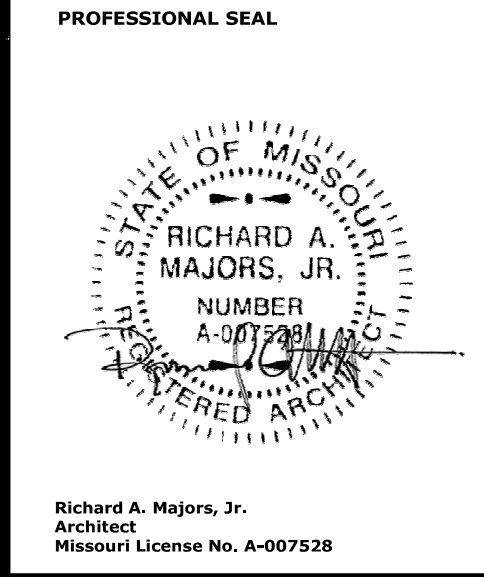
2 ELEVATION
 SCALE: 3/8" = 1'-0"



1 PARTIAL FLOOR PLAN - MEAT/SEAFOOD
 SCALE: 3/16" = 1'-0"

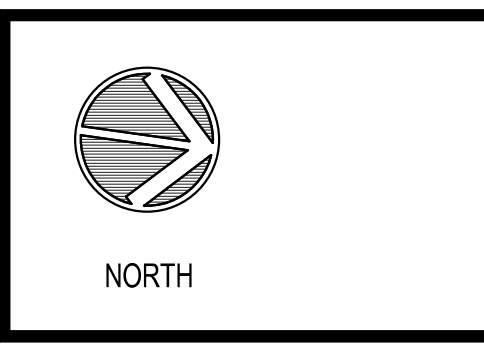


Architect of Record:
 BRR Architecture, Inc.
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 Phoenix Suite 300
 San Francisco Overland Park, KS 66204
 Indianapolis
 Atlanta Tel: 913-262-9095
 Los Angeles Fax: 913-262-9044
 Chicago



HY-VEE INC.
 5820 WESTTOWN PARKWAY
 WEST DES MOINES, IOWA 50386
 TEL: (515) 267-2800
 FAX: (515) 267-2838

LOCATION
LEE'S SUMMIT, MO #2
 EMPLOYEE OWNED

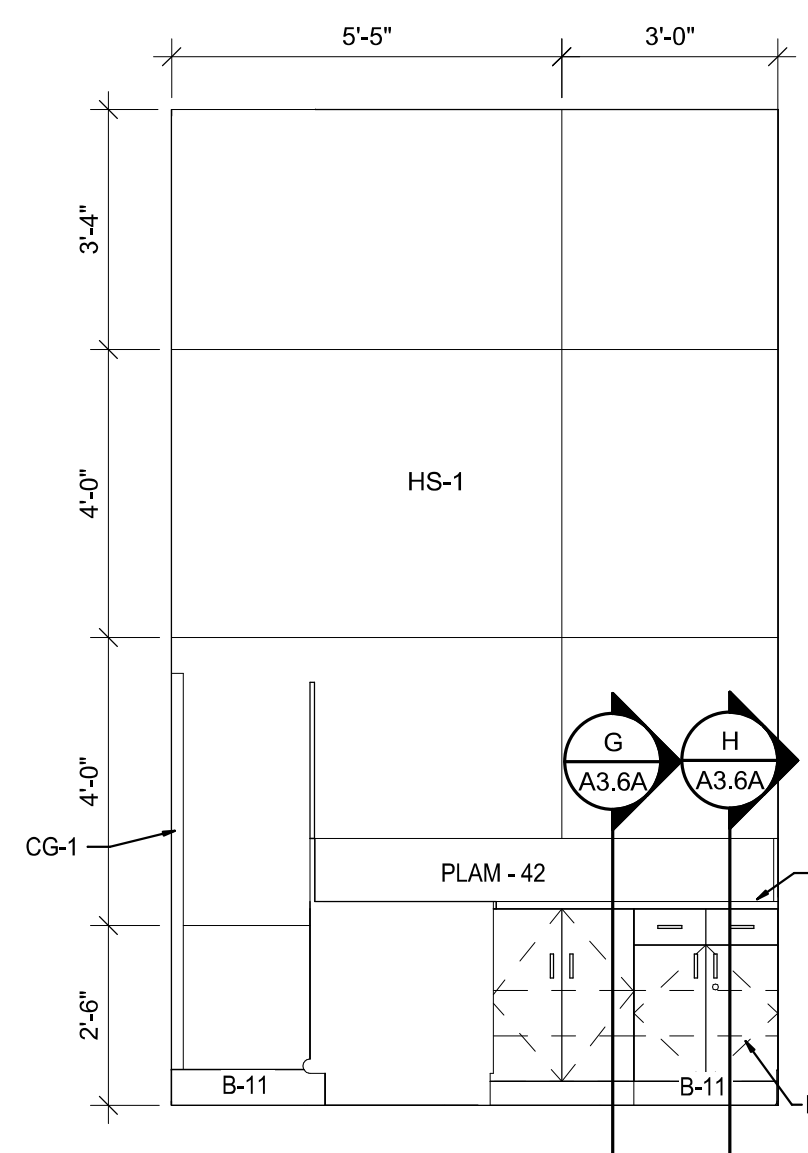


ENLARGED PLAN & ELEVATIONS - MEAT/SEAFOOD

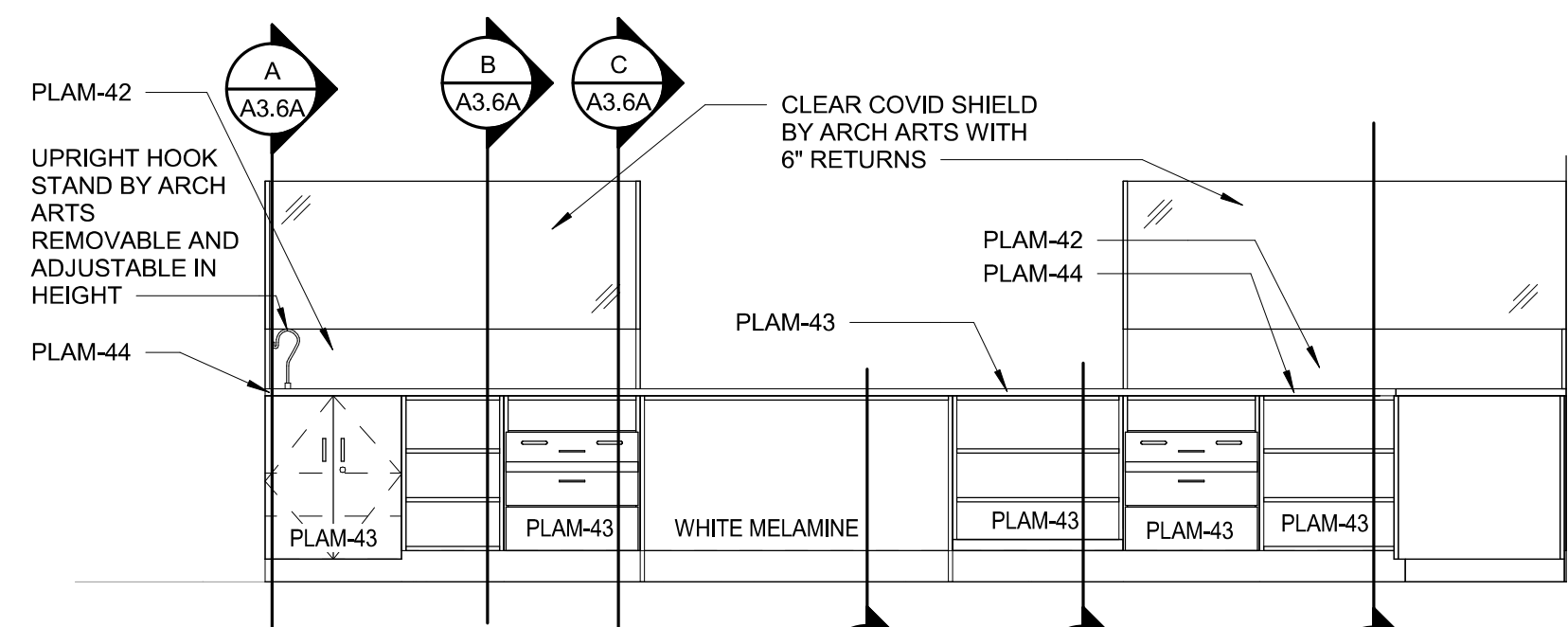
PROJECT MANAGER: SB
 CHECKED BY: JPS
 DRAWN BY: AP
 DATE: 10/20/2020
 SCALE: JOB NUMBER
 As indicated: 62930547

SHEET: **A3.5**

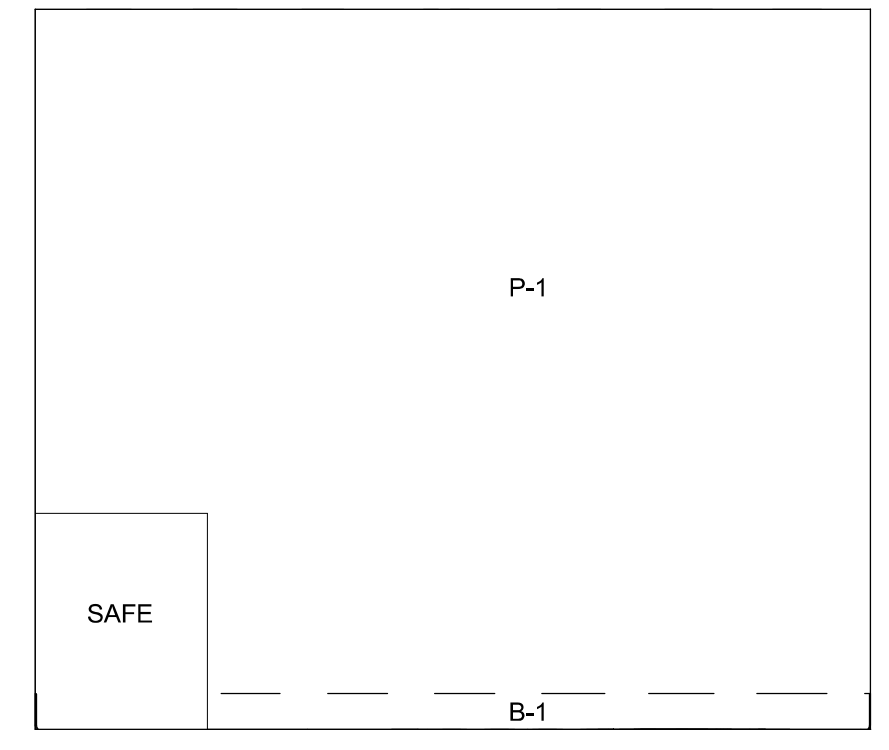
GENERAL NOTES
 SEE SHEET A2.2 FOR FINISH SCHEDULES
 MILLWORK CABINETS PROVIDED BY HY-VEE
 ALL OFFICE AREAS, PAINT UNDERCOUNTER BRACKETS TO MATCH WALL FINISH



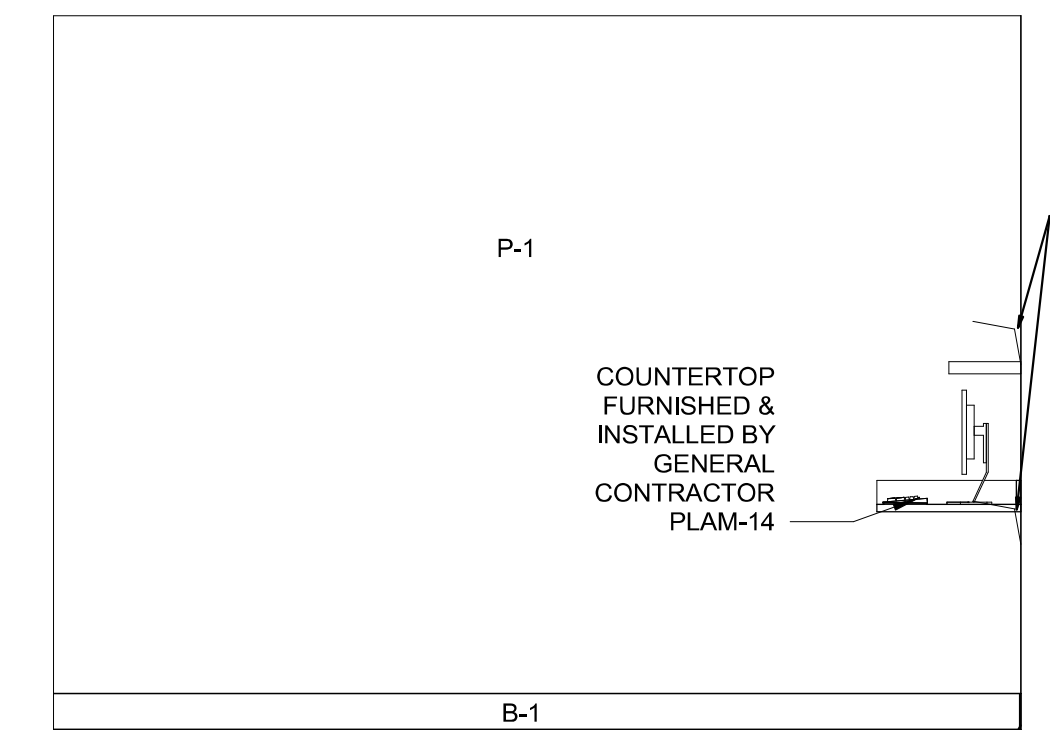
9 ELEVATION
 SCALE: 3/8" = 1'-0"



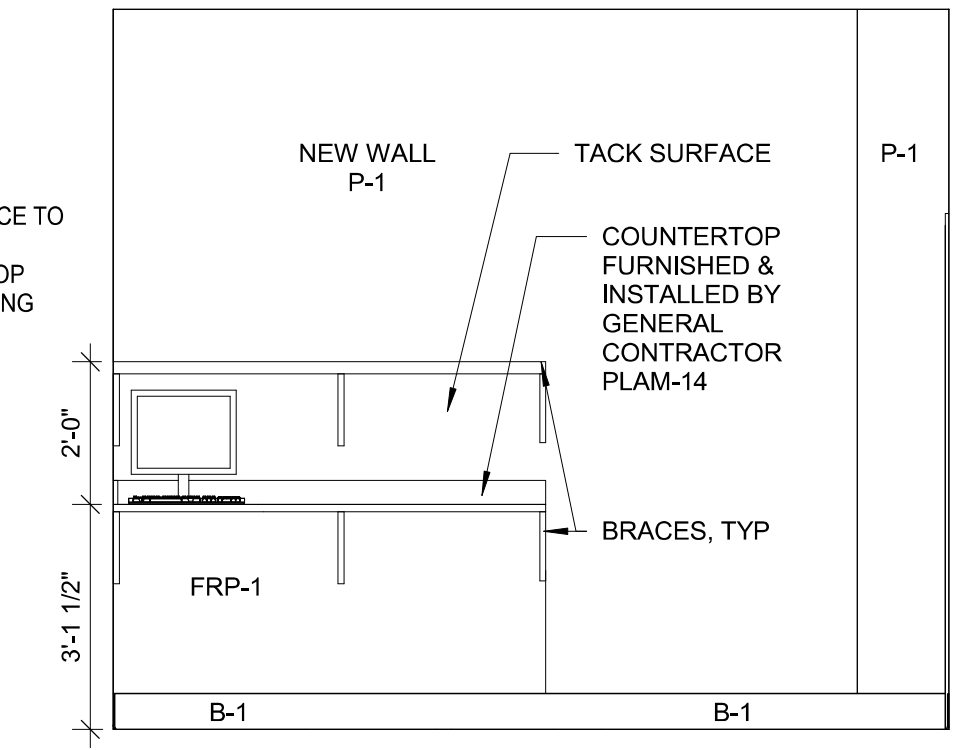
10 ELEVATION
 SCALE: 3/8" = 1'-0"



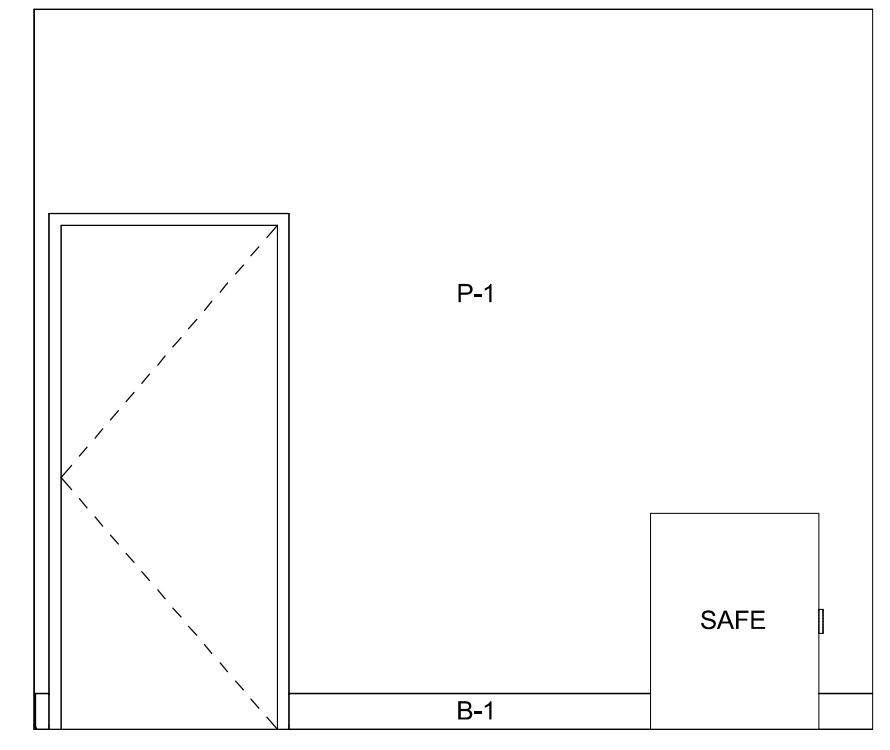
11 ELEVATION
 SCALE: 3/8" = 1'-0"



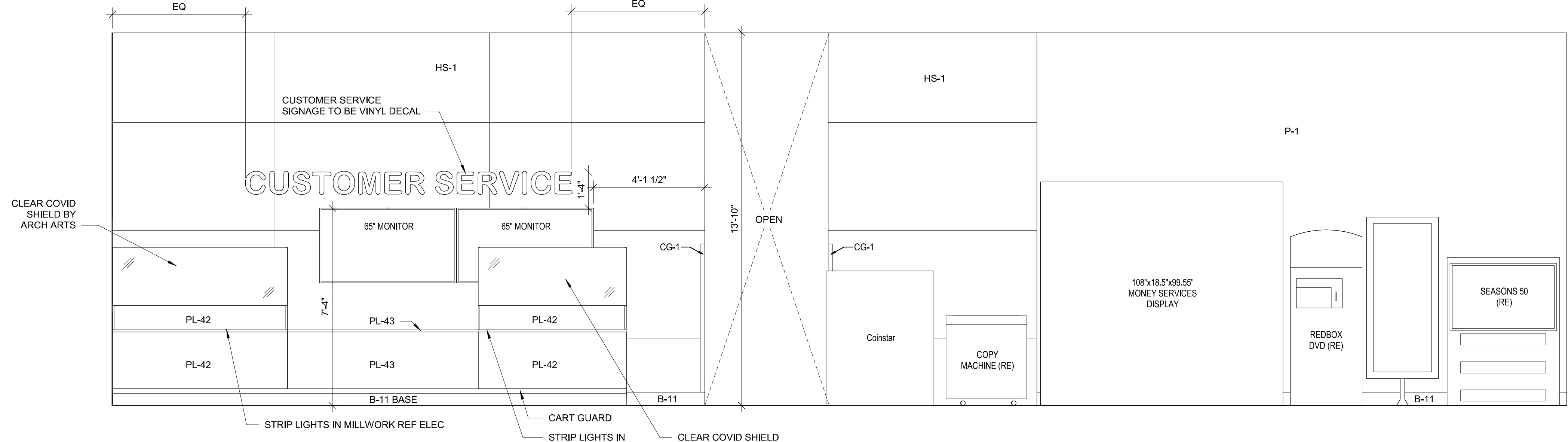
12 ELEVATION
 SCALE: 3/8" = 1'-0"



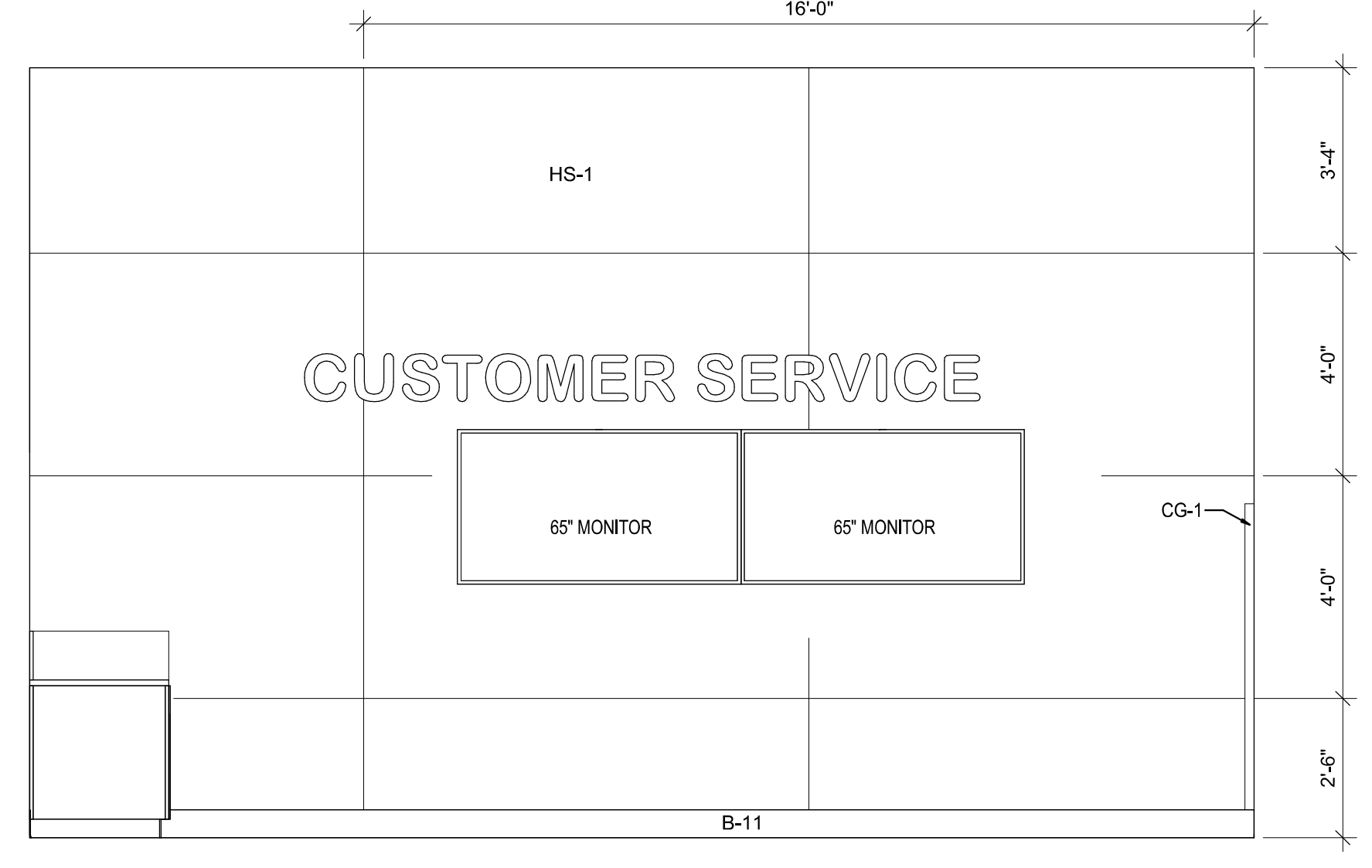
13 ELEVATION
 SCALE: 3/8" = 1'-0"



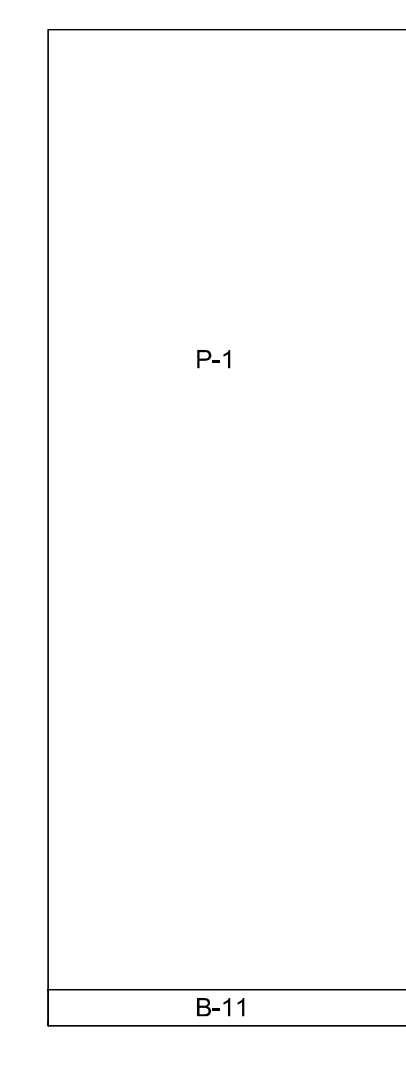
14 ELEVATION
 SCALE: 3/8" = 1'-0"



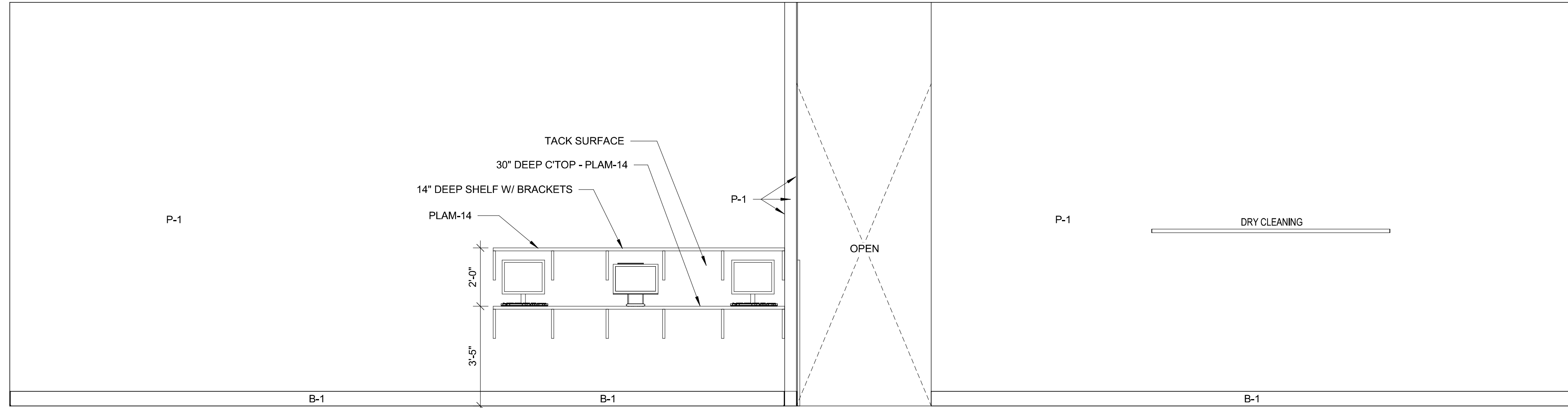
6 ELEVATION
 SCALE: 3/8" = 1'-0"



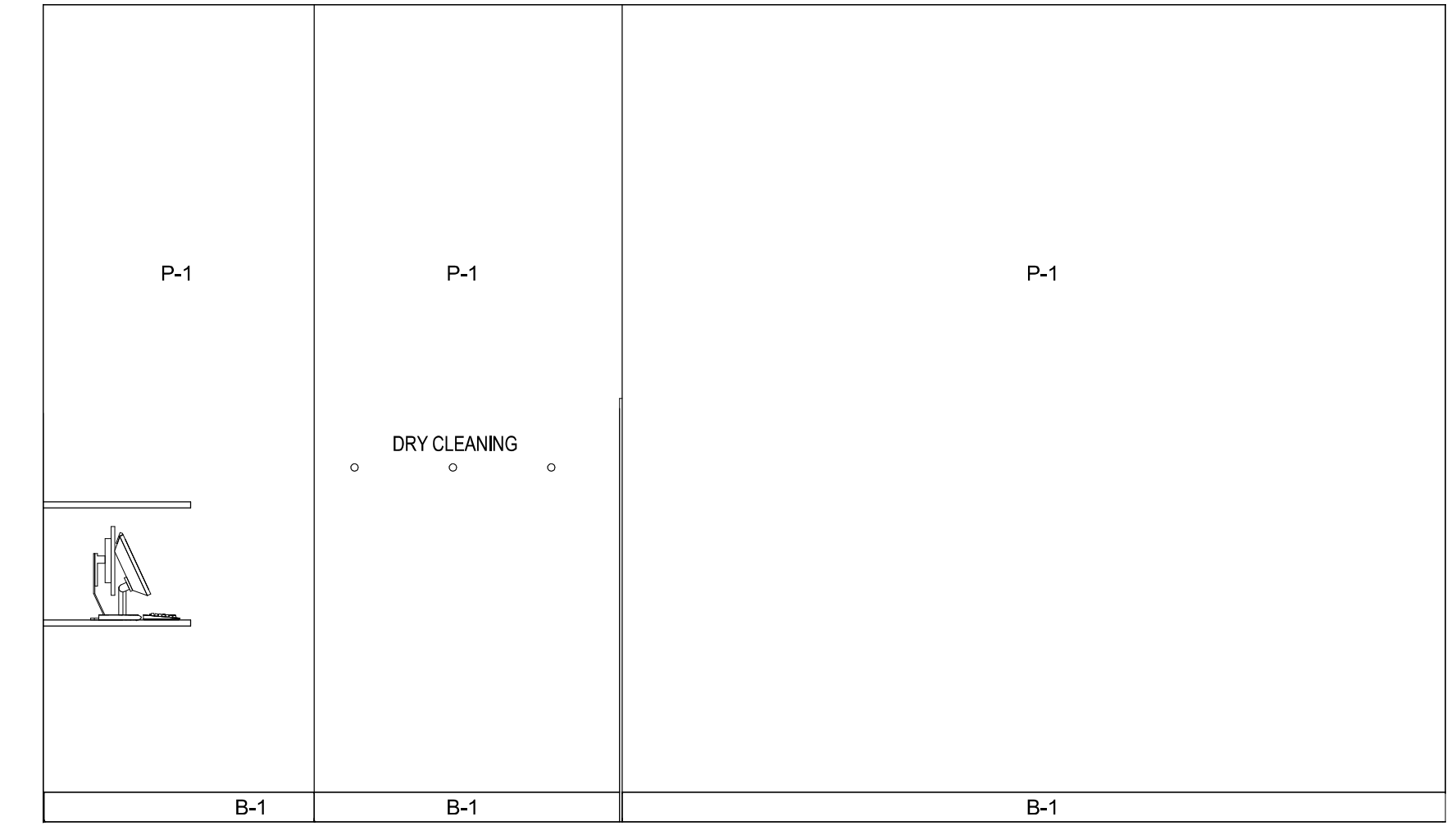
7 ELEVATION
 SCALE: 3/8" = 1'-0"



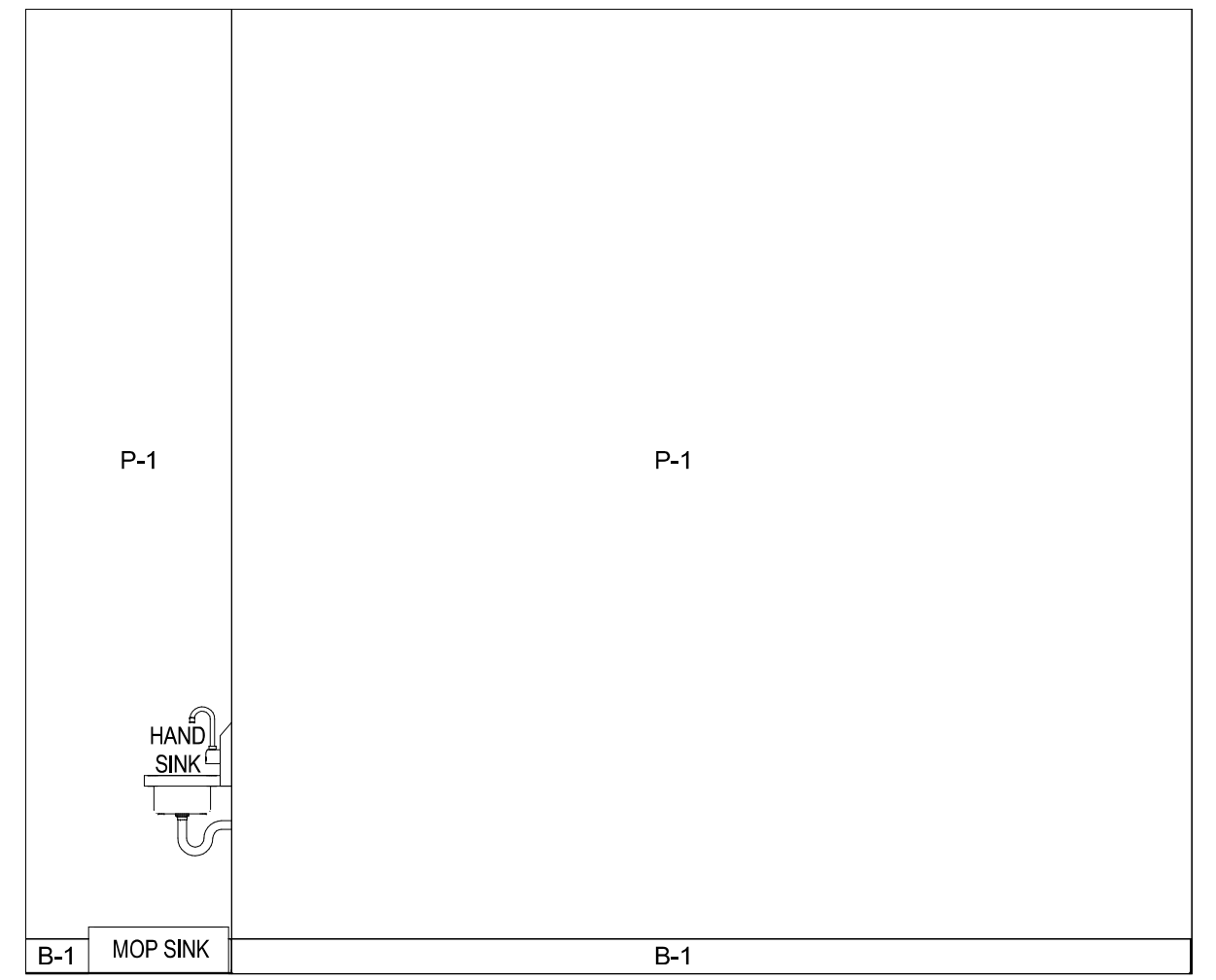
8 ELEVATION
 SCALE: 3/8" = 1'-0"



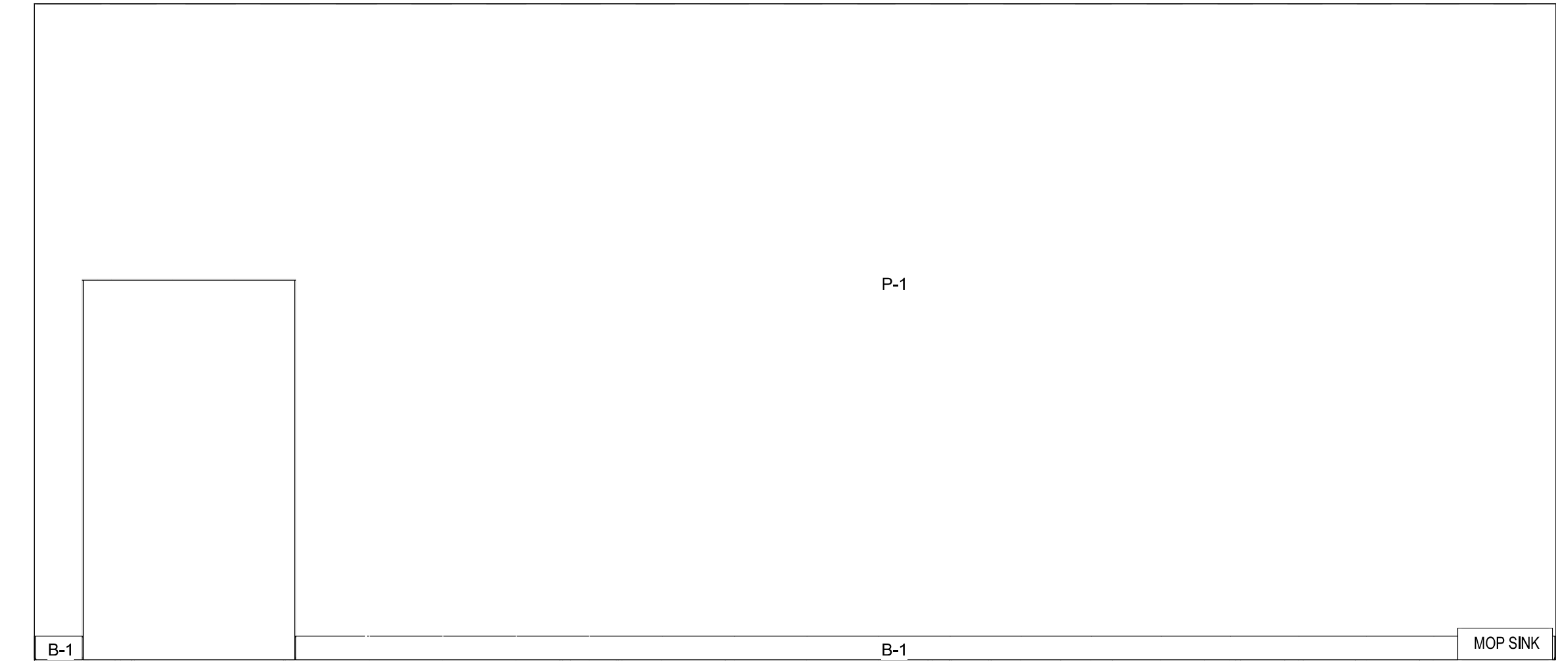
4 ELEVATION
 SCALE: 3/8" = 1'-0"



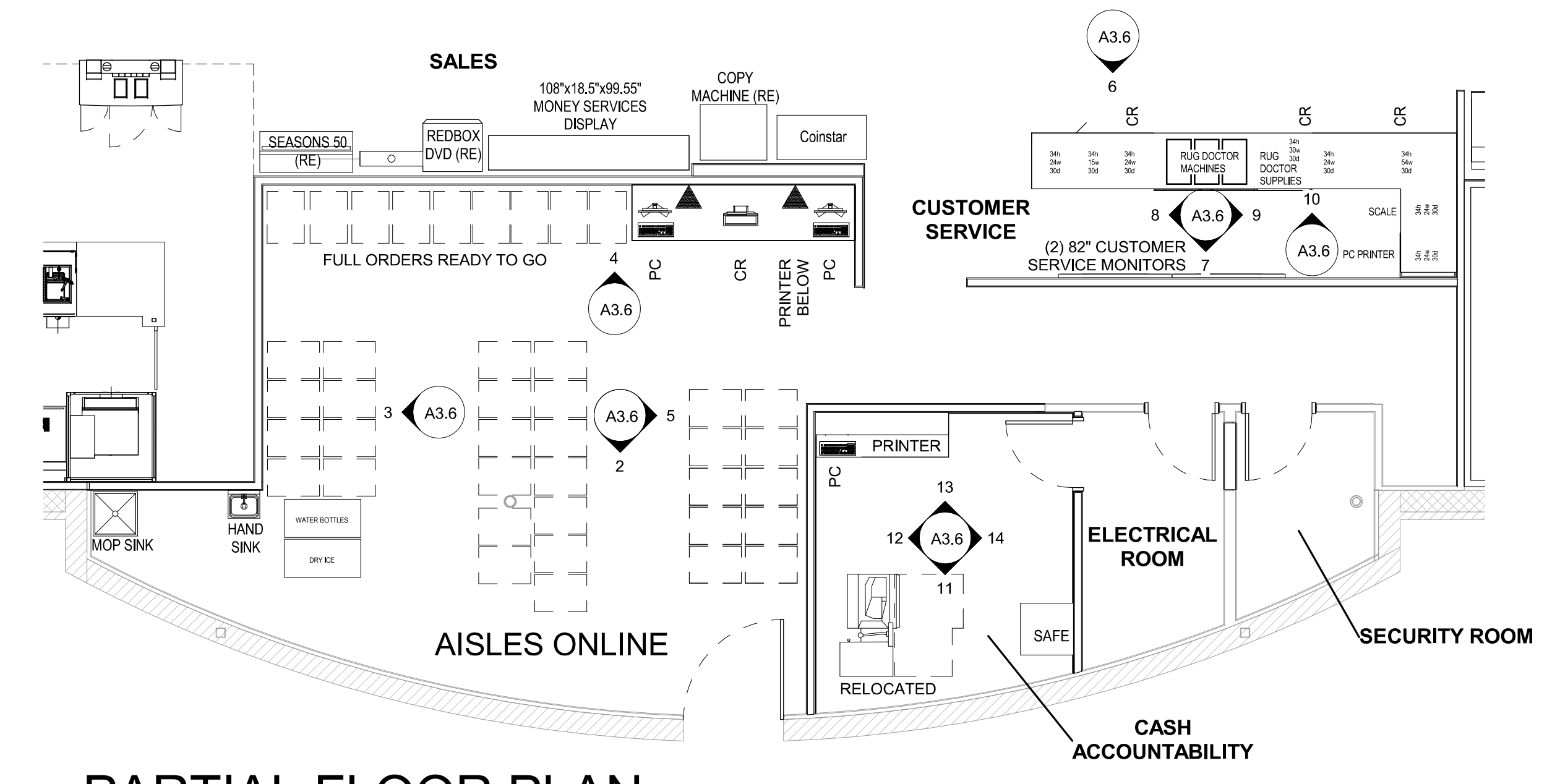
5 ELEVATION
 SCALE: 3/8" = 1'-0"



3 ELEVATION
 SCALE: 3/8" = 1'-0"



2 ELEVATION
 SCALE: 3/8" = 1'-0"



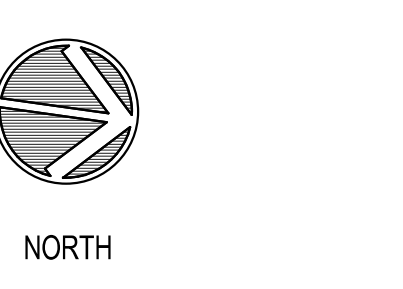
1 PARTIAL FLOOR PLAN - CUSTOMER SERVICE
 SCALE: 3/16" = 1'-0"



Architect of Record:
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 Kansas City 8131 Metcalf Avenue
 Phoenix Suite 300
 San Francisco Overland Park, KS 66204
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 Chicago



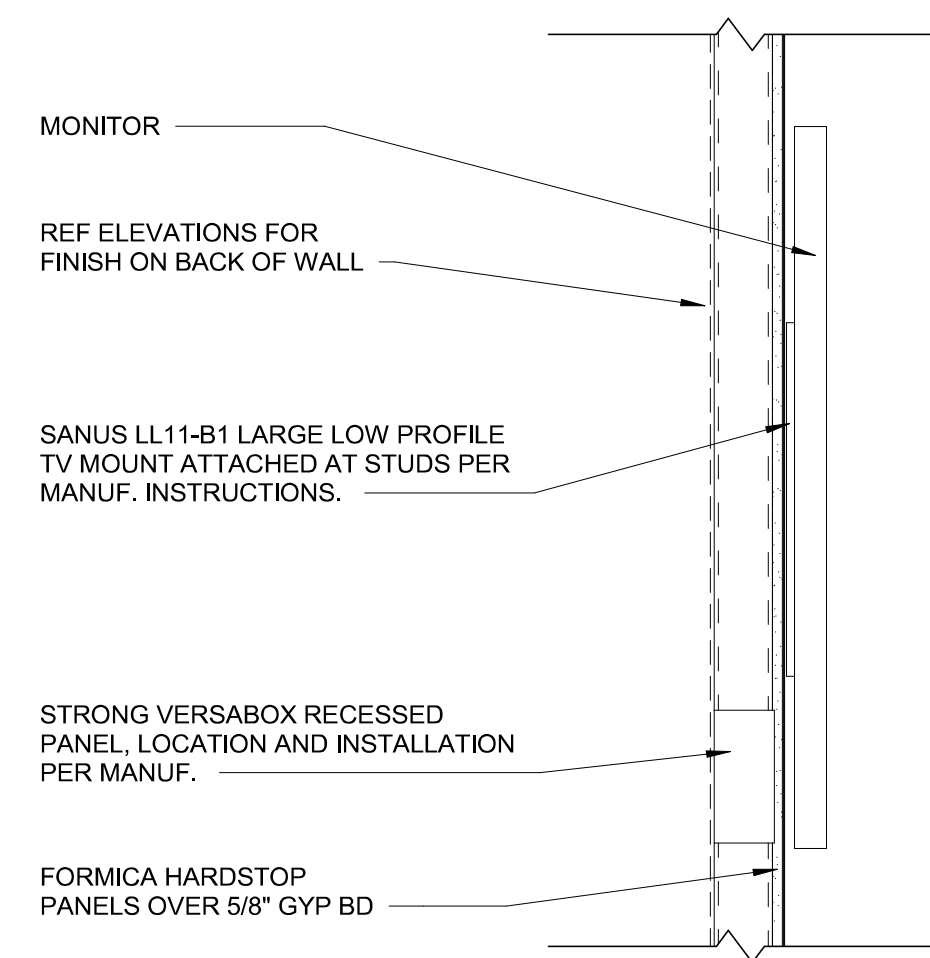
LOCATION
LEE'S SUMMIT, MO #2
 HY-VEE, INC.
 5820 WESTTOWN PARKWAY
 WEST DES MOINES, IOWA 50386
 TEL: (515) 281-2800
 FAX: (515) 281-2838
HyVee
 EMPLOYEE OWNED



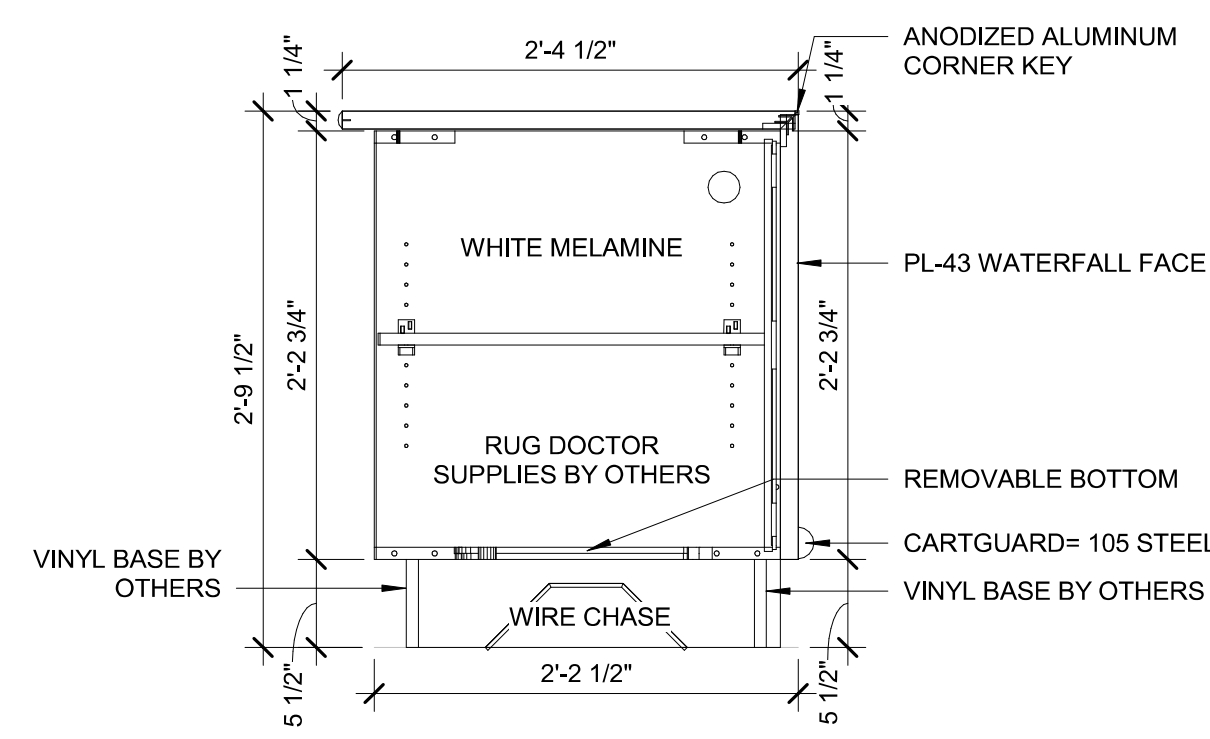
ENLARGED PLAN & ELEVATIONS - CUSTOMER SERVICE & MONEY SERVICE

PROJECT MANAGER: SB
 CHECKED BY: JPS
 DRAWN BY: ADP
 DATE: 10/20/2020
 SCALE: JOB NUMBER: 62930547
 SHEET:

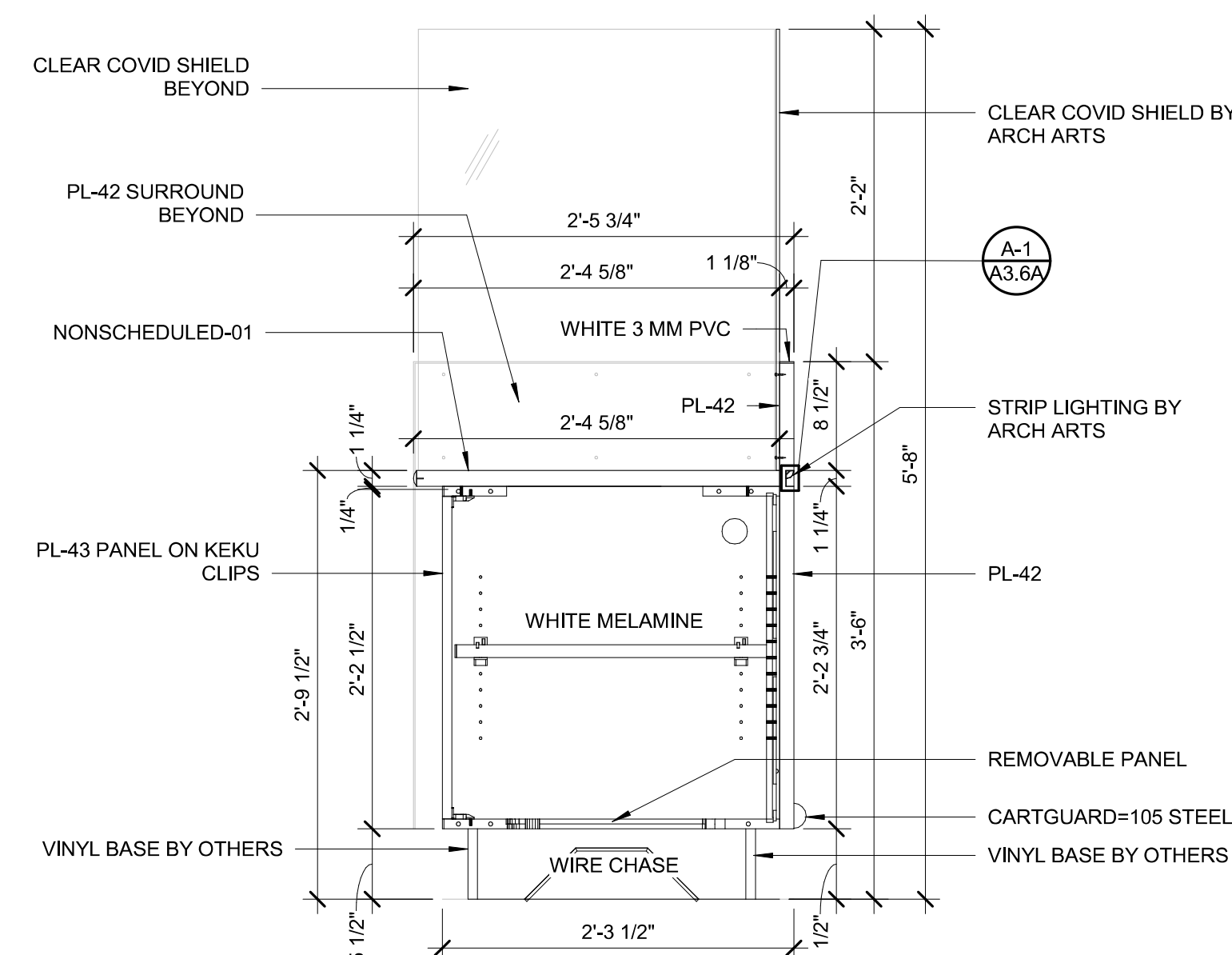
A3.6



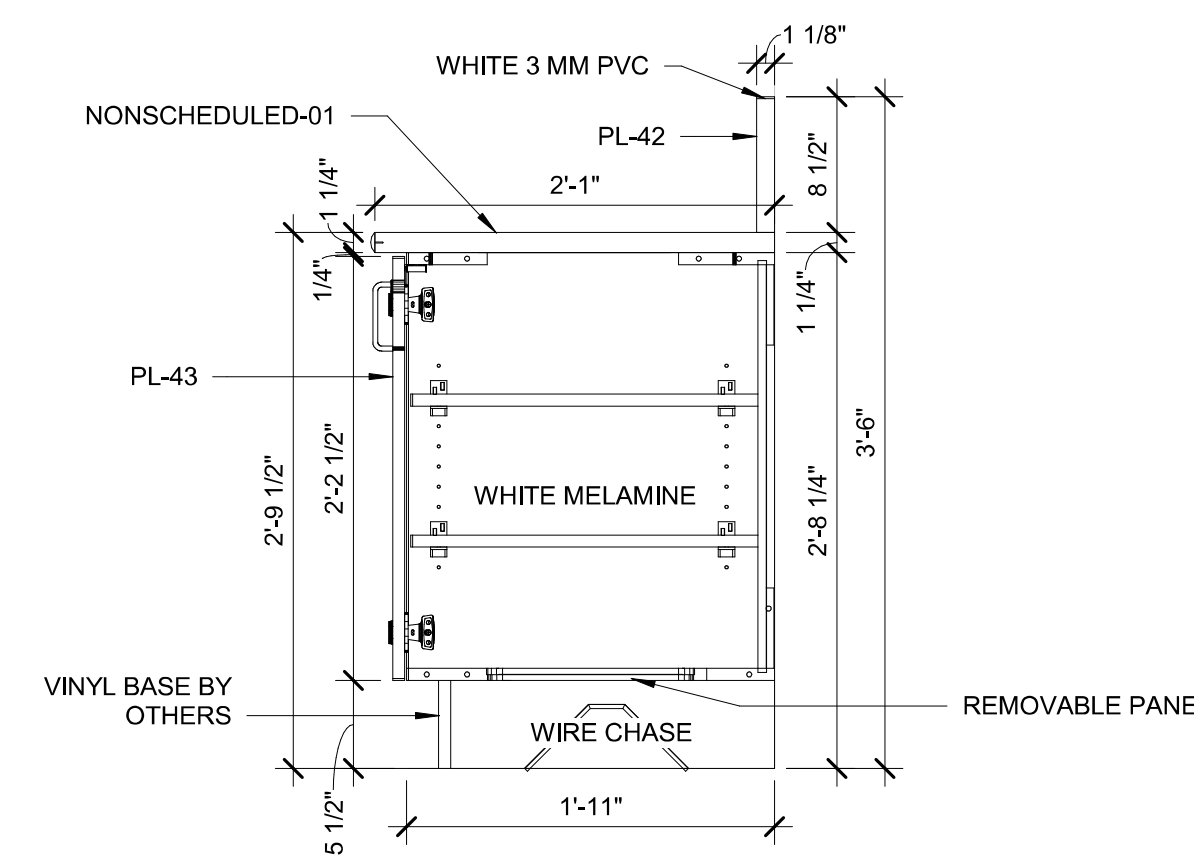
13 TV MOUNT DETAIL
 SCALE: 1" = 1'-0"



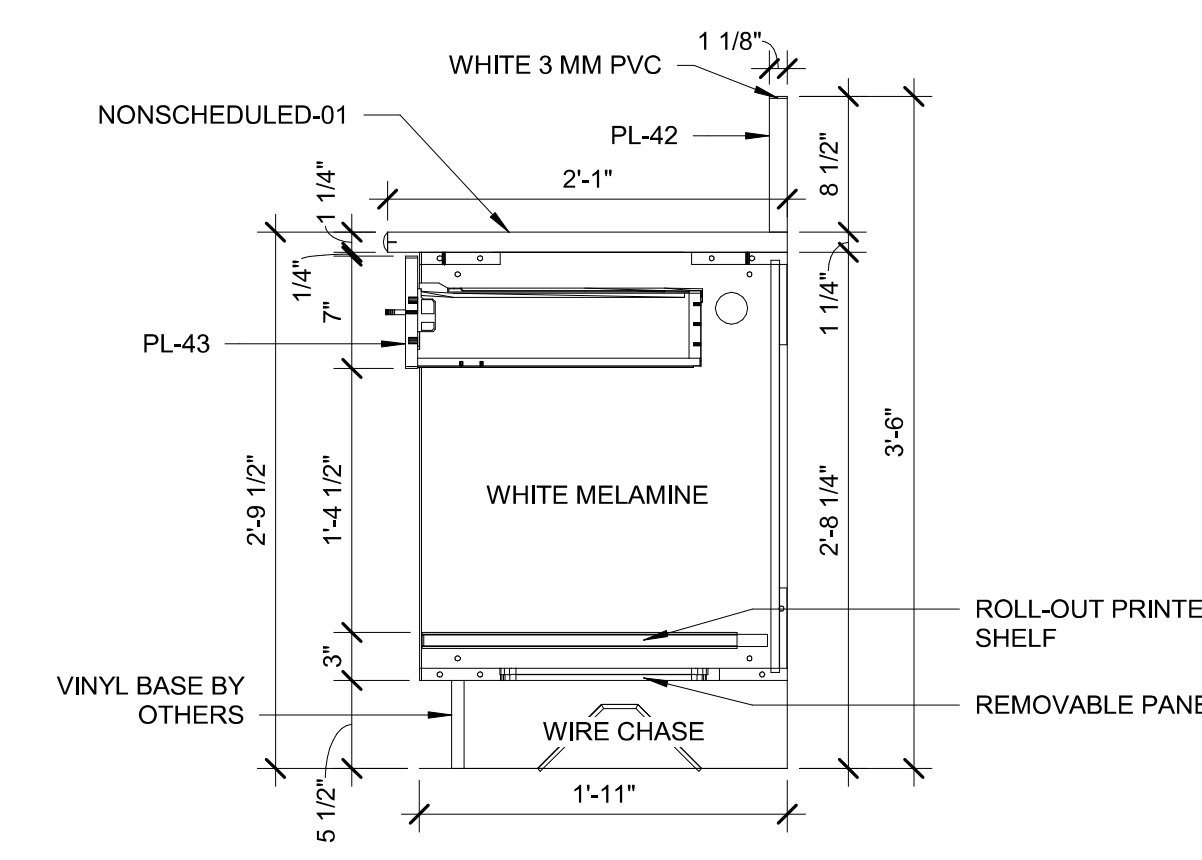
E SECTION E
 SCALE: 1" = 1'-0"



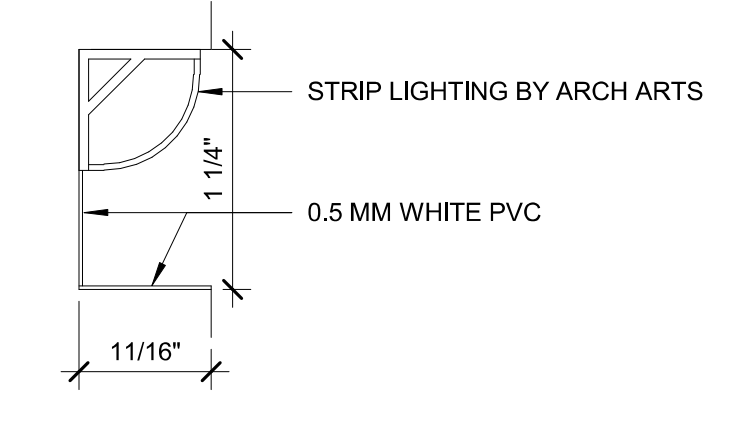
F SECTION F
 SCALE: 1" = 1'-0"



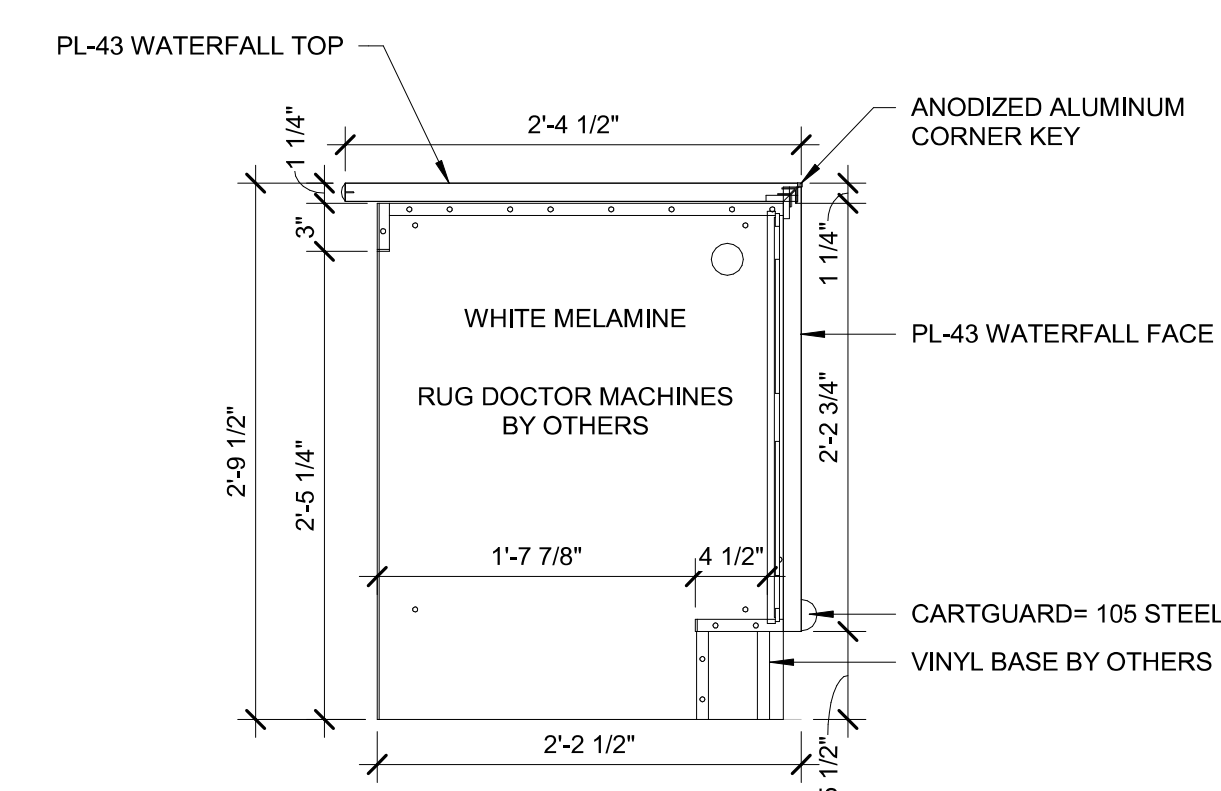
G SECTION G
 SCALE: 1" = 1'-0"



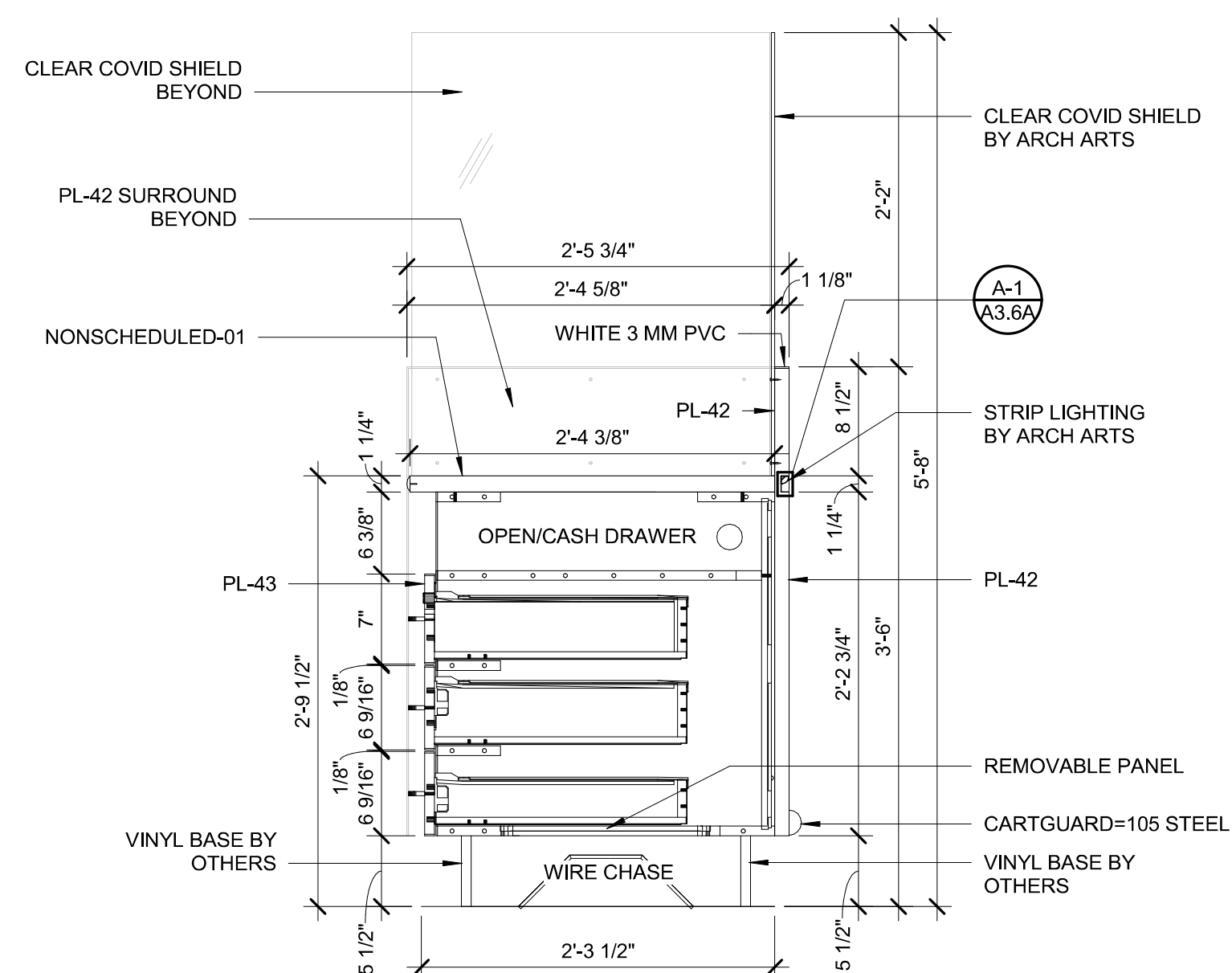
H SECTION H
 SCALE: 1" = 1'-0"



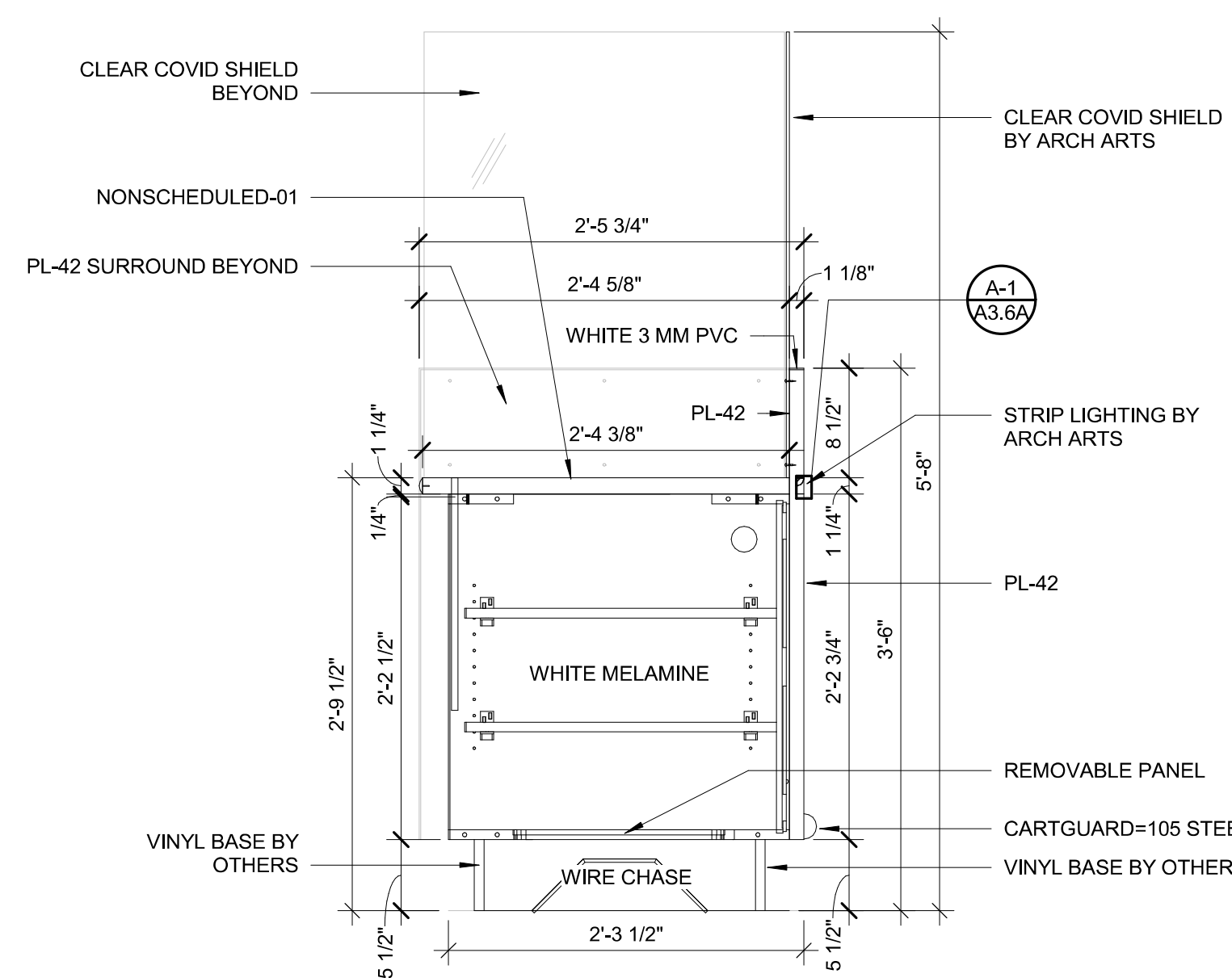
A-1 SECTION A-1
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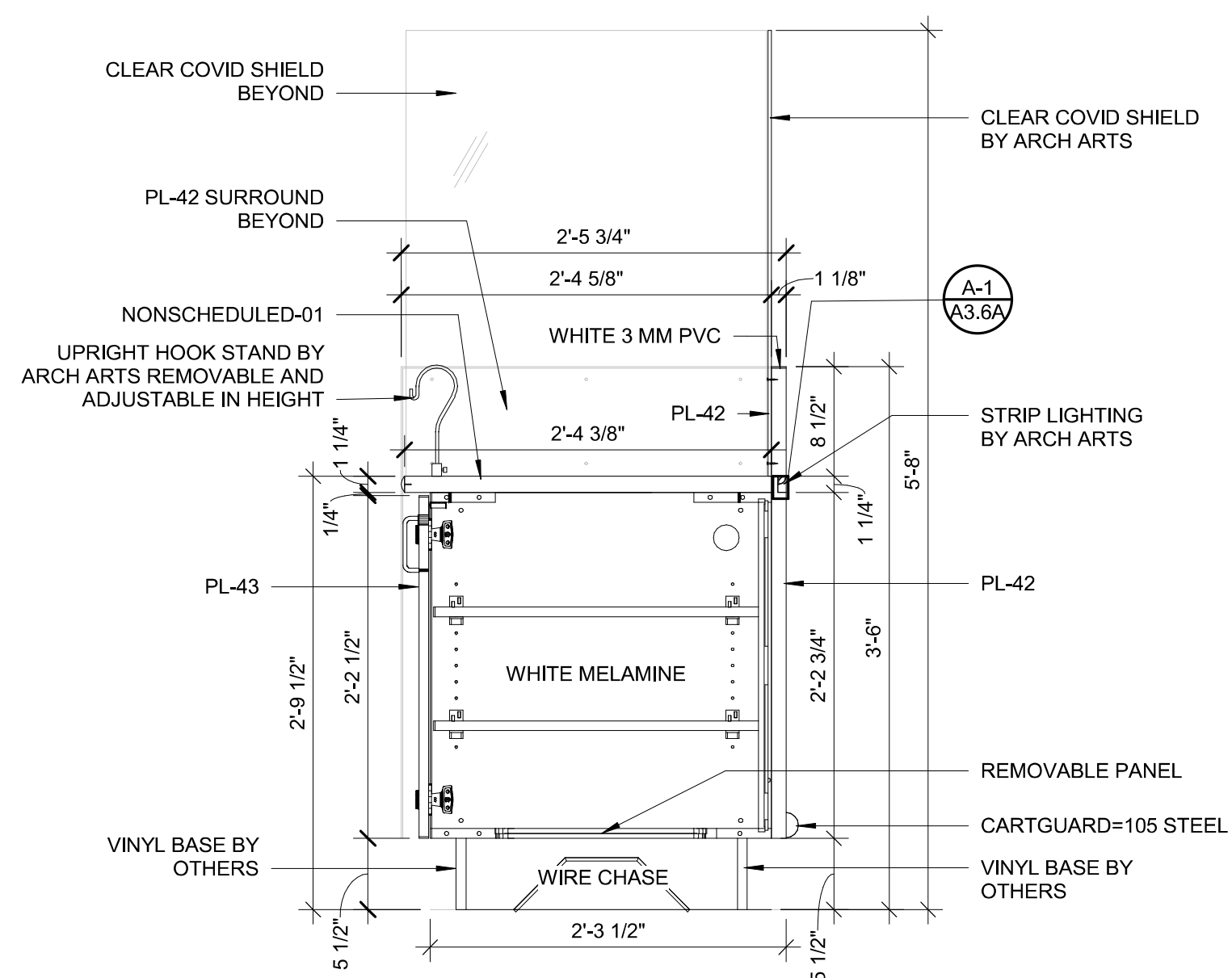
D SECTION D
 SCALE: 1" = 1'-0"



C SECTION C
 SCALE: 1" = 1'-0"



B SECTION B
 SCALE: 1" = 1'-0"



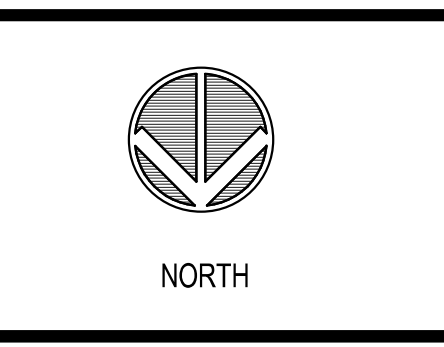
A SECTION A
 SCALE: 1" = 1'-0"

brr
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 Fax: 913-262-9044

PROFESSIONAL SEAL
 RICHARD A. MAJORS, JR.
 ARCHITECT
 MISSOURI LICENSE NO. A-007181

LOCATION
LEE'S SUMMIT, MO #2
 HY-VEE, INC.
 5820 WEST TOWN PARKWAY
 WEST DES MOINES, IOWA 50386
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 FAX: (515) 281-2838

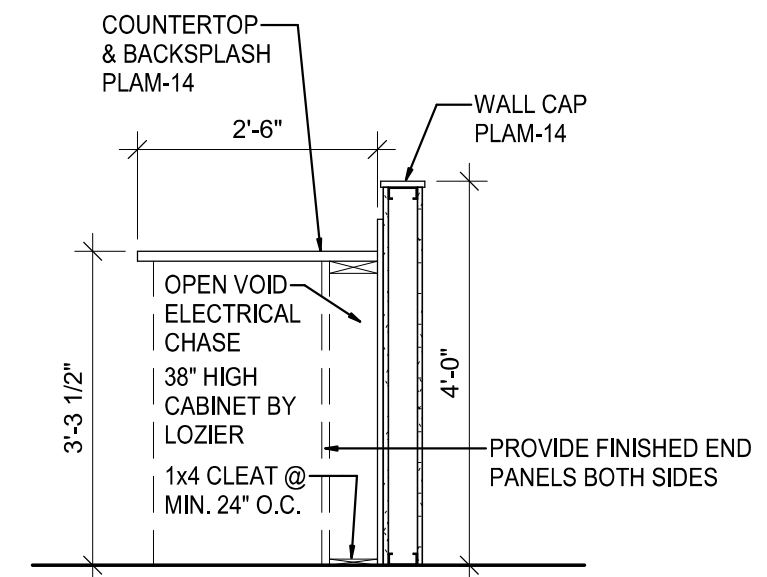
HyVee
 EMPLOYEE OWNED



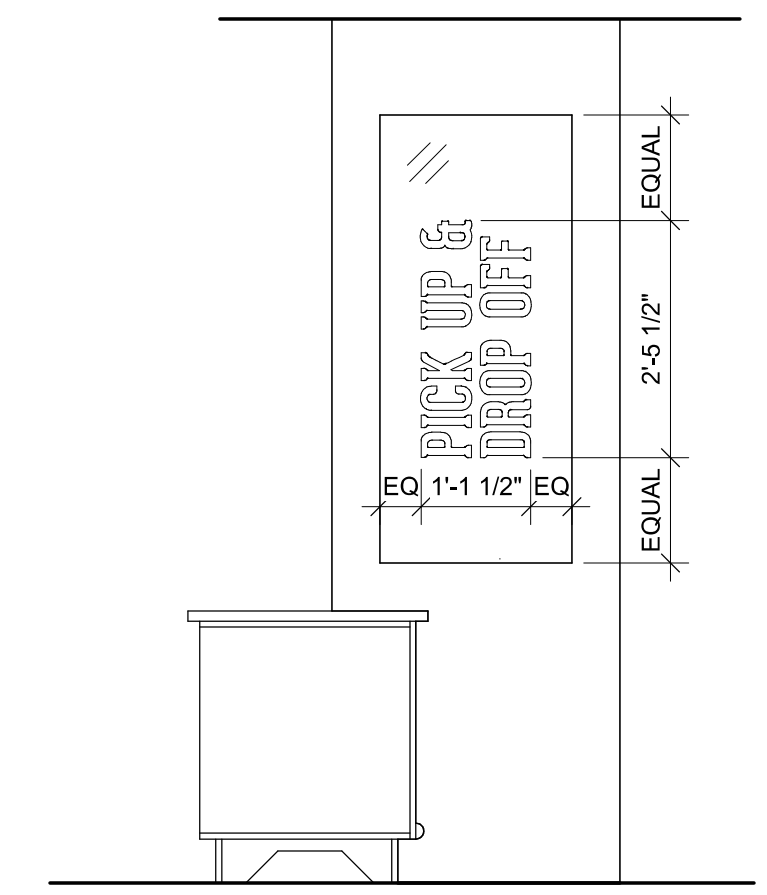
ENLARGED PLAN & ELEVATIONS - AOL

PROJECT MANAGER SB	CHECKED BY JPS
DRAWN BY AP	DATE 10/20/2020
SCALE As indicated	JOB NUMBER 62930547

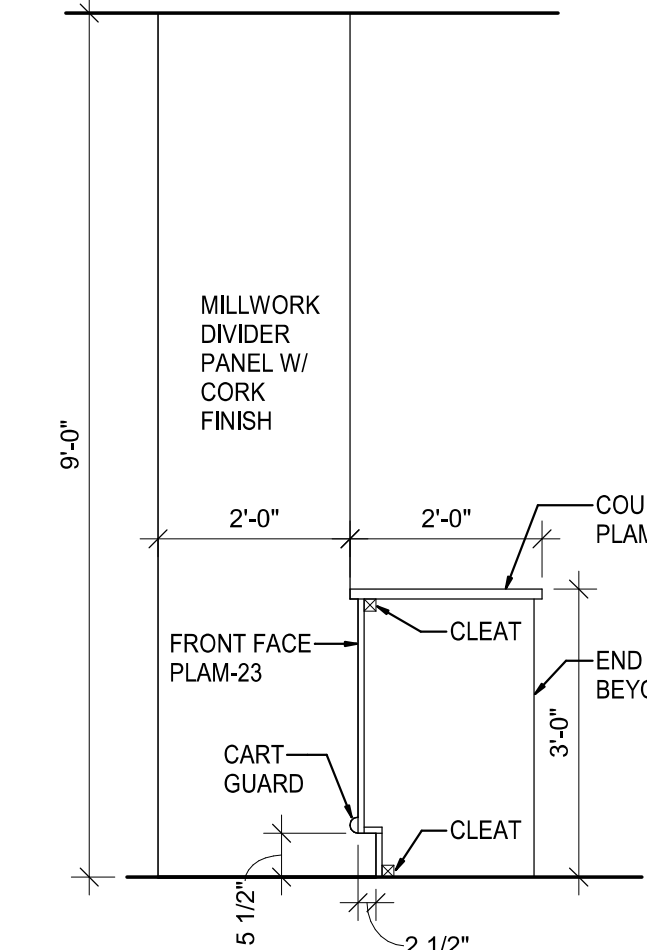
SHEET
A3.6A



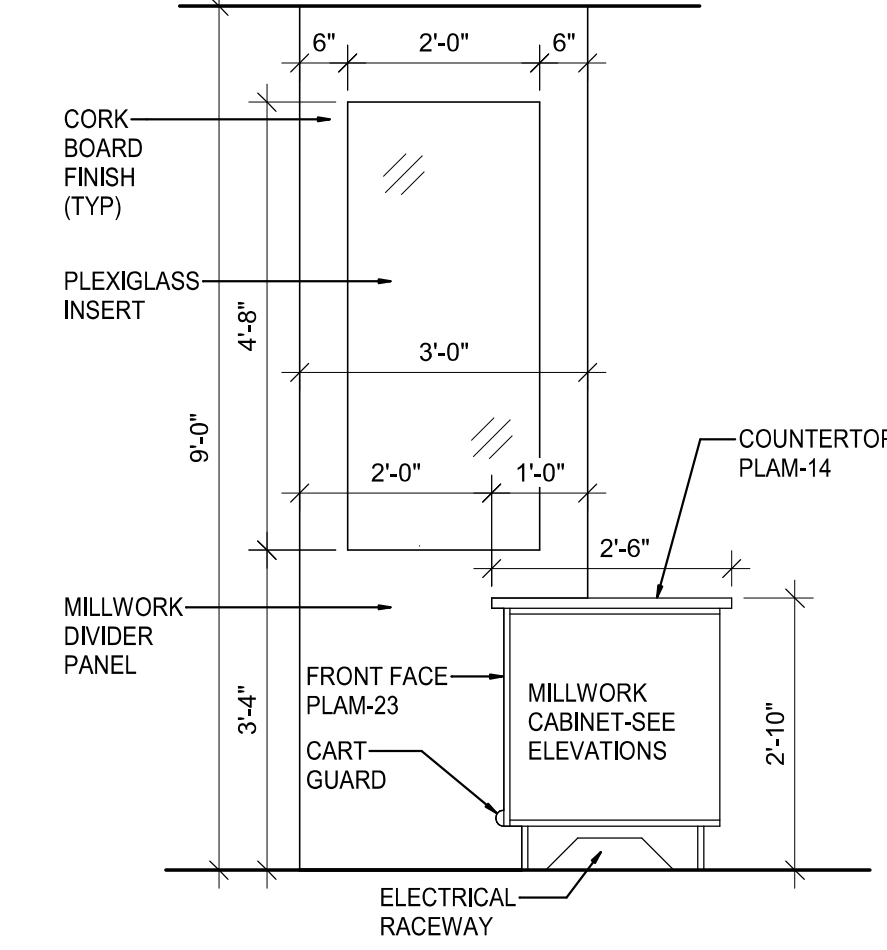
14 **FILL COUNTER SECTION**
 SCALE: 1/2" = 1'-0"



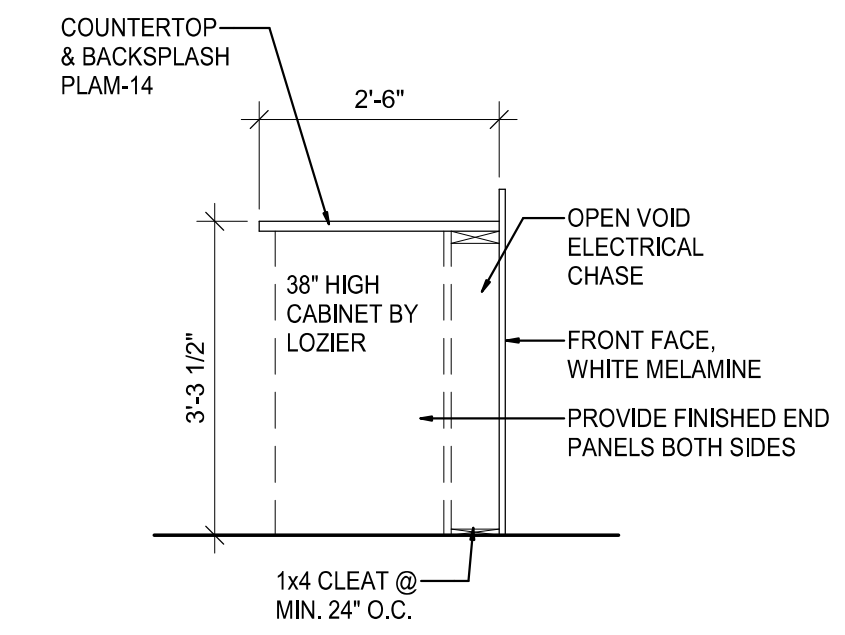
13 **FRONT COUNTER SECTION**
 SCALE: 1/2" = 1'-0"



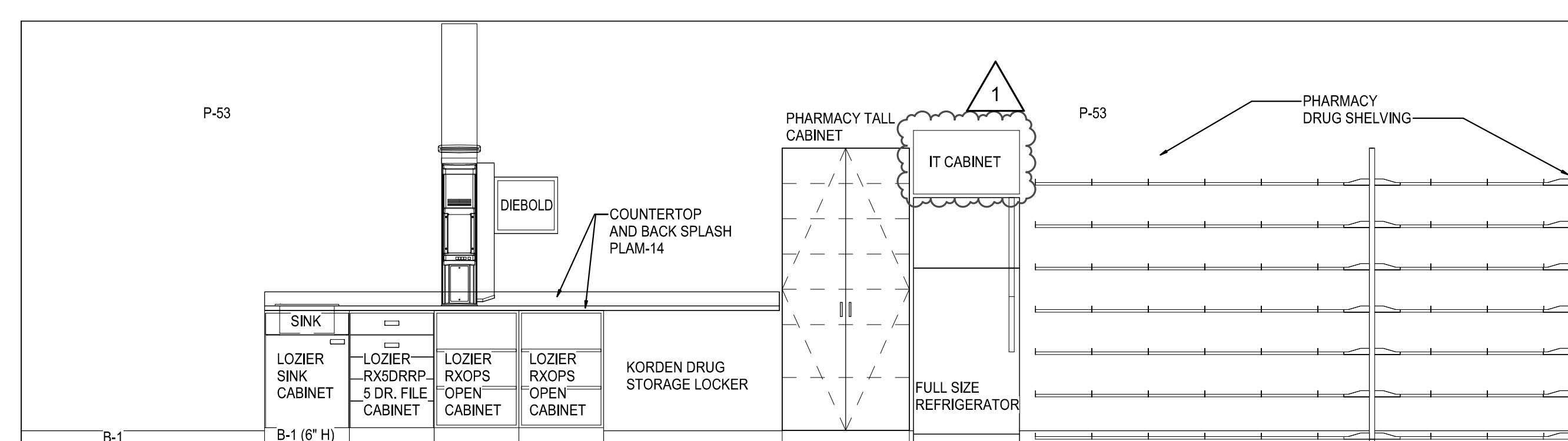
12 **FRONT COUNTER SECTION**
 SCALE: 1/2" = 1'-0"



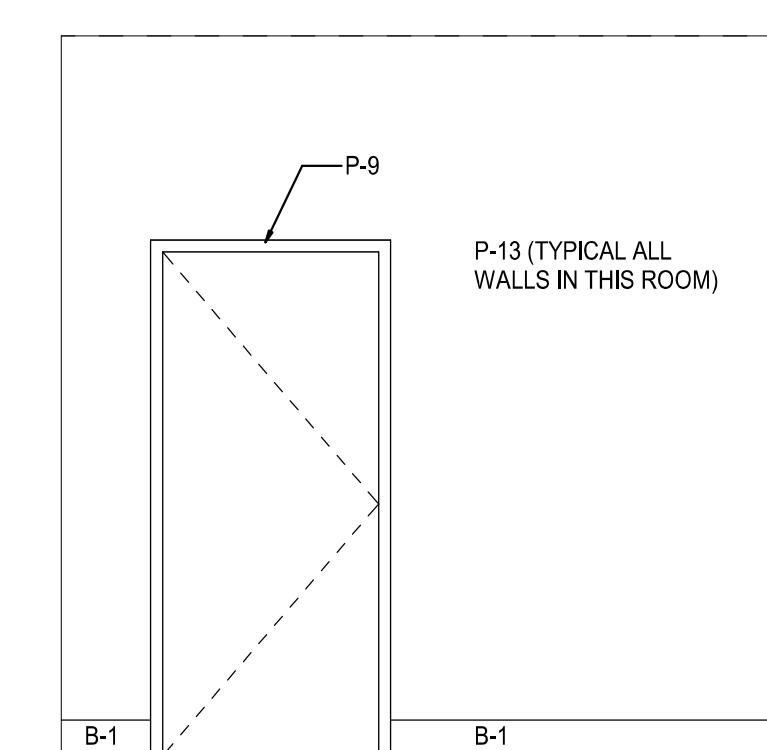
11 **FRONT COUNTER SECTION**
 SCALE: 1/2" = 1'-0"



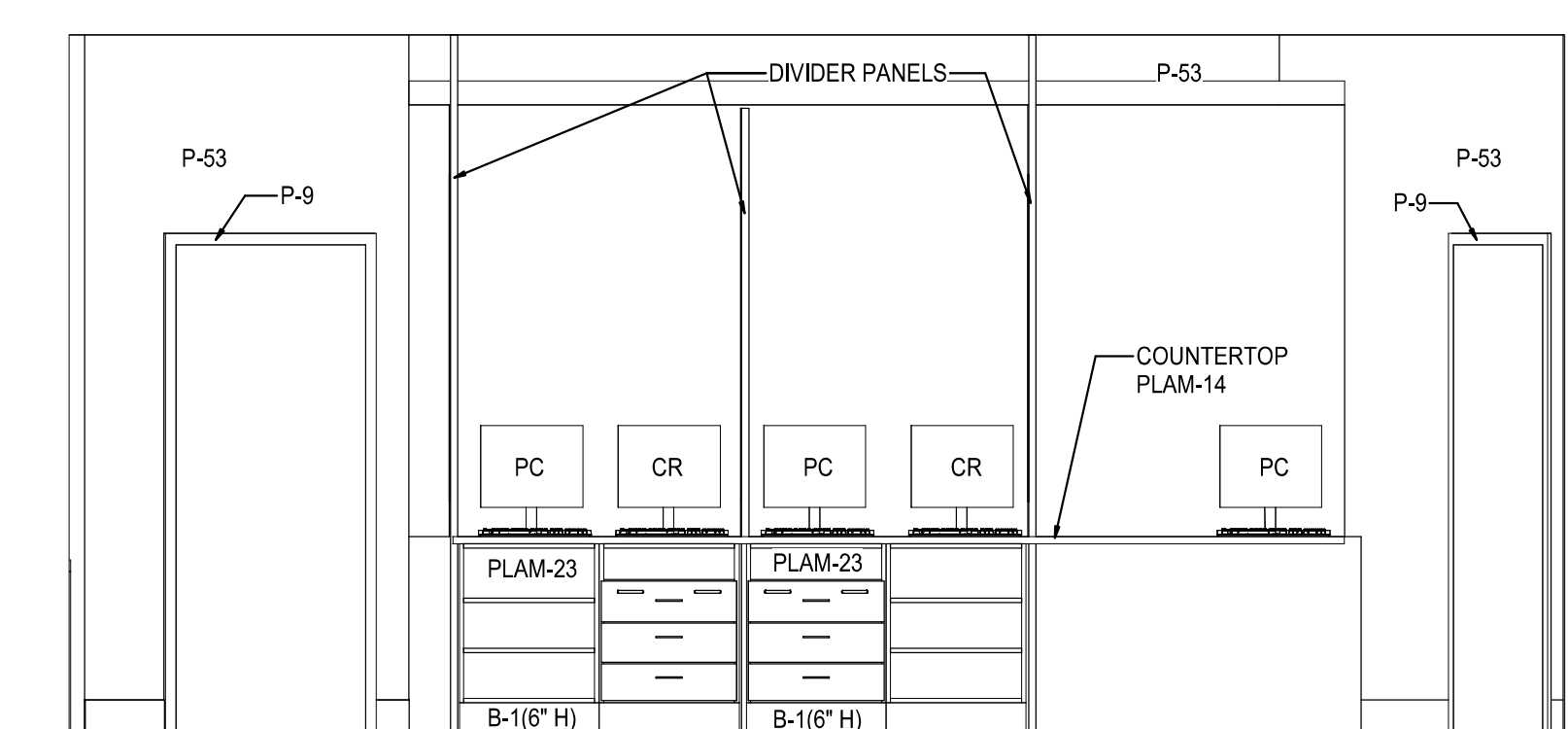
10 **FILL COUNTER SECTION**
 SCALE: 1/2" = 1'-0"



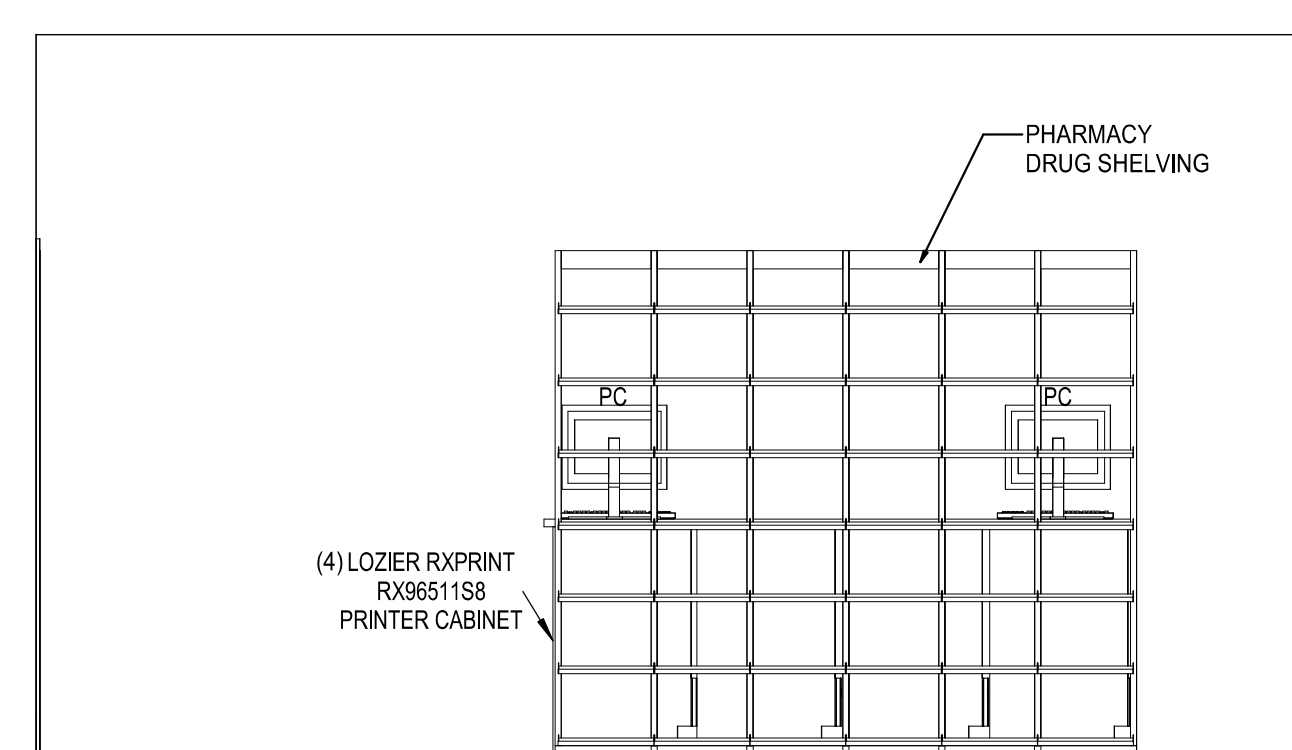
8 **ELEVATION**
 SCALE: 3/8" = 1'-0"



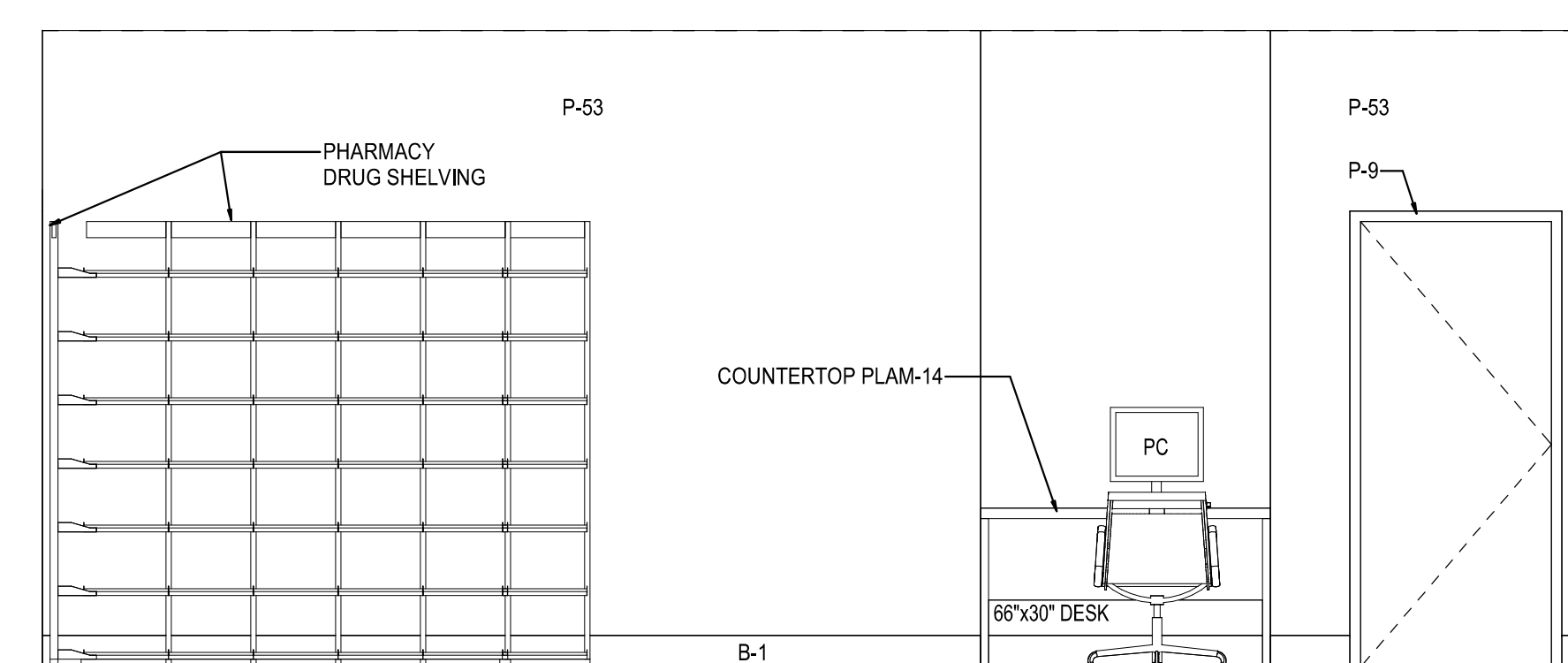
7 **ELEVATION**
 SCALE: 3/8" = 1'-0"



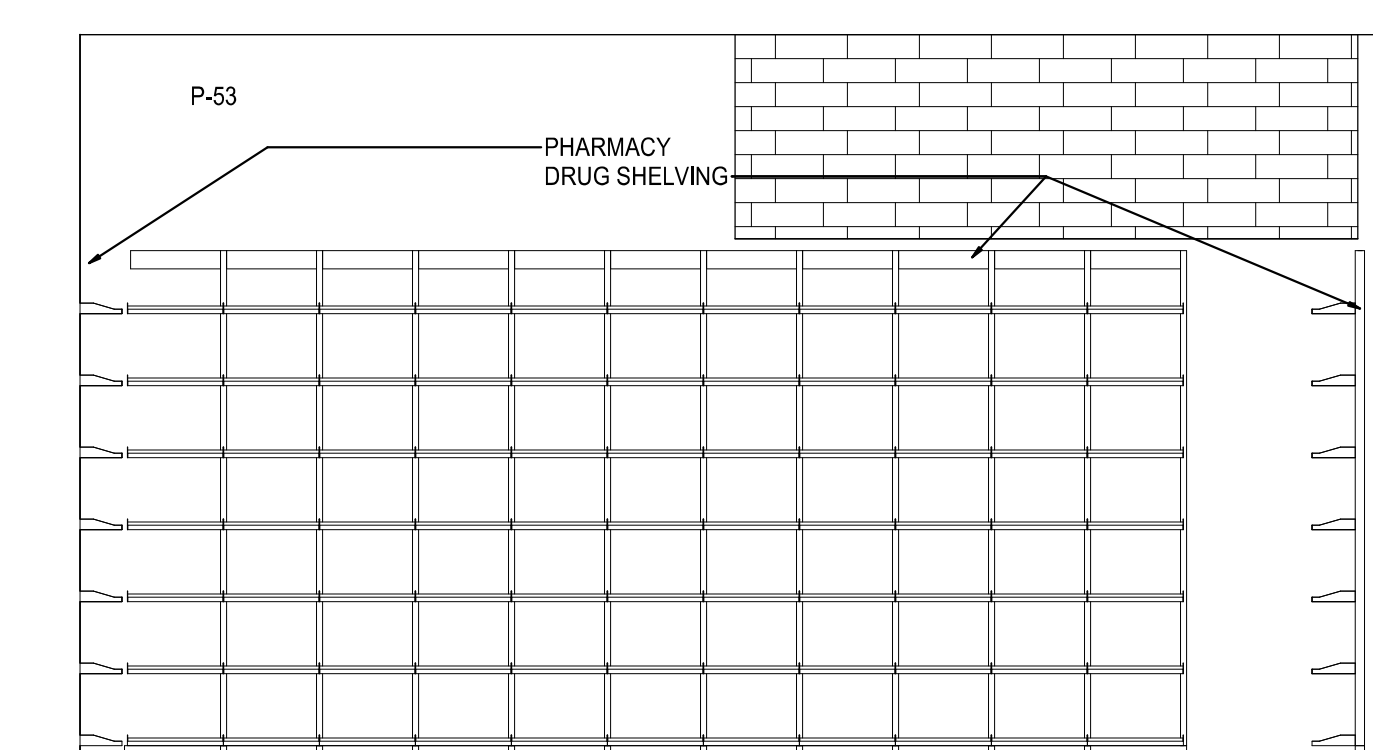
6 **ELEVATION**
 SCALE: 3/8" = 1'-0"



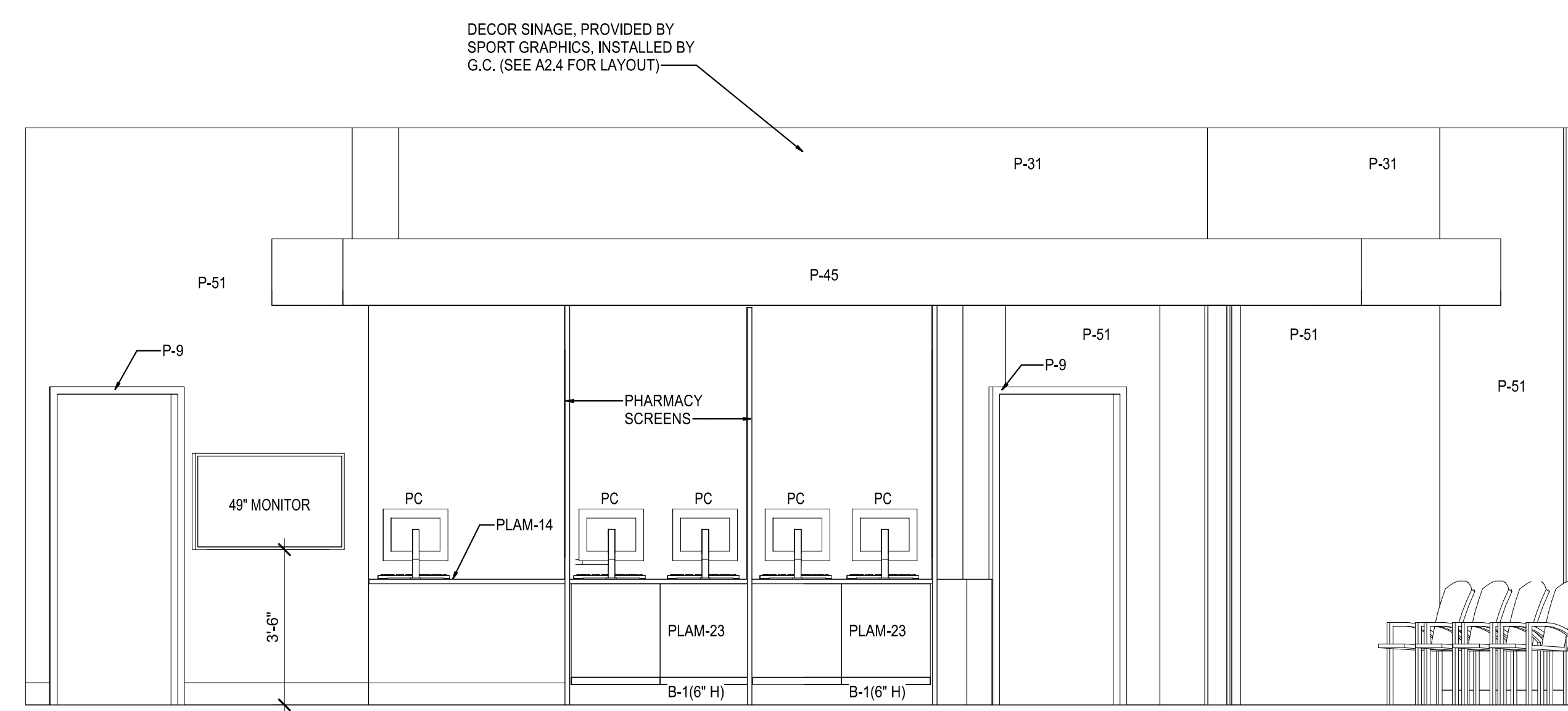
5 **ELEVATION**
 SCALE: 3/8" = 1'-0"



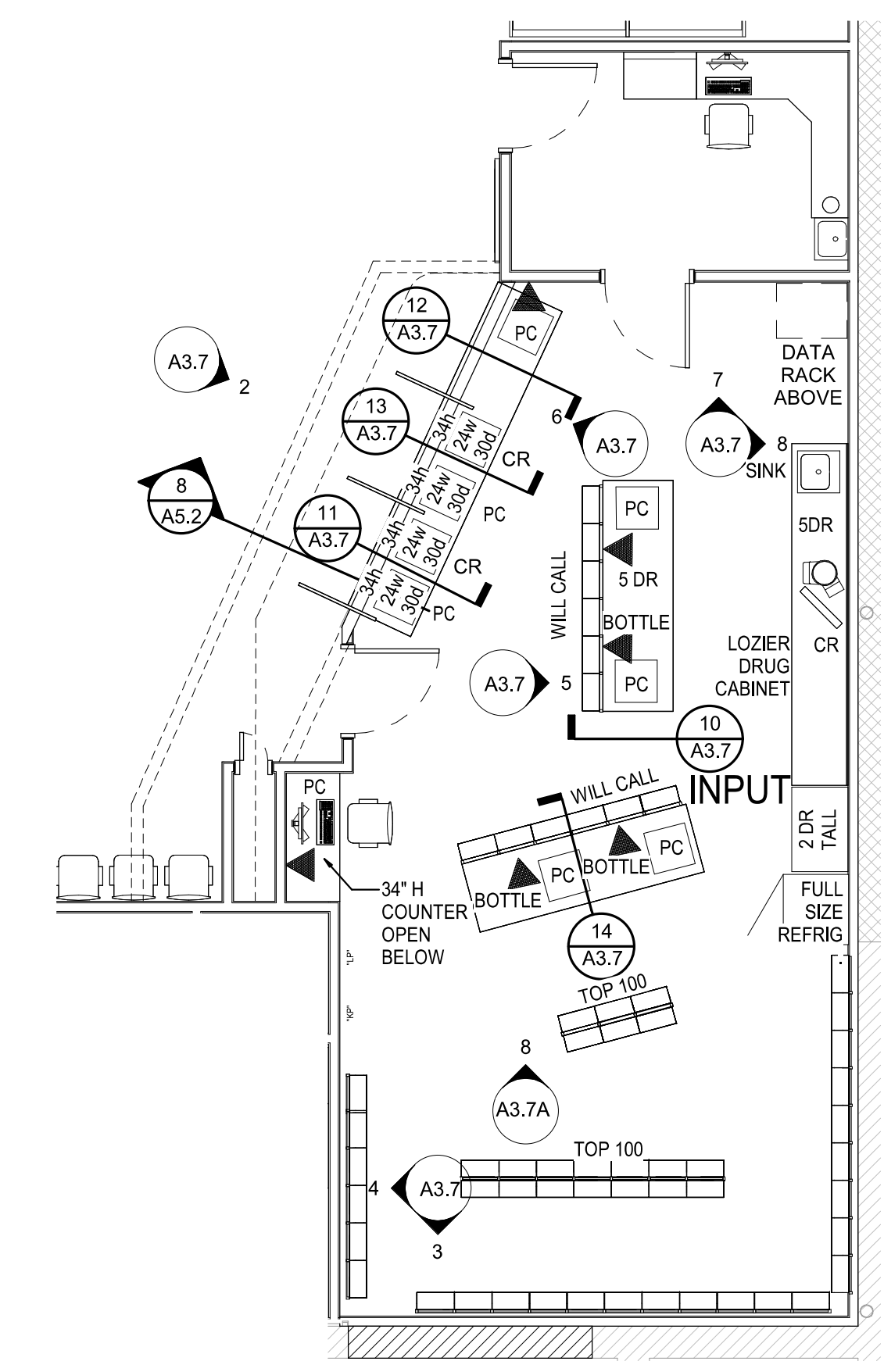
4 **ELEVATION**
 SCALE: 3/8" = 1'-0"



3 **ELEVATION**
 SCALE: 3/8" = 1'-0"



2 **ELEVATION**
 SCALE: 3/8" = 1'-0"



1 **PARTIAL FLOOR PLAN - PHARMACY**
 SCALE: 3/16" = 1'-0"

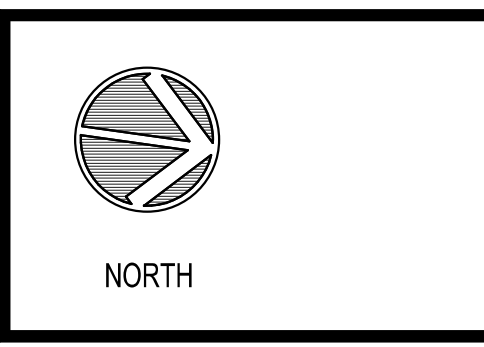
GENERAL NOTES
 FOR FINISH SCHEDULE SEE SHEET A2.2.

11/12/2020 1:26:45 PM

brr
 Architect of Record:
 BRR Architecture, Inc.
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 Tel: 913-262-9095
 Fax: 913-262-9044

PROFESSIONAL SEAL
 RICHARD A. MAJORS, JR.
 ARCHITECT
 MISSOURI LICENSE NO. A-007528

LOCATION: **LEE'S SUMMIT, MO #2**
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 TEL: (515) 281-2800
 FAX: (515) 281-2838
HyVee
 EMPLOYEE OWNED



ENLARGED PLAN & ELEVATIONS - PHARMACY

PROJECT MANAGER SB	CHECKED BY JPS
DRAWN BY JR	DATE 11/11/20
SCALE As indicated	JOB NUMBER 62930547

SHEET: **A3.7**

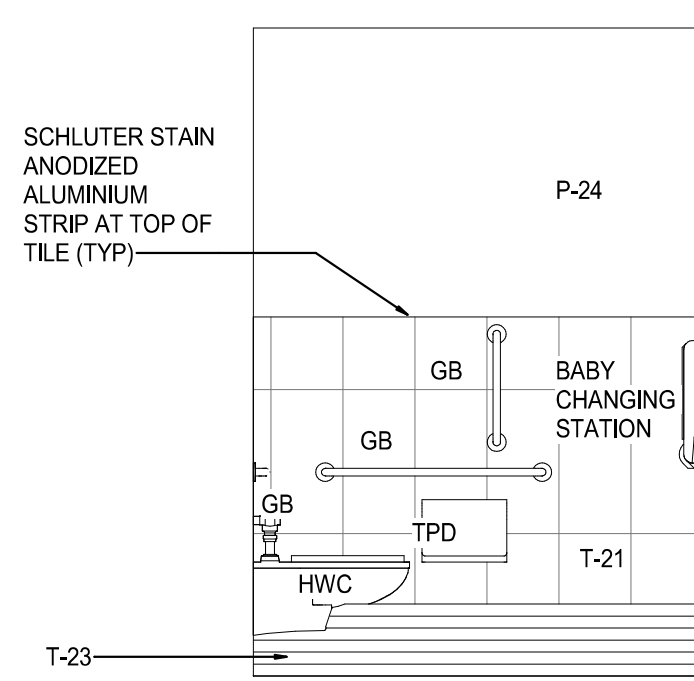
GENERAL NOTES

FOR FINISH SCHEDULE SEE SHEET A2.2.

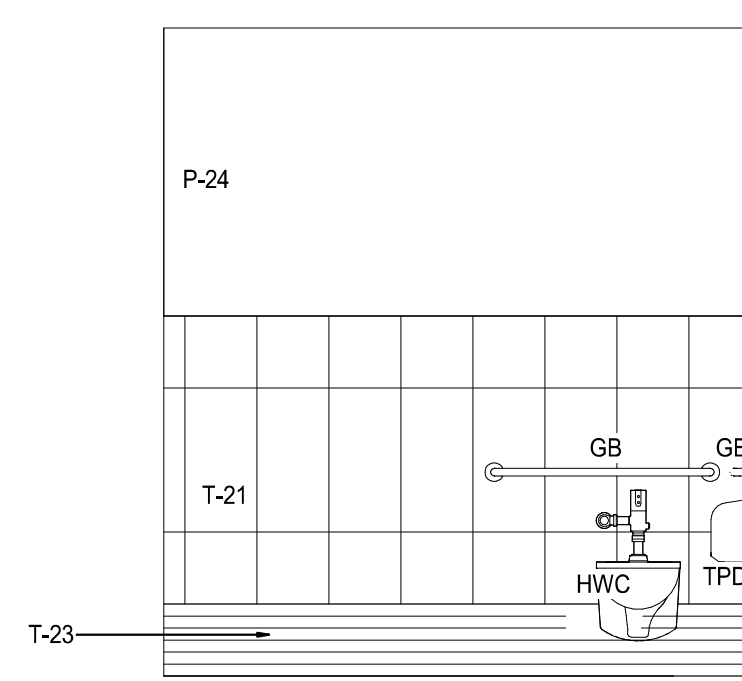
FLOOR FINISH SCHEDULE - CLINIC

KEY	TYPE	MANUFACTURER	SIZE	COLOR	NOTES
F-2C	PORCELAIN TILE	StonePeak CERAMICS, INC. CONTACT: TRACIE LILLARD (SUNDERLAND BROTHERS CO.)	12" X 24"	SIMPLY MODERN, COFFEE GROUT: TruColor BY BOSTIK FRENCH GRAY H142/STORM-DG06	RESTROOM FLOOR TILE (LAYOUT TO BE STACKED)
P-1C	PAINT	SHERWIN WILLIAMS		SW 6106 KLIM BEIGE	EGGSHELL FINISH - USED OUTSIDE OF CLINIC
P-2C	PAINT	SHERWIN WILLIAMS		SW 6148 WOOL SKEIN	EGGSHELL FINISH - USED IN CLINIC
P-3C	PAINT	SHERWIN WILLIAMS		SW 7020 BLACK FOX	GLOSS FINISH - DOOR FRAMES
P-4C	PAINT	SHERWIN WILLIAMS		SW 7044 AMAZING GRAY	EGGSHELL FINISH - RESTROOM WALLS
P-5C	PAINT	SHERWIN WILLIAMS		DIAMOND VOGEL DV 7808 W1-6Y10; G2-22; Y1-14+1+01; Y3-4Y16+01	EGGSHELL FINISH - ACCENT WALLS
C4	CEILING (ACCOUSTIC)	ARMSTRONG USG	2' X 2'	DUNE #1774, WHITE OLYMPIA MICRO CLIMAPLUS #4221	ARMSTRONG GRID - G-30 PRELUDE USG GRID - DX/DXL
C5	CEILING (PAINT ON GYP.)	SHERWIN WILLIAMS		SW 7006 EXTRA WHITE	EPOXY PAINT
T-1C	PORCELAIN TILE	StonePeak CERAMICS, INC. CONTACT: TRACIE LILLARD (SUNDERLAND BROTHERS CO.)	12" X 24"	SIMPLY MODERN, TAN GROUT: TruColor BY BOSTIK MISTY GRAY H144/OCEAN GRAY D-G05	RESTROOM WALL TILE
T-2C	PORCELAIN TILE	StonePeak CERAMICS, INC. CONTACT: TRACIE LILLARD (SUNDERLAND BROTHERS CO.)	12" X 12"	SIMPLY MODERN, TAN GROUT: TruColor BY BOSTIK MISTY GRAY H144/OCEAN GRAY D-G05	RESTROOM WALL BASE TILE
T-3C	PORCELAIN TILE	FLORIDA TILE CONTACT: TRACIE LILLARD	12" X 12"	PIETRA ART BLISS COLOR FOSSIL ROCK NS385 RSP/58 GROUT: TruColor BY BOSTIK	RESTROOM WALL ACCENT TILE
B-1C	VINYL BASE	JOHNSONITE	4"	#63 BURNT LUMBER	USED OUTSIDE OF CLINIC TO MATCH EXISTING
CG-1	CORNER GUARD	KOROGUARD	1" X 1"	STAINLESS STEEL (5'-0" TALL)	USED THROUGHOUT SALES FLOOR
CG-2	CORNER GUARD	CS ACROVYN		#920 ALMOND (FULL HEIGHT)	USED IN CLINIC
PLAM-1C	PLASTIC LAMINATE	FORMICA		PECAN WOODLINE #5883-58 MATTE (VERT. GRAIN)	USED IN CLINIC, CABINETS
SSM-1C	SOLID SURFACE	CORIAN		BURLED BEACH	USED IN CLINIC, COUNTERS
WC-1C	WALL COVERING	ACROVYN	.060" THICK	#920 ALMOND	USED IN CLINIC, EXAM ROOMS ABOVE BASE TO 52" AFF

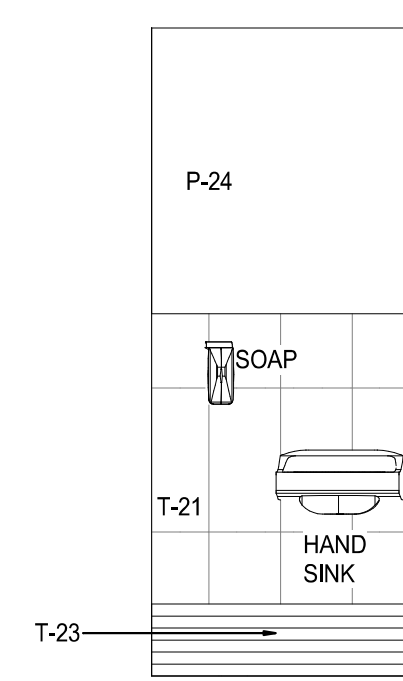
NOTES:
1) ALL CABINET INTERIORS TO BE WHITE MELAMINE U.N.O.



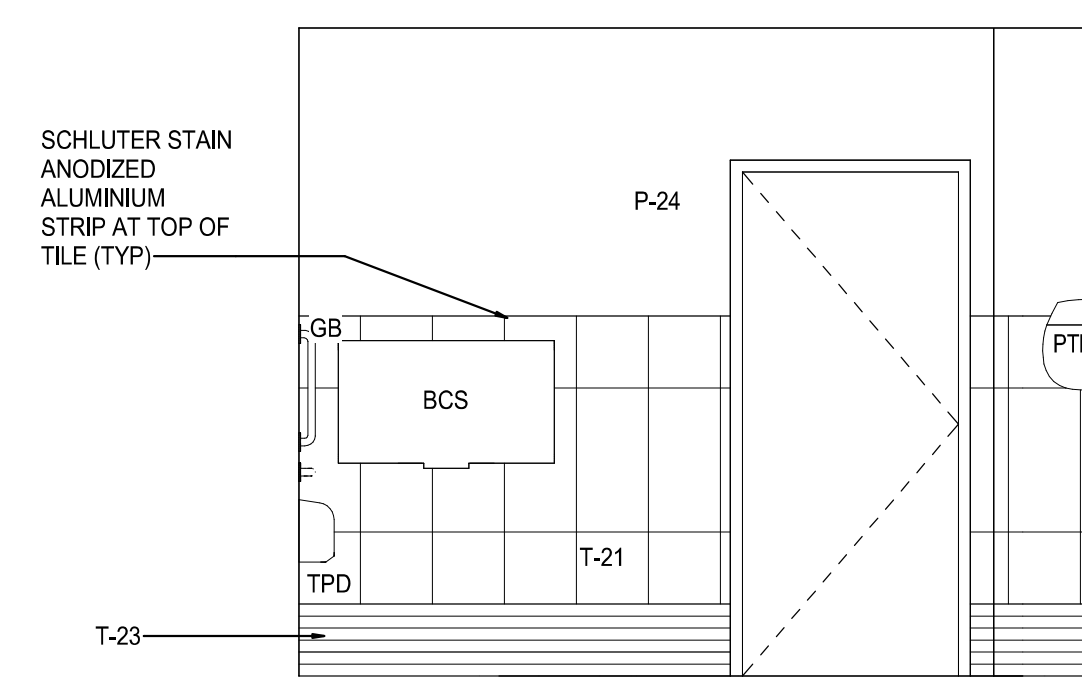
16 ELEVATION
SCALE: 3/8" = 1'-0"



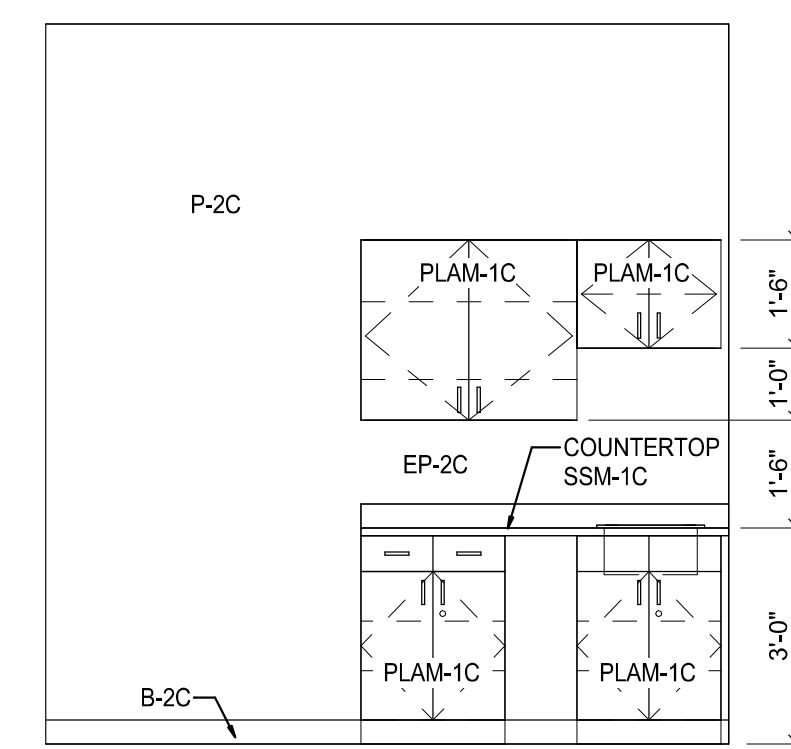
15 ELEVATION
SCALE: 3/8" = 1'-0"



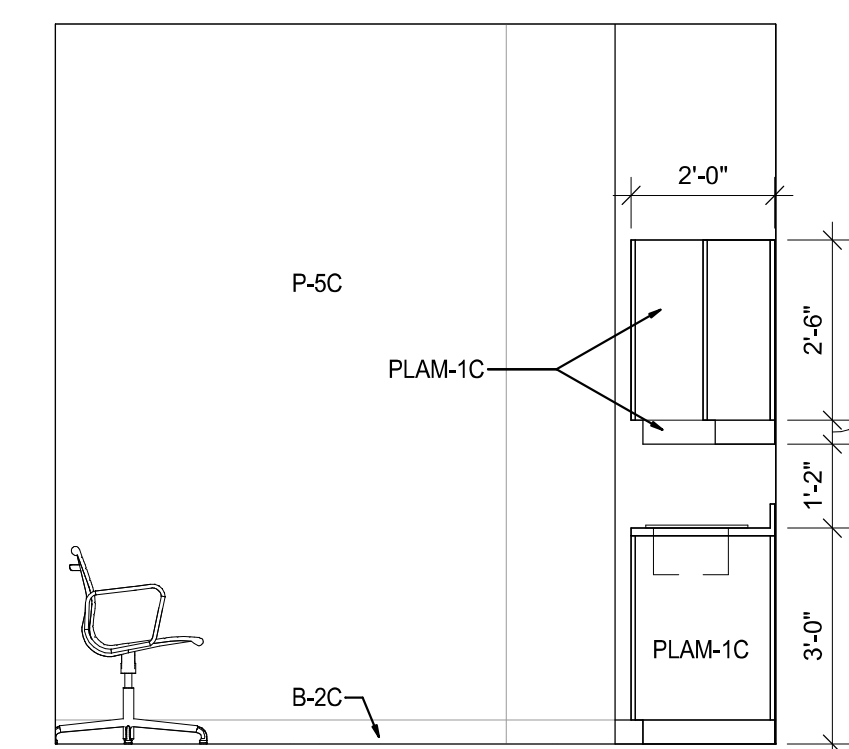
14 ELEVATION
SCALE: 3/8" = 1'-0"



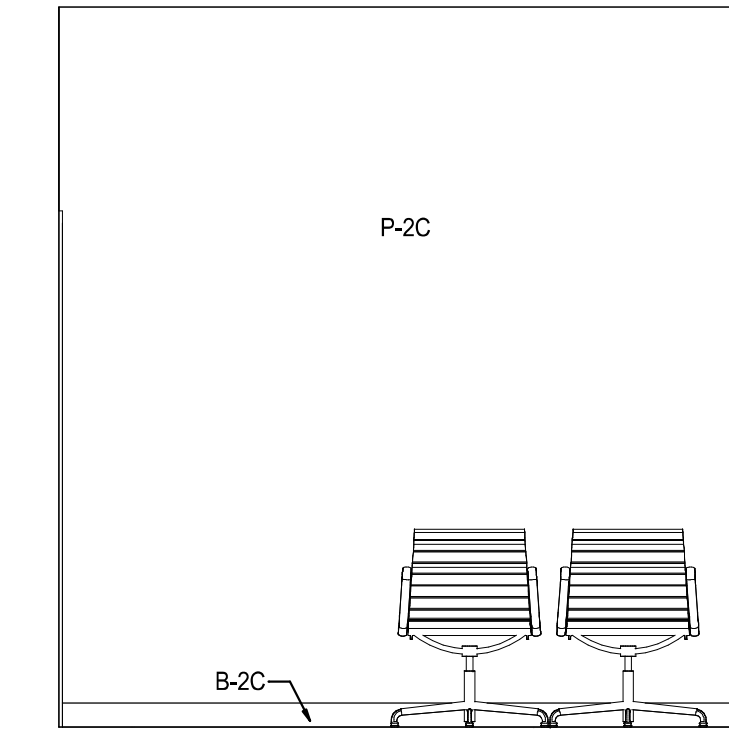
13 ELEVATION
SCALE: 3/8" = 1'-0"



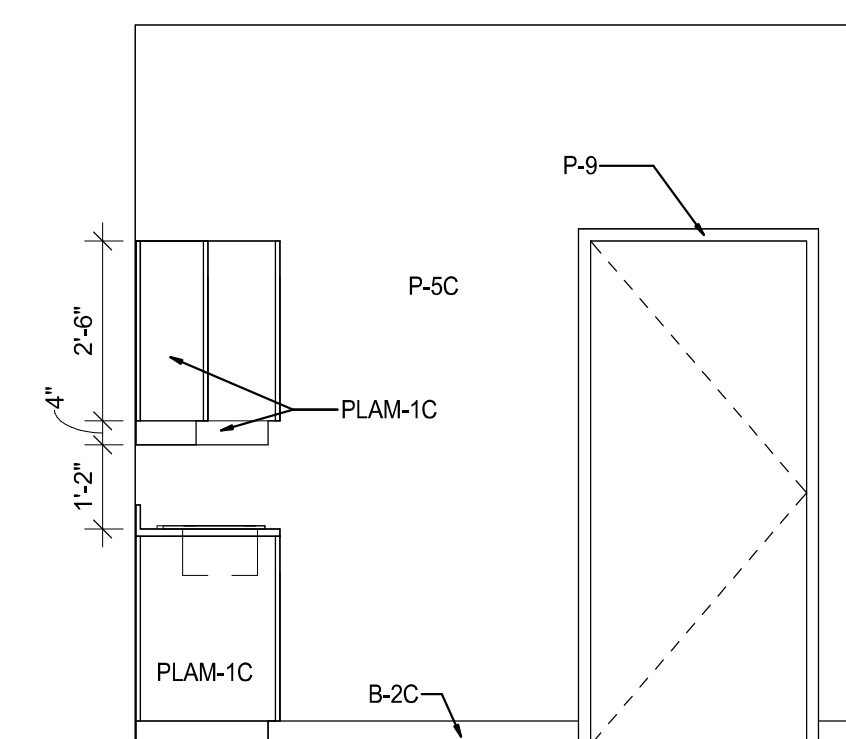
12 ELEVATION
SCALE: 3/8" = 1'-0"



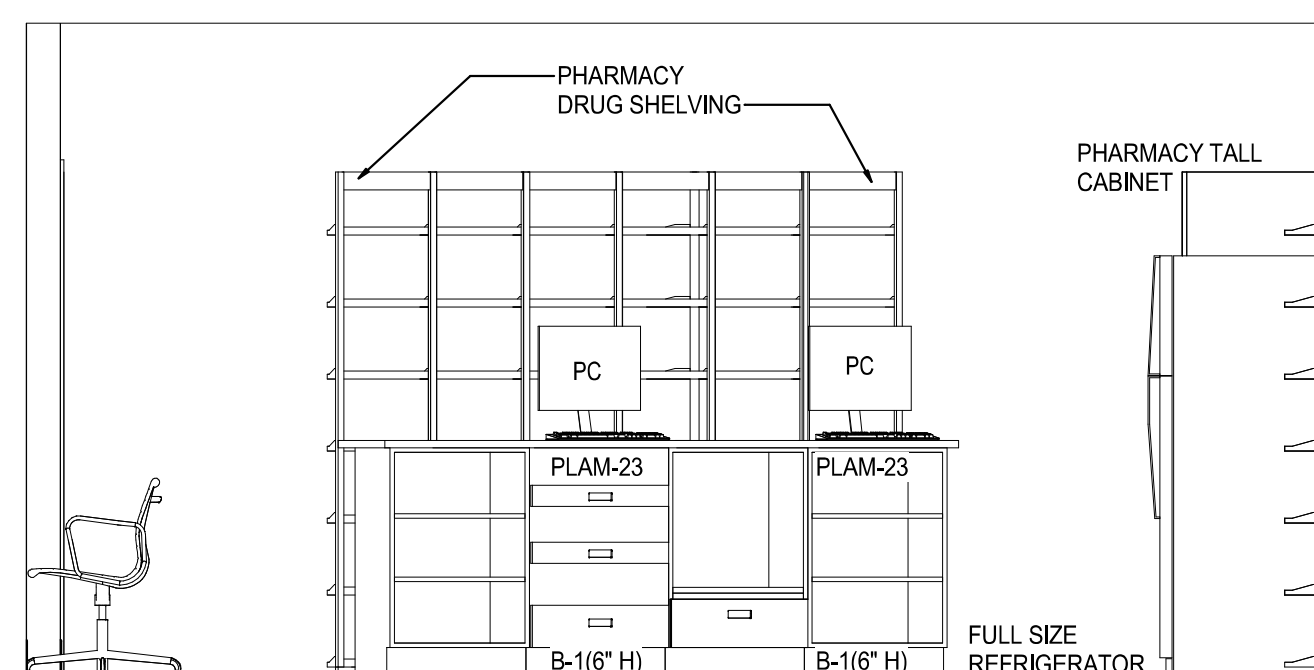
11 ELEVATION
SCALE: 3/8" = 1'-0"



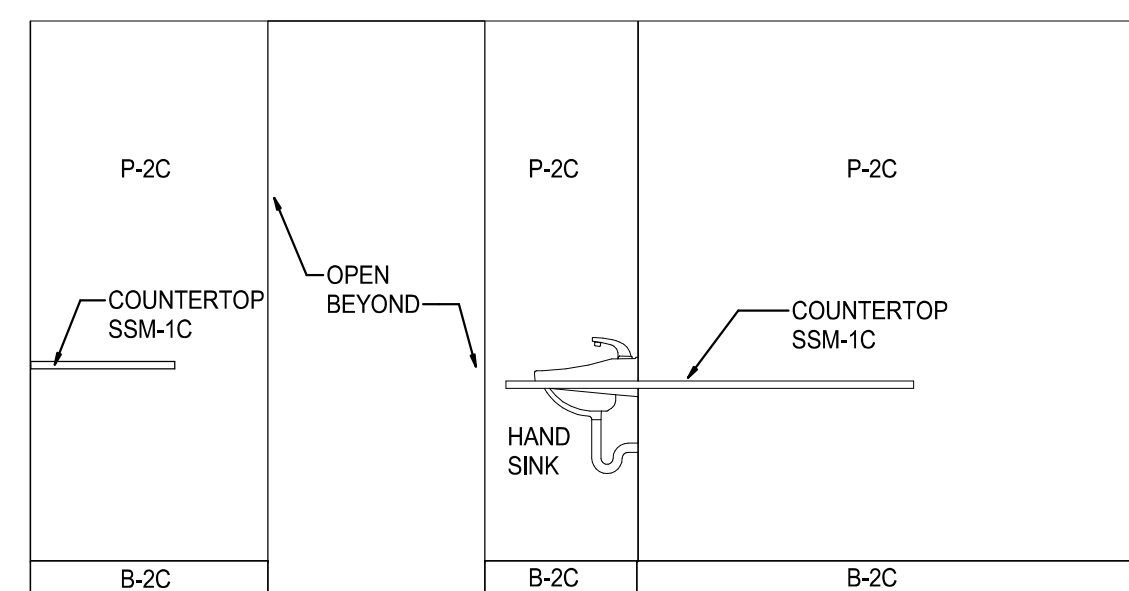
10 ELEVATION
SCALE: 3/8" = 1'-0"



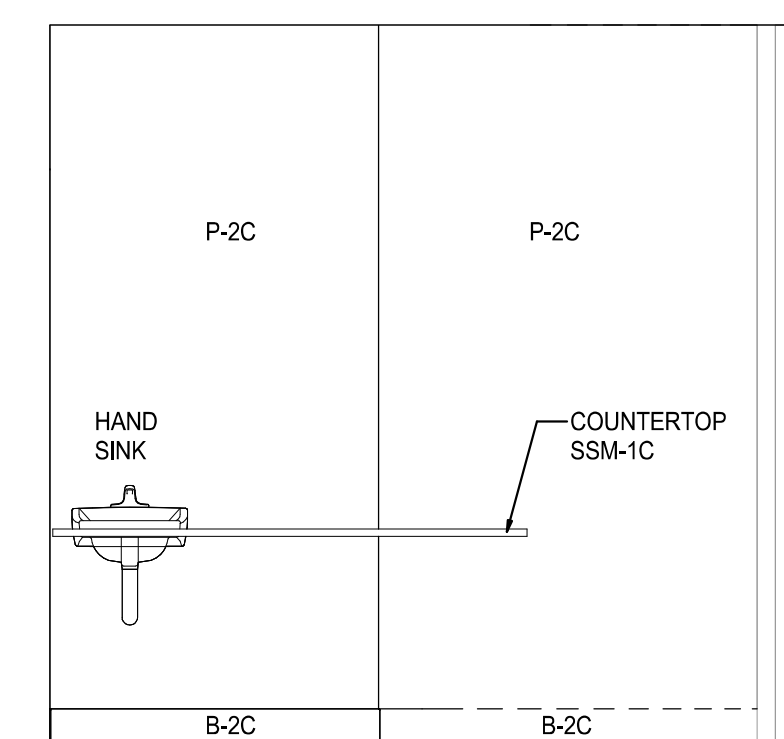
9 ELEVATION
SCALE: 3/8" = 1'-0"



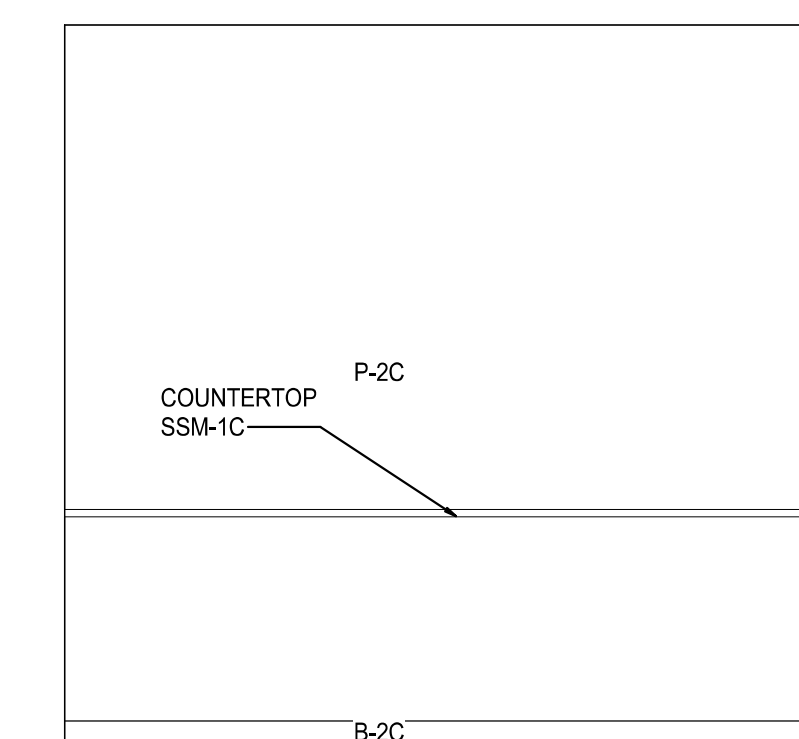
8 ELEVATION
SCALE: 3/8" = 1'-0"



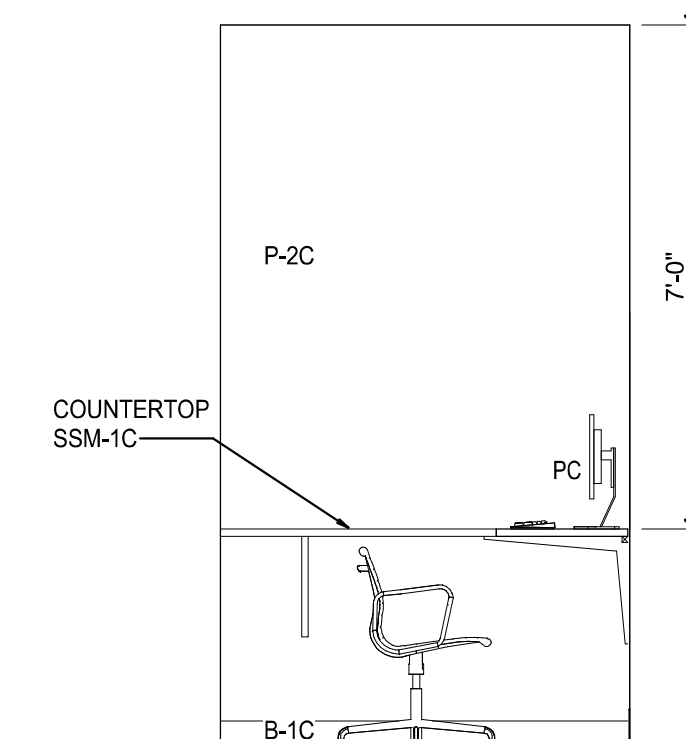
7 ELEVATION
SCALE: 3/8" = 1'-0"



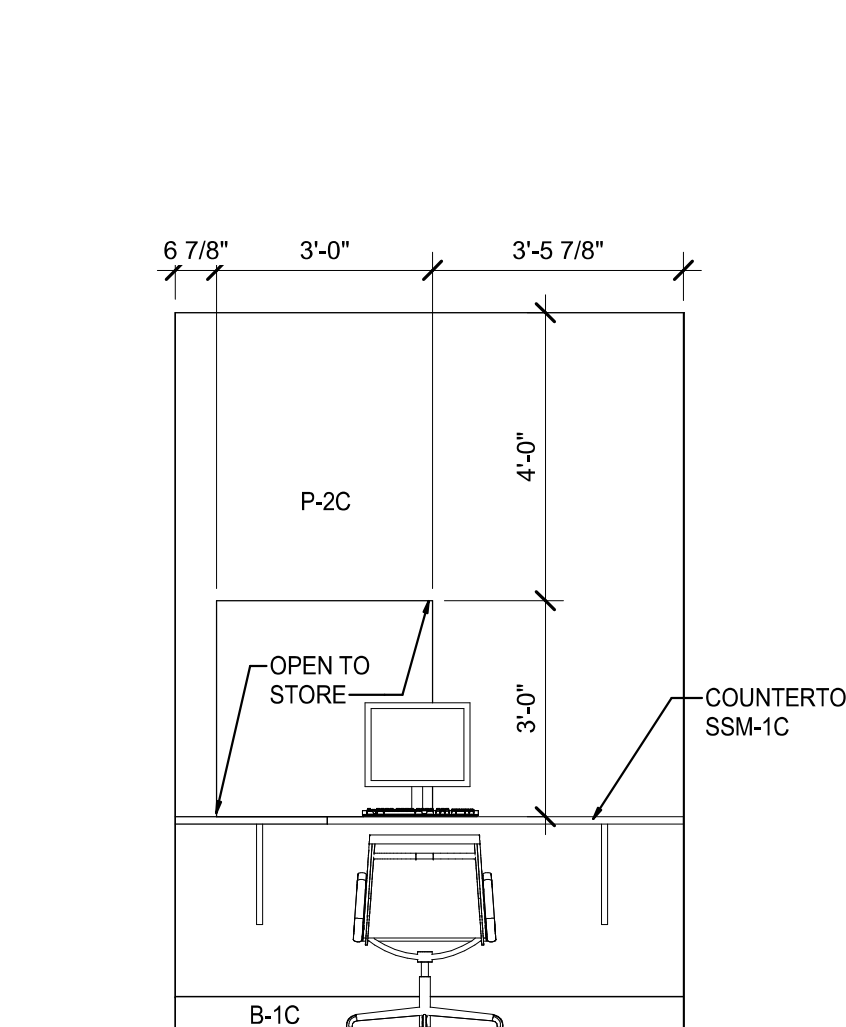
6 ELEVATION
SCALE: 3/8" = 1'-0"



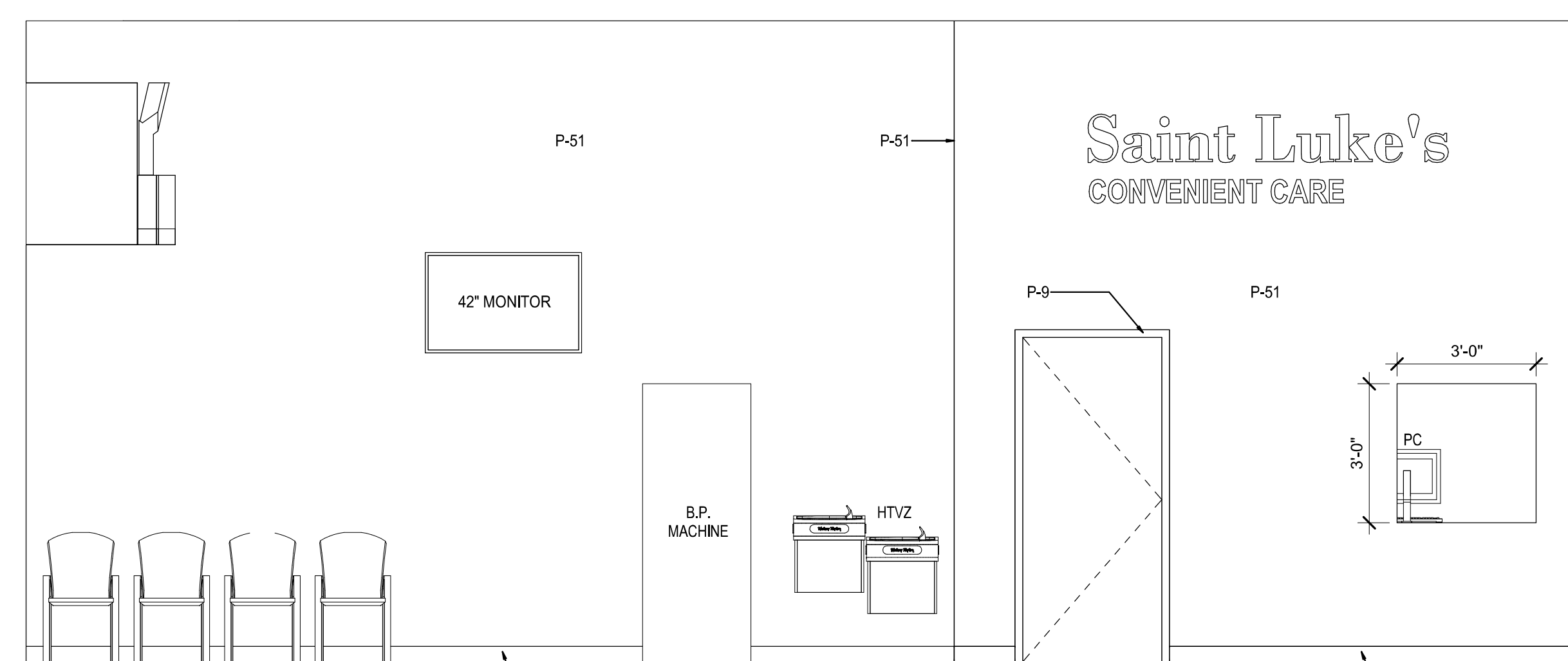
5 ELEVATION
SCALE: 3/8" = 1'-0"



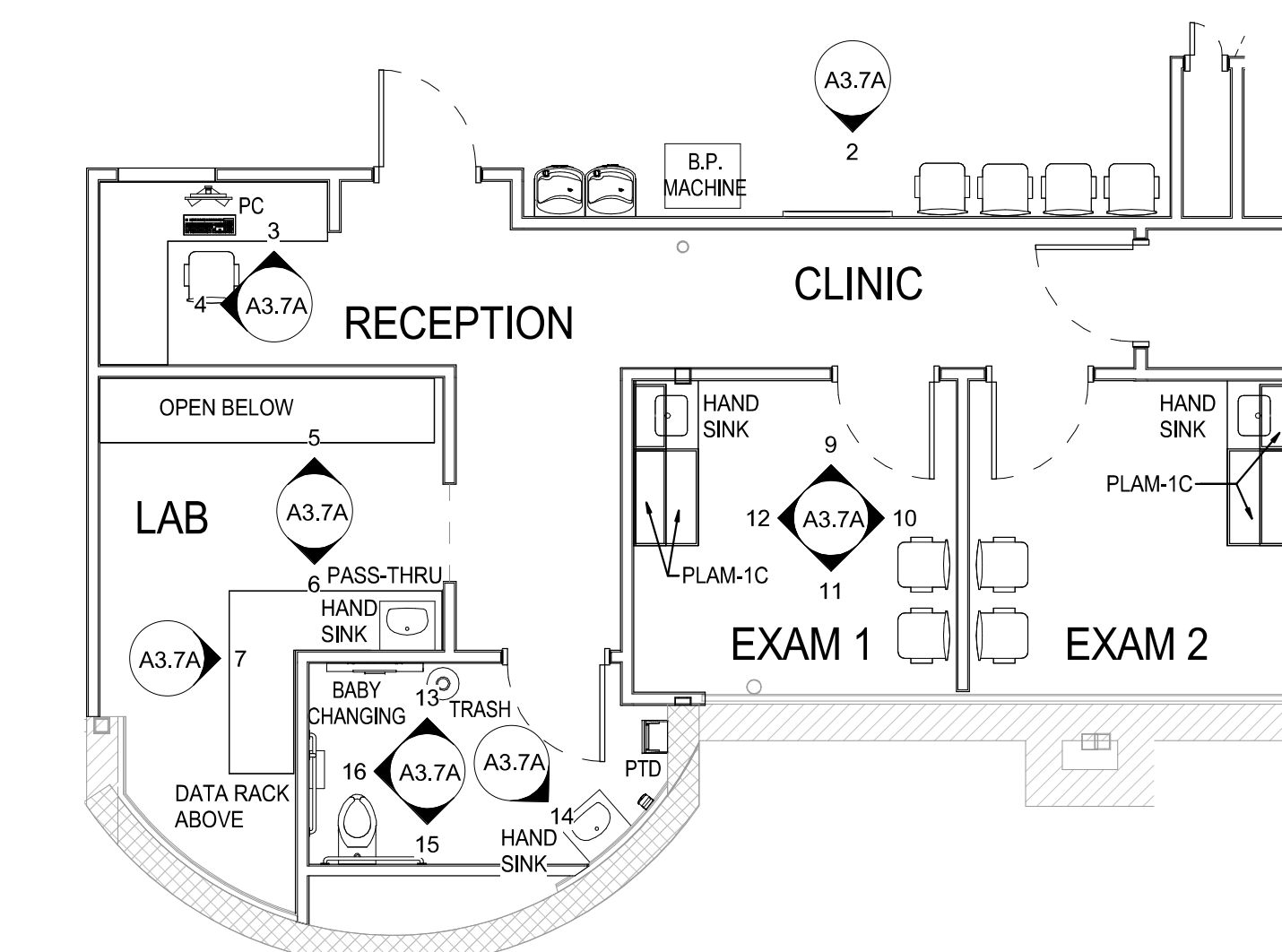
4 ELEVATION
SCALE: 3/8" = 1'-0"



3 ELEVATION
SCALE: 3/8" = 1'-0"



2 ELEVATION
SCALE: 3/8" = 1'-0"



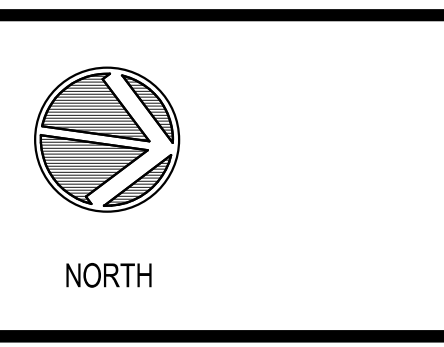
PARTIAL FLOOR PLAN - CLINIC
SCALE: 3/16" = 1'-0"

brr
Architect of Record:
BRR Architecture, Inc.
Kansas City
Overland Park, KS 66204
Tel: 913-262-9095
Fax: 913-262-9044

PROFESSIONAL SEAL
RICHARD A. MAJORS, JR.
NUMBER
A-007328
REGISTERED ARCHITECT

Richard A. Majors, Jr.
Architect
Missouri License No. A-007328

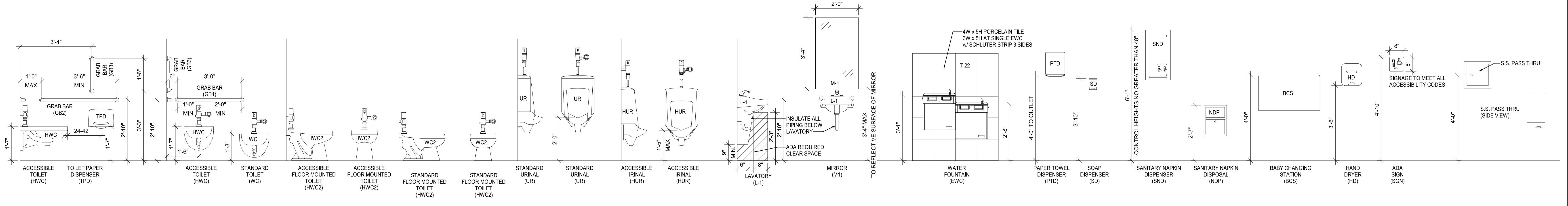
LOCATION
LEE'S SUMMIT, MO #2
HY-VEE, INC.
5820 WESTTOWN PARKWAY
WEST DES MOINES, IOWA 50386
TEL: (515) 281-2600
FAX: (515) 267-2636
EMPLOYEE OWNED



ENLARGED PLAN & ELEVATIONS - CLINIC

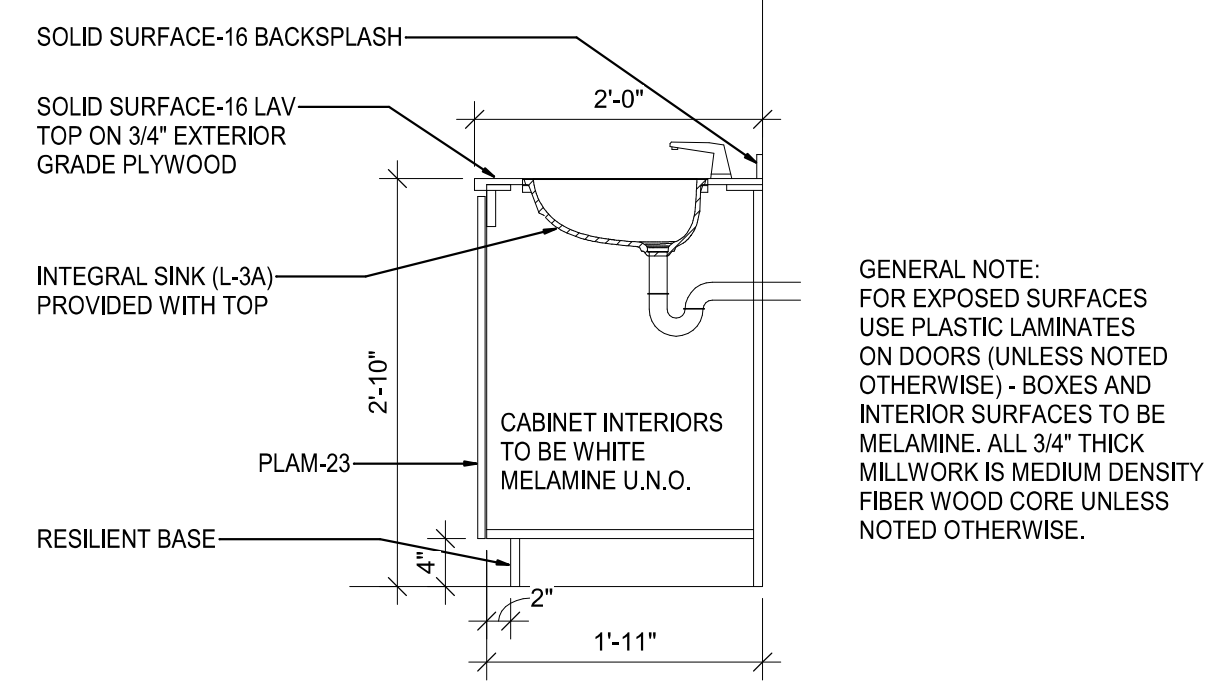
PROJECT MANAGER SB	CHECKED BY JPS
DRAWN BY AP	DATE 10/20/2020
SCALE As indicated	JOB NUMBER 62930547

SHEET
A3.7A

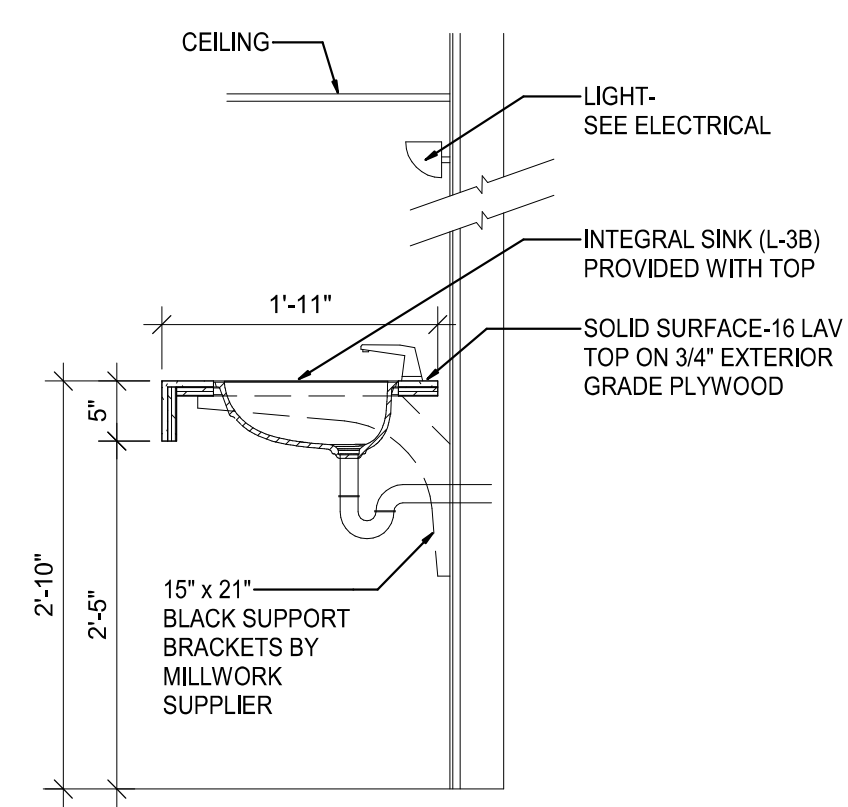


FIXTURE AND ACCESSORY MOUNTING HEIGHTS

SCALE: N.T.S.



14 SINK CABINET SECTION
 SCALE: 3/4" = 1'-0"



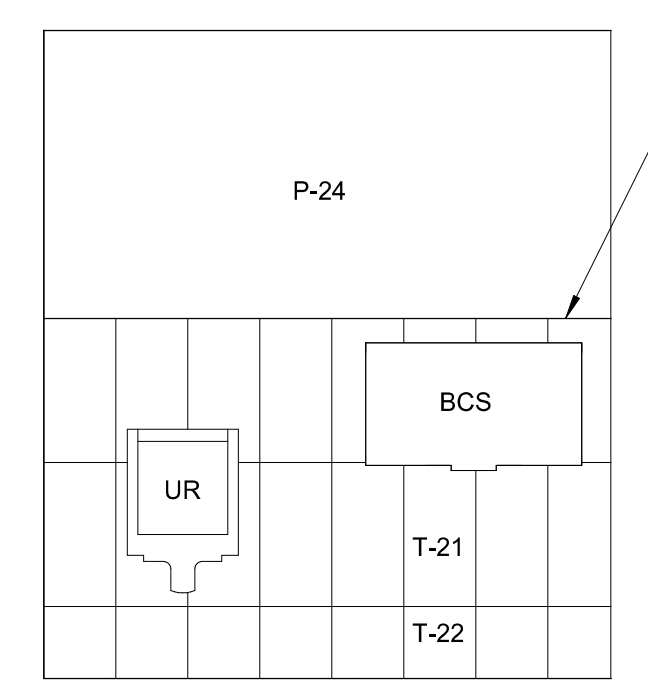
15 LAVATORY SECTION
 SCALE: 3/4" = 1'-0"

GENERAL NOTES

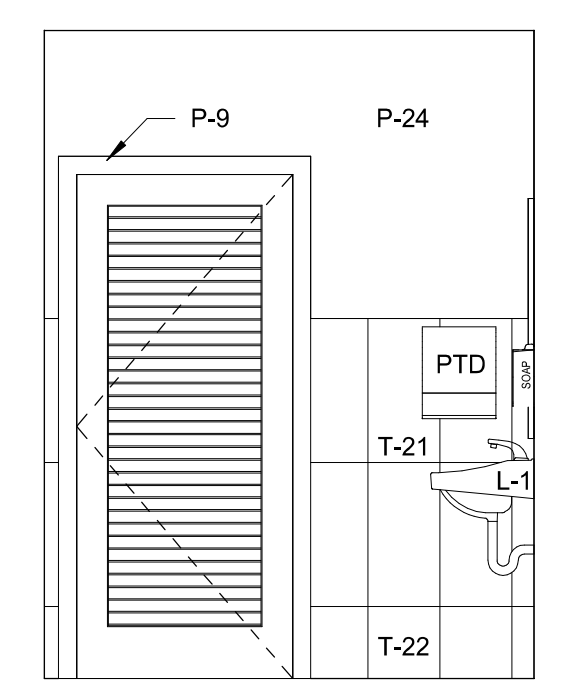
- SEE PROJECT SPECIFICATIONS FOR FINISH SCHEDULES
- IT IS INTENDED THAT THIS PROJECT MEETS STATE BUILDING CODE REQUIREMENTS FOR HANDICAPPED ACCESS & THE 2010 ADA. (VERIFY WITH ANY SPECIAL LOCAL REQUIREMENTS)
- PROVIDE BLOCKING IN WALLS FOR ALL GRAB BARS. BLOCKING SHALL BE CAPABLE OF SUPPORTING 250 LBS PER GRAB BAR.
 - PROVIDE EPOXY GROUT FOR FLOOR AND BOTTOM COURSE OF WALL TILE ONLY. (SEE SHEET A2.2 FOR SPECIFICATION)
 - FAUCETS AND WATER CLOSET FLUSH VALVES IN RESTROOMS TO BE SENSOR OPERATED.
 - PROVIDE SCHLUTER RONDEC COVE BASE TRIM & JOINT BETWEEN CERAMIC FLOOR TILE & CERAMIC WALL TILE.
 - COUNTER TOPS TO BE STARON FC155-TEMPEST CARAWAY
 - EXPOSED FACES OF CABINETRY TO BE FORMICA #5883-58 "PECAN WOODLINE". ALL INTERIOR SURFACES TO BE WHITE MELAMINE.
 - FOR FINISH SPECIFICATIONS SEE SCHEDULE SHEET A2.2
 - SEE RESTROOM FIXTURE MOUNTING HEIGHTS & ACCESSIBILITY REQUIREMENTS

ALL RESTROOM PAINT

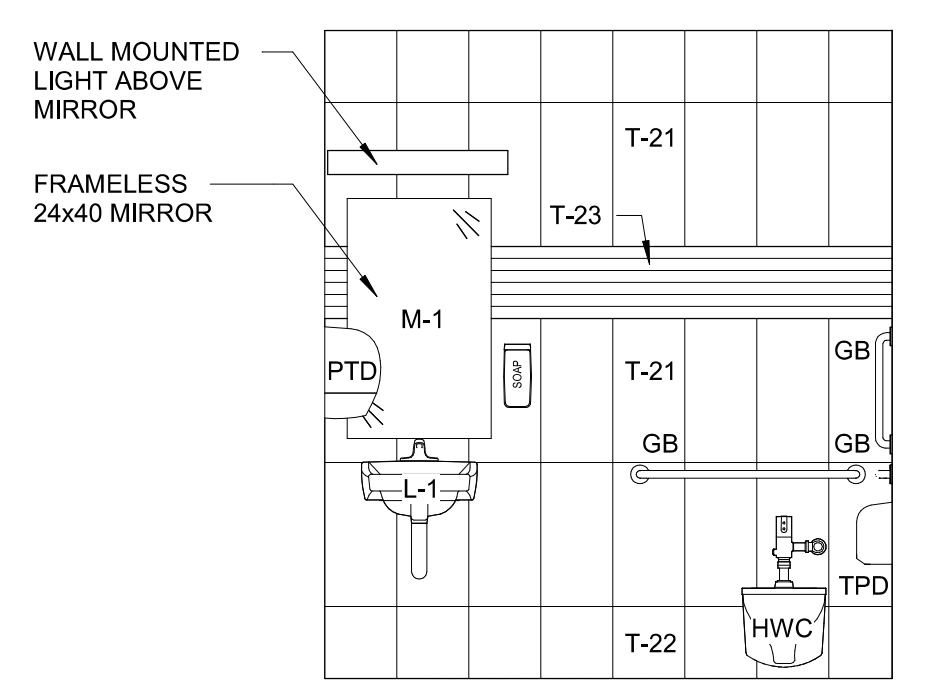
- EPOXY SYSTEM (WATER BASE)
 PAINT TO BE SEMI-GLOSS FOR RESTROOMS
- 1ST COAT: S-W PrepPrime CLASSIC LATEX PRIMER, B20W101 (4 MILS WET, 1.2 MILS DRY)
- 2ND COAT: S-W WATER BASED CATALYZED EPOXY, B70/B60V25 SERIES
- 3RD COAT: S-W WATER BASED CATALYZED EPOXY, B70/B60V25 SERIES (2.5-3 MILS DRY PER COAT)



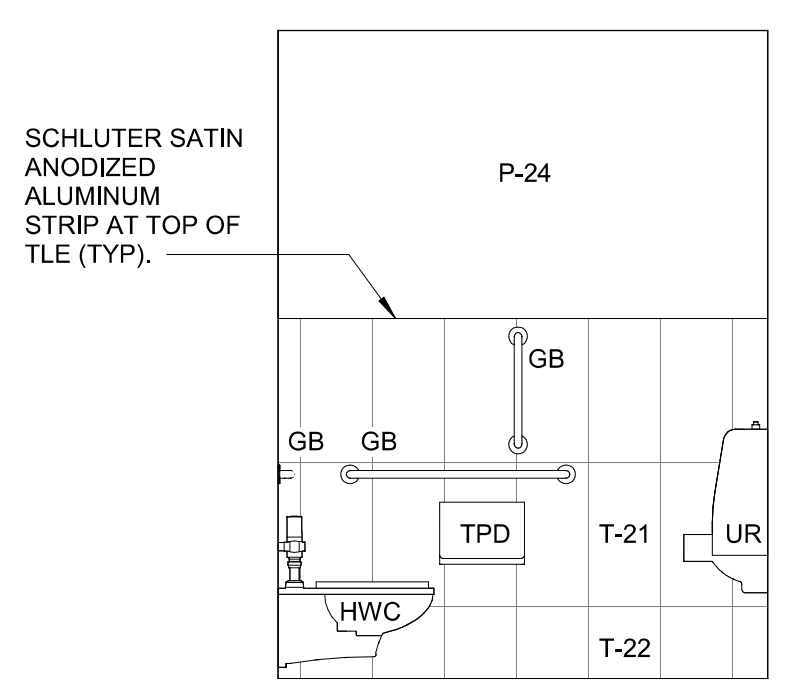
10 ELEVATION
 SCALE: 3/8" = 1'-0"



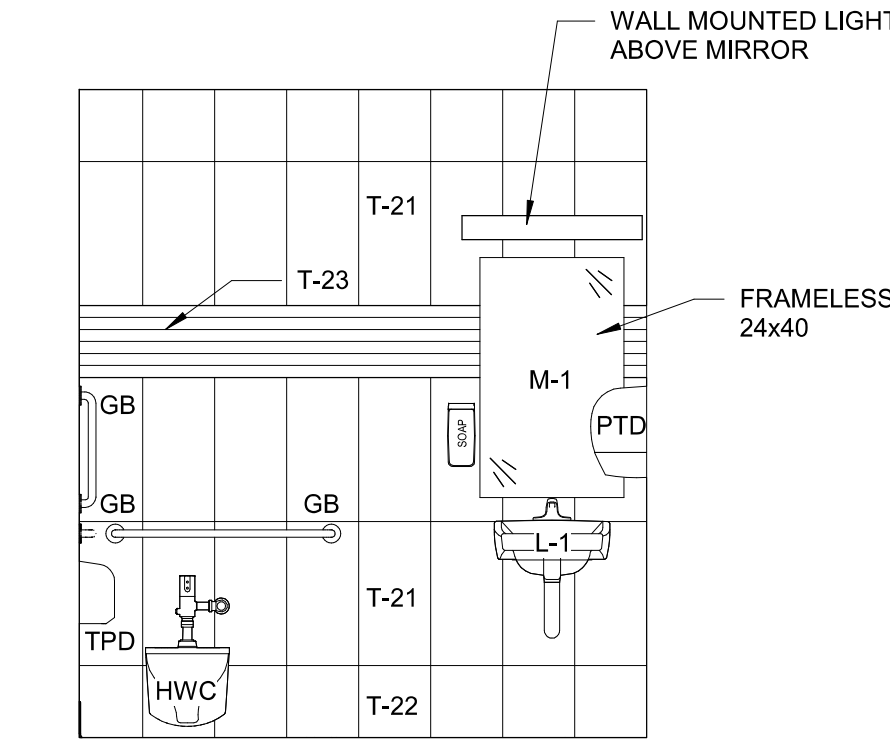
11 ELEVATION
 SCALE: 3/8" = 1'-0"



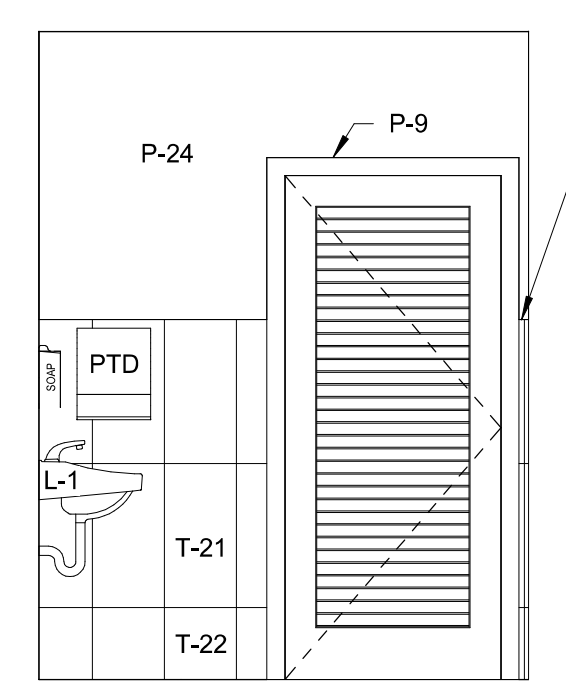
12 ELEVATION
 SCALE: 3/8" = 1'-0"



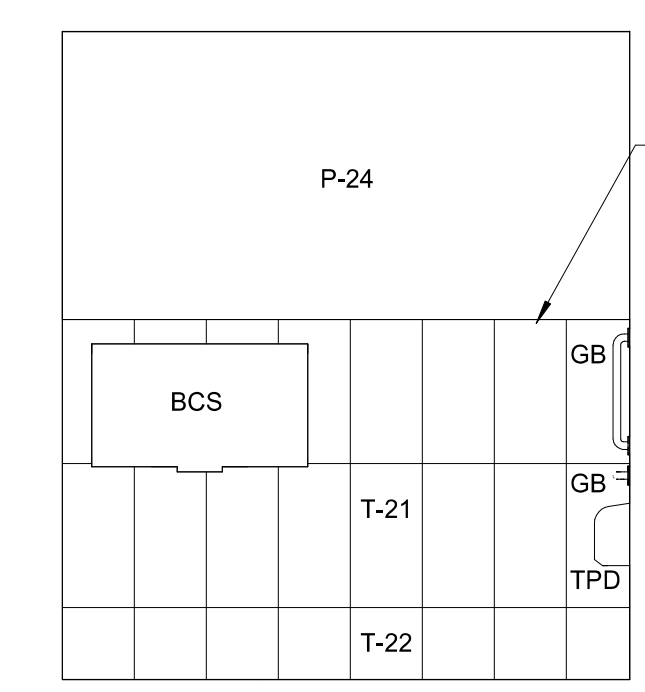
13 ELEVATION
 SCALE: 3/8" = 1'-0"



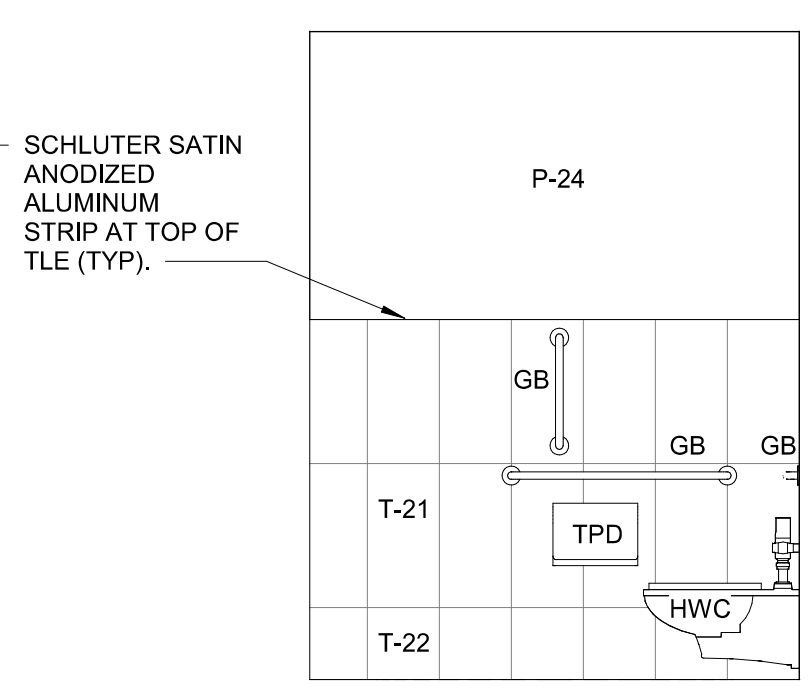
6 ELEVATION
 SCALE: 3/8" = 1'-0"



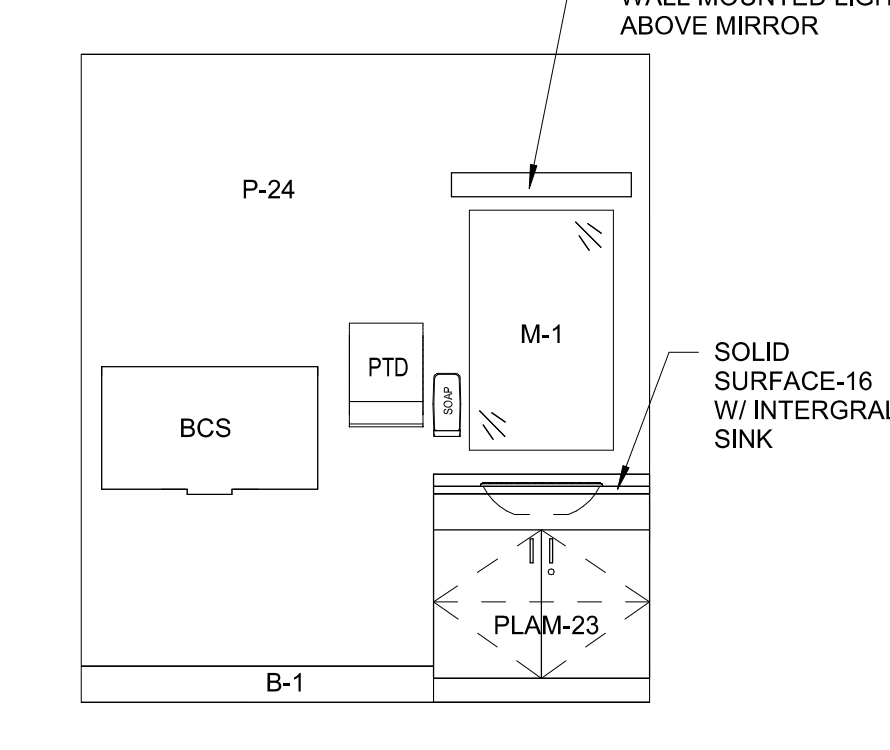
7 ELEVATION
 SCALE: 3/8" = 1'-0"



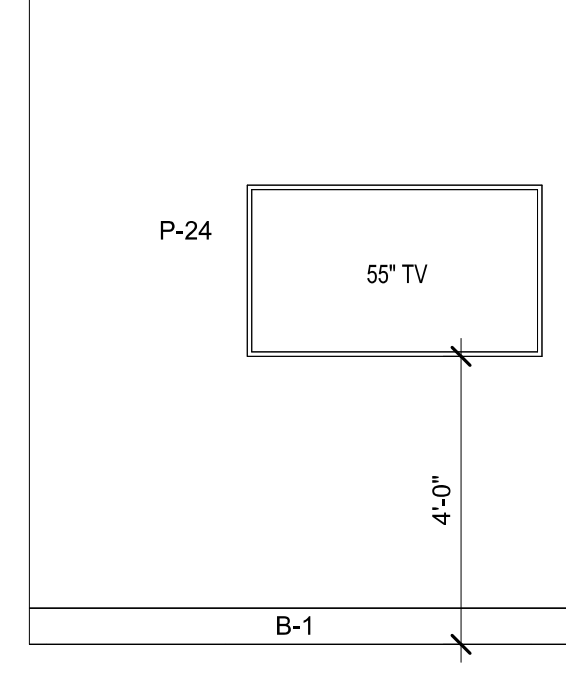
8 ELEVATION
 SCALE: 3/8" = 1'-0"



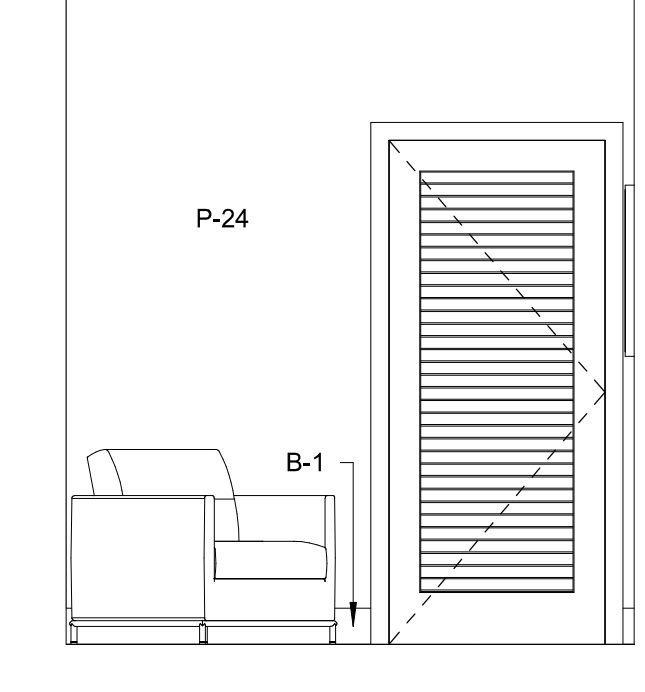
9 ELEVATION
 SCALE: 3/8" = 1'-0"



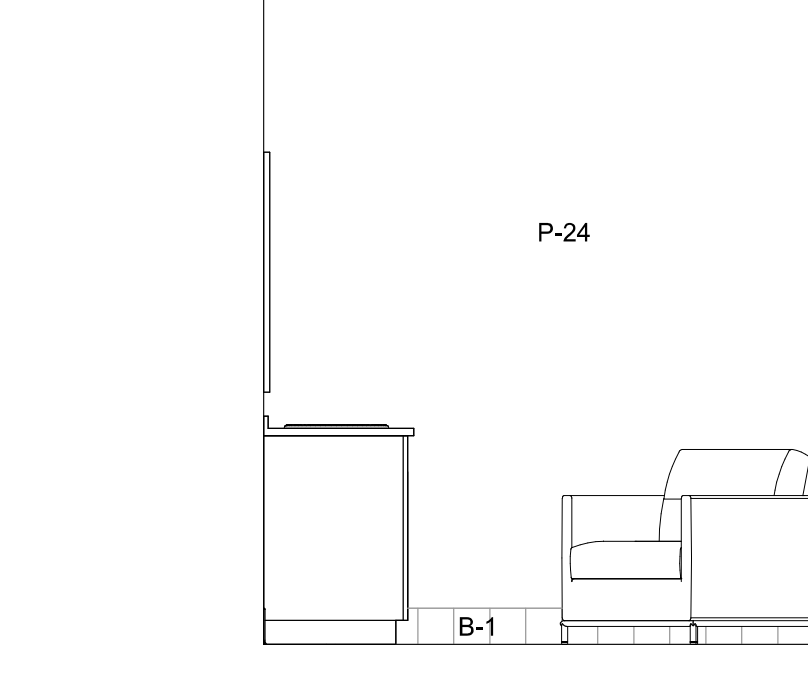
5 ELEVATION
 SCALE: 3/8" = 1'-0"



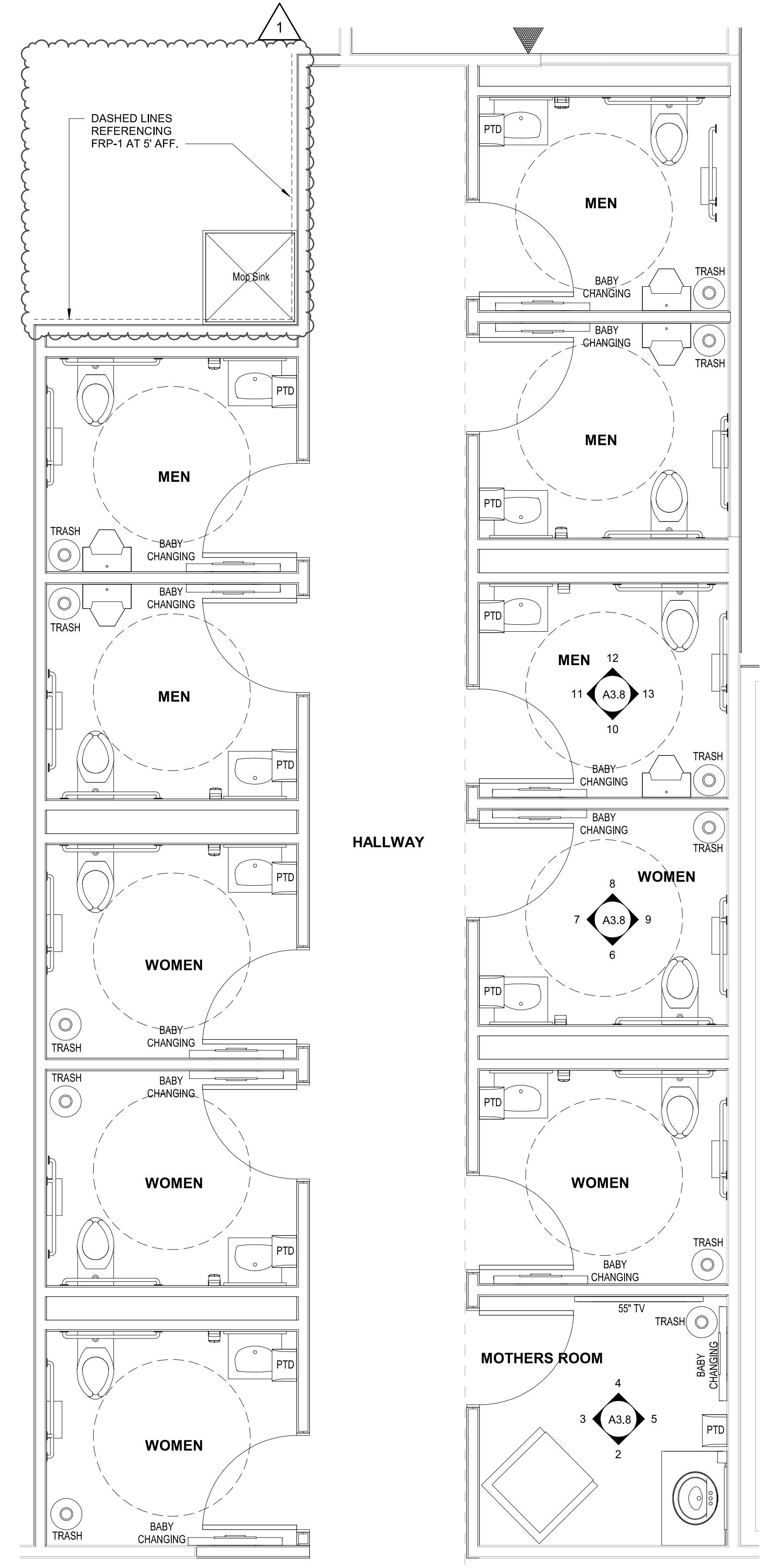
4 ELEVATION
 SCALE: 3/8" = 1'-0"



3 ELEVATION
 SCALE: 3/8" = 1'-0"



2 ELEVATION
 SCALE: 3/8" = 1'-0"



1 PARTIAL FLOOR PLAN - PUBLIC RESTROOMS
 SCALE: 3/8" = 1'-0"

brr

Architect of Record:
 BRR Architecture, Inc.
 Kansas City
 Overland Park, KS 66204

Richard A. Majors, Jr.
 Architect
 Missouri License No. 00001528

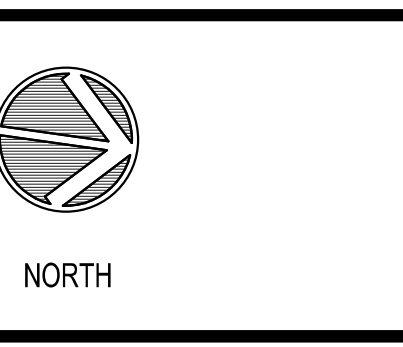
PROFESSIONAL SEAL

STATE OF MISSOURI
 RICHARD A. MAJORS, JR.
 ARCHITECT
 MISSOURI LICENSE NO. 00001528

LOCATION: LEE'S SUMMIT, MO #2

HY-VEE INC.
 5820 WESTTOWN PARKWAY
 WEST DES MOINES, IOWA 50396
 TEL: (515) 281-2800
 FAX: (515) 281-2838

Hy-Vee
 EMPLOYEE OWNED

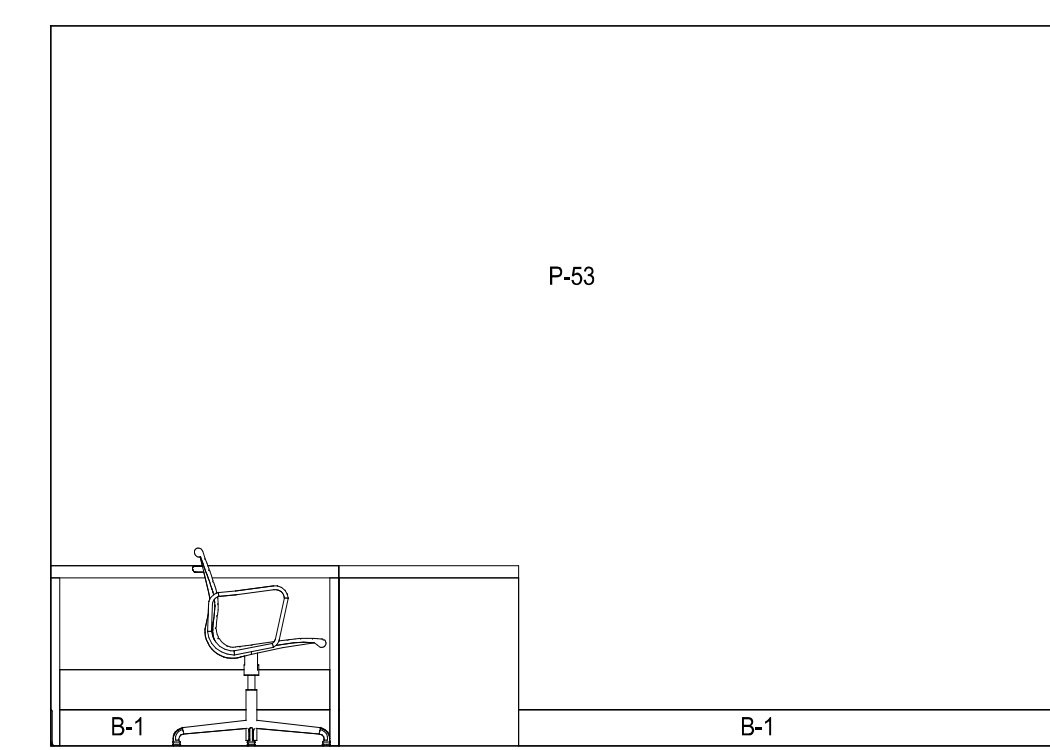


ENLARGED PLAN & ELEVATIONS - RESTROOM

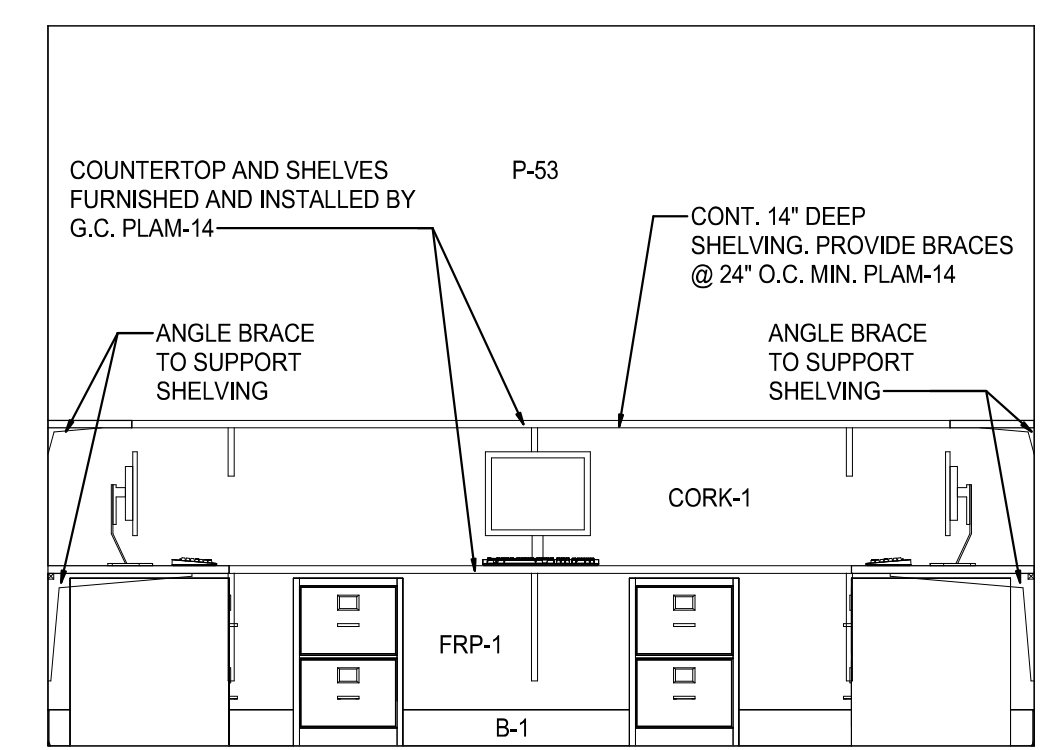
PROJECT MANAGER SB	CHECKED BY JPS
DRAWN BY JDP	DATE 10/20/2020
SCALE As indicated	JOB NUMBER 62930547

SHEET: **A3.8**

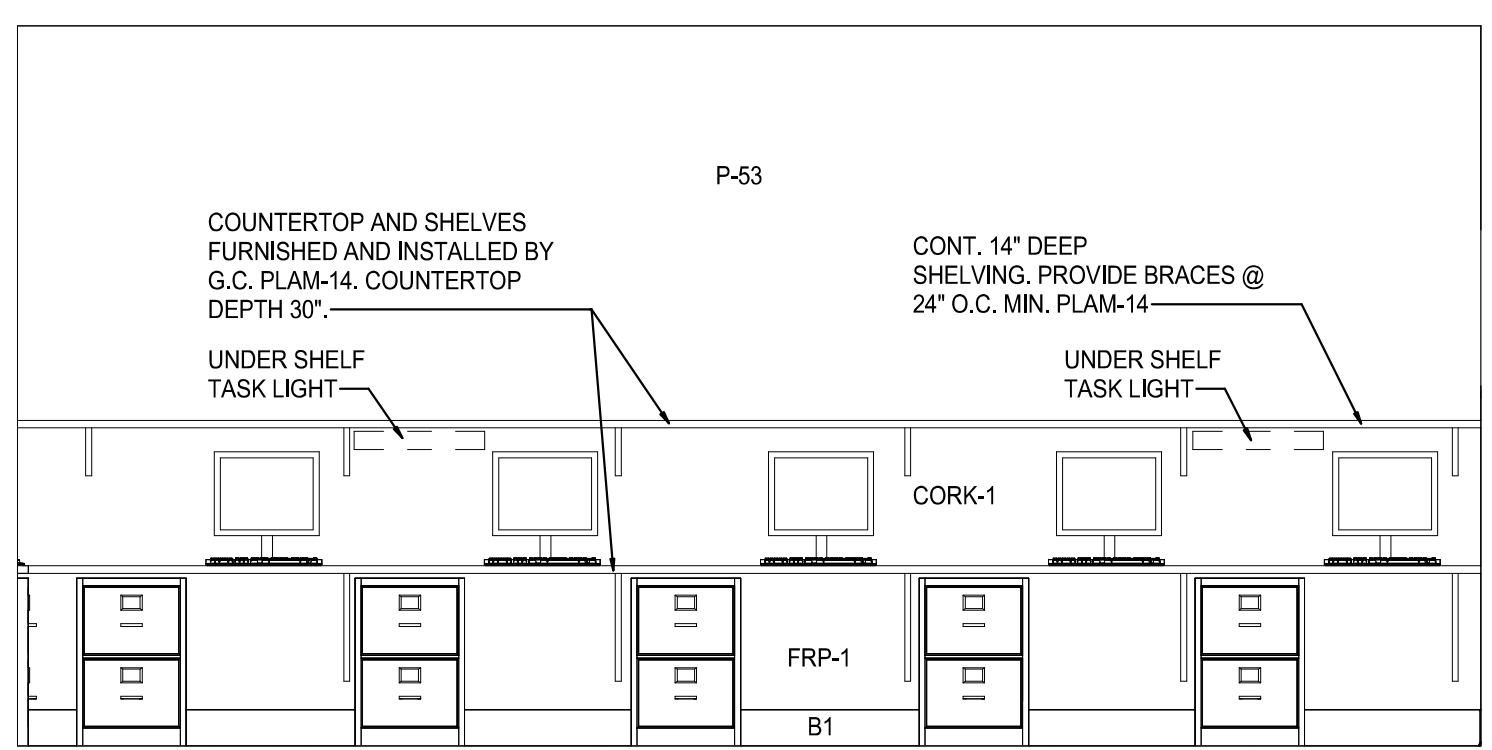
GENERAL NOTES
 SEE SHEET A2.2 FOR FINISH SCHEDULES
 FOR OFFICES AND STORAGE ROOMS NOT ELEVATED, PAINT WALLS P-16, BASE B1 AND HOLLOW METAL FRAMES P-9
 FOR HALLWAYS NOT ELEVATED, PAINT WALLS P-12, BASE B1 AND HOLLOW METAL FRAMES P-9
 AT ALL OFFICE AREAS, PAINT UNDERCOUNTER BRACKETS TO MATCH WALL FINISH



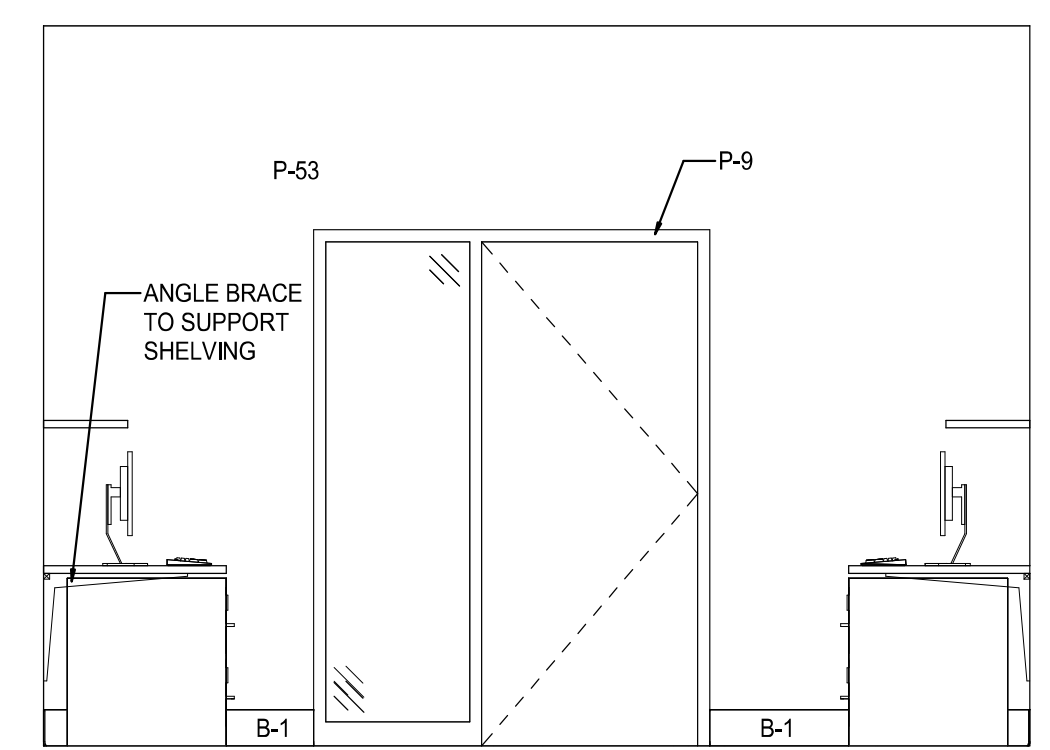
17 ELEVATION
 SCALE: 3/8" = 1'-0"



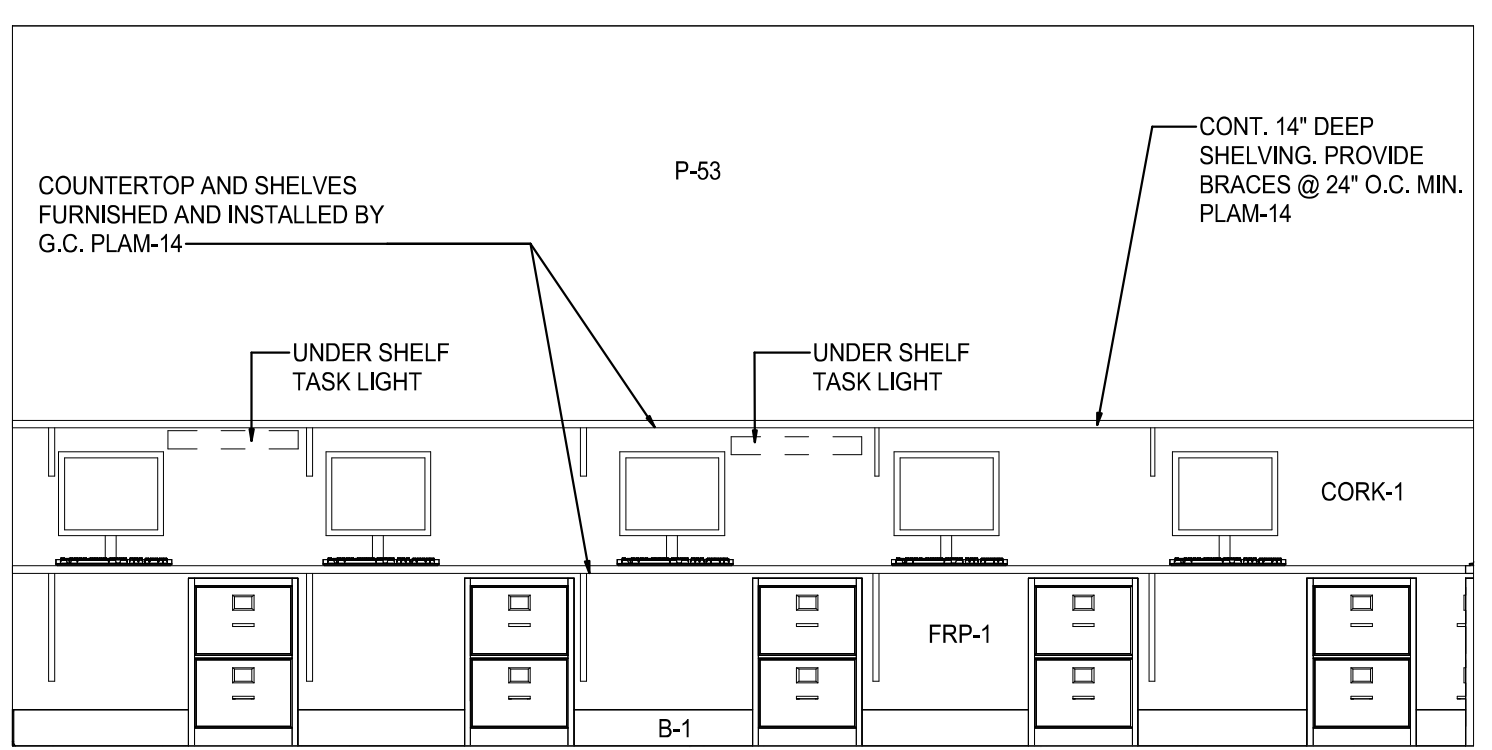
18 ELEVATION
 SCALE: 3/8" = 1'-0"



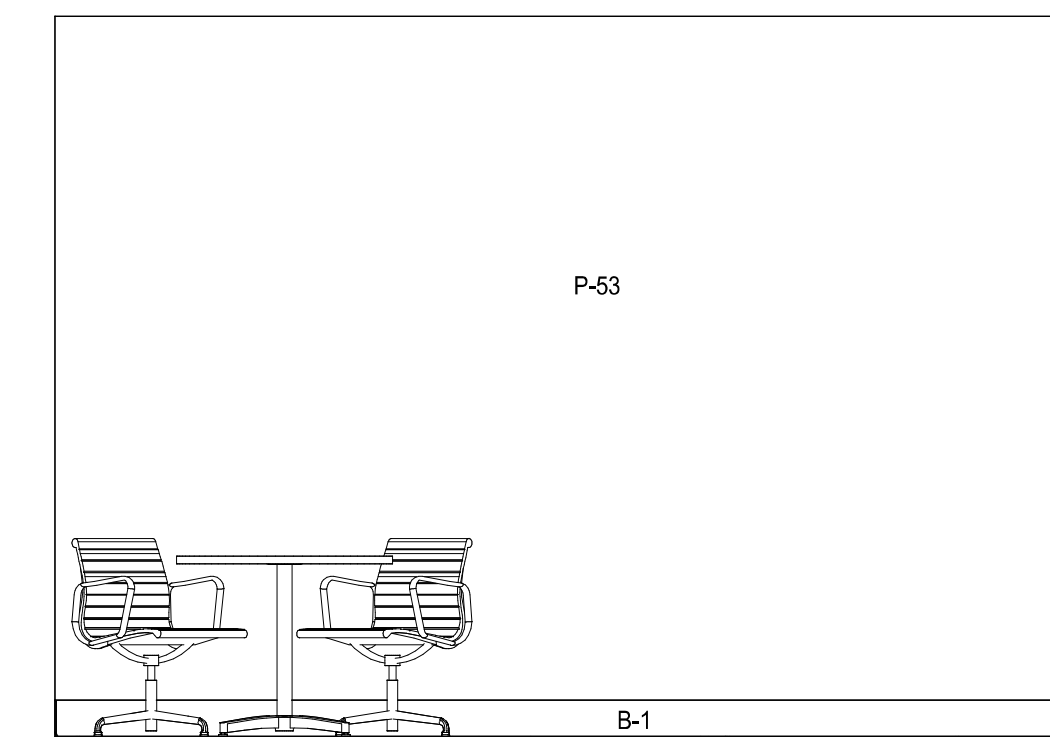
19 ELEVATION
 SCALE: 3/8" = 1'-0"



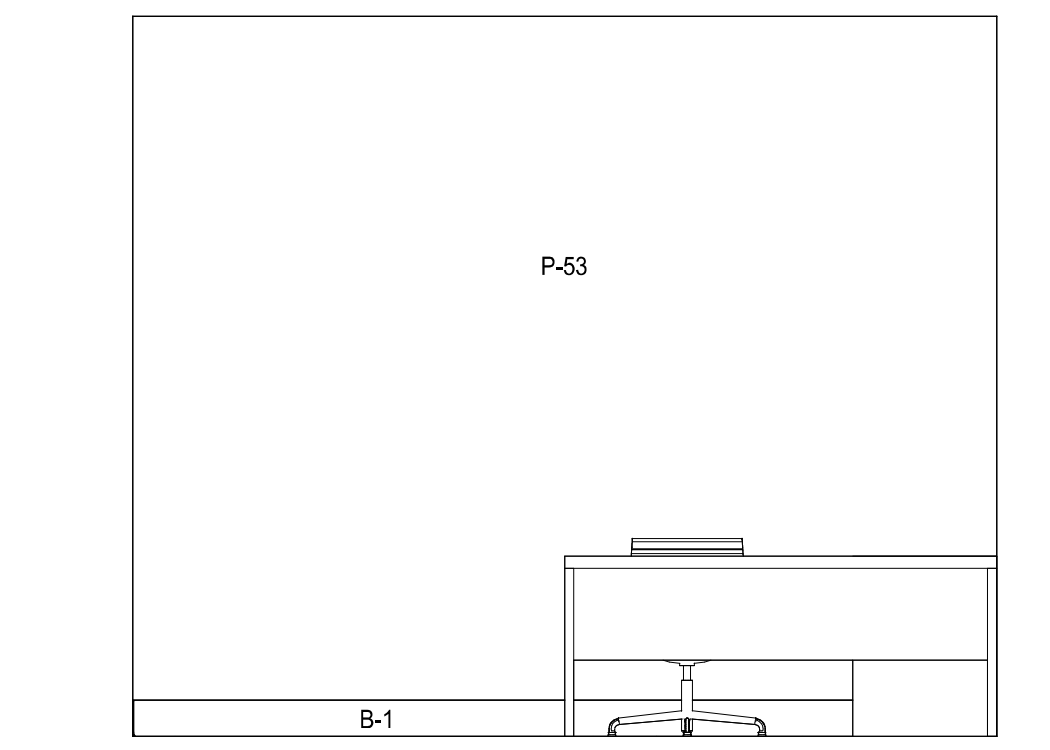
20 ELEVATION
 SCALE: 3/8" = 1'-0"



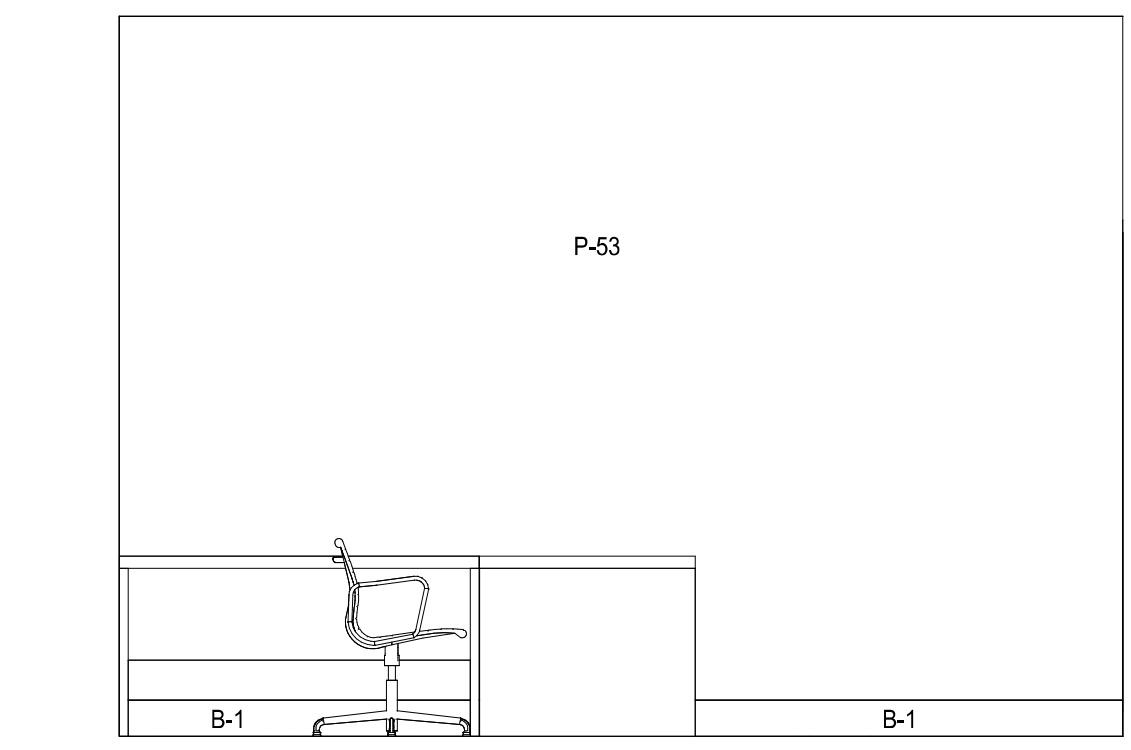
21 ELEVATION
 SCALE: 3/8" = 1'-0"



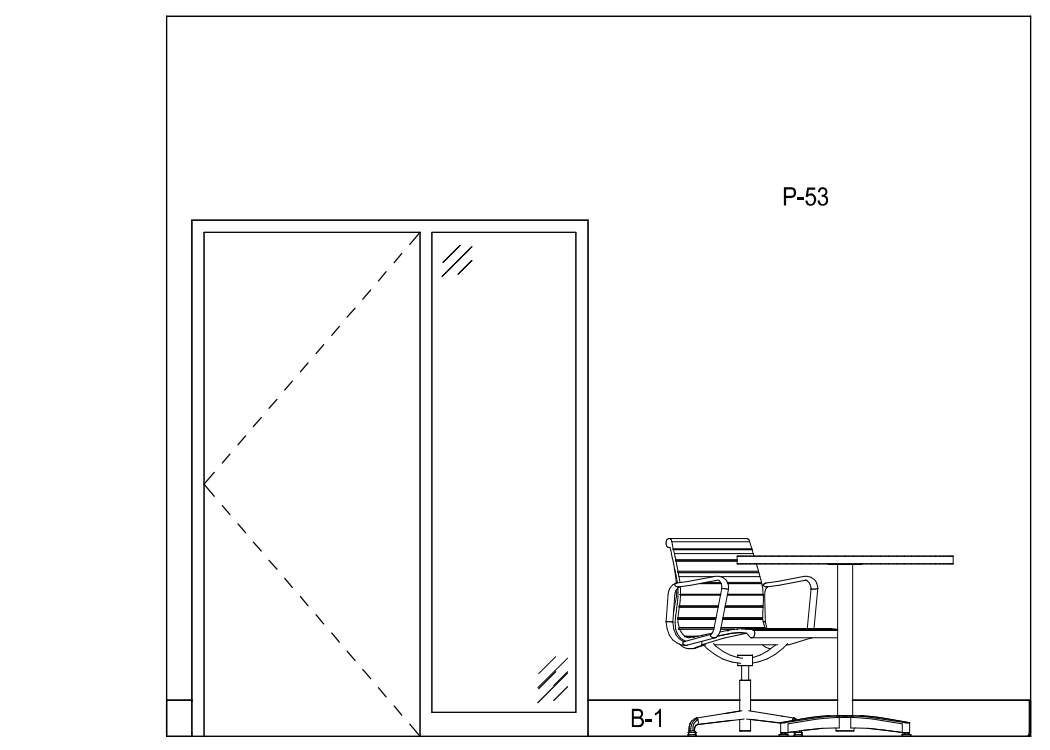
11 ELEVATION
 SCALE: 3/8" = 1'-0"



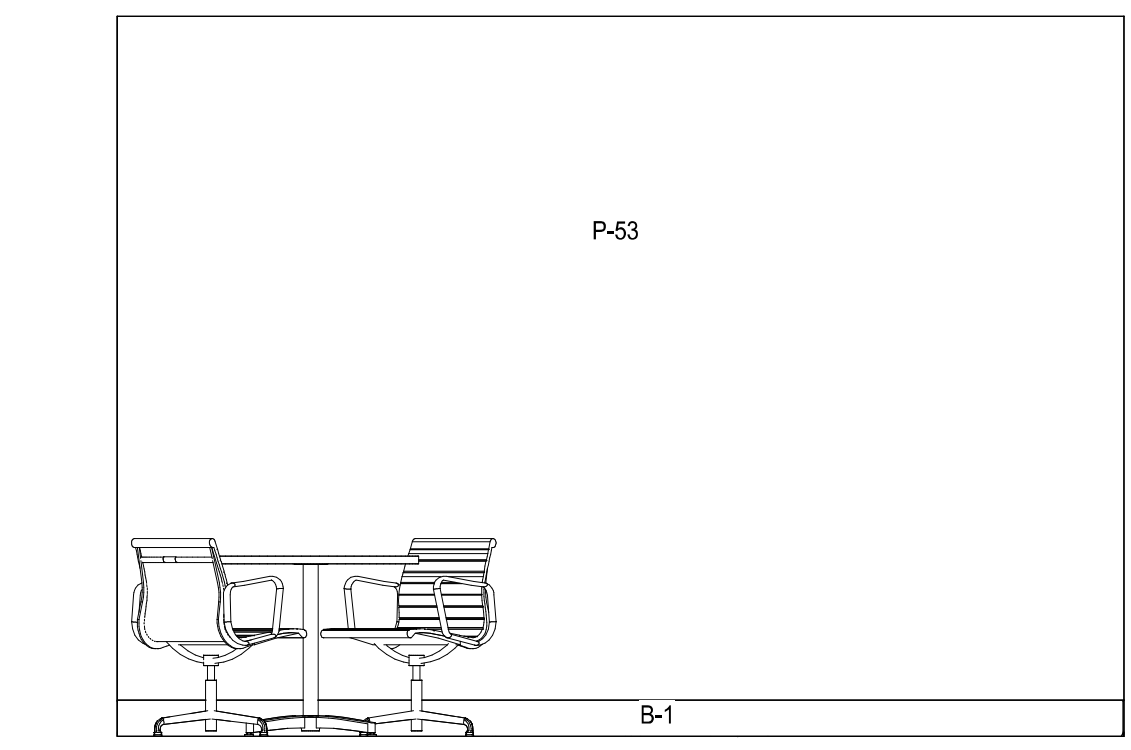
12 ELEVATION
 SCALE: 3/8" = 1'-0"



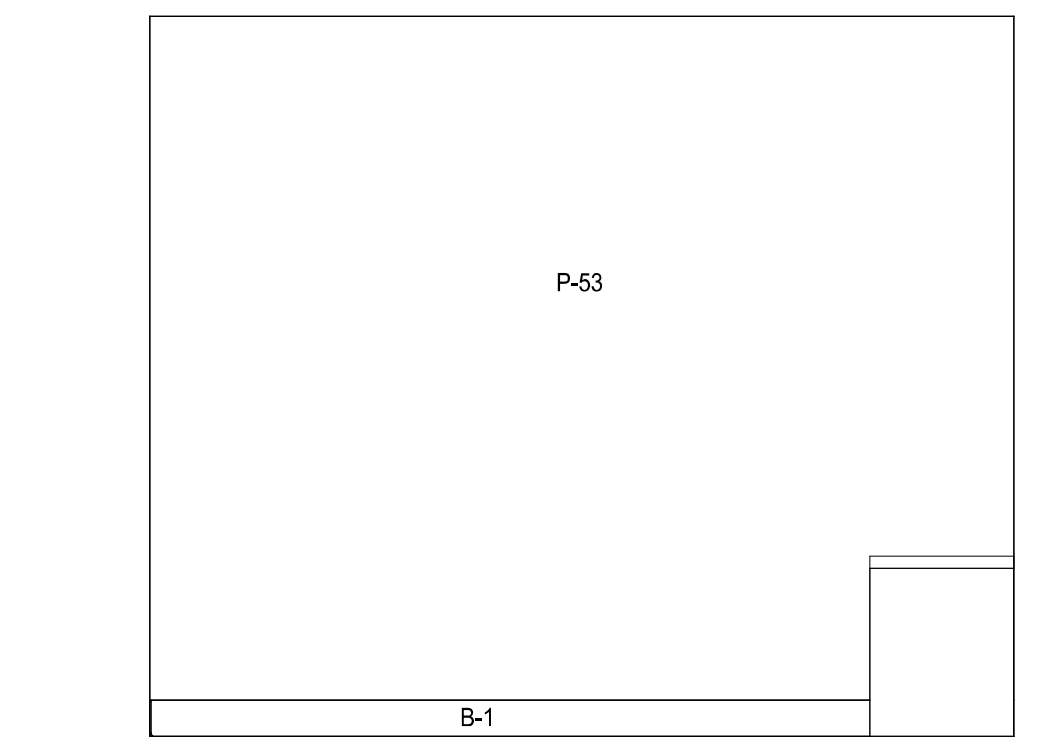
13 ELEVATION
 SCALE: 3/8" = 1'-0"



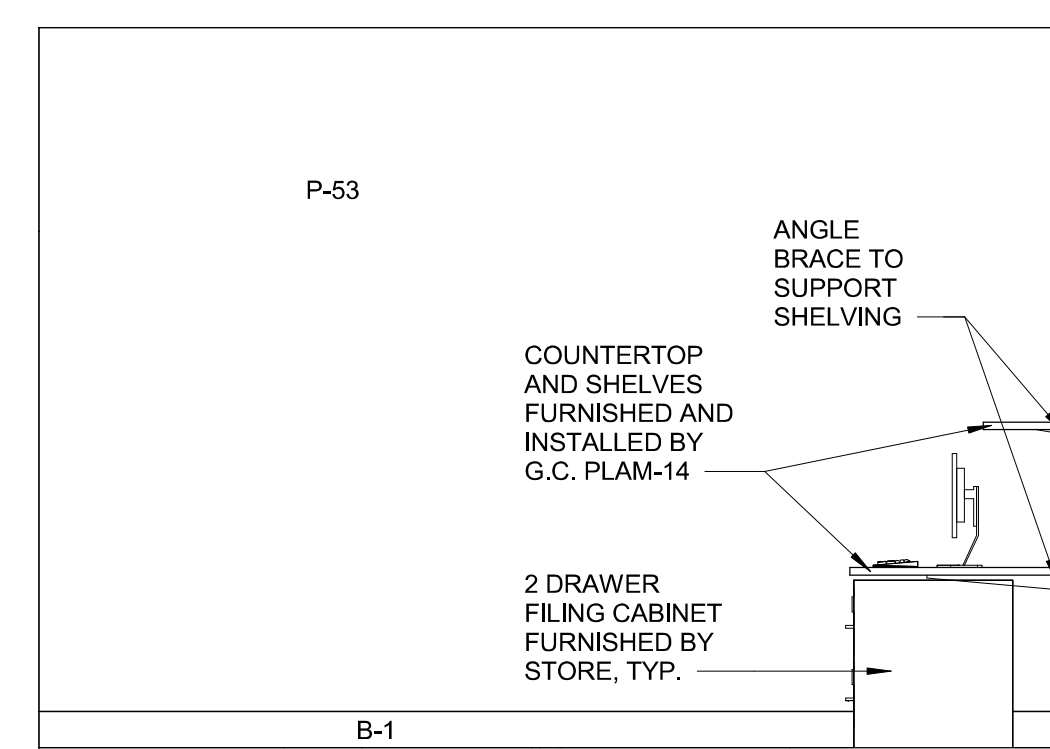
14 ELEVATION
 SCALE: 3/8" = 1'-0"



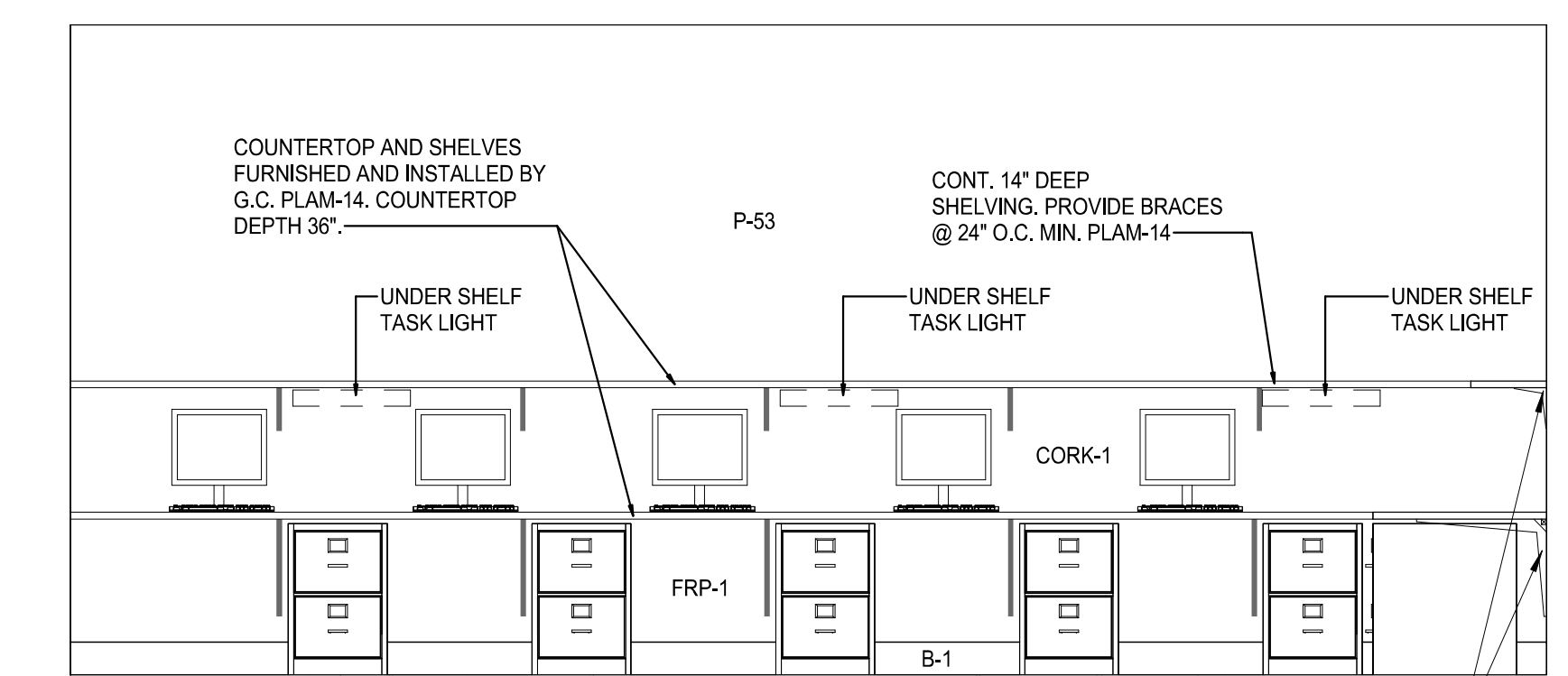
15 ELEVATION
 SCALE: 3/8" = 1'-0"



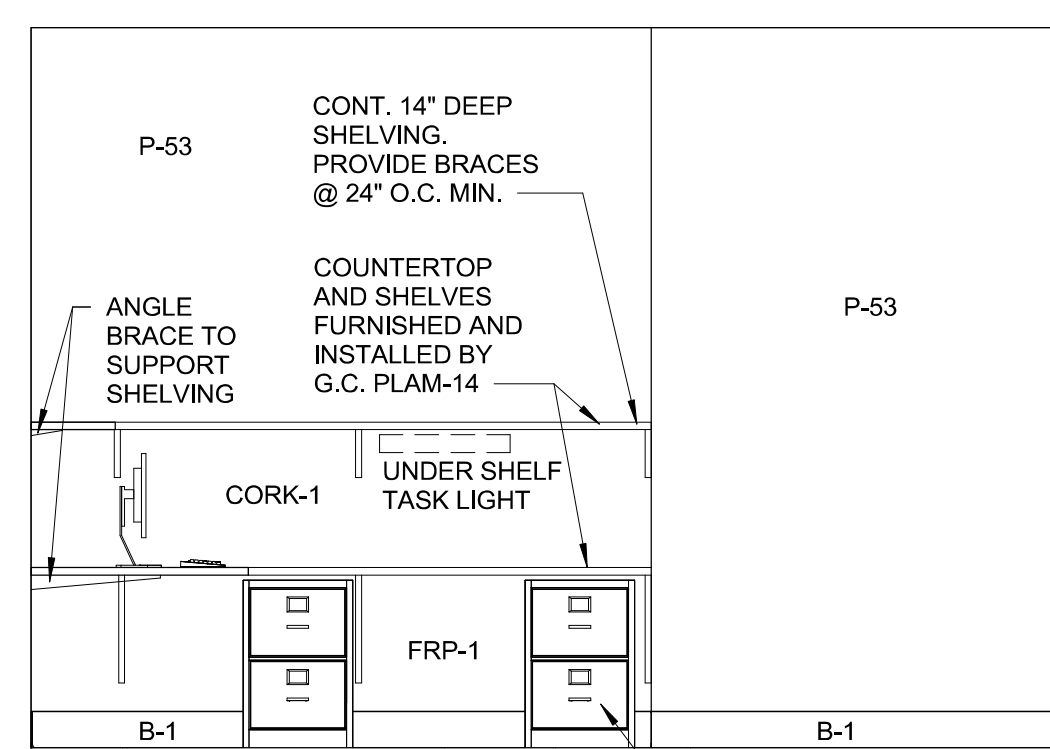
16 ELEVATION
 SCALE: 3/8" = 1'-0"



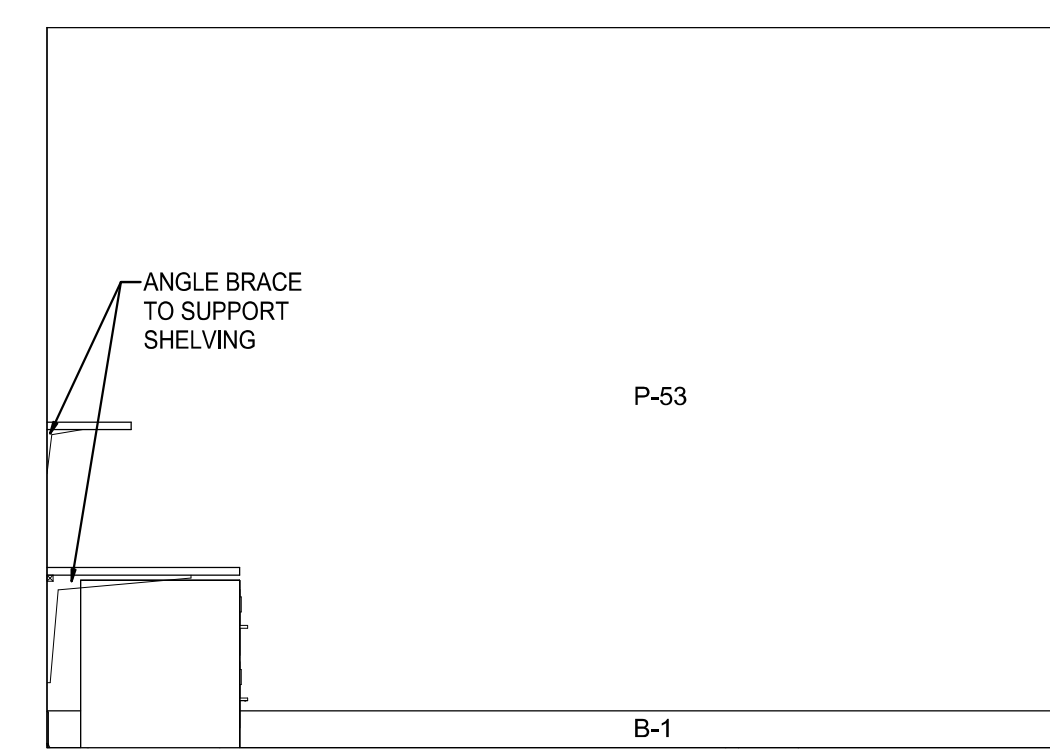
6 ELEVATION
 SCALE: 3/8" = 1'-0"



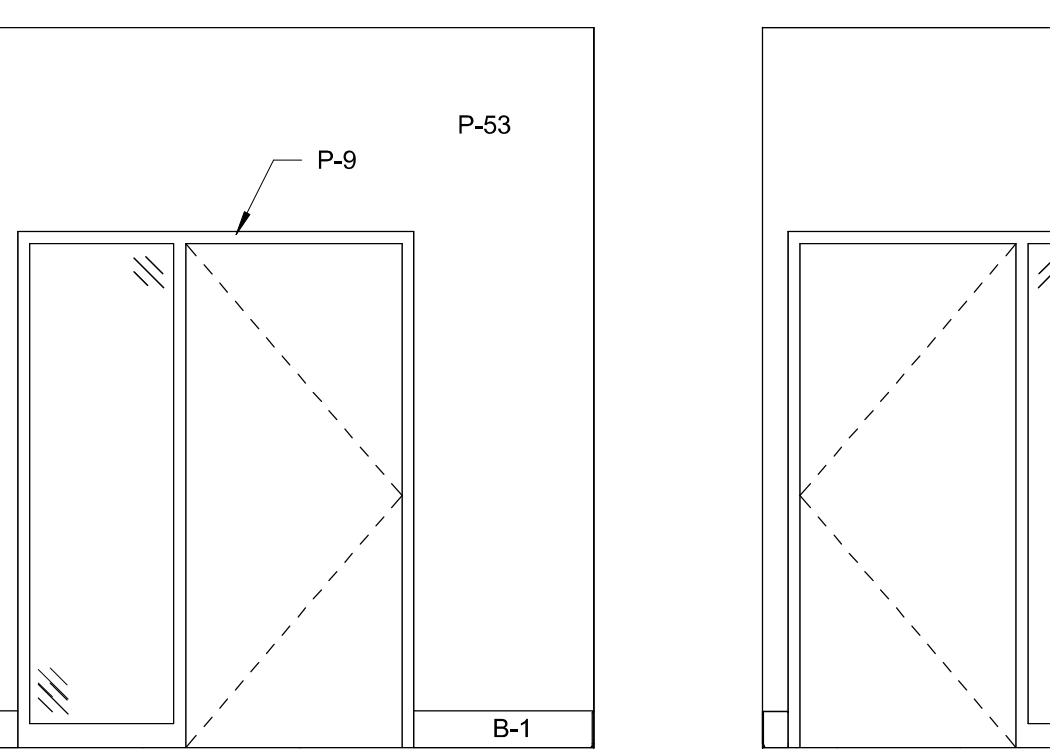
7 ELEVATION
 SCALE: 3/8" = 1'-0"



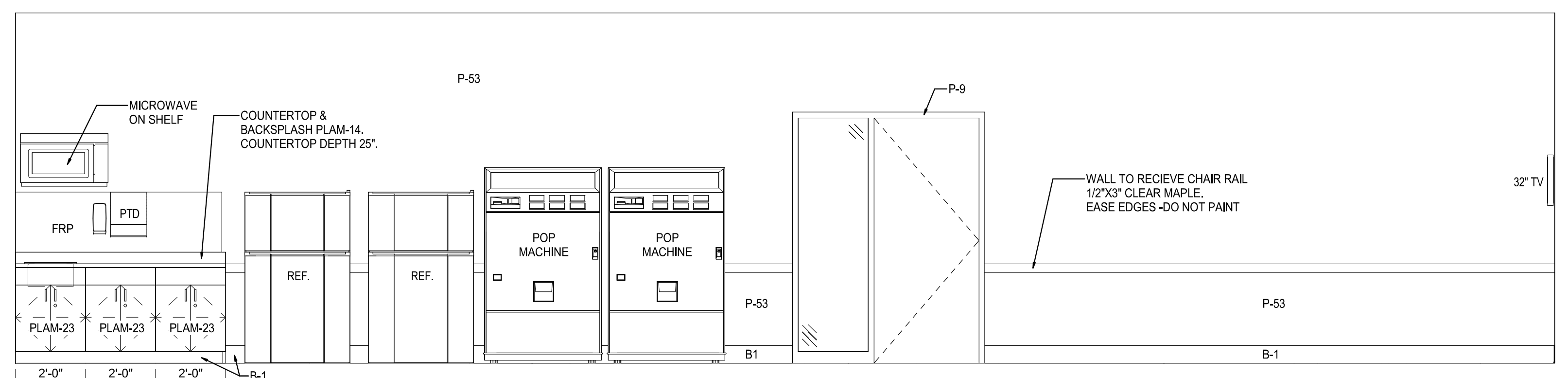
8 ELEVATION
 SCALE: 3/8" = 1'-0"



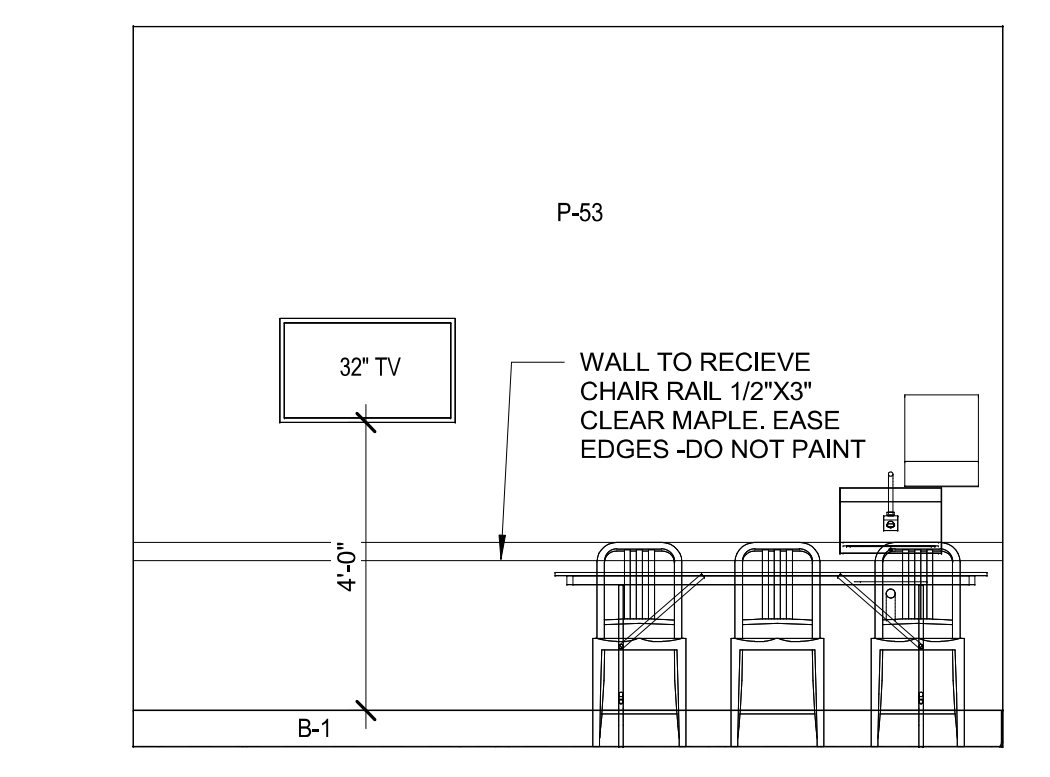
9 ELEVATION
 SCALE: 3/8" = 1'-0"



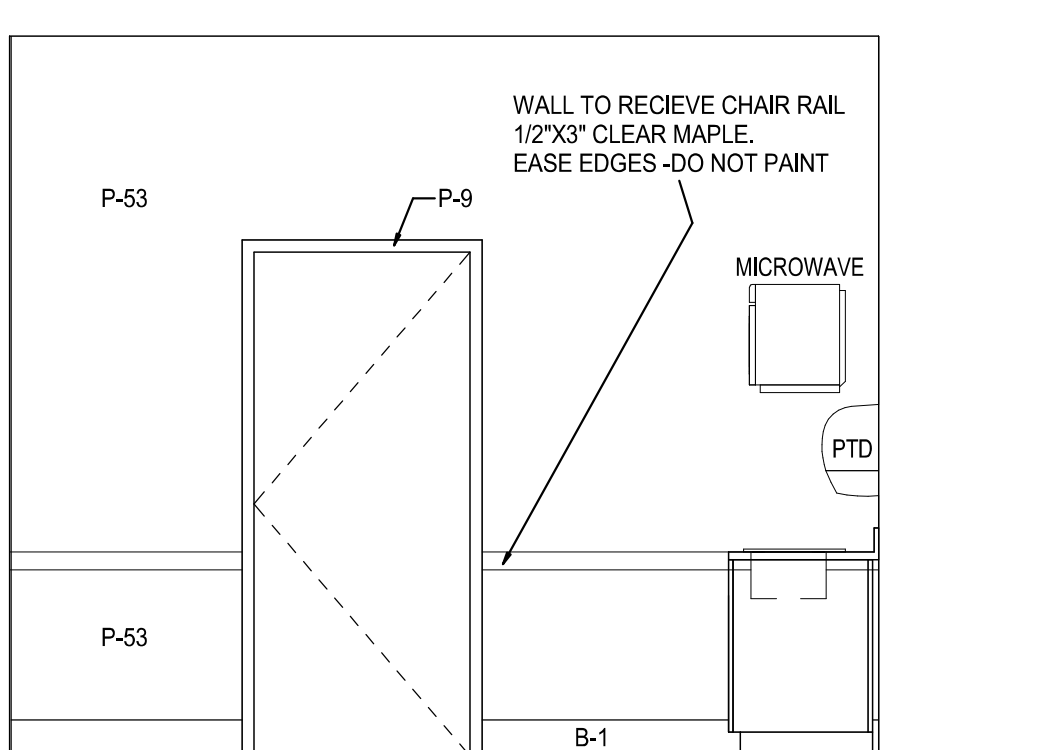
10 ELEVATION
 SCALE: 3/8" = 1'-0"



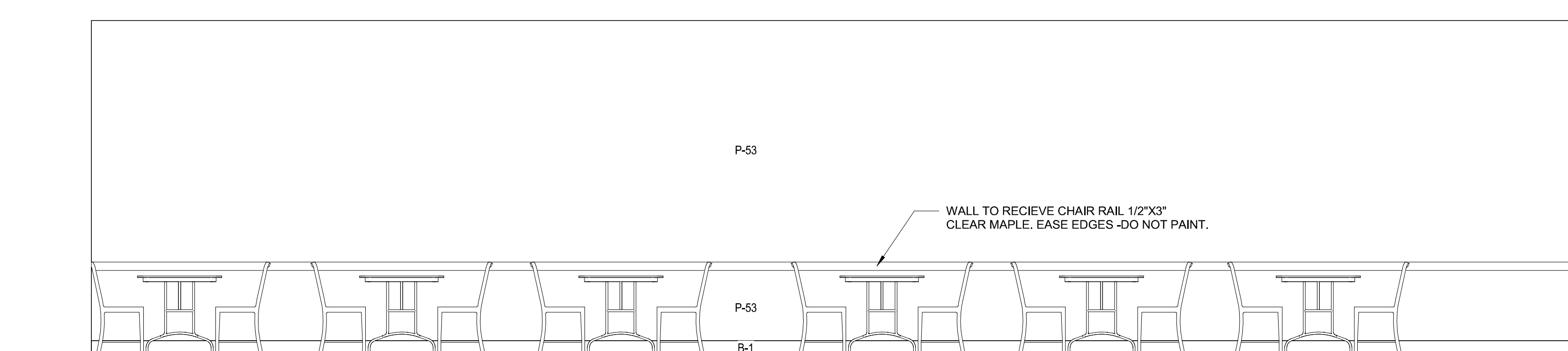
4 ELEVATION
 SCALE: 3/8" = 1'-0"



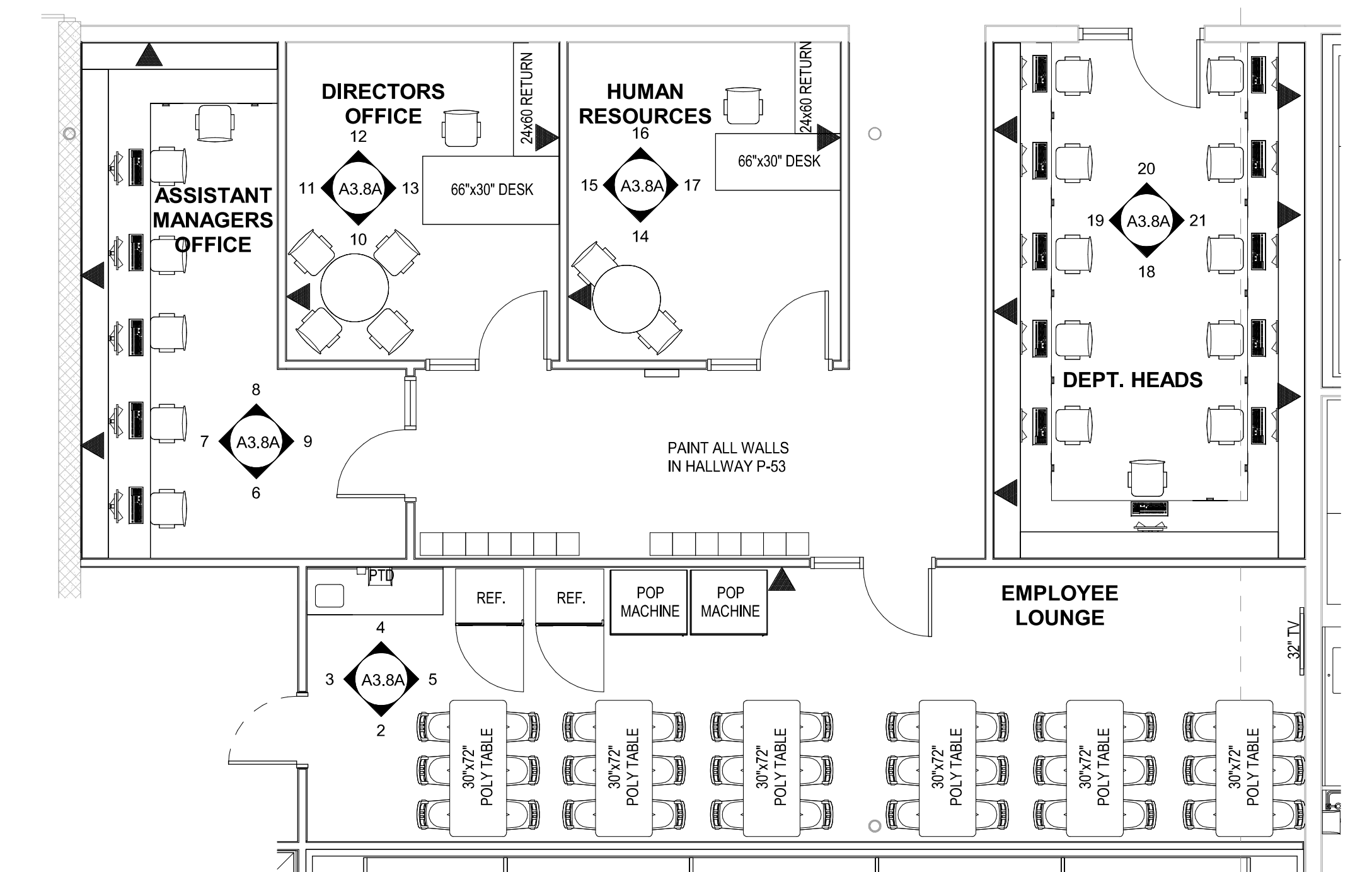
5 ELEVATION
 SCALE: 3/8" = 1'-0"



3 ELEVATION
 SCALE: 3/8" = 1'-0"



2 ELEVATION
 SCALE: 3/8" = 1'-0"



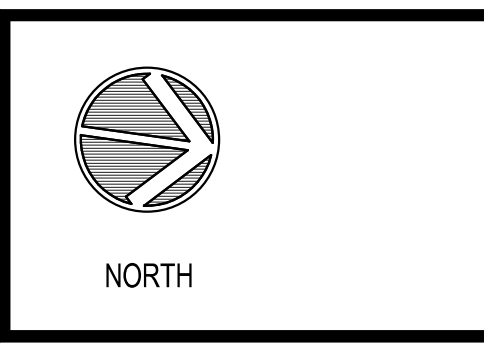
1 OFFICES
 SCALE: 3/16" = 1'-0"

brr
 Architect of Record:
 BRR Architecture, Inc.
 Kansas City 8333 Metcalf Avenue
 Overland Park, KS 66204
 Phone 913-262-9095
 Fax 913-262-9044

PROFESSIONAL SEAL
 RICHARD A. MAJORS, JR.
 ARCHITECT
 MISSOURI LICENSE NO. A-007328

LOCATION
LEE'S SUMMIT, MO #2
 HY-VEE, INC.
 5820 WESTOWN PARKWAY
 WEST DES MOINES, IOWA 50386
 TEL: (515) 281-2800
 FAX: (515) 281-2838

HyVee
 EMPLOYEE OWNED



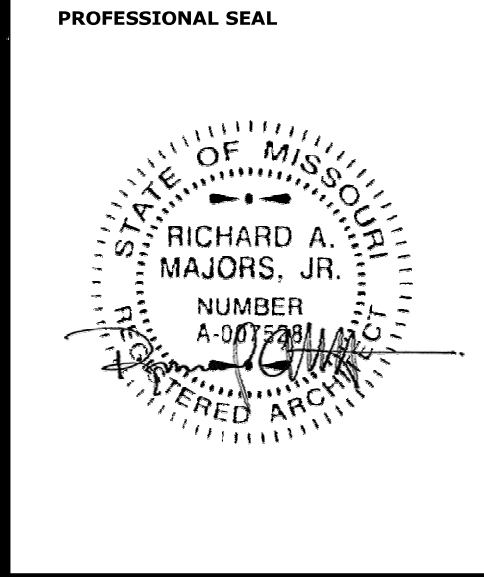
ENLARGED PLAN & ELEVATIONS - MISC. OFFICES

PROJECT MANAGER SB	CHECKED BY JPS
DRAWN BY AP	DATE 10/20/2020
SCALE As indicated	JOB NUMBER 62930547

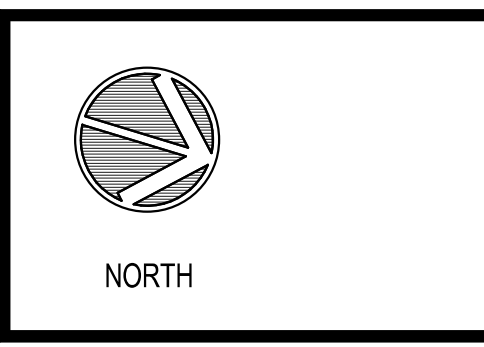
SHEET
A3.8A



Architect of Record: Rich A. Majors
 BRR Architecture, Inc.
 Kansas City 8333 Metcalf Ave
 Overland Park, KS 66204
 Phone: 913-262-9095
 Fax: 913-262-9044



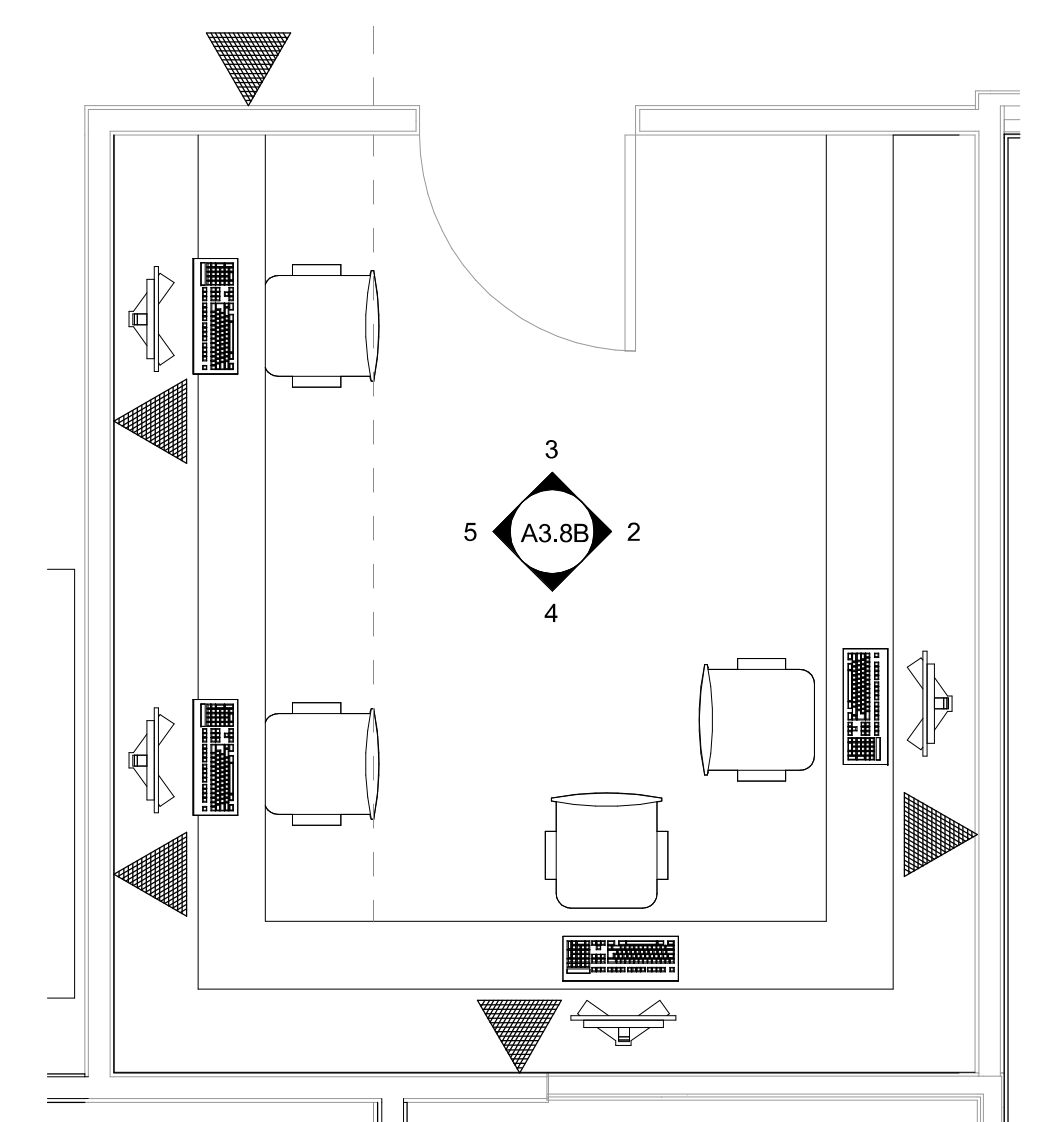
LOCATION: LEE'S SUMMIT, MO #2
 HY-VEE, INC.
 5820 WESTOWN PARKWAY
 WEST DES MOINES, IOWA 50386
 TEL: (515) 267-2800
 FAX: (515) 267-2838
HyVee
 EMPLOYEE OWNED



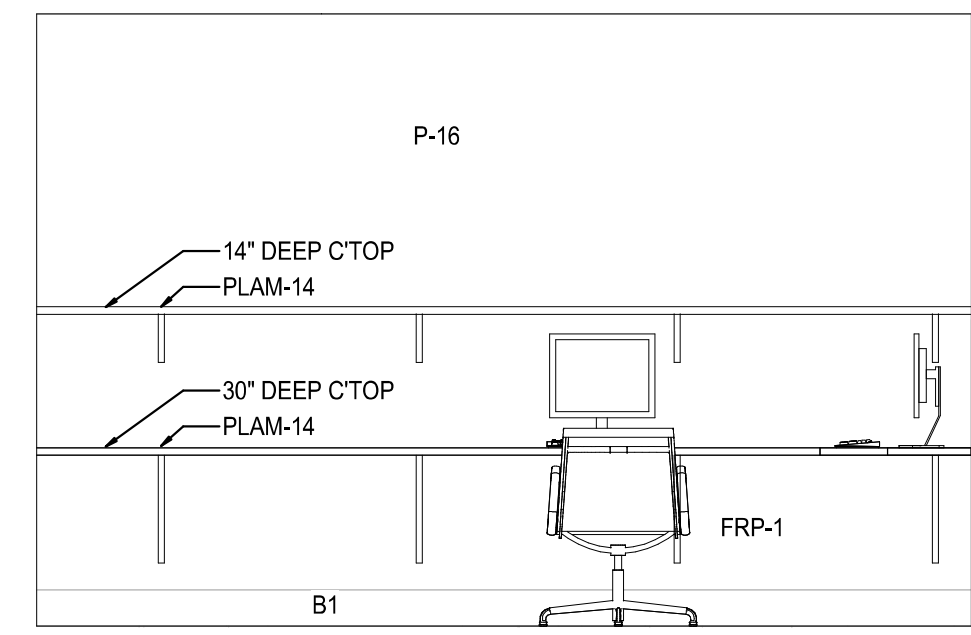
ENLARGED PLAN & ELEVATIONS - MISC. OFFICES

PROJECT MANAGER SB	CHECKED BY JPS
DRAWN BY JRM	DATE 10/20/2020
SCALE 3/8" = 1'-0"	JOB NUMBER 62930547

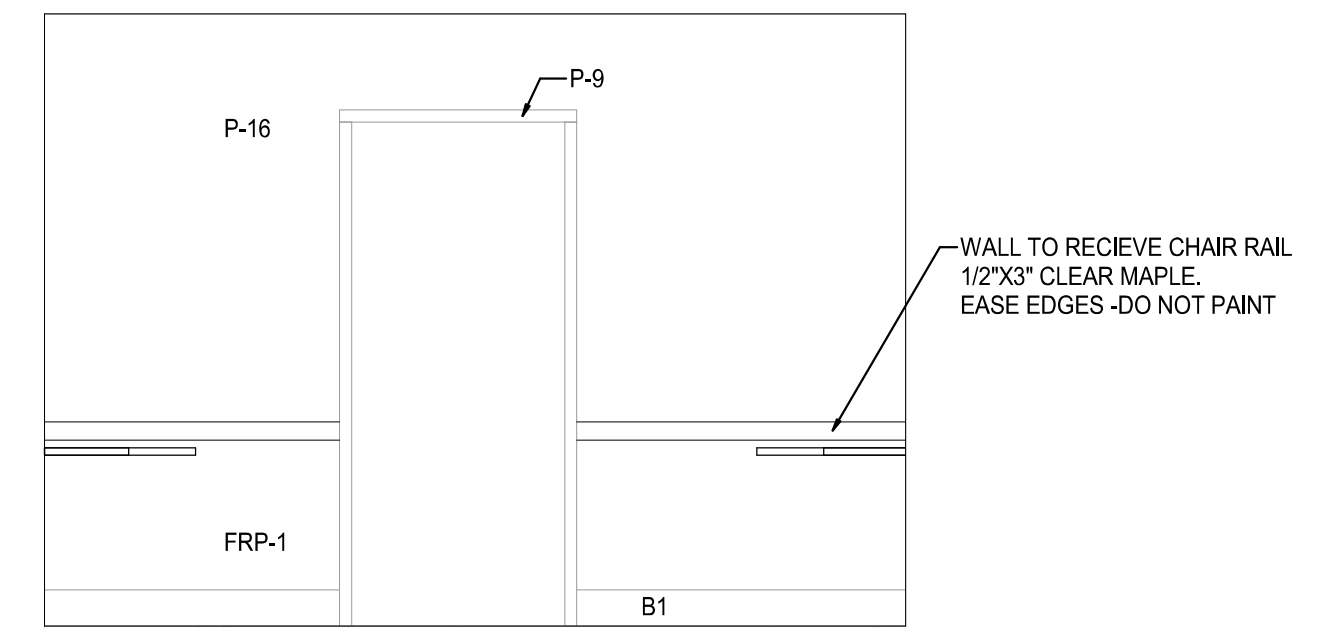
SHEET: **A3.8B**



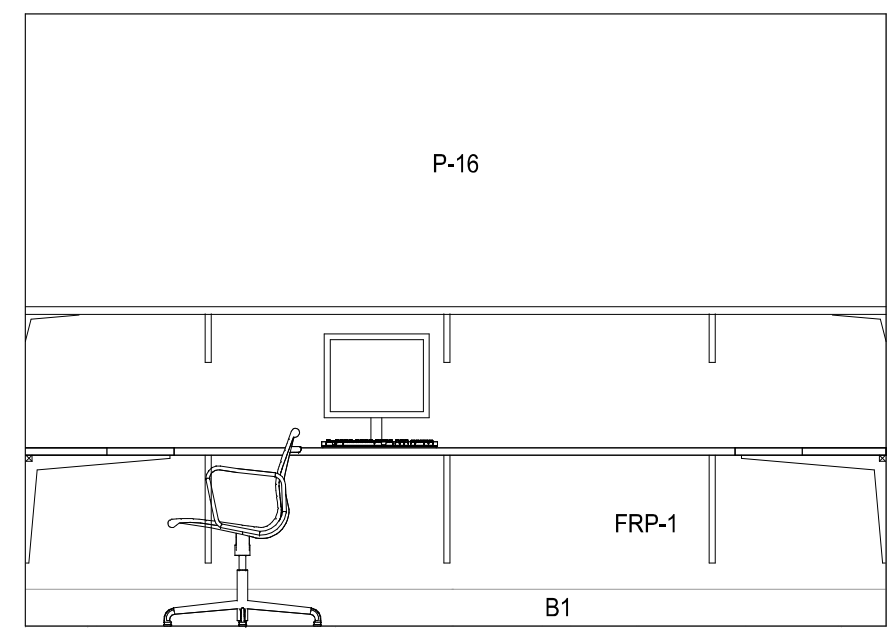
1 SCANROOM OFFICE
 SCALE: 3/8" = 1'-0"



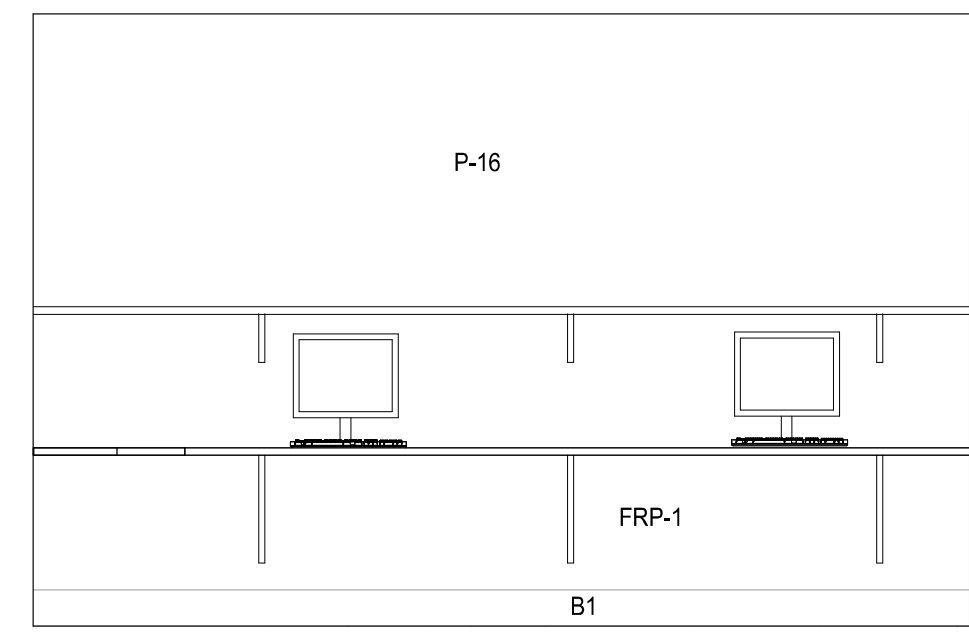
2 ELEVATION
 SCALE: 3/8" = 1'-0"



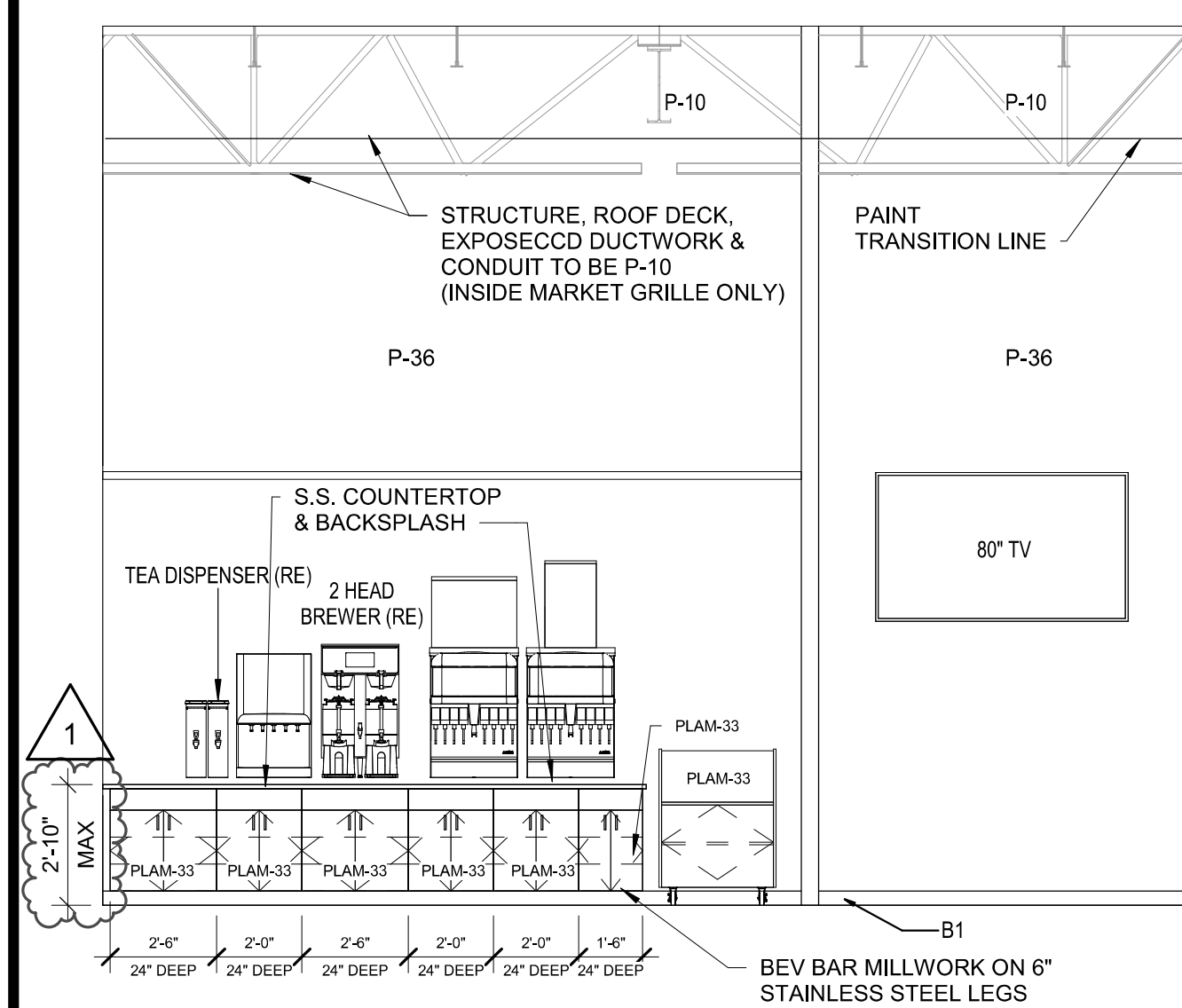
3 ELEVATION
 SCALE: 3/8" = 1'-0"



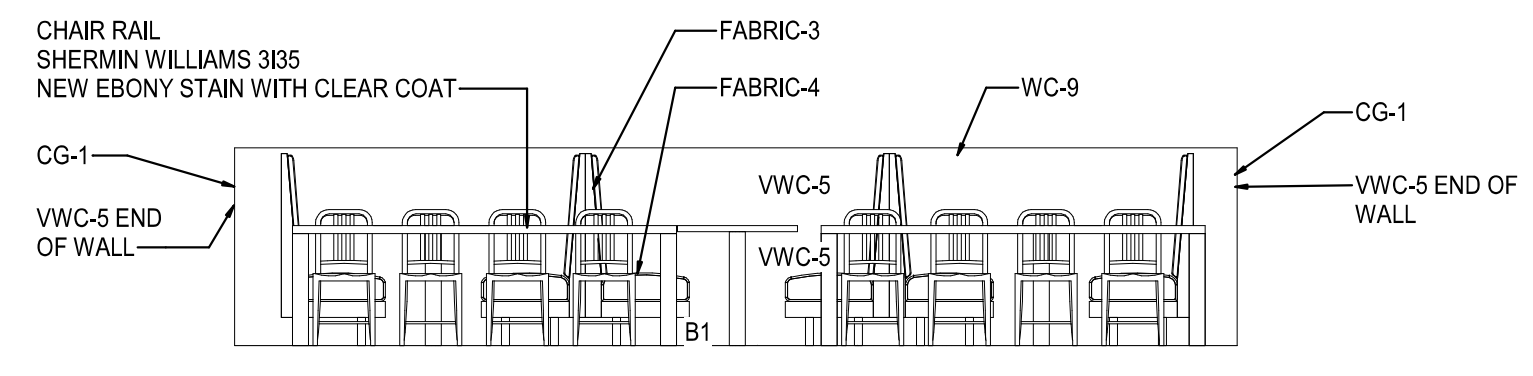
4 ELEVATION
 SCALE: 3/8" = 1'-0"



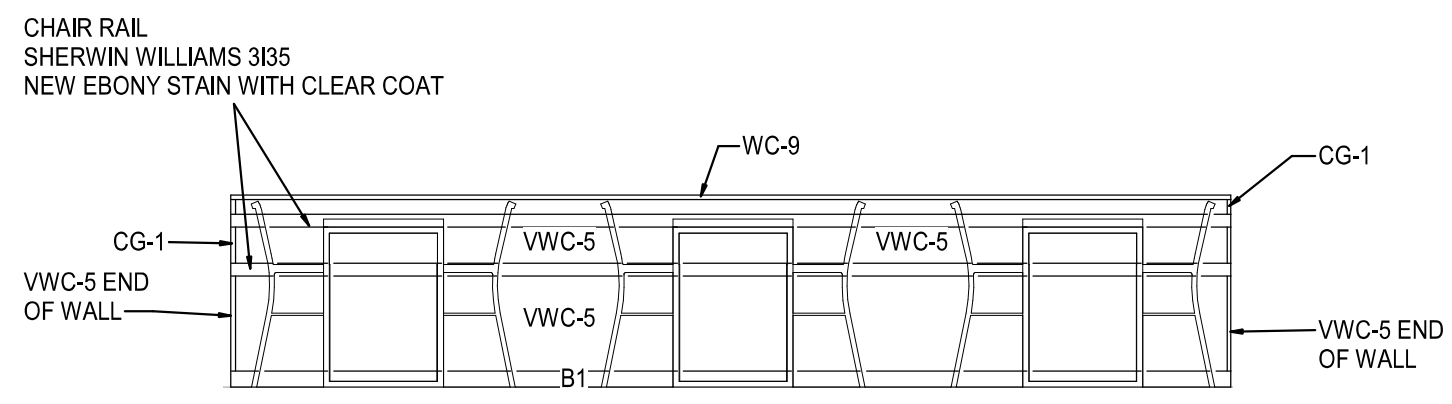
5 ELEVATION
 SCALE: 3/8" = 1'-0"



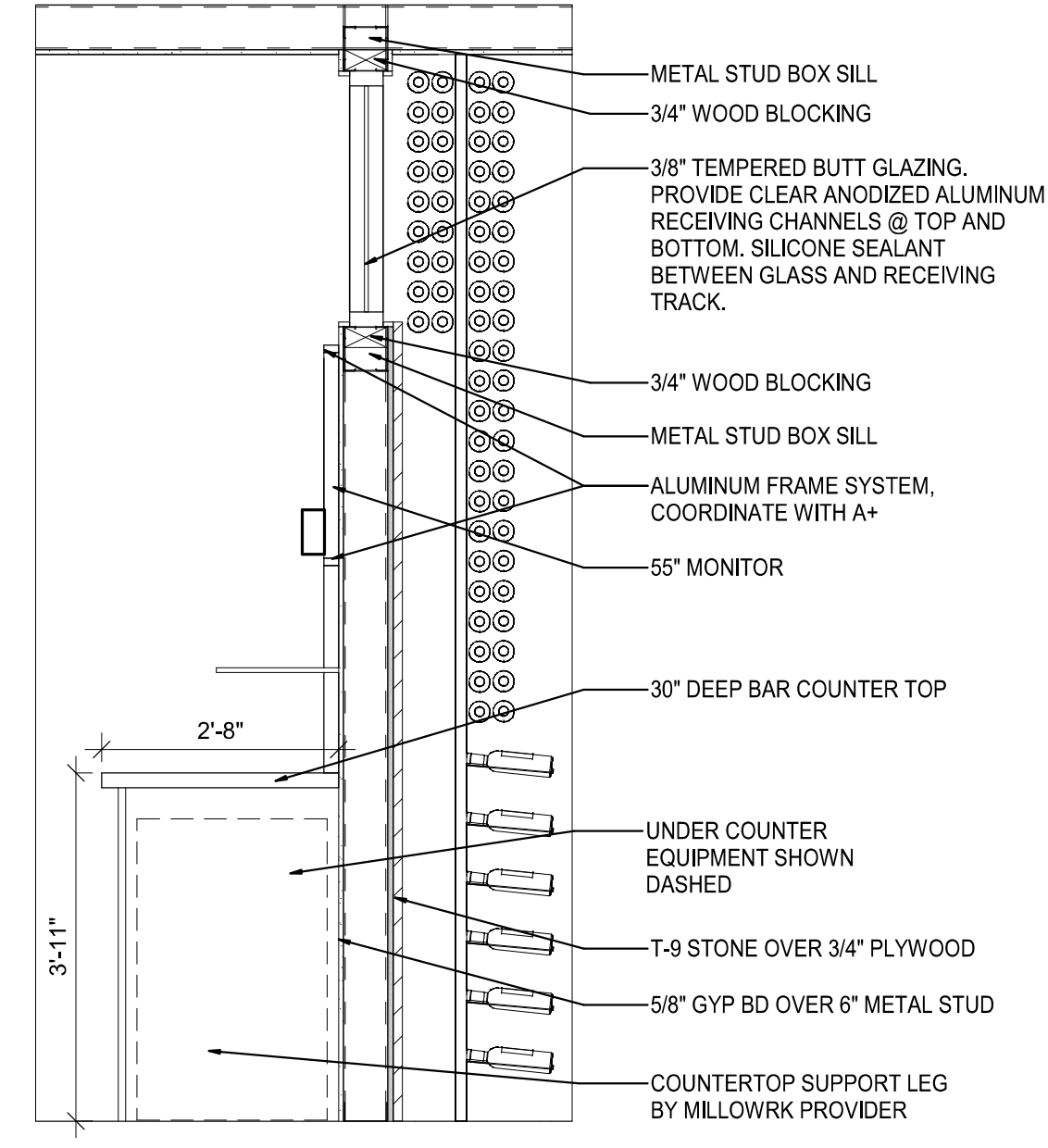
14 ELEVATION
 SCALE: 1/4" = 1'-0"



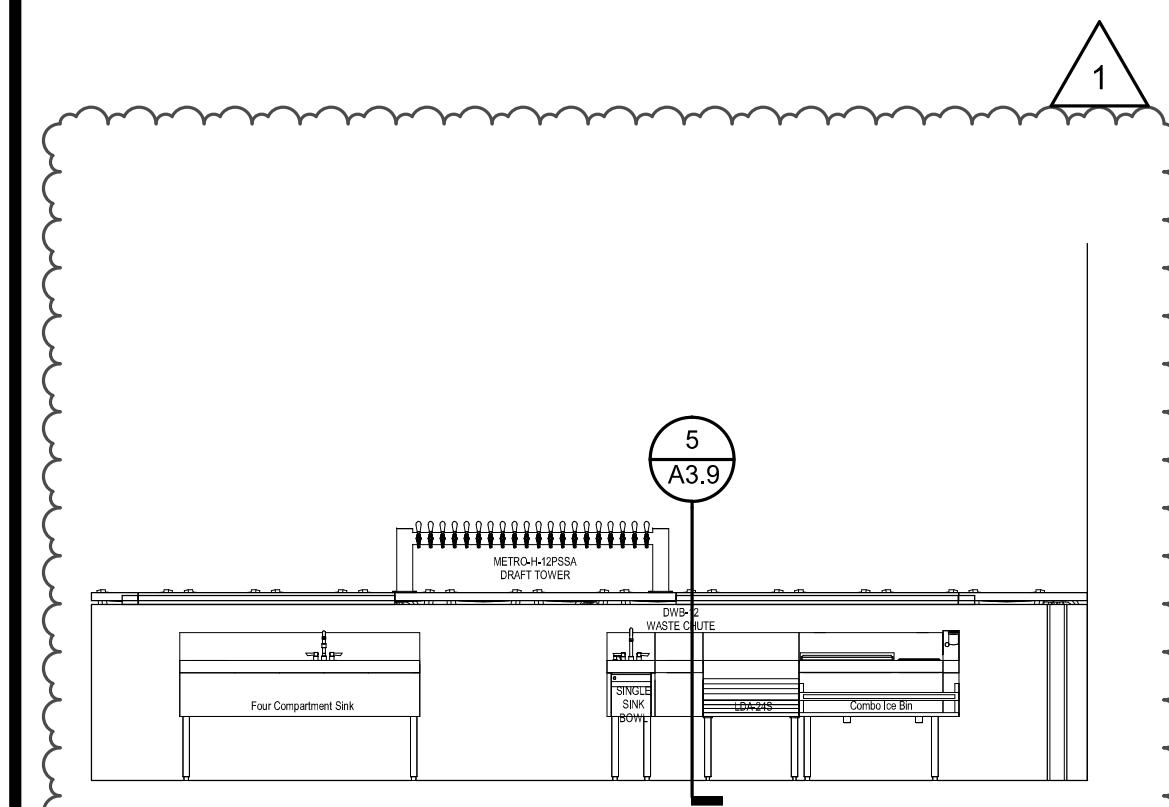
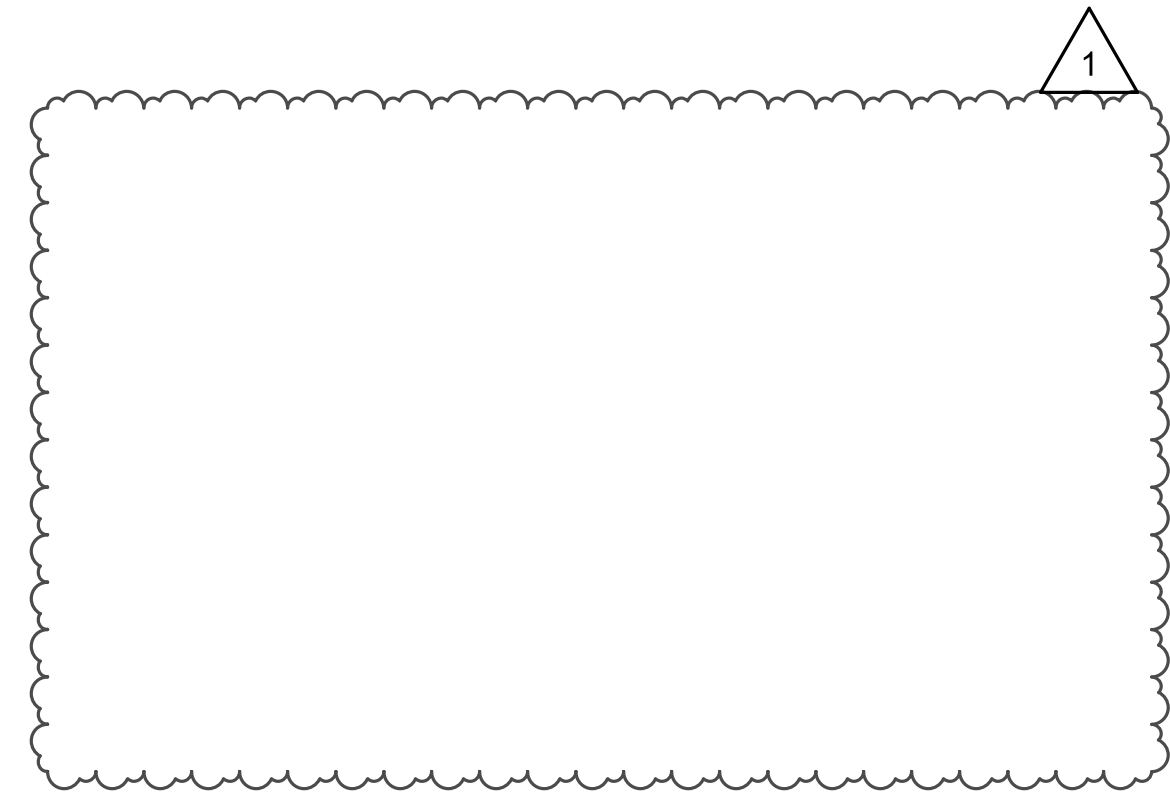
13 ELEVATION
 SCALE: 1/4" = 1'-0"



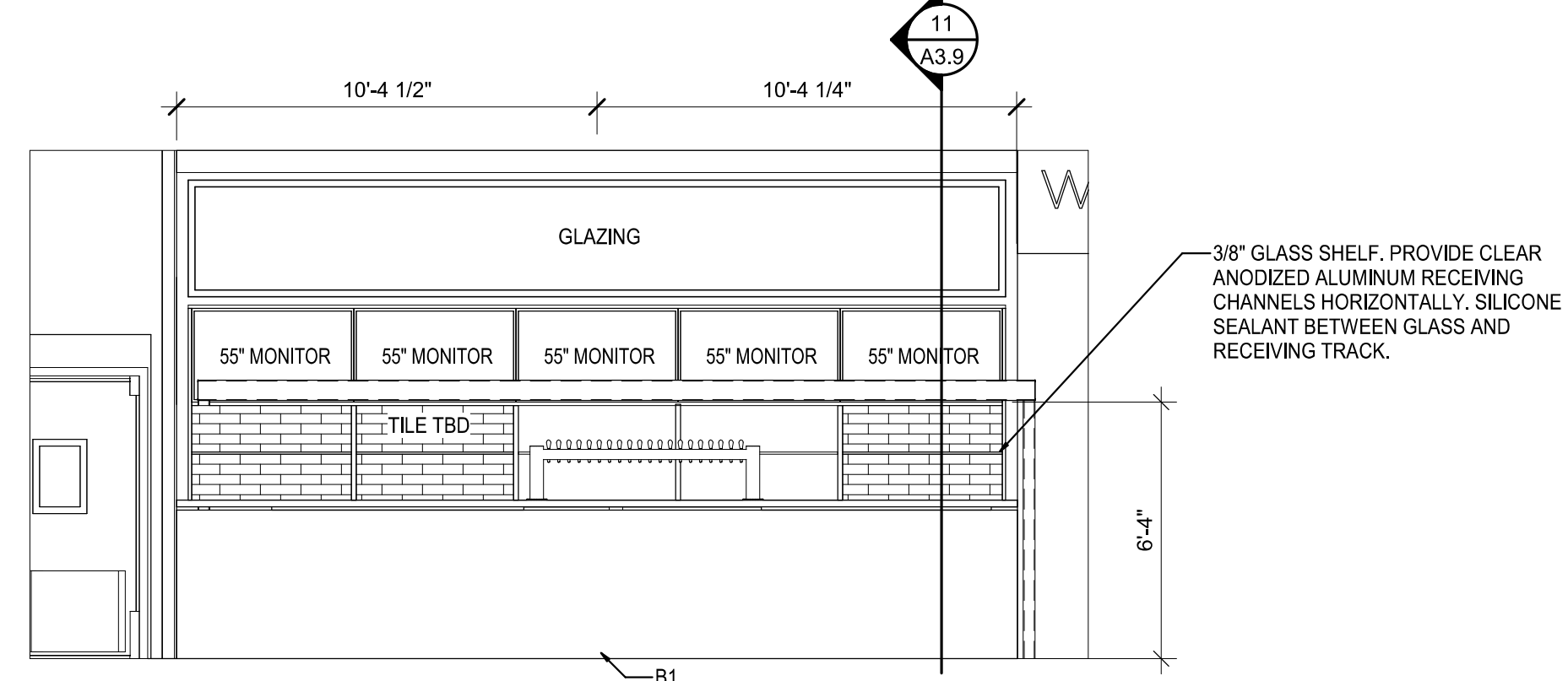
12 ELEVATION
 SCALE: 1/4" = 1'-0"



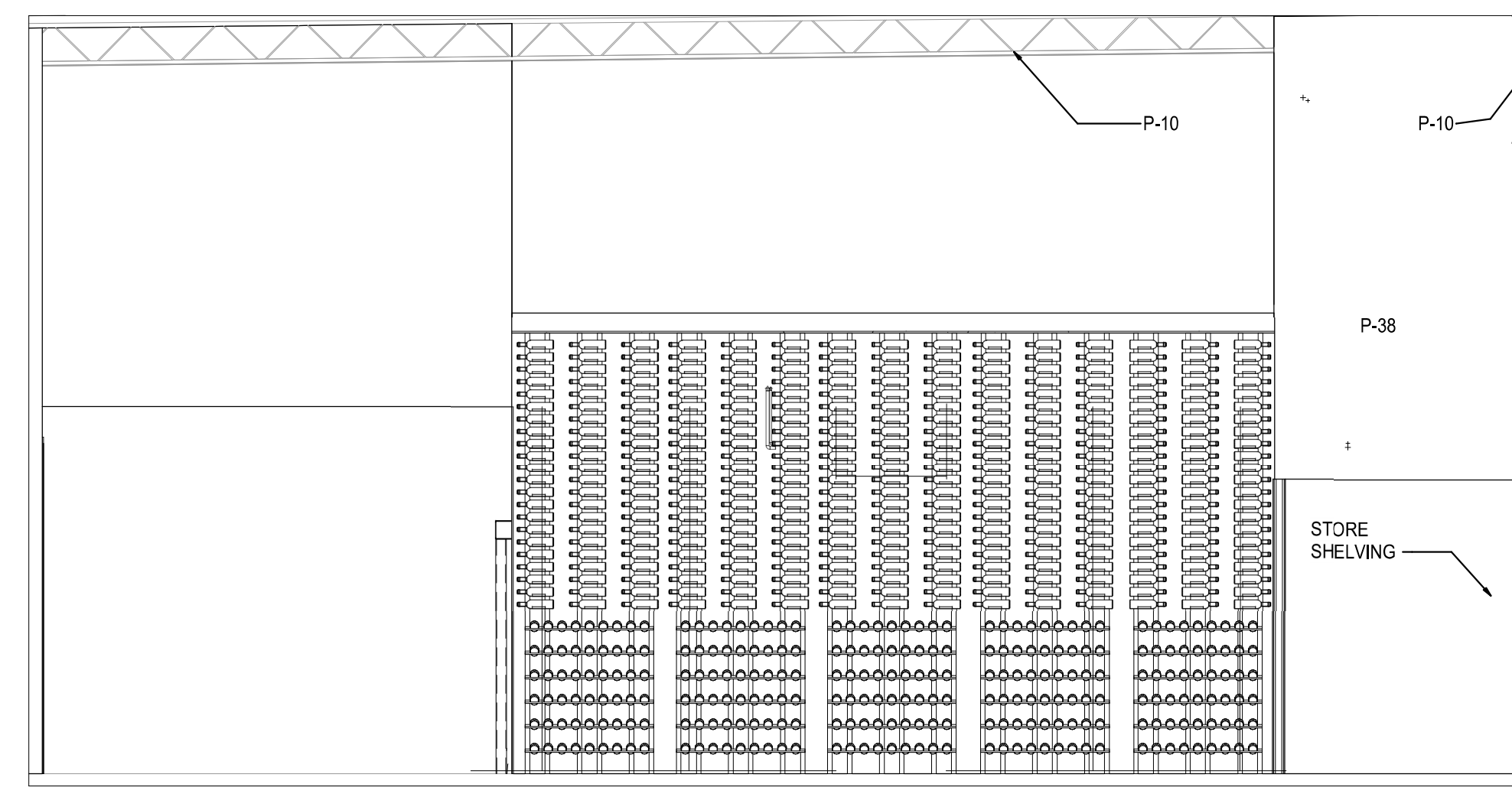
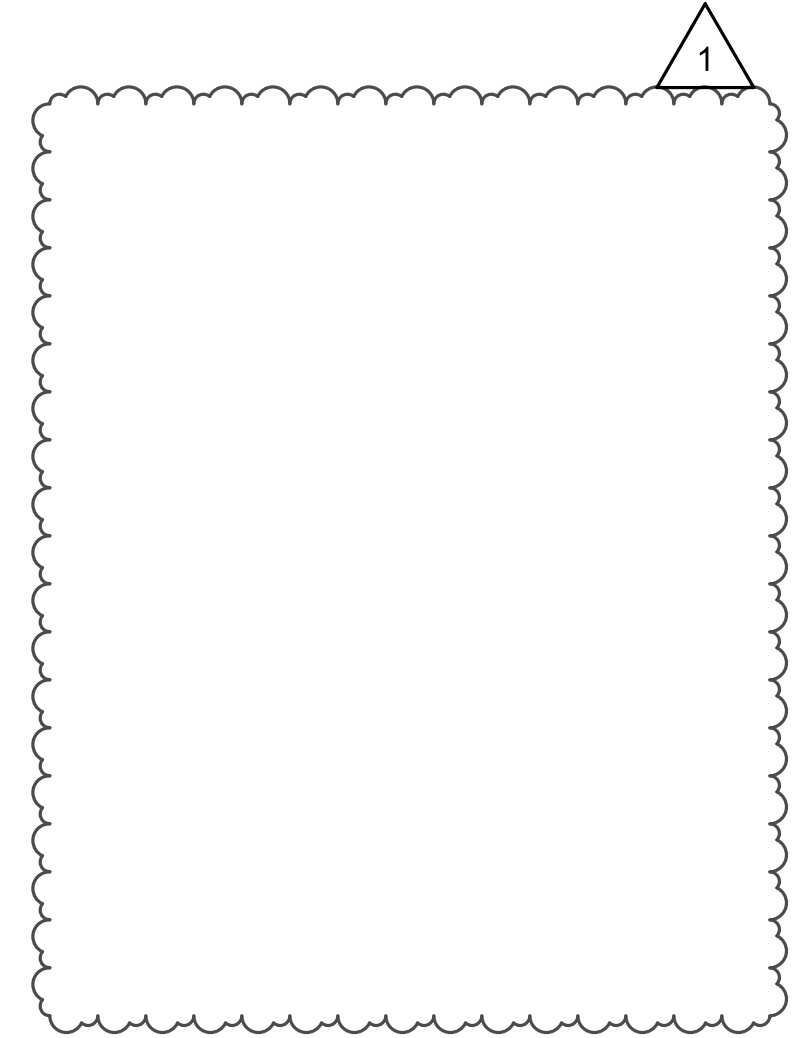
11 SECTION AT BAR
 SCALE: 1/2" = 1'-0"



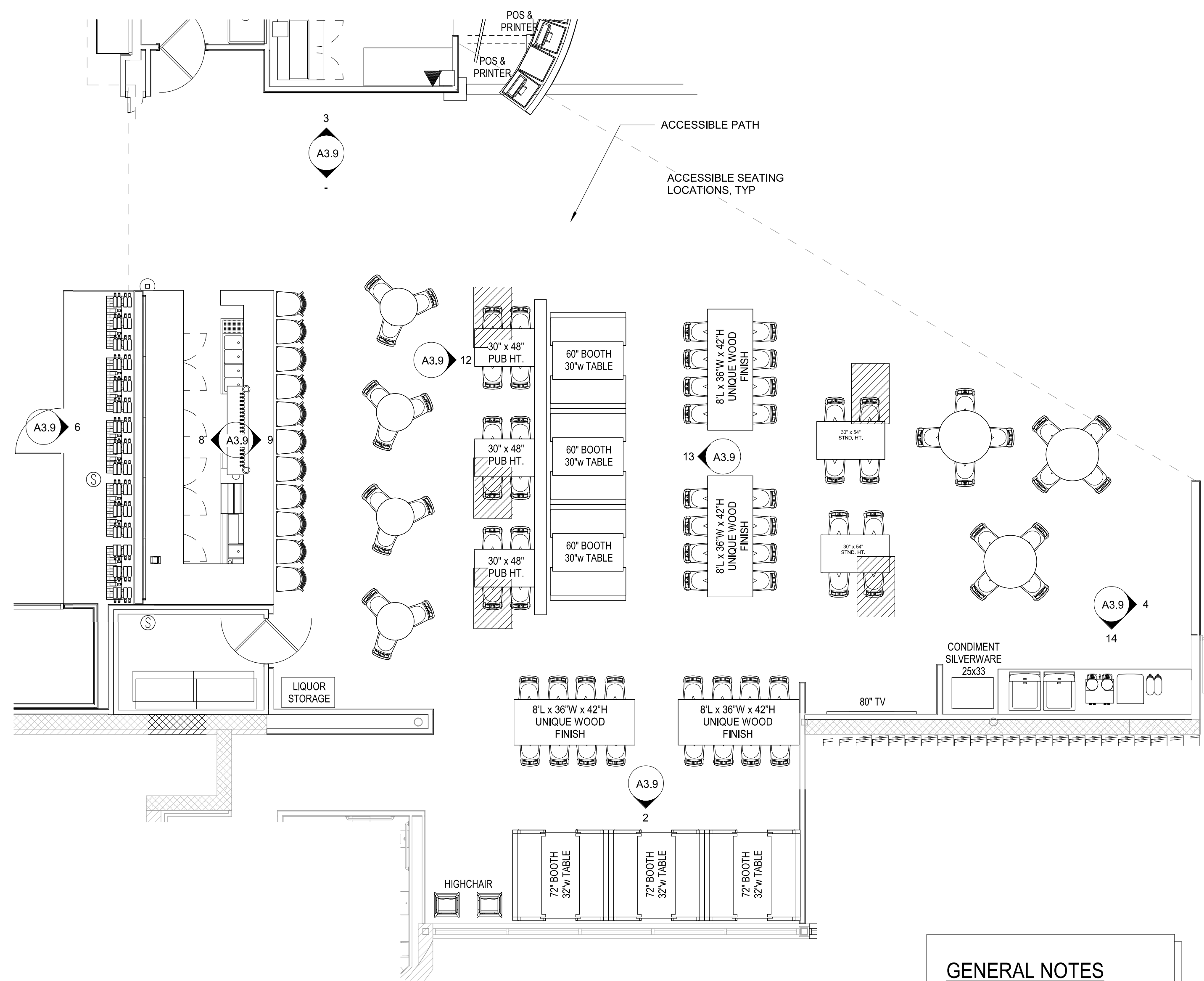
9 ELEVATION
 SCALE: 1/4" = 1'-0"



8 ELEVATION
 SCALE: 1/4" = 1'-0"

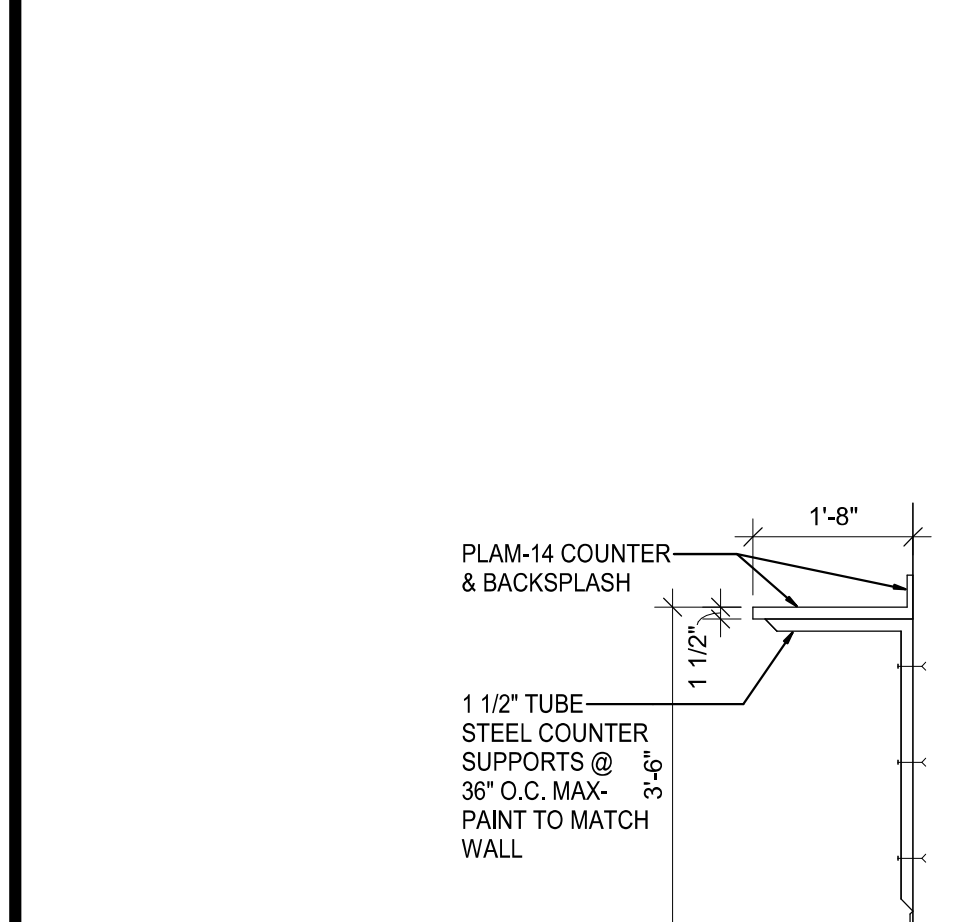


6 ELEVATION
 SCALE: 1/4" = 1'-0"

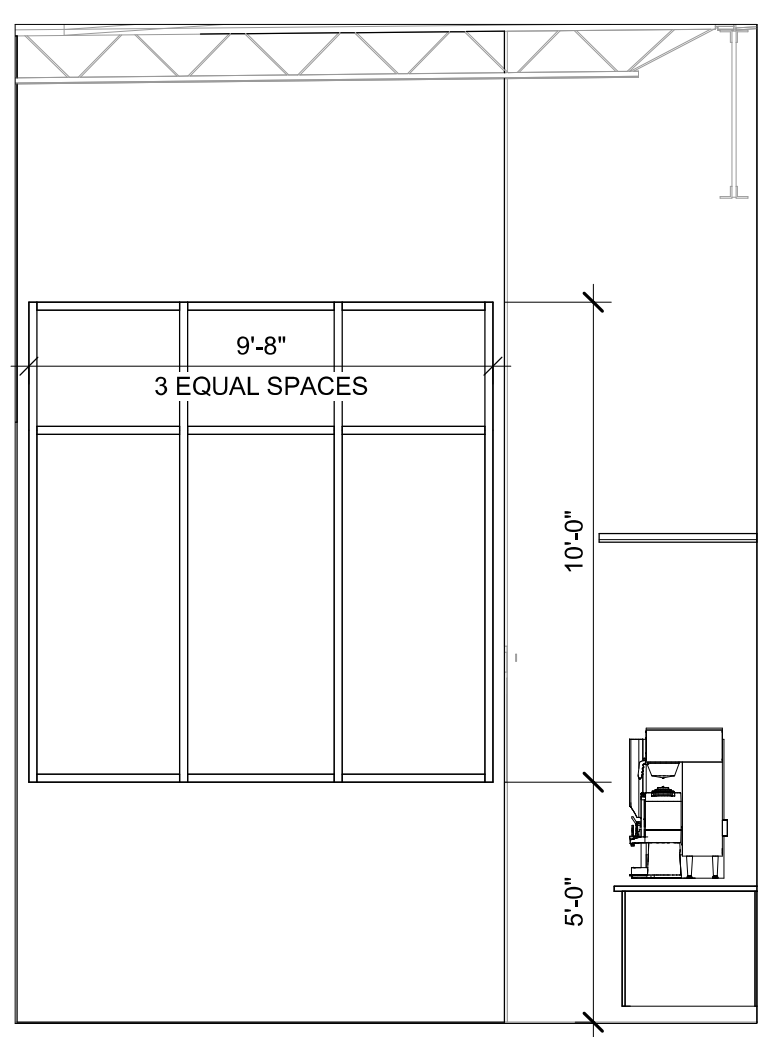


PARTIAL FLOOR PLAN - MARKET GRILLE
 SCALE: 3/16" = 1'-0"

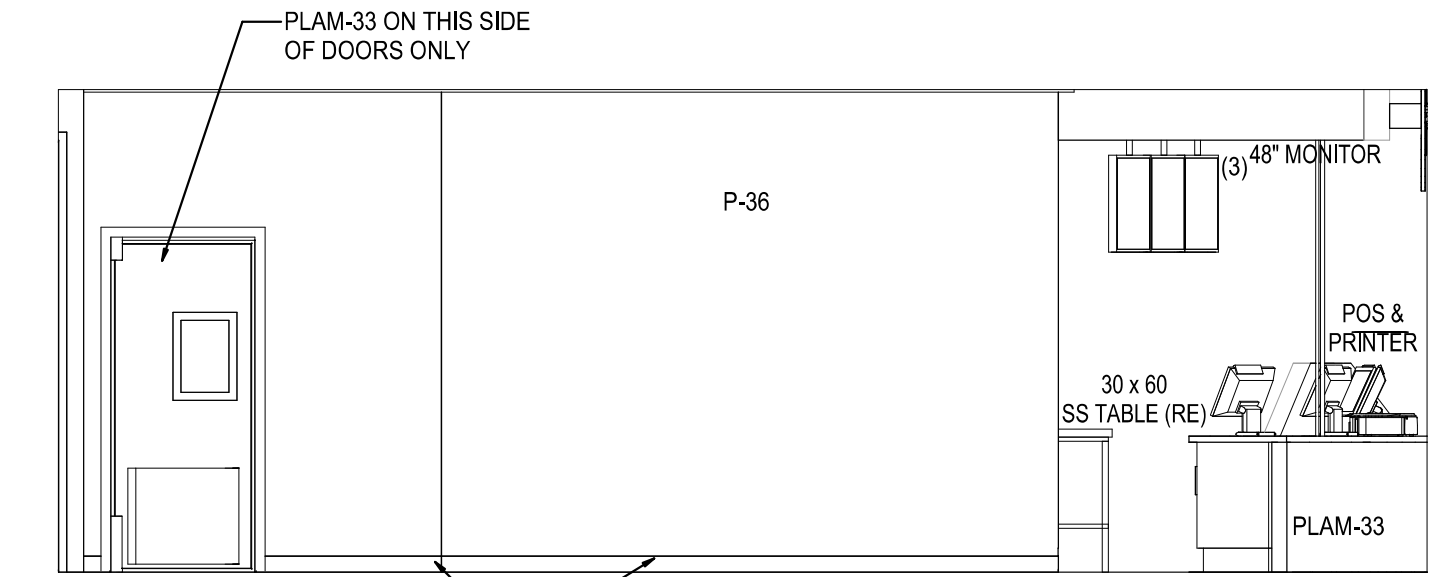
GENERAL NOTES
 ALL MILLWORK IN FOOD SERVICE AREAS TO HAVE ALL SURFACES FINISHED- NO EXPOSED EDGES OR UNDER SIDES



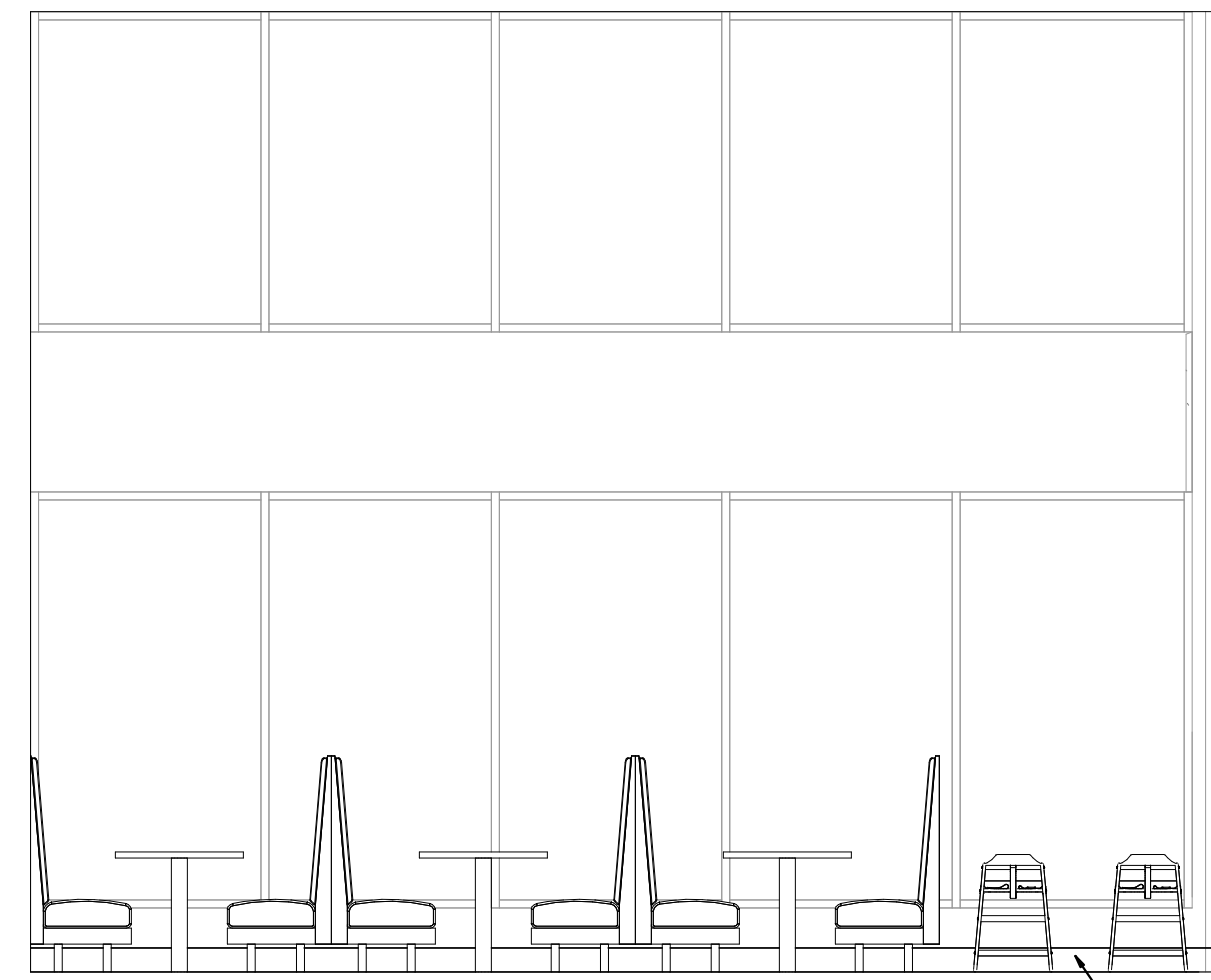
SECTION @ COUNTER
 SCALE: 1/2" = 1'-0"



4 ELEVATION
 SCALE: 1/4" = 1'-0"



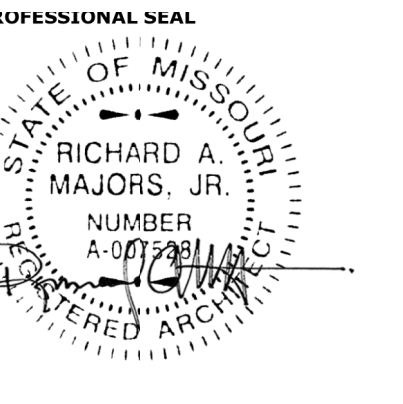
3 ELEVATION
 SCALE: 1/4" = 1'-0"



2 ELEVATION
 SCALE: 1/4" = 1'-0"

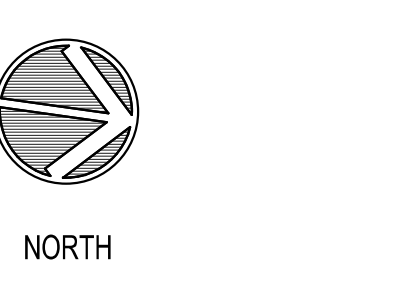


Architect of Record:
BRR Architecture, Inc.
 Kansas City 8131 Metcalf Avenue
 Overland Park, KS 66204
 Phone: 913-242-9995
 Fax: 913-242-9044



Richard A. Majors, Jr.
 Architect License No. A-007528

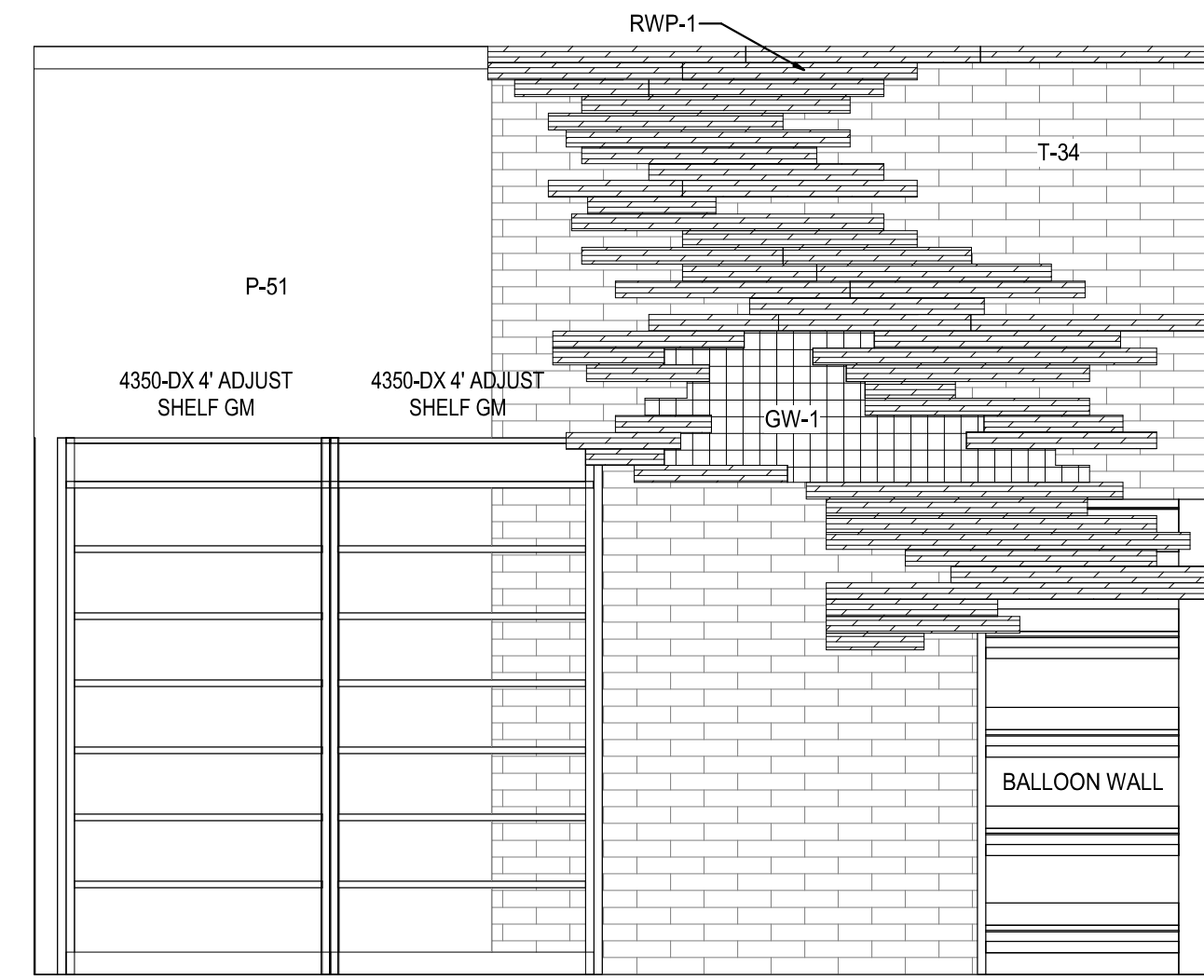
LOCATION: **LEE'S SUMMIT, MO #2**
 HY-VEE, INC.
 5820 WESTTOWN PARKWAY
 WEST DES MOINES, IOWA 50396
 TEL: (515) 281-2800
 FAX: (515) 281-2838
HyVee
 EMPLOYEE OWNED



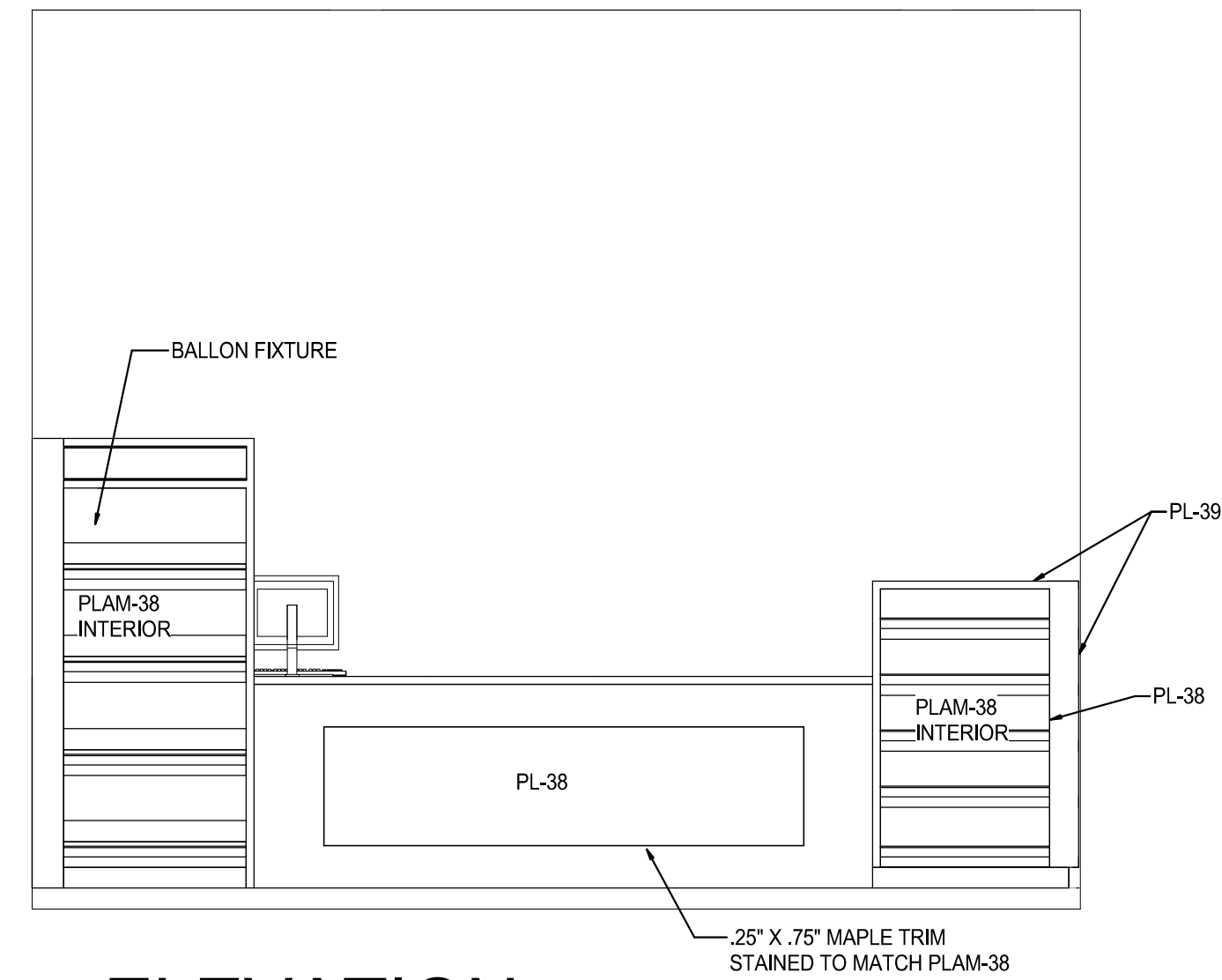
ENLARGED PLAN & ELEVATIONS - CASUAL DINING

PROJECT MANAGER: SB
 CHECKED BY: JPS
 DRAWN BY: KM
 DATE: 10/20/2020
 SCALE: 1/4" = 1'-0"
 JOB NUMBER: 62930547

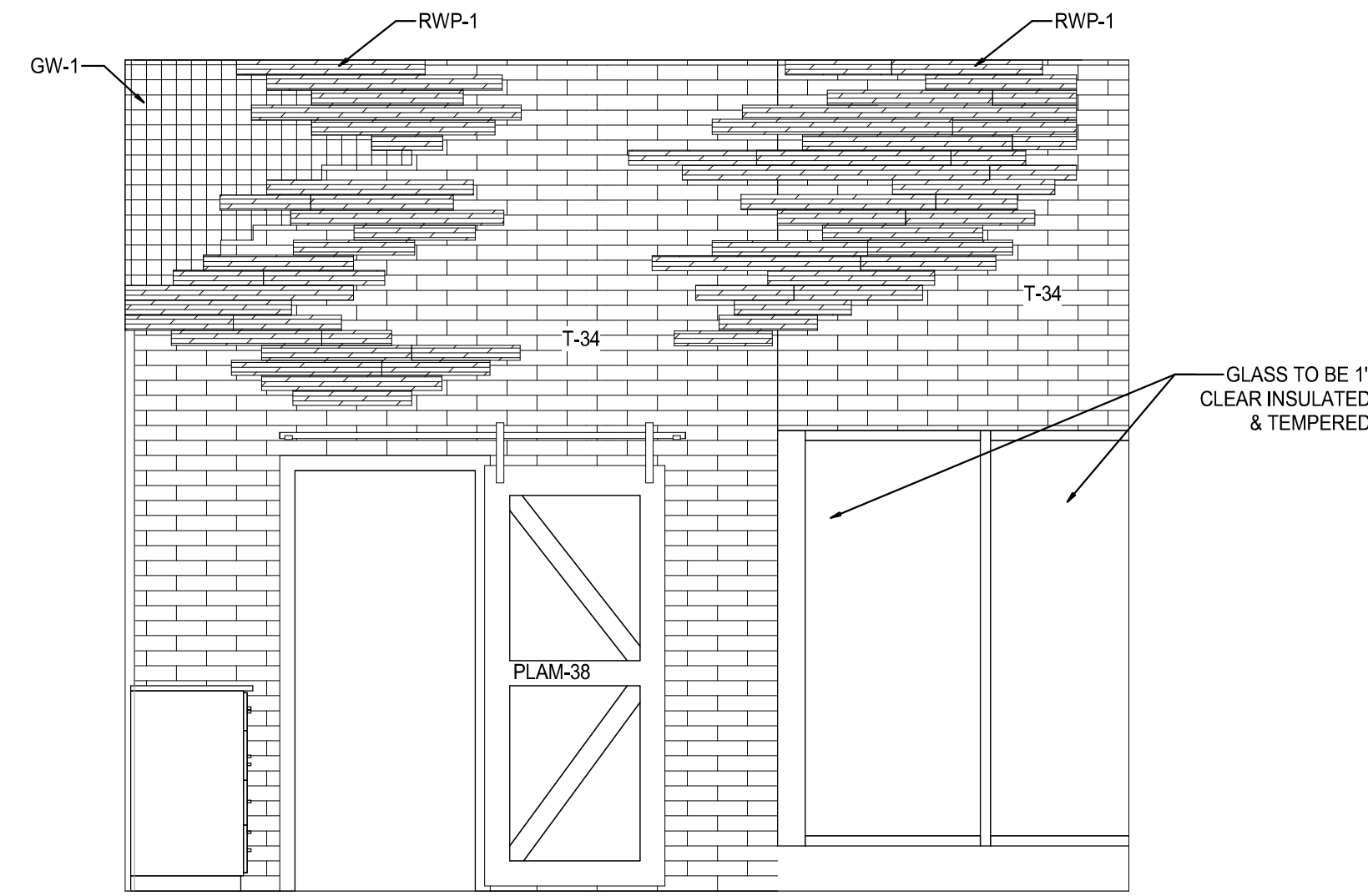
SHEET: **A3.9**



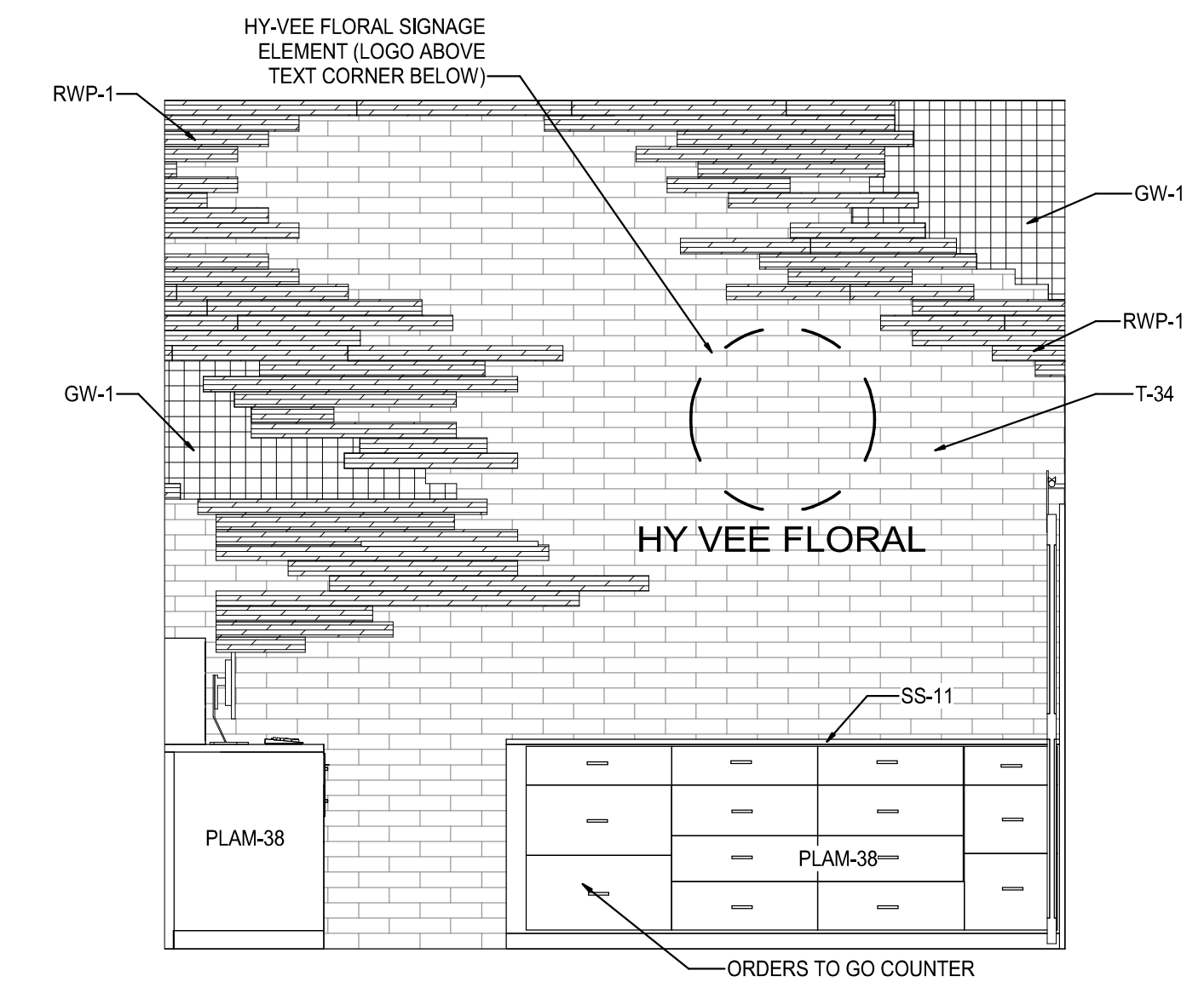
11 ELEVATION
 SCALE: 3/8" = 1'-0"



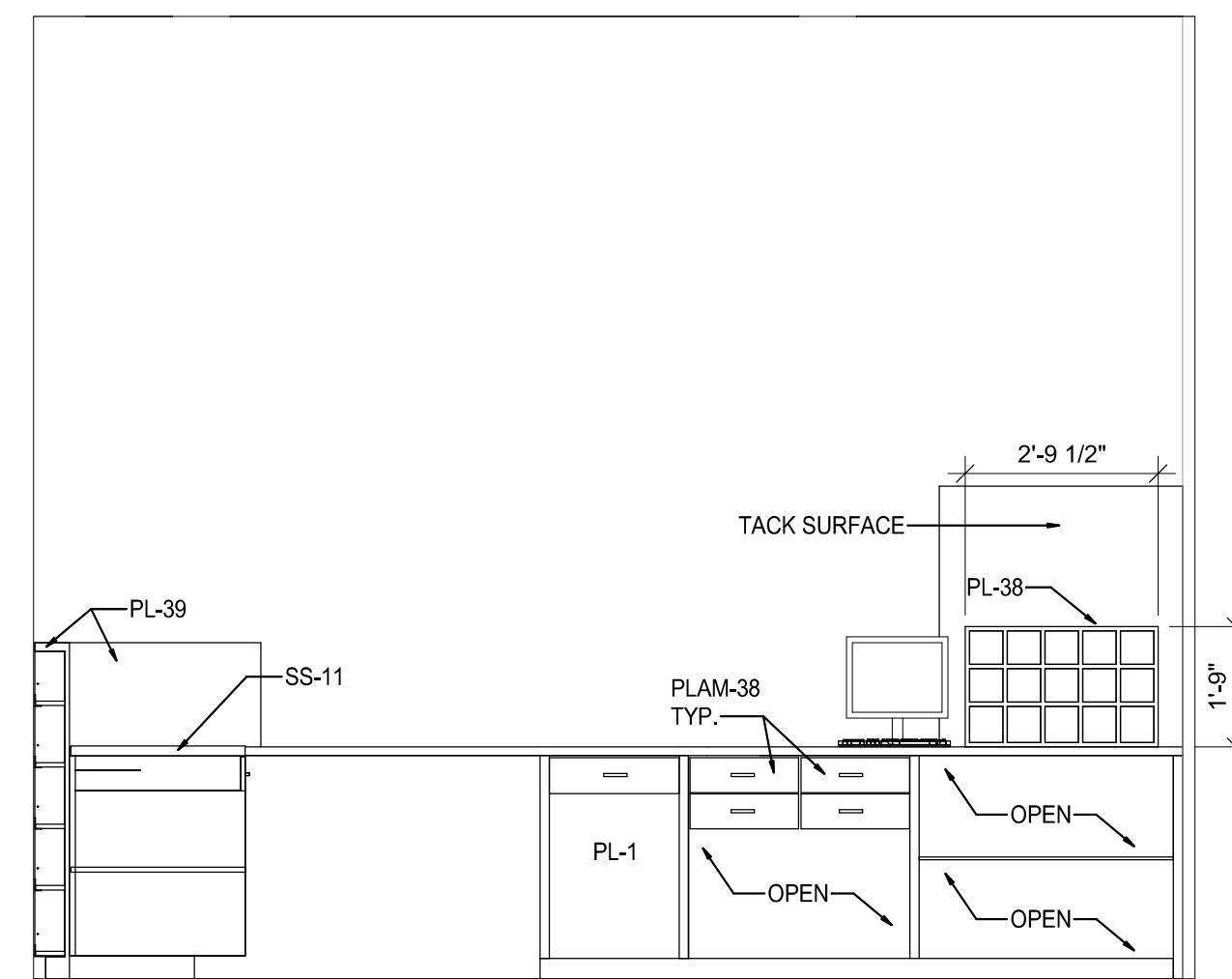
10 ELEVATION
 SCALE: 3/8" = 1'-0"



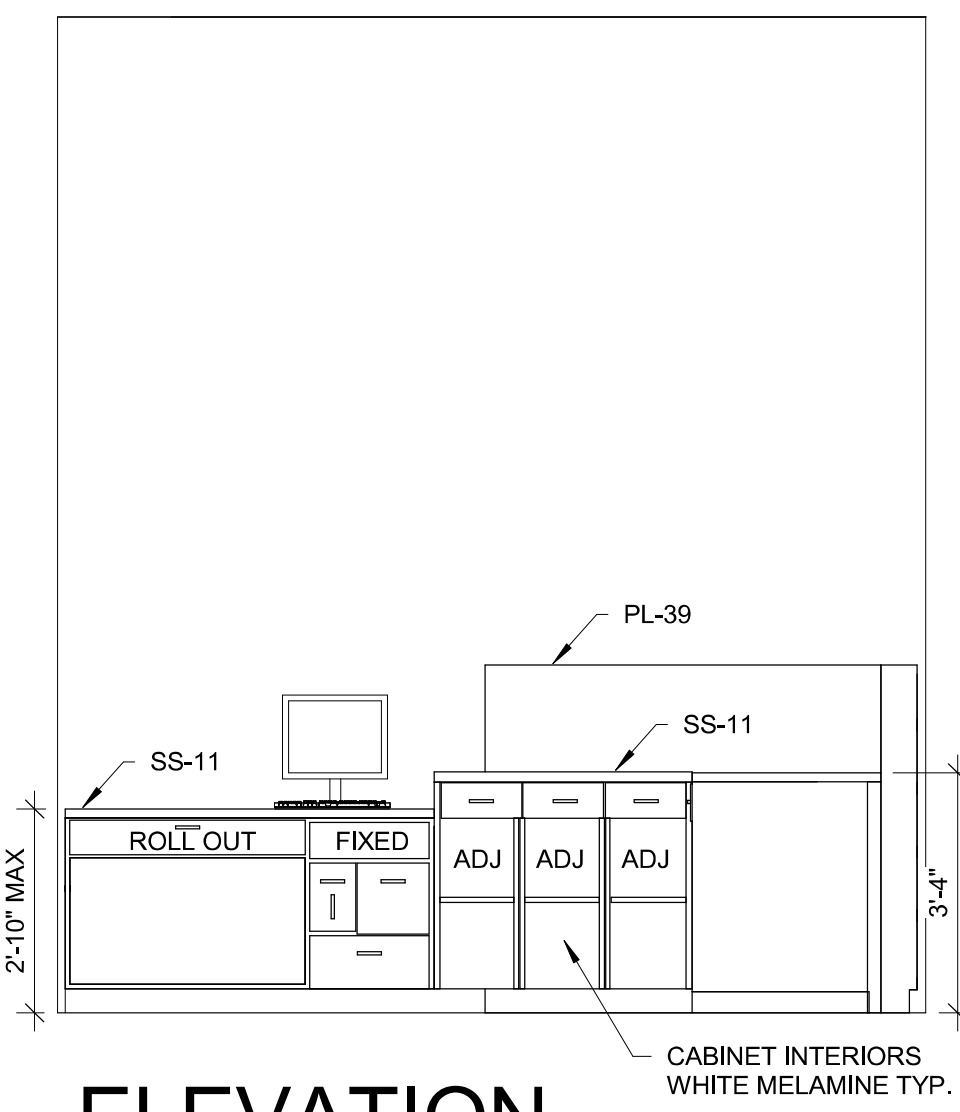
9 ELEVATION
 SCALE: 3/8" = 1'-0"



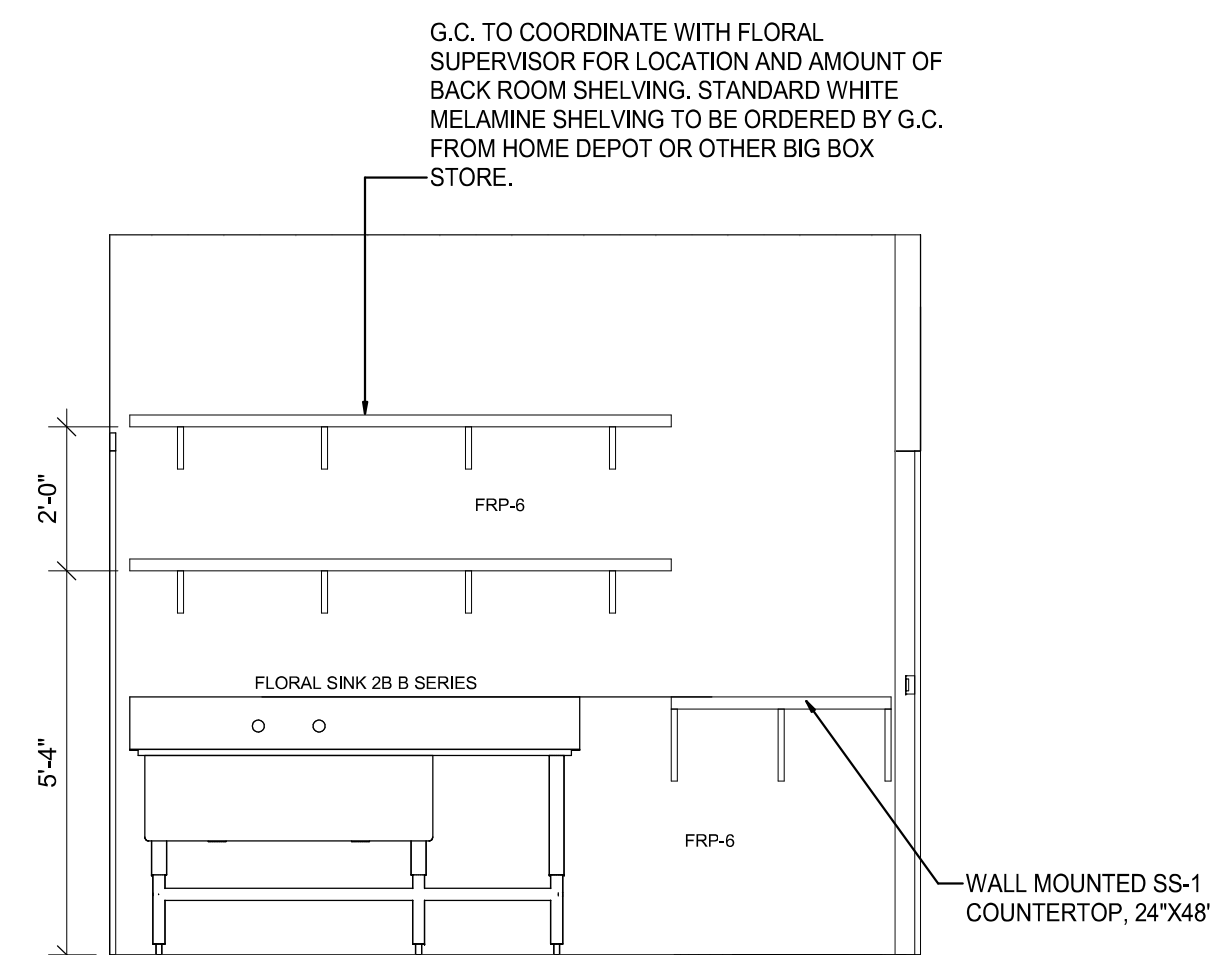
8 ELEVATION
 SCALE: 3/8" = 1'-0"



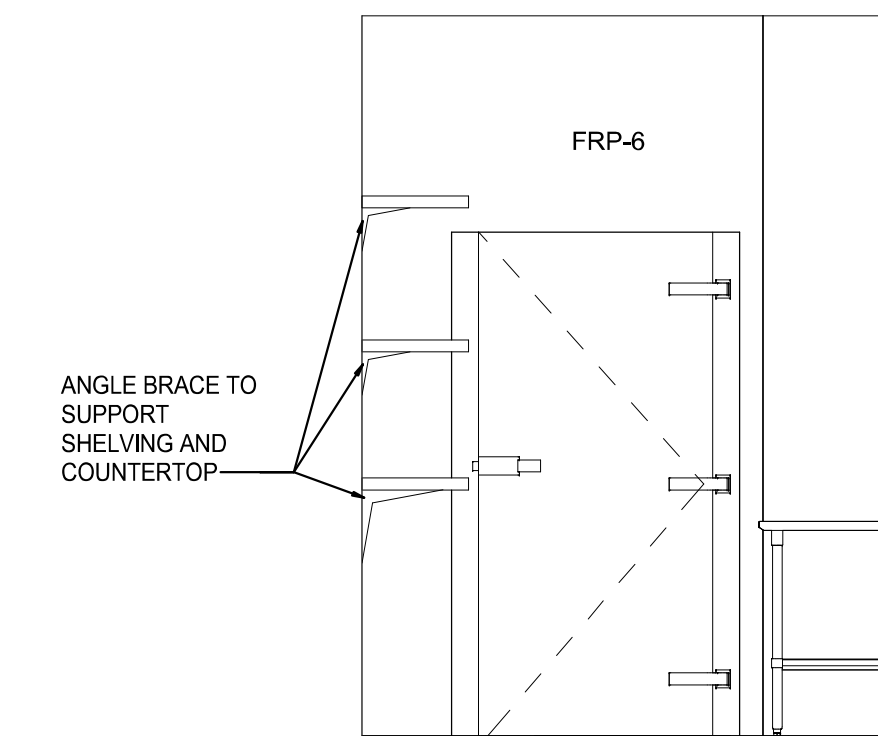
7 ELEVATION
 SCALE: 3/8" = 1'-0"



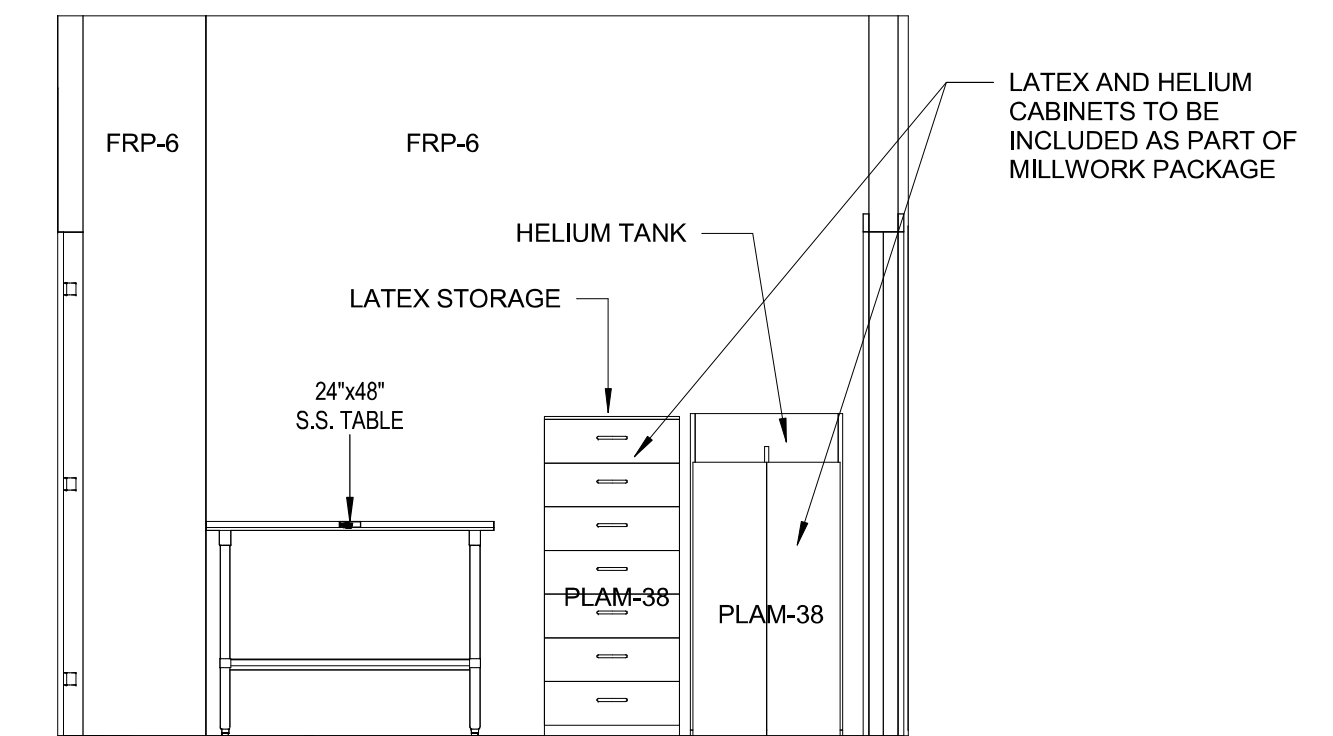
6 ELEVATION
 SCALE: 3/8" = 1'-0"



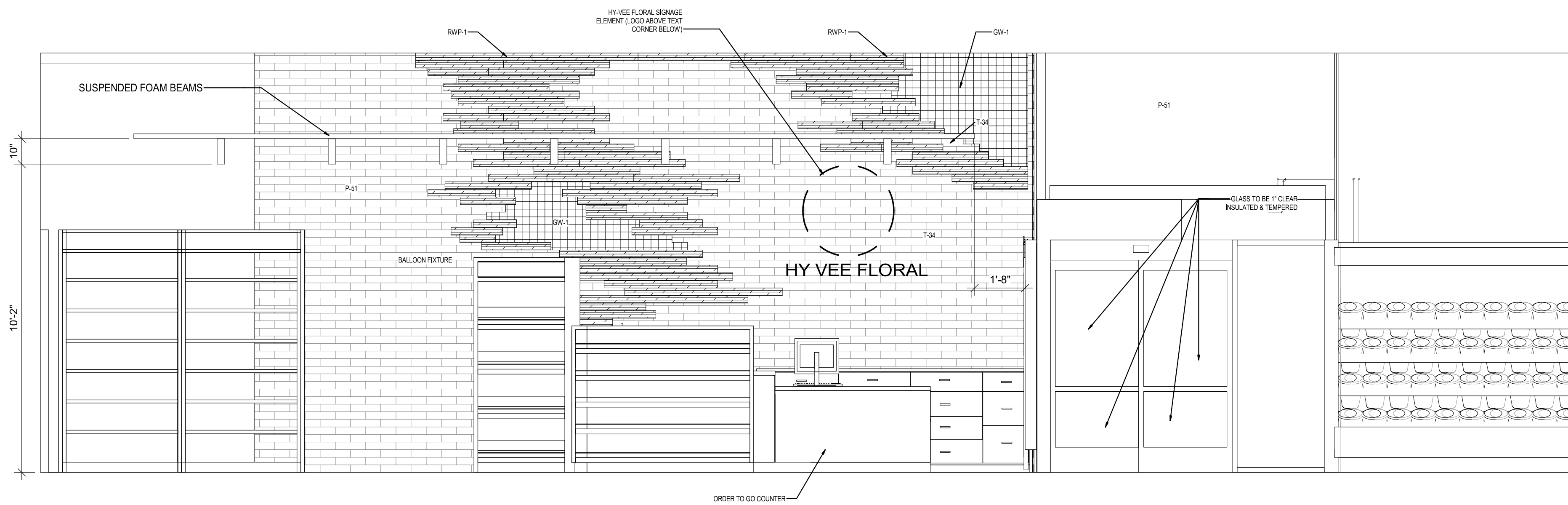
5 ELEVATION
 SCALE: 3/8" = 1'-0"



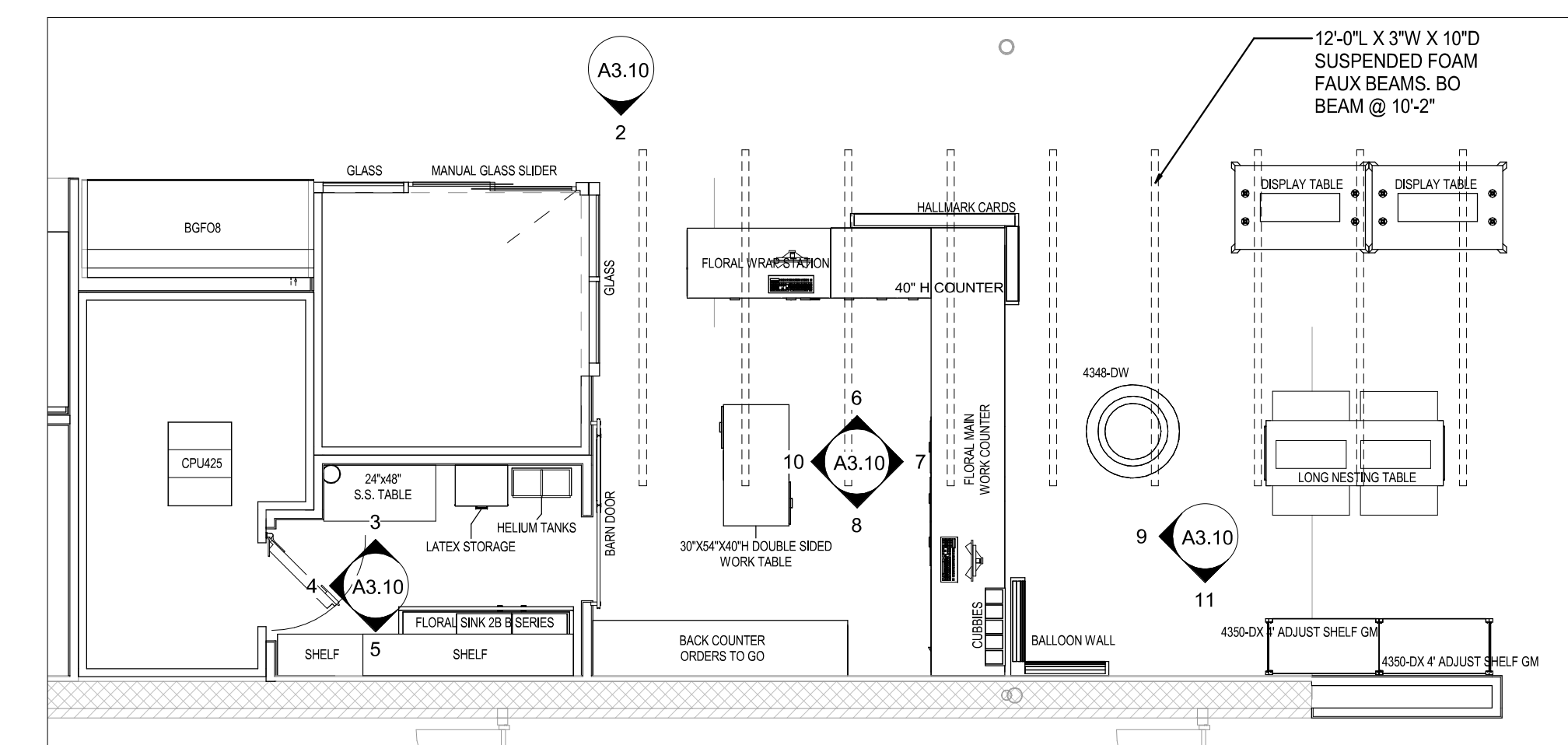
4 ELEVATION
 SCALE: 3/8" = 1'-0"



3 ELEVATION
 SCALE: 3/8" = 1'-0"



2 ELEVATION
 SCALE: 3/8" = 1'-0"



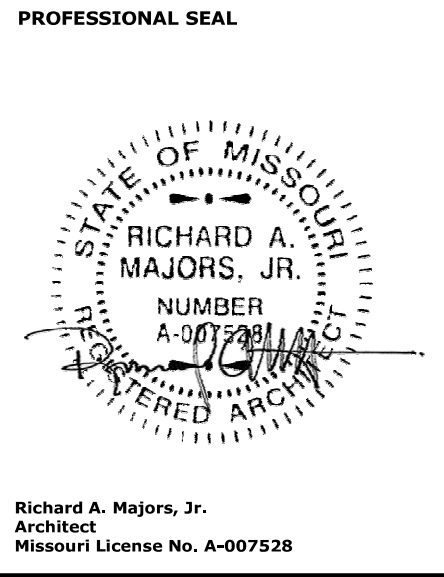
1 PARTIAL FLOOR PLAN - FLORAL
 SCALE: 3/16" = 1'-0"

GENERAL NOTES

FOR FINISH SCHEDULE SEE SHEET A2.2.

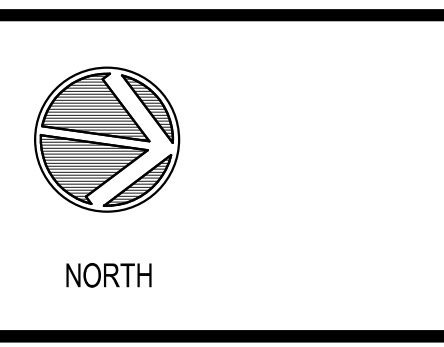


Architect of Record:
 BRR Architecture, Inc.
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HY-VEE INC.
 5820 WESTTOWN PARKWAY
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 TEL: (515) 281-2800
 FAX: (515) 281-2838

LOCATION
 LEE'S SUMMIT, MO #2
 HyVee
 EMPLOYEE OWNED

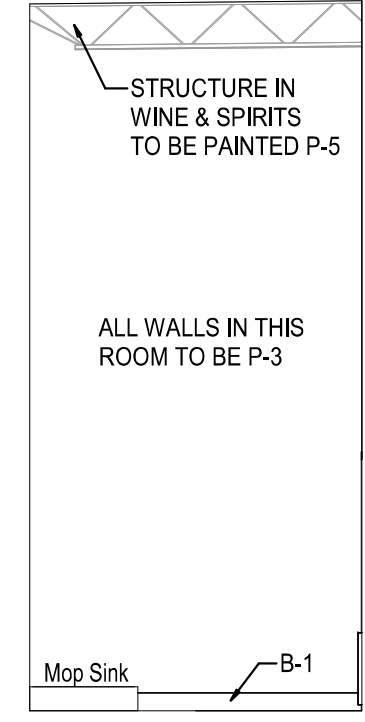


ENLARGED PLAN & ELEVATIONS - FLORAL

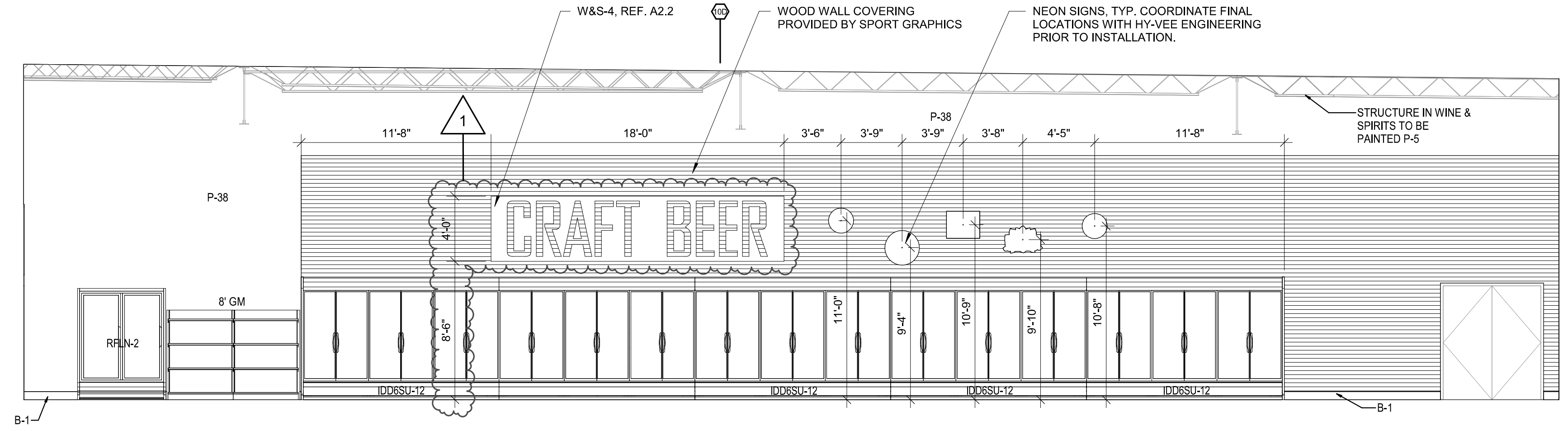
PROJECT MANAGER	CHECKED BY
SB	JPS
DRAWN BY:	DATE
AO	10/20/2020
SCALE	JOB NUMBER
As indicated	62930547

SHEET
 A3.10

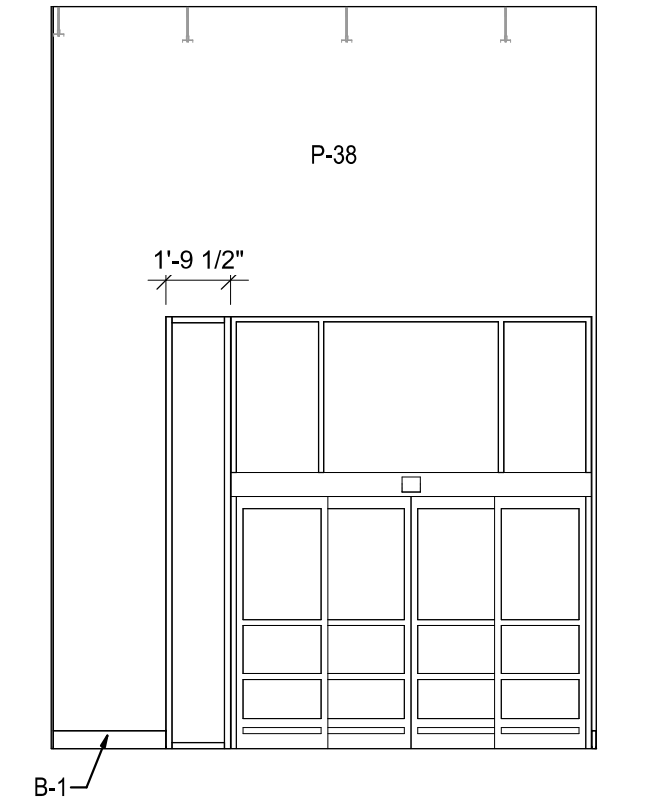
GENERAL NOTES
 FOR FINISH SCHEDULE SEE SHEET A2.2.



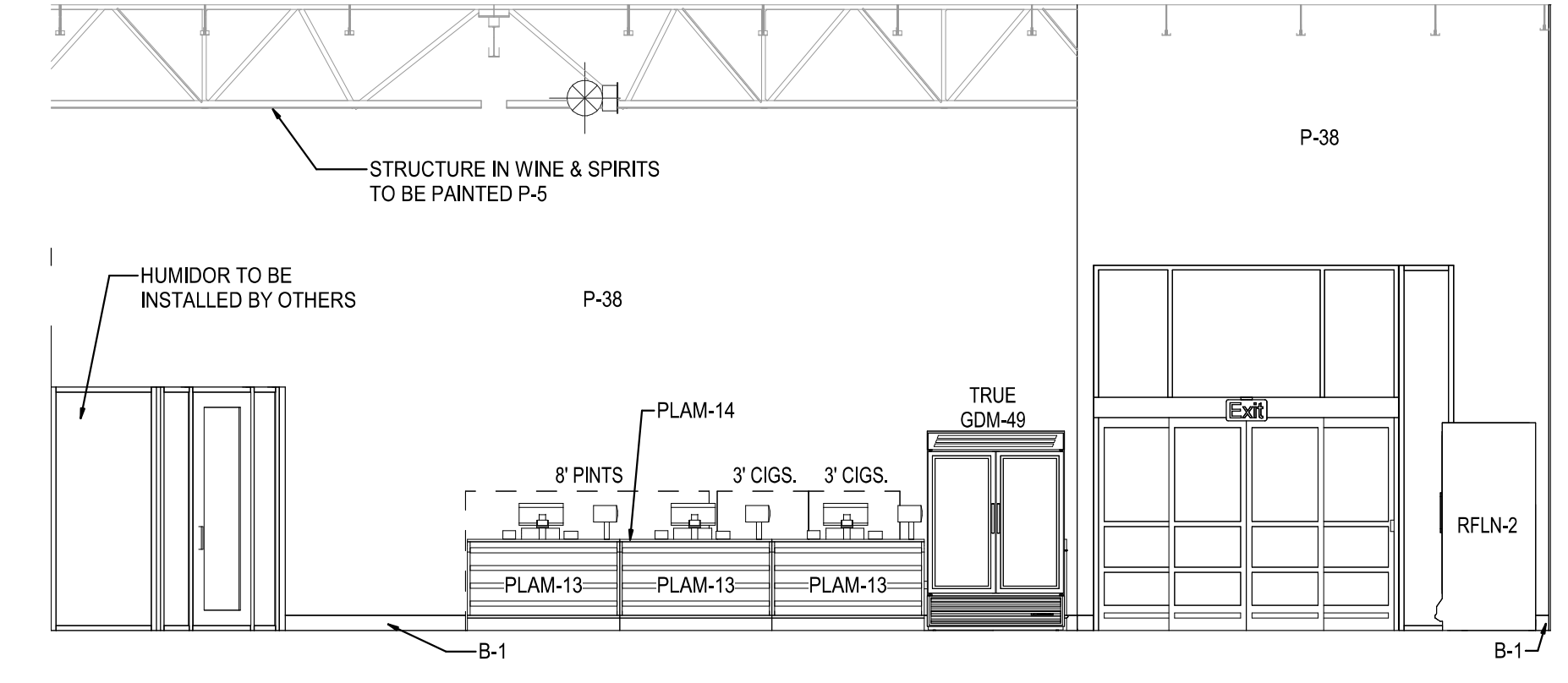
6 ELEVATION
 SCALE: 3/16" = 1'-0"



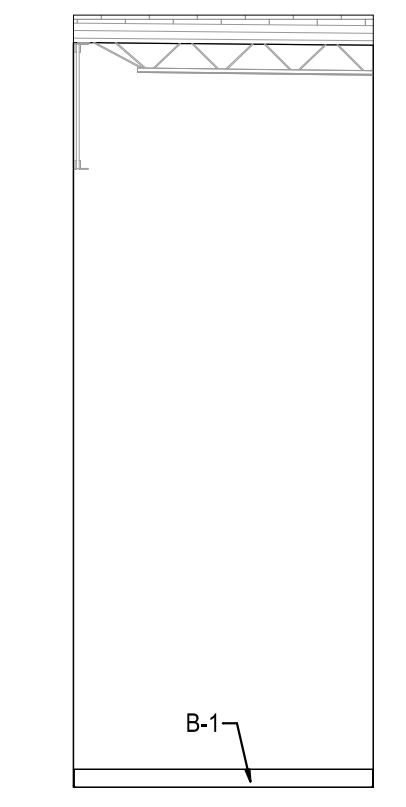
5 ELEVATION
 SCALE: 3/16" = 1'-0"



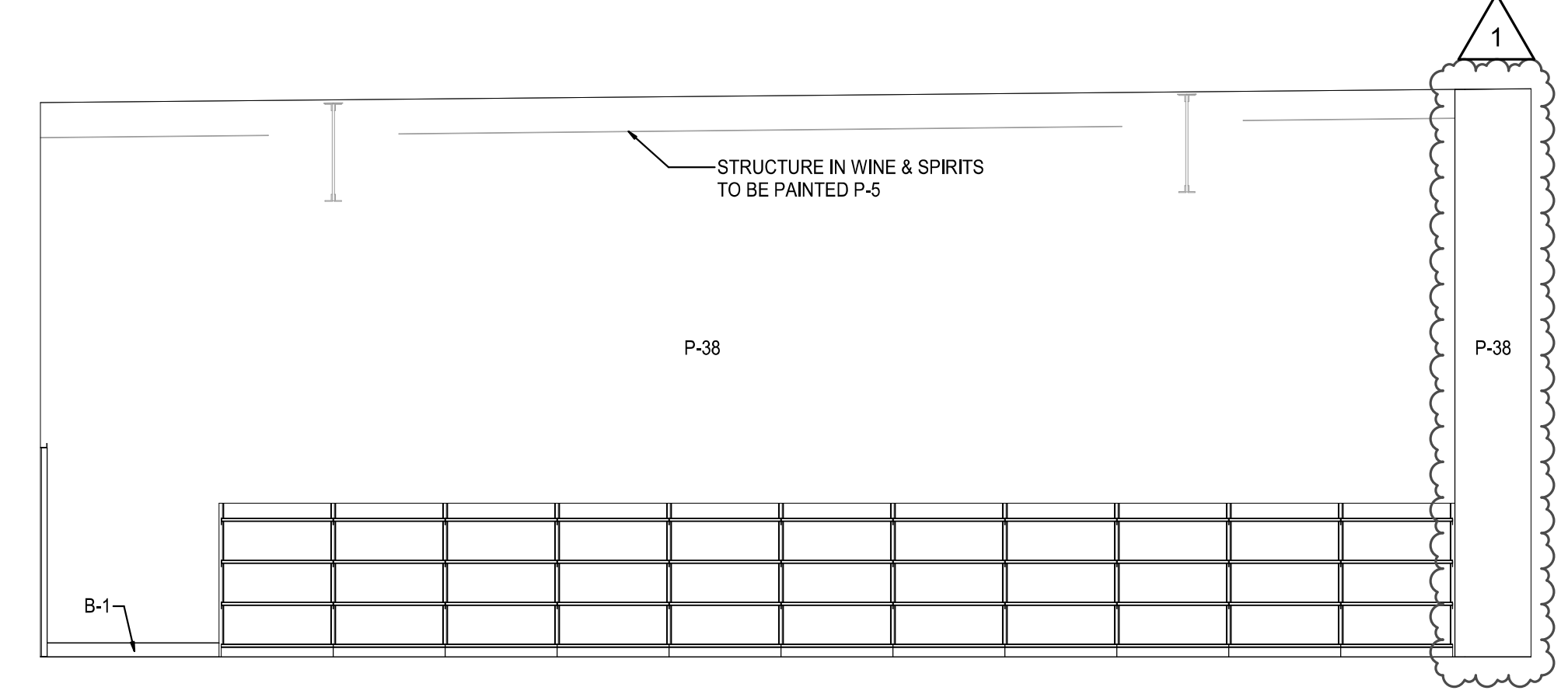
9 ELEVATION
 SCALE: 3/16" = 1'-0"



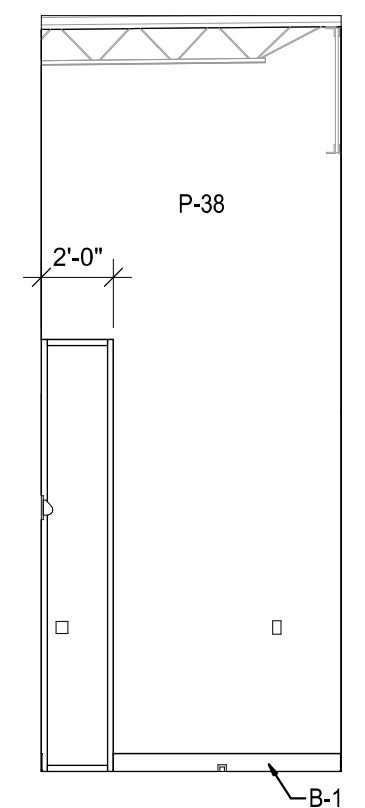
4 ELEVATION
 SCALE: 3/16" = 1'-0"



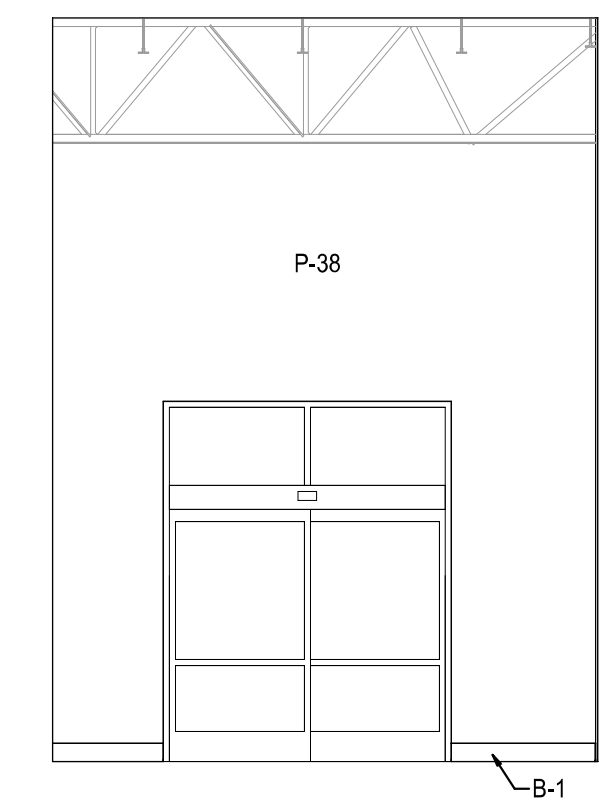
8 ELEVATION
 SCALE: 3/16" = 1'-0"



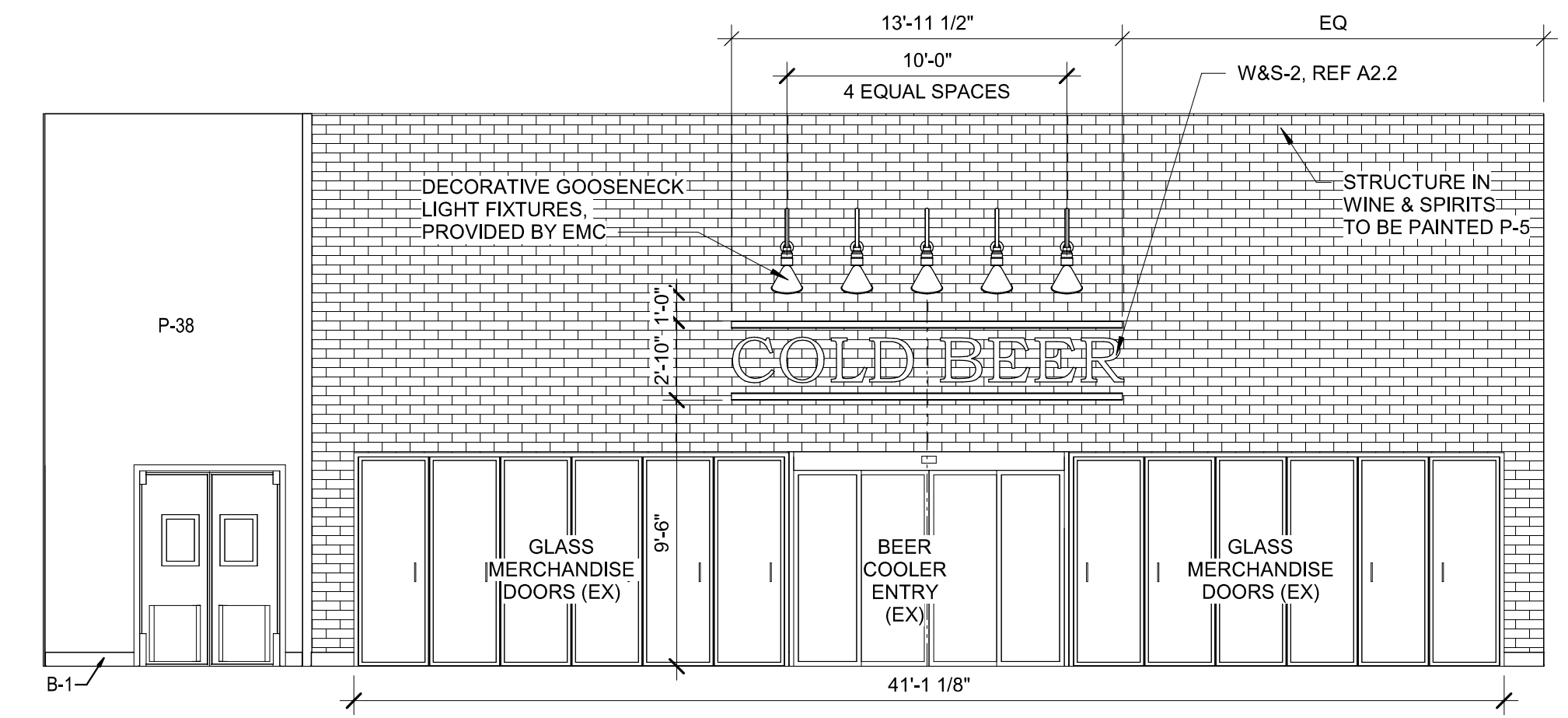
3 ELEVATION
 SCALE: 3/16" = 1'-0"



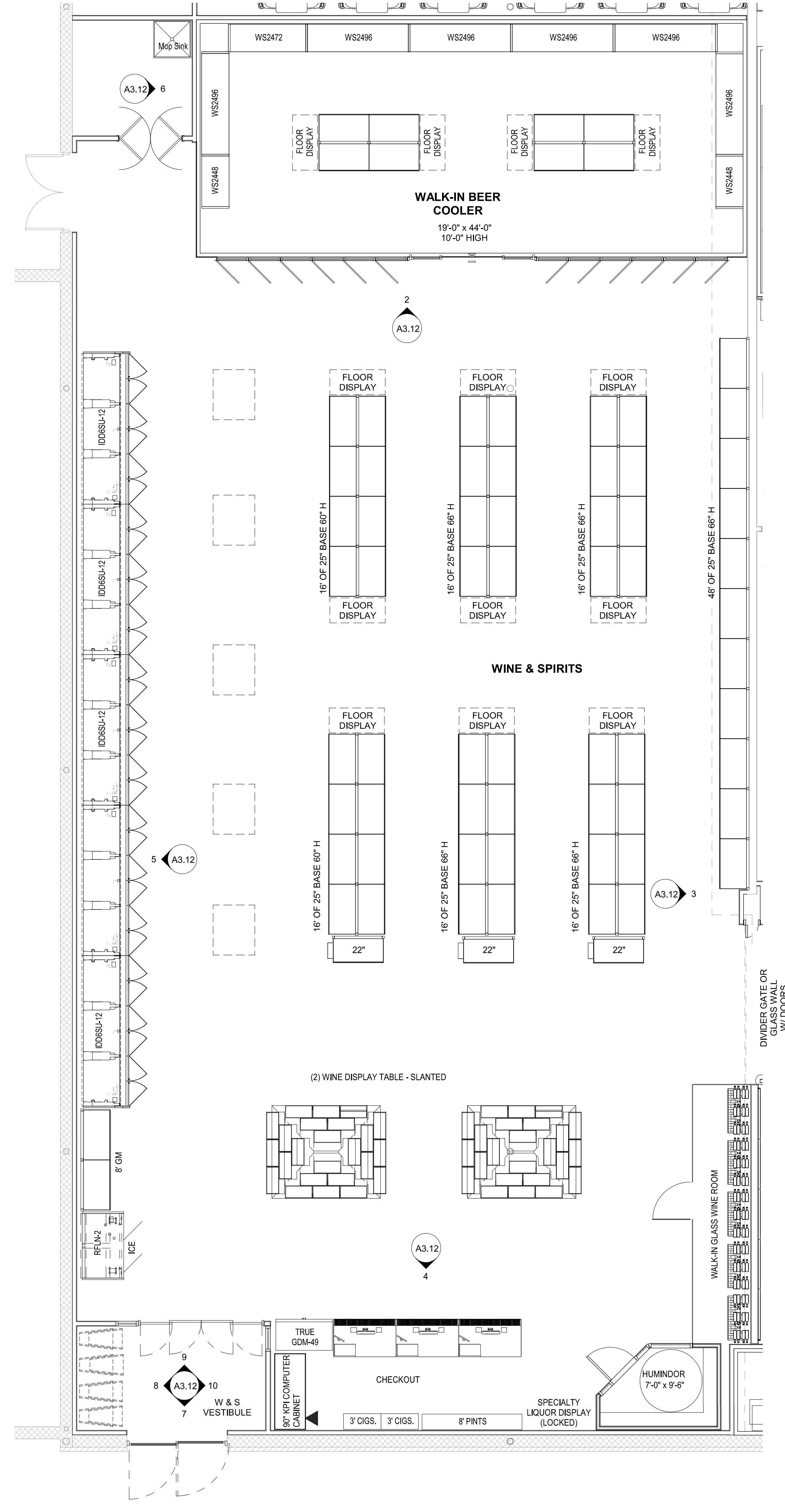
10 ELEVATION
 SCALE: 3/16" = 1'-0"



7 ELEVATION
 SCALE: 3/16" = 1'-0"



2 ELEVATION
 SCALE: 3/16" = 1'-0"

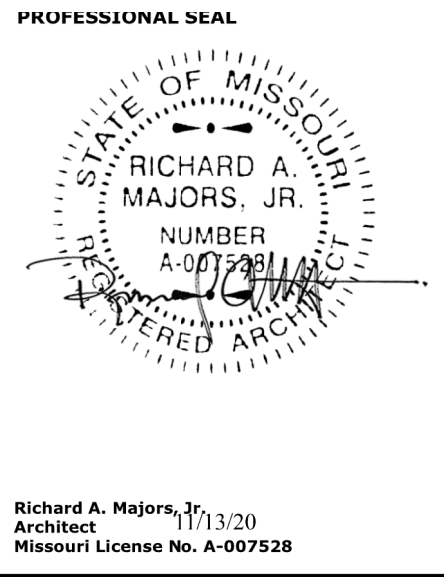


1 PARTIAL FLOOR PLAN - WINE & SPIRITS
 SCALE: 3/16" = 1'-0"

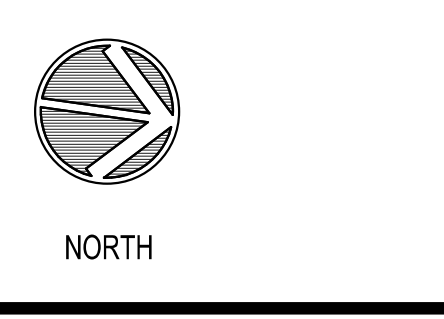
11/12/2020 11:38:46 AM



Architect of Record:
BRB Architecture, Inc.
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 Overland Park, KS 66204
 Phoenix 300
 San Francisco
 Philadelphia
 Atlanta Tel: 913-262-9095
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LOCATION
LEE'S SUMMIT, MO #2
 HY-VEE, INC.
 5820 WESTTOWN PARKWAY
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 TEL: (515) 281-2800
 FAX: (515) 281-2838
HyVee
 EMPLOYEE OWNED



ENLARGED PLAN & ELEVATIONS - WINE & SPIRITS

PROJECT MANAGER SB	CHECKED BY JPS
DRAWN BY JAP	DATE 10/20/2020
SCALE As indicated	JOB NUMBER 62930547

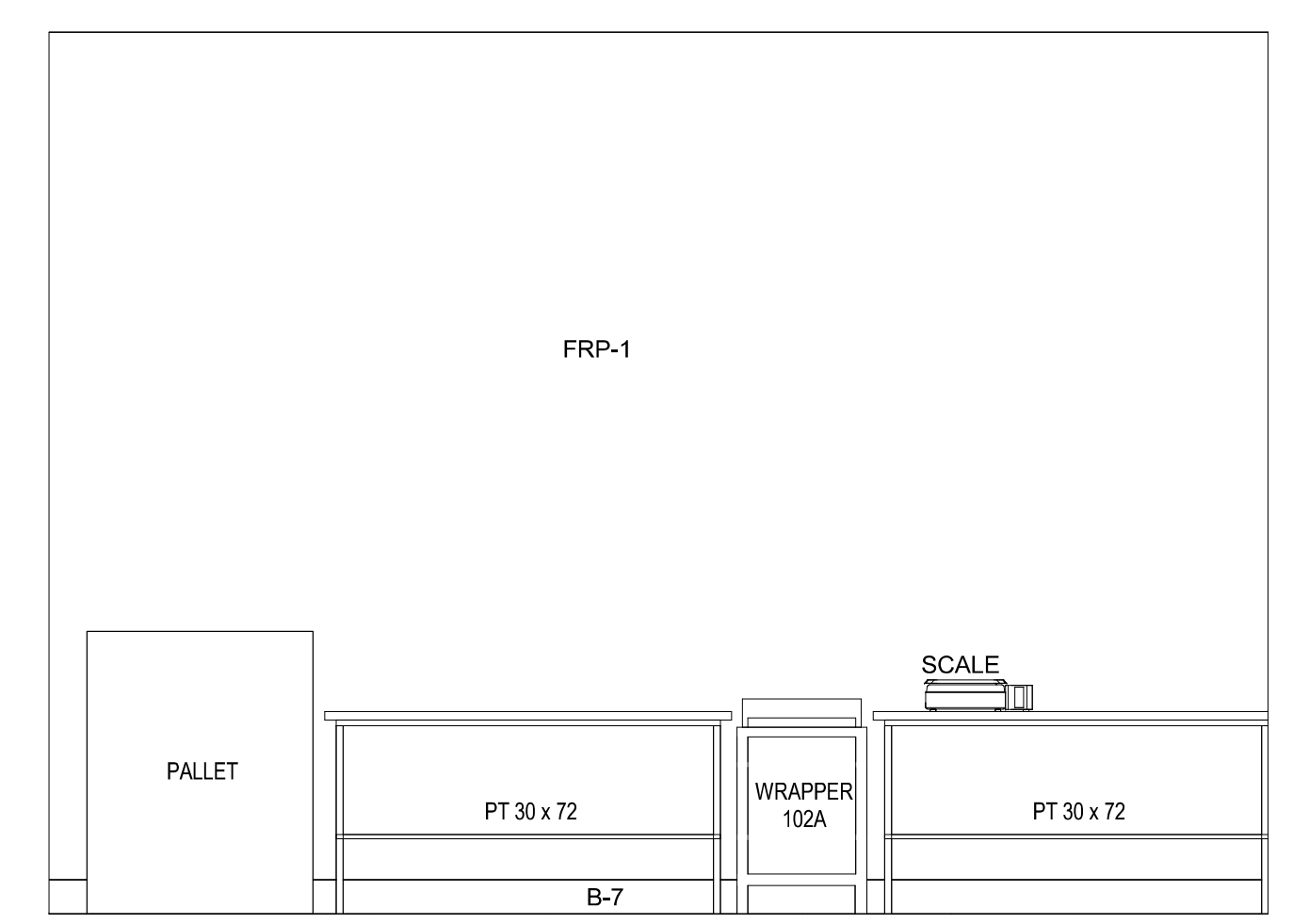
SHEET
A3.12

GENERAL NOTES

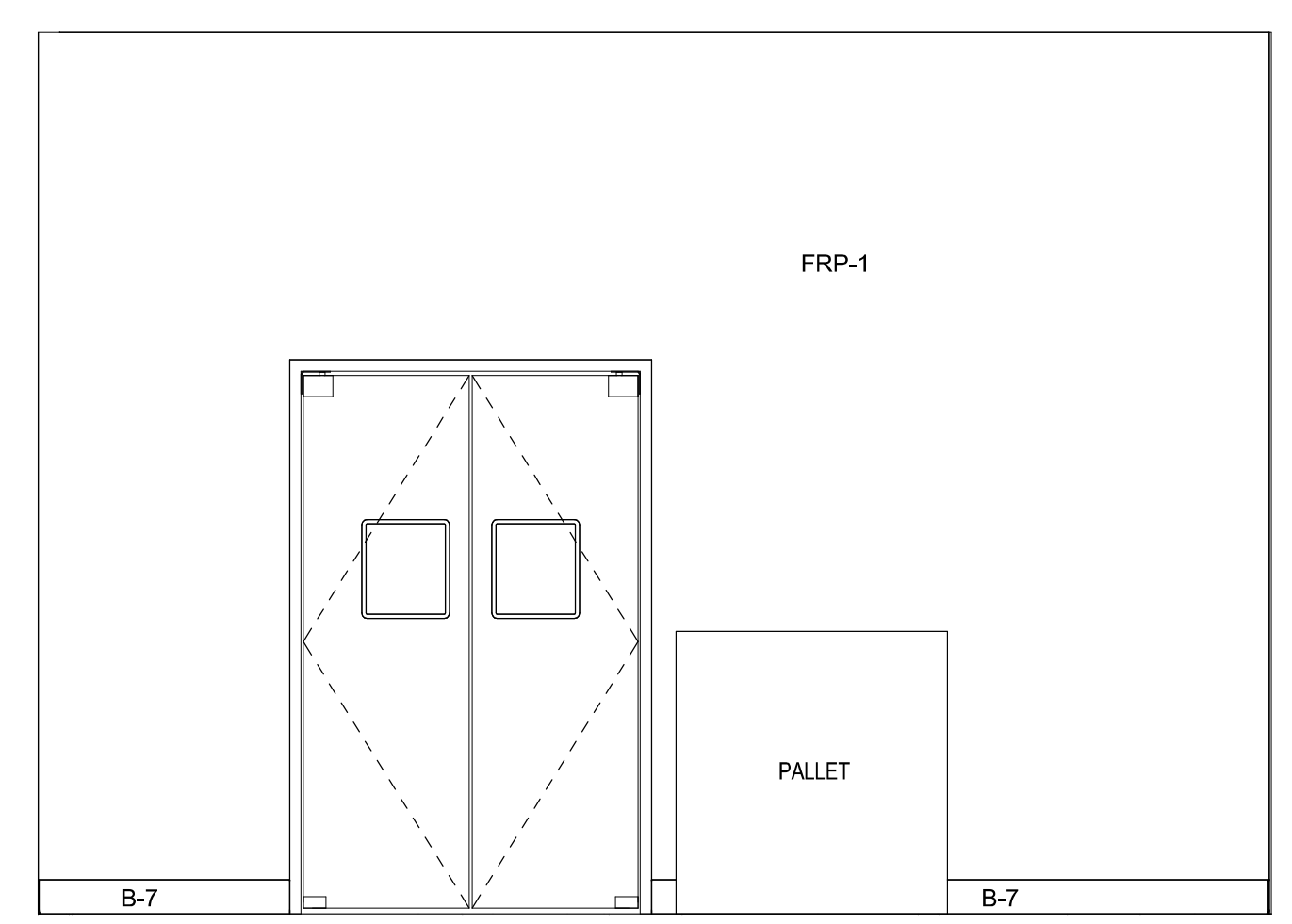
NOTES:
 SEE SHEET A2.2 FOR FINISH SCHEDULE.
 TILED WALLS:
 DO NOT CUT TILE AT BASE OF WALL. THE INTENT IS FOR THE WALLS TO ACCOMMODATE FULL TILES ABOVE 6" EPOXY BASE. (SEE EXACT DIMENSION ON ELEVATION 2)
 DO NOT CUT T-26 TILE WIDTH ON ELEV 2 & 4. THE INTENT IS FOR THE TILE PORTION OF THE WALL TO BE THE WIDTH NEEDED TO INSTALL THE NUMBER OF FULL TILES SHOWN ON THE ELEV.
 ***NOTE: INSTALL SCHLUTER-RONDEC SATIN ANODIZED ALUMINUM RO 80A STRIP ON ALL OUTSIDE CORNERS WITH CERAMIC TILE.



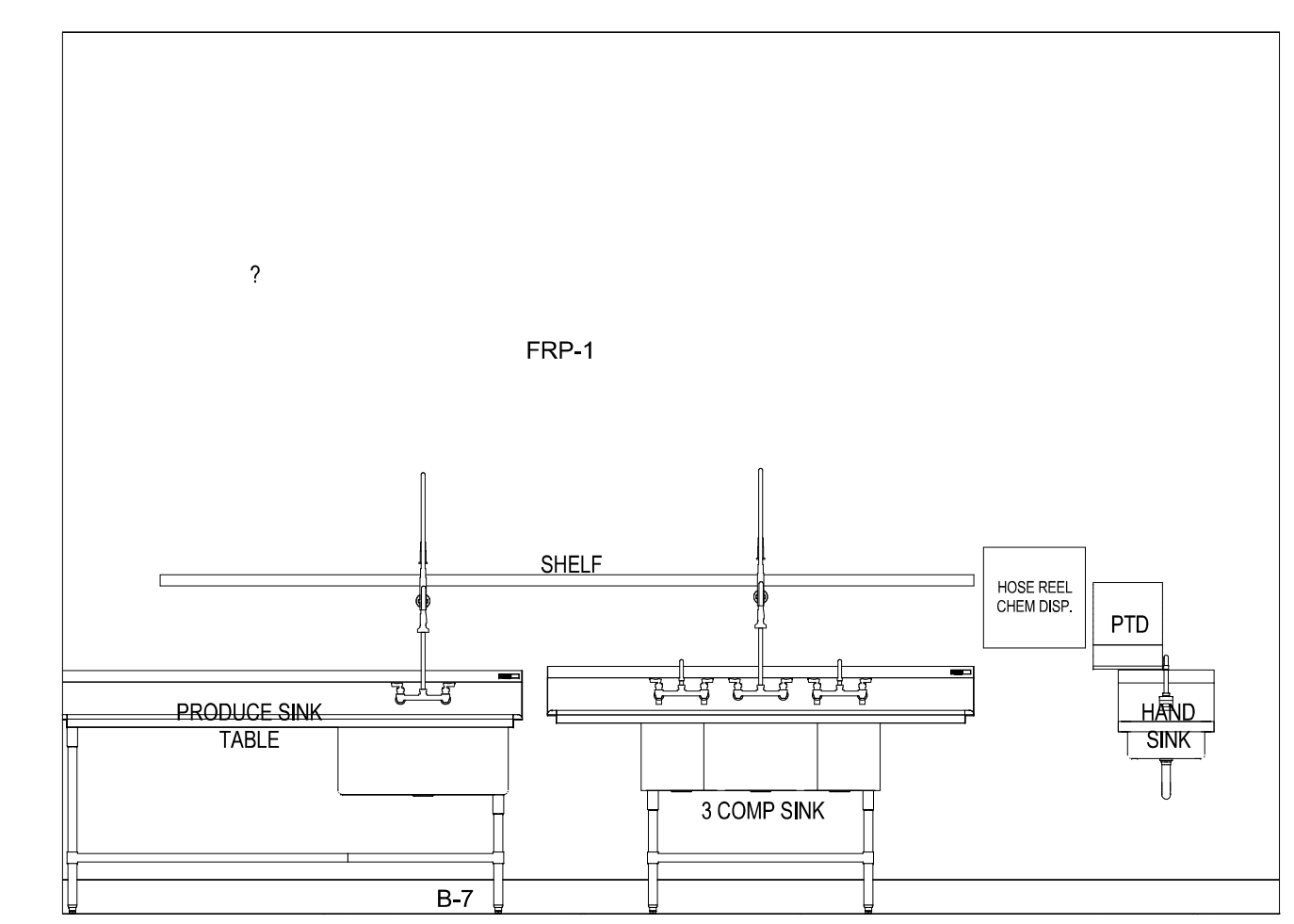
5 ELEVATION
 SCALE: 3/8" = 1'-0"



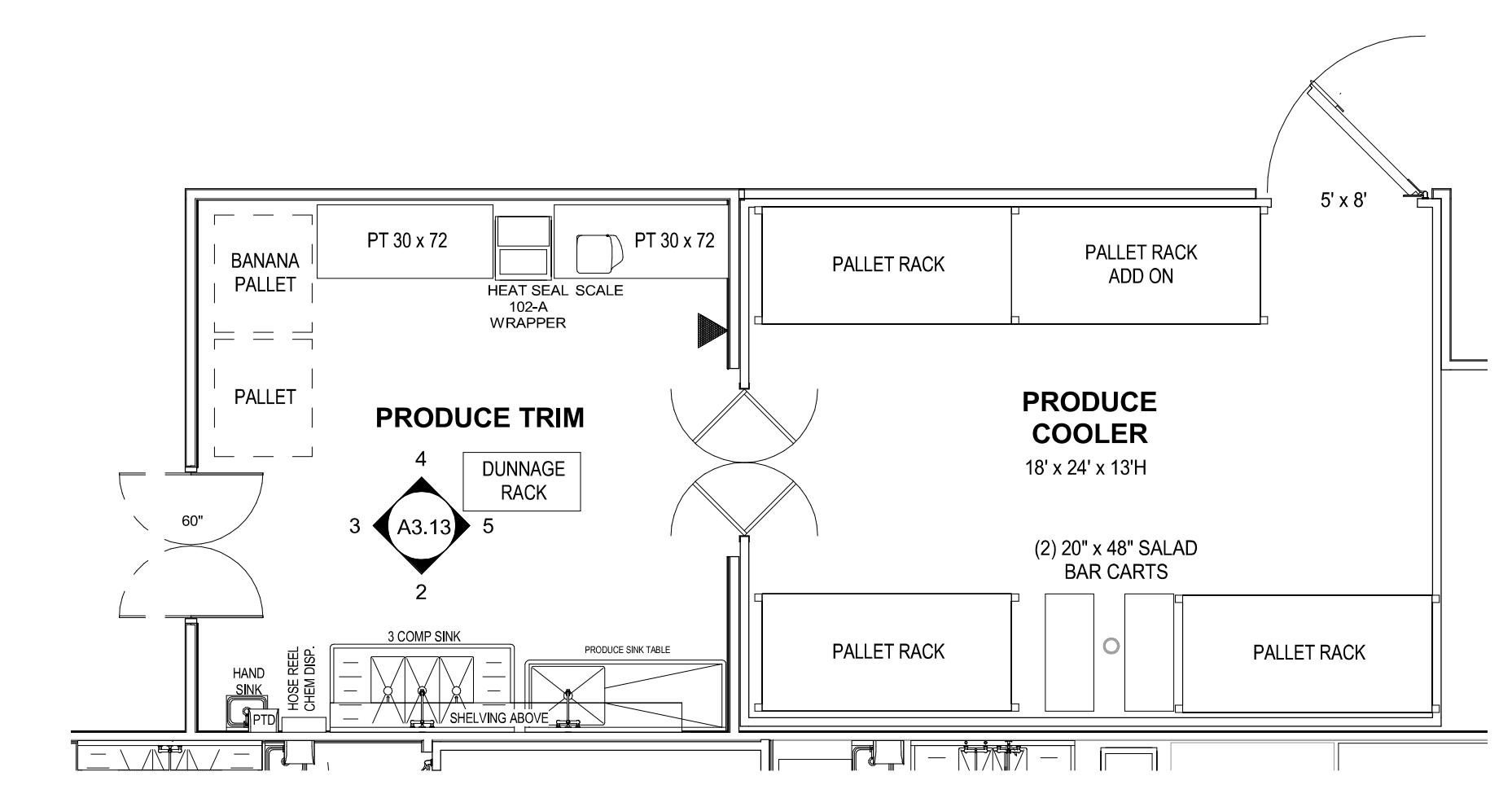
4 ELEVATION
 SCALE: 3/8" = 1'-0"



3 ELEVATION
 SCALE: 3/8" = 1'-0"



2 ELEVATION
 SCALE: 3/8" = 1'-0"



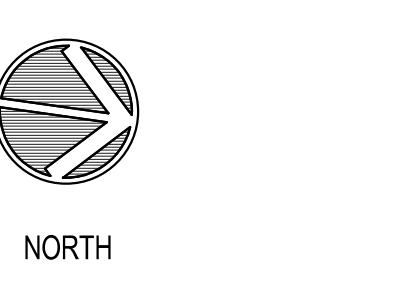
1 PARTIAL FLOOR PLAN - PRODUCE PREP
 SCALE: 3/16" = 1'-0"



Architect of Record:
 BRR Architecture, Inc.
 Kansas City 833 Metcalf Avenue
 Phoenix Suite 300
 San Francisco Overland Park, KS 66204
 Indianapolis
 Atlanta Tel: 913-262-9095
 Houston Fax: 913-262-9044
 Los Angeles
 Chicago



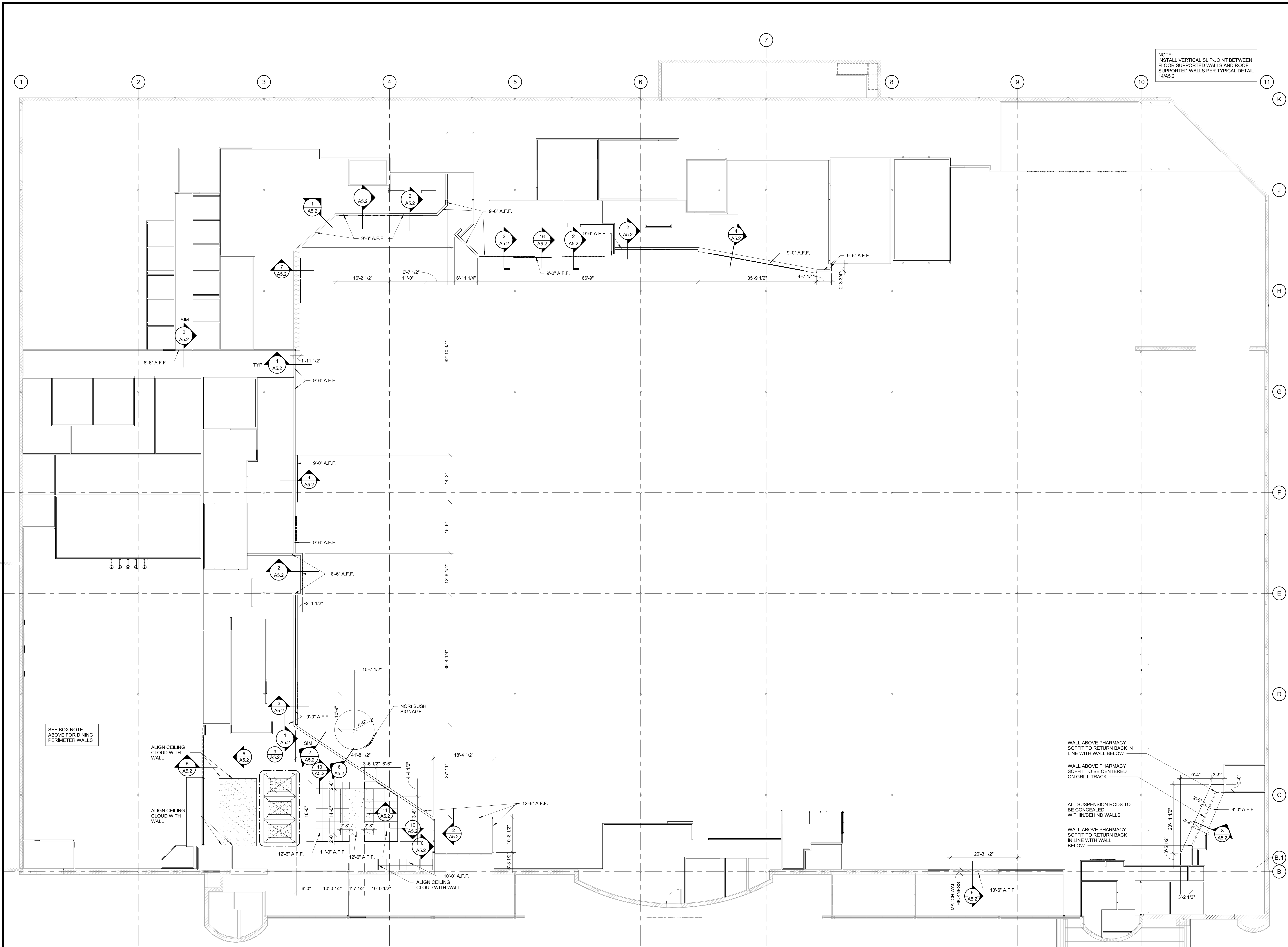
LOCATION
LEE'S SUMMIT, MO #2
 HY-VEE, INC.
 5820 WESTTOWN PARKWAY
 WEST DES MOINES, IOWA 50386
 TEL: (515) 267-2800
 FAX: (515) 267-2838
HyVee
 EMPLOYEE OWNED



ENLARGED PLAN & ELEVATIONS - PRODUCE PREP

PROJECT MANAGER SB	CHECKED BY JPS
DRAWN BY AP	DATE 10/20/2020
SCALE As indicated	JOB NUMBER 62930547

SHEET
A3.13



NOTE:
 INSTALL VERTICAL SLIP-JOINT BETWEEN
 FLOOR SUPPORTED WALLS AND ROOF
 SUPPORTED WALLS PER TYPICAL DETAIL
 14/A5.2.

SEE BOX NOTE
 ABOVE FOR DINING
 PERIMETER WALLS

NOTE:
 IN NEW DINING AREA WHERE THE EXISTING CEILING HAS BEEN
 REMOVED, EXTEND THE 5/8" GYPSUM BOARD WALL FINISH UP ON THE
 DINING PERIMETER WALLS TO THE UNDERSIDE OF THE ROOF DECK
 WHERE IT DOESN'T ALREADY EXTEND UP. ADD FRAMING AS NEEDED
 SO THAT THE PERIMETER DINING WALLS ARE CONTINUOUS FULL
 HEIGHT. ANY EXISTING WALLS TO REMAIN ARE TO BE
 PATCHED/REPAIRED TO LIKE-NEW CONDITION.

WALL ABOVE PHARMACY
 SOFFIT TO RETURN BACK IN
 LINE WITH WALL BELOW

WALL ABOVE PHARMACY
 SOFFIT TO BE CENTERED
 ON GRILL TRACK

ALL SUSPENSION RODS TO
 BE CONCEALED
 WITHIN/BEHIND WALLS

WALL ABOVE PHARMACY
 SOFFIT TO RETURN BACK
 IN LINE WITH WALL
 BELOW

**DIMENSIONED
 BULKHEAD PLAN**
 SCALE: 3/32" = 1'-0"

brr

Architect of Record:
 BRR Architecture, Inc.
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 San Francisco Overland Park, KS 66204
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 Atlanta Tel: 913-262-9095
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 Los Angeles
 Chicago

PROFESSIONAL SEAL

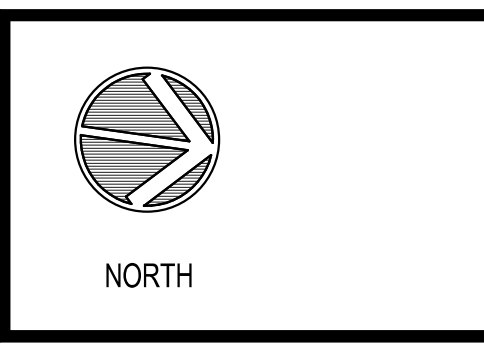
RICHARD A. MAJORS, JR.
 ARCHITECT
 NUMBER 4-07728
 STATE OF MISSOURI
 REGISTERED ARCHITECT

Richard A. Majors, Jr.
 Architect
 Missouri License No. A-007528

LOCATION
LEE'S SUMMIT, MO #2

HY-VEE INC.
 5820 WESTOWN PARKWAY
 WEST DES MOINES, IOWA 50386
 TEL: (515) 281-2800
 FAX: (515) 281-2838

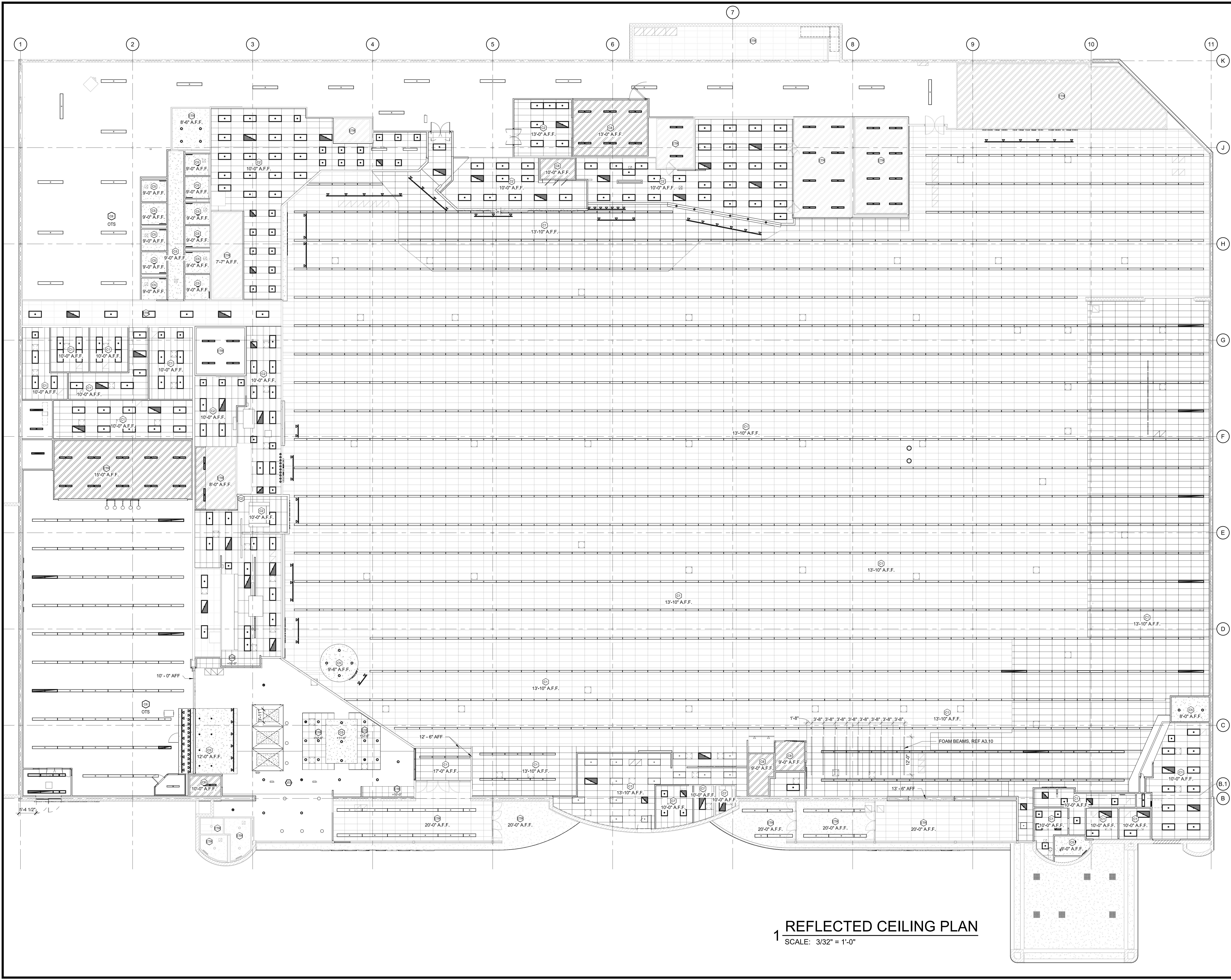
HyVee
 EMPLOYEE OWNED



**DIMENSIONED
 BULKHEAD PLAN**

PROJECT MANAGER SB	CHECKED BY JPS
DRAWN BY SB	DATE 10/20/2020
SCALE 3/32" = 1'-0"	JOB NUMBER 62930547

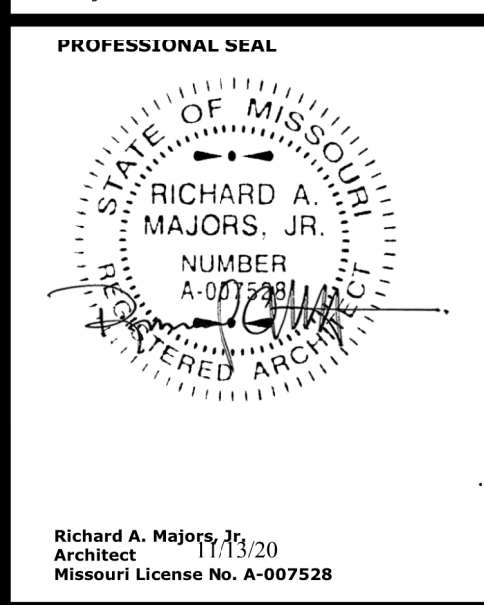
SHEET
A5.0



1 REFLECTED CEILING PLAN
 SCALE: 3/32" = 1'-0"

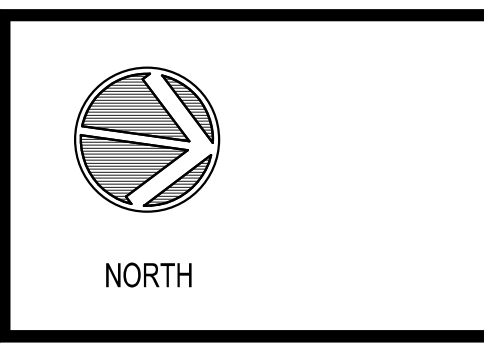


Architect of Record:
 BRR Architecture, Inc.
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Richard A. Majors, Jr.
 Architect 11/15/20
 Missouri License No. A-072812

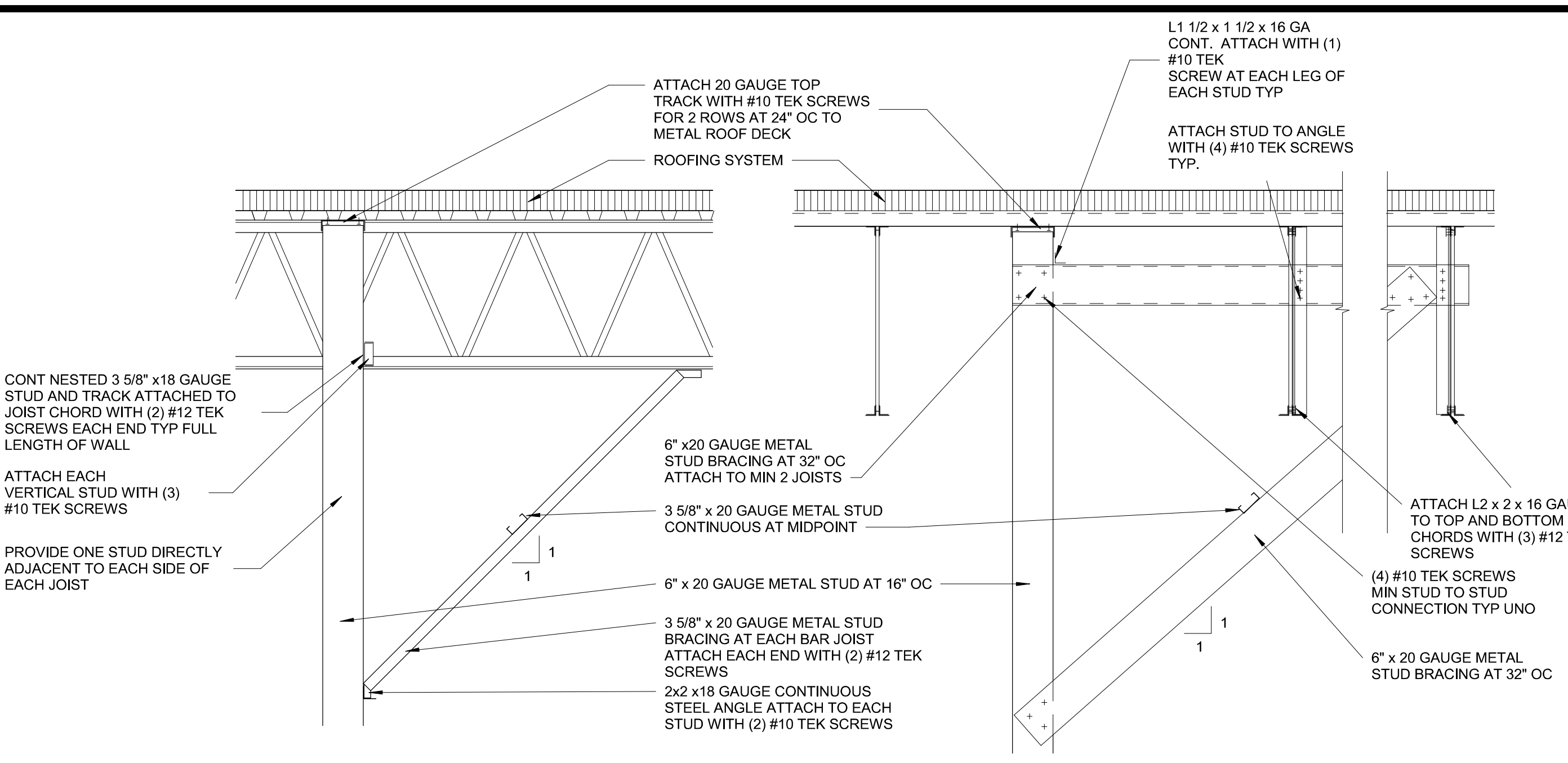
LOCATION
LEE'S SUMMIT, MO #2
 HY-VEE INC.
 5820 WESTTOWN PARKWAY
 WEST DES MOINES, IOWA 50386
 TEL: (515) 281-2600
 FAX: (515) 261-2636
HyVee
 EMPLOYEE OWNED



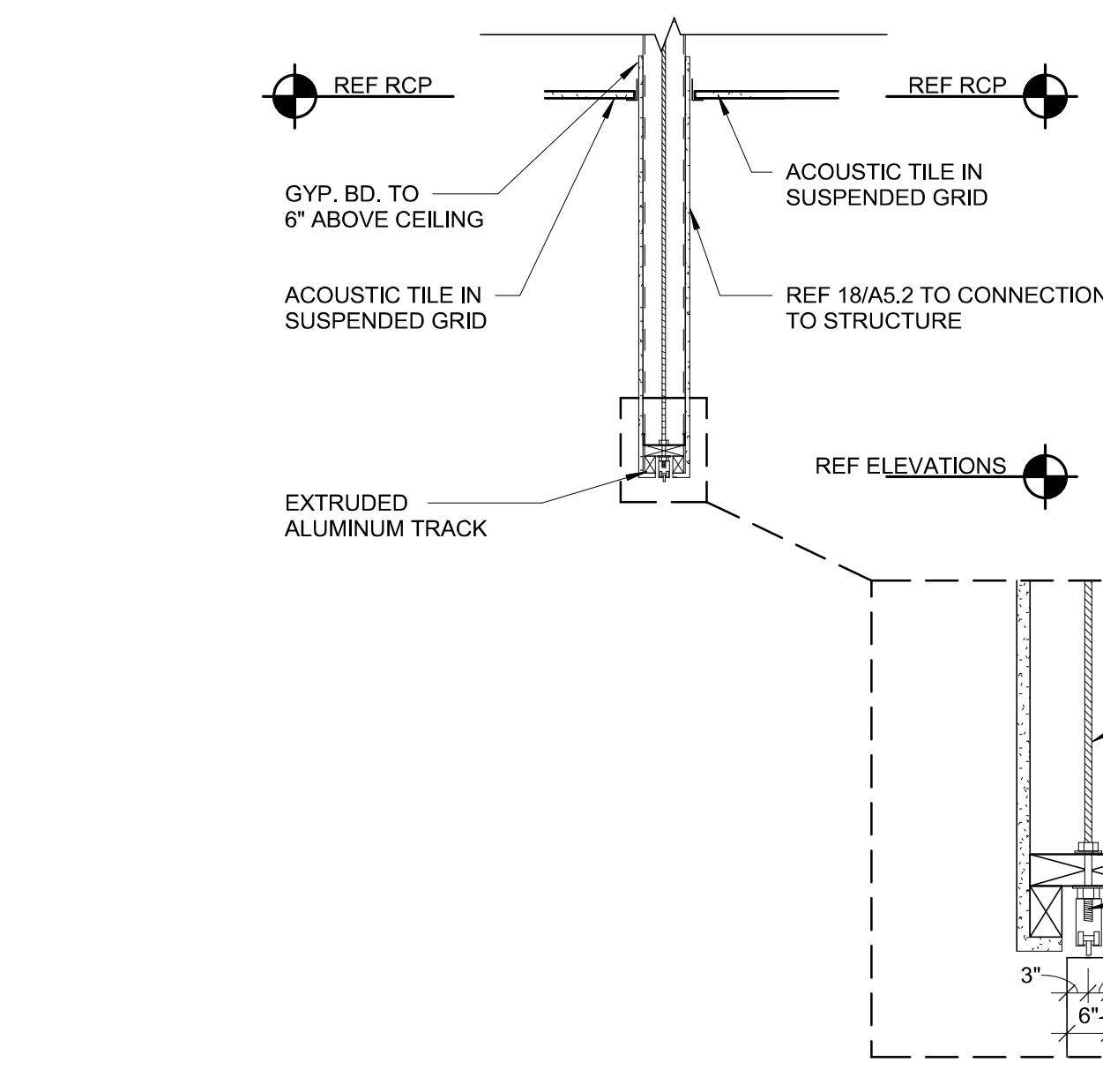
REFLECTED
 CEILING PLAN

PROJECT MANAGER	CHECKED BY
SB	JPS
DRAWN BY:	DATE:
AO	10/20/2020
SCALE:	JOB NUMBER:
3/32" = 1'-0"	62930547

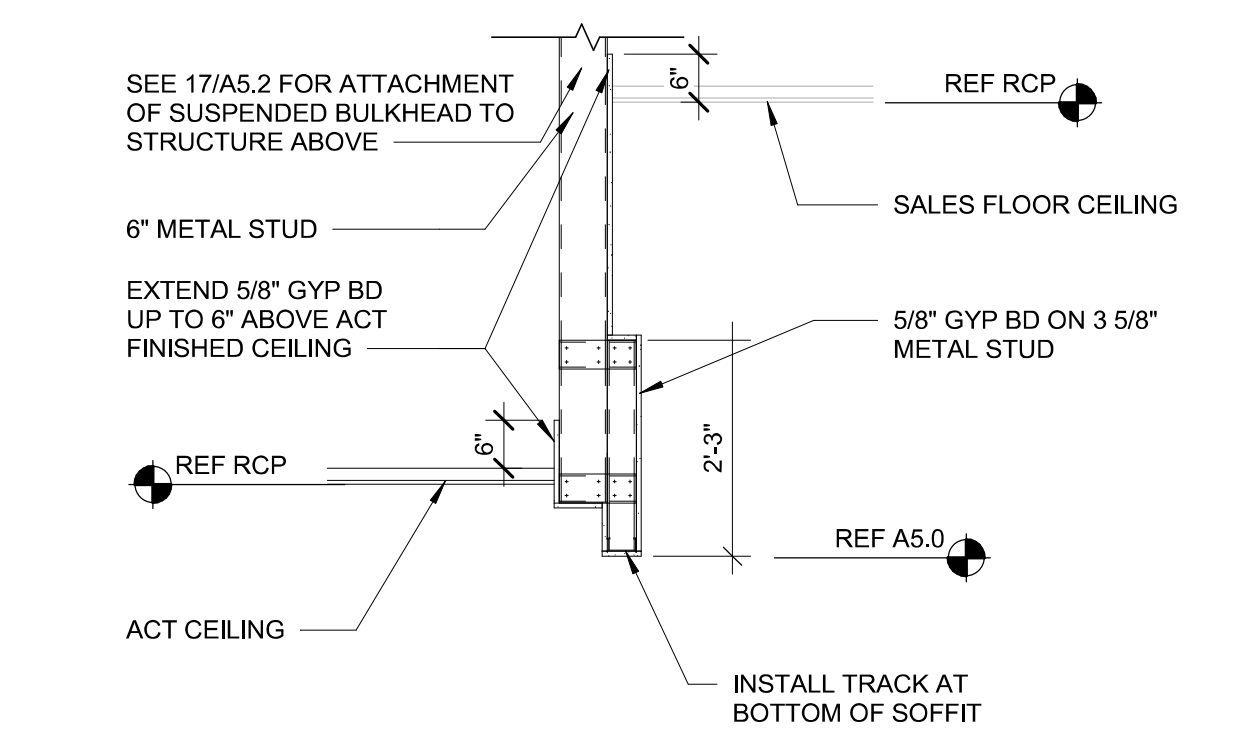
SHEET
A5.1



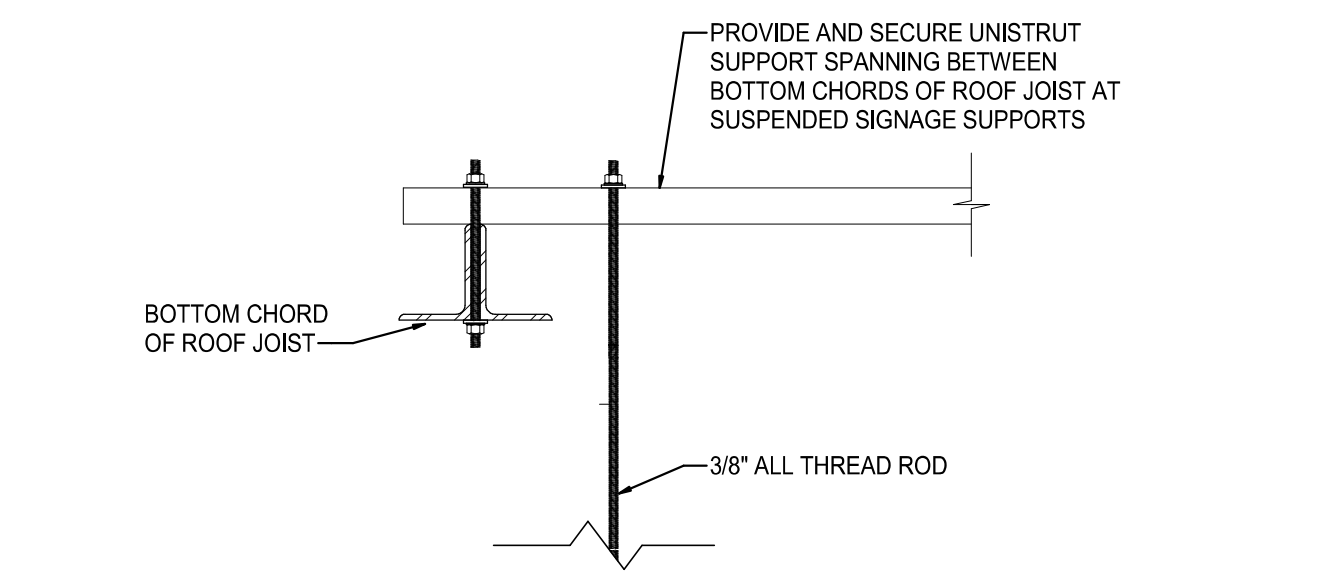
17 TYPICAL BULKHEAD CONNECTIONS
SCALE: 1/2" = 1'-0"



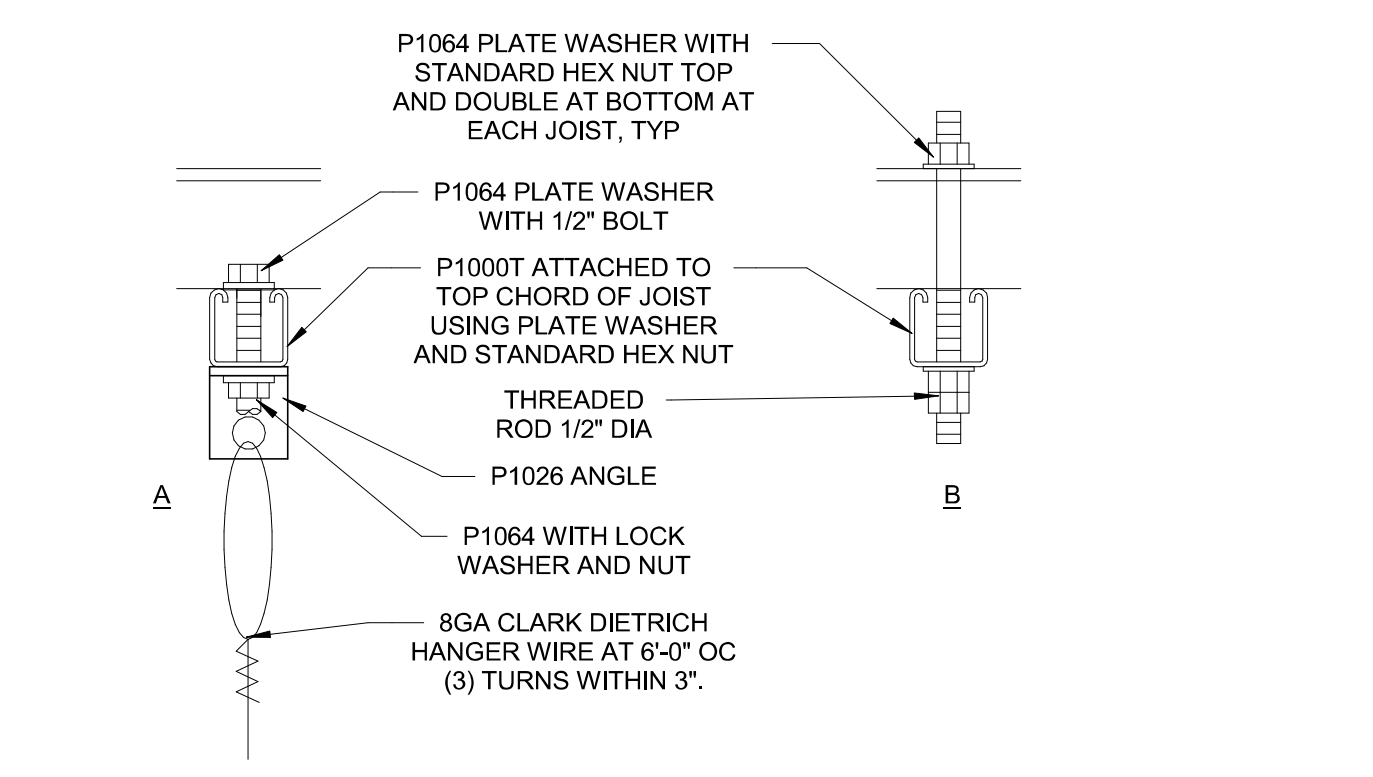
16 BULKHEAD SECTION AT WINE AND SPIRITS
SCALE: 1/2" = 1'-0"



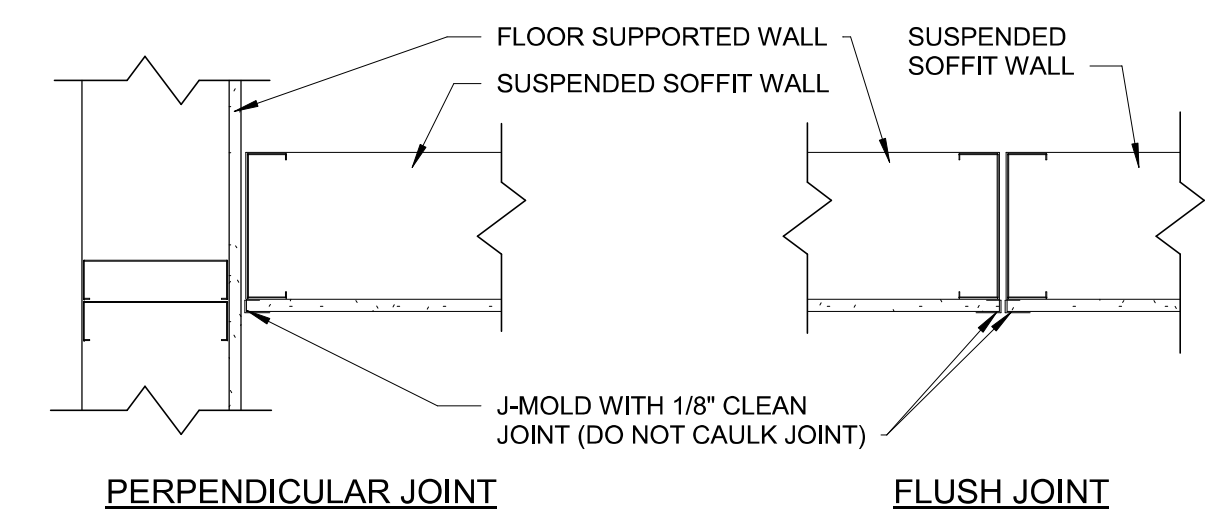
15 BULKHEAD SECTION
SCALE: 1/2" = 1'-0"



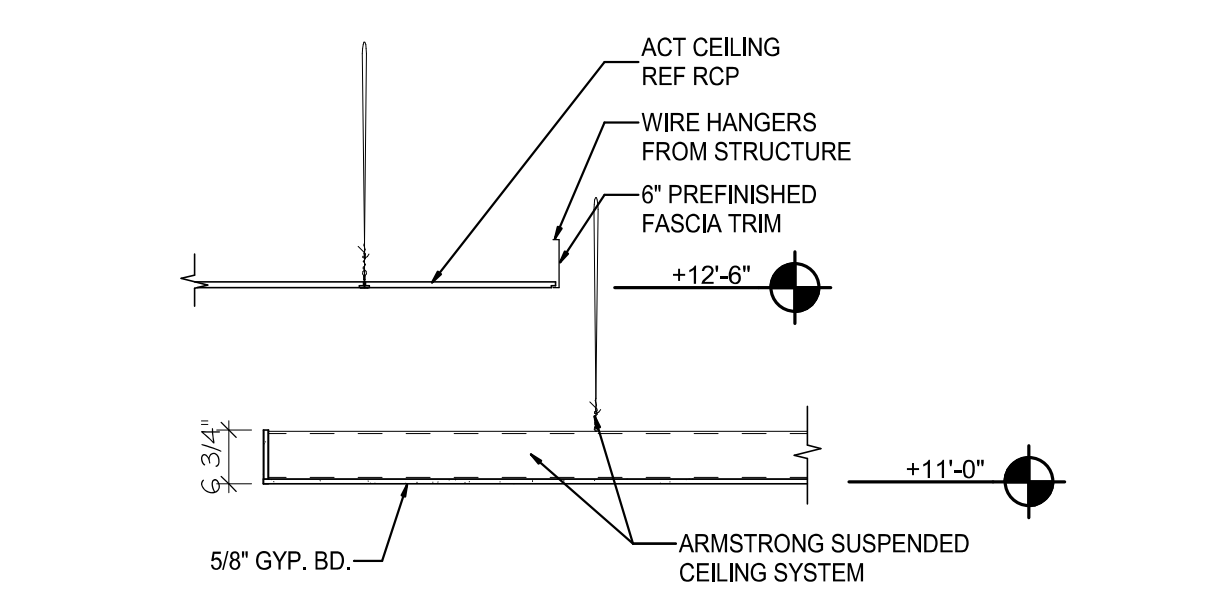
14 SIGNAGE SUPPORT DETAIL
SCALE: 1 1/2" = 1'-0"



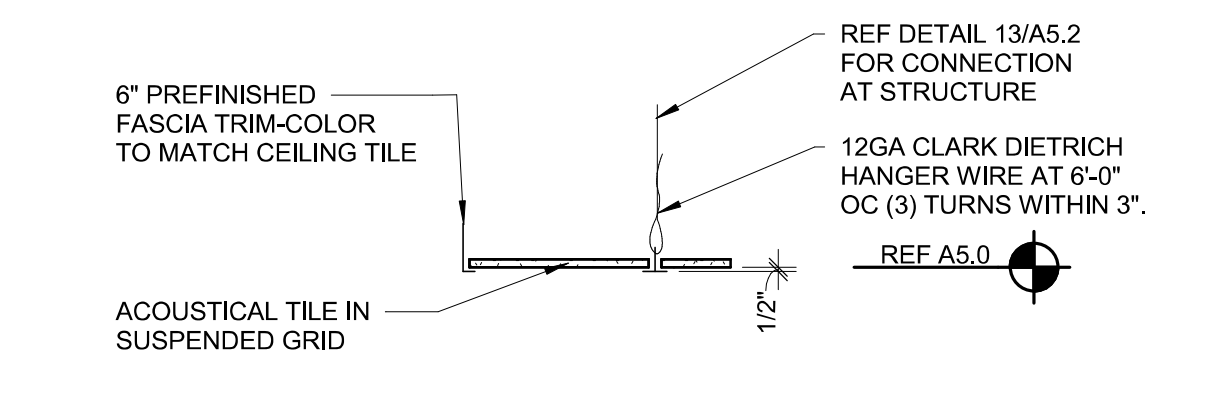
13 CONNECTION AT STRUCTURE
SCALE: 3" = 1'-0"



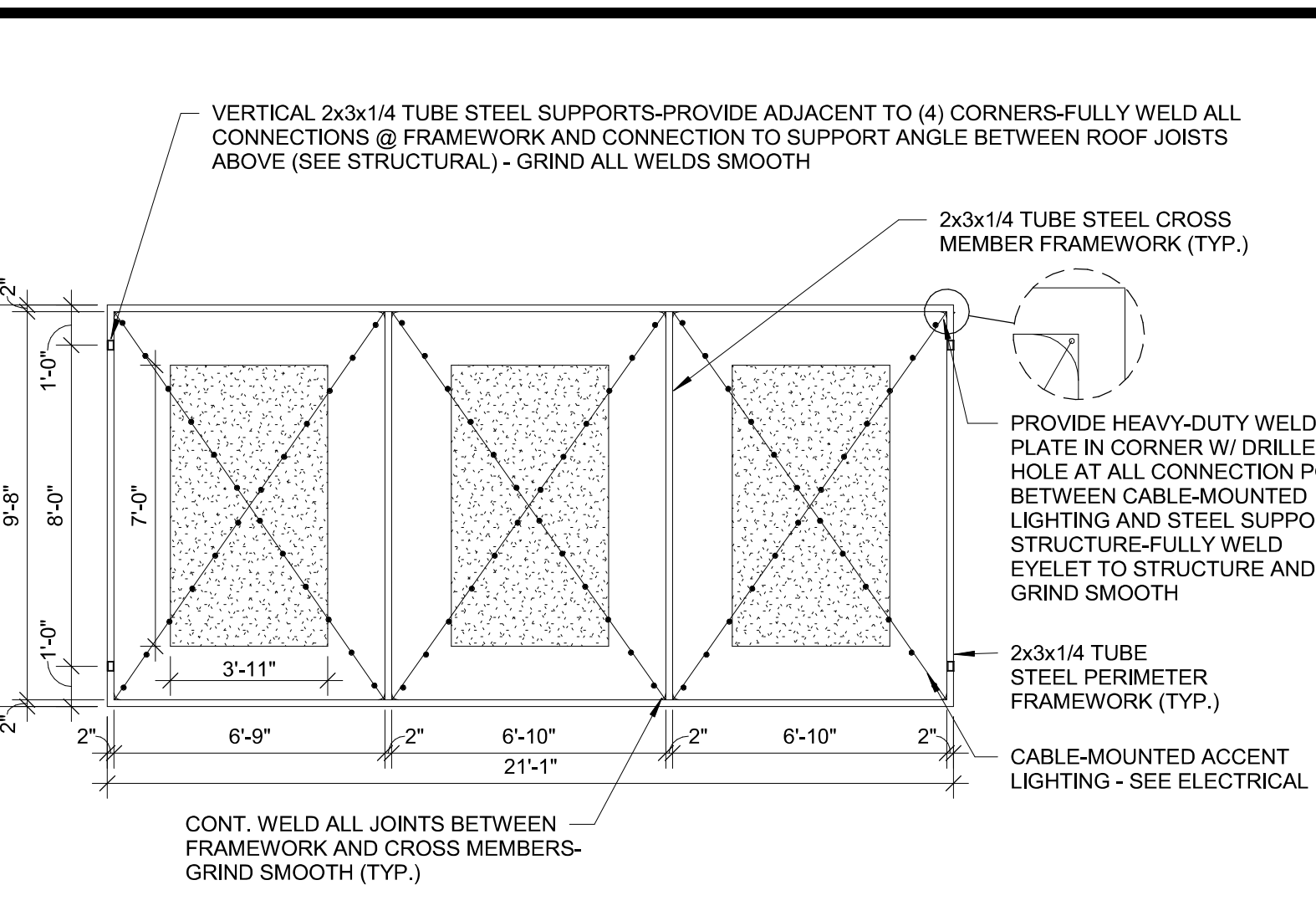
12 TYPICAL SLIP-JOINT DETAIL
SCALE: 1 1/2" = 1'-0"



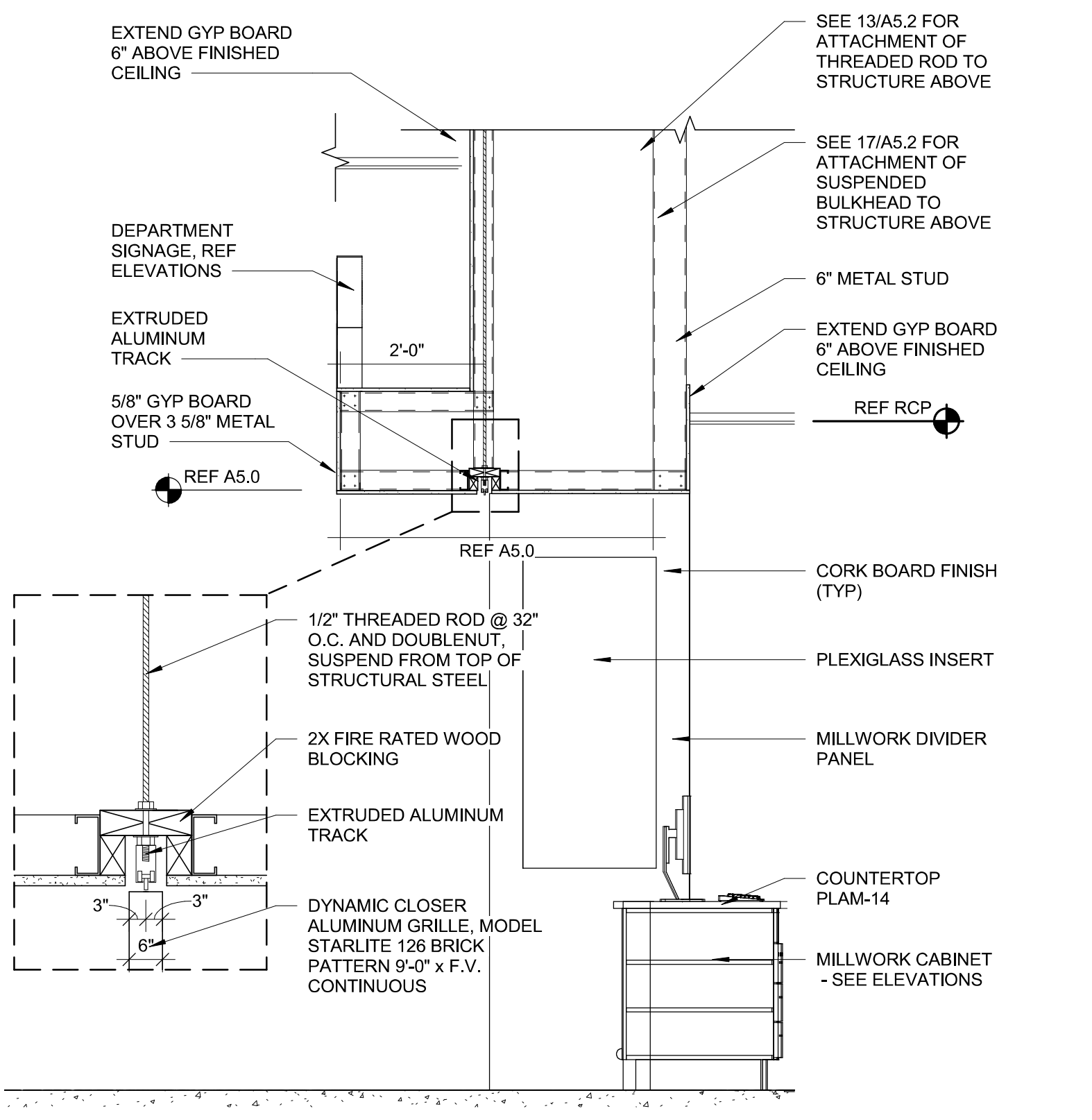
11 CLOUD SECTION
SCALE: 1/2" = 1'-0"



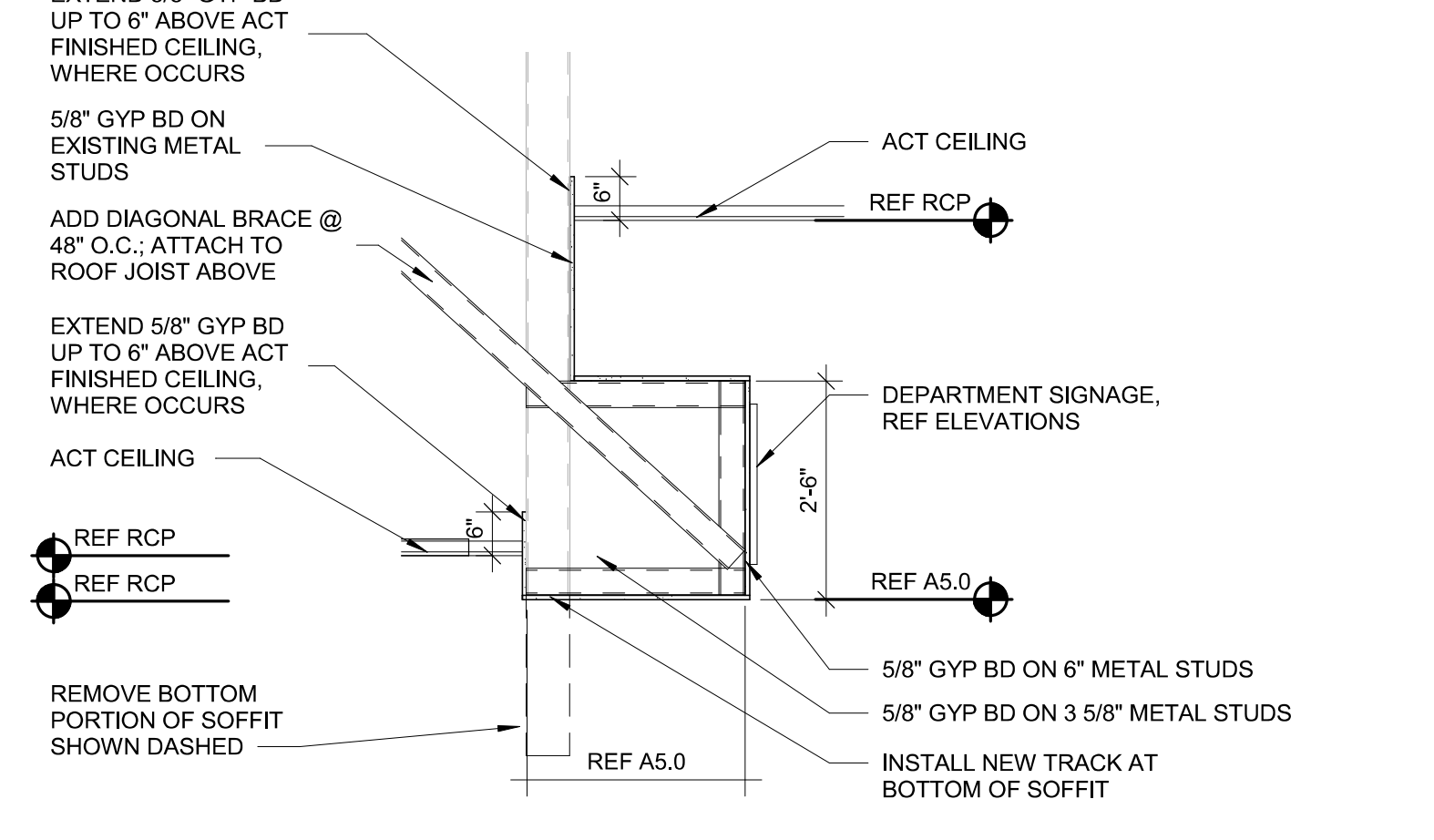
10 CLOUD AT ACT CEILING
SCALE: 1/2" = 1'-0"



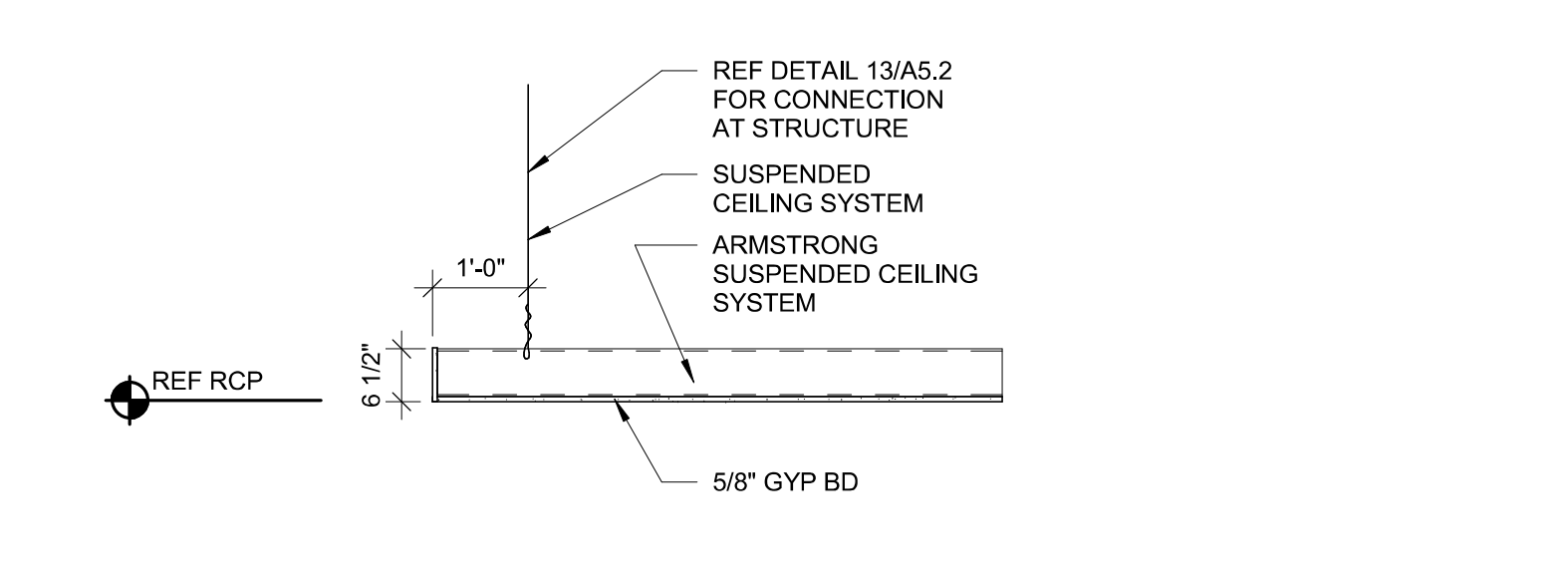
9 BAR/DINING AREA LIGHTING FRAMEWORK DETAIL
SCALE: 1/4" = 1'-0"



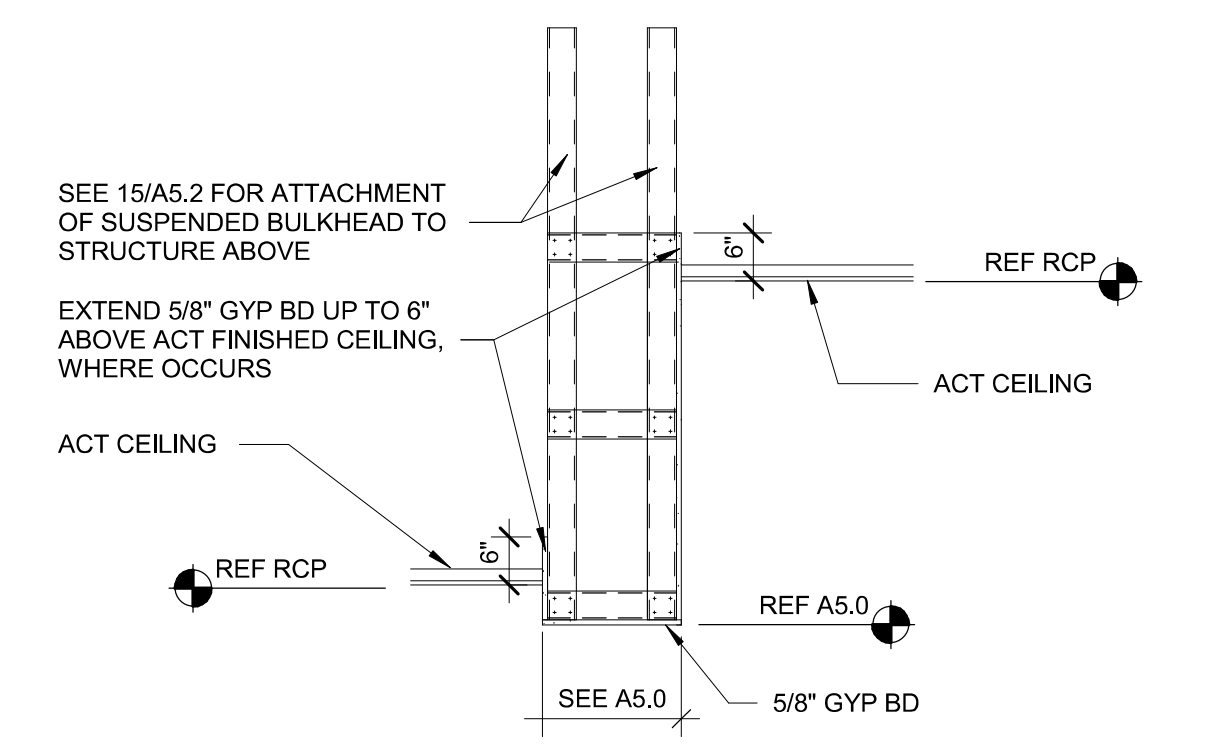
8 BULKHEAD SECTION
SCALE: 1/2" = 1'-0"



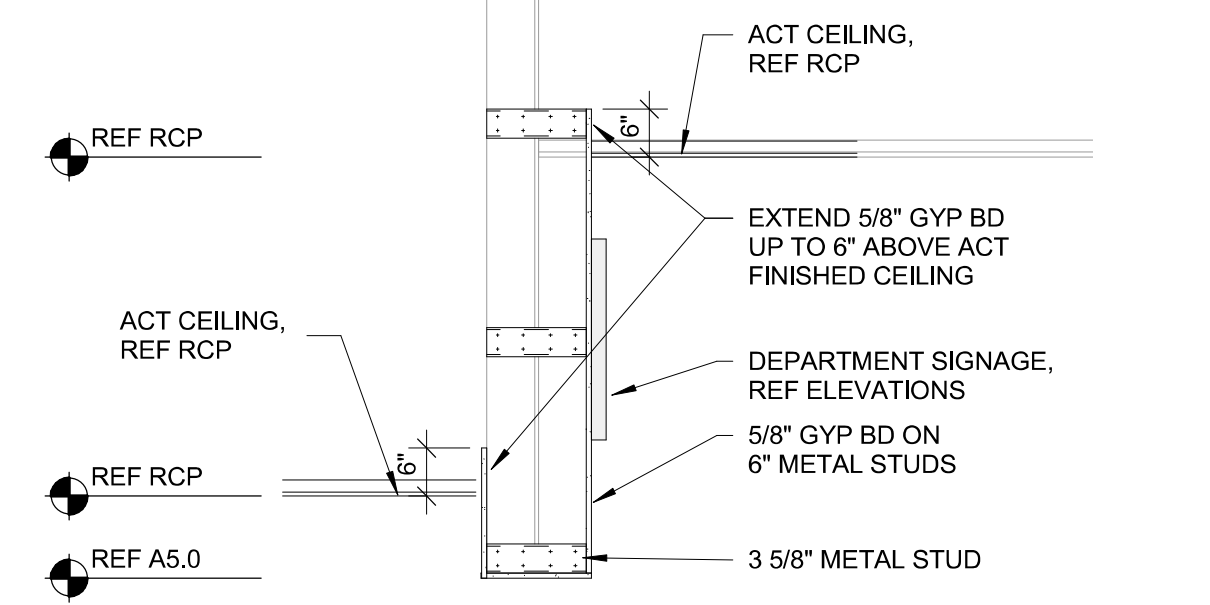
7 BULKHEAD SECTION
SCALE: 1/2" = 1'-0"



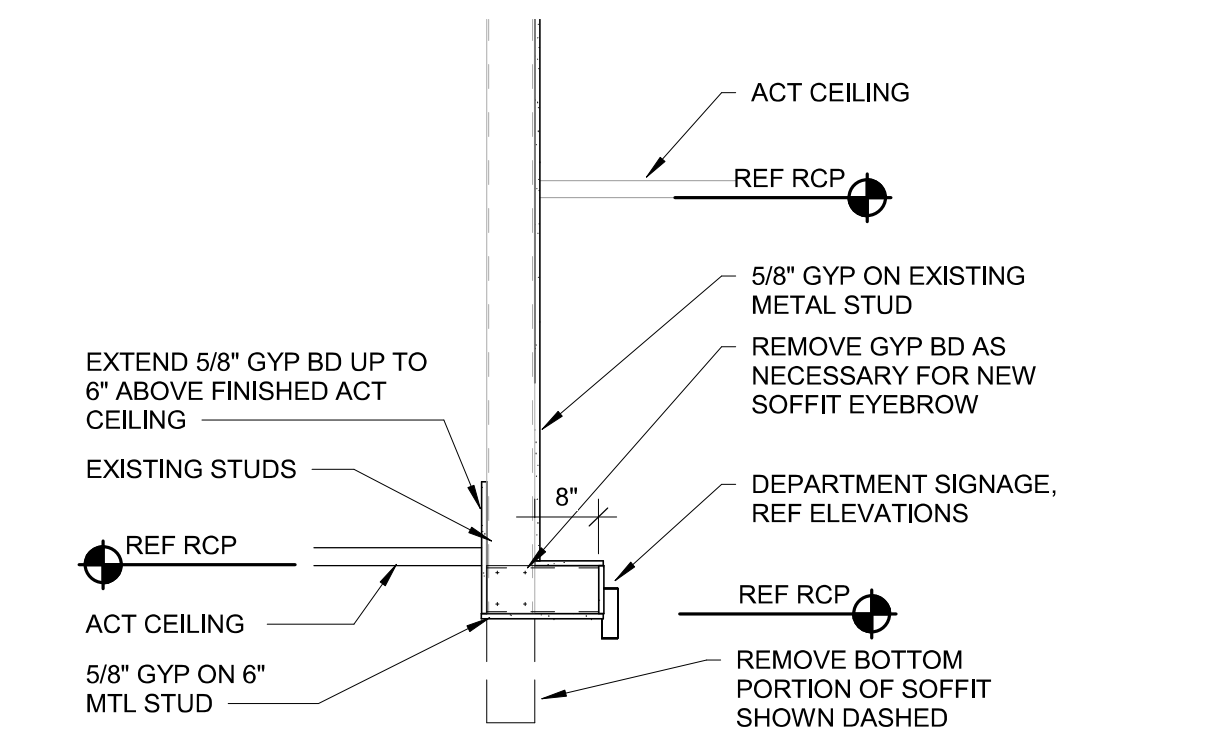
6 SECTION AT GYP BD CLOUD
SCALE: 1/2" = 1'-0"



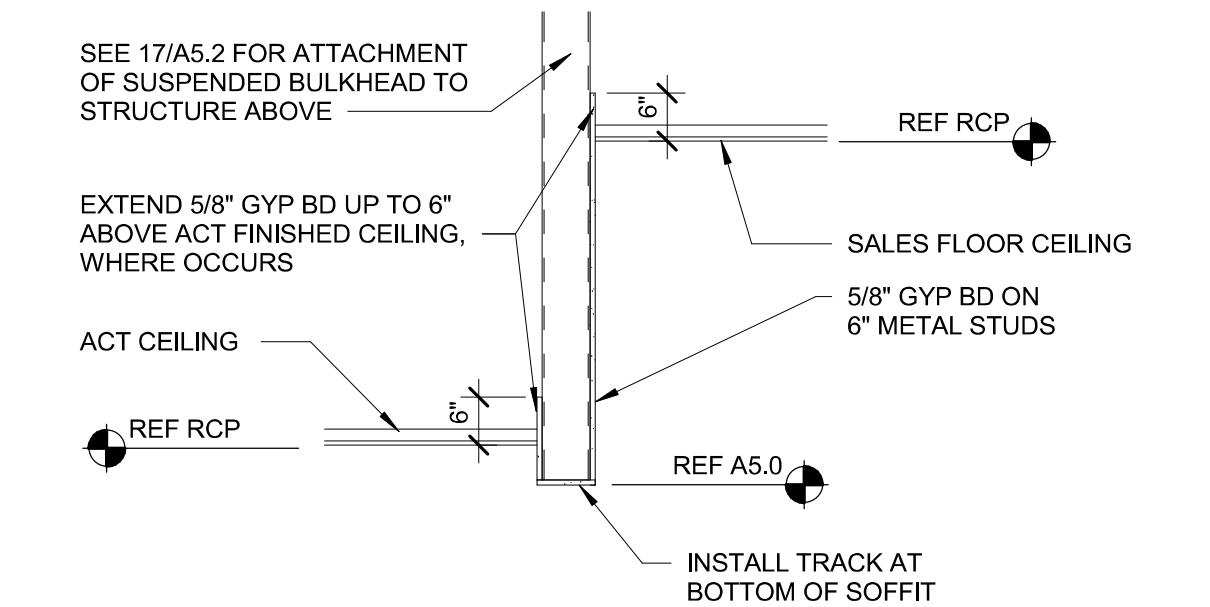
5 BULKHEAD SECTION
SCALE: 1/2" = 1'-0"



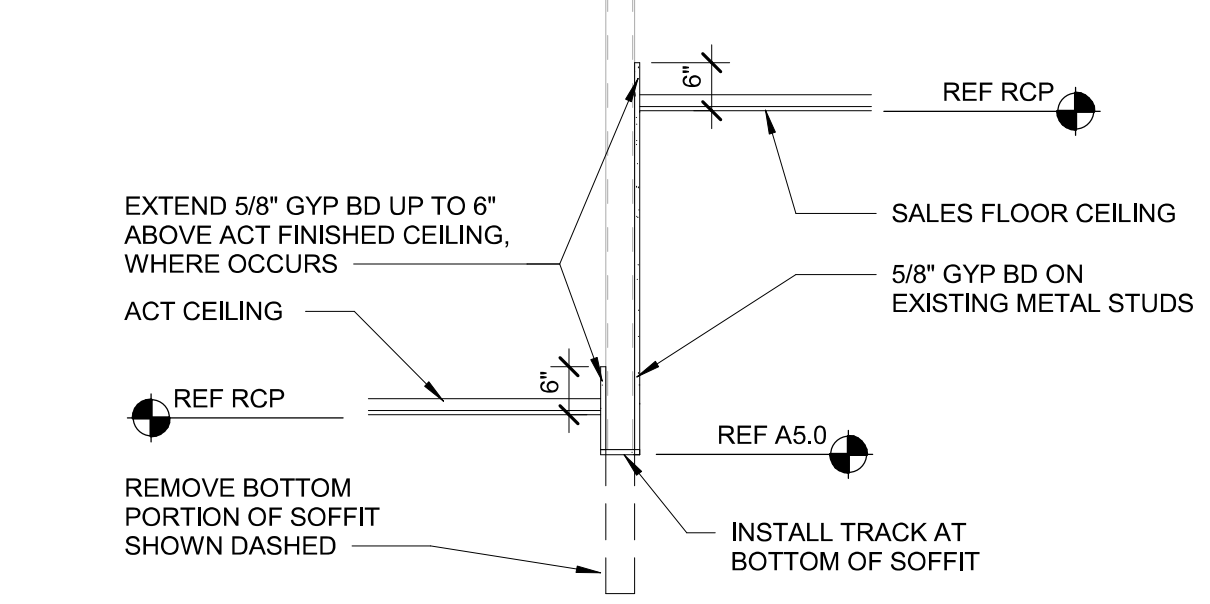
4 BULKHEAD SECTION
SCALE: 1/2" = 1'-0"



3 SECTION AT SOFFIT
SCALE: 1/2" = 1'-0"



2 BULKHEAD SECTION
SCALE: 1/2" = 1'-0"



1 BULKHEAD SECTION
SCALE: 1/2" = 1'-0"

brr

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PROFESSIONAL SEAL

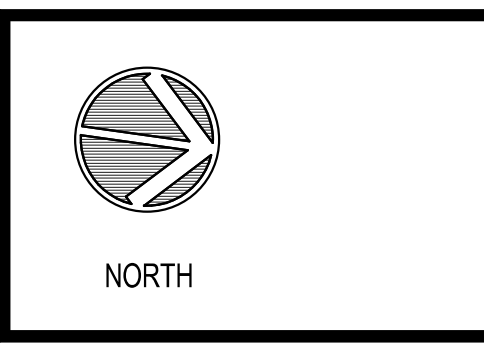
RICHARD A. MAJORS, JR.
NUMBER 4-077238
REGISTERED ARCHITECT

Richard A. Majors, Jr.
Architect
Missouri License No. A-007238

LOCATION
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HY-VEE INC.
5820 WESTTOWN PARKWAY
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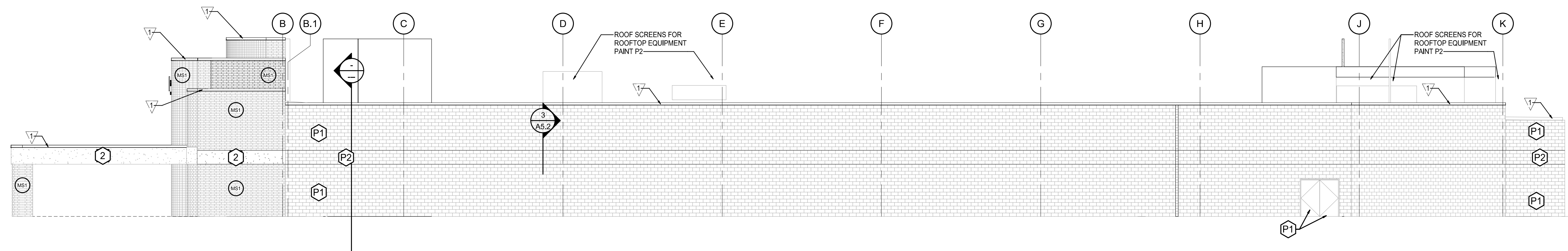
HyVee
EMPLOYEE OWNED



ENLARGED PARTIAL RCP PLANS & CEILING DETAILS

PROJECT MANAGER SB	CHECKED BY JPS
DRAWN BY SB	DATE 10/20/2020
SCALE As indicated	JOB NUMBER 62930547

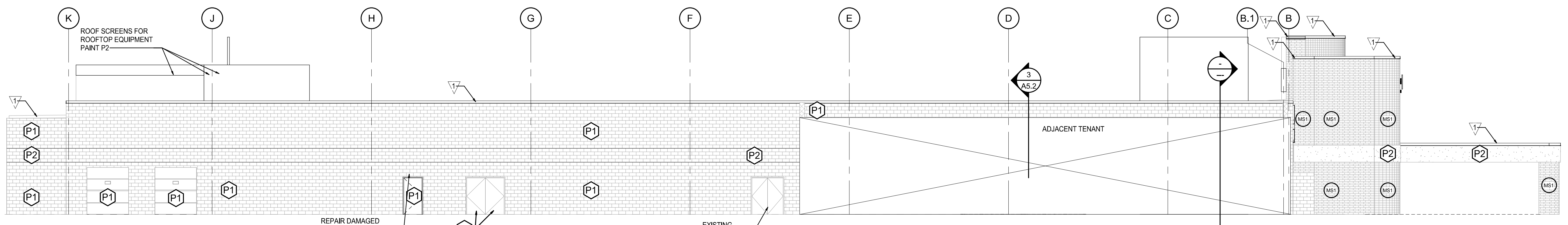
SHEET
A5.2



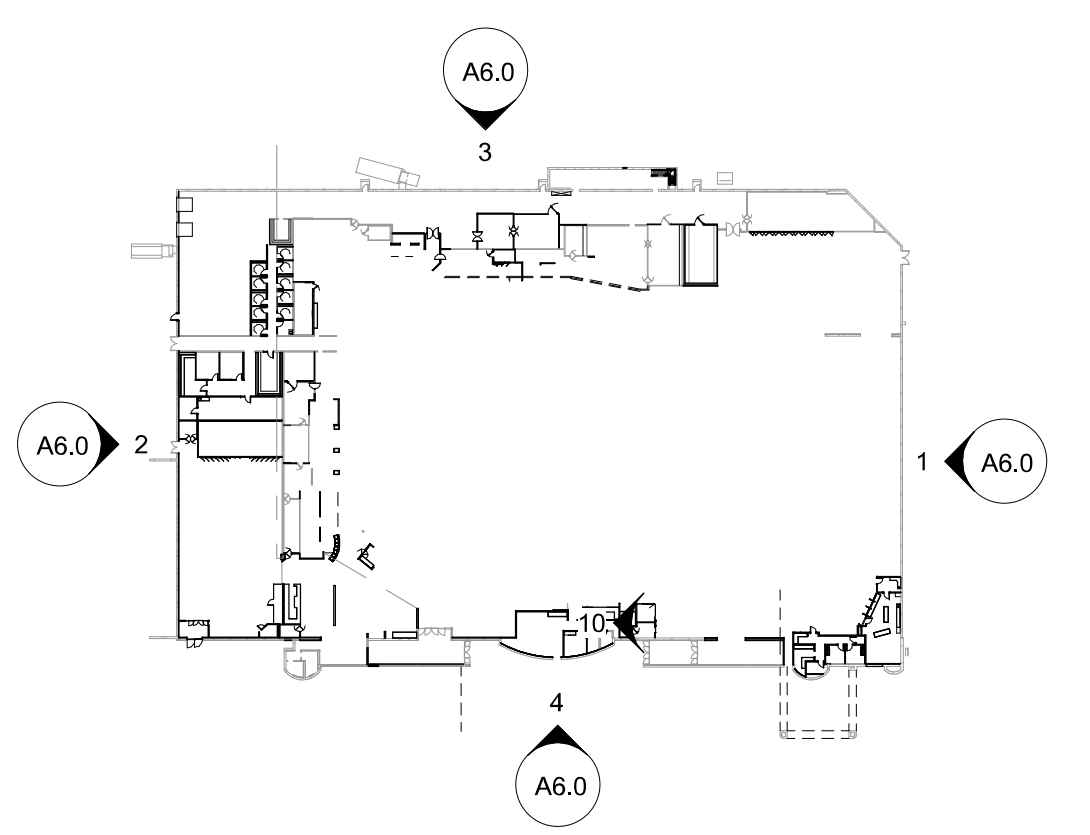
1 RIGHT ELEVATION
 SCALE: 3/32" = 1'-0"

- MASONRY STAIN COLORS:**
- (MS1) COLOR TO MATCH KANSAS BRICK AND TILE #530 FLASH FACE SET
- PAINT COLORS:**
- (P1) MATCH S.W. #7526 "MAISON BLANCHE"
 - (P2) MATCH S.W. #7527 "NANTUCKET DUNE"
 - (P3) MATCH NEW BRICK COLOR - KANSAS BRICK AND TILE #530 FLASH FACE SET
 - (P4) ALL EXISTING STOREFRONT MULLIONS ARE TO BE PAINTED TO MATCH ANODIZED ALUMINUM PER SPECS
- METAL FLASHINGS:**
- (V) PREFINISHED METAL WALL CAP COLOR TO MATCH S.W. #7526 MAISON BLANCHE
- EXTERIOR METAL ASSEMBLIES:**
- PAINT ALL EXTERIOR PIPE BOLLARDS TO MATCH MAIN BRICK COLOR - P3

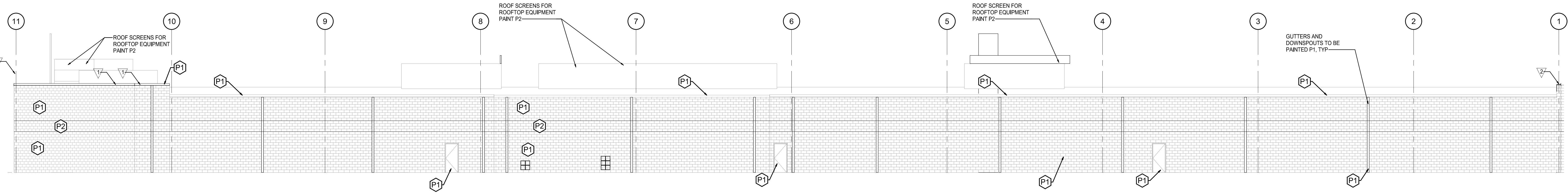
TUCKPOINT EXISTING BRICK AS NEEDED. COORDINATE LOCATIONS WITH HY-VEE.



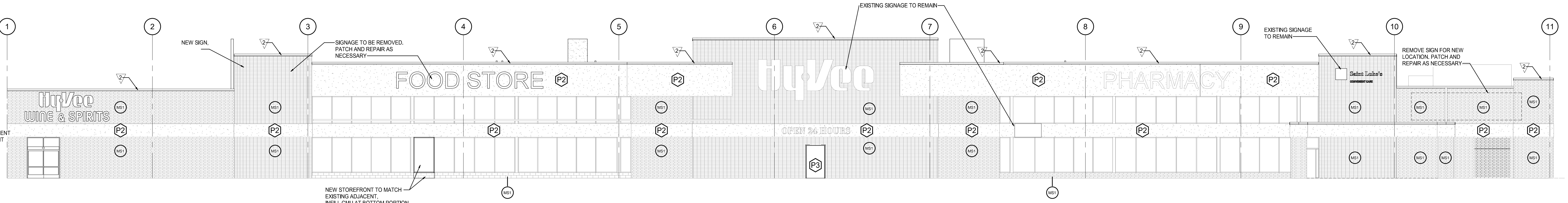
2 LEFT ELEVATION
 SCALE: 3/32" = 1'-0"



KEY PLAN
 SCALE: N.T.S.



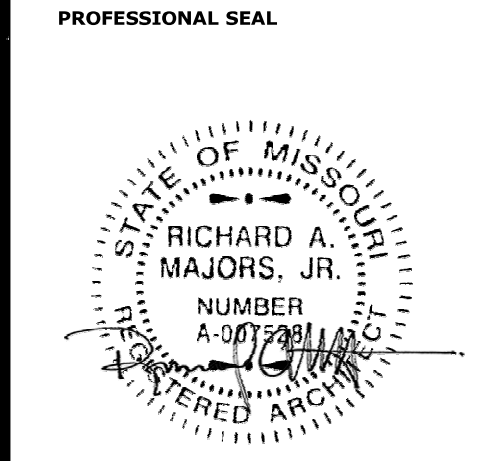
3 REAR ELEVATION
 SCALE: 3/32" = 1'-0"



4 FRONT ELEVATION
 SCALE: 3/32" = 1'-0"

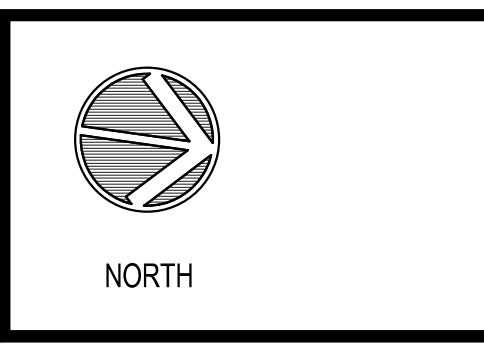


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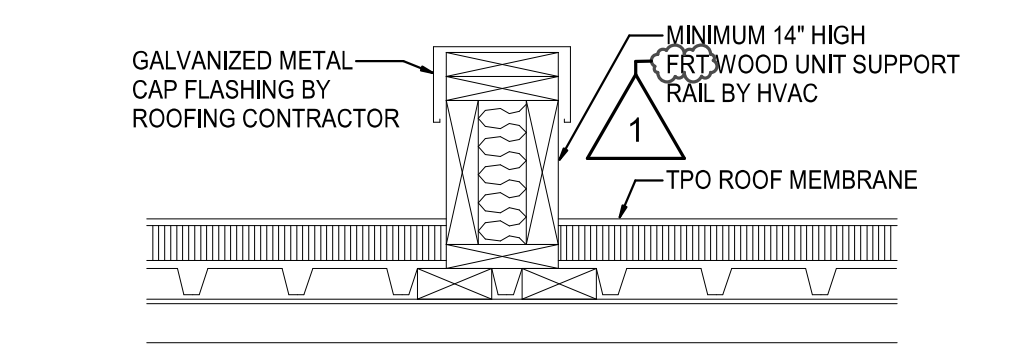
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HyVee
 EMPLOYEE OWNED



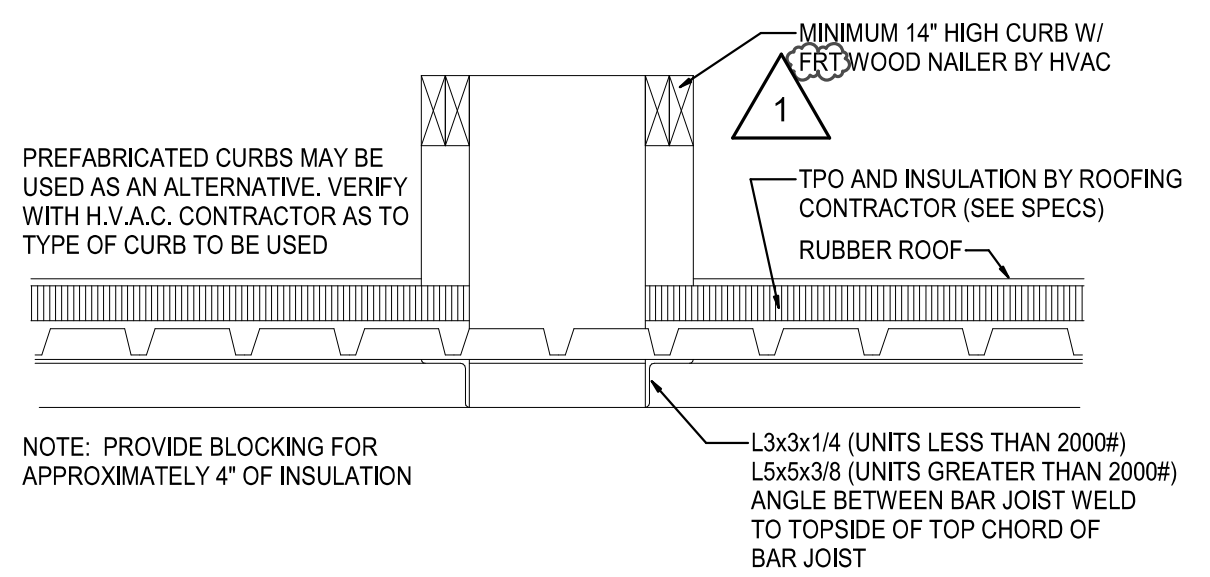
EXTERIOR ELEVATIONS

PROJECT MANAGER SB	CHECKED BY JPS
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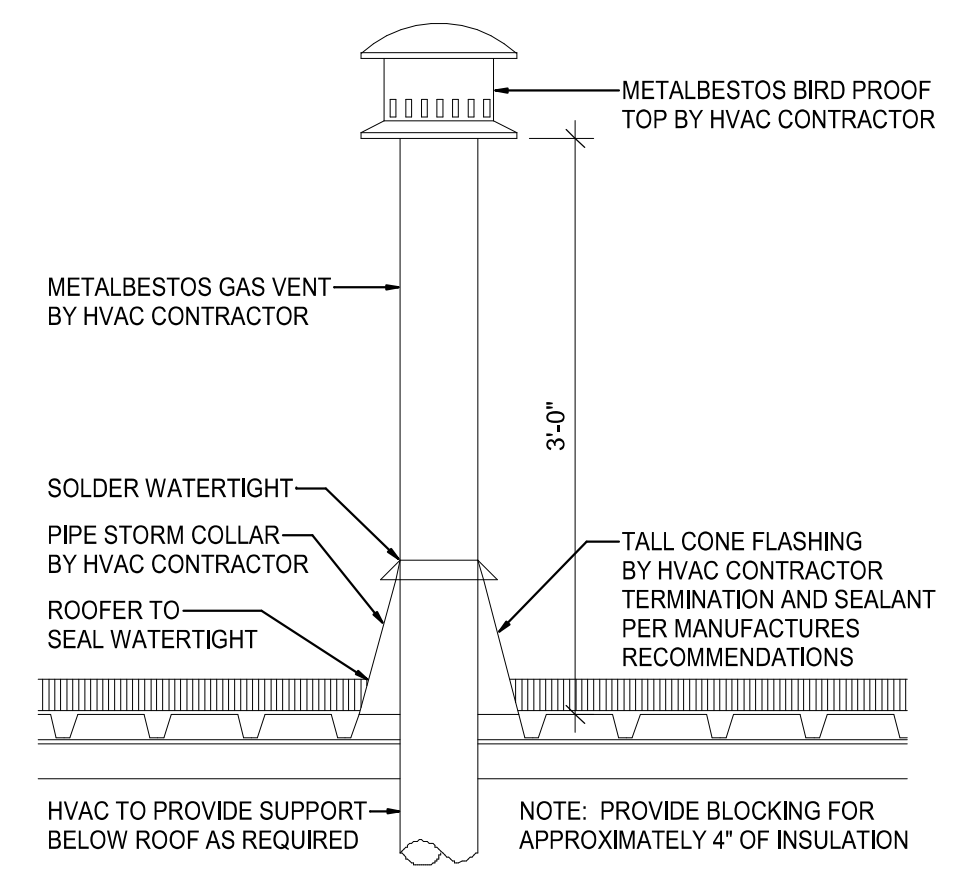
SHEET
A6.0



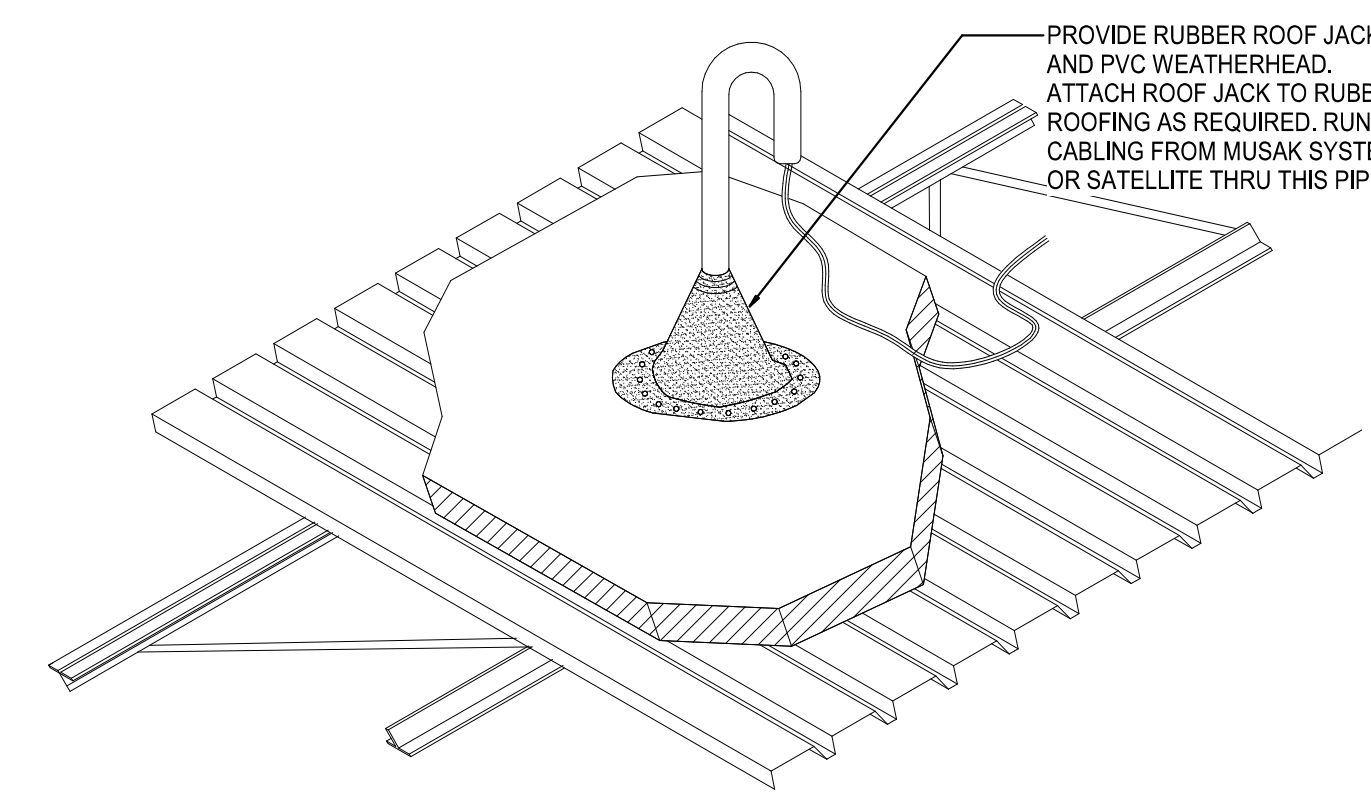
8 TYPE "B" ROOF CURB
SCALE: 1" = 1'-0"



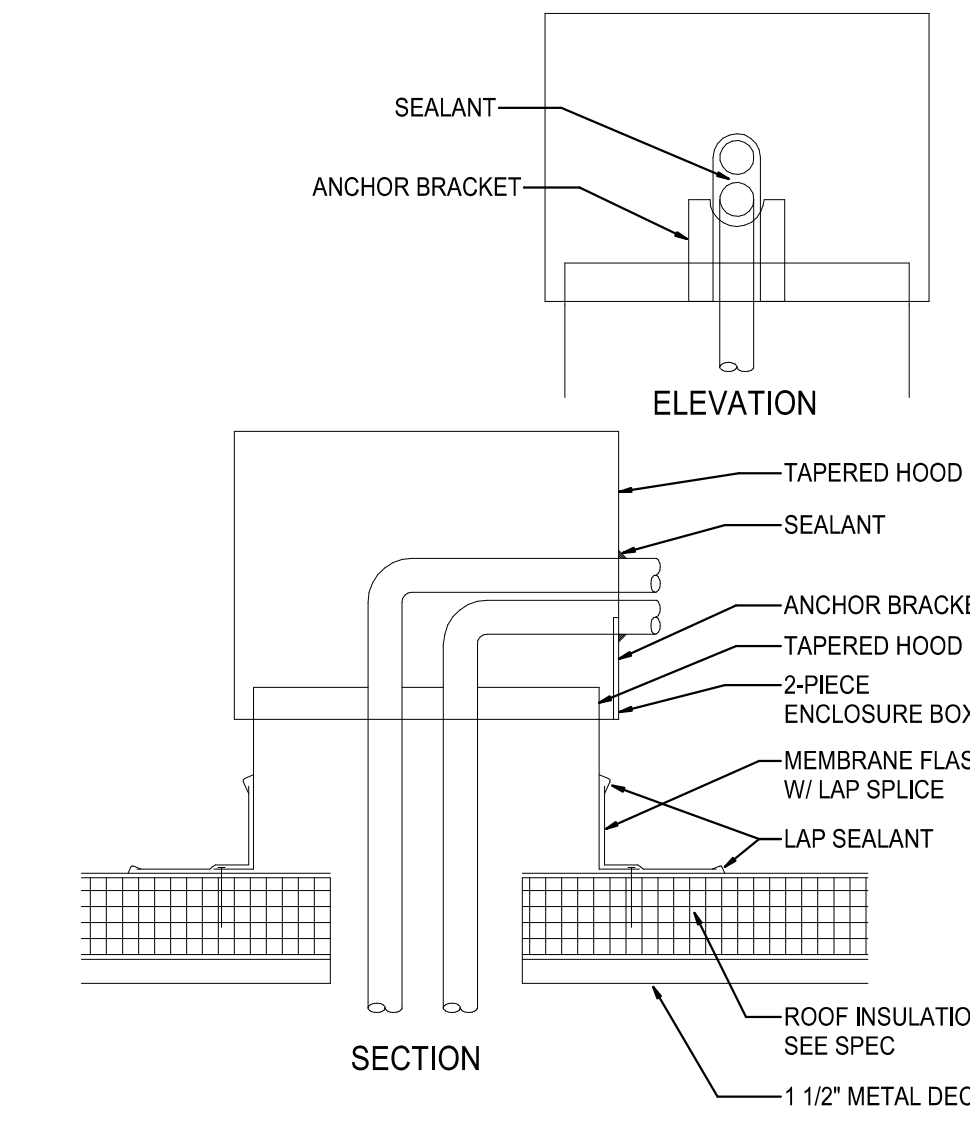
7 TYPE "A" ROOF CURB
SCALE: 1" = 1'-0"



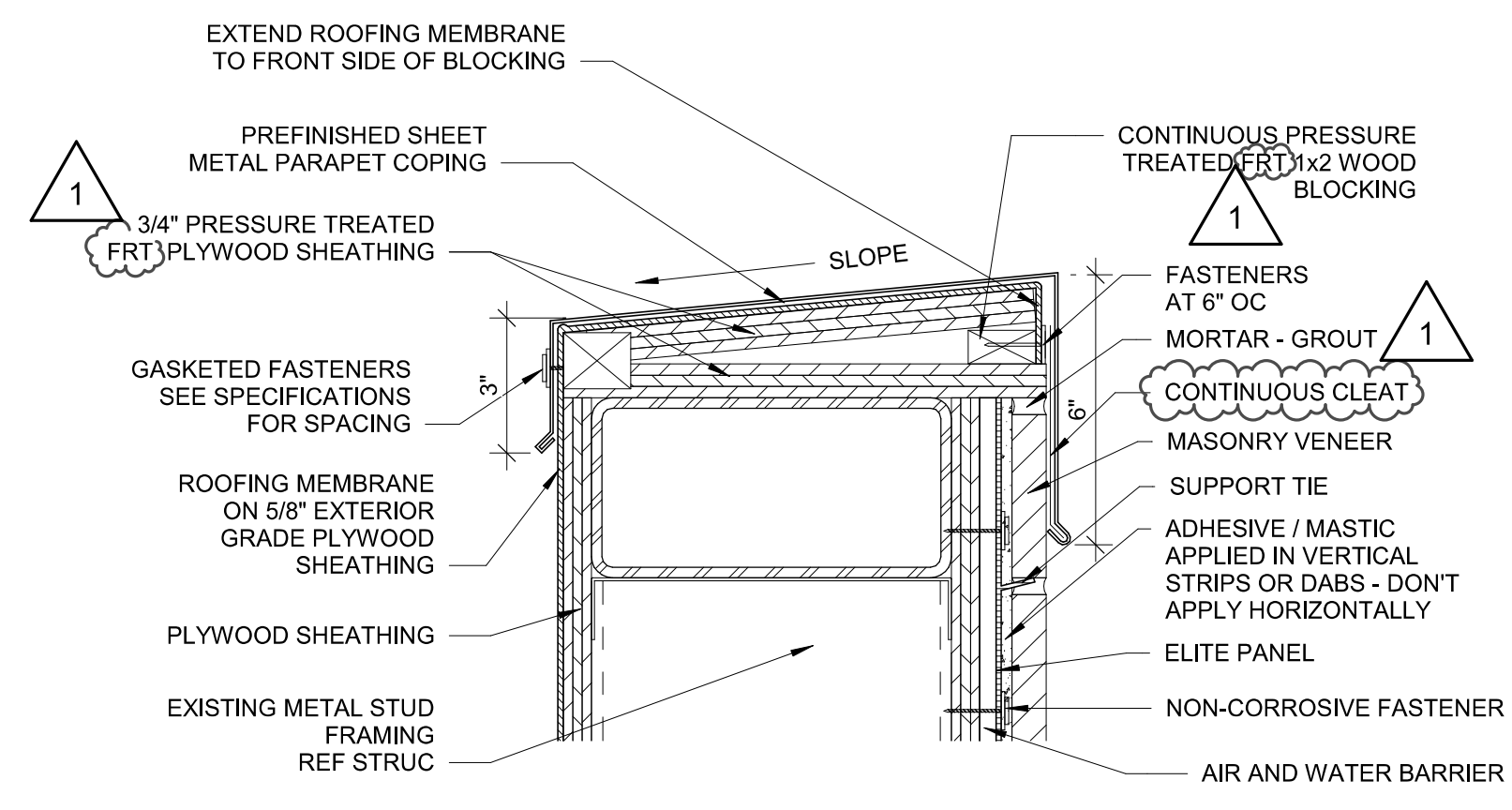
6 GAS VENT DETAIL
SCALE: 1" = 1'-0"



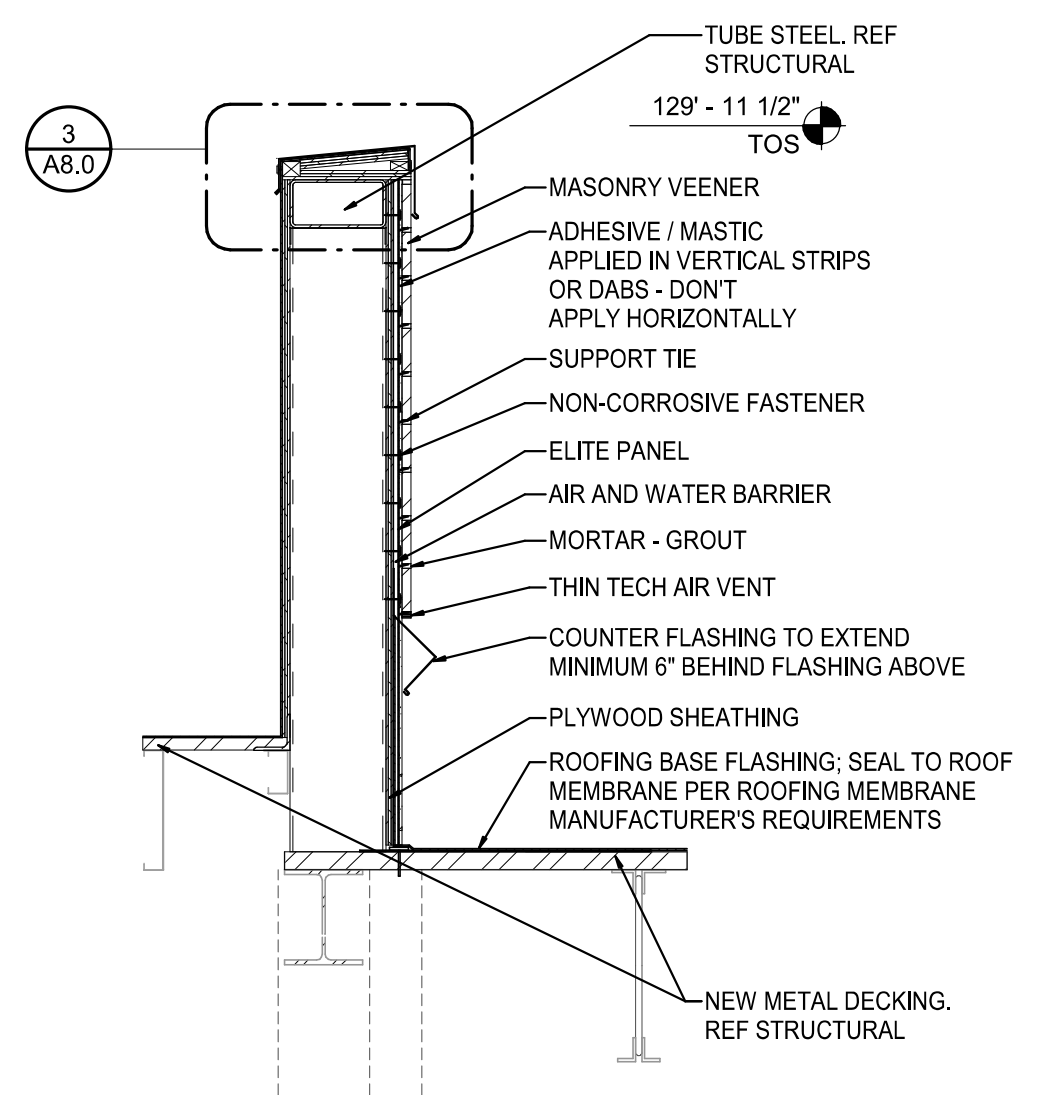
5 RUBBER ROOF JACK FOR RUBBER ROOF
SCALE: 3/4" = 1'-0"



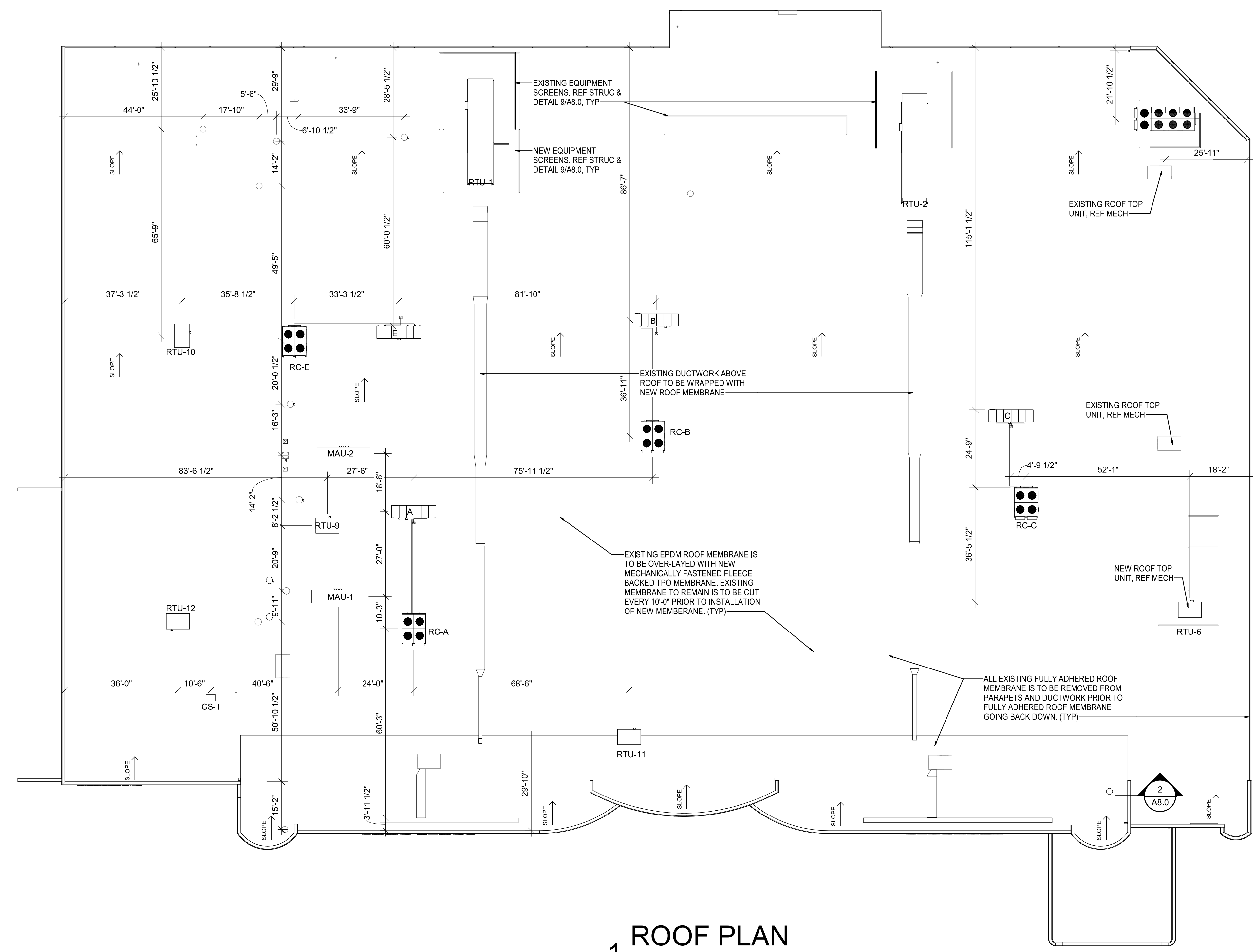
4 MULTIPLE PENETRATIONS CLOSURE BOX DETAIL
SCALE: 1" = 1'-0"



3 PARAPET COPING
SCALE: 3" = 1'-0"



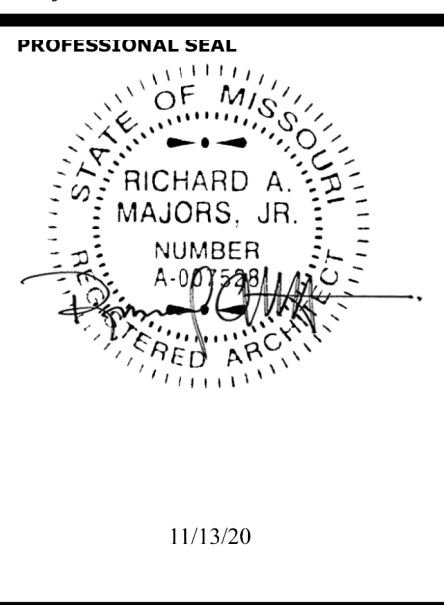
2 SECTION AT PARAPET RETURN WALL
SCALE: 3/4" = 1'-0"



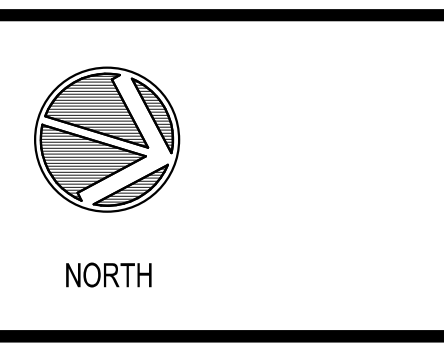
1 ROOF PLAN
SCALE: 1" = 20'-0"



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ROOF PLAN

PROJECT MANAGER: SB
CHECKED BY: JPS
DRAWN BY: SB
DATE: 10/20/2020
SCALE: As indicated
JOB NUMBER: 62930547

SHEET: A8.0