



	Gas Meter
	Telephone or Fiber-Optic Pedestal
	Cable TV Pedestal
	Electric Pedestal
	Light Pole
	Mailbox
	Fire Hydrant
	Water Valve

PROPOSED HOUSE

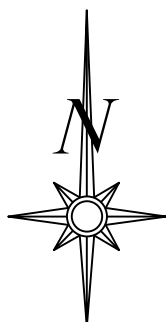
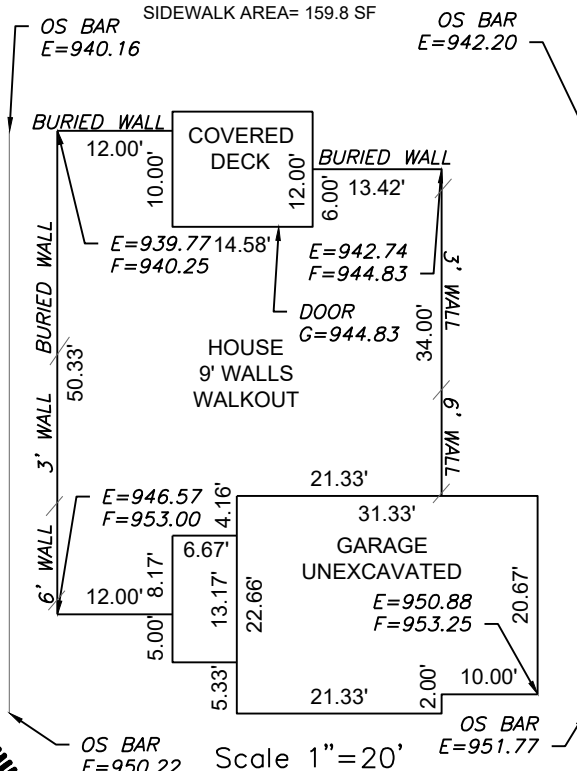
TOP FOUNDATION = 954.25
GARAGE FLOOR= 953.25
TOP FOOTING = 945.25
BASEMENT FLOOR = 945.58

E = EXISTING ELEVATION
F = PROPOSED FINAL ELEVATION
G = ADJACENT GRADE AT EGRESS
U/E = UTILITY EASEMENT
B/L = BUILDING LINE
S/Y/S = SIDE YARD SETBACK
R/Y/S = REAR YARD SETBACK

NOTES

1. BUILDER TO VERIFY ALL BUILDING ELEVATIONS AND DIMENSIONS.
2. THIS PLOT PLAN DOES NOT CONSTITUTE A BOUNDARY SURVEY.
3. THE EASEMENTS SHOWN ON THIS PLOT PLAN ARE TAKEN FROM THE FINAL PLAT OF THE EASEMENTS MAY BE USED

DRIVEWAY SLOPE =6.8%
EXTENDED LOT AREA =9250.1 SF
DRIVEWAY AREA= 771.3 SF
DRIVEWAY APPROACH= 245.0 SF
SIDEWALK AREA= 159.8 SF



Scale 1"=30'

LOT INFORMATION

8,669 SQ. FT.
MLO (REAR LEFT) =939.75
MLO (REAR RIGHT) = 934.75
MLO (FRONT LEFT) = 951.42
MLO (FRONT RIGHT) =950.37
MSFE=944.13
ADDRESS
2045 NW ASHURST DR

LEGAL DESCRIPTION

LOT 19, WOODSIDE RIDGE 1ST
PLAT, A SUBDIVISION AS
RECORDED IN LEE'S SUMMIT,
JACKSON COUNTY, MISSOURI.



ENGINEERING
—ENGINEERING & SURVEYING
SOLUTIONS
50 SE 30TH STREET

50 SE 30TH STREET
LEE'S SUMMIT, MO 64082
P:(816) 623-9888 F:(816)623-9849
WWW.ENGINEERINGSOLUTIONKC.COM

THIS DRAWING IS NOT VALID UNLESS THE SIGNATURE, DATE AND SEAL OF THE ENGINEER WHO SUPERVISED THE PREPARATION OF THIS DRAWING HAS BEEN AFFIXED HERETO.

PLOT PLAN - LOT 19

WOODSIDE RIDGE 1ST PLAT
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

SUMMIT HOMES
120 SE 30TH STREET
LEE'S SUMMIT, MO 64082

PROJECT NO. 1	FILE NAME LOT 19, WOODSIDE RIDGE	DATE 11/3/2020	SHEET 1	OF 1
Rev:				