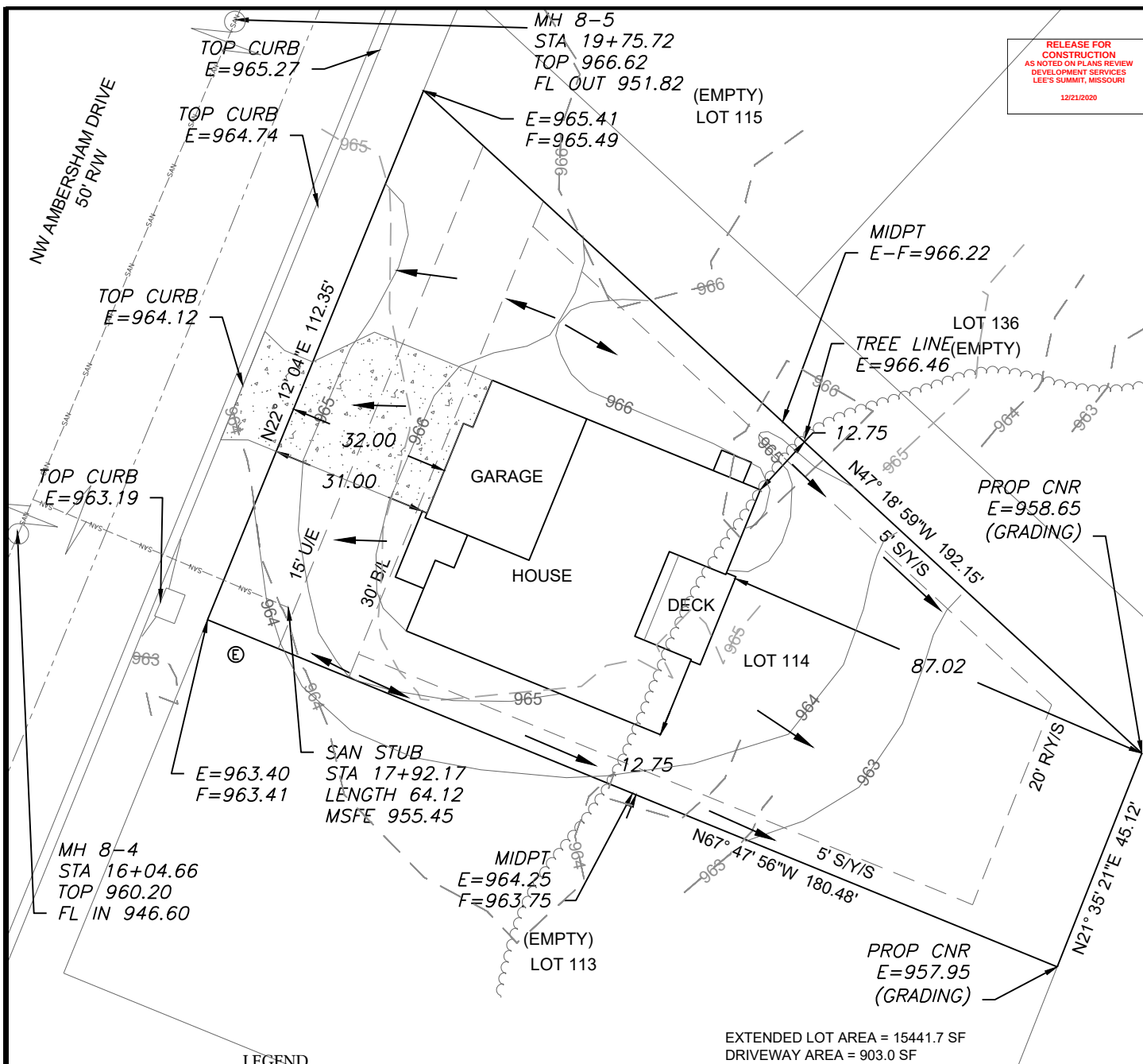




LEGEND

- Gas Meter
- Telephone or Fiber-Optic Pedestal
- Cable TV Pedestal
- Electric Pedestal
- Light Pole
- Mailbox
- Fire Hydrant
- Water Valve

PROPOSED HOUSE

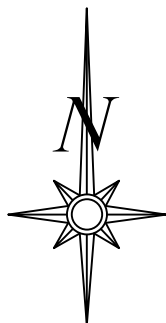
TOP FOUNDATION = 968.65
GARAGE FLOOR = 966.65
TOP FOOTING = 959.65
BASEMENT FLOOR = 959.98

E = EXISTING ELEVATION
F = PROPOSED FINAL ELEVATION
G = ADJACENT GRADE AT EGRESS
U/E = UTILITY EASEMENT
B/L = BUILDING LINE
S/Y/S = SIDE YARD SETBACK
R/Y/S = REAR YARD SETBACK

NOTES

- BUILDER TO VERIFY ALL BUILDING ELEVATIONS AND DIMENSIONS.
- THIS PLOT PLAN DOES NOT CONSTITUTE A BOUNDARY SURVEY.
- THE EASEMENTS SHOWN ON THIS PLOT PLAN ARE TAKEN FROM THE FINAL PLAT. OTHER EASEMENTS MAY EXIST.

EXTENDED LOT AREA = 15441.7 SF
DRIVEWAY AREA = 903.0 SF
DRIVEWAY APPROACH = 219.0 SF
SIDEWALK AREA = N/A
DRIVEWAY SLOPE = 7.2%



Scale 1" = 30'

LOT INFORMATION

14,183 SQ. FT.
MLO (REAR LEFT) = 958.84
MLO (REAR RIGHT) = 957.71
MLO (FRONT LEFT) = 966.07
MLO (FRONT RIGHT) = 963.97
MSFE = 955.45
ADDRESS
129 NW AMBERSHAM DRIVE

LEGAL DESCRIPTION

LOT 114, WOODSIDE RIDGE 1ST PLAT A SUBDIVISION AS RECORDED IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI.

