

LEE'S SUMMIT MIDDLE SCHOOL #4

PACKAGE 3 - BUILDING & SITE

1001 SE BAILEY ROAD
LEE'S SUMMIT, MO 64081

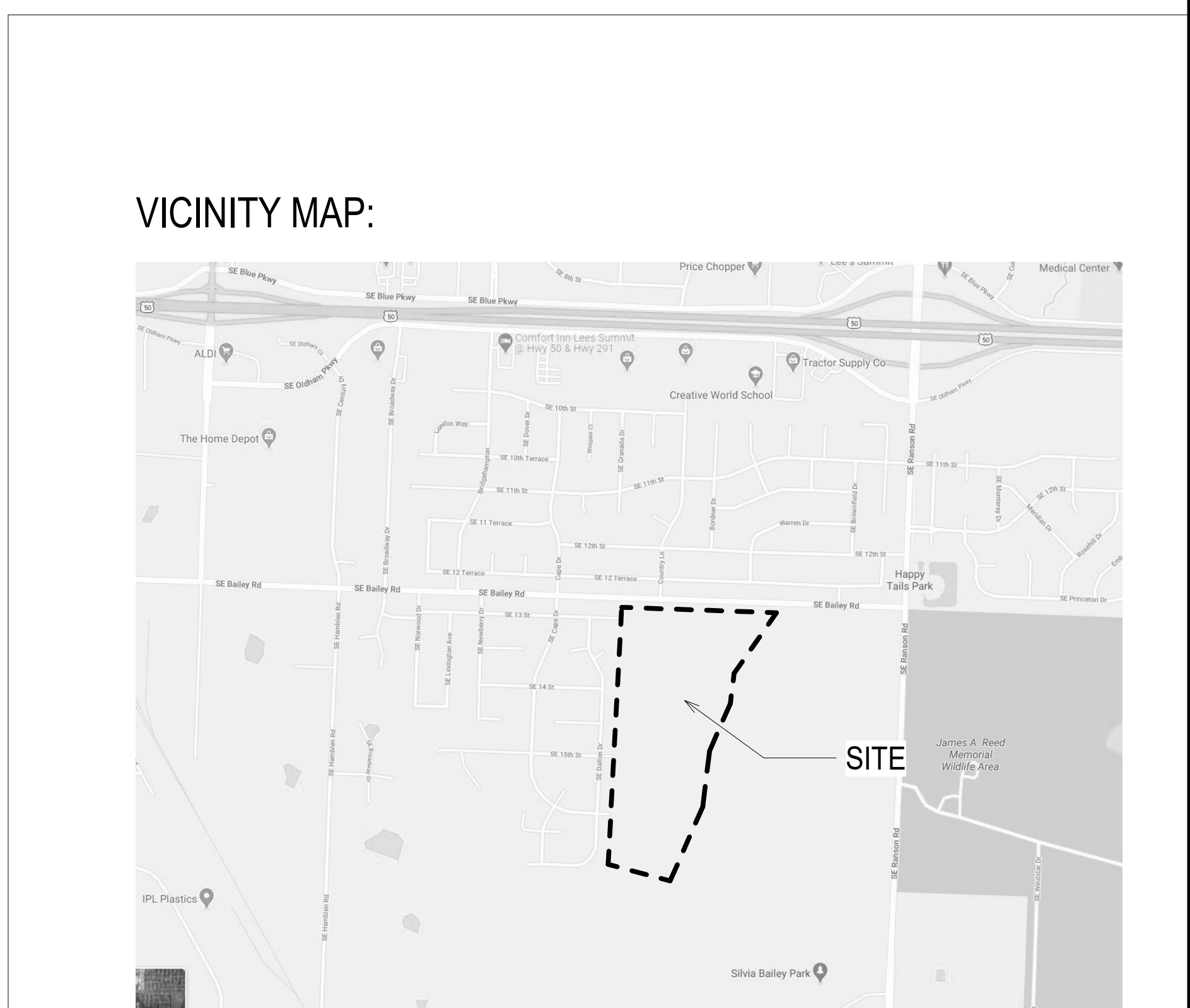
ISSUE FOR PERMIT - VOLUME 1 OF 2

INDEX OF DRAWINGS

10/08/20

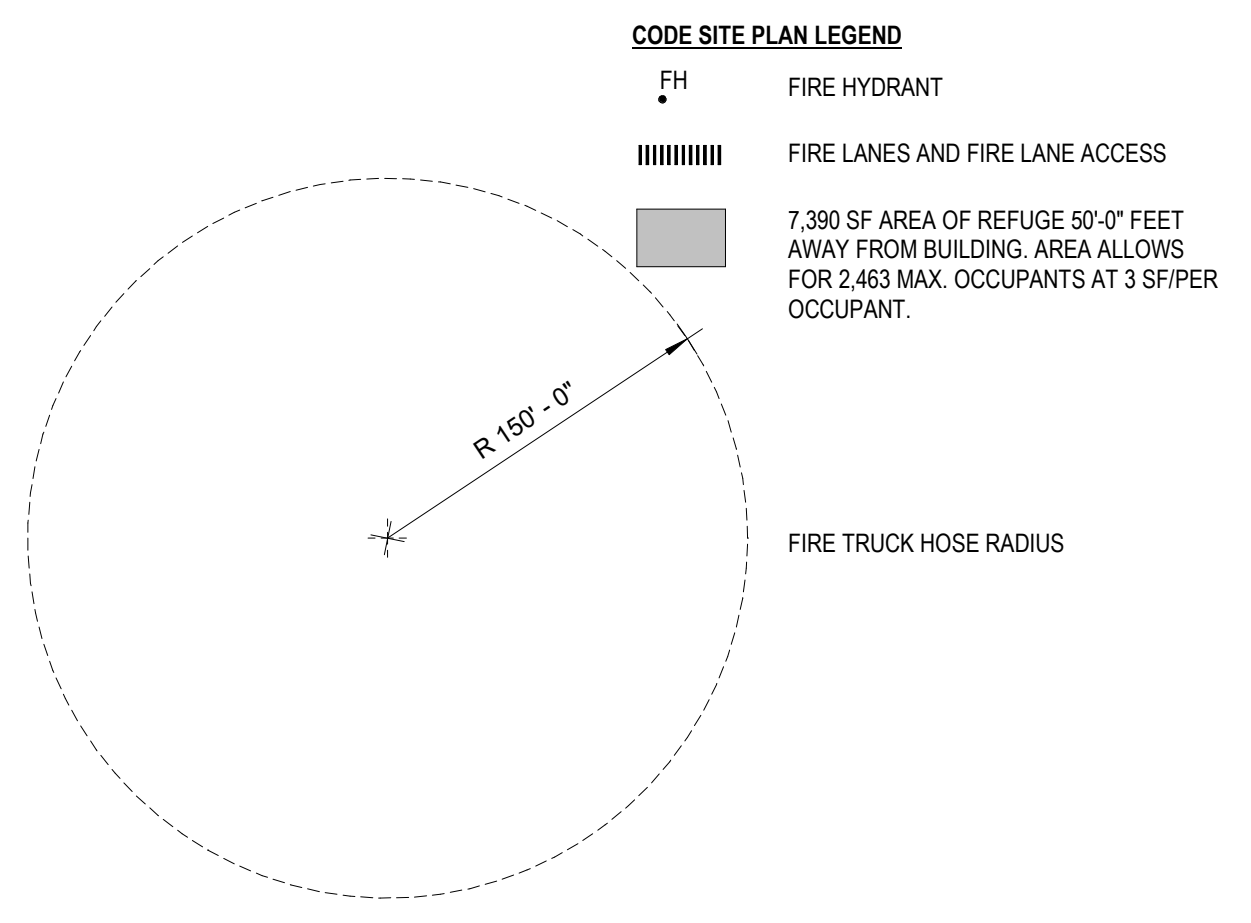
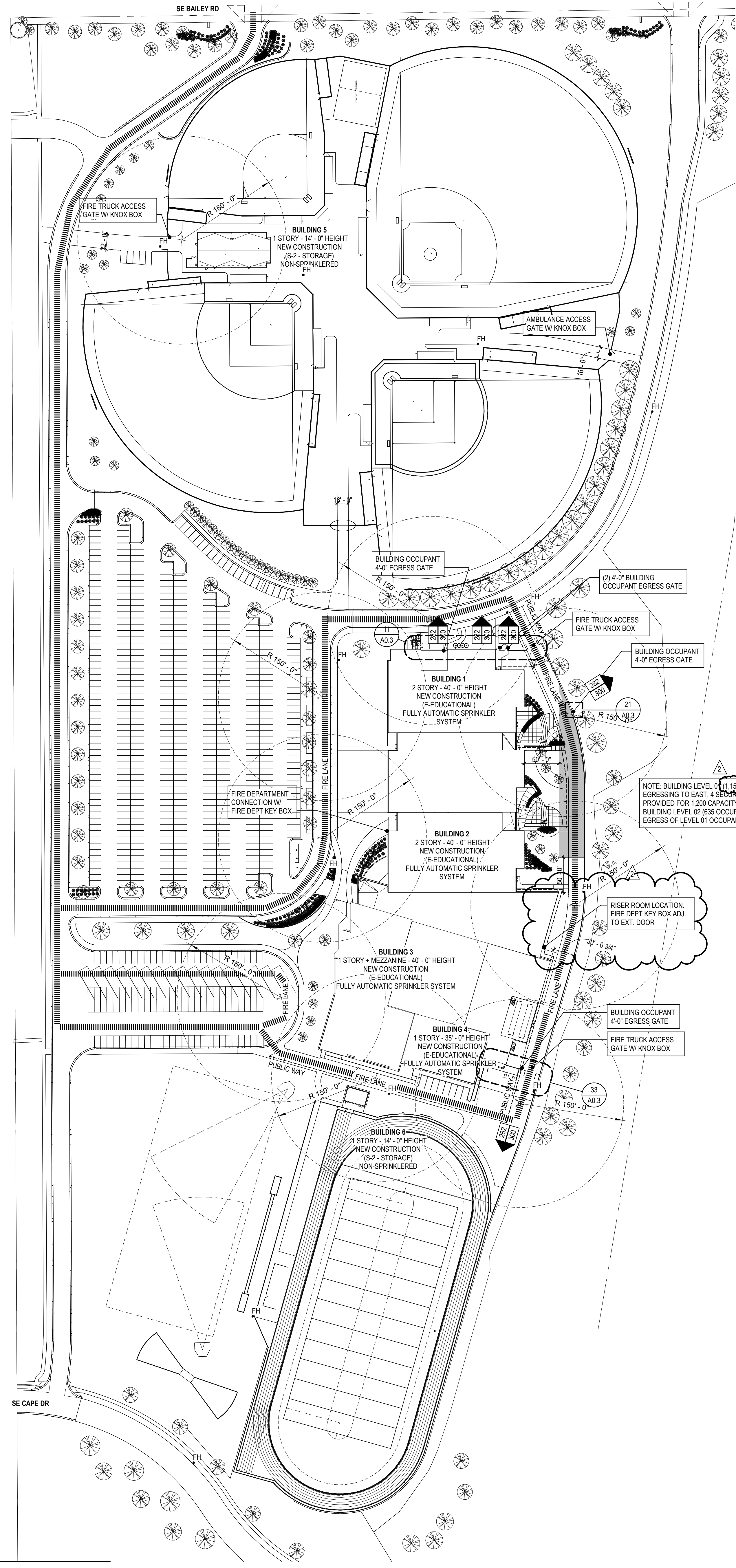
GENERAL		LANDSCAPE		ARCHITECTURAL		FOOD SERVICE	
0.1	SYMBOLS AND ABBREVIATIONS	L1.0	OVERALL LAYOUT PLAN	A3.1F	FIRST LEVEL REFLECTED CEILING PLAN - AREA F	FS100	FOOD SERVICE EQUIPMENT PLAN
0.01	COVER SHEET - VOLUME 1	L1.1	ENLARGED LAYOUT PLAN	A3.1G	FIRST LEVEL REFLECTED CEILING PLAN - AREA G	FS101	FOOD SERVICE SPECIAL CONDITIONS PLAN
CP0.0	CODE ANALYSIS - SITE PLAN	L1.1A	ALTERNATE ENLARGED LAYOUT PLAN	A3.2A	SECOND LEVEL REFLECTED CEILING PLAN - AREA A	FS102	FOOD SERVICE ELEVATIONS
CP1.1	CODE PLAN - LEVEL 01	L1.2	ENLARGED LAYOUT PLAN	A3.2B	SECOND LEVEL REFLECTED CEILING PLAN - AREA B	FS102.1	FOOD SERVICE ELEVATIONS
CP1.2	CODE PLAN - LEVEL 02	L1.2A	ALTERNATE ENLARGED LAYOUT PLAN	A3.2C	SECOND LEVEL REFLECTED CEILING PLAN - AREA C	FS102.2	FOOD SERVICE ELEVATIONS
CP1.3	UL DESIGNS	L1.3	ENLARGED LAYOUT PLAN	A3.2E	SECOND LEVEL REFLECTED CEILING PLAN - AREA E-F-G	FS103	FOOD SERVICE DETAILS
CP1.4	UL DESIGNS	L1.3A	ALTERNATE ENLARGED LAYOUT PLAN	A3.3	ENLARGED CEILING PLANS	FS104	FOOD SERVICE EXHAUST HOOD
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OP1.2	SECOND LEVEL ORIENTATION PLAN	L1.4A	ALTERNATE ENLARGED LAYOUT PLAN	A3.5	CEILING DETAILS	FS104.2	FOOD SERVICE EXHAUST HOOD
		L1.5	ENLARGED LAYOUT PLAN	A3.6	CEILING DETAILS	FS104.3	FOOD SERVICE EXHAUST HOOD
		L1.6	ENLARGED LAYOUT PLAN	A4.1	OVERALL ROOF PLAN	FS104.4	FOOD SERVICE EXHAUST HOOD
		L1.7	ENLARGED LAYOUT PLAN	A4.2	ROOF PLAN - AREAS A, B, & C	FS104.5	FOOD SERVICE EXHAUST HOOD
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		L2.1A	ALTERNATE ENLARGED LANDSCAPE PLAN	A5.2	EXTERIOR ELEVATIONS	FS106	FOOD SERVICE PLUMBING ROUGH-IN PLAN
		L2.2	ENLARGED LANDSCAPE PLAN	A5.3	EXTERIOR ELEVATIONS	FS106.1	FOOD SERVICE PLUMBING SCHEDULE
		L2.2A	ALTERNATE ENLARGED LANDSCAPE PLAN	A5.4	ENLARGED FACADE PATTERNS	FS107	FOOD SERVICE ELECTRICAL ROUGH-IN PLAN
		L2.3	ENLARGED LANDSCAPE PLAN	A5.5	EXTERIOR ELEVATIONS	FS107.1	FOOD SERVICE ELECTRICAL SCHEDULE
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		L3.0	OVERALL IRRIGATION PLAN	A7.5	WALL SECTIONS		
		L3.1	ENLARGED IRRIGATION PLAN	A7.6	WALL SECTIONS	S0.1	STRUCTURAL NOTES
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		L3.8	ENLARGED IRRIGATION PLAN	A8.7	STAIR AND RAILING DETAILS	S1.1F	FOUNDATION PLAN - AREA F
		L4.0	LANDSCAPE DETAILS	A8.8	STAIR AND RAILING DETAILS	S1.1G	FOUNDATION PLAN - AREA G
		L4.1	LANDSCAPE DETAILS	A8.9	DOOR AND FRAME SCHEDULE	S1.1S	FOUNDATION PLAN AREAS S & T
		L4.2	LANDSCAPE DETAILS	A9.1	DOOR AND FRAME SCHEDULE	S2.1D	LOW ROOF FRAMING PLAN - AREA D
		L4.3	LANDSCAPE DETAILS	A9.2	DOOR AND WINDOW DETAILS	S2.1E	FLOOR AND LOW ROOF FRAMING PLAN - AREA E
		L4.4	LANDSCAPE DETAILS	A9.4	EXTERIOR ALUMINUM FRAME ELEVATIONS	S2.1F	FLOOR AND LOW ROOF FRAMING PLAN - AREA F
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				A9.6	INTERIOR FRAME ELEVATIONS	S2.2D	ROOF FRAMING PLAN - AREA D
				A9.7	DOOR AND WINDOW DETAILS	S2.2E	ROOF FRAMING PLAN - AREA E
				A9.8	DOOR AND WINDOW DETAILS	S2.2F	ROOF FRAMING PLAN - AREA F
				A10.1	PLAN DETAILS	S2.2G	ROOF FRAMING PLAN - AREA G
				A10.2	PLAN DETAILS	S2.2S	ROOF FRAMING PLAN - AREAS S & T
				A10.3	SECTION DETAILS	S2.3D	HIGH ROOF FRAMING PLAN - AREA D
				A10.4	SECTION DETAILS	S3.1	FOUNDATION TYPICAL DETAILS
				A10.5	SECTION DETAILS	S3.2	FOUNDATION TYPICAL DETAILS
				A10.6	SECTION DETAILS	S3.3	FOUNDATION SECTIONS
				A10.7	SECTION DETAILS	S3.8	FOUNDATION SECTIONS
				A10.8	GENERAL DETAILS	S4.1	STEEL TYPICAL DETAILS
				A11.1	CASEWORK ELEVATIONS	S4.2	FLOOR FRAMING TYPICAL DETAILS
				A11.2	CASEWORK ELEVATIONS	S4.5	FLOOR FRAMING SECTIONS
				A11.3	CASEWORK ELEVATIONS	S4.7	FLOOR FRAMING SECTIONS
				A11.4	CASEWORK ELEVATIONS	S4.8	MASONRY TYPICAL DETAILS
				A12.1	INTERIOR ELEVATIONS	S4.9	PRECAST TYPICAL DETAILS
				A12.2	INTERIOR ELEVATIONS	S5.1	ROOF FRAMING TYPICAL DETAILS
				A12.3	INTERIOR ELEVATIONS	S5.5	ROOF FRAMING SECTIONS
				A12.4	INTERIOR ELEVATIONS	S5.7	ROOF FRAMING SECTIONS
				A12.5	INTERIOR ELEVATIONS / DETAILS	S5.8	ROOF FRAMING SECTIONS
				A12.6	INTERIOR DETAILS	S6.1	BRACED FRAME TYPICAL DETAILS
				A13.0	INTERIOR SCHEDULES	S6.3	BRACED FRAME ELEVATIONS
				A13.1A	FIRST LEVEL FINISH FLOOR PLAN - AREA A		
				A13.1B	FIRST LEVEL FINISH FLOOR PLAN - AREA B		
				A13.1C	FIRST LEVEL FINISH FLOOR PLAN - AREA C		
				A13.1D	FIRST LEVEL FINISH FLOOR PLAN - AREA D		
				A13.1E	FIRST LEVEL FINISH FLOOR PLAN - AREA E		
				A13.1F	FIRST LEVEL FINISH FLOOR PLAN - AREA F		
				A13.1G	FIRST LEVEL FINISH FLOOR PLAN - AREA G		
				A13.1S	FIRST LEVEL FINISH FLOOR PLAN - AREA S		
				A13.2A	SECOND LEVEL FINISH FLOOR PLAN - AREA A		
				A13.2B	SECOND LEVEL FINISH FLOOR PLAN - AREA B		
				A13.2C	SECOND LEVEL FINISH FLOOR PLAN - AREA C, D		
				A13.2E	SECOND LEVEL FINISH FLOOR PLAN - AREA E, F, G		
				A13.3	SIGNAGE SCHEDULE AND DETAILS		
				A13.4	SIGNAGE TYPES		

GENERAL		LANDSCAPE		ARCHITECTURAL		FOOD SERVICE	
C1001	GENERAL NOTES						
C1003	SITE DIMENSION PLAN						
C1004	SITE DIMENSION PLAN						
C1005	SITE DIMENSION PLAN						
C1006	SITE DIMENSION PLAN						
C1007	SITE DIMENSION PLAN						
C1008	SITE DIMENSION PLAN						
C1009	SITE DIMENSION PLAN						
C1010	SITE DIMENSION PLAN						
C1011	SITE DIMENSION PLAN						
C1050	STANDARD DETAILS						



DESIGN TEAM:

OWNER: LEE'S SUMMIT R-7 SCHOOL DISTRICT 502 SE TRANSPORT DRIVE LEE'S SUMMIT, MO 64083 816.886.5415	ARCHITECT OF RECORD: DLR GROUP 7200 WEST 133RD ST OVERLAND PARK, KS 66213 913.897.7811	CIVIL ENGINEER: OLSSON 7301 WEST 133RD ST OVERLAND PARK, KS 66213 913.897.7811	LANDSCAPE ARCHITECT: DLR GROUP 7200 WEST 133RD ST OVERLAND PARK, KS 66213 913.897.7811
M.E.P. ENGINEER: HENDERSON ENGINEERS 3435 LENEXA DRIVE SUITE 300 LENEXA, KS 66214 913.742.5000	STRUCTURAL ENGINEER: DLR GROUP 7200 WEST 133RD ST OVERLAND PARK, KS 66213 913.897.7811	CONSTRUCTION MANAGER: MCCOWNGORDON CONSTRUCTION 422 ADMIRAL BOULEVARD KANSAS CITY, MO 64106 816.877.0690	



SYMBOL LEGEND

- OCCUPANCY LOAD
- ACCESSORY USE AREA (OCCUPANCY LOAD IS NOT INCLUDED IN LOADS BEYOND THIS ROOM)
- COMBINED OCCUPANT LOAD AT A GIVEN DOOR OR STAIR - TOTAL EXIT CAPACITY OF DOOR OR STAIR (THE CAPACITY OF DOORS ARE DETERMINED AS FOLLOWS: CLEAR OPENING WIDTH IN INCHES DIVIDED BY 0.15. THE CAPACITY OF STAIRS ARE DETERMINED AS FOLLOWS: WIDTH IN INCHES DIVIDED BY 0.2 FOR SPRINKLERED PER 1005.3.1 EXCEPTION 1)
- COMBINED OCCUPANT LOAD AT A GIVEN DOOR (SUM OF THESE EQUALS TOTAL OCCUPANT LOAD) - TOTAL EXIT CAPACITY OF DOOR (THE CAPACITY OF DOORS ARE DETERMINED AS FOLLOWS: CLEAR OPENING WIDTH IN INCHES DIVIDED BY 0.15)
- PANIC DEVICE
- DOOR FIRE RATING

WALL SEPARATION LEGEND

- WALL HOURLY RATING**
- 0 = 0 HOUR
- 1/2 = 1/2 HOUR
- 1 = 1 HOUR
- 2 = 2 HOUR
- 3 = 3 HOUR
- SP = SMOKE PARTITION
- SW = SMOKE WALL
- WALL FIRE RATING TYPE**
- C = CORRIDOR
- EW = EXTERIOR WALL
- FB = FIRE BARRIER
- FP = FIRE PARTITION
- FSB = FIRE SMOKE BARRIER
- FW = FIRE WALL
- HK = HORIZONTAL EXIT
- SB = SMOKE BARRIER
- VS = VERTICAL SHAFT
- VX = VERTICAL EXIT
- XP = EXIT PASSAGEWAY

TYPICAL DOOR WIDTHS

DOOR WIDTH	CLEAR WIDTH	IBC 1005.1 FACTOR	ALLOWABLE OCCUPANCY
36"	33"	0.15	220
42"	39"	0.15	280
48"	45"	0.15	300
PAIR 36"	64"	0.15	426
PAIR 42"	76"	0.15	506
PAIR 48"	88"	0.15	586

EXIT ACCESS STAIRWAYS:

- EXIT ACCESS STAIRWAYS AND RAMPS - TRAVEL DISTANCE ON EXIT ACCESS STAIRWAYS OR RAMPS SHALL BE INCLUDED IN THE EXIT ACCESS TRAVEL DISTANCE MEASUREMENT PER IBC 2018 1017.3.1.
- TWO-STORY OPENINGS - OPENINGS DO NOT CONNECT MORE THAN TWO STORIES PER IBC 712.1.9, EXCEPTION 1.
- EXIT ACCESS STAIRWAYS AND RAMPS SERVE ONLY TWO STORIES PER IBC 1019.3, EXCEPTION 1, AND DO NOT REQUIRE A SHAFT ENCLOSURE.

BUILDING 1:

OCCUPANCY GROUP: E
 CONSTRUCTION TYPE: IIB
 ALLOWABLE AREA (IBC TABLE 506.2): 43,500 SF
 ALLOWABLE AREA INCREASE FOR FRONTAGE (IBC 506.2.3 SINGLE OCCUPANCY, MULTI STORY BUILDING IBC 506.3 FRONTAGE INCREASE):

IF= .6
 $Aa=[At + (NS * If)] * Sa$
 $Aa=[43,500+(14,500*.6)]$

TOTAL ALLOWABLE AREA PER FLOOR: 52, 200
ACTUAL AREA PER FLOOR:
 LEVEL 01: 20,385 SF
 LEVEL 02: 20,385 SF

MAXIMUM ALLOWABLE BUILDING HEIGHT (PER TABLE 504.3): 75'-0"
 ACTUAL BUILDING HEIGHT: 42' - 3"

BUILDING 2:

OCCUPANCY GROUP: E
 CONSTRUCTION TYPE: IIB
 ALLOWABLE AREA (IBC TABLE 506.2): 43,500 SF
 ALLOWABLE AREA INCREASE FOR FRONTAGE (IBC 506.3):

IF= .26
 $Aa=[At + (NS * If)] * Sa$
 $Aa=[43,500 + (14,500 * .26)]$

TOTAL ALLOWABLE AREA PER FLOOR: 47, 270
ACTUAL AREA PER FLOOR:
 LEVEL 01: 41,978 SF
 LEVEL 02: 41,842 SF

MAXIMUM ALLOWABLE BUILDING HEIGHT (PER TABLE 504.3): 75'-0"
 ACTUAL BUILDING HEIGHT: 42' - 3"

BUILDING 3:

OCCUPANCY GROUP: E
 CONSTRUCTION TYPE: IIB
 ALLOWABLE AREA (IBC TABLE 506.2): 58, 000 SF
 ALLOWABLE AREA INCREASE FOR FRONTAGE (IBC 506.3):

IF= .67
 $Aa=[At + (NS * If)] * Sa$
 $Aa=[58,000 + (14,500 * .67)]$

TOTAL ALLOWABLE AREA PER FLOOR: 67, 715
ACTUAL AREA PER FLOOR:
 LEVEL 01: 61,768 SF
 MEZZANINE AND EQUIPMENT PLATFORMS: 5,718 SF

MAXIMUM ALLOWABLE BUILDING HEIGHT: 75'-0"
 ACTUAL BUILDING HEIGHT: 32'-0"

BUILDING 4:

OCCUPANCY GROUP: E
 CONSTRUCTION TYPE: IIB
 ALLOWABLE AREA (IBC TABLE 506.2): 58,000 SF
 ALLOWABLE AREA INCREASE FOR FRONTAGE (IBC 506.2.2, 506.3):

IF= .46
 $Aa=[At + (NS * If)] * Sa$
 $Aa=[58,000 + (14,500 * .46)]$

TOTAL ALLOWABLE AREA PER FLOOR: 64,670
ACTUAL AREA PER FLOOR: LEVEL 01: 8,126 SF

MAXIMUM ALLOWABLE BUILDING HEIGHT: 75'-0"
 ACTUAL BUILDING HEIGHT: 32'-0"

BUILDING 5:

OCCUPANCY GROUP: S-2
 CONSTRUCTION TYPE: IIB
 ALLOWABLE AREA (IBC TABLE 506.2): 26,000 SF
 ALLOWABLE AREA INCREASE FOR FRONTAGE (IBC 506.2.2, 506.3):
***NONSEPARATED USE OCCUPANCY - ALLOWABLE AREA AND HEIGHT OF BUILDING BASED ON MOST RESTRICTIVE ALLOWANCES PER 508.3.2.**

IF= .4
 $Aa=[At + (NS * If)] * Sa$
 $Aa=[26,000 + (26,000 * .4)]$

TOTAL ALLOWABLE AREA PER FLOOR: 36,400
ACTUAL AREA PER FLOOR: 4,829 SF
 MAXIMUM ALLOWABLE BUILDING HEIGHT: 55'-0"
 ACTUAL BUILDING HEIGHT: 14'-0"

BUILDING 6:

OCCUPANCY GROUP: S-2
 CONSTRUCTION TYPE: IIB
 ALLOWABLE AREA (IBC TABLE 506.2): 26,000 SF
 ALLOWABLE AREA INCREASE FOR FRONTAGE (IBC 506.2.2, 506.3):

IF= .4
 $Aa=[At + (NS * If)] * Sa$
 $Aa=[26,000 + (26,000 * .4)]$

TOTAL ALLOWABLE AREA PER FLOOR: 36,400
ACTUAL AREA PER FLOOR: 740 SF
 MAXIMUM ALLOWABLE BUILDING HEIGHT: 55'-0"
 ACTUAL BUILDING HEIGHT: 14'-0"

PROJECT LOCATION:
 1001 SE BAILEY ROAD
 LEE'S SUMMIT, MO 64081

OWNER NAME:
 LEE'S SUMMIT R-7 SCHOOL DISTRICT

OWNER CONTACT:
 KYLE GORRELL, DIRECTOR LSR7 FACILITY SERVICES

OWNER ADDRESS:
 DEPARTMENT OF LEE'S SUMMIT SCHOOL DISTRICT
 FACILITY SERVICES
 502 SE TRANSPORT DRIVE
 LEE'S SUMMIT, MO 64081

COUNTY: JACKSON COUNTY

FIRE DEPARTMENT:
 LEE'S SUMMIT FIRE DEPARTMENT

WATER SUPPLY:
 LEE'S SUMMIT WATER UTILITIES

AUTHORITY HAVING JURISDICTION:
 CITY OF LEE'S SUMMIT

ARCHITECT OF RECORD:
 DLR GROUP
 7290 WEST 133RD STREET, OVERLAND PARK, KS 66213

CODES/REGULATIONS:
 BUILDING: 2018 IBC
 FIRE: 2018 INTERNATIONAL FIRE CODE
 MECHANICAL: 2018 INTERNATIONAL MECHANICAL CODE
 PLUMBING: 2018 INTERNATIONAL PLUMBING CODE
 ELECTRICAL: 2017 NATIONAL ELECTRICAL CODE
 ACCESSIBLE STANDARD: ICC/ANSI A117.1-2017

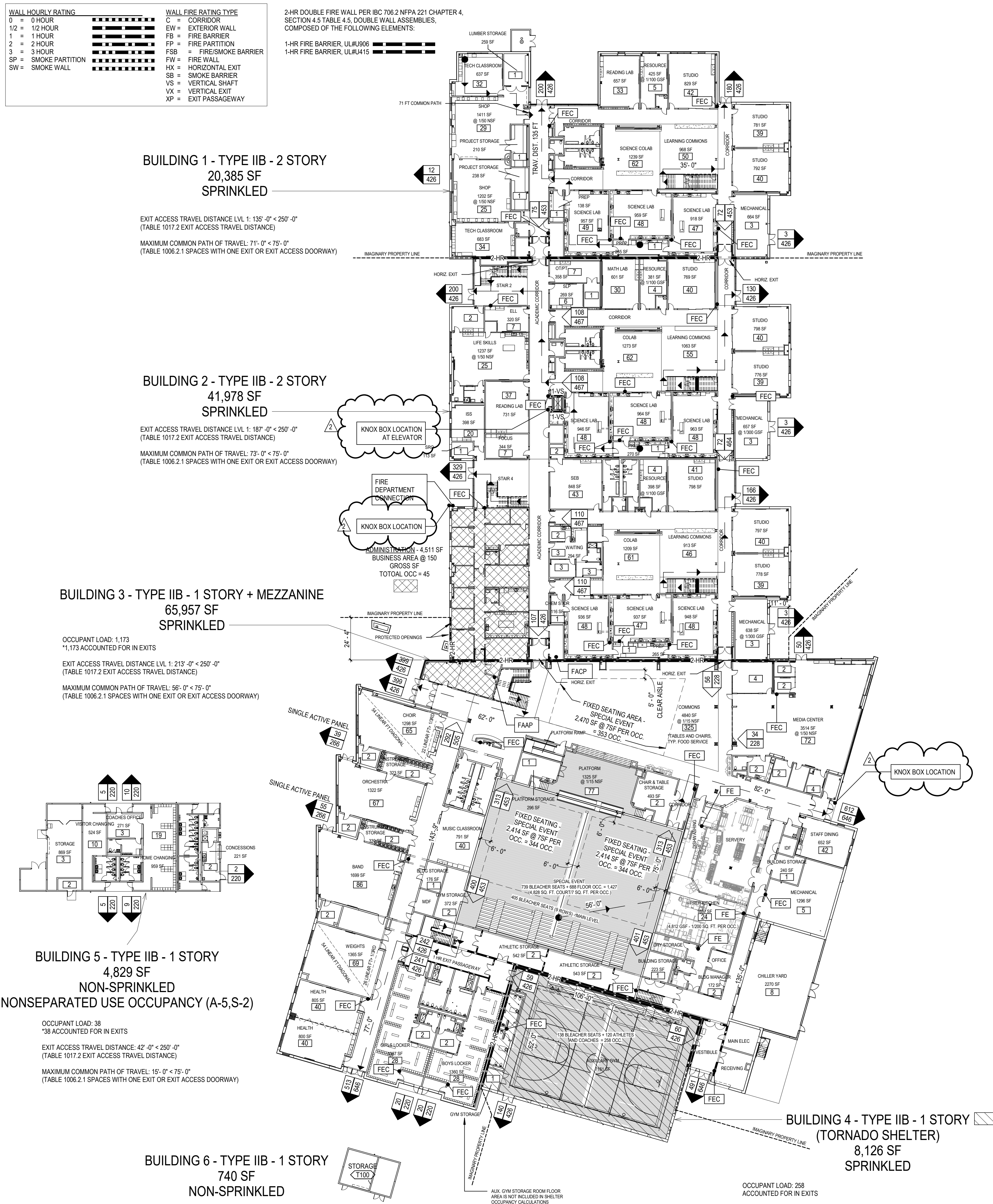
NEW CONSTRUCTION:
 OCCUPANCY:
 EDUCATIONAL GROUP E (SECTION 305): INSTRUCTIONAL AREAS
 CONSTRUCTION TYPE (SECTION 602): TYPE IIB
 ALLOWABLE HEIGHT (PER IBC TABLE 504.3): 75' - 0"
 ALLOWABLE NUMBER OF STORIES (PER TABLE 504.4): 3

SEPARATION REQUIREMENTS:
 BUILDING SEPARATION
 PER TABLE 706.4: 2-HOUR FIRE WALL
 *a. IN TYPE II CONSTRUCTION, WALLS SHALL BE PERMITTED TO HAVE A 2-HOUR FIRE-RESISTANCE RATING

LIFE SAFETY
 AUTOMATIC FIRE SUPPRESSION SYSTEM THROUGHOUT
 FIRE ALARMS THROUGHOUT
 FIRE EXTINGUISHERS THROUGHOUT
 EMERGENCY LIGHTING
 FIRE DEPARTMENT CONNECTIONS -SEE CIVIL AND PLUMBING PLANS
 FIRE ALARM ANNUNCIATOR PANEL (FAAP) - AT RECEPTION D100A
 FIRE ALARM CONTROL PANEL (FACP) - AT ELECTRICAL C116
 SMOKE CONTROL SYSTEM: NOT APPLICABLE
 MANUAL ALARMS
 COMMUNICATIONS AND ELECTRICAL ROOMS: NO UPS PROVIDED, NO RACK OF BATTERIES PROVIDED.
 PENETRATIONS THROUGH FLOORS (PIPING, CONDUIT, ETC.): ANNULAR SPACE AROUND PENETRATING ITEMS TO BE FILLED WITH APPROVED MATERIALS TO RESIST THE FREE PASSAGE OF FLAME AND THE PRODUCTS OF COMBUSTION, PER 2018 IBC 714.6.2 AND 718.2.5.
 DUCT PENETRATIONS THROUGH FLOORS: ANNULAR SPACE AROUND PENETRATING DUCT TO BE FILLED WITH AN APPROVED NON-COMBUSTIBLE MATERIAL THAT RESISTS THE FREE PASSAGE OF FLAME AND THE PRODUCTS OF COMBUSTION, PER 2018 IBC 717.6.3.2 AND 718.2.5

PLUMBING FIXTURES

	# OCCUPANTS		WC REQ'D		WC PROVIDED		LAV REQ'D		LAV PROVIDED		DRINKING FOUNTAINS	
	M	W	M	W	M	W	M	W	M	W	REQD.	PROV.
STUDENTS/ FACULTY NOTES: CALCULATIONS BASED ON IPC 4.1 REQ'TS. OCCUPANT LOAD BASED ON PROJECTED 1,200 STUDENT/ 260 FACULTY COUNT	730	730	15	15	17	17	15	15	17	17	15	20
MAIN GYMNASIUM - PERFORMANCE SPECIAL EVENT NOTES: COMPETITION & AUXILIARY GYMS ARE NON-SIMULTANEOUS USE FROM STUDENT OCCUPANCY. BASED ON 1,350 OCCUPANTS SEATED ON BLEACHERS AND FLOOR W/ 63 STAGE OCCUPANTS	714	714	6	12	12	12	4	4	7	7	3	6
MAIN GYMNASIUM - ATHLETIC COMPETITION (ASSEMBLY) NOTES: COMPETITION & AUXILIARY GYMS ARE NON-SIMULTANEOUS USE FROM STUDENT OCCUPANCY. BASED ON 615 OCCUPANTS SEATED ON BLEACHERS AND 125 ATHLETES AND OFFICIALS	370	370	3	6	12	12	2	2	7	7	2	6
BASEBALL/SOFTBALL COMPLEX (ASSEMBLY) NOTES: CALCULATIONS BASED ON IPC 4.1 REQ'TS. OCCUPANT LOAD BASED ON PROJECTED MAXIMUM 300 ATHLETIC EVENT OCCUPANTS. FAMILY TOILET INCLUDED WITH FEMALE COUNTS PER 2902.1.2	300	300	4	8	4	8	2	2	2	4	1	2
TORNADO SHELTER NOTES: PER ICC 500 TABLE 702.2. OCCUPANT LOAD BASED ON PROJECTED 1,200 STUDENT/ 260 FACULTY COUNT. TO BE USED AS DESIGNATED STORM SHELTER FOR STUDENT/FACULTY POPULATION. CALCULATIONS BASED ON ICC-500 REQUIREMENT FOR PLUMBING FIXTURES	730	730	3	3	3	3	1	1	1	1	-	-



CODE PLAN, LEVEL 1

SCALE: 1" = 30'-0"

RELEASE FOR CONSTRUCTION AS NOTED ON PLANS REVIEW

DLR Group
 1509/2020
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LEE'S SUMMIT MIDDLE SCHOOL #4
 LEE'S SUMMIT R-7 SCHOOL DISTRICT
 1001 SE BAILEY ROAD
 LEE'S SUMMIT, MO 64081

PACKAGE 3 - BUILDING & SITE
 10/08/20
 REVISIONS
 1 CITY REVIEW
 2 ASH/03
 11/20/20

13-20102-00
 CODE PLAN - LEVEL 01
CP1.1

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SYMBOL LEGEND

- OCCUPANCY LOAD
- ACCESSORY USE AREA (OCCUPANCY LOAD IS NOT INCLUDED IN LOADS BEYOND THIS ROOM)
- COMBINED OCCUPANT LOAD AT A GIVEN DOOR OR STAIR (TOTAL EXIT CAPACITY OF DOOR OR STAIR (THE CAPACITY OF DOORS ARE DETERMINED AS FOLLOWS: CLEAR OPENING WIDTH IN INCHES DIVIDED BY 0.15 THE CAPACITY OF STAIRS ARE DETERMINED AS FOLLOWS WIDTH IN INCHES DIVIDED BY 0.2 FOR SPRINKLERED PER 1005.3.1 EXCEPTION 1))
- COMBINED OCCUPANT LOAD AT A GIVEN DOOR. (SUM OF THESE EQUALS TOTAL OCCUPANT LOAD) (TOTAL EXIT CAPACITY OF DOOR (THE CAPACITY OF DOORS ARE DETERMINED AS FOLLOWS: CLEAR OPENING WIDTH IN INCHES DIVIDED BY 0.15))
- PANIC DEVICE
- DOOR FIRE RATING

WALL SEPARATION LEGEND

WALL HOURLY RATING	WALL FIRE RATING TYPE
0 = 0 HOUR	C = CORRIDOR
1/2 = 1/2 HOUR	EW = EXTERIOR WALL
1 = 1 HOUR	FB = FIRE BARRIER
2 = 2 HOUR	FP = FIRE PARTITION
3 = 3 HOUR	FSB = FIRE-SMOKE BARRIER
SP = SMOKE PARTITION	FW = FIRE WALL
SW = SMOKE WALL	HX = HORIZONTAL EXIT
	SB = SMOKE BARRIER
	VS = VERTICAL SHAFT
	VX = VERTICAL EXIT
	XP = EXIT PASSAGEWAY

TYPICAL DOOR WIDTHS

DOOR WIDTH	CLEAR WIDTH	IBC 1005.1 FACTOR	ALLOWABLE OCCUPANCY
36"	33"	0.15	220
42"	39"	0.15	260
48"	45"	0.15	300
PAIR 36"	64"	0.15	426
PAIR 42"	76"	0.15	506
PAIR 48"	88"	0.15	586

BUILDING 1:

OCCUPANCY GROUP: E
 CONSTRUCTION TYPE: IIB
 ALLOWABLE AREA (IBC TABLE 506.2): 43,500 SF
 ALLOWABLE AREA INCREASE FOR FRONTAGE (IBC 506.2.3 SINGLE OCCUPANCY, MULTI STORY BUILDING IBC 506.3 FRONTAGE INCREASE):

IF= .6
 $Aa=[At + (NS * If)] * Sa$
 $Aa=[43,500 + (14,500 * .6)]$

TOTAL ALLOWABLE AREA PER FLOOR: 52, 200

ACTUAL AREA PER FLOOR:
 LEVEL 01: 20,385 SF
 LEVEL 02: 20,385 SF

MAXIMUM ALLOWABLE BUILDING HEIGHT (PER TABLE 504.3): 75' - 0"
 ACTUAL BUILDING HEIGHT: 42' - 3"

BUILDING 2:

OCCUPANCY GROUP: E
 CONSTRUCTION TYPE: IIB
 ALLOWABLE AREA (IBC TABLE 506.2): 43,500 SF
 ALLOWABLE AREA INCREASE FOR FRONTAGE (IBC 506.3):

IF= .26
 $Aa=[At + (NS * If)] * Sa$
 $Aa=[43,500 + (14,500 * .26)]$

TOTAL ALLOWABLE AREA PER FLOOR: 47, 270

ACTUAL AREA PER FLOOR:
 LEVEL 01: 41,978 SF
 LEVEL 02: 41,842 SF

MAXIMUM ALLOWABLE BUILDING HEIGHT (PER TABLE 504.3): 75' - 0"
 ACTUAL BUILDING HEIGHT: 42' - 3"

BUILDING 3:

OCCUPANCY GROUP: E
 CONSTRUCTION TYPE: IIB
 ALLOWABLE AREA (IBC TABLE 506.2): 58, 000 SF
 ALLOWABLE AREA INCREASE FOR FRONTAGE (IBC 506.3):

IF= .67
 $Aa=[At + (NS * If)] * Sa$
 $Aa=[58,000 + (14,500 * .67)]$

TOTAL ALLOWABLE AREA PER FLOOR: 67, 715

ACTUAL AREA PER FLOOR:
 LEVEL 01: 61,768 SF
 MEZZANINE AND EQUIPMENT PLATFORMS: 5,718 SF

MAXIMUM ALLOWABLE BUILDING HEIGHT: 75'-0"
 ACTUAL BUILDING HEIGHT: 32'-0"

BUILDING 4:

OCCUPANCY GROUP: E
 CONSTRUCTION TYPE: IIB
 ALLOWABLE AREA (IBC TABLE 506.2): 58,000 SF
 ALLOWABLE AREA INCREASE FOR FRONTAGE (IBC 506.2.2, 506.3):

IF= .46
 $Aa=[At + (NS * If)] * Sa$
 $Aa=[58,000 + (14,500 * .46)]$

TOTAL ALLOWABLE AREA PER FLOOR: 64,670

ACTUAL AREA PER FLOOR: LEVEL 01: 8,126 SF

MAXIMUM ALLOWABLE BUILDING HEIGHT: 75'-0"
 ACTUAL BUILDING HEIGHT: 32'-0"

BUILDING 5:

OCCUPANCY GROUP: S-2
 CONSTRUCTION TYPE: IIB
 ALLOWABLE AREA (IBC TABLE 506.2): 26,000 SF
 ALLOWABLE AREA INCREASE FOR FRONTAGE (IBC 506.2.2, 506.3):
***NONSEPARATED USE OCCUPANCY - ALLOWABLE AREA AND HEIGHT OF BUILDING BASED ON MOST RESTRICTIVE ALLOWANCES PER 508.3.2.**

IF= .4
 $Aa=[At + (NS * If)] * Sa$
 $Aa=[26,000 + (26,000 * .4)]$

TOTAL ALLOWABLE AREA PER FLOOR: 36,400

ACTUAL AREA PER FLOOR: 4,829 SF
 MAXIMUM ALLOWABLE BUILDING HEIGHT: 55'-0"
 ACTUAL BUILDING HEIGHT: 14'-0"

BUILDING 6:

OCCUPANCY GROUP: S-2
 CONSTRUCTION TYPE: IIB
 ALLOWABLE AREA (IBC TABLE 506.2): 26,000 SF
 ALLOWABLE AREA INCREASE FOR FRONTAGE (IBC 506.2.2, 506.3):

IF= .4
 $Aa=[At + (NS * If)] * Sa$
 $Aa=[26,000 + (26,000 * .4)]$

TOTAL ALLOWABLE AREA PER FLOOR: 36,400

ACTUAL AREA PER FLOOR: 740 SF
 MAXIMUM ALLOWABLE BUILDING HEIGHT: 55'-0"
 ACTUAL BUILDING HEIGHT: 14'-0"

BUILDING 1 - TYPE IIB - 2 STORY
 20,293 SF
 SPRINKLED

EXIT ACCESS TRAVEL DISTANCE LVL 2: 238'-0" < 250'-0"
 (TABLE 1017.2 EXIT ACCESS TRAVEL DISTANCE)
 MAXIMUM COMMON PATH OF TRAVEL LEVEL 2: 63'-0" < 75'-0"
 (TABLE 1006.2.1 SPACES WITH ONE EXIT OR EXIT ACCESS DOORWAY)

BUILDING 2 - TYPE IIB - 2 STORY
 40,842 SF
 SPRINKLED

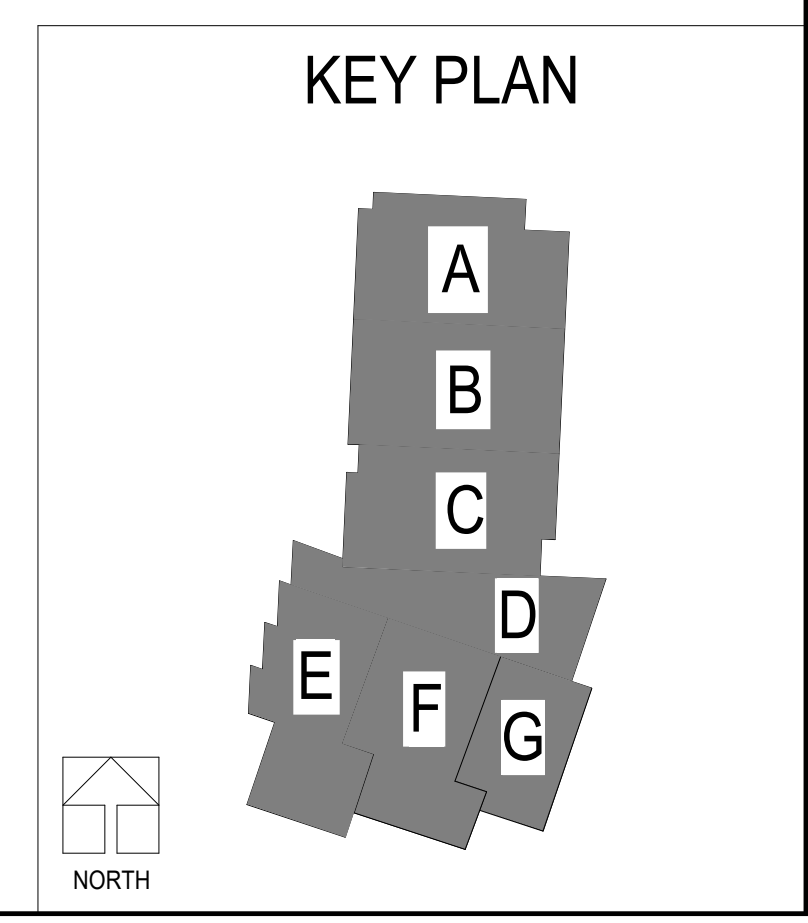
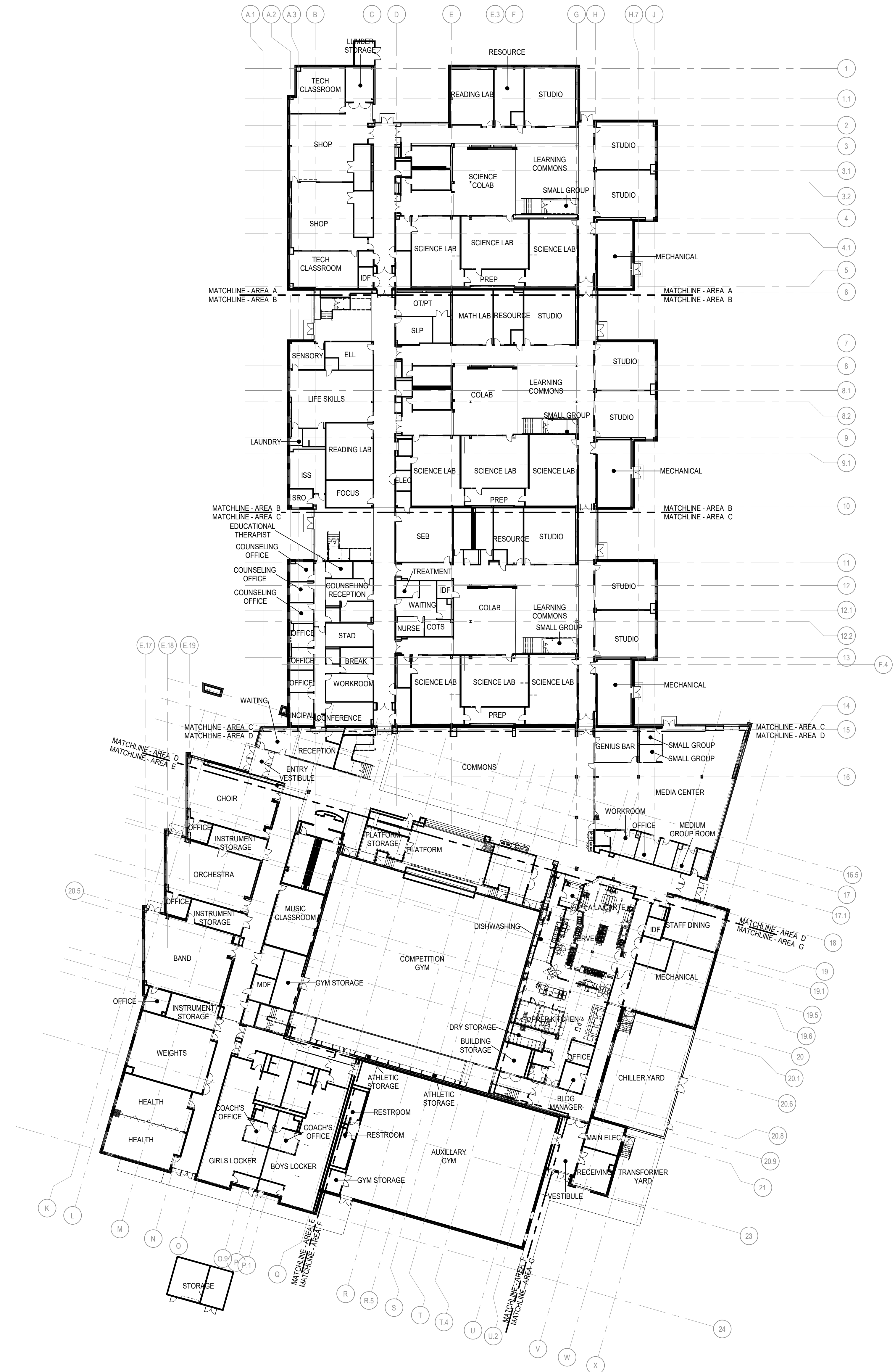
EXIT ACCESS TRAVEL DISTANCE: 238'-0" < 250'-0"
 (TABLE 1017.2 EXIT ACCESS TRAVEL DISTANCE)
 MAXIMUM COMMON PATH OF TRAVEL: 70'-0" < 75'-0"
 (TABLE 1006.2.1 SPACES WITH ONE EXIT OR EXIT ACCESS DOORWAY)

BUILDING 3 - TYPE IIB - 1 STORY + MEZZANINE
 65,957 SF
 SPRINKLED

UPPER SEATING IS 144 < 147% OF TOTAL BLEACHER, AND EGRESS DOWN STAIRS
 IBC 1108.2.4 DISPERSION OF WHEELCHAIR SPACES. EXCEPTION #2: IN MULTILEVEL ASSEMBLY SEATING AREAS WHERE THE SECOND FLOOR OR MEZZANINE LEVEL PROVIDES 25 PERCENT OR LESS OF THE TOTAL SEATING CAPACITY AND 300 OR FEWER SEATS, ALL WHEELCHAIR SPACES SHALL BE PERMITTED TO BE LOCATED ON THE MAIN LEVEL.

505.2.3 OPENNESS, EXCEPTION 1: MEZZANINES OR PORTIONS THEREOF ARE NOT REQUIRED TO BE OPEN TO THE ROOM IN WHICH THE MEZZANINES ARE LOCATED, PROVIDED THAT THE OCCUPANT LOAD OF THE AGGREGATE AREA OF THE ENCLOSED SPACE IS NOT GREATER THAN 10

505.2.3 OPENNESS, EXCEPTION 1: MEZZANINES OR PORTIONS THEREOF ARE NOT REQUIRED TO BE OPEN TO THE ROOM IN WHICH THE MEZZANINES ARE LOCATED, PROVIDED THAT THE OCCUPANT LOAD OF THE AGGREGATE AREA OF THE ENCLOSED SPACE IS NOT GREATER THAN 10



FIRST LEVEL ORIENTATION PLAN
 SCALE: 1" = 30'-0"

LEE'S SUMMIT MIDDLE SCHOOL #4
 LEE'S SUMMIT R-7 SCHOOL DISTRICT

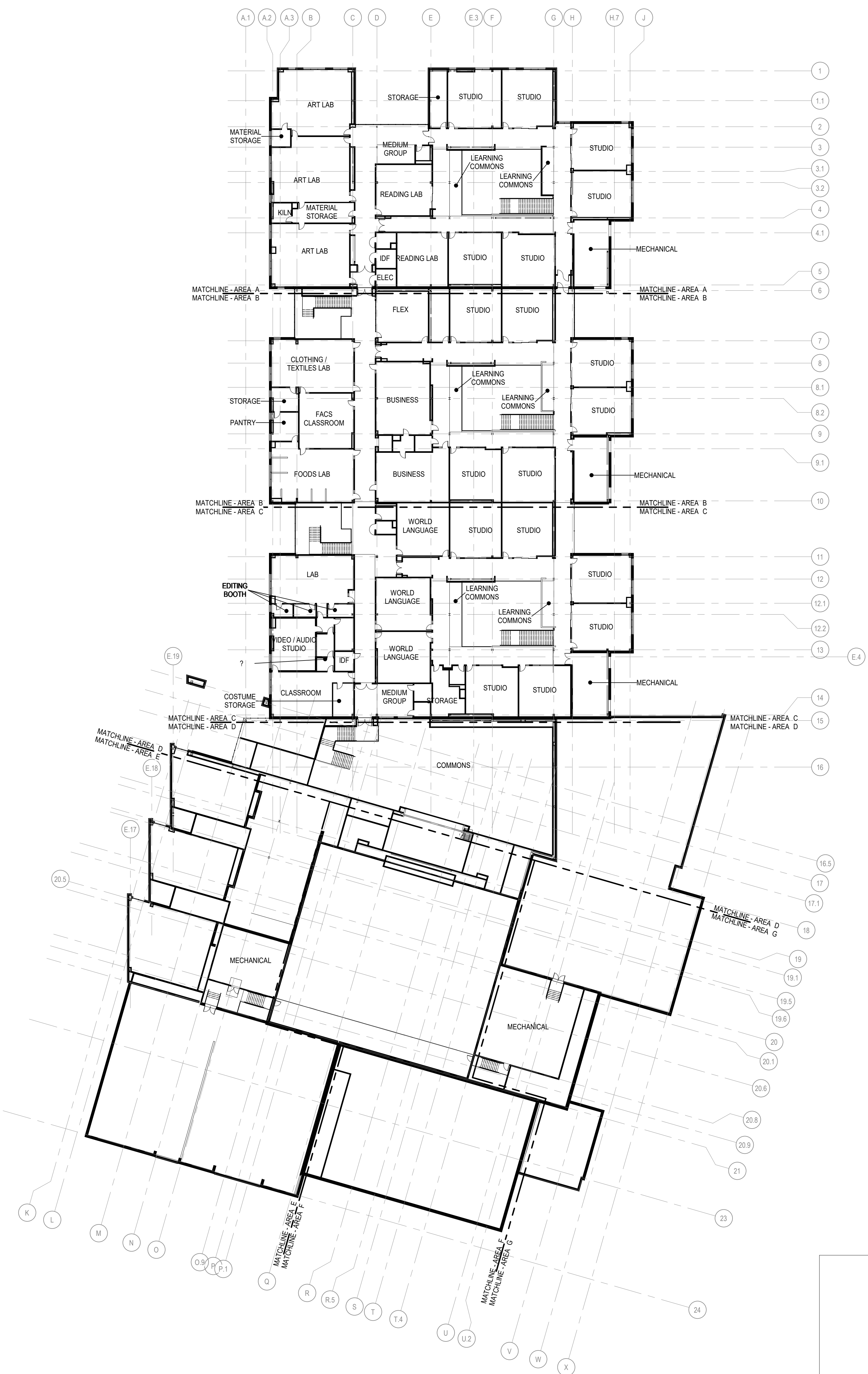
PACKAGE 3 - BUILDING & SITE
 10/08/20
 REVISIONS

13-20102-00

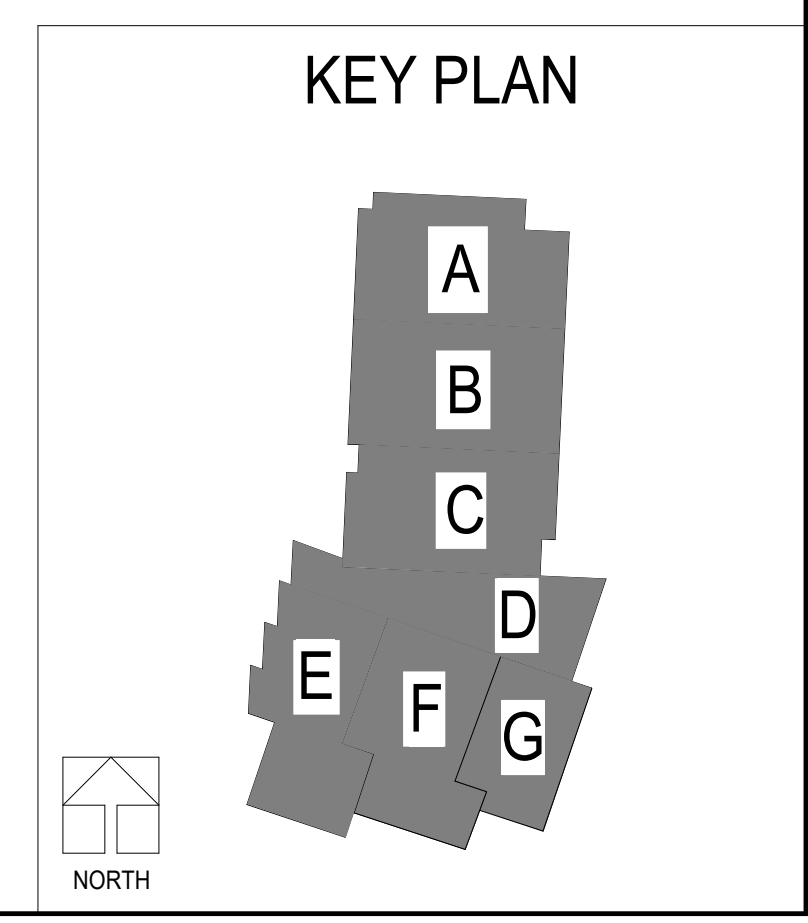
FIRST LEVEL ORIENTATION PLAN

OP1.1

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SECOND LEVEL ORIENTATION PLAN
SCALE: 1" = 30'-0"
NORTH



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