



LEE'S SUMMIT MISSOURI

Scope of Work Statement

Applicant: Precision Tools & Pallets Contractor/Homeowner/Tenant? (Circle one)
Primary Contact: Kyle Yebo Phone: 816-377-5957 Email: kyle.yebo@precisiontools.net

Project Address: 1721 NE Woodland Shores Ct
Name of Owner: Vince Bresnahan
Residential/Commercial? (Circle one)
Phone: _____

☐	Water service repair/replace:	☐	Work in right of way?	☐	Amperage: _____ (Engineer required of ≥ 400)
☐	Sewer service repair/replace:	☐	Work in right of way?	☐	
☐	Electrical service repair/replace:	☐		☐	
☐	HVAC repair/replace:	☐		☐	
☐	Uncovered deck:	☐		☐	
☐	Accessory Structure:	☐	Description: <u>Pool</u>	Square feet: <u>700</u>	
☐	Interior Alterations:	☐	Description: <u>Bath</u>	Square feet: <u>800</u>	
☐	Addition:	☐	Description: _____	Square feet: _____	
☐	Retaining wall over 48"	☐			
☒	Swimming pool	☒	Electrical contractor <u>the solar guys</u>	Plumber (NG?) _____	
☐	Lawn irrigation	☐			
☐	Other:	☐			
Cost of project including labor \$		<u>80,000</u>			

AFFIDAVIT: I hereby certify that I have the authority to make the foregoing application and that the application, the best of my knowledge, is complete and correct and that the permitted construction will conform to the regulations in the Codes adopted by the City of Lee's Summit and all applicable ordinances.

Signature of Applicant: Kyle Yebo
Printed Name of Applicant: Kyle Yebo
Date: 9/30/20



LEE'S SUMMIT
MISSOURI

POOL, SAUNA, HOT TUB OR JACUZZI FENCING/PROTECTIVE BARRIER REQUIREMENT
ACKNOWLEDGEMENT & AGREEMENT

Revised 04/23/2019

Address: 1721 NE Woodland Shores Ct.
Lot No.: 148
Subdivision: Woodland Shores

I, Vince Brescher (property owner), acknowledge and agree to have a fence or other protective enclosure installed on the property prior to the pool, hot tub or Jacuzzi being filled with water or the sauna being made operational in accordance with the following ordinance requirements:

Lee's Summit City Ordinance Section 7-1009 – Fencing.

A. The area which a swimming pool, sauna, hot tub, or Jacuzzi is located shall be entirely enclosed and separated from the adjoining property by a protective fence or other permanent structure not less than 4 feet in height, measured from grade. The enclosure shall be so constructed that a sphere four inches in diameter cannot pass through. Fence posts shall be decay or corrosion resistant and in concrete bases. Such protective enclosures shall be provided with gates equipped with self-closing and self latching devices placed at the top of the gate; provided, however, that above grade-structures of four feet or greater in height that are equipped with a ladder that can manually be lifted and locked shall not be required to have a protective enclosure. Said ladder shall be locked when the swimming pool, hot tub sauna or Jacuzzi is not attended.

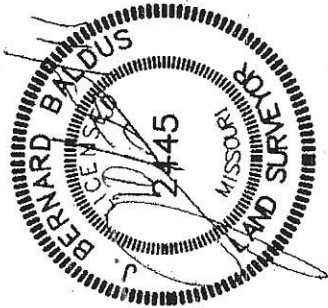
B. At the option of the property owner, a hot tub or Jacuzzi may be covered with a latching, protective cover instead of the fencing or protective enclosure described in subsection A. The cover on the hot tub or Jacuzzi shall be closed and latched at all times that the hot tub or Jacuzzi is not in use. If a covered hot tub or Jacuzzi is located in the same area as a swimming pool or sauna, the swimming pool or sauna must still be fenced or enclosed with a permanent structure in the manner described in section A.

Owner's Signature _____
Date 9/30/20

RELEASE FOR
CONSTRUCTION
AS NOTED ON PLANS REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI

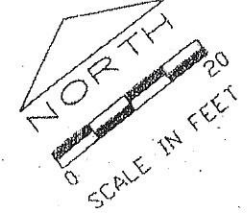
09/30/2020

LAND SURVEY COMPANY
P.O. BOX 528 - GRANDVIEW, MISSOURI 64030 • PHONE: 966-0839 • FAX: 763-1789
CONSTRUCTION STAKE PLOT PLAN
QUALITY SINCE 1959



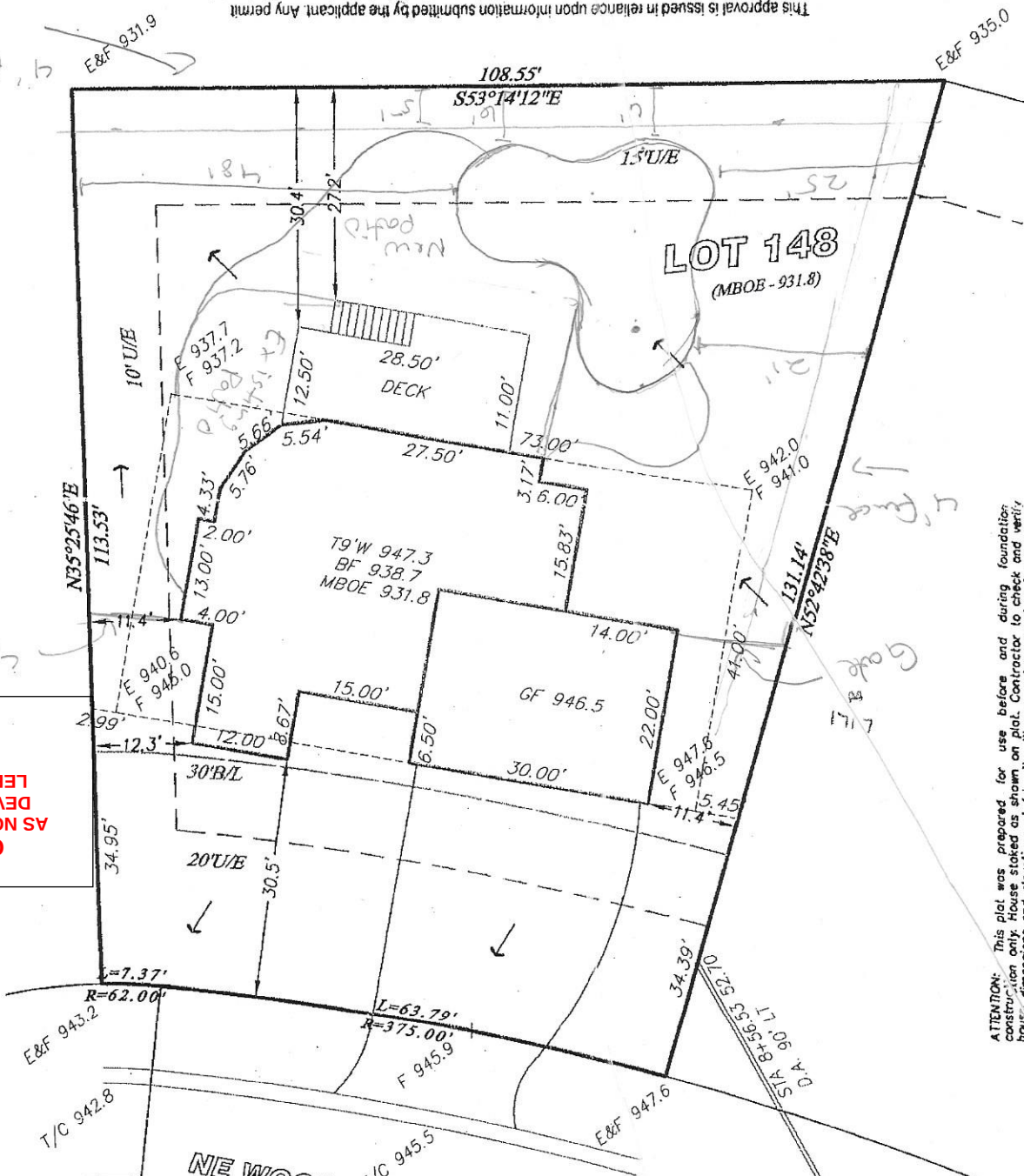
J. BERNARD BALDUS, MOPLS # 2445

PLANES 2011 6155



SCALE: 1" = 20'
DATE: 10/25/11

PRINT NAME: KEVIN S. J.
APPROVED: [Signature] DATE: 11/29/11
Summit, Missouri
This approval is issued in reliance upon information submitted by the applicant. Any permit issued pursuant to this approval may be suspended or revoked whenever the permit is issued in error, or on the basis of incorrect information supplied, or in violation of any ordinance or regulation. Approved plans shall not be changed, modified or altered without authorization. The issuance or granting of a permit or approval of plans shall not be construed to be a permit for or an approval of, any violation of any of the provisions of the ordinance of the City of Lees Summit, Missouri.



09/30/2020

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RES COURT
SHORES, 3RD PLAT,
SUMMIT, JACKSON COUNTY, MISSOURI