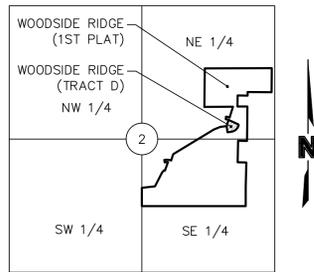


WOODSIDE RIDGE POOL

NW O'BRIEN ROAD & NW PRYOR ROAD

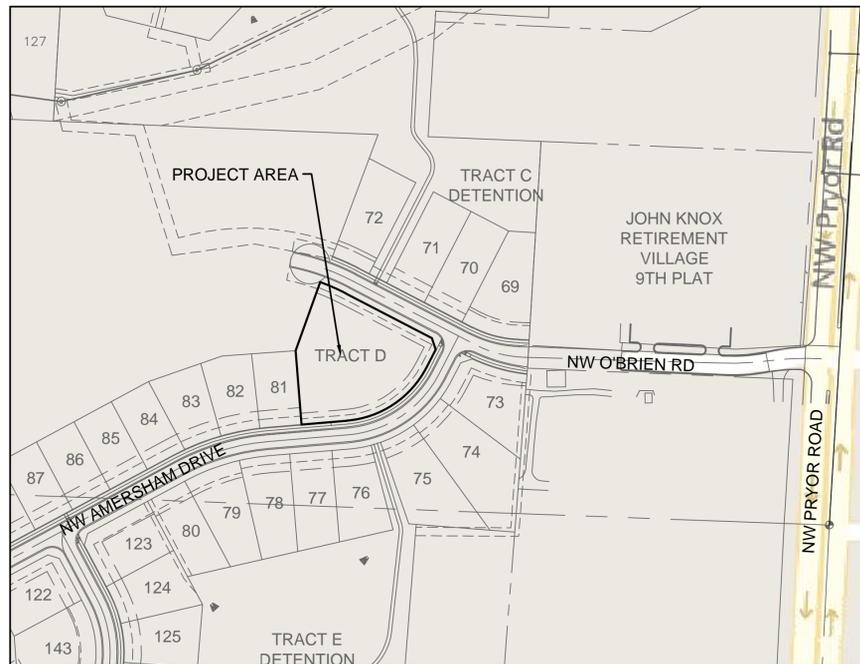
FINAL DEVELOPMENT PLANS

SECTION 2, TOWNSHIP 47 N, RANGE 32 W
IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI



VICINITY MAP
S 2, T 47 N, R 32 W
NOT TO SCALE

PROJECT TEAM & UTILITY CONTACT LIST	
OWNER / DEVELOPER CLAYTON PROPERTIES GROUPS, INC. DBA SUMMIT HOMES 120 SE 30TH STREET, CONTACT: VINCENT WALKER PHONE: 816.246.6700 EMAIL: VINCENT@SUMMITHOMESKC.COM	UTILITY SERVICE NUMBERS NAME: LEE'S SUMMIT PUBLIC WORKS PHONE: 816-969-1800 NAME: LEE'S SUMMIT WATER & SEWER DEPARTMENT PHONE: 816-969-1940 NAME: SPIRE (MGE) PHONE: 816-756-5252 NAME: AT&T PHONE: 800-286-8313 NAME: EVERGY PHONE: 816-471-5275 NAME: SPECTRUM (TWC) PHONE: 816-358-5350 NAME: GOOGLE FIBER PHONE: 877-454-6959
ENGINEER OLSSON 1301 BURLINGTON, SUITE 100 NORTH KANSAS CITY, MO 64116 CONTACT: JULIE E SELLERS, P.E. PHONE: 816.361.1177 EMAIL: JSSELLERS@OLSSON.COM	



INDEX OF SHEETS	
Sheet Number	Sheet Title
C01	TITLE SHEET
C02	GENERAL NOTES
C03	EXISTING CONDITIONS
C04	GRADING PLAN
C05	SPOT ELEVATIONS
C06	SPOT ELEVATIONS
C07	GEOMETRIC PLAN
C08	SITE PLAN
C09	UTILITY PLAN
C09A	STORM SEWER PLAN & PROFILE
C10	EROSION CONTROL PLAN
C11	DETAILS
C12	DETAILS
C13	DETAILS
L1-L2	LANDSCAPE PLANS
	ARCHITECTURAL TITLE SHEET
A100	ARCHITECTURAL FLOOR PLAN
A101	ARCHITECTURAL ROOF PLAN
A200-A202	ARCHITECTURAL ELEVATIONS
EL-1	EXTERIOR LIGHTING PLAN
1	MEP PHOTOMETRIC DIAGRAM
2	MEP DETAIL SHEET

ACCEPTED:

CITY OF LEE'S SUMMIT

DATE

PROPERTY DESCRIPTION:

ALL OF TRACT D, WOODSIDE RIDGE FIRST PLAT, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

BENCHMARK

BMK #5 CHISELED SQUARE ON THE S.E. CORNER OF A CONCRETE PAD FOR A TRAFFIC SIGNAL BOX AT THE S.W. CORNER OF PRYOR ROAD AND O'BRIEN ROAD. ELEVATION: 979.24

NOTES:

ANY QUANTITIES SHOWN WITHIN THESE PLANS HAVE BEEN PROVIDED FOR PERMITTING PURPOSES ONLY AND ARE NOT INTENDED FOR USE IN PREPARATION OF CONTRACT DOCUMENTS. QUANTITIES INTENDED FOR, BUT NOT LIMITED TO, THE PREPARATION OF PROPOSALS AND BID DOCUMENTS SHALL BE INDEPENDENTLY EVALUATED BY THE ESTIMATING PARTY BASED UPON THE CONTENTS OF THESE PLANS.

CIVIL ENGINEER:
I HEREBY CERTIFY THAT THIS PROJECT HAS BEEN DESIGNED, AND THESE PLANS PREPARED, TO MEET OR EXCEED THE DESIGN CRITERIA OF LEE'S SUMMIT, MISSOURI, IN CURRENT USAGE, EXCEPT AS INDICATED BELOW.

Julie E. Sellers

JULIE SELLERS, P.E.
CIVIL ENGINEER
MO# 2017000367

6/12/20
DATE

**APPROVED RECORD
DRAWING**

 These plans have been reviewed for
accuracy by the Development
Services Staff



JULIE SELLERS, P.E.
MO# 2017000367

NO. REV.	DATE	REVISIONS DESCRIPTION
1	06/12/2020	REVISED PER CITY COMMENTS

TITLE SHEET
FINAL DEVELOPMENT PLANS
WOODSIDE RIDGE POOL
NW O'BRIEN ROAD & NW PRYOR ROAD
LEE'S SUMMIT, MISSOURI
2020

SHEET
C01

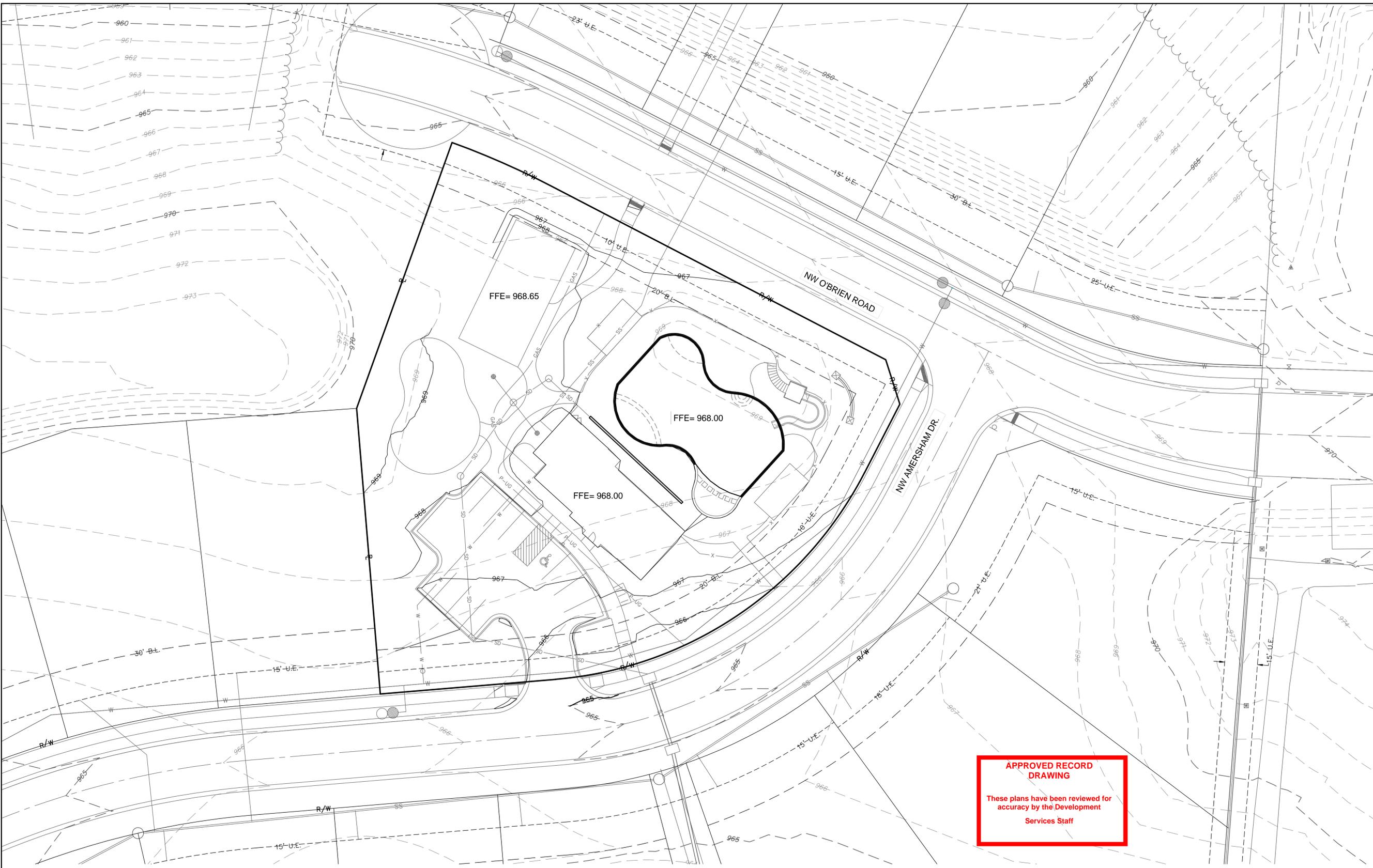
drawn by: _____ C.S.M.
checked by: _____ J.E.S.
designed by: _____ C.S.M.
QA/QC by: _____ J.E.S.
project no.: B18-1140
date: 06/12/2020

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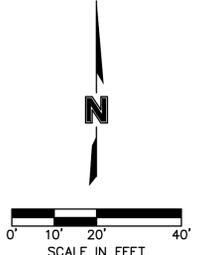
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LEGEND		
-100-	EXISTING INDEX CONTOURS	
-100-	EXISTING INTERMEDIATE CONTOURS	
-100-	PROPOSED INDEX CONTOURS	
-100-	PROPOSED INTERMEDIATE CONTOURS	

EARTHWORK QUANTITIES		
LOCATION	CUT (C.Y.)	FILL (C.Y.)
SITE	948	234

EARTHWORK QUANTITIES NOTES:
 1. EARTHWORK QUANTITIES BASED ON FINISHED GRADE SURFACE AND DO NOT INCLUDE ADJUSTMENTS FOR TOPSOIL AND SHRINKAGE.
 2. EARTHWORK QUANTITIES DO NOT TAKE INTO CONSIDERATION EXCAVATION, REMOVAL AND DISPOSAL OF MATERIAL DEEMED UNSUITABLE BY A GEOTECHNICAL ENGINEER. THE EARTHWORK CONTRACTOR IS RESPONSIBLE FOR EXCAVATION, REMOVAL AND DISPOSAL OF UNSUITABLE MATERIAL AND FOR REPLACING IT WITH SUITABLE MATERIAL.



APPROVED RECORD DRAWING
 These plans have been reviewed for accuracy by the Development Services Staff

- GENERAL NOTES:**
- CONTRACTOR SHALL ADHERE TO THE "DESIGN AND CONSTRUCTION MANUAL" SECTION 2100 AS ADOPTED BY THE CITY OF LEE'S SUMMIT (LATEST EDITION), FOR EXCAVATION AND EMBANKMENT WORK WITHIN THE PROPOSED RIGHT-OF-WAY.
 - AREAS OF CONSTRUCTION SHALL BE STRIPPED OF ALL VEGETATION, ORGANIC MATTER AND TOPSOIL TO A DEPTH AS RECOMMENDED BY GEOTECHNICAL ENGINEER AND/ OR TESTING AGENCY. SOILS REMOVED DURING SITE STRIPPING SHOULD BE EVALUATED TO DETERMINE IF PORTIONS OF THE TOPSOIL STRATUM MAY BE UTILIZED AS STRUCTURAL FILL WITHIN PAVEMENT AREAS. ANY MATERIAL NOT DEEMED AS SUITABLE FILL MATERIAL BY THE GEOTECHNICAL ENGINEER AND/ OR TESTING AGENCY SHALL BE REMOVED FROM THE JOB SITE BY THE CONTRACTOR AT THEIR EXPENSE.
 - CONTRACTOR SHALL ADHERE TO THE SITE PREPARATION AND STRUCTURAL FILL RECOMMENDATIONS AS CALLED OUT IN THE GEOTECHNICAL REPORT AND ENGINEERING EVALUATION AS PROVIDED BY THE GEOTECHNICAL ENGINEER PROVIDED WITH WOODSIDE RIDGE 1ST PLAT.
 - ALL EMBANKMENT OUTSIDE OF RIGHT-OF-WAY SHOULD BE PLACED IN CONTROLLED LIFTS HAVING A MAXIMUM LOOSE LIFT THICKNESS OF 9". EMBANKMENT SHOULD BE COMPACTED TO A MINIMUM OF 95% OF THE MATERIALS MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-698 (STANDARD PROCTOR COMPACTION). MOISTURE CONTENT OF THE FILL AT THE TIME OF COMPACTION SHALL BE WITHIN A RANGE OF -0 TO +3 PERCENT OF OPTIMUM MOISTURE CONTENT.

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JULIE ELAINE SELLERS, P.E.
 MO# 2017000367

NO. REV.	DATE	REVISIONS DESCRIPTION

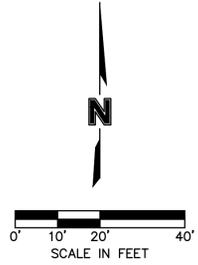
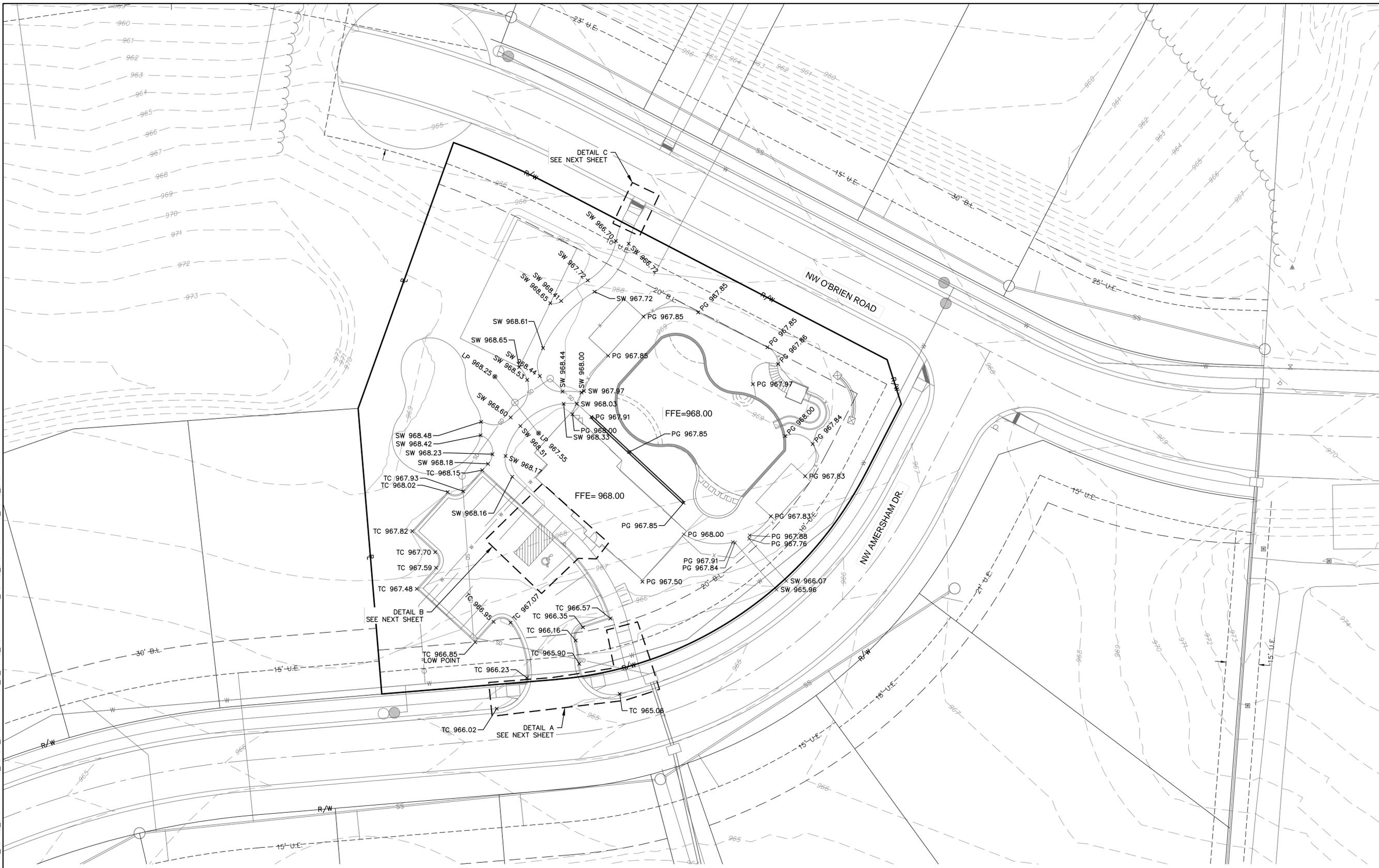
GRADING PLAN
 FINAL DEVELOPMENT PLANS
 WOODSIDE RIDGE POOL
 NW O'BRIEN ROAD & NW PRYOR ROAD
 LEE'S SUMMIT, MISSOURI

2020

drawn by: _____ C.S.M.
 checked by: _____ J.E.S.
 designed by: _____ C.S.M.
 QA/QC by: _____ J.E.S.
 project no.: B18-1140
 date: 06/12/2020

SHEET C04

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**APPROVED RECORD
DRAWING**

These plans have been reviewed for
accuracy by the Development
Services Staff

LEGEND	
TC	TOP OF CURB
PV	TOP OF PAVEMENT
SW	SIDEWALK
FF	FINISHED FLOOR ELEVATION
PG	PROPOSED GRADE
LP	LOW POINT

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JULIE ELAINE
 SELLERS
 NUMBER
 PE-2017000367
 6/12/20
 PROFESSIONAL ENGINEER

JULIE SELLERS, P.E.
 MO# 2017000367

NO. REV.	DATE	REVISIONS DESCRIPTION

SPOT ELEVATIONS PLANS
 FINAL DEVELOPMENT PLANS

WOODSIDE RIDGE POOL
 NW O'BRIEN ROAD & NW PRYOR ROAD

LEE'S SUMMIT, MISSOURI

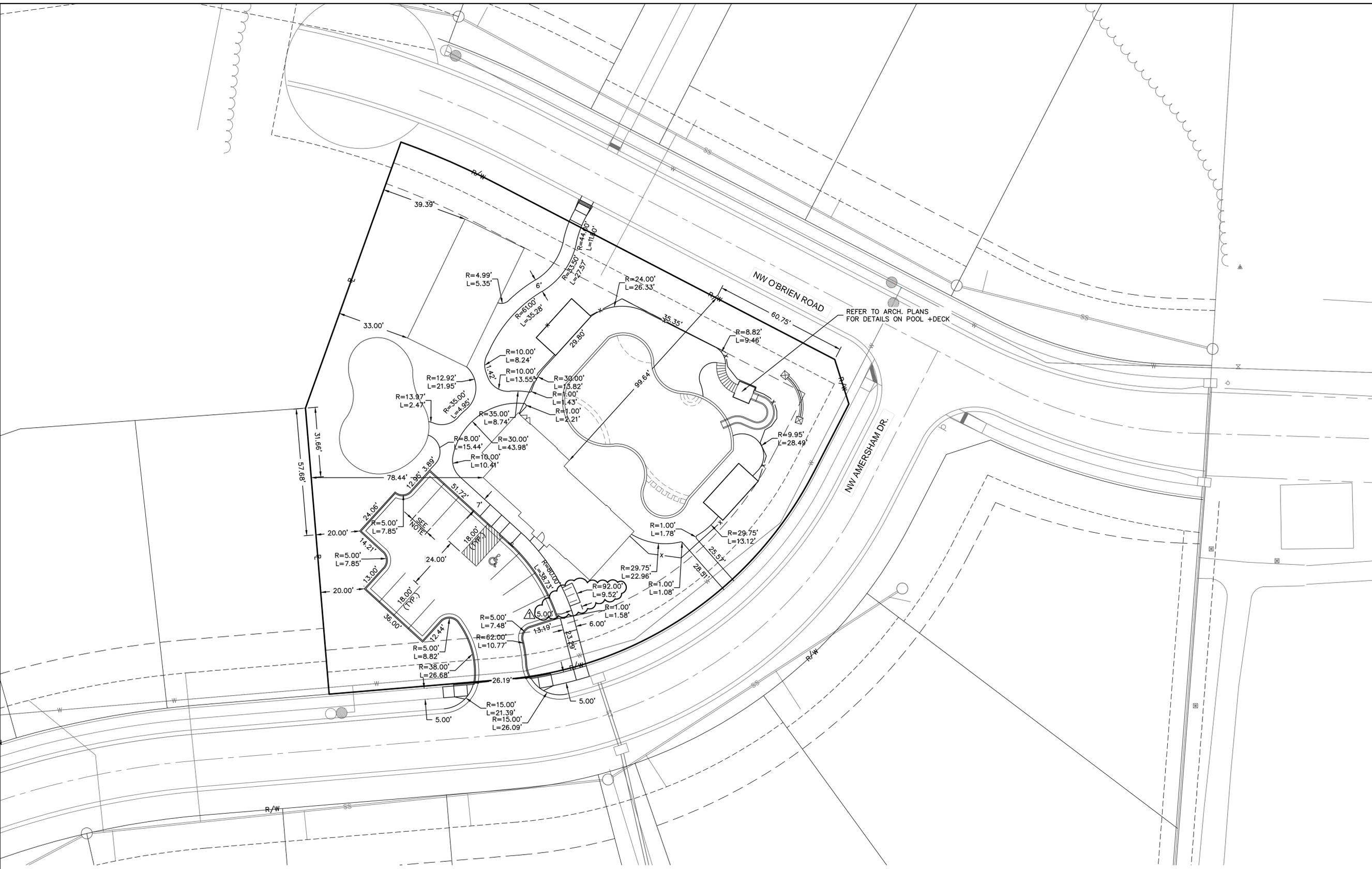
2020

drawn by: _____ C.S.M.
 checked by: _____ J.E.S.
 designed by: _____ C.S.M.
 QA/QC by: _____ J.E.S.
 project no.: 019-1288
 date: 02/11/2020

**SHEET
C05**

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GENERAL NOTES:
 1. PAVEMENT MARKING SPACING ALONG CURB FOR PARKING STALLS SHALL BE EVENLY DIVIDED. ALL STALLS SHALL BE A MIN. WIDTH OF 9' AND AISLE 8' (SEE SHEET C12 FOR ADDITIONAL DETAILS)



REFER TO ARCH. PLANS FOR DETAILS ON POOL + DECK



JULIE SELLERS, P.E.
 MO# 2017000367

NO.	REV.	DATE	REVISIONS DESCRIPTION
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GEOMETRIC PLAN FINAL DEVELOPMENT PLANS	WOODSIDE RIDGE POOL NW O'BRIEN ROAD & NW PRYOR ROAD	2020
LEE'S SUMMIT, MISSOURI		

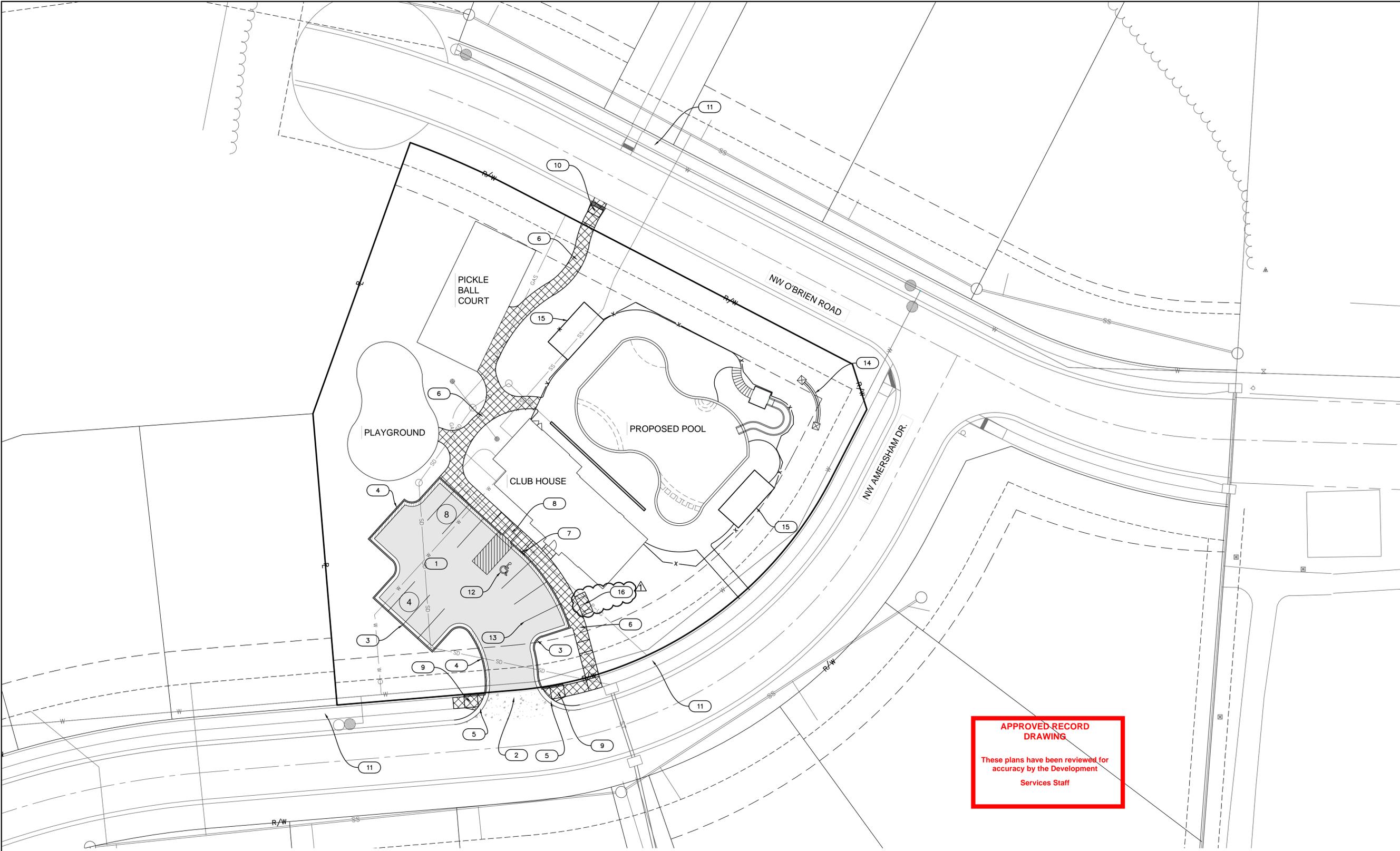
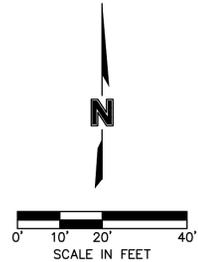
drawn by: C.S.M.
 checked by: J.E.S.
 project no: B18-1140
 date: 06/12/2020

APPROVED RECORD DRAWING
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 Services

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LEGEND			
	CONCRETE SIDEWALK (See Detail Sheet)		CG-1 CURB & GUTTER (See Detail Sheet)
	STANDARD DUTY ASPHALT PAVEMENT (See Detail Sheet)		CG-1 CURB & GUTTER (DRY) (See Detail Sheet)
	CONCRETE PAVEMENT (See Detail Sheet)		CG-2 CURB & GUTTER (See Detail Sheet)
	# OF PARKING STALLS		

SITE DATA TABLE	
TOTAL AREA	41,442 S.F. (0.95 AC.)
TOTAL BUILDING FLOOR AREA	2,303 S.F.
FLOOR AREA RATIO	0.06
TOTAL IMPERVIOUS AREA	20,521 S.F. (0.47 AC.)
REQUIRED PARKING (1 STALL:16 LOTS)	12 STALLS (INCLUDING 1 ADA STALL) (198 LOTS)
PROPOSED PARKING	12 STALLS (INCLUDING 1 ADA STALL)
EXISTING ZONING	RP-3



APPROVED RECORD DRAWING
 These plans have been reviewed for accuracy by the Development Services Staff

CONSTRUCTION NOTES

- 1 CONSTRUCT STANDARD DUTY ASPHALT PAVEMENT (SEE LEGEND)
- 2 CONSTRUCT STANDARD CONCRETE PAVEMENT - KCMMB (SEE LEGEND)
- 3 TYPE CG-1 CONCRETE CURB AND GUTTER (SEE LEGEND)
- 4 TYPE CG-1 DRY CONCRETE CURB AND GUTTER (SEE LEGEND)
- 5 TYPE CG-2 CONCRETE CURB AND GUTTER (SEE LEGEND)
- 6 CONSTRUCT PRIVATE SIDEWALK
- 7 PROPOSED ACCESSIBLE PARKING SIGN

- 8 CONSTRUCT ACCESSIBLE SIDEWALK LANDING (SEE SPOT ELEVATION PLAN)
- 9 ADA RAMP WITHOUT TRUNCATED DOMES
- 10 ADA RAMP WITH TRUNCATED DOMES
- 11 EXISTING PUBLIC SIDEWALK
- 12 PROPOSED ACCESSIBLE STRIPING (TYP.) (SEE DETAIL SHEET)
- 13 PROPOSED PAVEMENT STRIPING (TYP.) (SEE NOTE 10, SHEET C02)
- 14 PROPOSED MONUMENT SIGN (SEE ARCHITECTURAL PLANS)
- 15 PROPOSED SHADE STRUCTURE (SEE ARCHITECTURAL PLANS)
- 16 PROPOSED BICYCLE RACKS

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 MO# 2017000367

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1 06/12/2020

SITE PLAN
 FINAL DEVELOPMENT PLANS

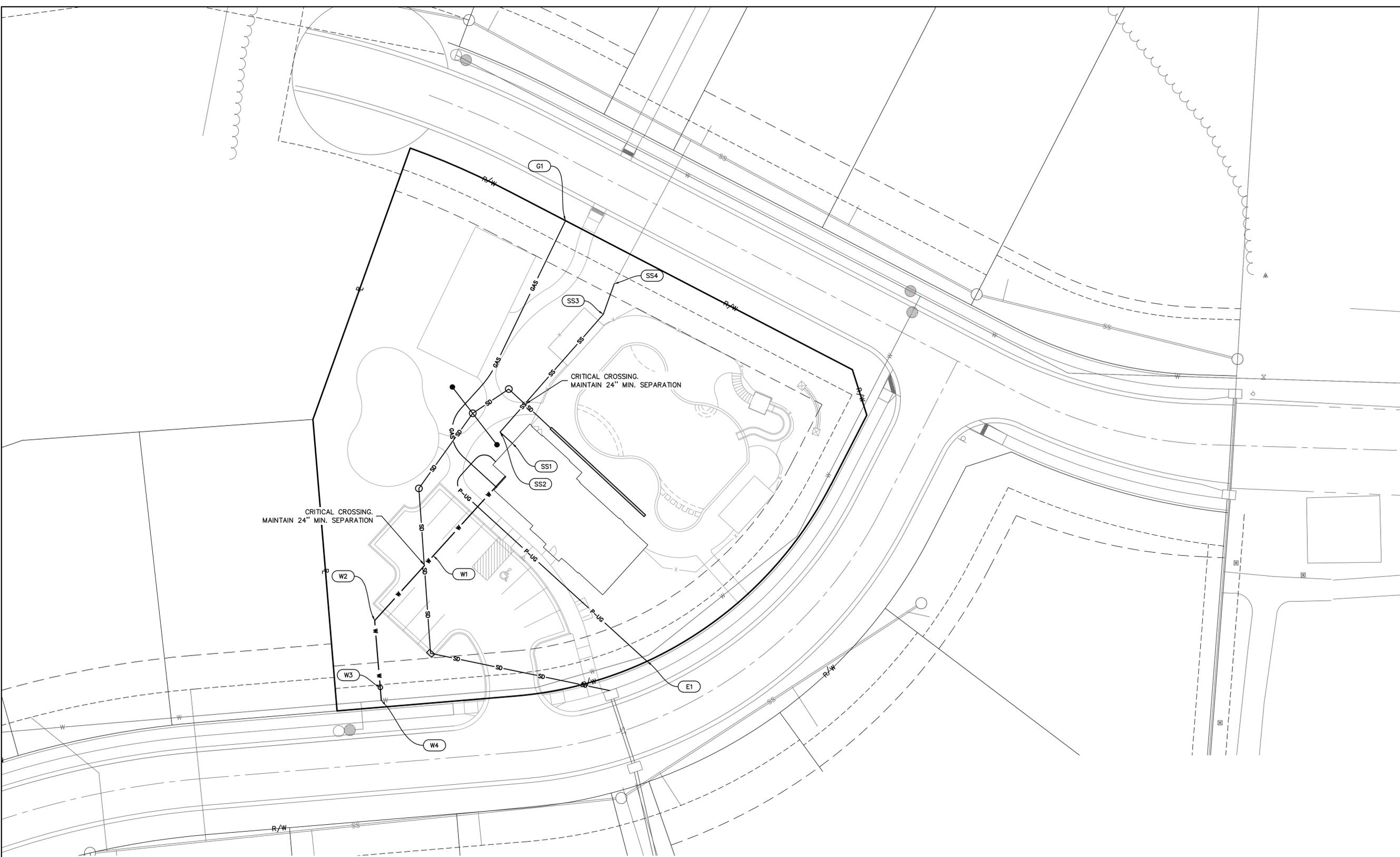
WOODSIDE RIDGE POOL
 NW O'BRIEN ROAD & NW PRYOR ROAD

2020
 LEE'S SUMMIT, MISSOURI

drawn by: _____ C.S.M.
 checked by: _____ J.E.S.
 designed by: _____ C.S.M.
 QA/QC by: _____ J.E.S.
 project no.: B18-1140
 date: 06/12/2020

SHEET C08

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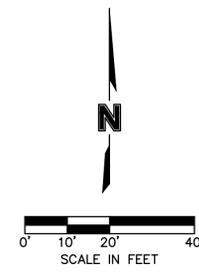
- WATER**
- (W1) INSTALL 87 LF. OF 2" SERVICE LINE TYPE K COPPER FOR WATER SERVICE
 - (W2) INSTALL 45' BEND THEN 36 LF. OF 2" SERVICE LINE TYPE K COPPER FOR WATER SERVICE
 - (W3) INSTALL 2" WATER METER
N: 1002418.2451
E: 2812526.4432
 - (W4) CONTRACTOR TO COORDINATE TAP OF EXISTING 8" WATER MAIN FOR PROPOSED 2" SERVICE LINE WITH CITY.

- ELECTRIC**
- (E1) INSTALL 135 L.F. OF 4" CONDUIT FOR KCPL. (CONTRACTOR TO COORDINATE WITH KCPL FOR SERVICE AND LOCATION OF EXISTING LINES.)
- GAS**
- (G1) INSTALL 152 L.F. OF 4" CONDUIT FOR GAS SERVICE TO BUILDING (CONTRACTOR TO COORDINATE W/GAS COMPANY FOR SERVICE LOCATION OF EXISTING MAIN)

- SANITARY SEWER**
- (SS1) INSTALL 7.4 L.F. OF 4" PVC (SDR-26) CONNECT TO BUILDING STUB PER MEP PLANS. INSTALL RISER AS REQUIRED.
 - (SS2) INSTALL 69.88 L.F. OF 4" PVC (SDR-26) AT 4.75% FL-959.80 (90' BEND WITH CLEAN OUT)
 - (SS3) INSTALL 14.42 L.F. OF 4" PVC (SDR-26) AT 4.5% FL-956.48 (22.5' BEND WITH CLEAN OUT)
 - (SS4) CONNECT TO EXISTING 6" LATERAL
⊙ END OF 6" LATERAL 955.80

▲ STORM SEWER
 REFER TO SHEET C09A FOR DETAILS

**APPROVED RECORD
 DRAWING**
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 accuracy by the Development
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 MO# 2017000367

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UTILITY PLAN
 FINAL DEVELOPMENT PLANS
 WOODSIDE RIDGE POOL
 NW O'BRIEN ROAD & NW PRYOR ROAD
 LEE'S SUMMIT, MISSOURI

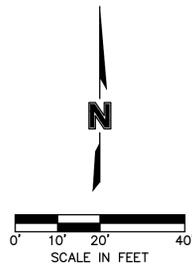
2020

drawn by: _____ C.S.M.
 checked by: _____ J.E.S.
 designed by: _____ C.S.M.
 QA/QC by: _____ J.E.S.
 project no.: B18-1140
 date: 06/12/2020

**SHEET
 C09**

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- NOTES:**
1. THE EROSION CONTROL PLAN INDICATES THE FINAL PLACEMENT OF EROSION CONTROL DEVICES. THE CONTRACTOR(S) MAY PROCEED WITH THE CONSTRUCTION PRIOR TO THE FINAL PLACEMENT OF THESE DEVICES BY PROVIDING ADDITIONAL DEVICES TO CONTROL EROSION ON THEIR ITEMS OF WORK. THESE DEVICES SHALL BE MAINTAINED UNTIL THE FINAL DEVICES ARE IN PLACE.
 2. REFER TO LANDSCAPING PLAN FOR SEEDING + LANDSCAPING REQUIREMENTS.
 3. SEE SHEET C13 FOR DETAILS.



**APPROVED RECORD
DRAWING**

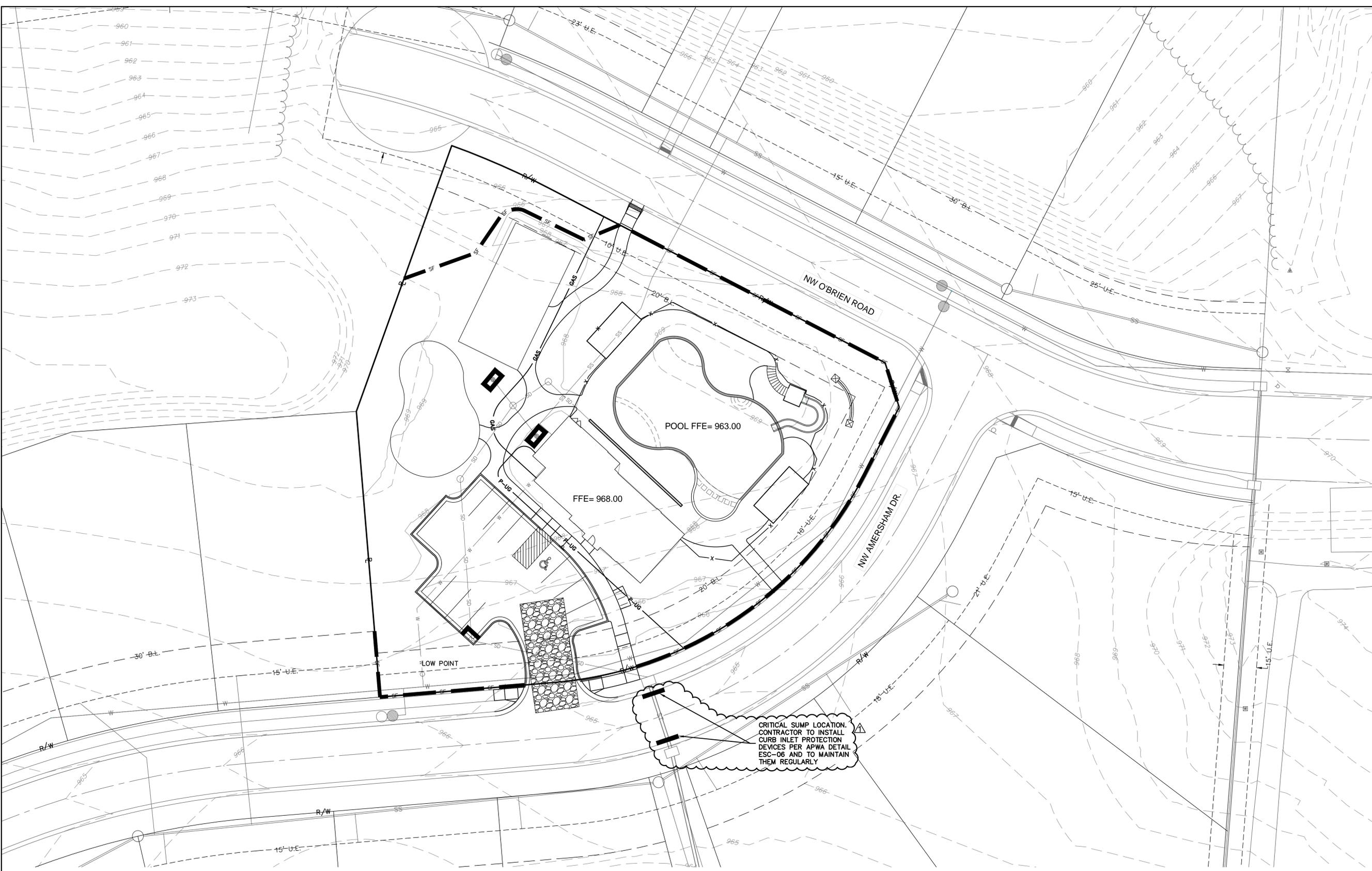
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accuracy by the Development
Services Staff

DISTURBED AREA = 0.93 AC.

LEGEND	
DEVICES	
	SILT FENCE
	STORM DRAIN INLET PROTECTION
	TEMPORARY STONE CONSTRUCTION ENTRANCE

drawn by: C.S.M.
 checked by: J.E.S.
 designed by: C.S.M.
 QA/QC by: J.E.S.
 project no.: B18-1140
 date: 06/12/2020

SHEET
C10



JULIE SELLERS, P.E.
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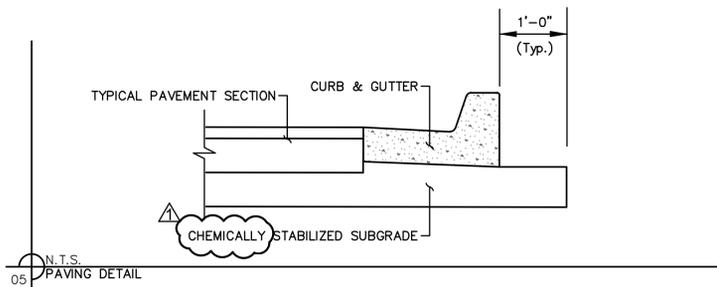
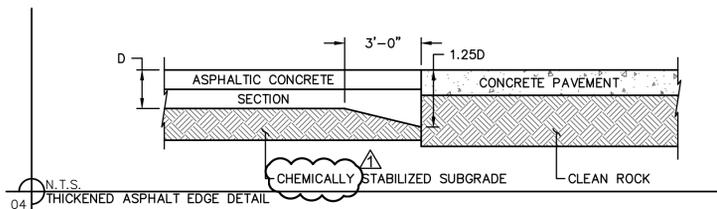
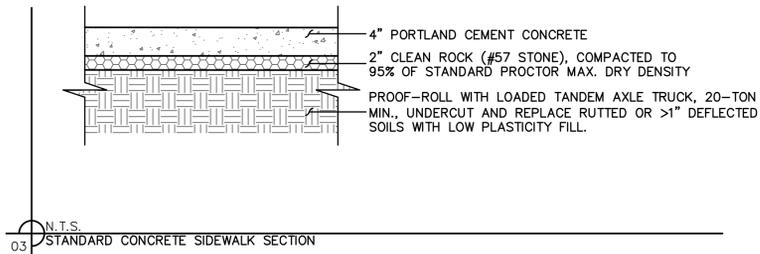
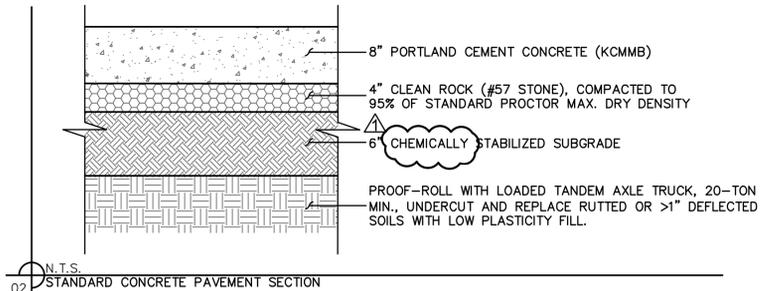
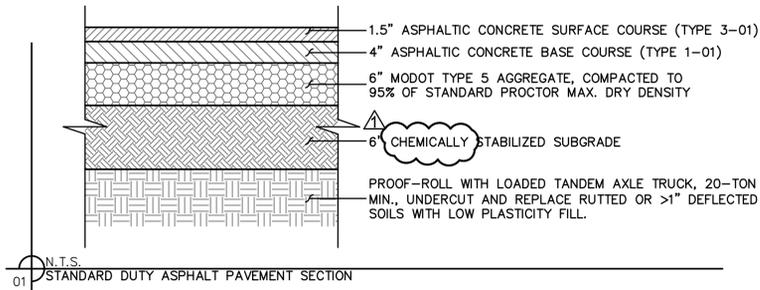
EROSION CONTROL PLAN
 FINAL DEVELOPMENT PLANS
 WOODSIDE RIDGE POOL
 NW O'BRIEN ROAD & NW PRYOR ROAD
 LEE'S SUMMIT, MISSOURI

2020

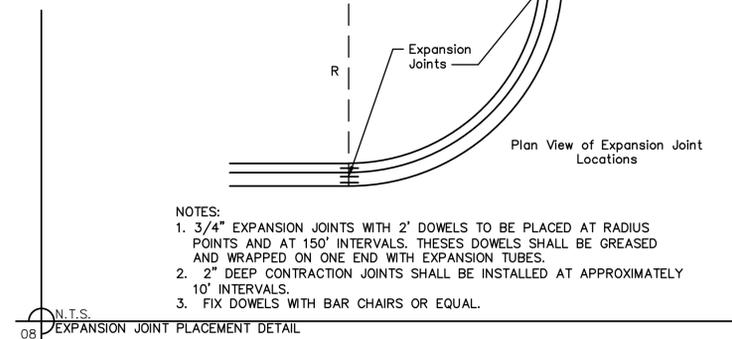
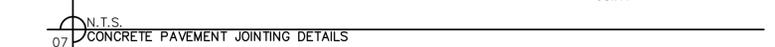
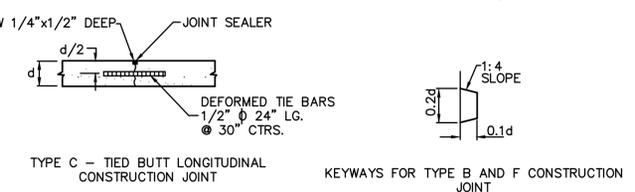
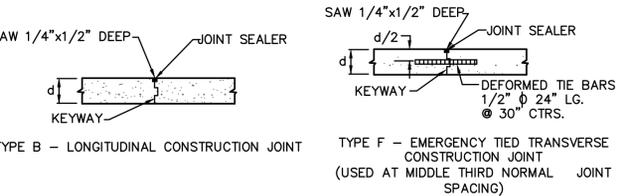
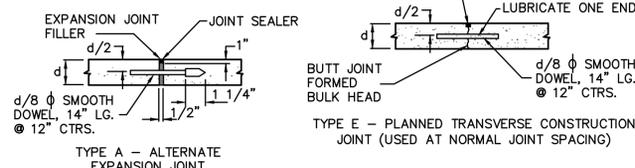
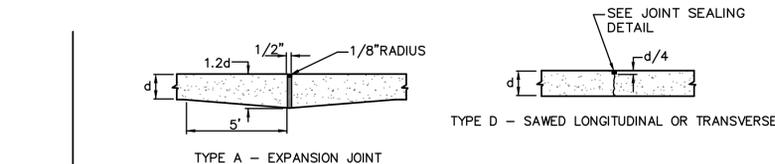
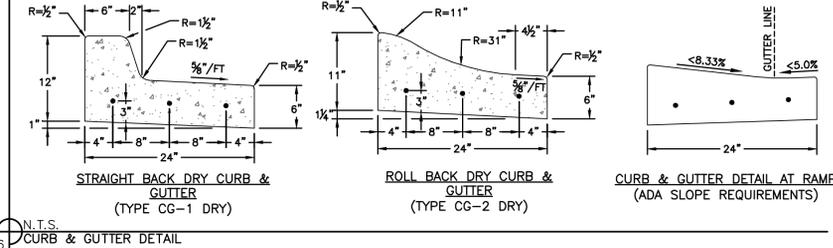
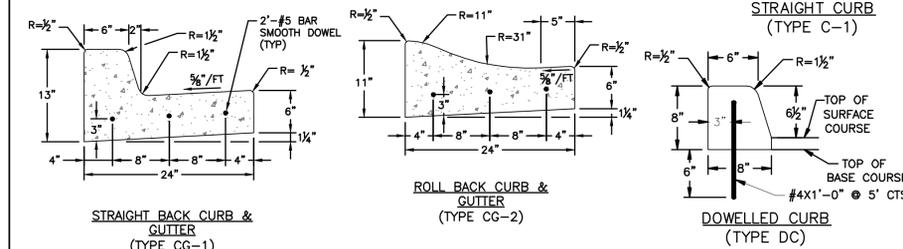
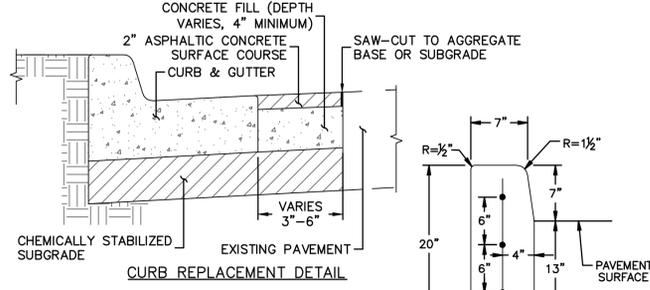
REVISIONS

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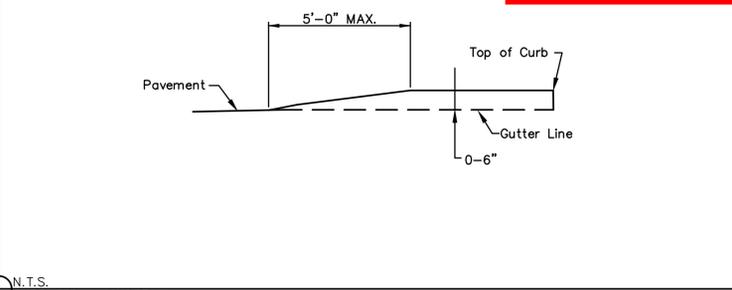
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 DATE: Jun 12, 2020 11:37am XREFS:
 USER: ssaylor



- GENERAL NOTES:**
- 3/4" ISOLATION JOINTS WITH 3 (2'-#5 BAR) SMOOTH DOWELS SHALL BE PLACED AT RADIUS POINTS AND AT 150' INTERVALS. THESE DOWEL BARS SHALL BE GREASED AND WRAPPED ON ONE END WITH EXPANSION TUBES.
 - 3" DEEP CONTRACTION JOINTS SHALL BE INSTALLED AT APPROXIMATELY 10' INTERVALS. THESE JOINTS SHALL PASS ACROSS THE ENTIRE CURB SECTION.
 - CONCRETE FILL SHALL HAVE UNIFORM AND SMOOTH FINISH.
 - KCMB 4K CONCRETE SHALL BE USED FOR ALL CURBS.
 - ASPHALTIC CONCRETE SURFACE SHALL CONFORM TO STANDARD SPECIFICATIONS SECTION 2205.2.
 - CURBS FOR NEW STREETS SHALL BE BUILT ON ASPHALT OR AGGREGATE BASE AS SHOWN IN TYPICAL SECTION DETAIL.
 - WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.



APPROVED RECORD DRAWING
 These plans have been reviewed for accuracy by the Development Services Staff



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JULIE ELAINE SELLERS, P.E.
 MO# 2017000367

REVISIONS DESCRIPTION
 NO. REV. DATE REVISION PER CITY COMMENTS

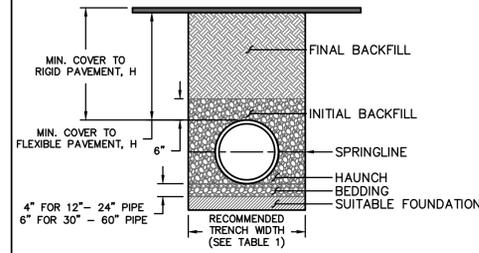
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DETAILS
 FINAL DEVELOPMENT PLANS
 WOODSIDE RIDGE POOL
 NW O'BRIEN ROAD & NW PRYOR ROAD
 LEE'S SUMMIT, MISSOURI

2020

drawn by: C.S.M.
 checked by: J.E.S.
 designed by: C.S.M.
 QA/QC by: J.E.S.
 project no.: B18-1140
 date: 06/12/2020

SHEET
 C11



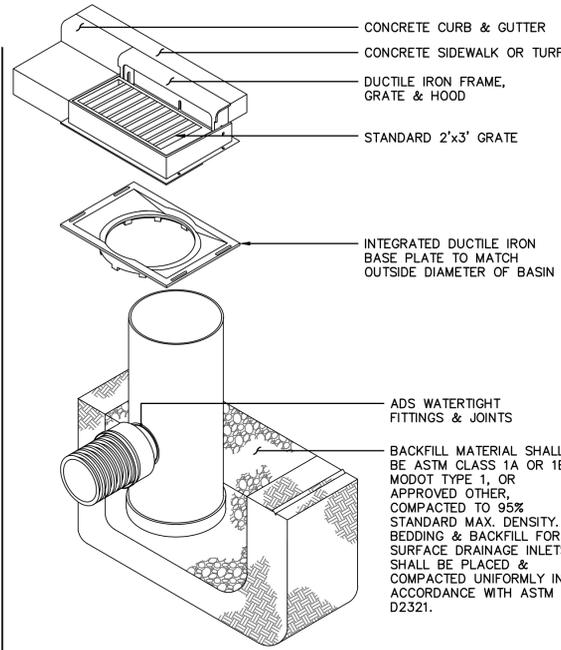
PIPE DIA.	MIN. TRENCH WIDTH*
<4"	O.D.+15"
4"	21"
6"	23"
8"	26"
10"	28"
12"	30"
15"	34"
18"	39"
24"	48"
30"	56"
36"	64"
42"	72"
48"	80"
54"	88"
60"	96"

* TRENCH CENTERED ON PIPE

NOTES:

1. ALL HDPE AND PVC PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION.
2. IF TRENCH IS EXCAVATED IN ROCK OR HIGH-BEARING STRENGTH SOILS, TRENCH WIDTHS FOR 24" - 60" DIA. MAY BE REDUCED, FROM VALUES IN TABLE 1, TO THE PIPE OD PLUS 12".
3. MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
4. **FOUNDATION:** WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE GEOTECHNICAL ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE GEOTECHNICAL ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
5. **BEDDING:** SUITABLE MATERIAL SHALL BE ASTM CLASS 1A OR 1B, MODOT TYPE 1, OR APPROVED OTHER, COMPACTED TO 95% STANDARD MAX. DENSITY. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR PIPE 24" DIAMETER AND LESS; 6" FOR 30"-60" DIAMETER PIPE.
6. **INITIAL BACKFILL:** SUITABLE MATERIAL SHALL BE ASTM CLASS 1A OR 1B, MODOT TYPE 1, OR APPROVED OTHER, COMPACTED TO 95% STANDARD MAX. DENSITY IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION. INSTALL AND COMPACT IN 6" MAXIMUM LIFTS.
7. **FINAL BACKFILL:** EXCEPT WHERE SUPERCEDED BY CITY REQUIREMENTS FOR RIGHT-OF-WAY CONSTRUCTION, GEOTECHNICAL REQUIREMENTS FOR UTILITY TRENCH BACKFILL, AND OTHER CONSIDERATIONS, SUITABLE MATERIAL MAY BE SITE SOILS COMPACTED TO 95% STANDARD MAX. DENSITY TO WITHIN 12" OF THE PAVEMENT SUBGRADE, AND TO SUBGRADE ELEVATION FOR NON-PAVED AREAS.
8. **MINIMUM COVER:** MINIMUM COVER, H, IN NON-TRAFFIC RATED APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED PER CITY AND/OR UTILITY STANDARDS AND/OR TO PREVENT FLOTATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" FOR UP TO 48" DIAMETER PIPE AND 24" OF COVER FOR UP TO 60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE OR TO TOP OF RIGID PAVEMENT.

N.T.S.
01 PIPE TRENCHING & BEDDING



DRAIN BASIN NOTES:

1. BOTH DRAIN BASINS AND CURB INLETS USE STANDARD BASIN ASSEMBLY.
2. UNLESS OTHERWISE COORDINATED WITH ENGINEER, NO SUBSTITUTION FOR ADS NYLOPLAST STRUCTURES, INCLUDING ALL PARTS. ALL CONSTRUCTION SHALL BE PER MANUFACTURER'S STANDARDS AND RECOMMENDATIONS.

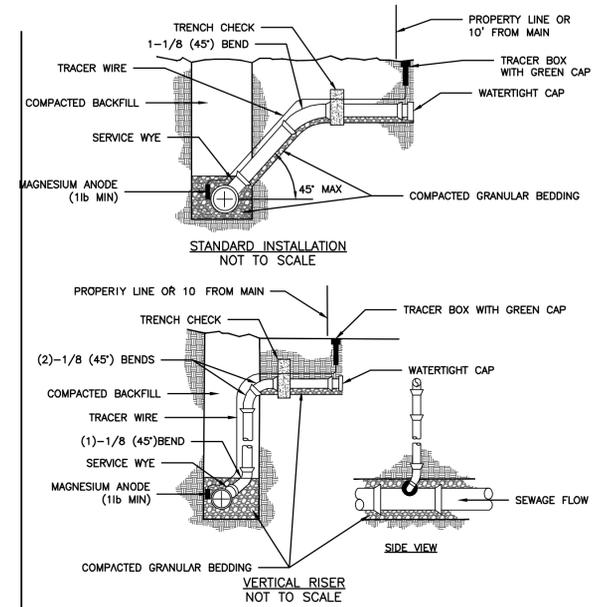


DOMI COVER



SOLID COVER

N.T.S.
02 ADS NYLOPLAST STRUCTURES

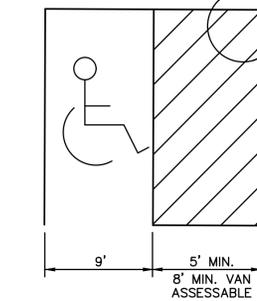


NOTES:

1. ALL SEWER STUBS SHALL BE CONSTRUCTED TO PROPERTY LINE OR 10' MINIMUM FROM THE MAIN. WHERE SIDEWALKS ARE PRESENT, CONTRACTOR SHALL EXTEND SERVICE LINE UNDER EXISTING SIDEWALK TO TWO FEET BEYOND.
2. ALL NEW CONSTRUCTION OFF SEWER STUBS SHALL BE TEMPORARILY MARKED WITH A MARKING STAKE, 36" ABOVE GROUND AND PAINTED GREEN.
3. IMPERVIOUS TRENCH CHECKS SHALL BE PLACED ON BUILDING SEWER STUBS (AT LEAST 5' AWAY FROM THE SANITARY SEWER MAIN).
4. TRENCH CHECKS ON THE BUILDING SEWER STUBS SHALL EXTEND 6" BELOW THE BOTTOM OF THE PIPE. LENGTH SHALL BE A MINIMUM OF 12". THE HEIGHT OF THE TRENCH CHECK SHALL EXTEND 12" ABOVE THE TOP OF THE PIPE. THE WIDTH OF THE TRENCH CHECK SHALL BE THE WIDTH OF THE TRENCH.
5. SEE SPECIFICATION SECTION 2100 FOR SEWER MAIN BEDDING AND BACKFILL.
6. #12 GAUGE GREEN INSULATED COPPER TRACER WIRE SHALL BE INSTALLED. TRACER WIRE TERMINAL BOXES SHALL BE INSTALLED DIRECTLY ABOVE THE SEWER SERVICE OR AS DETERMINED BY THE ENGINEER.
7. FOR SERVICES, TRACER WIRE SHALL RUN FROM THE WYE AND TERMINATE IN A FLUSH MOUNTED TRACER BOX WITH A GREEN CAST IRON LOCKABLE TOP. WIRE SHALL BE TAPED OR TIED TO THE PIPE AT 5' INTERVALS.
8. TRACER WIRE SHALL BE INSTALLED WITHIN 1.0' OF PROPERTY LINE.
9. THE TRACER WIRE SHALL REMAIN CONTINUOUS TO THE GREATEST EXTENT POSSIBLE. SPLICES IN THE TRACER WIRE SHOULD BE MADE WITH SPLIT BOLT CONNECTORS. WIRE NUTS SHALL NOT BE USED. A WATER-PROOF CONNECTION IS NECESSARY TO PREVENT CORROSION.

N.T.S.
03 BUILDING SEWER STUB AND RISER

NOTE: SYMBOL TO BE CENTERED IN PARKING SPACE AND ORIENTED AS ILLUSTRATED ON PLANS.

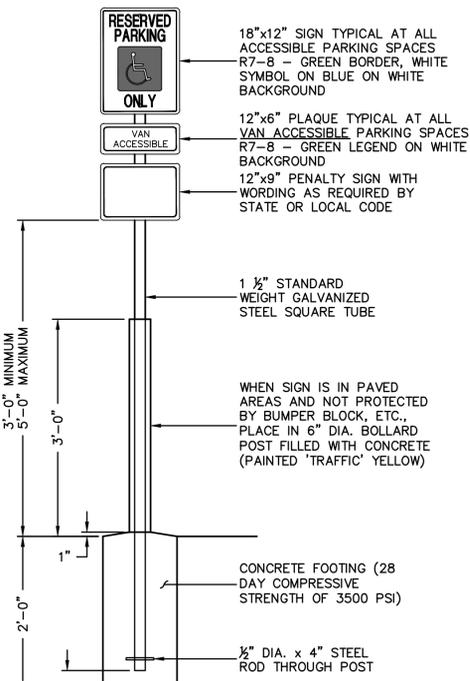


N.T.S.
04 ACCESSIBLE STRIPING DETAIL

NOTES:

1. ALL SIGNS SHALL COMPLY WITH THE U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS
2. GALVANIZED SQUARE TUBE:
POST TUBES - 2"x2"x1/8" 12GA.
POST TUBE SHALL MEET ASTM A1011 GRADE 50.
POST TUBE GALVANIZED AS PER ASTM A653 GRADE 90.
ANCHOR TUBE - 2"-X-2"-X-1/8" 12GA.
HEAVY DUTY ANCHOR TUBE SHALL MEET ASTM A500 GRADE B.
STRUCTURAL TUBE AND STEEL SHALL BE HOT DIP GALVANIZED PER ASTM A123

THE UPPER SIGN POST SHALL TELESCOPE INSIDE THE ANCHOR TUBE A MINIMUM OF 12". THE ANCHOR TUBE SHALL BE A MINIMUM 27" DEEP WITH 3" MIN., 4" MAX. EXPOSED ABOVE FINISH GRADE.



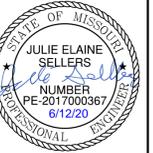
N.T.S.
05 ACCESSIBLE SIGNAGE DETAIL

APPROVED RECORD DRAWING

 These plans have been reviewed for accuracy by the Development Services Staff

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JULIE SELLERS, P.E.
MO# 2017000367

REVISIONS DESCRIPTION

REVISED ADA SIGN DETAIL

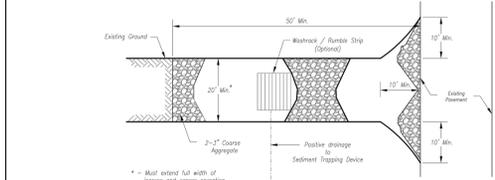
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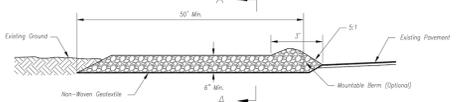
DETAILS
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 WOODSIDE RIDGE POOL
 NW O'BRIEN ROAD & NW PRYOR ROAD
 LEE'S SUMMIT, MISSOURI

drawn by: C.S.M.
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 designed by: C.S.M.
 QA/QC by: J.E.S.
 project no.: B18-1140
 date: 06/12/2020

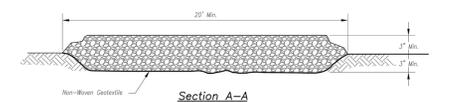
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C12



Plan View
Not to Scale



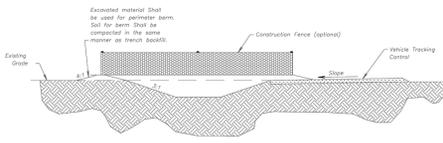
Side Elevation
Not to Scale



Section A-A
Not to Scale

- Notes for Concrete Washout:**
- Concrete washout areas shall be installed prior to any concrete placement on site.
 - Concrete washout area shall include a flat substrate at least 2" above the subgrade to be placed on site. The slopes leading out to the subgrade shall be 3:1. The entire trapping area shall be sloped towards the concrete washout area.
 - Vehicle tracking control is required at the access point to all concrete washout areas.
 - Slope shall be placed at the construction site entrance, washout area and elsewhere as necessary to clearly indicate the location(s) of the concrete washout area(s) to operators of concrete trucks and pump trucks.
 - A one-piece impermeable liner may be required along the bottom and sides of the substrate pit in sandy or gravelly soils.

- Maintenance for Concrete Washout:**
- Concrete washout materials shall be removed once the materials have filled the washout to approximately 75% full.
 - Concrete washout areas shall be enlarged as necessary to maintain capacity for washed concrete.
 - Concrete washout water, washed pieces of concrete and all other debris in the substrate pit shall be transported from the job site in a water-tight container and disposed of properly.
 - Concrete washout areas shall remain in place until all concrete for the project is placed.
 - When concrete washout areas are removed, excavations shall be filled with suitable compacted backfill and topped, any disturbed areas associated with the installation, maintenance, and/or removal of the concrete washout areas shall be stabilized.



- Notes for Construction Entrance:**
- avoid locating on steep slopes, at curves on public roads, or directly in front of a building.
 - Remove all vegetation and other undesirable material from the foundation area, grade, and crown for positive drainage.
 - If slope towards the public road exceeds 2%, construct a 6- to 8-inch high ridge with 2x12 side slopes across the foundation approximately 15 feet from the edge of the public road to divert runoff from it.
 - Install pipe under the entrance if needed to maintain drainage efficiency along public roads.
 - Place stone to dimensions and grade as shown on plans. Leave surface sloped for drainage.
 - Divert all surface runoff and drainage from the entrance to a sediment control device.
 - If conditions warrant, place geotextile fabric on the graded foundation to improve stability.

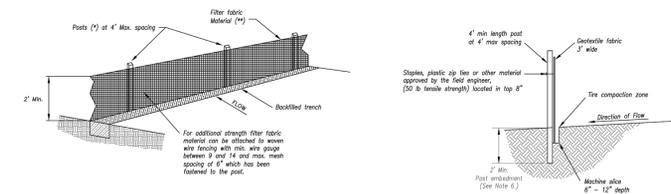
- Maintenance for Construction Entrance:**
- Resurface entrance as needed to maintain function and integrity of installation. Top dress with clean aggregate as needed.

CONSTRUCTION ENTRANCE

CONCRETE WASHOUT

AMERICAN PUBLIC WORKS ASSOCIATION
 KANSAS CITY METRO CHAPTER
 CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT
 STANDARD DRAWING NUMBER ESC-01
 ADOPTED 10/24/2016

Construction Entrance modified from 2015 Overland Park Standard Details for Erosion and Sediment Control, Concrete Washout modified from 2009 City of Great Bend Standard Drawings.



- (*) POSTS**
- MIN. LENGTH 4'
 - HARDWOOD 1 1/2" x 1 1/2"
 - NO. 2 SOUTHWEST PIPE 2 1/2" x 2 1/2"
 - STEEL 1.3 LB/FT

- (**) - Geotextile Fabric shall meet the requirements of AASHTO M288**

SILT FENCE DETAILS
Not to Scale

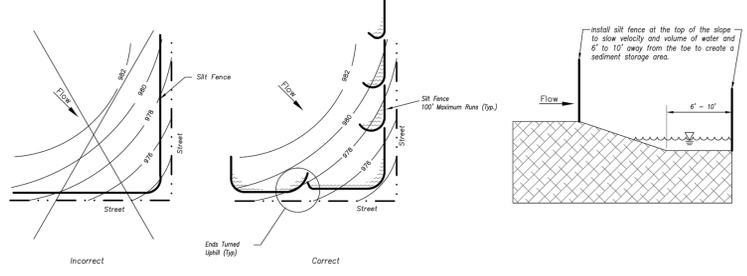
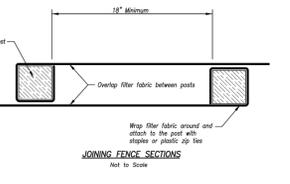


Figure A
SILT FENCE LAYOUT
Not to Scale

- Notes:**
- In order to contain water, the ends of the silt fence must be turned uphill (Figure A).
 - Long perimeter runs of silt fence must be limited to 100'. Runs should be broken up into several smaller segments to minimize water concentrations (Figure A).
 - Long slopes should be broken up with intermediate rows of silt fence to slow runoff velocities.
 - Attach fabric to upstream side of post.
 - Install posts a minimum of 2' into the ground.
 - Trenching will only be allowed for small or difficult installation, where staking machine cannot be reasonably used.

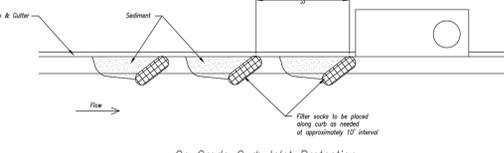
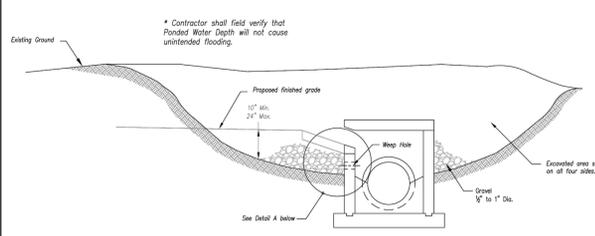
- Maintenance:**
- Remove and dispose of sediment deposits when the deposit approaches 1/2 the height of silt fence.
 - Repair as necessary to maintain function and structure.



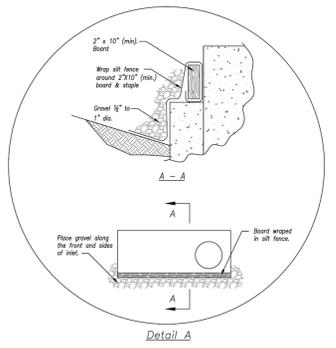
JOINING FENCE SECTIONS
Not to Scale

AMERICAN PUBLIC WORKS ASSOCIATION
 KANSAS CITY METRO CHAPTER
 SILT FENCE
 STANDARD DRAWING NUMBER ESC-03
 ADOPTED 10/24/2016

Modified from 2015 Overland Park Standard Details for Erosion and Sediment Control.



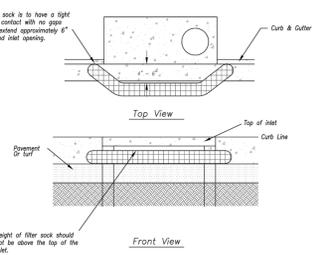
On Grade Curb Inlet Protection



EARLY STAGE CURB INLET
(Open Box and Prior to Pouring Curb and Inlet Throat)

- Notes:**
- Immediately following joint construction and prior to construction of curb and inlet throat, prevent inlet opening by installing 2' x 10' (min.) board wrapped in silt fence. Structures shall have excavated storage area on all four sides to allow settling of sediment (Early Stage Curb Inlet).
 - When joint is completed and curb poured, filter socks or approved equal should be used (Late Stage Curb Inlet). Stone weirs are not approved for curb inlet use.
 - Contractor to field verify porous water shall not create a traffic hazard.

- Maintenance:**
- Remove deposited sediment from excavated storage areas when available storage has been reduced to 20%.
 - Remove deposited sediment from filter socks or similar when any accumulation of sediment is visible.
 - Repair or replace as necessary to maintain function and integrity of installation.



Sump Inlet Sediment Filter

LATE STAGE CURB INLET
(After Pouring Curb and Inlet Throat)

AMERICAN PUBLIC WORKS ASSOCIATION
 KANSAS CITY METRO CHAPTER
 CURB INLET PROTECTION
 STANDARD DRAWING NUMBER ESC-06
 ADOPTED 10/24/2016

Modified from 2015 Overland Park Standard Details for Erosion and Sediment Control.

APPROVED RECORD DRAWING
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STATE OF MISSOURI
 JULIE ELAINE SELLERS
 PROFESSIONAL ENGINEER
 NUMBER PE-2017000367
 EXPIRES 6/12/20

JULIE SELLERS, P.E.
 MO# 2017000367

NO. REV.	DATE	REVISIONS DESCRIPTION

DETAILS
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 WOODSIDE RIDGE POOL
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2020

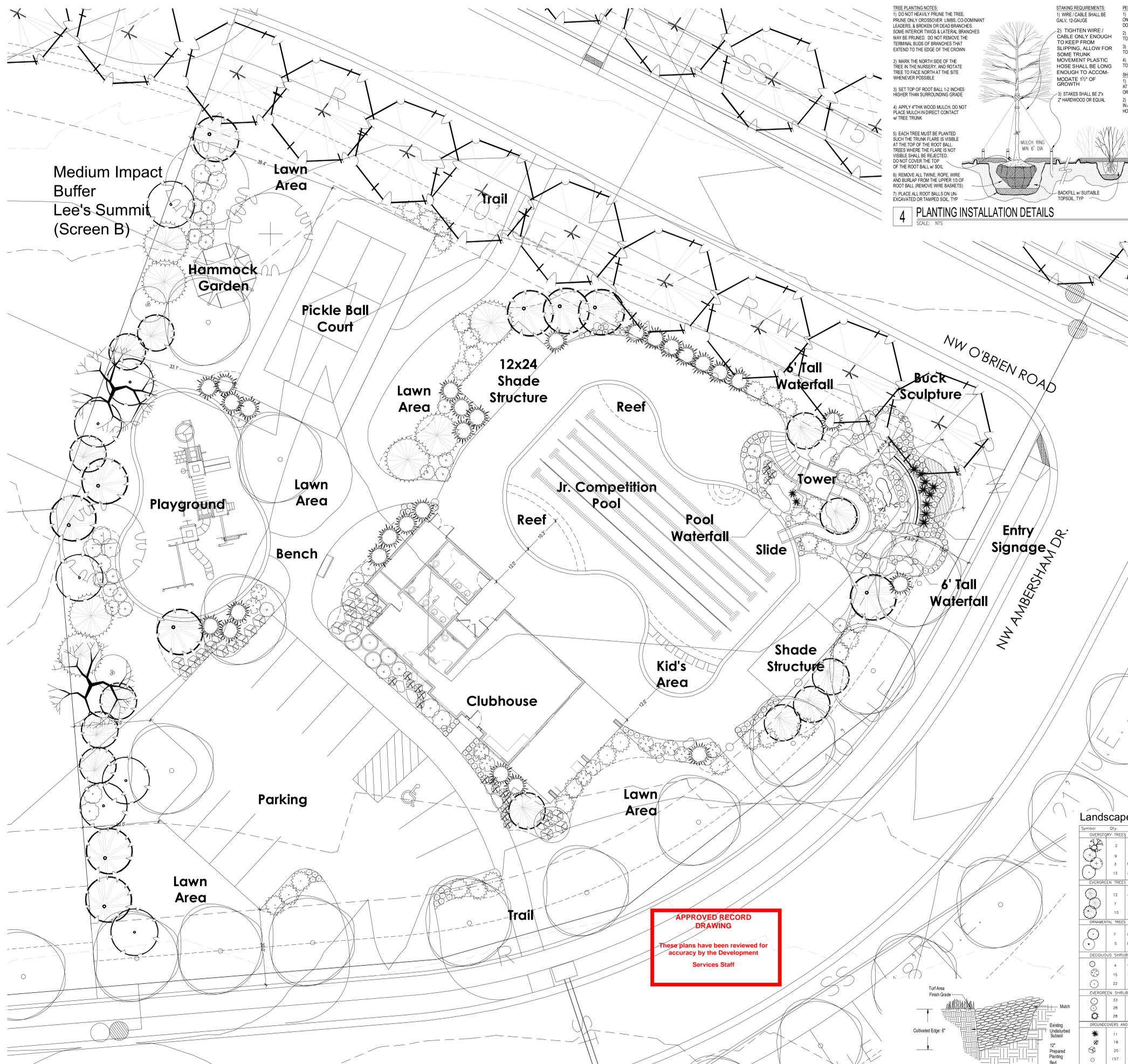
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 QA/QC by: _____ J.E.S.
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SHEET C13

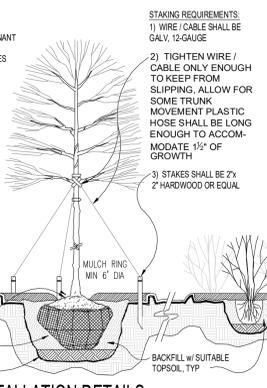


CLIENT
 Summit Homes
 120 SE 30th St.
 Lee's Summit, MO 64082

PROJECT
 Woodside Ridge
 Community
 NW Pryor Road and NW
 O'Brien Road
 Lee's Summit MO



TREE PLANTING NOTES:
 1) DO NOT HEAVILY PRUNE THE TREE. PRUNE ONLY CROSSOVER LIMBS CO-DOMINANT LEADERS, & BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS & LATERAL BRANCHES MAY BE PRUNED. DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
 2) MARK THE NORTH SIDE OF THE TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
 3) SET TOP OF ROOT BALL 1-2 INCHES HIGHER THAN SURROUNDING GRADE.
 4) APPLY 2" THK WOOD MULCH. DO NOT PLACE MULCH IN DIRECT CONTACT W/ TREE TRUNK.
 5) EACH TREE MUST BE PLANTED SUCH THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL W/ SOIL.
 6) REMOVE ALL TWINE, ROPE, WIRE AND BURLAP FROM THE UPPER 1/3 OF ROOT BALL (REMOVE WIRE BASKETS).
 7) PLACE ALL ROOT BALLS ON UN-EXCAVATED OR TAMPED SOIL, TYP.



STAKING REQUIREMENTS:
 1) WIRE / CABLE SHALL BE GALV, 12-GAUGE.
 2) TIGHTEN WIRE / CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. PLASTIC HOSE SHALL BE LONG ENOUGH TO ACCOMMODATE 1/2" OF GROWTH.
 3) STAKES SHALL BE 2" x 2" HARDWOOD OR EQUAL.

PERENNIAL PLANTING NOTES:
 1) APPLY 2" THK BED OF MULCH ON PERENNIAL PLANT BED. DO NOT COVER PLANTS.
 2) THOROUGHLY MIX PEAT IN TOP 3" OF SOIL.
 3) BREAK UP EXISTING SOIL TO A DEPTH OF 2".
 4) PROVIDE NEW TOPSOIL TO A DEPTH OF 12".

SHRUB PLANTING NOTES:
 1) SET SHRUB AT SAME DEPTH AT WHICH IT GREW IN THE FIELD OR CONTAINER.
 2) PRUNE, THIN & SHAPE SHRUBS IN ACCORDANCE W/ STANDARD HORTICULTURAL PRACTICE.

INITIAL WATERING:
 WHEN BACKFILL IS 2/3 COMPLETE, WATER THOROUGHLY UNTIL NO MORE IS ABSORBED.

DO NOT PRUNE LEADER
 PRUNE DAMAGED OR DEAD WOOD IMMEDIATELY PRIOR TO PLANTING. NEVER LEAVE LEAVE "Y" CROTCHES OR DOUBLE LEADER.
 TREE TIE SYSTEM. SEE STAKING REQUIREMENTS.
 3 METAL STAKES. PLACE NEXT TO ROOT BALL AS SHOWN. SPACE EQUIDISTANT AROUND TREE.
 4" MIN. SPECIFIED MULCH.
 PLANT ROOT BALL 2" HIGHER THAN GRADE AT WHICH TREE GREW.
 INSTALL WEED CONTROL FABRIC IF TREE IS IN LANDSCAPE BED.
 CONTINUOUS SAUCER, RIM FOR WATER & MULCH.
 CUT & REMOVE BURLAP FROM TOP 1/3 OF BALL.
 SPECIFIED BACKFILL MIXTURE.
 EXISTING UNDISTURBED SUBSOIL.

4 PLANTING INSTALLATION DETAILS
 SCALE: NTS

Inches Between Plants	Plant Quantities Per Square Foot
10"	Square Feet x 1.50
12"	Square Feet x 1.00
18"	Square Feet x .44
30"	Square Feet x .16
36"	Square Feet x .11

NOTES:
 1. SPACING FOR GROUNDCOVERS, SHRUBS, AND PERENNIALS NOTED ON PLANS.
 2. TILL SOIL IN BED TO A 12" MINIMUM DEPTH AND THOROUGHLY MIX IN SOIL AMENITIES AS NOTED ON PLANS.

2 GROUNDCOVER/SHRUB DETAIL
 SCALE: NTS

Planting Notes

- Location of all existing utilities needs to be done before commencing work.
- The planting plan graphically illustrates overall plant massing. Each plant species massing shall be placed in the field to utilize the greatest coverage of ground plane. The following applies for individual plantings:
 - Creeping groundcover shall be a minimum of 6" from paved edge.
 - All trees shall be a minimum of 5' from paving edge.
 - All plants of the same species shall be equally spaced apart and placed for best aesthetic viewing.
 - All shrubs shall be a minimum of 2' from paved edge.
- Mulch all planting bed areas to a minimum depth of 3". Mulch individual trees to a minimum depth of 4".
- Note: If plants are not labeled - they are existing and shall remain.
- All landscaped areas in ROW shall be sodded and irrigated unless otherwise specified.

Materials:
 1. Plant material shall be healthy, vigorous, and free of disease and insects as per AAN standards.
 2. Shredded bark mulch installed at trees shall be finely chipped and shredded hardwood chips, consisting of pure wood products and free of all other foreign substances. Pine bark compost mulch installed at planting bed areas shall be free of all other foreign substances.

Installation:
 1. All planting beds shall be amended with 1 cubic yard of peat moss per 1,000 square feet. Till peat moss into soil to a 6" depth. A 10-10-10 fertilizer shall be spread over all planting areas prior to planting, at a rate of 50 pounds per 2,000 square feet.
 2. After plants have been installed, all planting beds shall be treated with Dacthal pre-emergent herbicide prior to mulch application.
 3. Plant pit backfill for trees and shrubs shall be 50% peat or well composted manure and 50% topsoil.
 4. Plant material shall be maintained and guaranteed for a period of one year after Owner's acceptance of finished job. All dead or damaged plant material shall be replaced at Landscape Contractor's expense.
 5. Landscape contractor shall maintain all plant material until final acceptance, at which point the one year guarantee begins.

Landscape Calculations/Requirements

Street Frontage: (For all Districts) One (1) tree shall be planted for each thirty (30) feet of street frontage, within 20' setback. (Totals shown below combine both sides of the road, minus intersecting streets/driveways)
 NW Ambersham Dr. = 265 LF. 9 Trees required. 9 Trees provided.
 NW O'Brien Rd. = 256 LF. 9 Trees required. 9 Trees provided.

(For all Districts) One (1) shrub shall be planted for each twenty (20) feet of street frontage, within the landscaped setback abutting such frontage. (Totals shown below combine both sides of the road, minus intersecting streets/driveways)
 NW Ambersham Dr. = 265 LF. 13 Shrubs required. 13 Shrubs provided.
 NW O'Brien Rd. = 256 LF. 13 Shrubs required. 13 Shrubs provided.
REQUIREMENTS MET

Amenity Parking: (For all Districts) One parking stall per every 16 units.
 160 total units. 10 Stalls required. 10 stalls provided.
REQUIREMENTS MET

Open Yard Tree Requirement: In addition to the trees required based upon street frontage, additional trees shall be required at a ratio of 1 tree for every 5,000 square feet of total landscaped open space. 4 trees required. 4 Trees Provided.
Requirement Met.

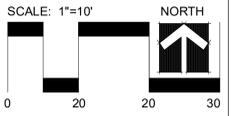
Buffer Landscape: Medium Density Buffer (type B) provided on all West sides of amenity area.
REQUIREMENT MET

Landscape Schedule

Symbol	Qty.	Botanical Name	Common Name	Min. Root	Min. Size	Caliper	Remarks
OVERSEASON TREES							
⊙	2	Ulmus parvifolia	Laobark Elm		3"	6" min. clear.	ground to canopy
⊙	9	Gleditsia triacanthos 'Skyline'	Shademaster Honeylocust		3"	6" min. clear.	ground to canopy
⊙	3	Platanus x acerifolia	London Plane Tree		3"	6" min. clear.	ground to canopy
⊙	13	Acer x truncatum 'Warrenred'	Pacific Sunset Maple		3"	6" min. clear.	ground to canopy
EVERGREEN TREES							
⊙	12	Juniperus chinensis 'Yatesee'	Keteleeri Juniper		6" ht.		symmetrical pyramidal form
⊙	7	Picea pungens	Colorado Blue Spruce		6" ht.		symmetrical pyramidal form
⊙	10	Picea abies	Norway Spruce		6" ht.		symmetrical pyramidal form
ORNAMENTAL TREES							
⊙	7	Cercis canadensis	Eastern Redbud		1.5"		
⊙	5	Populus tremuloides 'Quaking'	Quaking Aspen		1.5"		
DECIDUOUS SHRUBS/GRASSES							
⊙	4	Weigela florida 'Flamewave'	Fire Wine Weigela	3 gal.			Plant @ 3' O.C.
⊙	15	Hydrangea paniculata 'Quick Fire'	Little Quick Fire Hydrangeas	3 gal.			Plant @ 4' O.C.
⊙	22	Syringa X 'Penda'	Bloomerang Purple Lilac	5 gal.			Plant @ 5' O.C.
EVERGREEN SHRUBS							
⊙	33	Juniperus chinensis 'Sea Green'	Sea Green Juniper	3 gal.			Plant @ 4' O.C.
⊙	28	Juniperus chinensis 'Gold Coast'	Gold Coast Juniper	3 gal.			Plant @ 4' O.C.
⊙	28	Juniperus chinensis 'Spartan'	Spartan Juniper	6" ht.			Symmetrical pyramidal form
GROUNDCOVERS AND GRASSES							
⊙	11	Juniperus horizontalis 'Wiltoni'	Blue Rug Juniper	1 gal.			Plant @ 24" O.C.
⊙	18	Phlox subulata 'Arapurusa'	Creeping Phlox	1 gal.			Plant @ 15" O.C.
⊙	25	Pennisetum alopecuroides 'Hemmi'	Dwarf Fountain Grass	1 qt.			Plant @ 18" O.C.
⊙	157	Liriope muscari 'Variegated'	Variegated Liriope	1 gal.			Plant @ 18" O.C.
EXISTING TREES/SHRUBS TO BE PRESERVED							

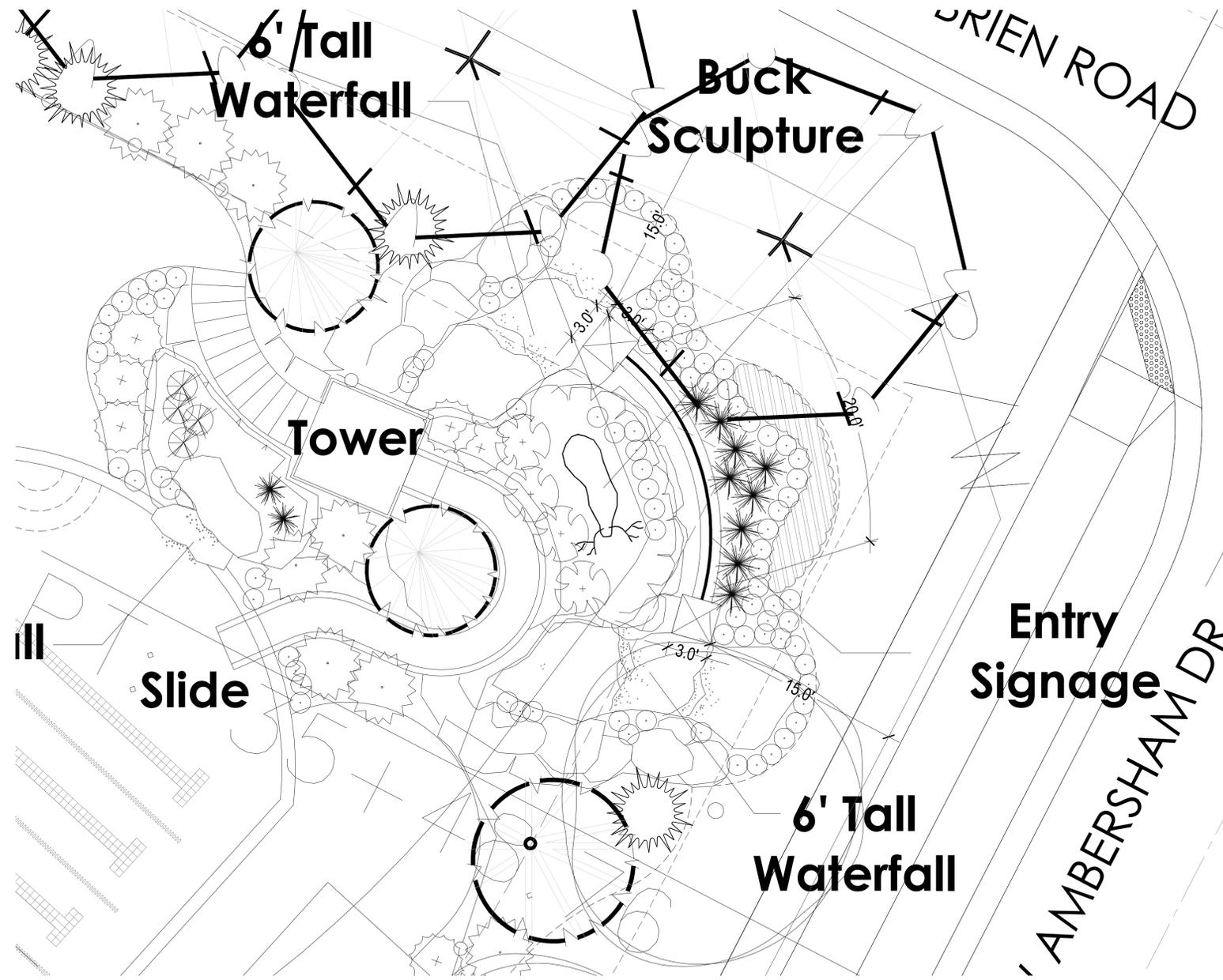
3 CULTIVATED EDGE DETAIL
 SCALE: NTS

APPROVED RECORD DRAWING
 These plans have been reviewed for accuracy by the Development Services Staff

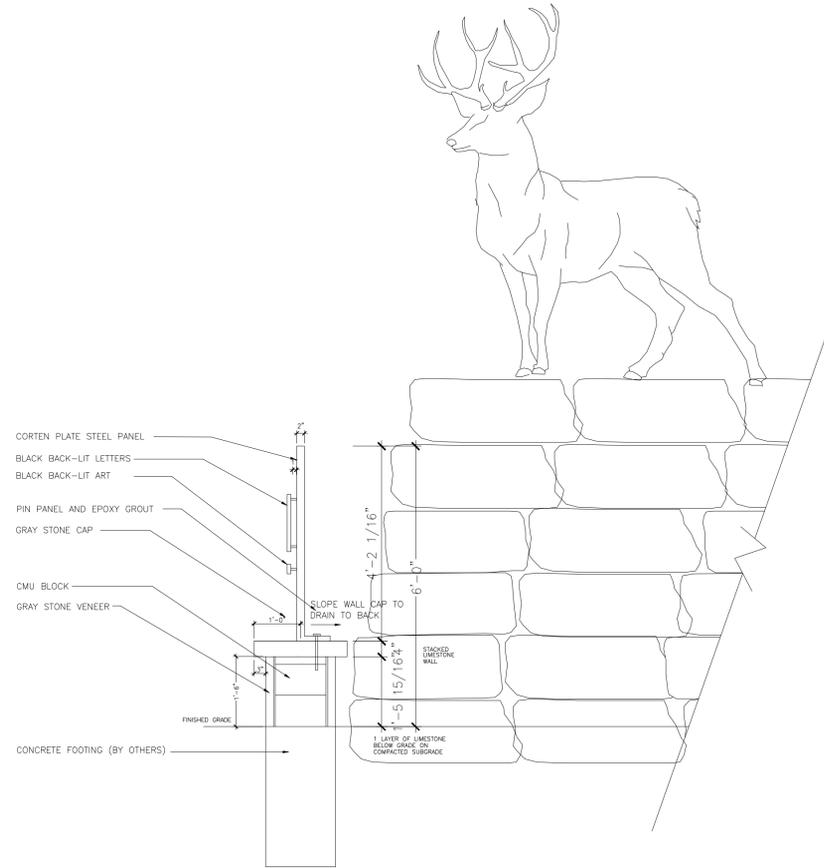


Date: 6.12.2020
 Project #: 485
 Landscape Plan

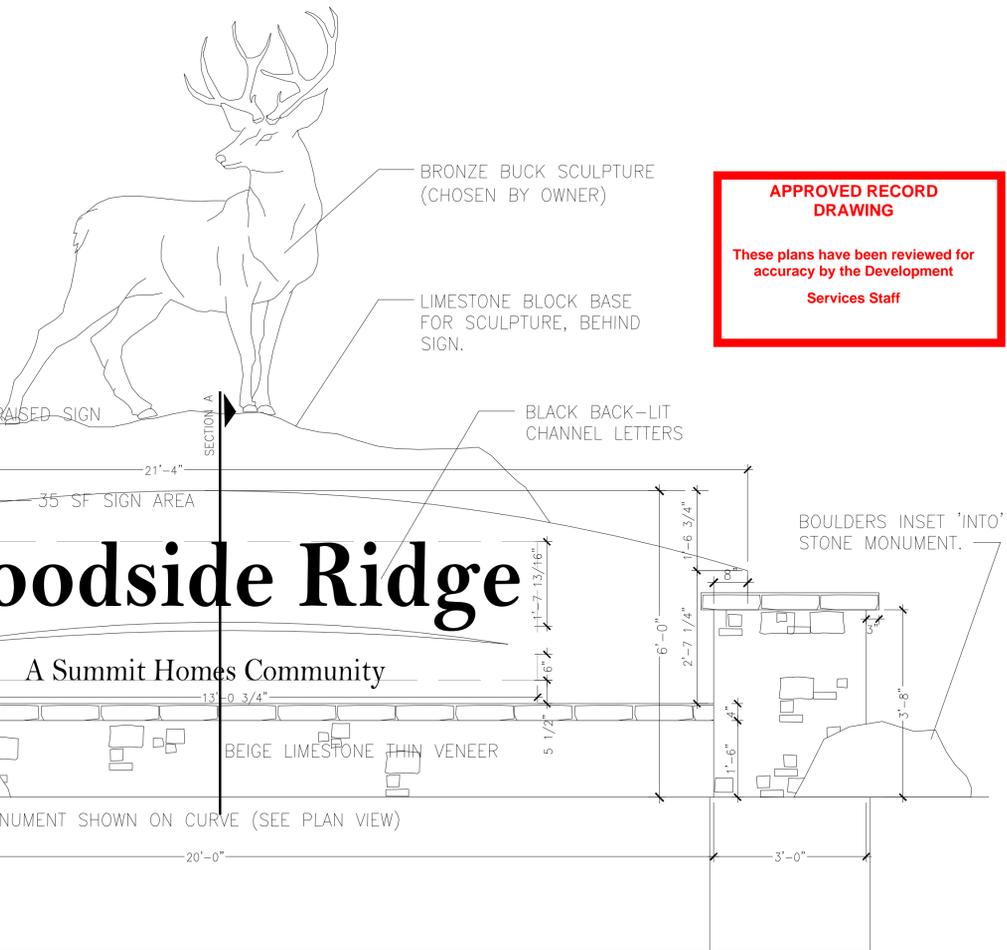




1 AMENITY AREA WATERFALL/SIGNAGE ENLARGEMENT PLAN
SCALE: 1"=5'-0"



2 AMENITY AREA ENTRY MONUMENT SECTION VIEW
SCALE: nts



APPROVED RECORD DRAWING
These plans have been reviewed for accuracy by the Development Services Staff

Landscape Schedule

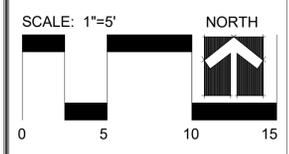
Symbol	Qty.	Botanical Name	Common Name	Min. Root	Min. Size	Caliper	Remarks
OVERSTORY TREES							
⊙	2	Ulmus parvifolia	Lacebark Elm	3"	6'	6" min. clear, ground to canopy	
⊙	9	Gleditsia triacanthos "Skyline"	Shademaster Honeylocust	3"	6'	6" min. clear, ground to canopy	
⊙	3	Platanus x acerifolia	London Plane Tree	3"	6'	6" min. clear, ground to canopy	
⊙	13	Acer x truncatum "Warrenes"	Pacific Sunset Maple	3"	6'	6" min. clear, ground to canopy	
EVERGREEN TREES							
⊙	12	Juniperus chinensis "Keteleeri"	Keteleeri Juniper	6" ht.		symmetrical pyramidal form	
⊙	7	Picea pungens	Colorado Blue Spruce	6" ht.		symmetrical pyramidal form	
⊙	10	Picea abies	Norway Spruce	6" ht.		symmetrical pyramidal form	
ORNAMENTAL TREES							
⊙	7	Cercis canadensis	Eastern Redbud		1.5"		
⊙	5	Populus tremuloides "Quaking"	Quaking Aspen		1.5"		
DECIDUOUS SHRUBS/GRASSES							
⊙	4	Weigela florida "Bramwell"	Fine Wine Weigela	3 gal.		Plant @ 3' O.C.	
⊙	15	Hydrangea paniculata "Quick Fire"	Little Quick Fire Hydrangea	3 gal.		Plant @ 4' O.C.	
⊙	22	Syringa x "Penda"	Blooming Purple Lilac	5 gal.		Plant @ 5' O.C.	
EVERGREEN SHRUBS							
⊙	33	Juniperus chinensis "Sea Green"	Sea Green Juniper	3 gal.		Plant @ 4' O.C.	
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GROUNDCOVERS AND GRASSES							
⊙	11	Juniperus horizontalis "Wiltonii"	Blue Rug Juniper	1 gal.		Plant @ 24" O.C.	
⊙	18	Phlox subulata "Atropurpea"	Creeping Phlox	1 gal.		Plant @ 15" O.C.	
⊙	25	Pennisetum alopecuroides "Hamelii"	Dwarf Fountain Grass	1 qt.		Plant @ 18" O.C.	
⊙	157	Liriope muscari "Variegated"	Variegated Liriope	1 gal.		Plant @ 18" O.C.	
EXISTING TREES/SHRUBS TO BE REMOVED							
EXISTING TREES/SHRUBS TO BE PRESERVED							

3 AMENITY AREA ENTRY MONUMENT ELEVATION VIEW
SCALE: nts



CLIENT
Summit Homes
120 SE 30th St.
Lee's Summit, MO 64082

PROJECT
Woodside Ridge
Community
NW Pryor Road and NW
O'Brien Road
Lee's Summit MO



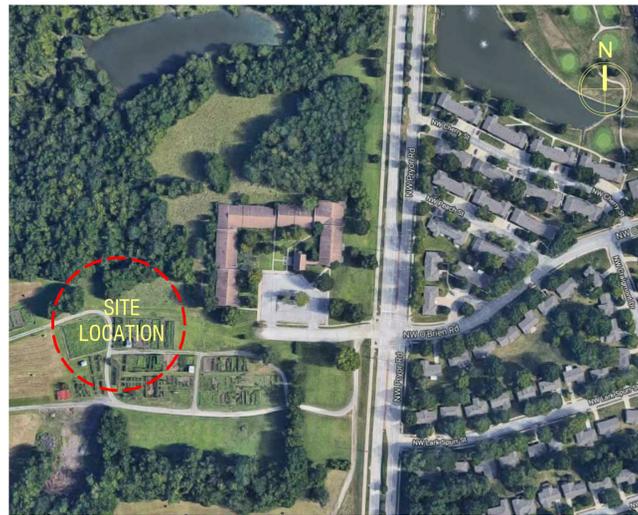
Date: 6.12.2020
Project #: 485
Landscape Plan

WOODSIDE RIDGE CLUBHOUSE

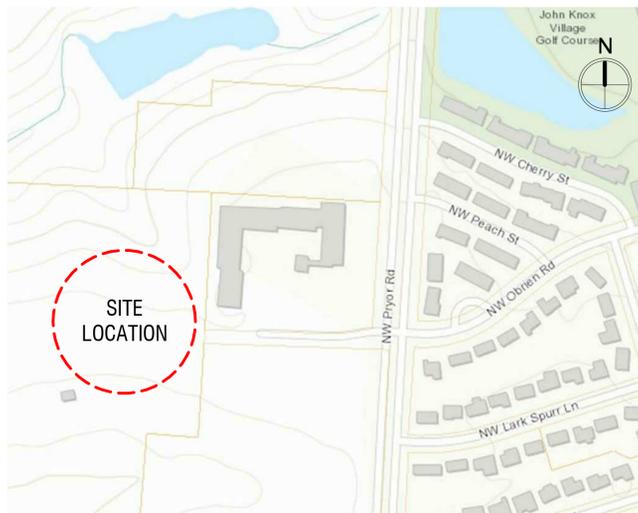


2030 NW OBRIEN ROAD
LEE'S SUMMIT, MISSOURI

FINAL DEVELOPMENT PLAN: FEBRUARY 21, 2020
REVISION # 1 - CITY COMMENTS: MARCH 12, 2020



AERIAL VIEW



SITE MAP



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DEVELOPER
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INDEX

A100	FLOOR PLAN
A101	ROOF PLAN
A200	ELEVATIONS
A201	ELEVATIONS
A202	ELEVATIONS
EL-1	EXTERIOR LIGHTING PLAN

APPROVED RECORD
DRAWING

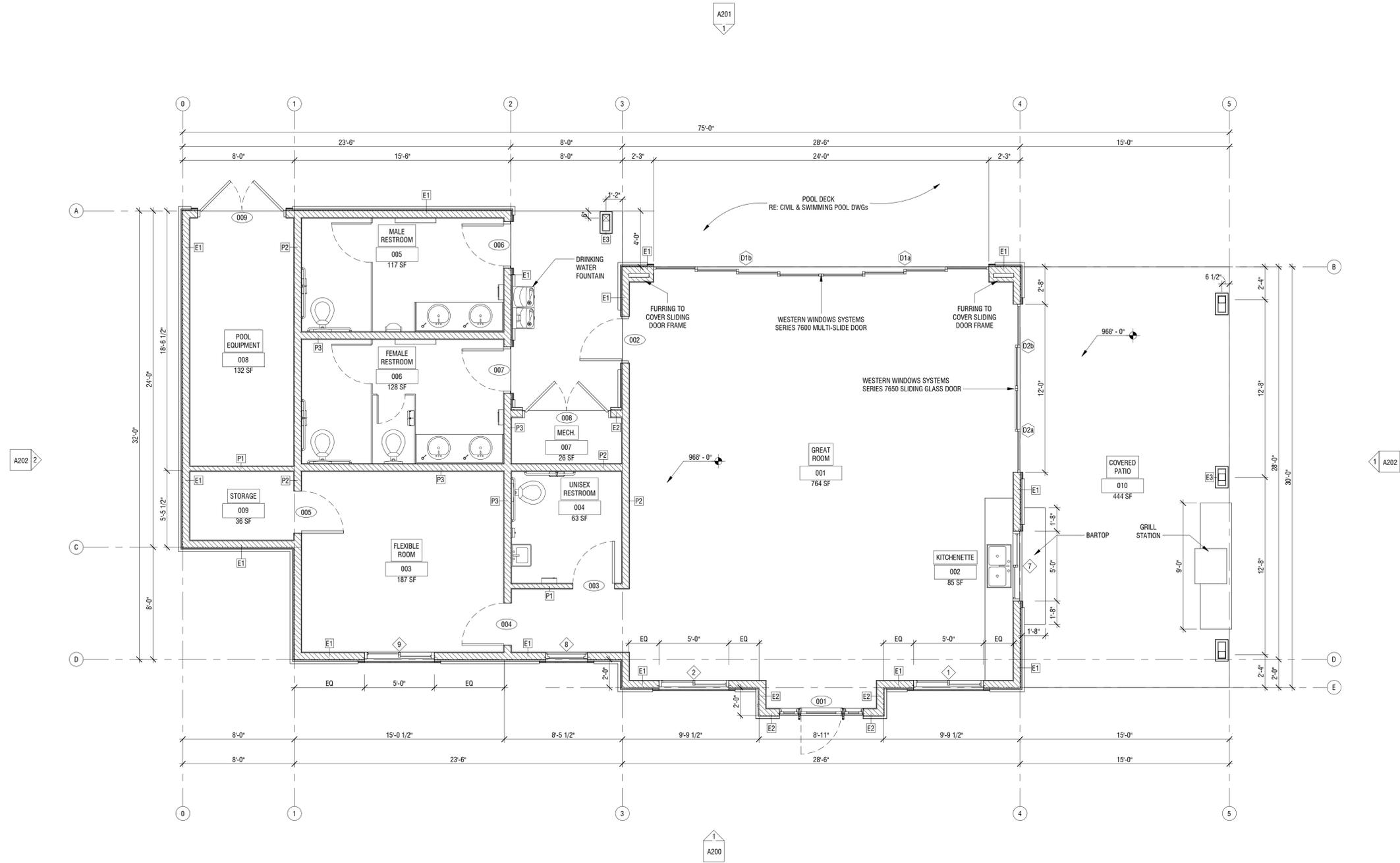
These plans have been reviewed for
accuracy by the Development
Services Staff

GENERAL NOTES

1. ALL PLAN DIMENSIONS GIVEN ARE TO FACE OF STUD OR MASONRY, U.N.O.
2. REFER TO STRUCTURAL DRAWINGS FOR FRAMING INFORMATION
3. ALL DOOR OPENINGS TO BE LOCATED 4" FROM NEAREST WALL CORNER, U.N.O.
4. SEE FINISH SCHEDULE ON SHEET A800 FOR MATERIAL INFORMATION
5. SEE DOOR/WINDOW SCHEDULE ON SHEET A800
6. SEE SHEET A400 FOR ENLARGED FLOOR PLANS

WALL TYPES

- | | | | |
|----|---|----|--|
| E1 | EXTERIOR WALL, 2X6 WOOD STUD, CEDAR SIDING FINISHING, INSULATED
RE: DETAIL 1 / A002 | P1 | TYPICAL INTERIOR WALL, 2X4 WOOD STUD, GYP. BOARD FINISHING
RE: DETAIL 5 / A002 |
| E2 | EXTERIOR WALL, 2X6 WOOD STUD, STONE VENEER FINISHING, INSULATED
RE: DETAIL 2 / A002 | P2 | TYPICAL INTERIOR WALL, 2X6 WOOD STUD, GYP. BOARD FINISHING
RE: DETAIL 6 / A002 |
| E3 | EXTERIOR COLUMN WRAP, HSS COLUMN, CEDAR FINISHING / STONE VENEER BASE
RE: DETAILS 3 & 4 / A002 | P3 | TYPICAL INTERIOR WALL, 2X6 WOOD STUD, GYP. BOARD FINISHING - PLUMBING
RE: DETAIL 7 / A002 |



1 FLOOR PLAN
1/4" = 1'-0"

- | | | | |
|--|---|--|-------------------------------|
| | SECTION:
SECTION IDENTIFICATION
SHEET DESIGNATION | | DOOR DESIGNATION |
| | DETAIL:
DETAIL IDENTIFICATION
SHEET DESIGNATION | | WALL TYPE DESIGNATION |
| | ELEVATION:
ELEVATION IDENTIFICATION
SHEET DESIGNATION | | WINDOW/STOREFRONT DESIGNATION |
| | | | SPOT ELEVATION |
| | | | ELEVATION |

APPROVED RECORD DRAWING

These plans have been reviewed for accuracy by the Development Services Staff



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WOODSIDE RIDGE CLUBHOUSE
2030 NW OBRIEN ROAD
LEES SUMMIT, MO 64081

SEAL

DATE ISSUED: FEBRUARY 12, 2020		
NO.	REVISION	DATE

DESIGNED BY: FCR
DRAWN BY: FCR
CHECKED BY: TT/DMB

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FLOOR PLAN
A100

GENERAL NOTES

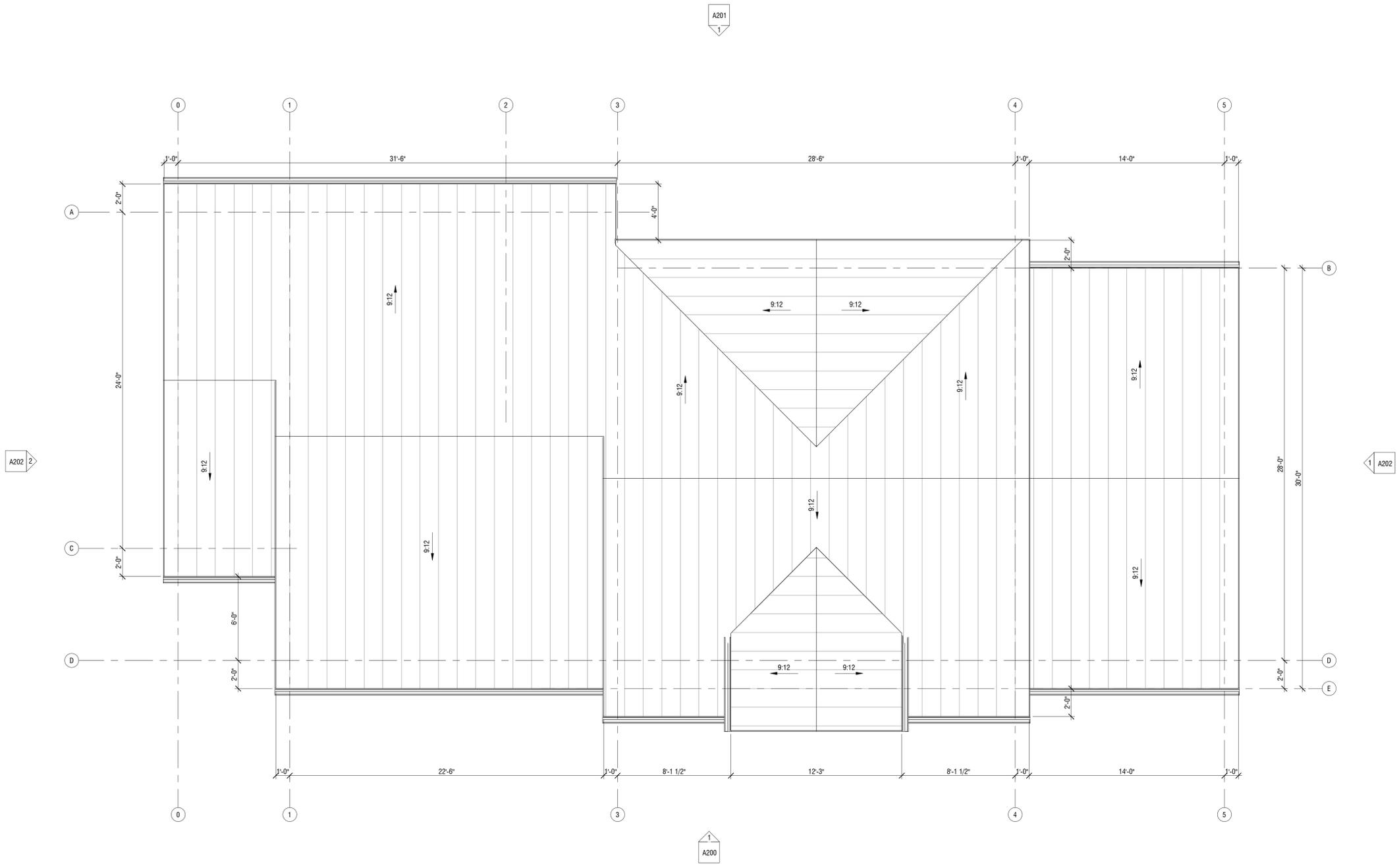
1. REFER TO STRUCTURAL DRAWINGS FOR FRAMING INFORMATION
2. INSTALL ALL ROOF PENETRATIONS AND EQUIPMENT (IE, VENT PIPES, ROOF VENTILATORS) ON THE REAR SIDE OF THE ROOF, TO THE GREATEST EXTENT POSSIBLE
3. REFER TO PLUMBING DRAWINGS FOR ROOF DRAINS AND OVERFLOW DRAINS



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1 ROOF PLAN
 1/4" = 1'-0"

**APPROVED RECORD
 DRAWING**
 These plans have been reviewed for
 accuracy by the Development
 Services Staff

WOODSIDE RIDGE CLUBHOUSE
 2030 NW OBRIEN ROAD
 LEE'S SUMMIT, MO 64081

SEAL

NO.	REVISION	DATE

DESIGNED BY: FCR
 DRAWN BY: FCR
 CHECKED BY: TT/DMB

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ROOF PLAN
A101

GENERAL NOTES

1. EXTERIOR COLORS ARE INDICATED BY MATERIAL MANUFACTURERS
2. ALL EXTERIOR MATERIAL TRANSITION, SILLS AND HEADERS WHICH ARE NOT CALLED OUT, MATCH TO WALL TRIM COLOR.
3. SPLIT SYSTEM W/ GROUND MOUNTED CONDENSORS TO BE SCREENED FROM VIEWS BY LANDSCAPING
4. INSTALL ALL ROOF PENETRATIONS AND EQUIPMENT (IE: VENT PIPES; ROOF VENTILATORS) ON THE REAR SIDE OF THE ROOF, TO THE GREATEST EXTENT POSSIBLE



STANDING SEAM METAL ROOF



PT-1: SW7048



STONE VENEER



CEDAR SIDING

EXTERIOR FINISHING SCHEDULE

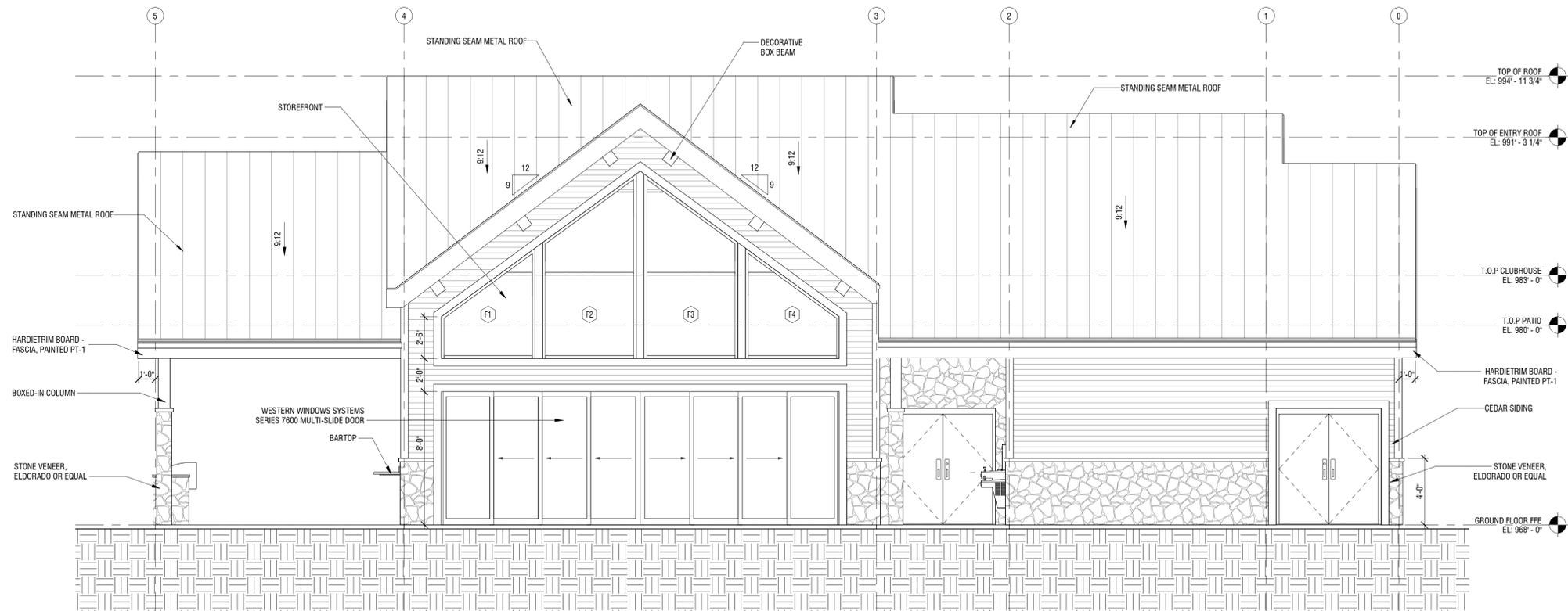
NO.	MATERIAL/ITEMS	DESCRIPTION	COLOR/FINISH
1	STANDING SEAM METAL ROOF	BERRIDGE TEE-PANEL OR EQUAL	COLOR: AGED BRONZE
2	STONE VENEER	SEMCO OUTDOOR OR EQUAL	WEATHERED FIELDSOTNE WEBWALL
3	CEDAR SIDING	TONGUE AND GROOVE, WESTERN RED CEDAR	TRANSPARENT STAIN NATURAL TONE
4	WALL/WINDOW TRIM	TRIM BOARD, WESTERN RED CEDAR	TRANSPARENT STAIN NATURAL TONE
5	FASCIA	JAMES HARDIE-HARDIETRIM BOARD	PT-1: URBANE BRONZE SW7048
6	SOFFIT	JAMES HARDIE-HARDIESOFFIT BOARD	VENTED SMOOTH - MATCH TO FASCIA COLOR
7	GUTTER	24 GA. STEEL	MATCH TO WINDOW FRAME COLOR
8	WINDOWS	ANDERSEN OR EQUAL/ALUM. CLAD WOOD	METAL - MATTE, DARK BRONZE COLOR
9	EXTERIOR DOORS	METAL PANEL, PAINTED	MATCH TO WINDOW FRAME COLOR



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 15245 METCALF AVE.
 OVERLAND PARK, KS 66223
 PH: 913-787-2817



1 NORTH-EAST ELEVATION
 1/4" = 1'-0"

SEAL

NO.	REVISION	DATE
1	City Comments	03/12/2020

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 DRAWN BY: FCR
 CHECKED BY: TT/DMB

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APPROVED RECORD DRAWING

These plans have been reviewed for accuracy by the Development Services Staff

WOODSIDE RIDGE CLUBHOUSE
 2030 NW OBRIEN ROAD
 LEES SUMMIT, MO 64081

ELEVATIONS
A201

GENERAL NOTES

1. EXTERIOR COLORS ARE INDICATED BY MATERIAL MANUFACTURERS
2. ALL EXTERIOR MATERIAL, TRANSITION, SILLS AND HEADERS WHICH ARE NOT CALLED OUT, MATCH TO WALL TRIM COLOR.
3. SPLIT SYSTEM W/ GROUND MOUNTED CONDENSORS TO BE SCREENED FROM VIEWS BY LANDSCAPING
4. INSTALL ALL ROOF PENETRATIONS AND EQUIPMENT (IE: VENT PIPES; ROOF VENTILATORS) ON THE REAR SIDE OF THE ROOF, TO THE GREATEST EXTENT POSSIBLE



STANDING SEAM METAL ROOF



PT-1: SW7048



STONE VENEER



CEDAR SIDING

EXTERIOR FINISHING SCHEDULE

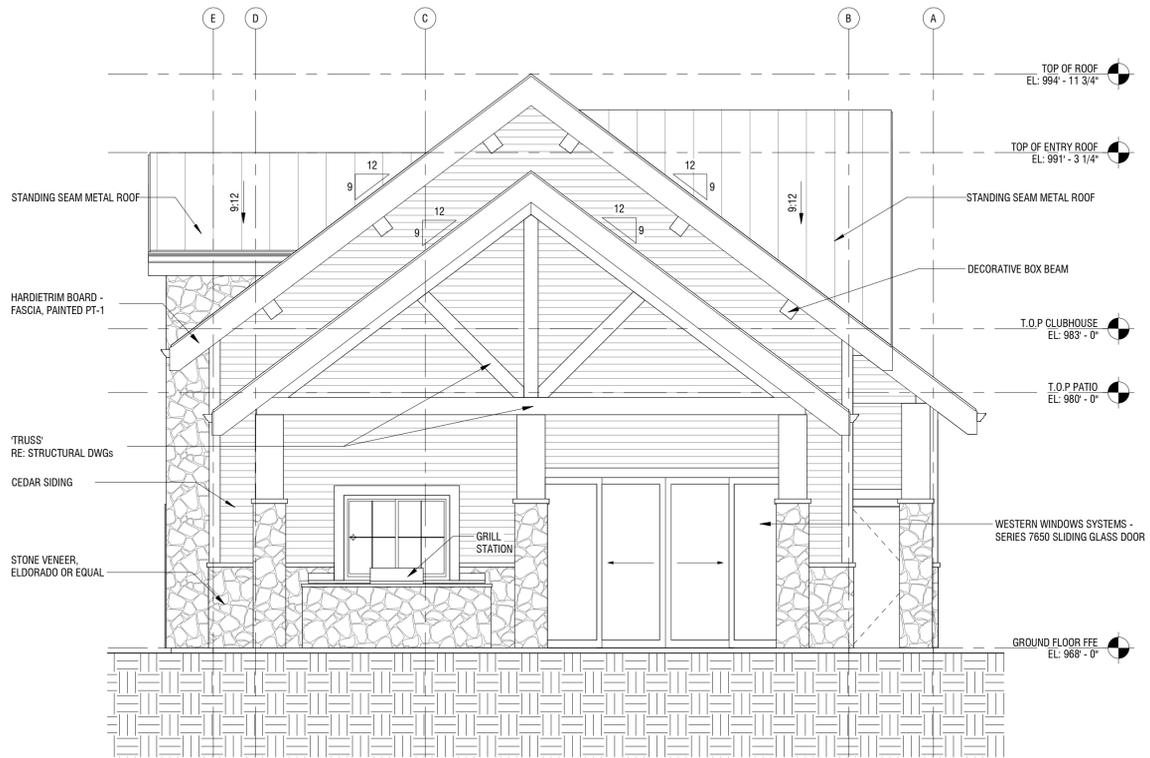
NO.	MATERIAL/ITEMS	DESCRIPTION	COLOR/FINISH
1	STANDING SEAM METAL ROOF	BERRIDGE TEE-PANEL OR EQUAL	COLOR: AGED BRONZE
2	STONE VENEER	SEMCO OUTDOOR OR EQUAL	WEATHERED FIELDSTONE WEBWALL
3	CEDAR SIDING	TONGUE AND GROOVE, WESTERN RED CEDAR	TRANSPARENT STAIN NATURAL TONE
4	WALL/WINDOW TRIM	TRIM BOARD, WESTERN RED CEDAR	TRANSPARENT STAIN NATURAL TONE
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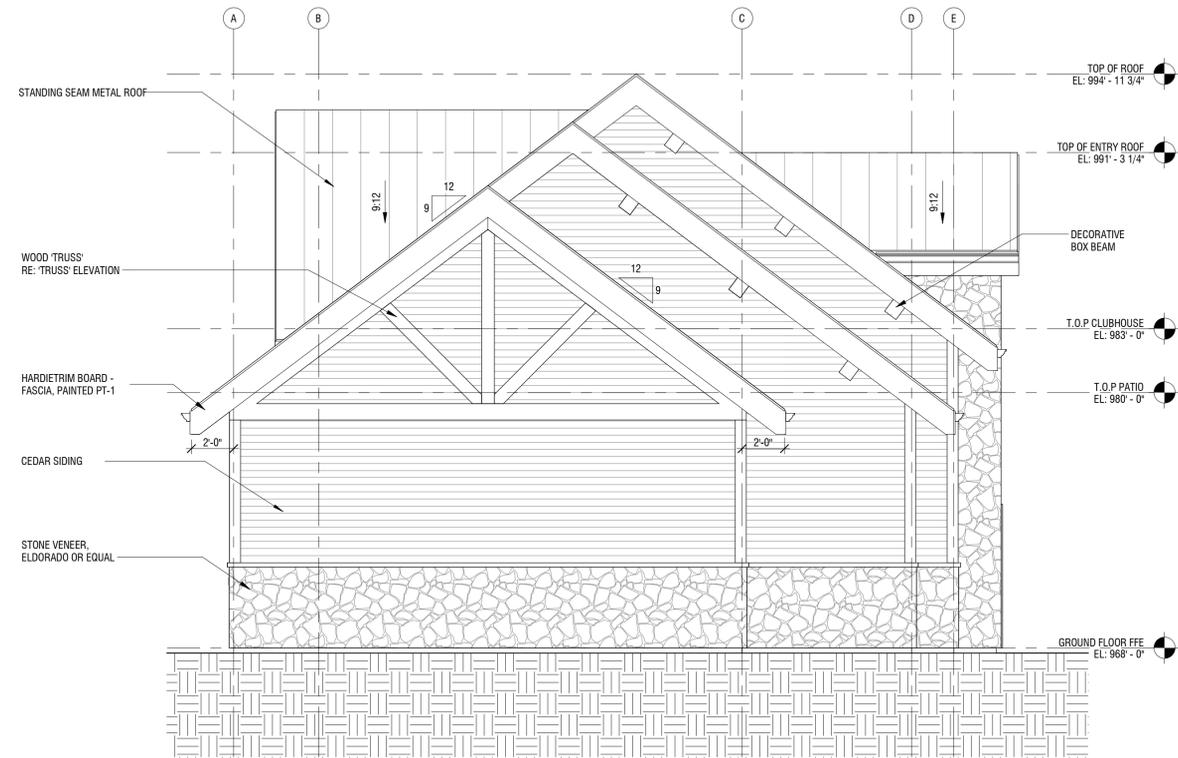
ARCHITECT
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 15245 METCALF AVE.
 OVERLAND PARK, KS 66223
 PH: 913-787-2817



1 SOUTH-EAST ELEVATION
 1/4" = 1'-0"



2 NORTH-WEST ELEVATION
 1/4" = 1'-0"

WOODSIDE RIDGE CLUBHOUSE
 2030 NW OBRIEN ROAD
 LEE'S SUMMIT, MO 64081

SEAL

DATE ISSUED: FEBRUARY 12, 2020

NO.	REVISION	DATE
1	City Comments	03/12/2020

DESIGNED BY: FCR
 DRAWN BY: FCR
 CHECKED BY: TT/DMB

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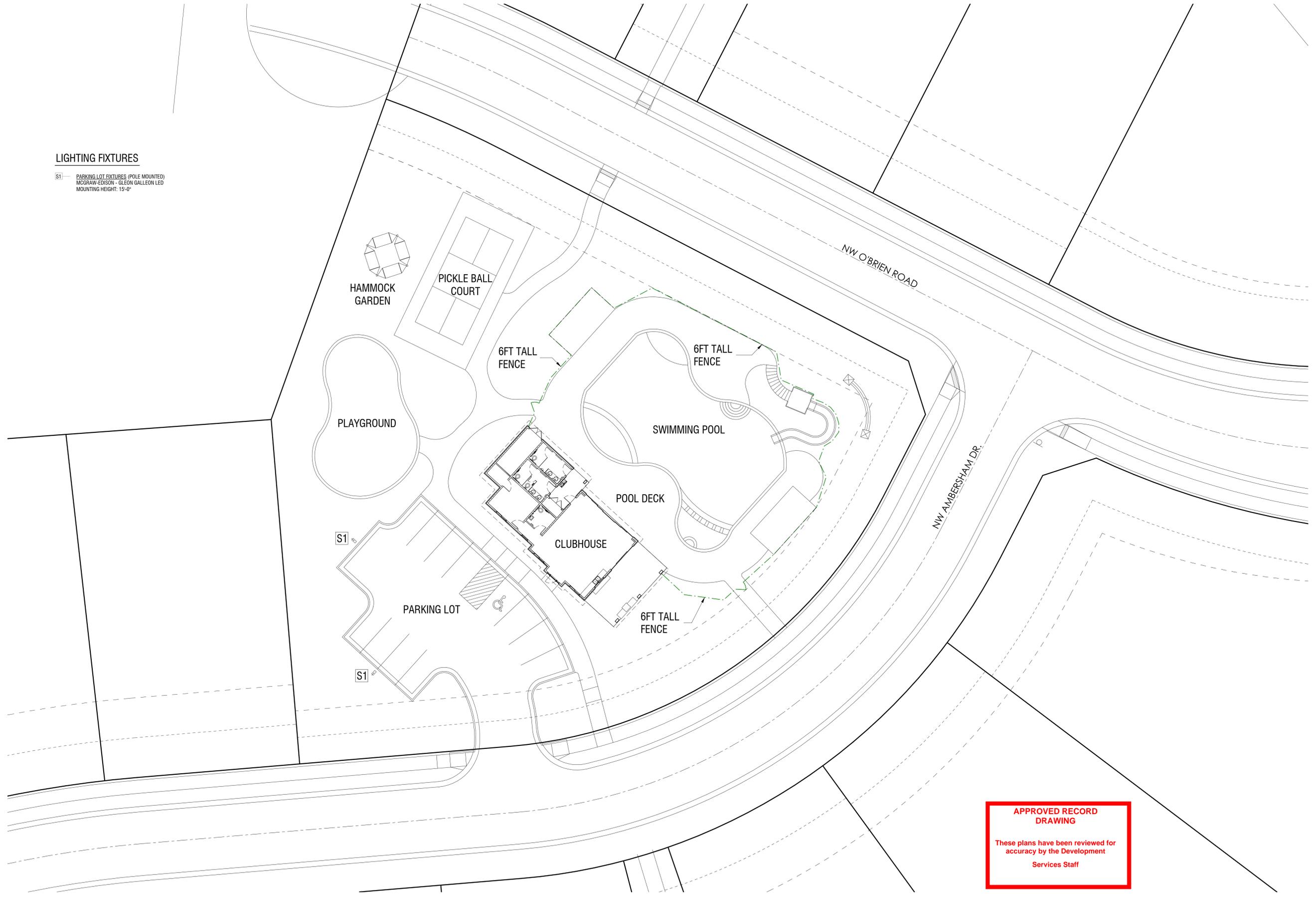
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APPROVED RECORD DRAWING
 These plans have been reviewed for accuracy by the Development Services Staff

ELEVATIONS
A202

LIGHTING FIXTURES

S1 — PARKING LOT FIXTURES (POLE MOUNTED)
 MCGRAW-EDISON - GLEON GALLEON LED
 MOUNTING HEIGHT: 15'-0"



**APPROVED RECORD
 DRAWING**
 These plans have been reviewed for
 accuracy by the Development
 Services Staff

WOODSIDE RIDGE CLUBHOUSE
 2030 NW O'BRIEN ROAD
 LEE'S SUMMIT, MO 64081

SEAL

DATE ISSUED: FEBRUARY 12, 2020		
NO.	REVISION	DATE

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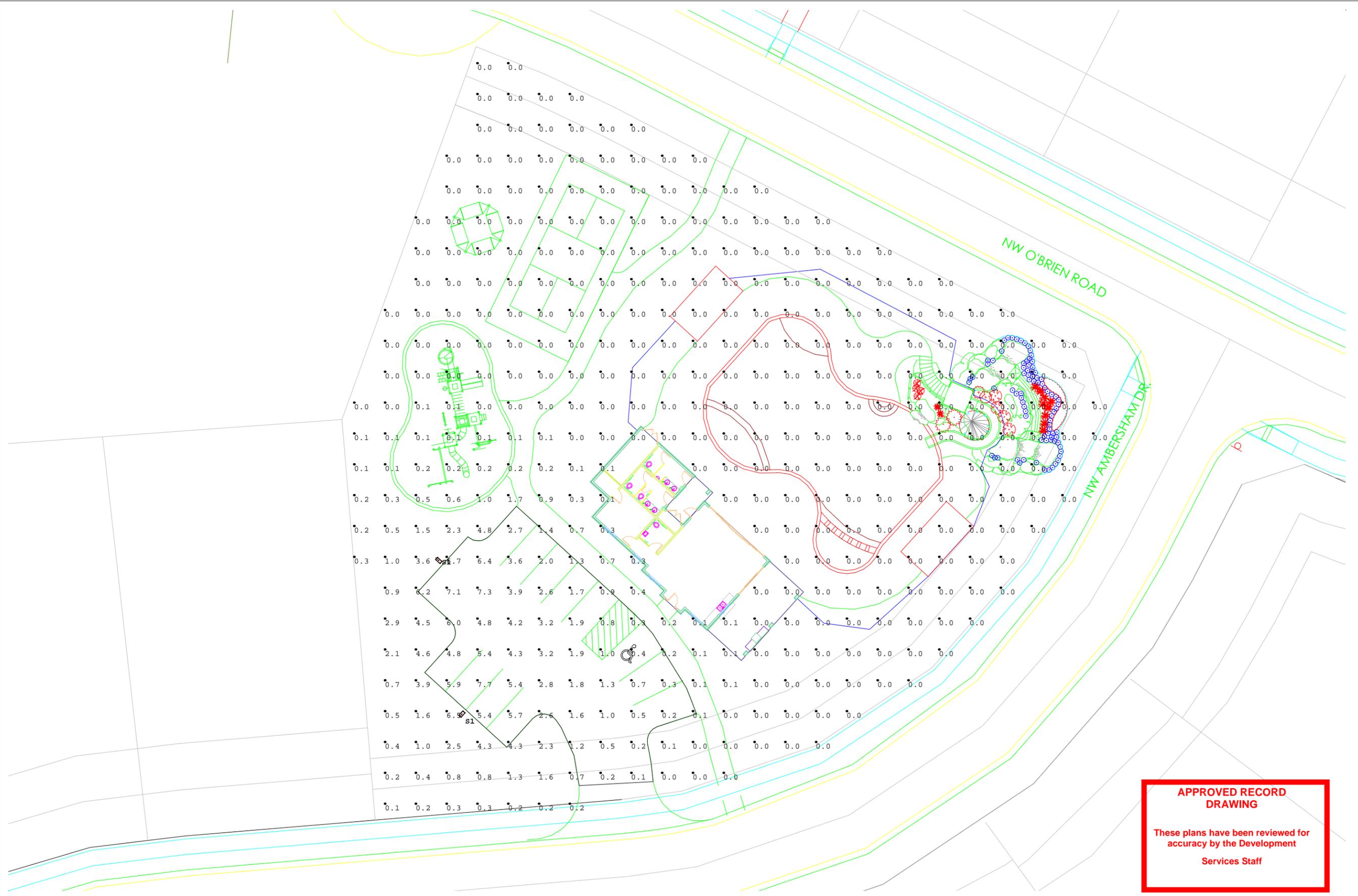
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Light Loss Factor	0.91
Calculation plane	0'-00"
Reflectances	NA
Mounting height	15'

Calculated By:	Kevin Hooley
Requested By:	
Date:	3/11/2020
Scale:	N/A

Woodside Ridge
Parking-Galleon



Scale: 1 inch= 30 Ft.



Galleon

DISCLAIMER:

These calculations have been performed according to IES standards and good practice. There may be differences between measured values and the results presented herein, based on the extent in which field conditions deviate from the input data. These conditions include room dimensions, luminaire position, surface reflectances, architectural elements and furniture, temperature, voltage, measurement techniques and equipment tolerances. All attached drawings and images are for photometric reference only they are not made for construction.

AREA INFORMATION:

Area label :
 Wall height: 0'-00"
 Mounting height: 15'
 Reflectances : NA

Calculation Summary						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
Site	Fc	0.54	7.7	0.0	N.A.	N.A.
Parking Lot	Fc	2.67	7.7	0.1	26.70	77.00

Luminaire Schedule						
Symbol	Qty	Label	Description	Lum. Watts	Lum. Lumens	LLF
	2	S1	GLEON-AF-02-LED-E1-T4FT	113	12533	0.910

**APPROVED RECORD
 DRAWING**

 These plans have been reviewed for
 accuracy by the Development
 Services Staff



#	Date	Comments

Revisions

Calculated By: Kevin Hooley
Requested By:
Date: 3/1/2020
Scale: N/A

Woodside Ridge

Parking-Galleon