

09/24/2020



LEE'S SUMMIT MISSOURI

Scope of Work Statement

Applicant: <u>Swim Things</u>	Contractor <input checked="" type="checkbox"/>	Homeowner <input type="checkbox"/>	Tenant <input type="checkbox"/>
Primary Contact: <u>Vince Davenport</u>	Phone: <u>816-622-8700</u>	Email: <u>vince@swimthings.com</u>	

Project Address: <u>1344 NE Brandywine</u>			
Name of Owner: <u>Brian & Jamie Conaty</u>	Phone: _____		
Residential <input checked="" type="checkbox"/>	Commercial <input type="checkbox"/>		

Check all that Apply

Water service	Repair <input type="checkbox"/>	Replace <input type="checkbox"/>	Work in right of way? <input type="checkbox"/>
Sewer service	Repair <input type="checkbox"/>	Replace <input type="checkbox"/>	Work in right of way? <input type="checkbox"/>
Electrical service	Repair <input type="checkbox"/>	Replace <input type="checkbox"/>	Amperage: _____ (Engineer required of ≥ 400)
HVAC	Repair <input type="checkbox"/>	Replace <input type="checkbox"/>	
Uncovered deck:	<input type="checkbox"/>	Covered deck:	<input type="checkbox"/> Square Feet: _____
Accessory Structure:	<input type="checkbox"/>	Description: _____	Square feet _____
Interior Alterations:	<input type="checkbox"/>	Description: _____	Square feet _____
Addition:	<input type="checkbox"/>	Description: _____	Square feet _____
Retaining wall over 48"	<input type="checkbox"/>		
Swimming pool	<input checked="" type="checkbox"/>	Electrical contractor <u>A & A Electrical (816)847-1902</u>	Plumber (NG?) <u>Howerton Plumbing (816)694-0303</u>
Lawn irrigation	<input type="checkbox"/>		
Other:	<input type="checkbox"/>	Cost of project including labor \$ <u>67000</u>	
Detailed description of work:			

AFFIDAVIT: I hereby certify that I have the authority to make the foregoing application and that the application, the best of my knowledge, is complete and correct and that the permitted construction will conform to the regulations in the Codes adopted by the City of Lee's Summit and all applicable ordinances.


Signature of Applicant

Vince Davenport
Printed Name of Applicant

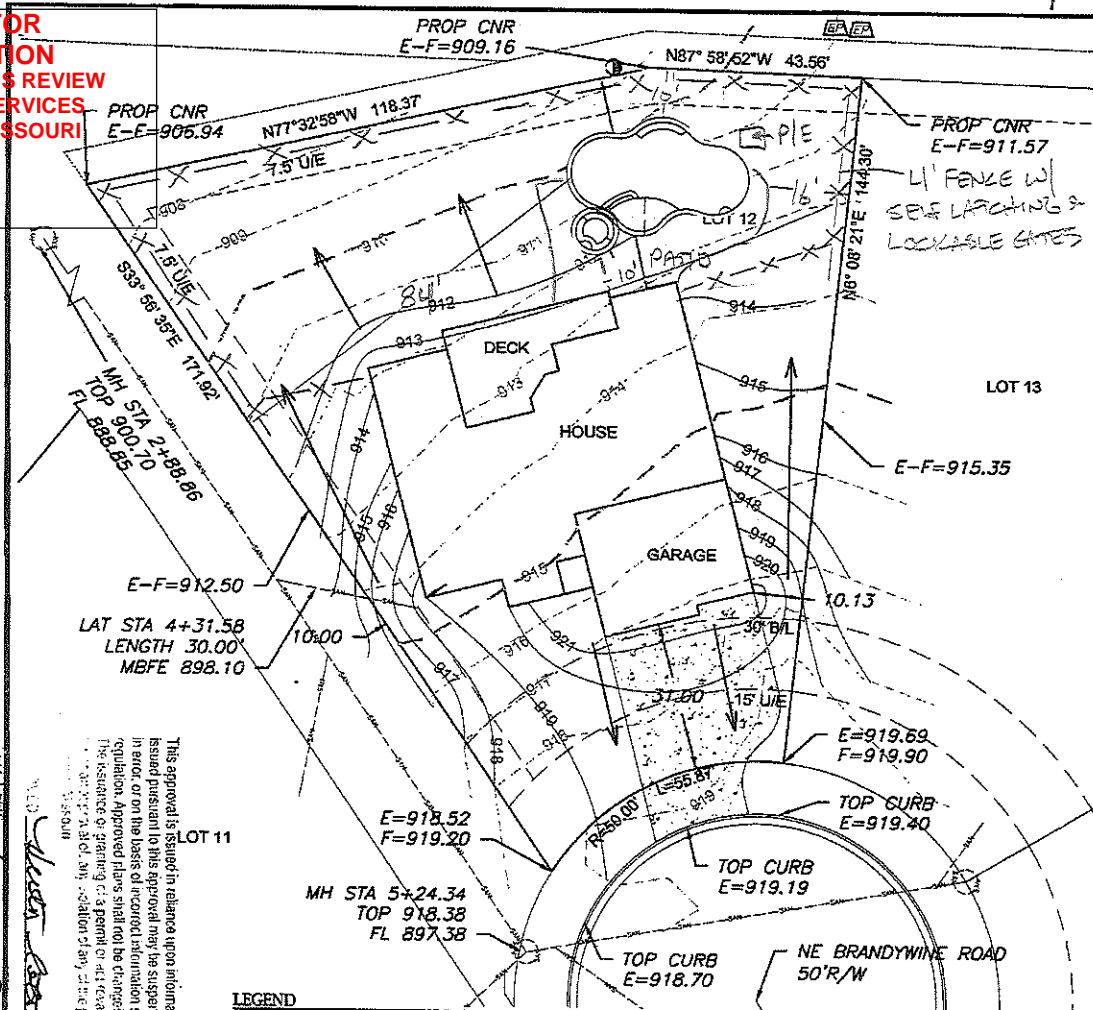
9/24/20
Date

Conaty

20162559

**RELEASE FOR
CONSTRUCTION**
AS NOTED ON PLANS REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI

09/24/2020



CUSTOMER-
BRIAN & JAMIE
CONATY
1344 NE
BRANDYWINE
LS MO 64064

CONTRACTOR
SWIM THINGS
3010 SW 40
BS. MO
64015
816-224-2600

LEGEND

Gas Meter
Telephone or Fiber-Optic Pedestal
Cable TV Pedestal
Electric Pedestal
Light Pole
Mailbox
Fire Hydrant
Water Valve

PROPOSED HOUSE

TOP FOUNDATION = 923.20
GARAGE FLOOR = 921.70
TOP FOOTING = 914.20
BASEMENT FLOOR = 914.53

E = EXISTING ELEVATION
F = PROPOSED FINAL ELEVATION
G = ADJACENT GRADE AT EGRESS

U.E. = UTILITY EASEMENT
B.L. = BUILDING LINE

NOTES

1. BUILDER TO VERIFY ALL BUILDING ELEVATIONS AND DIMENSIONS.
2. THIS PLOT PLAN DOES NOT CONSTITUTE A BOUNDARY SURVEY.
3. THE EASEMENTS SHOWN ON THIS PLOT PLAN ARE TAKEN FROM THE FINAL PLAT. OTHER EASEMENTS MAY EXIST.

LOT INFORMATION

16,112.67 SQ. FT.
MBOE = 907.00
MBFE = 898.10

ADDRESS
1344 NE BRANDYWINE ROAD

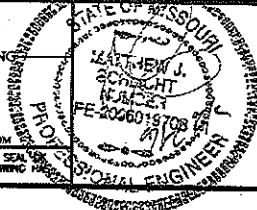
LEGAL DESCRIPTION

LOT 12, MONTICELLO - 1ST PLAT,
A SUBDIVISION AS RECORDED IN
LEE'S SUMMIT, JACKSON
COUNTY, MISSOURI.

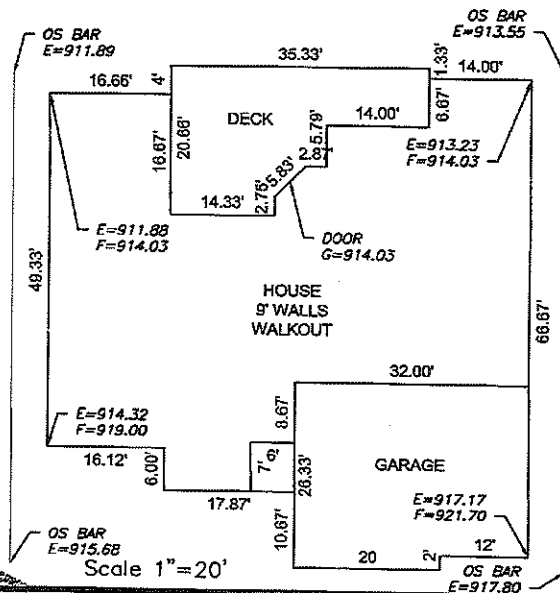
ENGINEERING
ENGINEERING & SURVEYING
SOLUTIONS

50 SE 30TH STREET
LEE'S SUMMIT, MO 64062
P:816-623-9888 F:816-623-9846
WWW.ENGINEERINGANDSURVEYSOLUTIONS.COM

THIS DRAWING IS NOT VALID UNLESS THE SIGNATURE, DATE AND SEAL OF THE ENGINEER WHO SUPERVISED THE PREPARATION OF THIS DRAWING ARE HEREON AFFIXED.



DRIVEWAY SLOPE = 6.0%

**PLOT PLAN - LOT 12**

MONTICELLO - 1ST PLAT
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

MCGRAW HOMES, INC.
202 SE WILLOW PL.
BLUE SPRINGS, MISSOURI 64014

PROJECT NO. 1 FILE NAME LOT 12, MONTICELLO DATE 9/22/20 SHEET 1 OF 1

09/24/2020



LEE'S SUMMIT
MISSOURI

**POOL, SAUNA, HOT TUB OR JACUZZI FENCING/PROTECTIVE BARRIER REQUIREMENT
ACKNOWLEDGEMENT & AGREEMENT**

Address: 1344 NE BRANDYWINE RD.

Lot No.: 12 Subdivision: MONTICELLO

I, Jamie D. Conaty (property owner), acknowledge and agree to have a fence or other protective enclosure installed on the property prior to the pool, hot tub or Jacuzzi being filled with water or the sauna being made operational in accordance with the following ordinance requirements:

Lee's Summit City Ordinance Section 7-1011 - Fencing.

A. The area which a swimming pool, sauna, hot tub, or Jacuzzi is located shall be entirely enclosed and separated from the adjoining property by a protective fence or other permanent structure not less than 4 feet in height, measured from grade. The enclosure shall be so constructed that a sphere four inches in diameter cannot pass through. Fence posts shall be decay or corrosion resistant and in concrete bases. Such protective enclosures shall be provided with gates equipped with self-closing and self latching devices placed at the top of the gate; provided, however, that above grade-structures of four feet or greater in height that are equipped with a ladder that can manually be lifted and locked shall not be required to have a protective enclosure. Said ladder shall be locked when the swimming pool, hot tub sauna or Jacuzzi is not attended.

B. At the option of the property owner, a hot tub or Jacuzzi may be covered with a latching, protective cover instead of the fencing or protective enclosure described in subsection A. The cover on the hot tub or Jacuzzi shall be closed and latched at all times that the hot tub or Jacuzzi is not in use. If a covered hot tub or Jacuzzi is located in the same area as a swimming pool or sauna, the swimming pool or sauna must still be fenced or enclosed with a permanent structure in the manner described in section A.

Owner's Signature

Date

9-22-2020

10/21/14 M:\CODES ADMIN\Forms and Handouts\Codes\Forms\Pool-hot tub-sauna fencing acknowledgement.doc