

P2185 20183802

RELEASE FOR CONSTRUCTION
 AS NOTED ON PLANS REVIEW
 DEVELOPMENT SERVICES
 LEE'S SUMMIT, MISSOURI

09/23/2020

LOT 8

€ SW NAUTILUS PLACE
 50' RW

TOP CURB
 E=950.59

MH 1-A3
 STA 5+13.41
 TOP 953.28
 FL OUT 939.05

TOP CURB
 E=950.38

TOP CURB
 E=950.06

E=950.51
 F=950.81

E=950.54
 F=950.28

SAN STUB
 STA 3+46
 LENGTH 95'
 MBFE 942.49

MH 1-A2
 STA 3+26.19
 TOP 949.46
 FL IN 937.16

GARAGE

LOT 9 HOUSE

DECK

LOT 10

This approval is issued in reliance upon information submitted by the applicant. Any permit issued pursuant to this approval may be suspended or voided whenever the permit is in error, or on the basis of incorrect information supplied, or in violation of any ordinance regulation. Approved plans shall not be changed, modified or altered without authorization. The issuance or granting of a permit or approval of plans shall not be construed to be a for, or an approval of, any violation of any of the provisions of the ordinance of the City of Summit, Missouri.

APPROVED

DATE: 11/9/18

PRINT NAME

STEVEN CORNIC

PROP CNR
 E-F=939.6

CUSTOMER
 STEVE & AMY McELINEA

4528 SE NAUTILUS PL.
 LS MO 64086

CONTRACTOR
 SWIM THINGS
 3010 SW 40 HWY
 BS, MO 64015
 816 224-2600

TRACT E

LEGEND

- Gas Meter
- Telephone or Fiber-Optic Pedestal
- Cable TV Pedestal
- Electric Pedestal
- Light Pole
- Power Pole
- Mailbox
- Fire Hydrant
- Water Valve

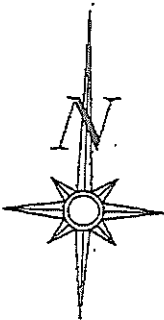
PROPOSED HOUSE

TOP FOUNDATION = 953.35
 GARAGE FLOOR = 952.35
 TOP FOOTING = 944.35
 BASEMENT FLOOR = 944.68

E = EXISTING ELEVATION
 F = PROPOSED FINAL ELEVATION
 G = ADJACENT GRADE AT EGRESS
 U/E = UTILITY EASEMENT
 B/L = BUILDING LINE
 S/Y/S = SIDE YARD SETBACK
 R/Y/S = REAR YARD SETBACK

NOTES

1. BUILDER TO VERIFY ALL



Scale 1"=30'

LOT INFORMATION

14,571 SQ. FT.
 MBFE = 942.49
 ADDRESS
 4528 SW NAUTILUS PL.

