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# Country Club Bank

## Downtown Lee's Summit

### 32 SE 3rd Street, Lee's Summit, Missouri

PROJECT SUMMARY

KEY PLAN

PROJECT LOCATION

DRAWINGS

July 19, 2020

Permit Set

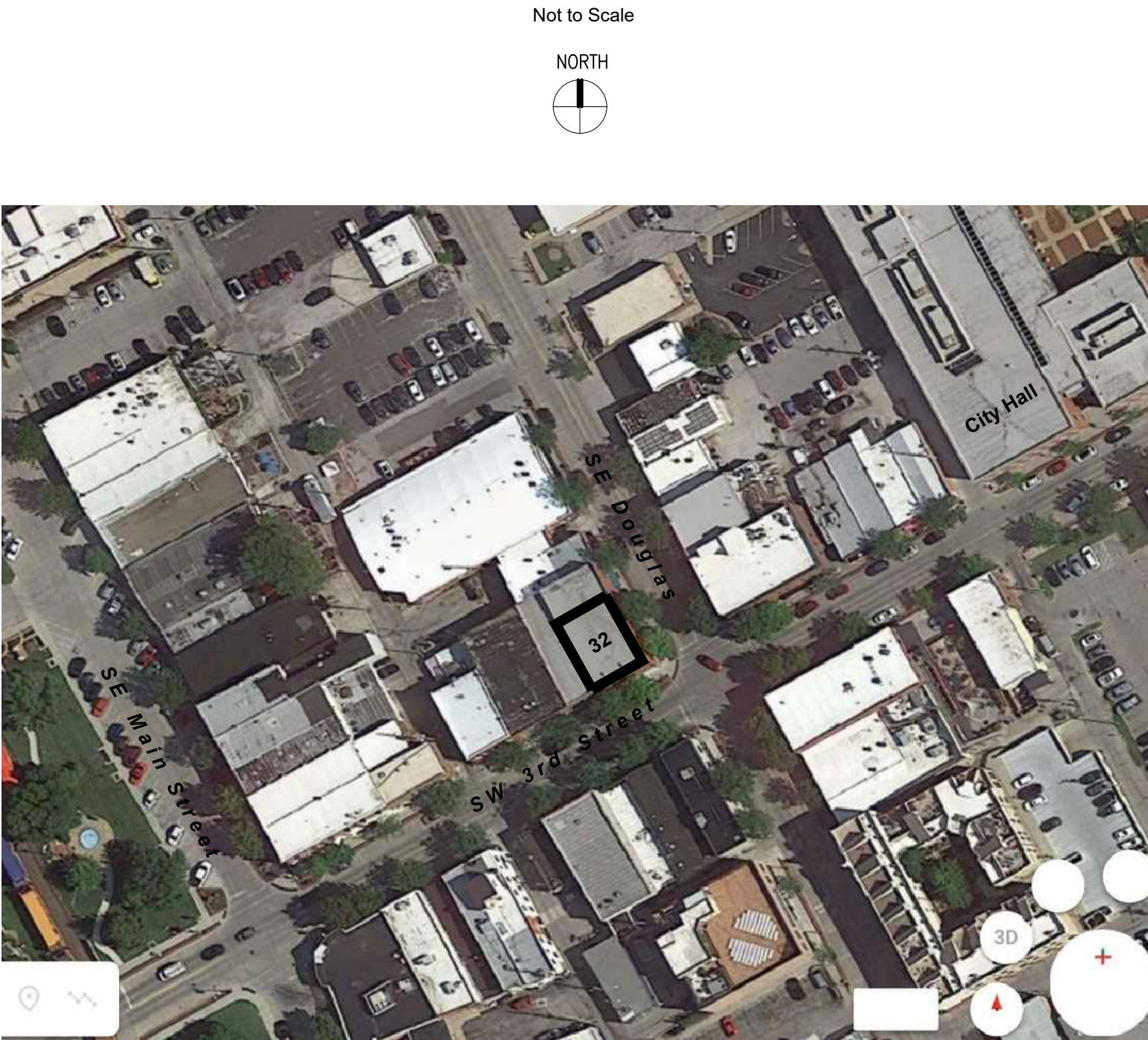
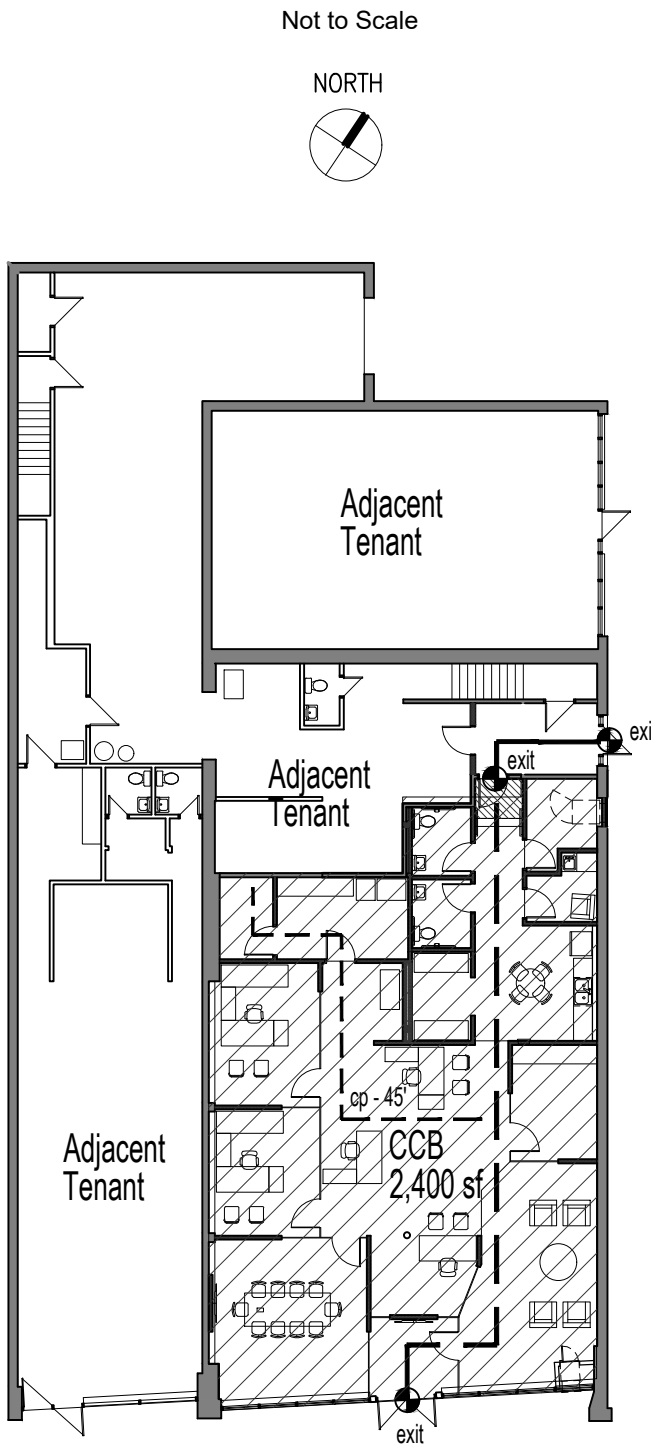
SHELL BUILDING SUMMARY:

**BUILDING SHELL CODE SUMMARY:**  
Occupancy Type: 'Non-Separated Mixed Uses' (IBC 508.3)  
M (Mercantile), B-Business  
Construction Type: Type III-B, non-sprinklered  
Actual Total Area: 7,160 sf - ground floor  
Allowable: 12,500 sf/floor (per M)  
Height, Actual: 40 ft., 2 story  
Height, Allowable: 55 ft., 2 story (per M)

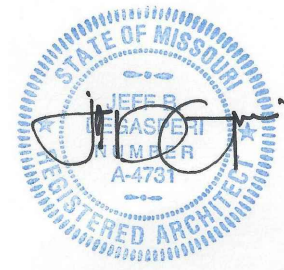
TENANT CODE SUMMARY:

**TENANT CODE SUMMARY:**  
Occupancy Type: B - Business  
Construction Type: V-B, non-sprinklered  
Tenant Area: 2,400 sf  
Max. Occupancy: 16 occ (@150occ/sf; per table 1004.5)  
Number of Exits: 2 (1 required, 1006.2)  
Max. Travel to Exit: 75' (200' allowable, 1017.2)  
Max. Common Path: 45' (75' allowable, 1006.2.1)  
Toilet Fixtures: 2 actual, \*2 reqd  
(1/25 occ for 1st 50, 1/50 after)  
(\*separate facilities over 15 occ)

**APPLICABLE CODES:**  
International Building Code (IBC), 2018  
International Mechanical Code (IMC), 2018  
International Plumbing Code (IPC), 2018  
International Fire Code (IFC), 2018  
International Fuel Gas Code (IFGC), 2018  
International Energy Conservation code (IECC), 2018  
National Electric Code, 2017



**ARCHITECTURAL:**  
A01 Schedules & Int Dtl's  
A10 Floor Plan  
A11 Ceiling Plan



**Country Club Bank**  
Lee's Summit



| SYMB  | DESCRIPTION                    | MODEL<br>(Bobrick) | LOCATION / QTY. |           |  |
|-------|--------------------------------|--------------------|-----------------|-----------|--|
|       |                                |                    | WOMEN - 114     | MEN - 115 |  |
| TTD   | SGL. TOILET TISSUE DISPENSER   | B7685              | 1               | 1         |  |
| GB    | GRAB BARS, 1-36", 1-48", 1-18" | B6806.99           | 1               | 1         |  |
| PTT   | PAPER TOWEL DISPENSER / TRASH  | B39603             | -               | -         |  |
| SD    | SOAP DISPENSER                 | B8226              | -               | -         |  |
| MIR 1 | MIRROR                         | per elevs          | 1               | 1         |  |
|       |                                |                    |                 |           |  |
|       |                                |                    |                 |           |  |
|       |                                |                    |                 |           |  |
|       |                                |                    |                 |           |  |

|  | NO.         | DOOR INFORMATION |             |                |           |               |             |            |            | FRAME INFO     |              |                |              | MISC.       |            |                           | REMARKS |
|--|-------------|------------------|-------------|----------------|-----------|---------------|-------------|------------|------------|----------------|--------------|----------------|--------------|-------------|------------|---------------------------|---------|
|  | DOOR NUMBER | DOOR WIDTH       | DOOR HEIGHT | DOOR THICKNESS | DOOR TYPE | DOOR MATERIAL | DOOR FINISH | DOOR GLASS | FRAME TYPE | FRAME MATERIAL | FRAME FINISH | SIDELITE GLASS | HARDWARE SET | CARD READER | FIRE LABEL |                           |         |
|  | X1          | 3'-0"            | 7'-0"       |                |           |               |             |            |            |                |              |                |              |             |            | Exist; w/ paddle deadbolt |         |
|  | 01          | 3'-0"            | 7'-0"       | 5/8"           | B         | GL2           | -           |            | -          | -              | -            |                | 1            |             |            |                           |         |
|  | 05          | 3'-0"            | 7'-0"       | 5/8"           | B         | GL2           | -           |            | -          | -              | -            |                | 1            |             |            |                           |         |
|  | 06          | 3'-0"            | 7'-0"       | 5/8"           | B         | GL2           | -           |            | -          | -              | -            |                | 1            |             |            |                           |         |
|  | 07          | 3'-0"            | 7'-0"       | 5/8"           | B         | GL2           | -           |            | -          | -              | -            |                | 1            |             |            |                           |         |
|  | 08          | 3'-0"            | 7'-0"       | 5/8"           | B         | GL2           | -           |            | -          | -              | -            |                | 1            |             |            |                           |         |
|  | 10          | 3'-0"            | 7'-0"       | 1 3/4"         | A         | WD            | P2          |            | 1          | HM             | P4           |                | 5            |             |            |                           |         |
|  | 11          | 3'-0"            | 7'-0"       | 1 3/4"         | A         | WD            | P2          |            | 1          | HM             | P4           |                | 5            |             |            |                           |         |
|  | 14          | 3'-0"            | 7'-0"       |                |           |               |             |            |            |                |              |                |              |             |            | Exist; by Landlord        |         |
|  | 15          | 3'-0"            | 7'-0"       |                |           |               |             |            |            |                |              |                |              |             |            | Exist; by Landlord        |         |
|  | 16          | 3'-0"            | 7'-0"       |                |           |               |             |            |            |                |              |                |              |             |            | Exist; by Landlord        |         |
|  | 17          | 3'-0"            | 7'-0"       | 1 3/4"         | A         | WD            | P2          |            | 1          | HM             | P4           |                | 3            |             |            |                           |         |
|  | 18          | 3'-0"            | 7'-0"       | 1 3/4"         | A         | WD            | P2          |            | 1          | HM             | P4           |                | 5            |             |            |                           |         |

Diagram illustrating the three-step process of creating a flush aluminium finish:

- A** flush: A blank rectangular plate.
- B** gloss: The plate is covered with a fine grid pattern.
- C** aluminium: The grid pattern is removed, leaving a smooth surface. A dimension line indicates a 10 mm gap between the inner and outer rectangles.

RE: SCH.

RE: SCHED

①

[illegible]

| SYMBOL | DESCRIPTION                         | SELECTION / MANUFACTURER                     | NOTES/COLOR               |
|--------|-------------------------------------|----------------------------------------------|---------------------------|
| SLC    | SEALED CONCRETE                     | TYPE: TO BE SELECTED                         | COLOR: CLEAR              |
| CPT    | CARPET, BROADLOOM                   | TYPE: TO BE SELECTED                         | COLOR: (to be selected)   |
| CT     | CERAMIC TILE                        | TYPE: TO BE SELECTED                         | COLOR: (to be selected)   |
| VCT    | VINYL COMPOSITION TILE              | ARMSTRONG, STD. EXCELON, 12x12               | COLOR: (to be selected)   |
| RB     | RUBBER BASE                         | ROPPE, 4" COVE                               | COLOR: (to be selected)   |
| WD     | WOOD                                | PAINt GRADE (POPULAR)                        | COLOR: see below          |
|        |                                     |                                              |                           |
|        |                                     | SHERWIN-WILLIAMS noted (or per finish plan): |                           |
| P-1    | PAINT--new drywall for regular ptg. | Pro-Mar 200 Primer; Pro-Mar 200 Eggshell     | COLORS: SEE BELOW         |
| P-2    | PAINT--wood doors & trim            | Wood Primer; Color Accents (2)               | COLORS: SEE BELOW         |
| P-3    | STAIN--wood doors & trim            | Polyurethane Varnish, matte (no stain)       | COLORS: SEE BELOW         |
| P-4    | PAINT--interior metals              | Alkyd Metal Primer; Color Accents (2)        | COLORS: SEE BELOW         |
| P-5    | PAINT--drywall ceilings             | Style Perfect Latex Ceiling                  | COLORS: SEE BELOW         |
| P-6    | PAINT--drywall in restrooms         | PrepRite 200 Primer; Pro-Ind Hi-Bld Epoxy(2) | COLORS: SEE BELOW         |
|        |                                     |                                              |                           |
| ACT1   | 2X2 ACOUSTIC CLG                    | TYPE: USC "RADAR", tegular edge, white       | W/ STD. 15/16" WHITE GRID |
| GL1    | 1/4" INTERIOR GLASS                 | 1/4" TEMPERED GLASS                          | CLEAR                     |
| GL2    | GLASS WALLS & DOORS                 | 5/8" TEMPERED GLASS                          | CLEAR                     |
| PL1    | PLASTIC LAMINATE (countertops)      | TYPE: FORMICA                                | COLOR: TBD                |
| PL2    | PLASTIC LAMINATE (cvt. faces)       | TYPE: FORMICA                                | COLOR: TBD                |

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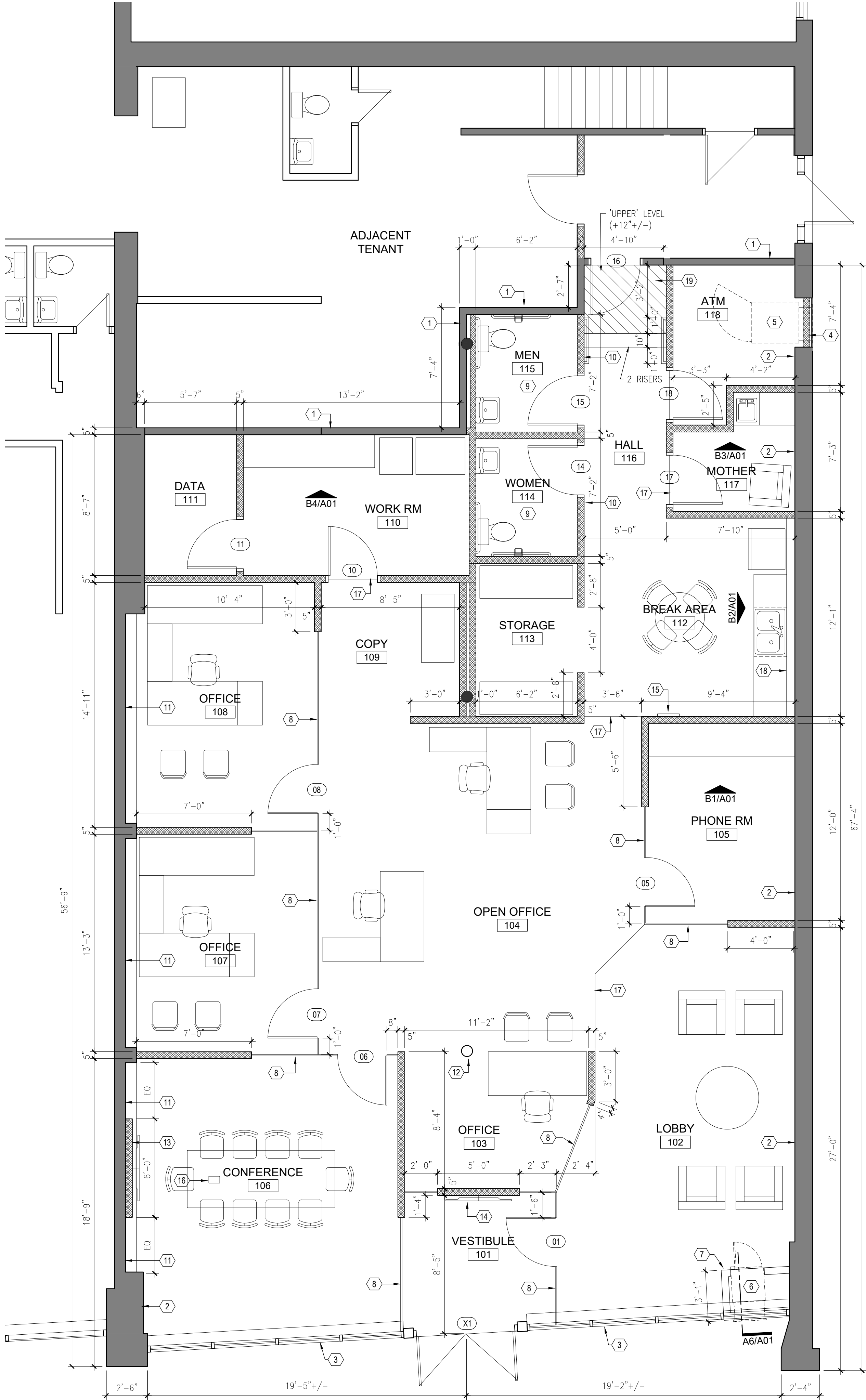
UDO ARTICLE #9 REQUIREMENTS:

- The following shall be provided or verified, in compliance with CPTED provisions of UDO Article 9 for Bank and Financial Services (Amendment #33):
- Lighting Requirements-  
Indoor-Lobby - Light levels of sufficient intensity to provide for high resolution video data recording from the digital video surveillance cameras in accordance with the camer manufacturer's specs.  
Outdoor - Minimum lighting levels of 5 footcandles shall be maintained at the store's entrance or shall be sufficiently lit to provide for high resolution video data recording of outside activity within 50 feet of the entrance.
  - Provide signage banning disguises; i.e., no caps sunglasses or visors, etc.
  - Provide video surveillance camera(s), two-color digital high definition as follows:  
To maintain view of cash register counter;  
To maintain view of all public and/or employee entrances into building/tenant space;  
To maintain view of customers leaving via a door mounted pin hole camera to be positioned at a height of between 4 and 5 feet from the bottom of the door;  
Capable of providing a min. storage of 30 days of data.
  - Provide an alarm system; as follows:  
Alarm system shall be monitored off-site;  
Silent panic alarm shall be provided at each cash register;  
Each teller and each employee directly accessible to the public shall be provided a remote alarm to wear on their person;  
Provide alarm activation inside walk-in vaults.
  - Provide automatic door locks on primary exits. Automatic door locks shall be capable of being locked from any cash transaction counter.
  - Provide unobstructed line of sight at all times from the cash register to the front door. Window areas shall be free from posters, flyers and other such visibility blockers.
  - "Height Strips" shall be required at each public entrance in direct view of employess.
  - "No Loitering/Trespass" sign shall be posted at the front entry to the building.

B3 | UDO ARTICLE 9

- Demise Wall; existing, constructed by Landlord. Floor level changes between tenant spaces occur at this location.
- Existing exposed brick wall to remain.
- Storefront, replaced by Landlord; with pair entry doors.
- Replace existing door opening with exterior infill wall for new ATM. Modify door curb/threshold if required to provide faceplate of ATM at ADA required levels outside.
- ATM unit: NCR SelfServ 84 Walk-Up Interactive Teller.
- FL-15 Safe-Night Depository, by Vault Structures Inc. Mounted thru facade wall in the Storefront, provided by Landlord.
- Construct partial height enclosure with cap, for Night Depository per details.
- Full height "Herculite" glass wall system, butt-joints, with stainless steel connectors. Doors shall include floor closers, and stainless steel pulls and hinges.
- Restroom. Existing, constructed by Landlord, including plumbing fixtures, ceiling, lights, exhaust fan, floor finish, epoxy painted walls, grab bars, mirror, toilet tissue dispenser.  
Tenant Contractor to install 4h (min) ceramic tile wainscot on all walls.
- Restroom Signage: plastic 6x9 with raised symbols and braille per code. Next to door at 54"h centerline.
- New drywall veneer on existing wall.
- Existing steel column, to remain. Painted.
- 5/8" gypsum board on 3-5/8" metal studs, for concealment of conduit for wall mounted TV monitor.
- Wall-mounted electronic display. Coordinate power requirements.
- 2A10BC 5lb.fire extinguisher, in semi-recessed cabinet. J.L. Industries 'Ambassador' 1017V10, or equal.
- Provide flush floor box and underslab conduit routing for electrical and data below conference table.
- Line of flooring finish change.
- Half-wall with wood cap at 4' high, insulated, for routing sink plumbing. Exposed brick wall above.
- Construct landing and steps, construction to match new floor by Landlord (1" gypcrete on plywood on 2x framing). Provide 1-1/2" od steel tube handrails at 36" above floor/tread, extend 12" beyond top and bottom.

A3 | PLAN KEY NOTES



A2 | FLOOR PLAN  
Scale: 1/4" = 1' - 0"

GENERAL NOTES:

- Dimensions are based on existing shell conditions, from a Base Plan provided by the Landlord. Dimensions shall be verified, and adjusted as necessary for actual conditions.
- Interior dimensions are to face of finish wall, typical. Allow 5" for thickness of wall, UNO.
- Existing exterior walls are primarily to remain as exposed brick. Assure walls are provided in satisfactory condition by Landlord, with portions of old plaster removed.
- All new interior partitions shall be 3-5/8" metal studs @ 16"oc, with 5/8" gyp. bd. each side to 4" above ceiling; unless otherwise noted. Provide Sound Batt Insulation between offices and around toilet rooms.
- Provide blocking in walls as required for anchorage of wall mounted equipment and devices (ie; casework, grab bars, toilet partitions, etc).
- New restrooms are existing, provided by Landlord under separate 'white box' permit.
- Provide moisture resistant gypsum board (greenboard) or cement board (dura-wall, etc) in the following locations:
  - Toilet Rooms, on wet walls and walls adjacent to wet walls.
  - Janitor Rooms with mop sinks.
  - Walls adjacent to plumbing fixtures or equipment with water supply (to 4' from fixture).
  - As substrate for tile or masonry finishes.
- Painting requirements:
  - Typical Walls: Sherwin-Williams 'Pro-mar 200' primer with 'Pro-mar 200' Eggshell, or equal.
  - Painted Wood Trim & Doors: Sherwin-Williams 'Pro-mar 200' primer with 'Pro-mar 200' Alkyd semi-glossl, or equal
- Interior finishes shall be as follows. Selections by the Tenant:
  - Floor Finishes - Carpet Tile, Ceramic Tile, VCT, rubber base
  - Walls - Painted
  - Wainscot in Restrooms - Ceramic Tile
  - Doors and trim - Painted
  - Cabinetry types and finishes
  - Door hardware types and finishes
- Tenant to provide fixtures and furniture, including bank equipment (ie, ATM and Night Depository).
- HVAC systems shall be 'design/build' by the Mechanical Contractor. Coordinate with base equipment and conditions provided by Landlord. Provide appropriate distribution to spaces based on the partition layout. All new work shall conform to applicable Building Codes. If required by the IMC, duct smoke detection shall be installed, and connected to the building fire alarm system.
- Electrical and Lighting Systems shall be 'design/build' by the Electrical Contractor. Provide adequate power outlets, power for equipment, and light fixtures. Design the new circuits utilizing the existing Electric Panel provided by Landlord. All new work shall conform to applicable Building Codes.
- The Electrical Contractor shall design and install the emergency lighting and exit signage, and provide appropriate locations, spec, or quantities as required for compliance with local Building Codes and requests of Fire Marshall.
- Plumbing Systems shall be 'design/build' by the Plumbing Contractor. Provide new plumbing fixtures indicated on the drawings, and appropriate water and waste systems. Tie into existing building systems. All new work shall conform to applicable Building Codes. Review plumbing fixture selections with the tenant prior to ordering. (note: plumbing in the two restrooms shall be existing, constructed by Landlord).
- Provide design and the modifications to the existing fire-sprinkler system to supply coverage to comply with NFPA-13, for any areas affected by the new work. Provide semi-recessed heads in ceiling tiles; and recessed heads that occur in drywall ceilings. Provide 1" signage at ceiling to indicate location of any concealed fire-sprinkler valves.
- Provide exterior lighted wall sign(s), per Tenant's sign vendor. Coordinate electrical requirements.

A1 | GENERAL NOTES



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Tenant Finishes

Country Club Bank

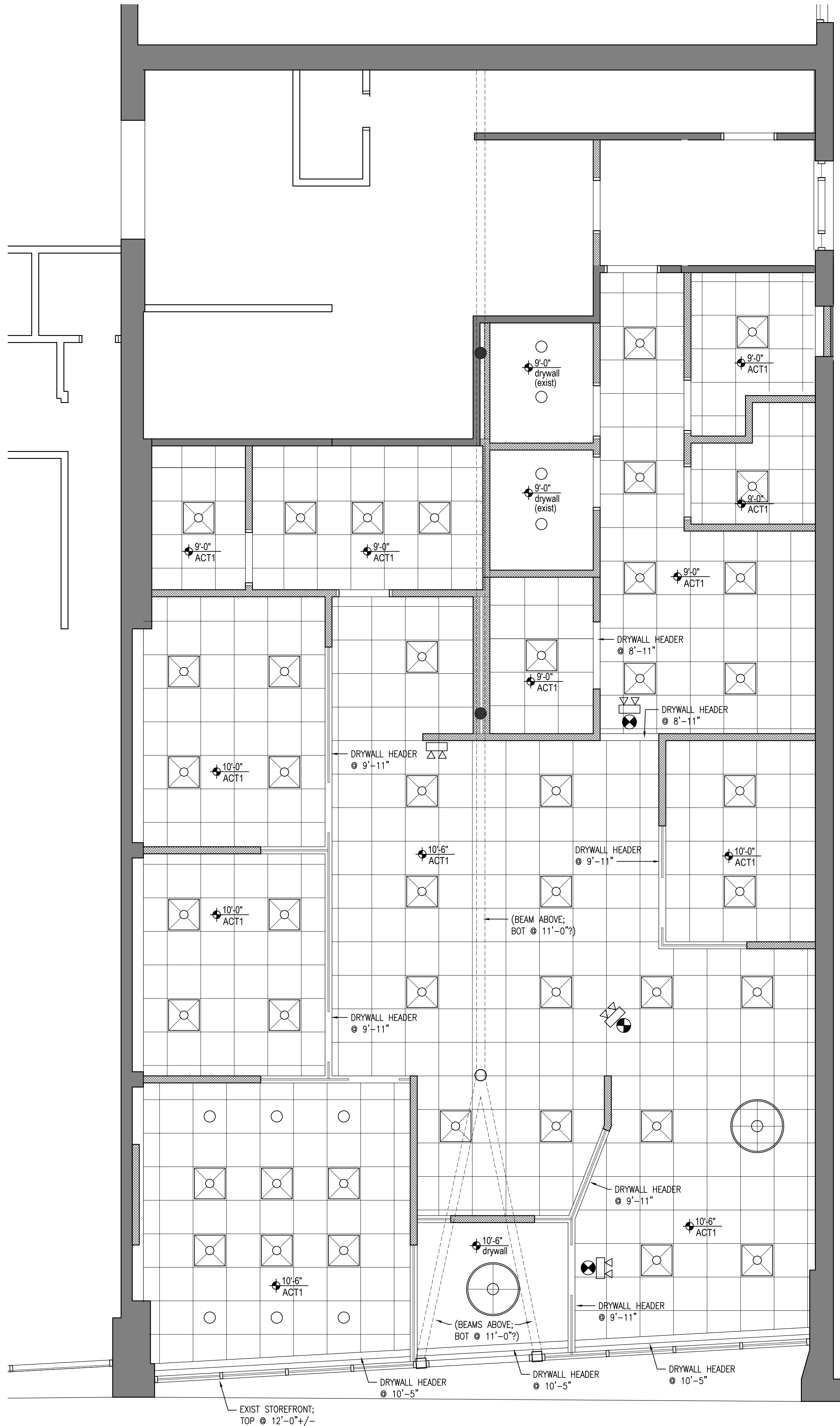
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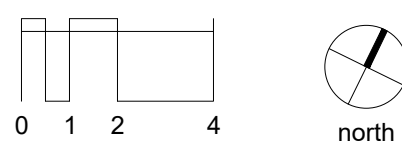
| Issue      | Date      |
|------------|-----------|
| Review Set | 6. 12. 20 |
| Review Set | 7. 13. 20 |
| Permit Set | 7. 19. 20 |
|            |           |
|            |           |
|            |           |
|            |           |
|            |           |
|            |           |

Floor Plan  
A10





**A2** | CEILING PLAN  
Scale: 1/4" = 1' - 0"



GENERAL CEILING NOTES:

- SHELL BUILDING CONDITIONS:
  - Tenant Contractor shall repair any damaged areas of existing ceiling to assure stability of surfaces.
- CEILING TYPES AND HEIGHTS:
  - Ceiling heights are noted on the plan.
  - Refer to Architectural Finish Schedule for ceiling types.
  - Approximate height of existing ceiling/structure above is 13'-4". Field Verify. Confirm adequate clearances are available for ceiling heights scheduled. Assure clearances for HVAC ducts and equipment, lights, structure, and other obstructions. Bring areas of conflict to attention of Architect and Engineer prior to installation of grid.
- HEADERS AND SOFFITS:
  - Headers shall be 5/8" gyp bd on 3-5/8" metal studs, suspended from structure. Bottom of header elevations are shown on Ceiling Plan.
  - Provide headers above Herculite glass walls, for installation of top glass receiver. Provide kickers to structure as required for wall stability.
  - Provide 1/2" gyp bd on soffits and drywall ceilings, on metal framing or suspension systems.
- GRID LAYOUT:
  - Center the grid in the middle of rectangular rooms, unless shown otherwise.
  - Move grid slightly to eliminate very narrow panels; or provide oversize panels.
- LIGHT FIXTURE LOCATIONS:
  - Suggested locations of light fixtures are shown on the ceiling plan.
  - Fixture types shall be verified by Tenant.
  - Electrical Contractor shall verify adequate lighting values for layout, and adjust locations and quantities as necessary.
  - Suggested locations for exit signs and emergency lighting units are shown on the ceiling plan. Verify compliance with local codes and approval by Fire Marshall.
- MECHANICAL DEVICES:
  - Locations of diffusers, grilles and other devices shall be determined by the Mechanical Contractor.

**A1** | GENERAL NOTES



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Ceiling Plan

A11