

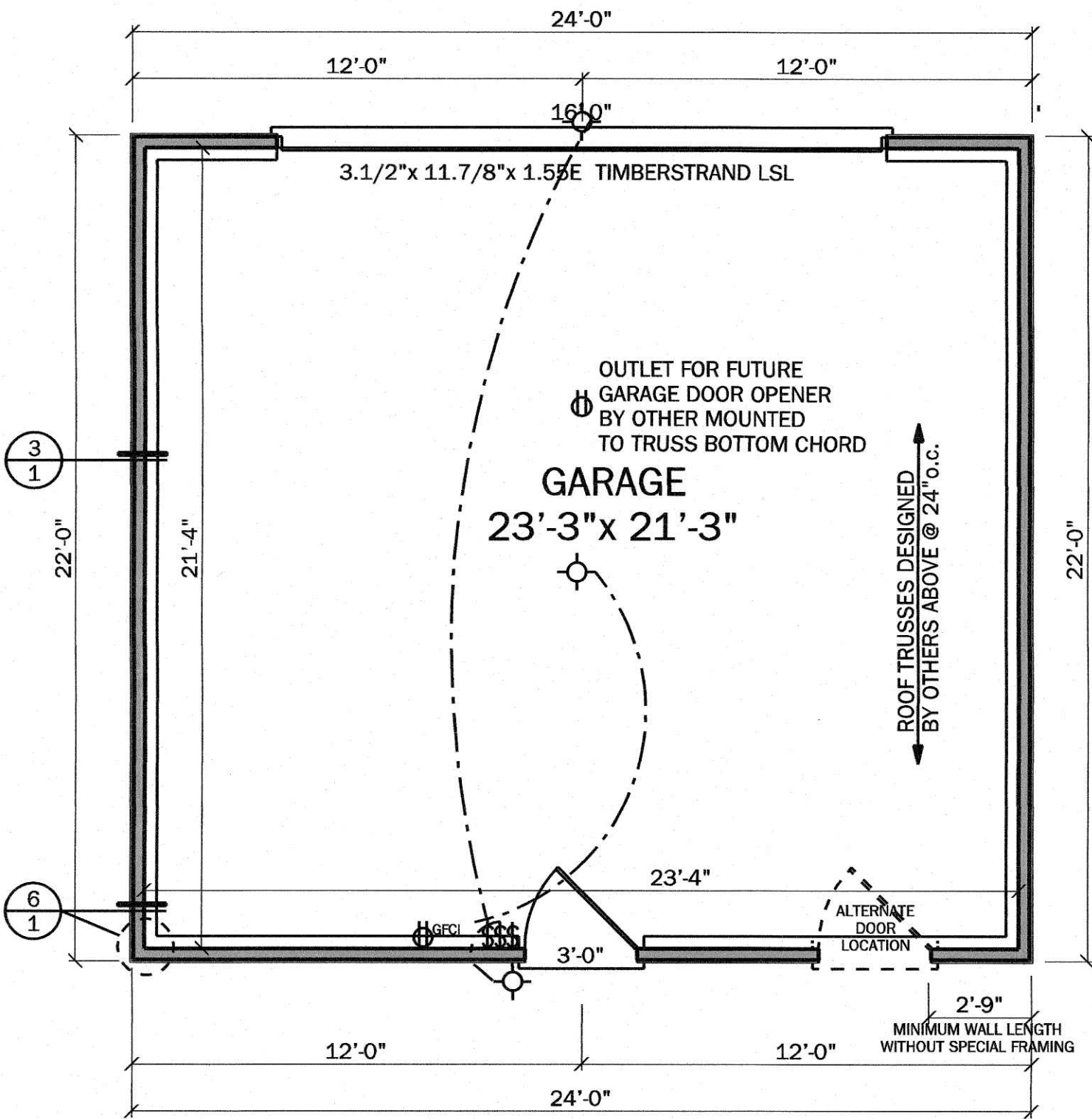
FRONT ELEVATION

STANDARD 8'-1" HIGH WALLS,
ALL HEADERS SHALL BE (2) 2X10 #2 KDYP UNLESS NOTED ON PLAN OR ELEVATIONS

SIDE ELEVATION (TYPICAL)

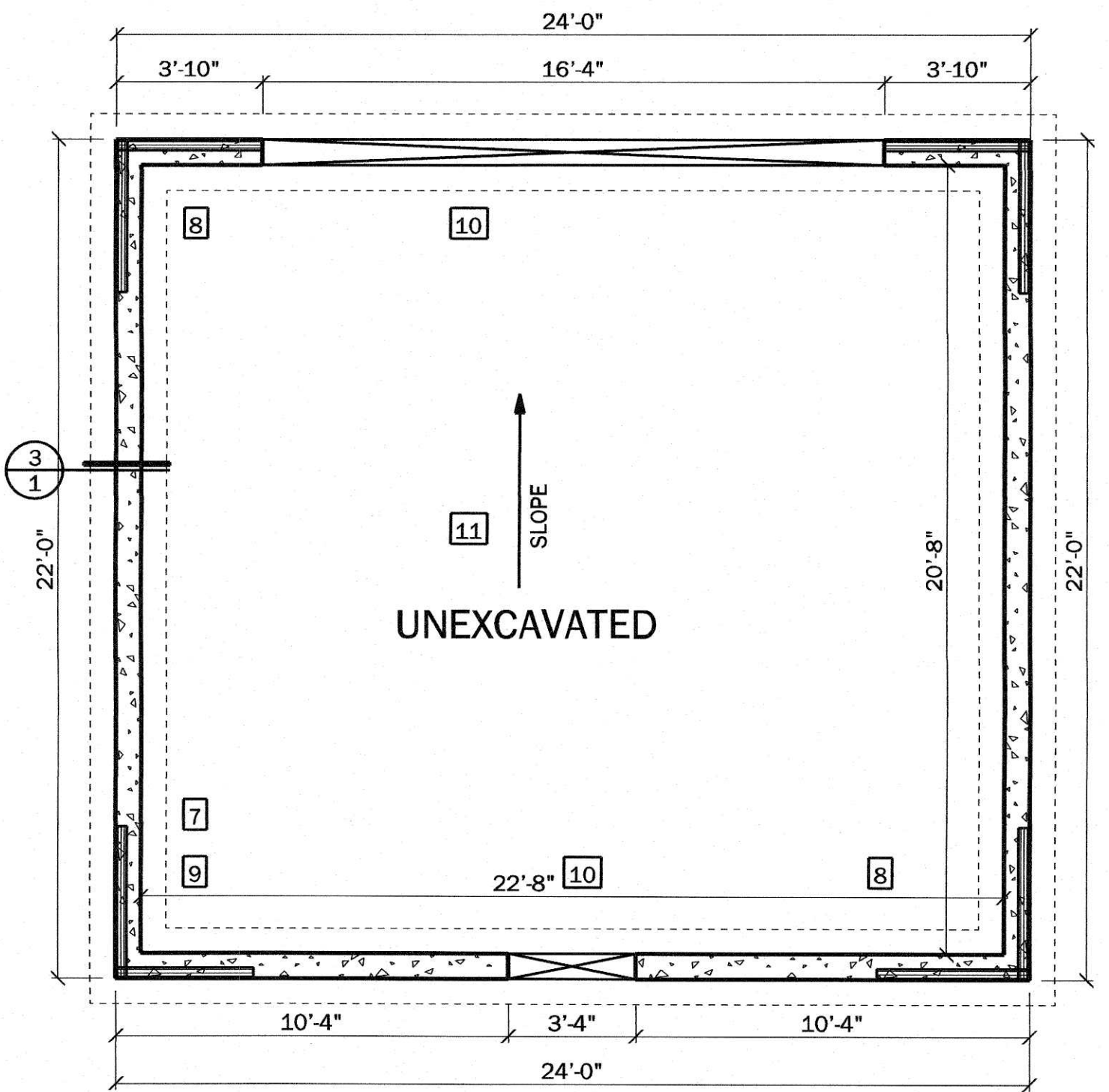
REAR ELEVATION (ALLEY)

- KEYED GARAGE NOTES
1. 8.25" PRE-PREFINISHED HARDIEPLANK FIBER CEMENT SIDING, 7" EXPOSURE
 2. LAMINATED ASPHALT SELF SEALING SHINGLES TO MATCH HOUSE - INSTALL PER MANUFACTURERS SPECIFICATIONS
 3. APPROXIMATE FINISH GRADE - THE GRADE ADJACENT TO FOUNDATION WALLS SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET. IMPERVIOUS SURFACES WITHIN 10' OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM BUILDING. WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6 INCHES OF FALL WITHIN THE FIRST 10 FEET, DRAINS OR SWALES SHALL BE PROVIDED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE. FINISHED GRADE SHALL BE 8" MINIMUM BELOW TOP OF FOUNDATION. ALL AREAS SHALL BE SLOPED TO LOWER ELEVATIONS OR DRAINAGE STRUCTURES ON OR NEAR THE SITE.
 4. CORNER BOARD - 3-1/2" WIDE 5/4 SMOOTH HARDIETRIM (1" THICK)
 5. CONTINUOUS RIDGE VENT
 6. DOOR TRIM - 3-1/2" WIDE 5/4" SMOOTH HARDIETRIM (1" THICK) AT HEAD & JAMBS, TYPICAL
 7. SILL PLATE LINE ABOVE
 8. 8" WIDE CONCRETE FROST WALL - EXTEND 8"x24" WIDE CONCRETE FOOTING 30" BELOW GRADE, TYPICAL
 9. 2-#4 REBARS 48" LONG VERTICALLY @ 12" o.c. LAPPED & TIED AT ALL CORNERS, TYPICAL
 10. HOLD DOWN WALL FOR SLAB THRU DOOR ABOVE
 11. GARAGE SLAB; 4" CONCRETE SLAB OVER COMPACTED FILL - SLOPE AT 1/4" PER FOOT MINIMUM TOWARD GARAGE DOORS. 4" CONCRETE SLAB WITH 6X6, 10/10 WELDED WIRE FABRIC OVER 6 MIL MOISTURE BARRIER AND 4" OF COMPACTED FILL - REINFORCEMENT SHALL BE SUPPORTED TO REMAIN IN PLACE FROM THE CENTER TO UPPER 1/3 OF THE SLAB FOR THE DURATION OF CONCRETE PLACEMENT



FLOOR PLAN

528 SQUARE FEET (unfinished, uninsulated garage)
STANDARD 8'-1" HIGH FIRST FLOOR WALLS
ALL HEADERS SHALL BE (2) 2X10 #2 KDYP UNLESS NOTED ON PLAN OR ELEVATIONS
WHEN TWO OR MORE CIRCUITS ARE RUN, SUB-PANEL IN GARAGE IS REQUIRED



FROST WALL PLAN

Proposed 24'x 22' garage
Permit #
Lots #2 & 5, 514 NW Main Street
Lee's Summit, Jackson County, Missouri 64063
for Walker Custom Homes LLC

STUDIO ARCHAEO S

3213 SOUTH MESTER STREET, ST. CHARLES, MO 63301 314-280-3855
MISSOURI STATE CERTIFICATE OF AUTHORITY #2011021199

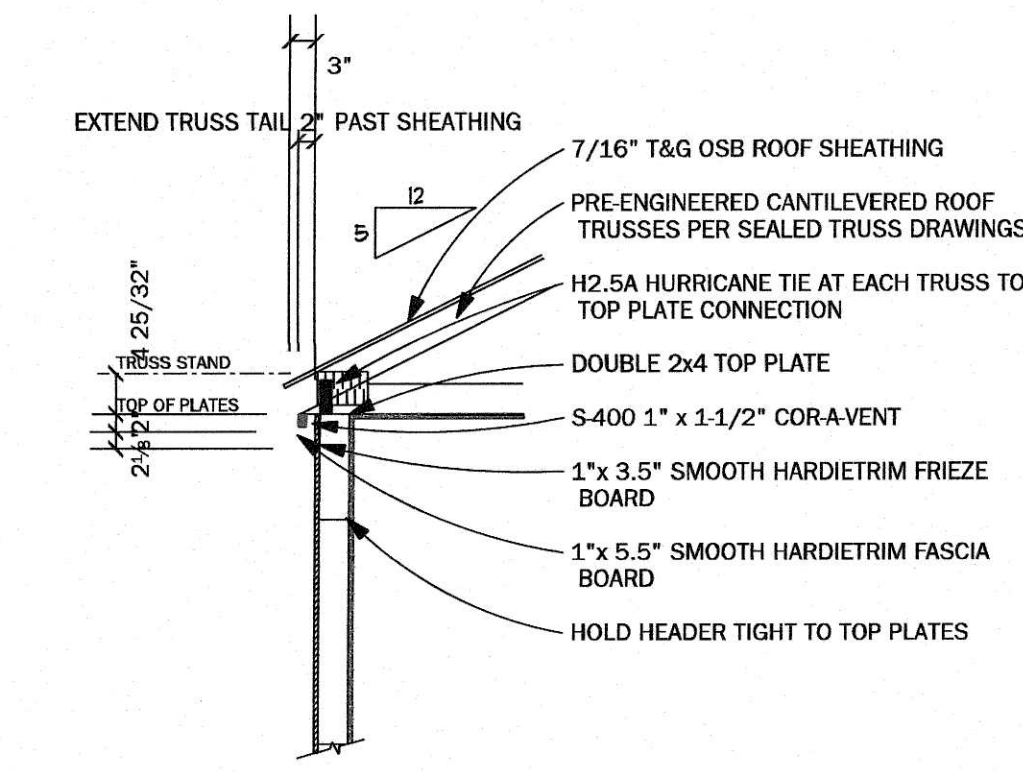
revised	by	chkd	issued for	date
	Tim		building department submittal	5/22/2020

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Timothy Louis Busse - Architect
MO# A-007231

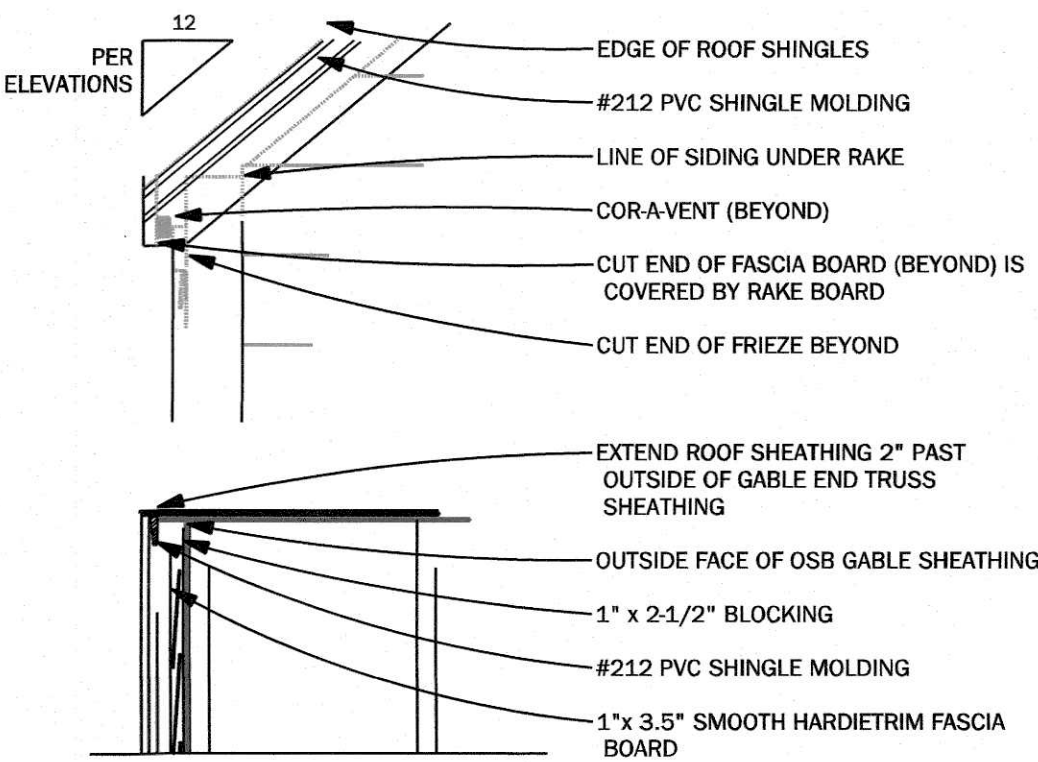
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DO NOT SCALE DRAWINGS.

sheet 1 of 1



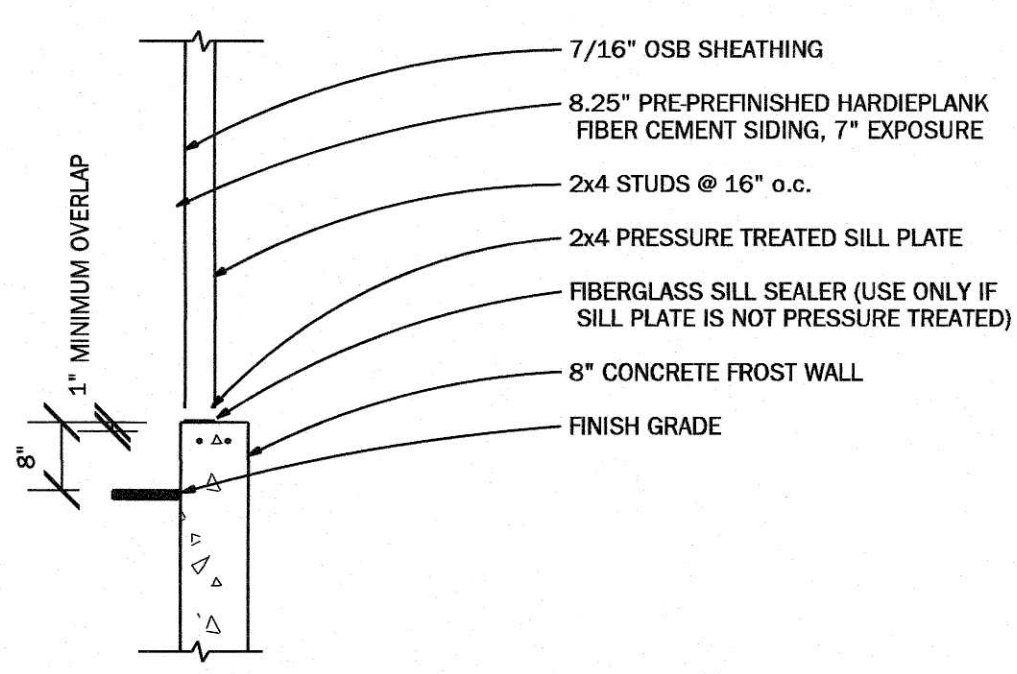
TYPICAL EAVE - 2" OVERHANG

2



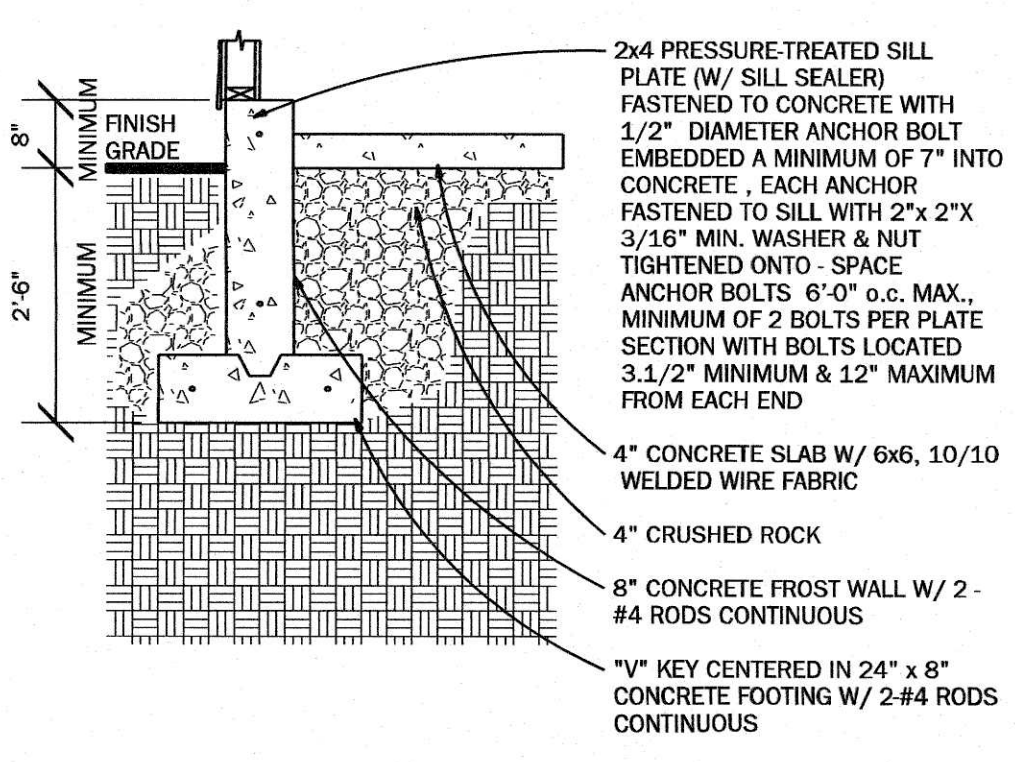
STANDARD RAKE AT GABLE END

3



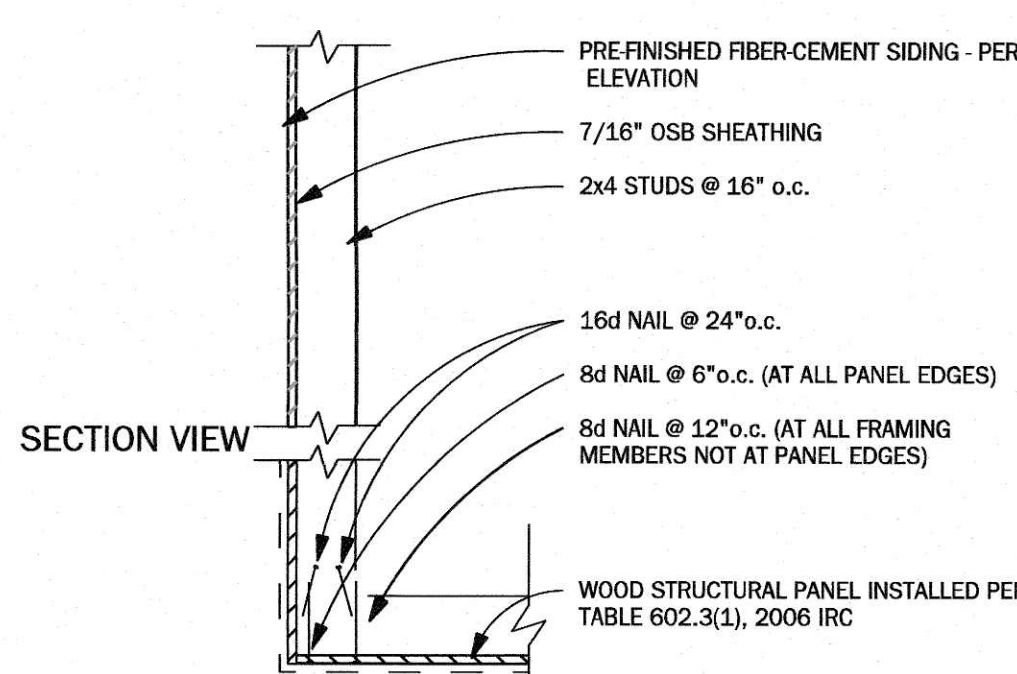
TYPICAL WALL SECTION OVER CONCRETE

4



FROST WALL AT GARAGE

5



SECTION VIEW
OUTSIDE CORNER DETAIL
PLAN VIEW
TYP. CONTINUOUS STRUCTURAL PANEL
SHEATHING @ EXTERIOR FRAME WALL

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