

940 NW Pryor Road Lee's Summit, Missouri 64081

PROJECT NO.: 18-046

ISSUE DATE: 7.2.2020 (REVISION 5)

GENERAL NOTES

4. ONLY CONTRACT DOCUMENTS APPROVED FOR CONSTRUCTION AND REVIEWED SHOP DRAWINGS SHALL BE USED FOR CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DISTRIBUTION OF SAID DOCUMENTS AND UPDATES

6. DIMENSIONS TO THE EXTERIOR OF THE BUILDING ARE TO THE EXTERIOR OF FOUNDATION/MASONRY UNLESS NOTED

5. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE THE SUBCONTRACTOR WORK WITH

7. DO NOT SCALE DRAWINGS.

8. THE WORD 'ALIGN' AS USED IN THESE DOCUMENTS SHALL SUPERSEDE DIMENSIONAL INFORMATION.

9. NO PRODUCTS CONTAINING ASBESTOS SHALL BE INSTALLED IN OR USED DURING THE CONSTRUCTION OF THIS PROJECT. T SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CERTIFY TO THE OWNER THAT THIS REQUIREMENT HAS

10. ALL HVAC EQUIPMENT AND DUCTWORK SHALL COMPLY WITH THE CURRENT APPLICABLE MECHANICAL CODE AND INSTALLED PER SMACNA RECOMMENDATIONS.

I1. CODE COMPLIANCE - THE WORK SHALL BE GOVERNED BY ALL CURRENT APPLICABLE LOCAL, CITY, STATE AND NATIONAL OVER WORK. THE SITE, PARKING LOT, AND BUILDING SHALL COMPLY WITH THE ADA (AMERICANS WITH DISABILITIES ACT) REGULATIONS. NOTIFY ARCHITECT OF ANY REQUIRED CHANGES TO COMPLY WITH ADA.

2. REFERENCE CIVIL DRAWINGS FOR SITE WORK, INCLUDING THE BUILDING LOCATION ON THE SITE.

ABBREVIATIONS									
ABV AFF	ABOVE ABOVE FINISH FLOOR	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED						
ACT ALUM	ACOUSTICAL ALUMINUM	OFOI	OWNER FURNISHED OWNER INSTALLED						
& @	AND AT	OC	ON CENTER						
BLK BD	BLOCK BOARD	OPNG	OPENING						
ВО	BOTTOM OF	PTD PLAM	PAINTED PLASTIC LAMINATE						
CLG © CT	CEILING CENTER LINE CERAMIC TILE	PLYWD PT	PLYWOOD PRESSURE TREATED						
CLR CONC CMU	CLEAR CONCRETE CONC. MASONRY UNIT	RAD RE:	RADIUS Reference						
CONT CONTR CFCI	CONTINOUS CONTRACTOR CONTRACTOR FURNISHED CONTRACTOR INSTALLED	REINF RCP REQ'D RD	REINFORCING REFLECTED CEILING PLAN REQUIRED ROOF DRAIN						
CJ CG	CONTROL JOINT CORNER GUARD	RM RO	ROOM ROUGH OPENING						
DTL DIA DR DS DWG	DETAIL DIAMETER DOOR DOWNSPOUT DRAWING	SCHED SECT SHT SIM SC	SCHEDULE SECTION SHEET SIMILAR SOLID CORE						
EOS ELEC ELEV EQ EQUIP EXIST EJ	EDGE OF SLAB ELECTRICAL ELEVATION EQUAL EQUIPMENT EXISTING EXPANSION JOINT	SPEC SQ SF SS STD STL STRUCT SUSP	SPECIFICATION SQUARE SQUARE FOOT STAINLESS STEEL STANDARD STEEL STRUCTURAL SUSPENDED						
FT FG FF FR FL	FEET FINISH GRADE FINISH FLOOR FIRE RETARDANT FLOOR	TEL THK TO T&G TYP	TELEPHONE THICK TOP OF TONGUE & GROOVE TYPICAL						
GC GYP	GENERAL CONTR. GYPSUM	UNF UNO	UNFINISHED UNLESS NOTED OTHERWISE						
HDWD HDPB	HARDWOOD HIGH DENSITY PARTICLE BOARD	VERT VEST	VERTICAL VESTIBULE						
HT HR	HEIGHT HOUR	WP WT	WATERPROOF WEIGHT						
INSUL	INSULATION	W/ W/O	WEIGHT WITH WITH OUT						
JT	JOINT	WD	WOOD						
LAV	LAVATORY								
MO MSRY	MASONRY OPENING MASONRY								

MEDIUM DENSITY

MECHANICAL



General Contractor Brinkmann Constructors 8700 Indian Creek Parkway Suite 150 Overland Park, KS 66210 Phone: (913) 717-9007 Contact: Philip Sutterfield

Kansas City, Missouri 64111

Phone: (816) 531-4144

Mech. / Elec. / Plumb. Engineer 3639 SW Summerfield Dr Ste A Topeka, KS 66614 Phone: (785)-233-3232 Contact: Rich Beardmore

PROJECT DIRECTORY

TR,i Architects Summit at West Pryor, LLC 9812 Manchester Road 919 N. East Street St. Louis, Missouri 63119 Indianapolis, Indiana 46202 Phone: (314) 395-9750 Phone: (317) 472-0271 Contact: Jeff Kaiser (ext 219) Contact: Brad Richey Michaela Silva (ext 275) Structural Engineer Bob D Campbell & Company Renaissance Infrastructure Consulting

1815 McGee Street, Suite 200 Kansas City, MO 64108 Phone: (816) 800-0950 Contact: Dustin Burton

Latimer Sommers and Associates

Contact: Clark Basinger (Direct: 816-778-7151)

PROJECT SUMMARY

*FOR COMPLETE CODE ANALYSIS SEE LIFE SAFETY PLAN SHEET A006 - A010

PROJECT NAME: Summit at West Pryor PROJECT ADDRESS: NWQ NW Pryor Rd & NW Lowenstein Dr

PROJECT DESCRIPTION:

BUILDING CODES:

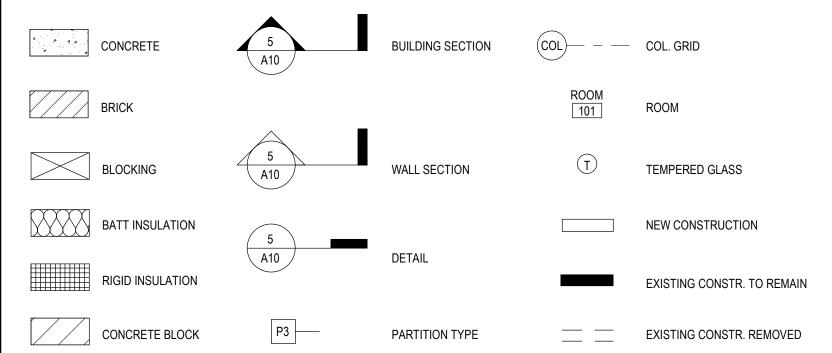
Lee's Summit, Missouri 64081 237 Unit development 2018 International Building Code

2017 National Electrical Code 2018 International Mechanical Code 2018 International Plumbing Code 2018 International Energy Conservation Code

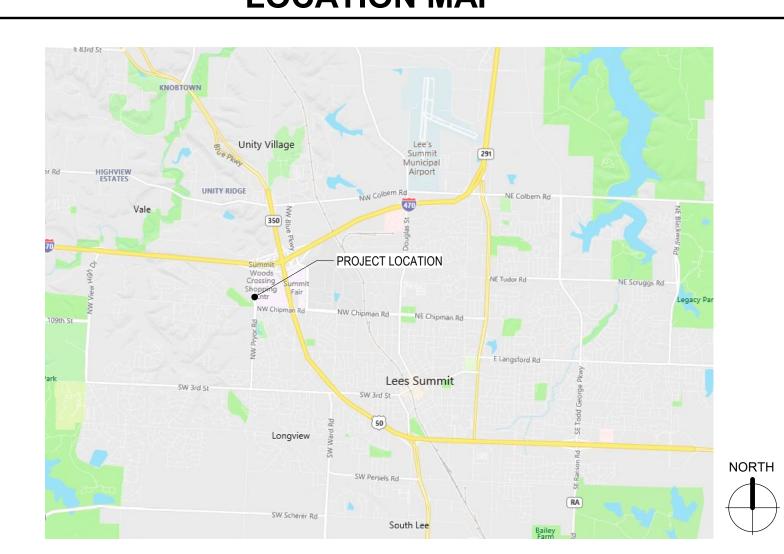
2010 ADA Guidelines & 2017 ICC/ANSI A117.1 Fair Housing Act OCCUPANCY TYPE / USE GROUP: SEE LIFE SAFETY PLANS.

ACCESSIBILITY

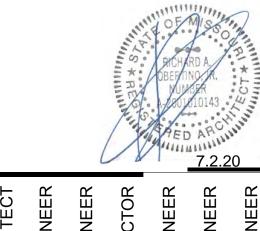
SYMBOLS



LOCATION MAP



SEE SHEET A001 FOR DRAWING INDEX



ARCHITECTS T: 314-395-9750 9812 Manchester Road F: 314-395-9751 St. Louis, Missouri 63119 © Copyright 2018 www.triarchitects.com 7.29.19 REVISIONS /#\ 7.29.19 SHELL PACKAGE **BUILDING PERMIT** 9.6.19 COMMENTS 9.11.19 FDP RESUBMITTAL 9.12.19 BUILDING PERMIT COMMENTS 2 STRUCTURAL 10.16.19 REVISION 11.7.19 STRUCTURAL **REVISION 2**

REVISION 1 REVISION 2

REVISION 3 REVISION 4

12.20.19

4.24.2020

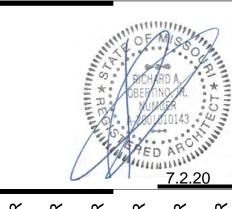
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ADSS ADDRESS PLAN - FOUR FLOOR AND	A052	ADDRESS PLAN - FIRST FLOOR											
M1018	A054	ADDRESS PLAN - THIRD FLOOR								•			•
A1028 FIRST FLOOR PLAN - BLOC B	A101A	GARAGE FLOOR PLAN		•						•	•		•
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S001	STRUCTURAL GENERAL NOTES	SHELL PACKAGE 07.29.19	BUILDING PERMIT COMMENTS 9.6.19	FDP RESUBMITTAL 9.11.19	BUILDING PERMIT COMMENTS 9.12.19	STRUCTURAL REVISION 10.16.19	STRUCTURAL REVISION 2 11.7.19	REVISION 1 12.20.19	REVISION 2 1.24.20	REVISION 3 4.3.2020	REVISION 4 4.24.2020	REVISION 5 7.2.2020
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S004	TYPICAL WOOD LATERAL SCHEDULES & DETAILS	•								•		
S005	TYPICAL WOOD DETAILS	•										_
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S110	FOUNDATION PLAN	•										
S110B	FOUNDATION PLAN - AREA B	•				•						
S110C/D	FOUNDATION PLAN - AREA C/D	•										
S110E	FOUNDATION- AREA E	•				•						
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S111B S111B-R	COMMERCIAL FLOOR FRAMING PLAN- AREA B COMMERCIAL FLOOR REACTIONS PLAN - AREA B	•				•	•					•
S111C/D	COMMERCIAL FLOOR FRAMING PLAN- AREA C/D	•				•						•
S111C/D-R	COMMERCIAL FLOOR REACTIONS PLAN - AREA C/D	•										
S111E	COMMERCIAL FLOOR FRAMING PLAN- AREA E	•				•						
S111E-R S112	COMMERCIAL FLOOR REACTIONS PLAN - AREA E	•										
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S112C/D	FIRST FLOOR 1 FRAMING PLAN- AREA C/D	•				•	•					•
S112C/D-TR	FIRST FLOOR 1 TENSION ROD & REACTIONS PLAN - AREA C/D	•										
S112E	FIRST FLOOR 1 FRAMING PLAN- AREA E	•				•	•					
S112E-TR S113	FIRST FLOOR 1 TENSION ROD & REACTIONS PLAN - AREA E SECOND FLOOR FRAMING PLAN	•										
S113B	SECOND FLOOR FRAMING PLAN- AREA B	•				•		•				•
S113B-TR	SECOND FLOOR TENSION ROD PLAN - AREA B	•										
S113C/D	SECOND FLOOR FRAMING PLAN- AREA C/D	•								•		
S113E	SECOND FLOOR FRAMING PLAN- AREA E	•				•		•				
S113E-TR S114	SECOND FLOOR TENSION ROD PLAN - AREA E THIRD FLOOR FRAMING PLAN	•										
S114B	THIRD FLOOR FRAMING PLAN- AREA A	•							•			
S114C/D	THIRD FLOOR FRAMING PLAN- AREA C/D	•				•						
S114E	THIRD FLOOR FRAMING PLAN- AREA E	•							•			
S115	FOURTH FLOOR FRAMING PLAN AREA R	•							_			
S115B S115C/D	FOURTH FLOOR FRAMING PLAN- AREA B FOURTH FLOOR FRAMING PLAN- AREA C/D	•							•			
S115E/D S115E	FOURTH FLOOR FRAMING PLAN- AREA E	•							•			
S116	ROOF FRAMING PLAN	•										
S116B	ROOF FRAMING PLAN- AREA B	•										•
S116C/D	ROOF FRAMING PLAN- AREA C/D	•										
S116E S117	ROOF FRAMING PLAN- AREA E SHEARWALL AND BEARING WALL TYPE PLAN	•										•
S117 S117B	SHEARWALL AND BEARING WALL TYPE PLAN - B	•										
S117C/D	SHEARWALL AND BEARING WALL TYPE PLAN - C/D	•										
S117E	SHEARWALL AND BEARING WALL TYPE PLAN - E	•										
S120	STAIR FRAMING PLANS	•										
S121 S122	STAIR FRAMING PLANS STAIR FRAMING PLANS	•										
S122 S200	FOUNDATION SECTIONS	•								•		
S200 S201	FOUNDATION SECTIONS	•				•				_		
S300	STEEL FRAMING SECTIONS	•				•						
S301	STEEL FRAMING SECTIONS	•					•			•		
S302 S303	STEEL FRAMING SECTIONS STEEL FRAMING SECTIONS	•					•			•		
5303 5304	STEEL FRAMING SECTIONS STEEL FRAMING SECTIONS	•				•						
3305	STEEL FRAMING SECTIONS	•				•						
S306	STEEL FRAMING SECTIONS	•				•						
S307	STEEL FRAMING SECTIONS	•								•		
S320	STEEL ROOF FRAMING SECTIONS	•										
S330 S331	WOOD FLOOR FRAMING SECTIONS WOOD FLOOR FRAMING SECTIONS	•										
S332	WOOD FLOOR FRAMING SECTIONS WOOD FLOOR FRAMING SECTIONS	•										
S333	WOOD FLOOR FRAMING SECTIONS	•										
S340	WOOD ROOF FRAMING SECTIONS	•										
6341	WOOD ROOF FRAMING SECTIONS	•										•
3342	WOOD ROOF FRAMING SECTIONS	•										١ ،

	MEP	SHELL PACKAGE 07.29.19	BUILDING PERMIT COMMENTS 9.6.19	FDP RESUBMITTAL 9.11.19	BUILDING PERMIT COMMENTS 9.12.19	STRUCTURAL REVISION 10.16.19	STRUCTURAL REVISION 2 11.7.19	REVISION 1 12.20.19	REVISION 2 1.24.20	REVISION 3 4.3.2020	REVISION 4 4.24.2020	
ME101	SITE PLAN - MECH/ELEC	•		•								
P101	PARTIAL GARAGE PLAN - BELOW-GRADE PLUMBING	•	•						•			-
P102	PARTIAL GARAGE PLAN - BELOW-GRADE PLUMBING	•	•							•		_
P103	PARTIAL GARAGE PLAN - PLUMBING	•	•					•	•	•	•	Ļ
P104	PARTIAL GARAGE PLAN - PLUMBING	•	•					•	•	•	•	+
P105	FIRST FLOOR PLAN AREA B - PLUMBING	•	•						•	•	•	+
P106	FIRST FLOOR PLAN AREAS C/D - PLUMBING	•	•					•	•	•	•	-
P107	FIRST FLOOR PLAN AREA E - PLUMBING	•	•							•	•	+
P108	SECOND FLOOR PLAN AREA B - PLUMBING	•										Ł
P109	SECOND FLOOR PLAN AREAS C/D - PLUMBING	•						•	•			\vdash
P110	SECOND FLOOR PLAN AREA E - PLUMBING	•										+
P111	FOURTH FLOOR PLAN AREA B - PLUMBING	•			-							\vdash
P112	FOURTH FLOOR PLAN AREAS C/D - PLUMBING	•						•	•			+
P113	FOURTH FLOOR PLAN AREA E PLUMBING	•										1
P114	PLUMBING RISERS				•							1
P115	PLUMBING RISERS				•							+
P116	PLUMBING RISERS				•							+
P201	TYPICAL UNIT PLANS - PLUMBING	•						•				+
P202	TYPICAL UNIT PLANS - PLUMBING	•						•		_		+
M101	PARTIAL GARAGE PLAN - HVAC	-						•	_	•		+
M102	PARTIAL GARAGE PLAN - HVAC	•						•	•	•		+
M103 M104	FIRST FLOOR PLAN AREA B - HVAC FIRST FLOOR PLAN AREAS C/D - HVAC	•						_		_		+
M104 M104a	PARTIAL FIRST FLOOR PLAN AREA C - HVAC	•						•		•	-	+
M104a M105	FIRST FLOOR PLAN AREA C - HVAC	•						•				+
M106	SECOND FLOOR PLAN AREA B - HVAC	•						_			-	+
M106	SECOND FLOOR PLAN AREAS C/D - HVAC	•										+
M108	SECOND FLOOR PLAN AREA E - HVAC	•										+
M109	FOURTH FLOOR PLAN AREA B - HVAC	•										+
M110	FOURTH FLOOR PLAN AREAS C/D - HVAC	•						•				+
M111	FOURTH FLOOR PLAN AREA E HVAC	•										+
M112	ROOF FLOOR PLAN AREA B - HVAC	•									 	+
M113	ROOF FLOOR PLAN AREA D - HVAC	•										+
M114	ROOF FLOOR PLAN AREA E - HVAC	•										+
M201	TYPICAL UNIT PLANS - HVAC	•										\dagger
M202	TYPICAL UNIT PLANS - HVAC	•						•				\dagger
MP101	MECHANICAL DETAILS	•										\mid
MP102	MECHANICAL DETAILS	•										\mid
MP103	MECHANICAL DETAILS	•										\mid
MP104	MECHANICAL SCHEDULES	•						•		•		\vdash
E001	SITE PHOTOMETRIC PLAN	•		•						•		T
E101	PARTIAL GARAGE PLAN - ELECTRICAL	•	•					•	•	•		\mid
E102	PARTIAL GARAGE PLAN - ELECTRICAL	•	•					•	•	•		\mid
E103	FIRST FLOOR PLAN AREA B - ELECTRICAL	•						•		•	•	\mid
E104	FIRST FLOOR PLAN AREAS C/D - ELECTRICAL	•						•		•	•	Γ
E104a	PARTIAL FIRST FLOOR PLAN AREA D - LIGHTING	•						•		•		
E104b	PARTIAL FIRST FLOOR PLAN AREA D - LIGHTING							•		•		
E105	FIRST FLOOR PLAN AREA E - ELECTRICAL	•	•					•		•	•	Г
E106	SECOND FLOOR PLAN AREA B - ELECTRICAL	•	•							•		$\prod_{i=1}^{n}$
E107	SECOND FLOOR PLAN AREAS C/D - ELECTRICAL	•	•							•		_
E108	SECOND FLOOR PLAN AREA E - ELECTRICAL	•	•							•		Ĺ
E109	FOURTH FLOOR PLAN AREA B - ELECTRICAL	•	•							•		Ĺ
E110	FOURTH FLOOR PLAN AREAS C/D - ELECTRICAL	•	•					•		•		L
E110a	PARTIAL FOURTH FLOOR PLAN - AREA C/D - LIGHTING							•		•		1
E111	FOURTH FLOOR PLAN AREA E ELECTRICAL	•	•							•		\perp
E112	ROOF FLOOR PLAN AREA B - ELECTRICAL	•	•									1
E113	ROOF FLOOR PLAN AREA D - ELECTRICAL	•	•							•		1
E114	ROOF FLOOR PLAN AREA E - ELECTRICAL	•	•									1
E201	TYPICAL UNIT PLANS - ELECTRICAL	•	•					•		•		+
E202	TYPICAL UNIT PLANS - ELECTRICAL	•	•					•		•		+
E203	TYPICAL UNIT PLANS - ELECTRICAL	•	•					•		•		+
E301	ELECTRICAL DETAILS	•	_								-	+
E302 E303	ELECTRICAL DETAILS ELECTRICAL DETAILS	•	•									+
E303 E304	ELECTRICAL DISTRIBUTION RISER DIAGRAM	•	_							_		+
E304 E305	ELECTRICAL DISTRIBUTION RISER DIAGRAM ELECTRICAL SCHEDULES	•	+							•	-	+
E305 E306	ELECTRICAL SCHEDULES ELECTRICAL SCHEDULES	-						•		•		+
E307	ELECTRICAL SCHEDULES ELECTRICAL SCHEDULES	•	-					•		•		+
T101	GARAGE PLAN TELECOM							_				+
T102	FIRST FLOOR PLAN - TELECOM	-										+
T102	SECOND FLOOR - TELECOM	•										+
	FOURTH FLOOR - TELECOM	•			-						_	+
T104	EL		1	1	1	l	I	I	1	1	I .	1



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JRE CIVIL ENGINEER

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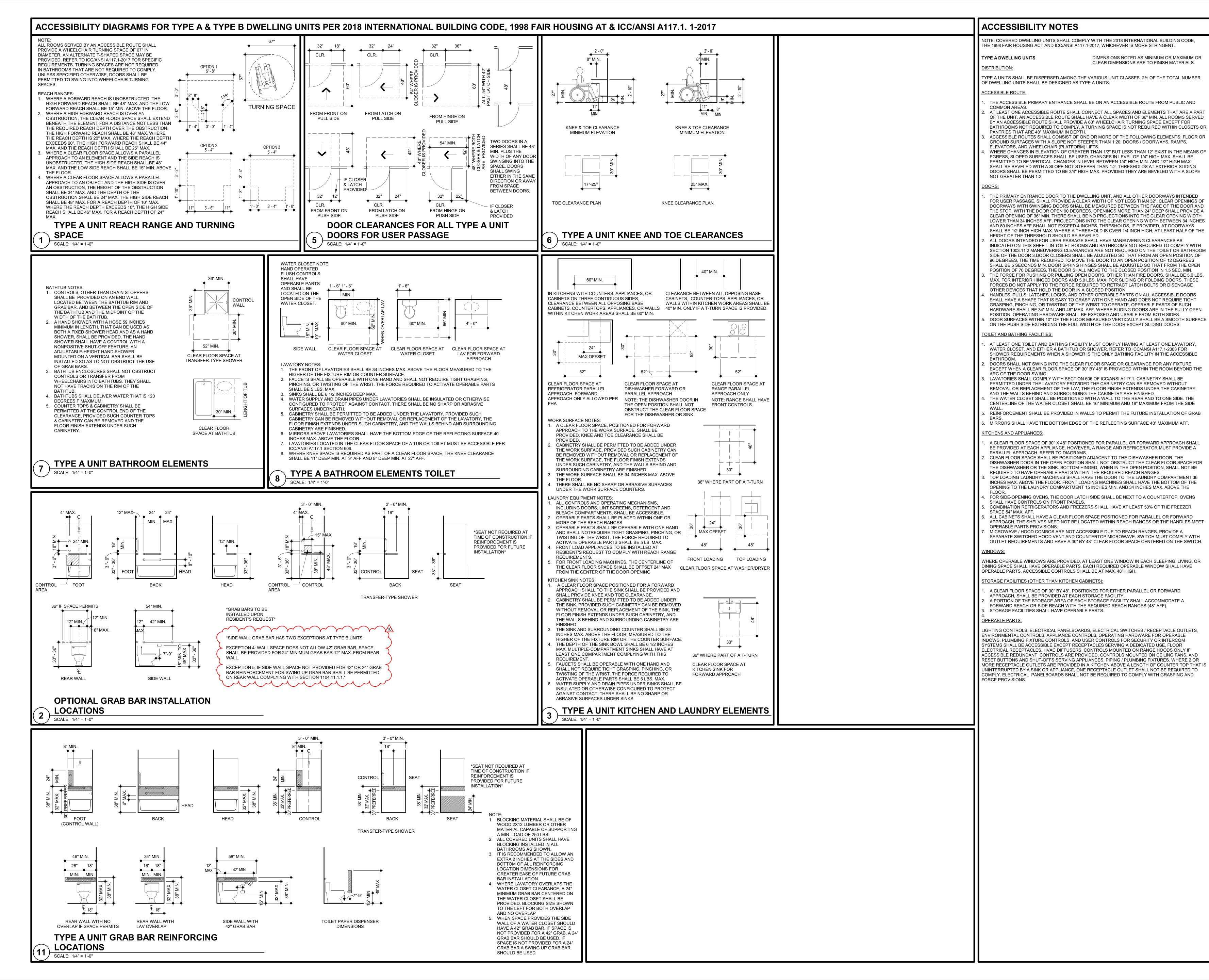
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	SHELL PACKAGE	7.29.19
1	BUILDING PERMIT COMMENTS	9.6.19
2	FDP RESUBMITTAL	9.11.19
3	BUILDING PERMIT COMMENTS 2	9.12.19
4	STRUCTURAL REVISION	10.16.19
5	STRUCTURAL REVISION 2	11.7.19
6	REVISION 1	12.20.19
7	REVISION 2	1.24.20
8	REVISION 3	4.3.2020
9	REVISION 4	4.24.2020
10	REVISION 5	7.2.2020

TR,i PROJECT NO.

SHEET NO.

A001

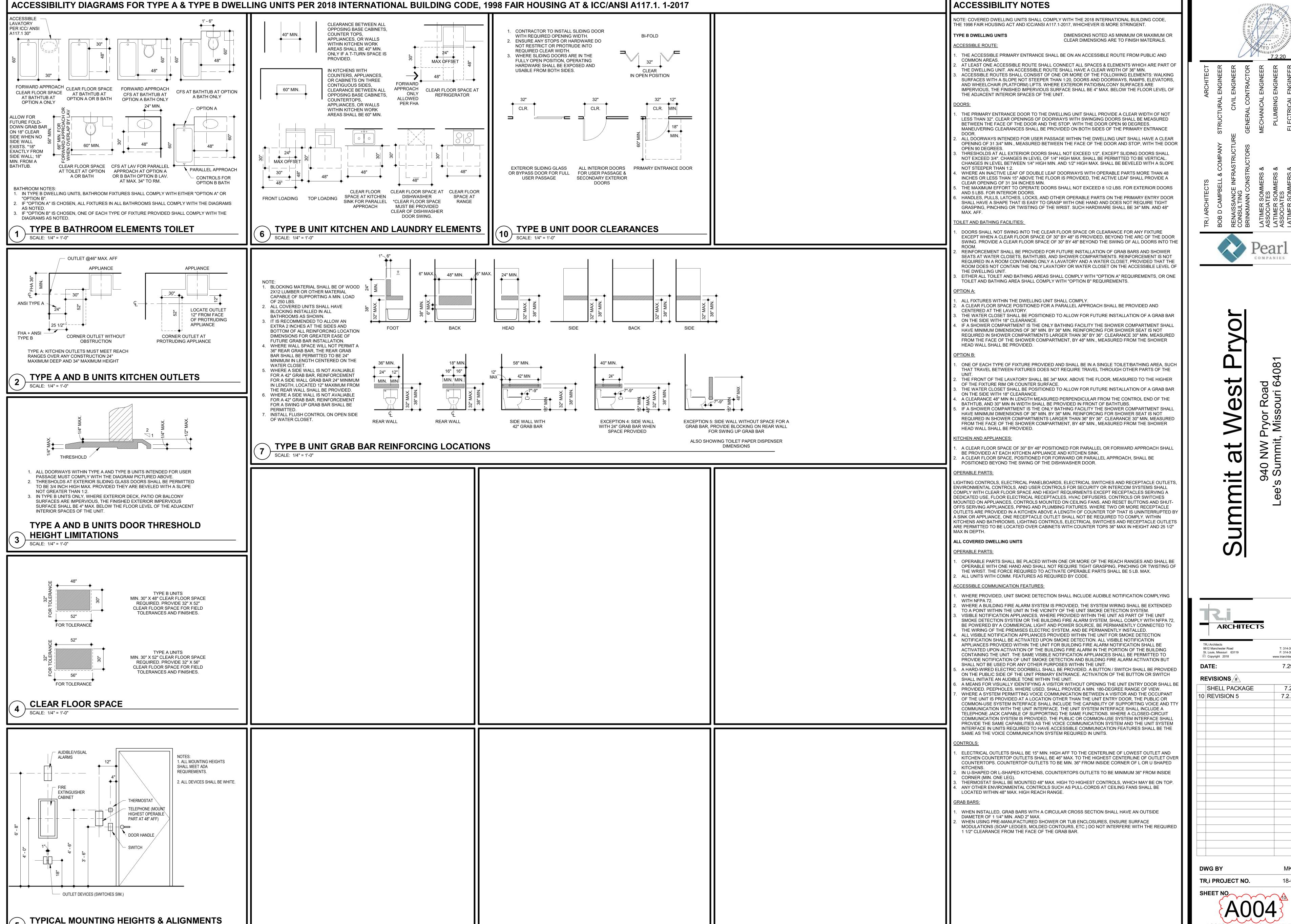




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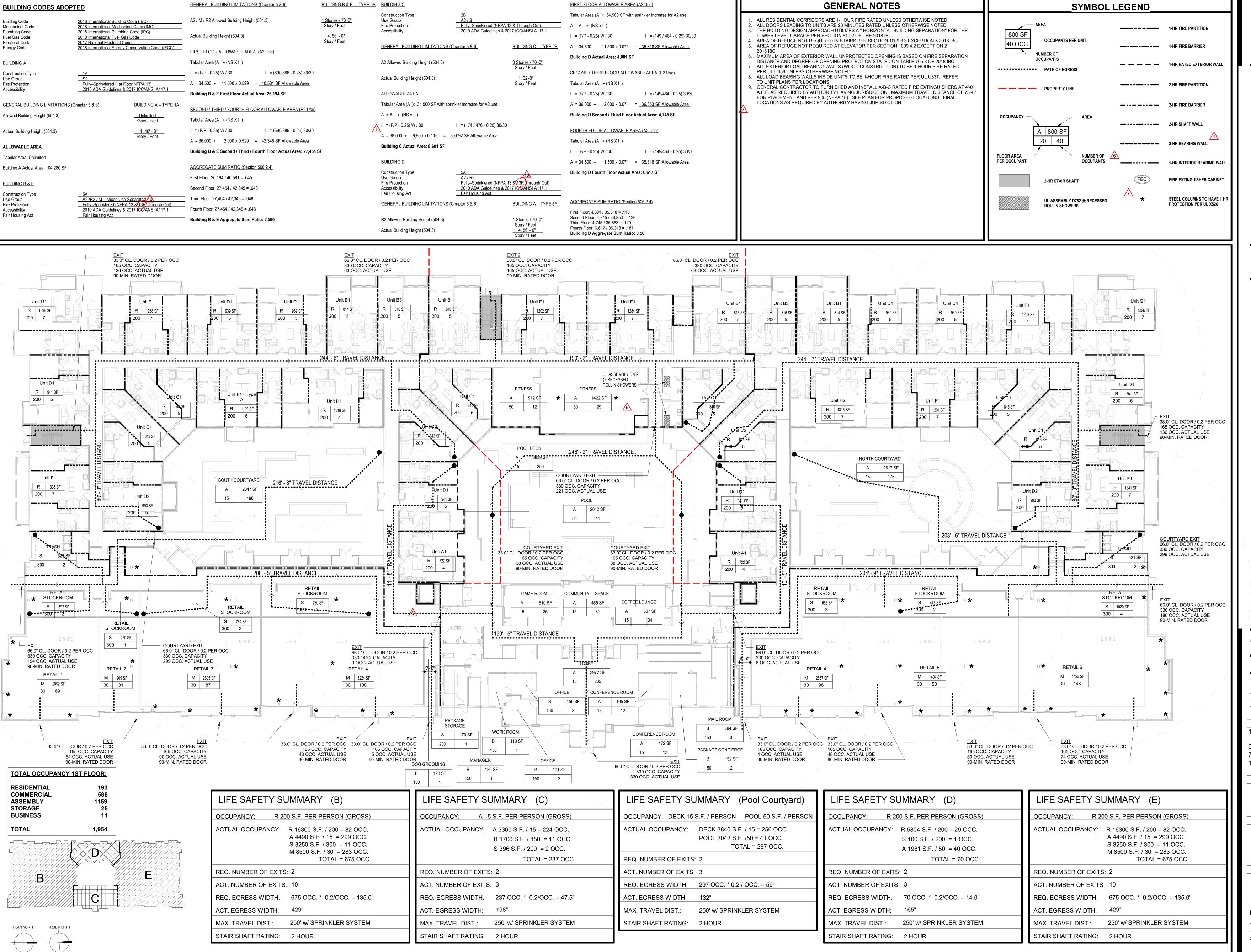
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SCALE: 3/8" = 1'-0"

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LIFE SAFETY PLAN - FIRST FLOOR

SCALE: 1/16" = 1'-0"

ACHARD A

BERTINO A

BUILDING

T 2 20

UCTURE CIVIL ENGINEER

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 1 BUILDING PERMIT COMMENTS
 9.6.19

 6 REVISION 1
 12.20.19

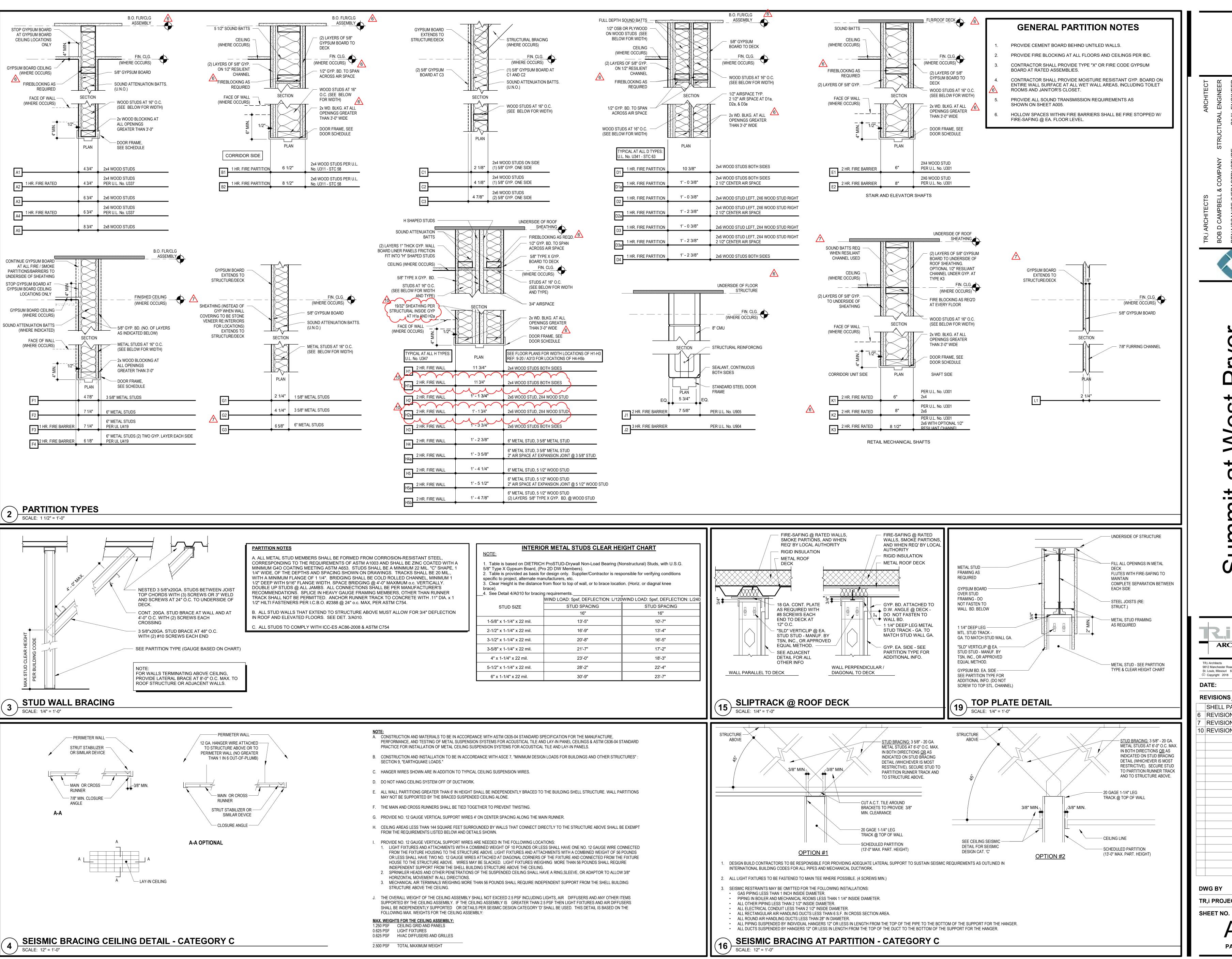
 7 REVISION 2
 1.24.20

 10 REVISION 5
 7.2.2020

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TR,i PROJECT NO. 18
SHEET NO.

A007
LIFE SAFETY PLAN - FIRST FLOOR



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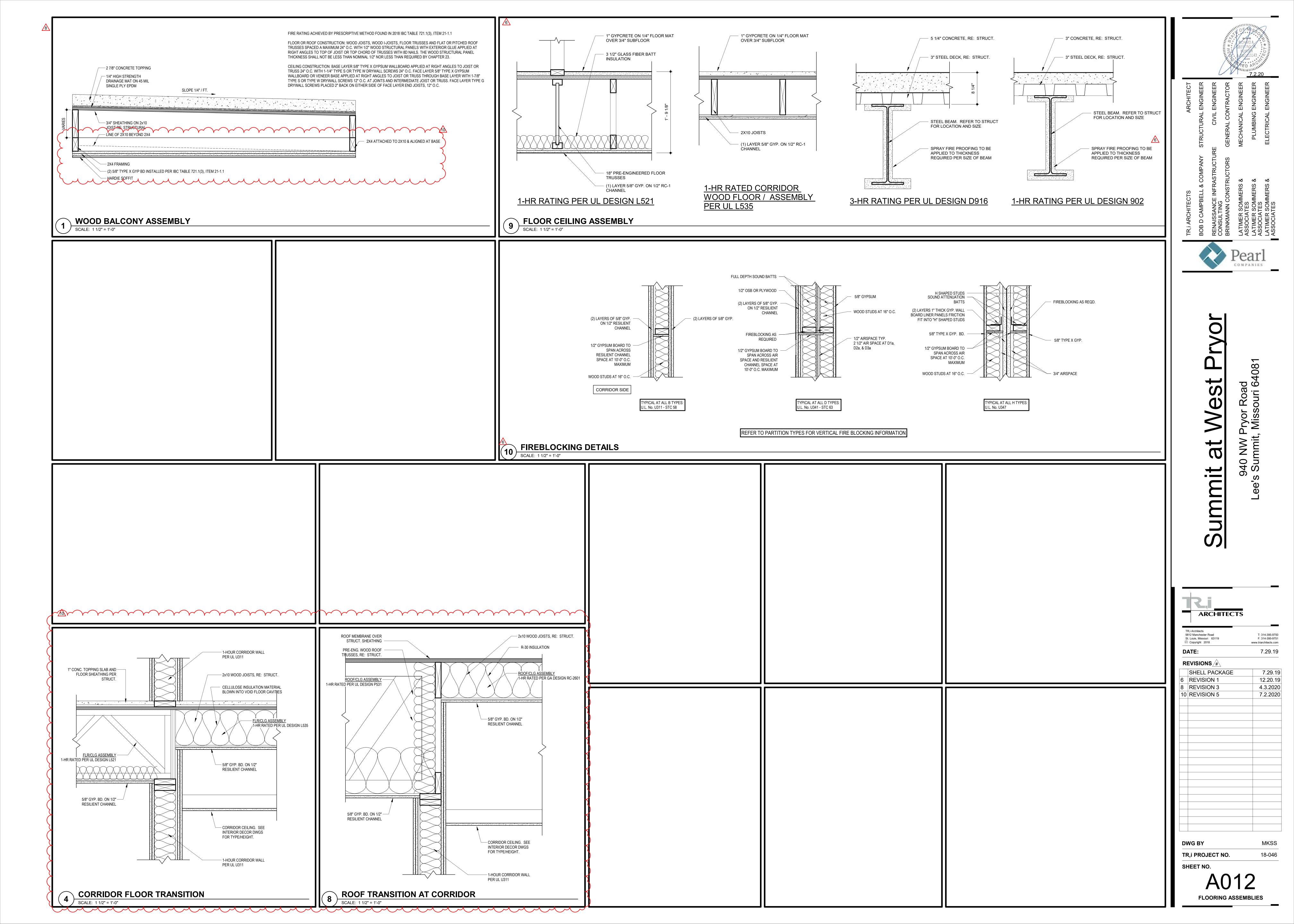
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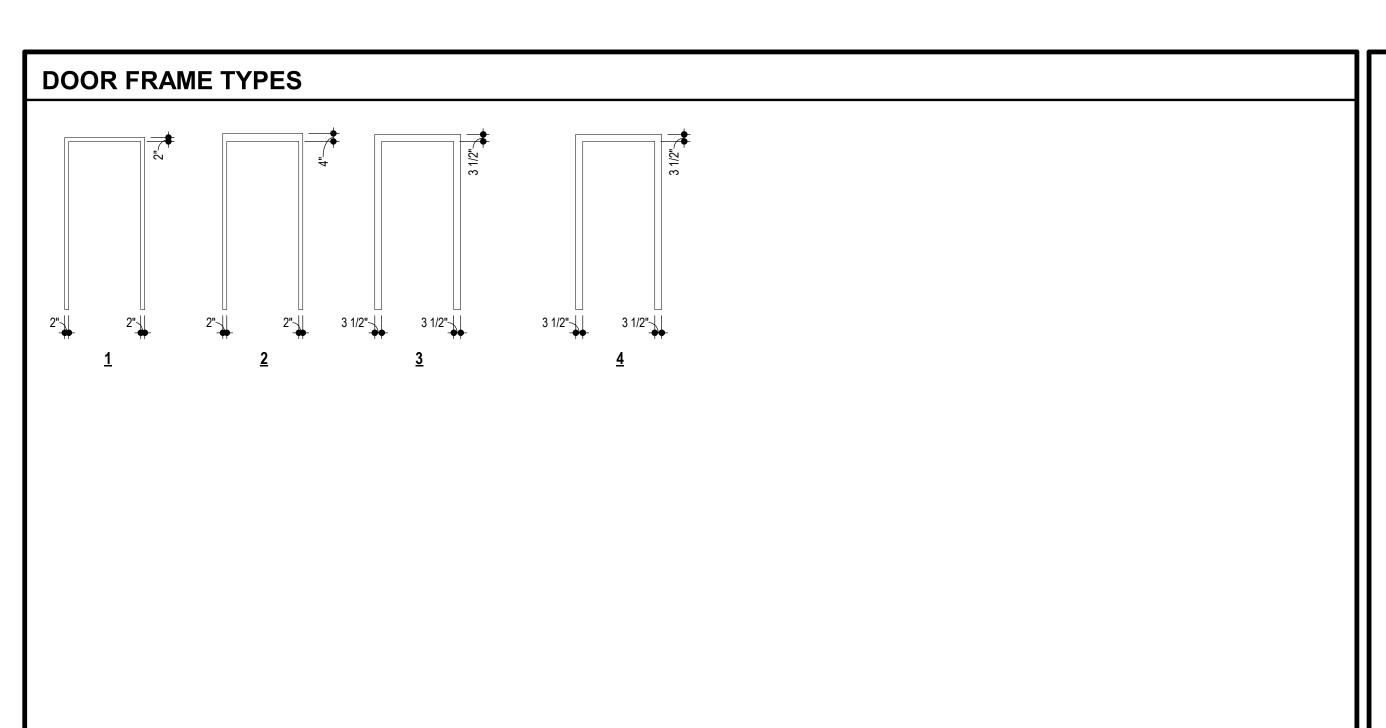
SHELL PACKAGE 7.29.19
6 REVISION 1 12.20.19
7 REVISION 2 1.24.20
10 REVISION 5 7.2.2020

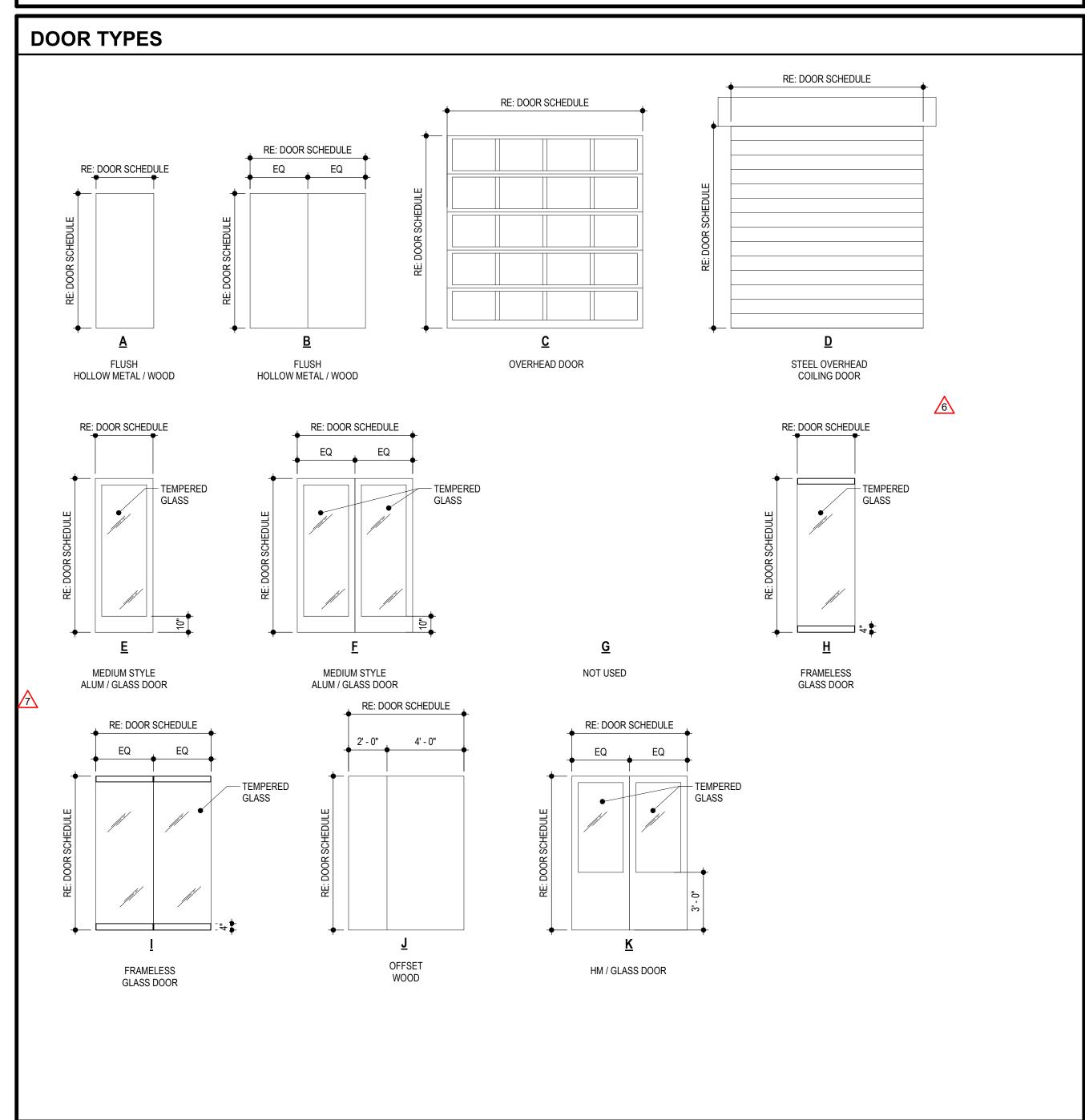
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A011







DOOR SCHEDULE REMARKS

- 1. (1) 3'-0" AND (1) 2'-4" DOOR.
- 2. CREATE CORRIDOR ALCOVE. RE: 4/A031
- 3. CREATE DOOR ALCOVE. RE: 8/A031
- 4. DOOR TO HAVE ACCESS CONTROL, G.C. TO COORD. W/ OWNER'S VENDOR.
- 5. DOOR TO BE SMOKE AND DRAFT CONTROL RATED.

	DOOR SCHEDULE GARAGE																
					DOORS			FRAMES									
).	TYPE	MAT'L.	WIDTH	HEIGHT	HRDWRE SET	LABEL	REMARKS	TYPE	MAT'L.	HEAD	JAMBS	SILL	LABE				
ΙΑ	Е	AL/GL	3' - 0"	7' - 0"	A3	-	-	-	AL	MANF	MANF	3/A031	-				
BA	Α	HM	3' - 0"	7' - 0"	E2	-	-	2	HM	1/A031	2/A031	3/A031	-				
BB	D	STL	24' - 0"	8' - 8"	G1	-	4	-	STL	18/A030	19/A030	16/A030	-				
3C	D	STL	24' - 0"	8' - 0"	G1	-	4	-	STL	18/A030	19/A030	16/A030	-				
BD	Α	HM	3' - 0"	7' - 0"	E2	-	-	2	HM	1/A031	2/A031	3/A031	-				
ŀΑ	Α	HM	3' - 0"	7' - 0"	E2	-	-	2	HM	1/A031 SIM	2/A031	3/A031	-				
δA	Α	HM	3' - 0"	7' - 0"	E2	-	-	2	HM	1/A031 SIM	2/A031	3/A031	-				
βA	Α	HM	3' - 0"	7' - 0"	E2	-	-	2	HM	1/A031 SIM	2/A031	3/A031	-				
⁄Α	Α	HM	3' - 0"	7' - 0"	D1	90 MIN	5	2	HM	1/A031 SIM	2/A031	3/A031	90 MIN				
BA	Α	HM	3' - 0"	7' - 0"	D1	90 MIN	5	2	HM	1/A031 SIM	2/A031	3/A031	90 MIN				
0	K	HM	6' - 0"	7' - 0"	I2a	-	4	2	HM	6/A031	6/A031	-	-				
1	Α	HM	3' - 0"	7' - 0"	F2	-	-	2	HM	6/A031	6/A031	-	-				
2	Α	HM	3' - 0"	7' - 0"	F2	-	-	2	HM	6/A031	6/A031	-	-				
8A	Α	HM	3' - 0"	7' - 0"	D1	90 MIN	5	2	HM	1/A031 SIM	2/A031	3/A031	90 MII				
4	Α	HM	3' - 0"	7' - 0"	F2	-	-	2	HM	6/A031	6/A031	-	-				
Ά	Е	AL/GL	3' - 0"	7' - 0"	A3	-	-	-	AL	MANF	MANF	3/A031	-				
)A	В	HM	6' - 0"	7' - 0"	E1b	-	-	2	НМ	1/A031 SIM	2/A031	3/A031	_				

						DOORS	DOOR	SCHEDULE FIRST FLOOF	₹		FD	AMES								DOOF
	NO.	TYPE	MAT'L.	WIDTH	HEIGHT	HRDWRE SE	N LΔRFI	REMARKS	TYPE	МДТ'І	HEAD	JAMBS	SILL /	LABEL	NO.		MAT'L.	WIDTH	HEIGHT	HRDWRE
	101A	В	WD	6' - 0"	7' - 0"	H2a Z	90 MIN		1	HM	6/A031	6/A031	-	90 MIN	301A 304A	B A	WD WD	6' - 0" 3' - 0"	7' - 0" 7' - 0"	F2a F2a
	103A 103B	E B	AL/GL HM	3' - 0" 6' - 0"	7' - 0" 7' - 0"	E2 E1	-	-	- 2	AL HM	MANF 10/A030	MANF 11/A030	3/A031 3/A031	-	306A	A	WD	3' - 0"	7' - 0"	L1
	105A	В	НМ	6' - 0"	7' - 0"	H5	-	-	1	НМ	5/A030	5/A030	3/A031	-	306B 307A	A	WD WD	3' - 0" 3' - 0"	7' - 0" 7' - 0"	F5 14
	105B 106A	B A	WD WD	6' - 0" 3' - 0"	7' - 0" 7' - 0"	D3 L1	60 MIN 45 MIN		1 -	HM HM	6/A031 6/A031	6/A031 6/A031	-	60 MIN 45 MIN	308A 310A	A	WD WD	3' - 0" 3' - 0"	7' - 0" 7' - 0"	F2a F2a
	107A	Α	WD	3' - 0"	7' - 0"	14	90 MIN	4, 5	1	НМ	6/A031	6/A031	-	90 MIN	312A	A J	WD	5' - 4"	7' - 0"	H2
	107B 108A	B A	HM WD	6' - 0" 3' - 0"	7' - 0" 7' - 0"	I5 F2a	20 MIN	5	1	HM HM	9/A030 6/A031	9/A030 6/A031	3/A031 -	20 MIN	312B 313A	J A	WD WD	5' - 4" 3' - 0"	7' - 0" 7' - 0"	H2
	110A	A	WD	3' - 0"	7' - 0"	F2a	20 MIN	5 6	1	HM	6/A031	6/A031	-	20 MIN	320A	A	WD	3' - 0"	7' - 0"	F2a
	111A 112A	E J	AL/GL WD	3' - 0" 5' - 4"	7' - 0" 6 7' - 0"	A14 H2a	90 MIN	1, 2, 5	1	AL HM	MANF 6/A031	MANF 6/A031	3/A031 -	90 MIN	321A 323A	A	WD WD	3' - 0" 3' - 0"	7' - 0" 7' - 0"	F2a
	112B 112C	J A	WD HM	5' - 4" 3' - 0"	7' - 0" 7' - 0"	H2a F2a	90 MIN 20 MIN		1 1	HM HM	6/A031 6/A031	6/A031 6/A031	-	90 MIN 20 MIN	324A	A	WD	3' - 0"	7' - 0"	L1
	113A	A	WD	3' - 0"	7' - 0"	14	90 MIN		1	HM	6/A031	6/A031	-	90 MIN	324B 325A	A	WD WD	3' - 0" 3' - 0"	7' - 0" 7' - 0"	F5 F2a
	113B 118B	B F	HM AL/GL	6' - 0" 6' - 0"	7' - 0" 7' - 0"	I5 A11	-	4	2	HM AL	5/A030 MANF	5/A030 MANF	3/A031 3/A031	-	327A	В	WD	6' - 0"	7' - 0"	F2a
	120A	A	WD	3' - 0"	7' - 0"	F2a	20 MIN		1	НМ	6/A031	6/A031	-	20 MIN						
	121A 122A	A B	WD HM	3' - 0" 6' - 0"	7' - 0" 7' - 0"	F2a H5	20 MIN	5	1	HM HM	6/A031 5/A030	6/A031 5/A030	- 3/A031	20 MIN						DOOF
	122B	В	WD	6' - 0"	7' - 0"	D3	60 MIN		1	НМ	6/A031	6/A031	-	60 MIN	NO.	TVDE	244711	MOTIL	LIFIGUE	
	123A 123B	A B	WD HM	3' - 0" 6' - 0"	7' - 0" 7' - 0"	15	90 MIN -	4, 5	1 2	HM HM	6/A031 9/A030	6/A031 9/A030	3/A031	90 MIN -	NO. 404A	A	MAT'L. WD	WIDTH 3' - 0"	HEIGHT 7' - 0"	HRDWRE F2a
	124A	Α	WD	3' - 0"	7' - 0"	L1	45 MIN	5	1	НМ	6/A031	6/A031	-	45 MIN	406A	A	WD	3' - 0"	7' - 0"	L1
	126A 126B	E B	AL/GL HM	3' - 0" 6' - 0"	7' - 0" 7' - 0"	E2 E1	-	-	2	AL HM	MANF 10/A030	MANF 11/A030	3/A031 3/A031	-	406B 407A	A	WD WD	3' - 0" 3' - 0"	7' - 0" 7' - 0"	F5 I4
	127A	B F	WD	6' - 0"	7' - 0"	H2a A14	90 MIN	3, 5	1	HM	6/A031	6/A031	- 2/4024	90 MIN	408A 410A	A	WD WD	3' - 0" 3' - 0"	7' - 0" 7' - 0"	F2a F2a
	129A 130A	В	AL/GL HM	3' - 0" 6' - 0"	7' - 0" 6 7' - 0"	F1	-	-	1	AL HM	MANF 17/A030	MANF 17/A030	3/A031 3/A031	-	412A	J	WD	5' - 4"	7' - 0"	H2
6	131A	A	HM WD	3' - 0" 3' - 0"	7' - 0" 7' - 0"	F1 F2a	- 20 MIN	-	1 1	HM HM	5/A030 6/A031	5/A030 6/A031	3/A031	- 20 MIN	412B 413A	J A	WD WD	5' - 4" 3' - 0"	7' - 0" 7' - 0"	H2
	132A 133A	A A	HM	3' - 0"	7' - 0"	F2	90 MIN	-	1	HM	6/A031	6/A031	-	90 MIN	414A	E	AL/GL	2' - 9"	7' - 0"	A14
	133B 134A	D H	STL AL/GL	10' - 0" 3' - 0"	10' - 6" 7' - 0"	- A16	-	-	-	STL AL	14/A030 MANF	15/A030 MANF	16/A030 11/A031	-	415A 416A	A	WD WD	3' - 0" 3' - 0"	7' - 0" 7' - 0"	M1a M1a
6	135A		AL/GL AL/GL	6' - 4"	7' - 0"	A15	-	-	-	AL 4	8 MANF	MANF	11/A031	-	417A	В	WD	6' - 0"	7' - 0"	D3
	135B 137A	A F	WD AL/GL	3' - 0" 6' - 0"	7' - 0" 7' - 0"	F2 A18	45 MIN	4	2	HM AL	6/A031 MANF	6/A031 MANF	3/A031 3/A031	45 MIN	417B 417C	A F	WD AL/GL	3' - 0" 6' - 0"	7' - 0" 7' - 0"	D4 A7
	137B	В	WD	6' - 0"	7' - 0"	H2a	45 MIN	·	1	НМ	6/A031	6/A031	-	45 MIN	420A	Α	WD	3' - 0"	7' - 0"	F2a
	138 139	A A	WD WD	3' - 0" 3' - 0"	7' - 0" 7' - 0"	M1 M1	-	-	1	HM HM	6/A031 6/A031	6/A031 6/A031	-	-	421A 423A	A	WD WD	3' - 0" 3' - 0"	7' - 0" 7' - 0"	F2a
	141A	Α	НМ	3' - 0"	7' - 0"	F2	90 MIN	-	1	НМ	6/A031	6/A031	-	90 MIN	424A	А	WD	3' - 0"	7' - 0"	L1
	141B 142A	D A	STL WD	10' - 0" 3' - 0"	10' - 6" 7' - 0"	- F2a	20 MIN	5	1	STL HM	14/A030 6/A031	15/A030 6/A031	16/A030 -	- 20 MIN	424B 425A	A	WD WD	3' - 0" 3' - 0"	7' - 0" 7' - 0"	F5 F2a
	143A	Α	НМ	3' - 0"	7' - 0"	F1	-	-	1	HM	5/A030	5/A030	3/A031	-				1	1	
	144A 159A	B E	HM AL/GL	6' - 0" 3' - 0"	7' - 0" 7' - 0"	F1 A8	-	-	1 -	HM AL	17/A030 MANF	17/A030 MANF	3/A031 3/A031	-						
	159B	A	WD	3' - 6"	7' - 0"	E3	-	-	1	HM	6/A031	6/A031	- 2/4024	-						
	160A 160B	E E	AL/GL AL/GL	3' - 0" 3' - 0"	7' - 0" 7' - 0"	A8 A8	-	-	-	AL AL	MANF MANF	MANF MANF	3/A031 3/A031	-						
	160C 161A	A E	WD AL/GL	3' - 6" 3' - 0"	7' - 0" 7' - 0"	E3 A8	-	-	1 -	HM AL	6/A031 MANF	6/A031 MANF	- 3/A031	-						
	161B	A	WD	3' - 6"	7' - 0"	E3	-	-	1	HM	6/A031	6/A031	-	-						
	162B 162C	E A	AL/GL WD	3' - 0" 3' - 6"	7' - 0" 7' - 0"	A8 E3	-	-	- 1	AL HM	MANF 6/A031	MANF 6/A031	3/A031	-						
6	163A	F	AL/GL	6' - 0"	8' - 0"	A12	-	-	-	AL	MANF	MANF	3/A031	-						
	163B 163C	F E	AL/GL AL/GL	6' - 0" 3' - 0"	7' - 11" 7' - 0"	A11 A14a	-	4	-	AL AL	MANF MANF	MANF MANF	3/A031 3/A031	-						
	163D	E	AL/GL	3' - 0"	7' - 0"	A14a	-	4	-	AL	MANF	MANF	3/A031	-						
	164 164A	H A	AL/GL WD	3' - 2" 3' - 0"	7' - 11" 7' - 0"	G2 I2	-	-	1	AL HM	MANF 6/A031	MANF 6/A031	11/A031 3/A031	-						
<u>6</u>	165	Н	AL/GL	3' - 2"	7' - 11"	G2	-	-	-	AL	MANF	MANF	11/A031	-						
	165A 167	A H	WD AL/GL	3' - 0" 3' - 2"	7' - 0" 7' - 11"	I2 G2	-	-	-	HM AL	6/A031 MANF	6/A031 MANF	3/A031 11/A031	-						
	168	A	WD	3' - 0" 3' - 0"	7' - 0" 7' - 0"	I2a	-	-	1	HM	6/A031 MANF	6/A031 MANF	3/A031 3/A031	-						
	168A 168B	E A	AL/GL WD	3' - 0"	7 - 0"	A8 F7	-	-	1	AL HM	6/A031	6/A031	3/A031	-						
	169 170	H A	AL/GL WD	3' - 0" 3' - 0"	7' - 0" 7' - 0"	G2 F7	-	-	- 1	AL HM	MANF 6/A031	MANF 6/A031	11/A031 3/A031	-						
	171A	Α	WD	3' - 0"	7' - 0"	M1	-	-	1	НМ	6/A031	6/A031	3/A031	-						
6	171B 172A	A B	WD HM	3' - 0" 6' - 0"	7' - 0" 7' - 0"	M1 F1	-	-	1	HM HM	6/A031 1/A030	6/A031 1/A030	3/A031 3/A031	-						
	174A	F	AL/GL	6' - 0"	7' - 0"	A17	-	4	-	AL	MANF	MANF	3/A031	-						
$ \cdot $	175A 175B	C	AL/GL AL/GL	10' - 0" 10' - 0"	10' - 0" 10' - 0"	-	-	-	-	AL AL	-	-	16/A030 16/A030	-						
6	176A	Α	НМ	3' - 0"	7' - 0"	F1	-	-	1	HM	1/A030	1/A030	3/A031	-						
	176B 177A	A A	WD WD	3' - 0" 3' - 0"	7' - 0" 7' - 0"	J1 M1	-	-	1 1	HM HM	6/A031 6/A031	6/A031 6/A031	3/A031	-						
	177B	A	WD	3' - 0"	7' - 0"	M1	-	-	1	HM	6/A031	6/A031	3/A031	-						
	177C 178A	A E	WD AL/GL	3' - 0" 3' - 0"	7' - 0" 7' - 0"	F7 A8	-	-	1 -	HM AL	6/A031 MANF	6/A031 MANF	3/A031 3/A031	-						
	180 181	H H	AL/GL AL/GL	3' - 2" 3' - 2"	7' - 11" 7' - 11"	G2	-	-	-	AL	MANF	MANF MANF	11/A031	-						
	182A	E	AL/GL AL/GL	3' - 0"	7' - 11	G2 A8	-	-	-	AL AL	MANF MANF	MANF	11/A031 3/A031	-						
	182B 182C	E A	AL/GL WD	3' - 0" 3' - 6"	7' - 0" 7' - 0"	A8 E3	-	-	- 1	AL HM	MANF 6/A031	MANF 6/A031	3/A031	-						
	183A	A E	AL/GL	3' - 0"	7' - 0"	A8	-	-	-	AL	MANF	MANF	3/A031	-						
	183B 184B	A E	WD AL/GL	3' - 6" 3' - 0"	7' - 0" 7' - 0"	E3 A8	-	-	1 -	HM AL	6/A031 MANF	6/A031 MANF	- 3/A031	-						
	184C	Α	WD	3' - 6"	7' - 0"	E3	-	-	1	НМ	6/A031	6/A031	-	-						
	189A 189B	E A	AL/GL WD	3' - 0" 3' - 6"	7' - 0" 7' - 0"	A8 E3	-	-	- 1	AL HM	MANF 6/A031	MANF 6/A031	3/A031 -	-						
	190A	В	НМ	6' - 0"	7' - 0"	F1	-	-	2	HM	9/A030	9/A030	3/A031	-						
	191A 192A	B B	HM HM	6' - 0" 6' - 0"	7' - 0" 7' - 0"	F1 F1	-	-	2 2	HM HM	5/A030 5/A030	5/A030 5/A030	3/A031 3/A031	-						
	193A	В	НМ	6' - 0"	7' - 0"	F1	-	-	2	НМ	5/A030	5/A030	3/A031	-						
1	194A 195A	B B	HM HM	6' - 0" 6' - 0"	7' - 0" 7' - 0"	F1 F1	-	-	2 2	HM HM	5/A030 9/A030	5/A030 9/A030	3/A031 3/A031	-						
	1	_			. •	1	1	ı			J., 1000		3 1001							

					DOORS	^		FRAMES					
NO.	TYPE	MAT'L.	WIDTH	HEIGHT	HRDWRE SET	LABEL	REMARKS	TYPE	MAT'L.	HEAD	JAMBS	SILL	LAE
204A	Α	WD	3' - 0"	7' - 0"	F2a	20 MIN	5	1	HM	6/A031	6/A031	-	20
206A	Α	WD	3' - 0"	7' - 0"	L1	45 MIN	5	1	HM	6/A031	6/A031	-	45
206B	Α	WD	3' - 0"	7' - 0"	F5	45 MIN	-	1	HM	6/A031	6/A031	-	45
207A	Α	WD	3' - 0"	7' - 0"	14	90 MIN	4, 5	1	HM	6/A031	6/A031	-	90
208A	Α	WD	3' - 0"	7' - 0"	F2a	20 MIN	5	1	HM	6/A031	6/A031	-	20
210A	Α	WD	3' - 0"	7' - 0"	F2a	20 MIN	5	1	HM	6/A031	6/A031	-	20
212A	J	WD	5' - 4"	7' - 0"	H2a	90 MIN	1, 2, 5	1	HM	6/A031	6/A031	-	90
212B	J	WD	5' - 4"	7' - 0"	H2a	90 MIN	1, 2, 5	1	HM	6/A031	6/A031	-	90
213A	Α	WD	3' - 0"	7' - 0"	14	90 MIN	4, 5	1	HM	6/A031	6/A031	-	90
220A	Α	WD	3' - 0"	7' - 0"	F2a	20 MIN	5	1	HM	6/A031	6/A031	-	20
221A	Α	WD	3' - 0"	7' - 0"	F2a	20 MIN	5	1	HM	6/A031	6/A031	-	20
223A	Α	WD	3' - 0"	7' - 0"	14	90 MIN	4, 5	1	HM	6/A031	6/A031	-	90
224A	Α	WD	3' - 0"	7' - 0"	L1	45 MIN	5	1	HM	6/A031	6/A031	-	45
224B	Α	WD	3' - 0"	7' - 0"	F5	45 MIN	-	1	HM	6/A031	6/A031	-	45
225A	Α	WD	3' - 0"	7' - 0"	F2a	20 MIN	5	1	HM	6/A031	6/A031	-	20

				DOORS				FRAMES							
NO.	TYPE MAT	L. WIDTH	HEIGHT	HRDWRE SET	LABEL	REMARKS	TYPE	MAT'L.	HEAD	JAMBS	SILL	LABEL			
301A	B WI	6' - 0"	7' - 0"	F2a	20 MIN	5	1	HM	6/A031	6/A031	-	20 MIN			
304A	A W	3' - 0"	7' - 0"	F2a	20 MIN	5	1	HM	6/A031	6/A031	-	20 MIN			
306A	A W	3' - 0"	7' - 0"	L1	45 MIN	5	1	HM	6/A031	6/A031	-	45 MIN			
306B	A WI	3' - 0"	7' - 0"	F5	45 MIN	-	1	HM	6/A031	6/A031	-	45 MIN			
307A	A WI	3' - 0"	7' - 0"	14	90 MIN	4, 5	1	HM	6/A031	6/A031	-	90 MIN			
308A	A WI	3' - 0"	7' - 0"	F2a	20 MIN	5	1	HM	6/A031	6/A031	-	20 MIN			
310A	A W	3' - 0"	7' - 0"	F2a	20 MIN	5	1	HM	6/A031	6/A031	-	20 MIN			
312A	J WI	5' - 4"	7' - 0"	H2	90 MIN	1, 2	1	HM	6/A031	6/A031	-	90 MIN			
312B	J WI	5' - 4"	7' - 0"	H2	90 MIN	1, 2	1	HM	6/A031	6/A031	-	90 MIN			
313A	A W	3' - 0"	7' - 0"	14	90 MIN	4, 5	1	HM	6/A031	6/A031	-	90 MIN			
320A	A W	3' - 0"	7' - 0"	F2a	20 MIN	5	1	HM	6/A031	6/A031	-	20 MIN			
321A	A W	3' - 0"	7' - 0"	F2a	20 MIN	5	1	HM	6/A031	6/A031	-	20 MIN			
323A	A W	3' - 0"	6 7' - 0"	14	90 MIN	4, 5	1	HM	6/A031	6/A031	-	90 MIN			
324A	A W	3' - 0"	7' - 0"	L1	45 MIN	5	1	HM	6/A031	6/A031	-	45 MIN			
324B	A W	3' - 0"	7' - 0"	F5	45 MIN	-	1	HM	6/A031	6/A031	-	45 MIN			
325A	A W	3' - 0"	7' - 0"	F2a	20 MIN	5	1	HM	6/A031	6/A031	-	20 MIN			
327A	B W	6' - 0"	7' - 0"	F2a	20 MIN	5	1	HM	6/A031	6/A031	-	20 MIN			
				DOORS	OOR	SCHEDULE FOURTH FLOO	R		FR	AMES					
NO.	TYPE MAT		HEIGHT	HRDWRE SET	LABEL	REMARKS	TYPE		HEAD	JAMBS	SILL	LABEL			
												_			
404A	A W		7' - 0"	F2a	20 MIN		1	HM	6/A031	6/A031	-	20 MIN			
406A	A W	3' - 0"	7' - 0"	L1	45 MIN		1	HM	6/A031	6/A031	-	45 MIN			
406A 406B	A WI	3' - 0" 3' - 0"	7' - 0" 7' - 0"	L1 F5	45 MIN 45 MIN	5 -	1	HM HM	6/A031 6/A031	6/A031 6/A031	- - -	45 MIN 45 MIN			
406A 406B 407A	A WI A WI A WI	3' - 0" 3' - 0" 3' - 0"	7' - 0" 7' - 0" 7' - 0"	L1 F5 I4	45 MIN 45 MIN 90 MIN	5 - 4, 5	1 1	HM HM HM	6/A031 6/A031 6/A031	6/A031 6/A031 6/A031	- - -	45 MIN 45 MIN 90 MIN			
406A 406B 407A 408A	A WI A WI A WI	3' - 0" 3' - 0" 3' - 0" 3' - 0"	7' - 0" 7' - 0" 7' - 0" 7' - 0"	L1 F5 I4 F2a	45 MIN 45 MIN 90 MIN 20 MIN	5 - 4, 5 5	1	HM HM HM	6/A031 6/A031 6/A031 6/A031	6/A031 6/A031 6/A031 6/A031	- - - -	45 MIN 45 MIN 90 MIN 20 MIN			
406A 406B 407A 408A 410A	A WI A WI A WI A WI	3' - 0" 3' - 0" 3' - 0" 3' - 0"	7' - 0" 7' - 0" 7' - 0" 7' - 0" 7' - 0"	L1 F5 I4 F2a F2a	45 MIN 45 MIN 90 MIN 20 MIN 20 MIN	5 - 4, 5 5 5	1 1	HM HM HM HM	6/A031 6/A031 6/A031 6/A031 6/A031	6/A031 6/A031 6/A031 6/A031 6/A031	- - - - -	45 MIN 45 MIN 90 MIN 20 MIN 20 MIN			
406A 406B 407A 408A 410A 412A	A WI A WI A WI J WI	3' - 0" 3' - 0" 3' - 0" 3' - 0" 3' - 0" 5' - 4"	7' - 0" 7' - 0" 7' - 0" 7' - 0" 7' - 0" 7' - 0"	L1 F5 I4 F2a F2a H2	45 MIN 45 MIN 90 MIN 20 MIN 20 MIN 90 MIN	5 - 4, 5 5 5 1, 2	1 1 1 1 1	HM HM HM HM HM	6/A031 6/A031 6/A031 6/A031 6/A031	6/A031 6/A031 6/A031 6/A031 6/A031	- - - - -	45 MIN 45 MIN 90 MIN 20 MIN 20 MIN 90 MIN			
406A 406B 407A 408A 410A 412A 412B	A WI A WI A WI A WI J WI J WI	3' - 0" 3' - 0" 3' - 0" 3' - 0" 3' - 0" 5' - 4"	7' - 0" 7' - 0" 7' - 0" 7' - 0" 7' - 0" 7' - 0" 7' - 0"	L1 F5 I4 F2a F2a H2 H2	45 MIN 45 MIN 90 MIN 20 MIN 20 MIN 90 MIN	5 - 4, 5 5 5 1, 2 1, 2	1 1 1 1 1 1 1	HM HM HM HM HM HM	6/A031 6/A031 6/A031 6/A031 6/A031 6/A031	6/A031 6/A031 6/A031 6/A031 6/A031 6/A031	- - - - - -	45 MIN 45 MIN 90 MIN 20 MIN 20 MIN 90 MIN 90 MIN			
406A 406B 407A 408A 410A	A WI A WI A WI J WI	3' - 0" 3' - 0" 3' - 0" 3' - 0" 3' - 0" 5' - 4" 5' - 4" 3' - 0"	7' - 0" 7' - 0" 7' - 0" 7' - 0" 7' - 0" 7' - 0"	L1 F5 I4 F2a F2a H2	45 MIN 45 MIN 90 MIN 20 MIN 20 MIN 90 MIN	5 - 4, 5 5 5 1, 2 1, 2	1 1 1 1 1	HM HM HM HM HM	6/A031 6/A031 6/A031 6/A031 6/A031	6/A031 6/A031 6/A031 6/A031 6/A031	-	45 MIN 45 MIN 90 MIN 20 MIN 20 MIN 90 MIN			

20 MIN 5 20 MIN 5

20 MIN 5

20 MIN 5 20 MIN 5

90 MIN 4, 5

45 MIN 5

45 MIN -20 MIN 5



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	SHELL PACKAGE	7.29.19
6	REVISION 1	12.20.19
7	REVISION 2	1.24.20
8	REVISION 3	4.3.2020
10	REVISION 5	7.2.2020

TR,i PROJECT NO. SHEET NO.

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DOOR SCHEDULE & TYPICAL DETAILS

SHADED DOORS HAVE BEEN ADDED OR UPDATED. THEY ARE SHADED INSTEAD OF CLOUDED FOR CLARITY.

1 HM 6/A031 6/A031
1 HM 6/A031 6/A031
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1 HM 6/A031 6/A031
- AL 5/A030 SIM. 5/A030 SIM.
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1 HM 6/A031 6/A031

6/A031

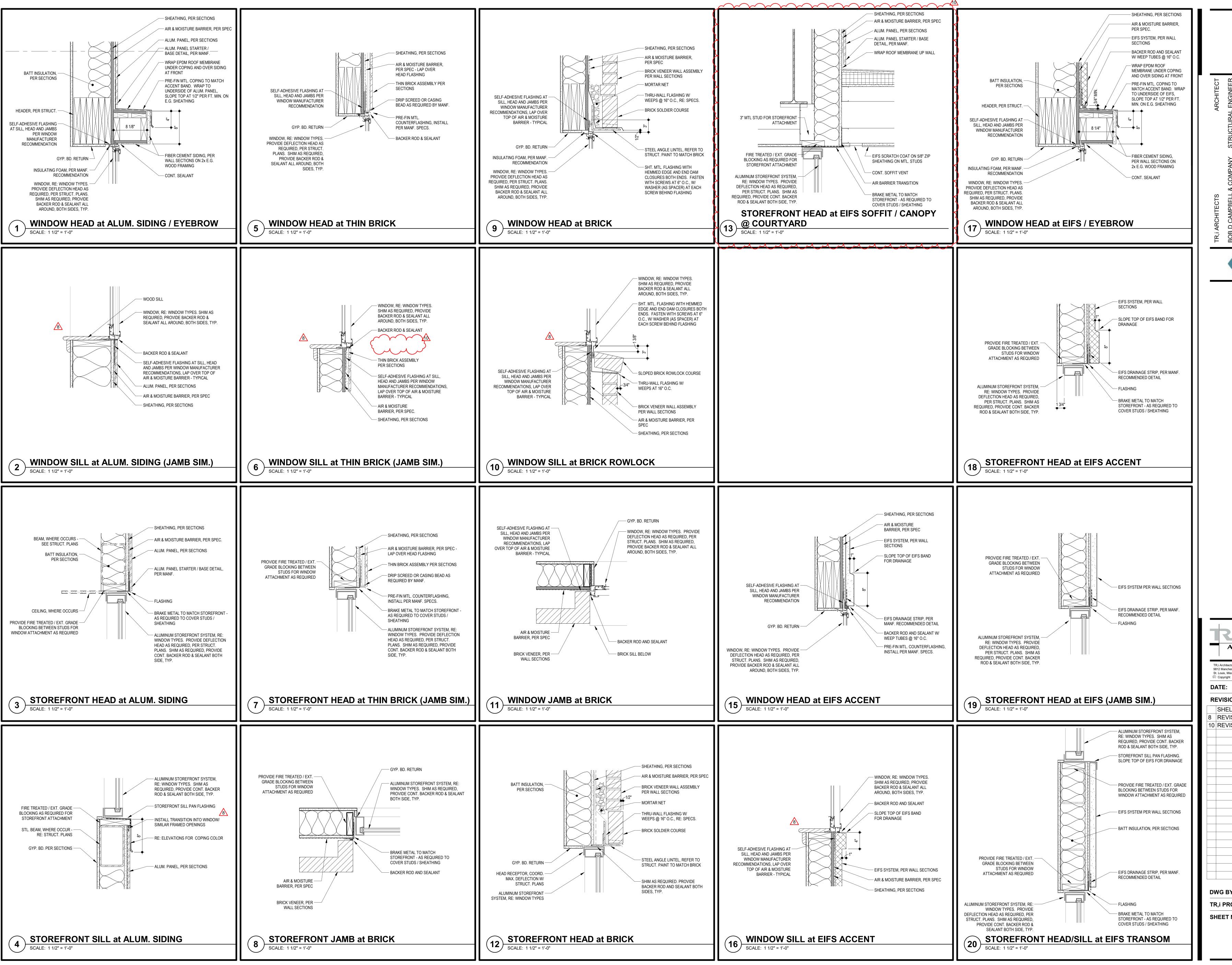
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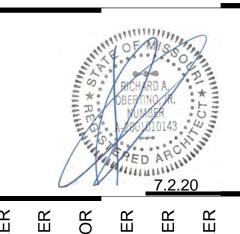
20 MIN 20 MIN 20 MIN

20 MIN

90 MIN

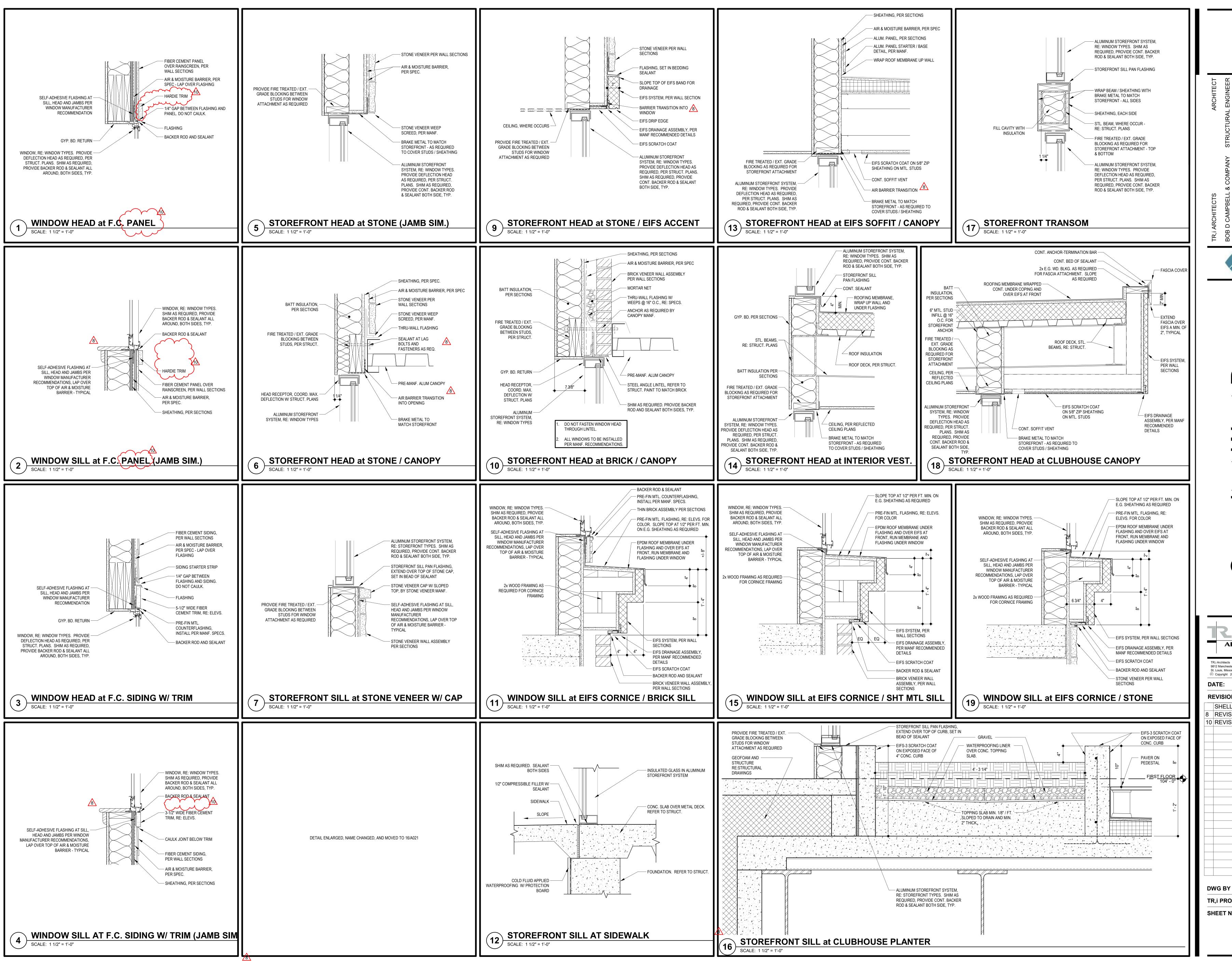
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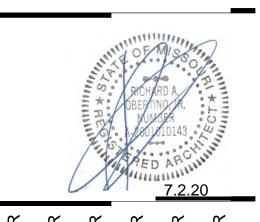




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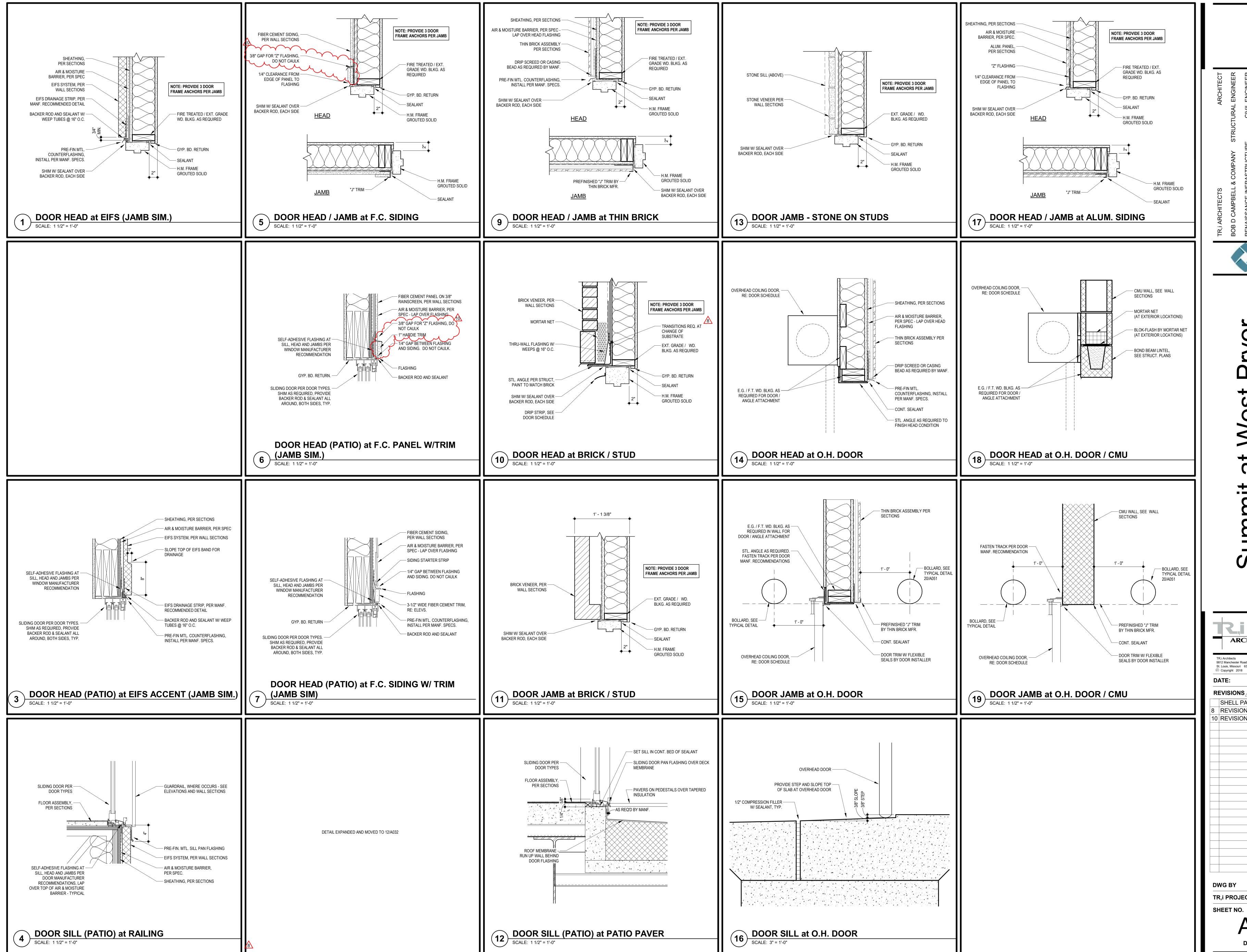
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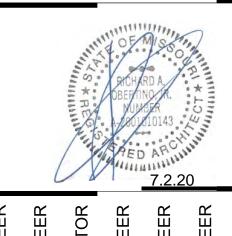
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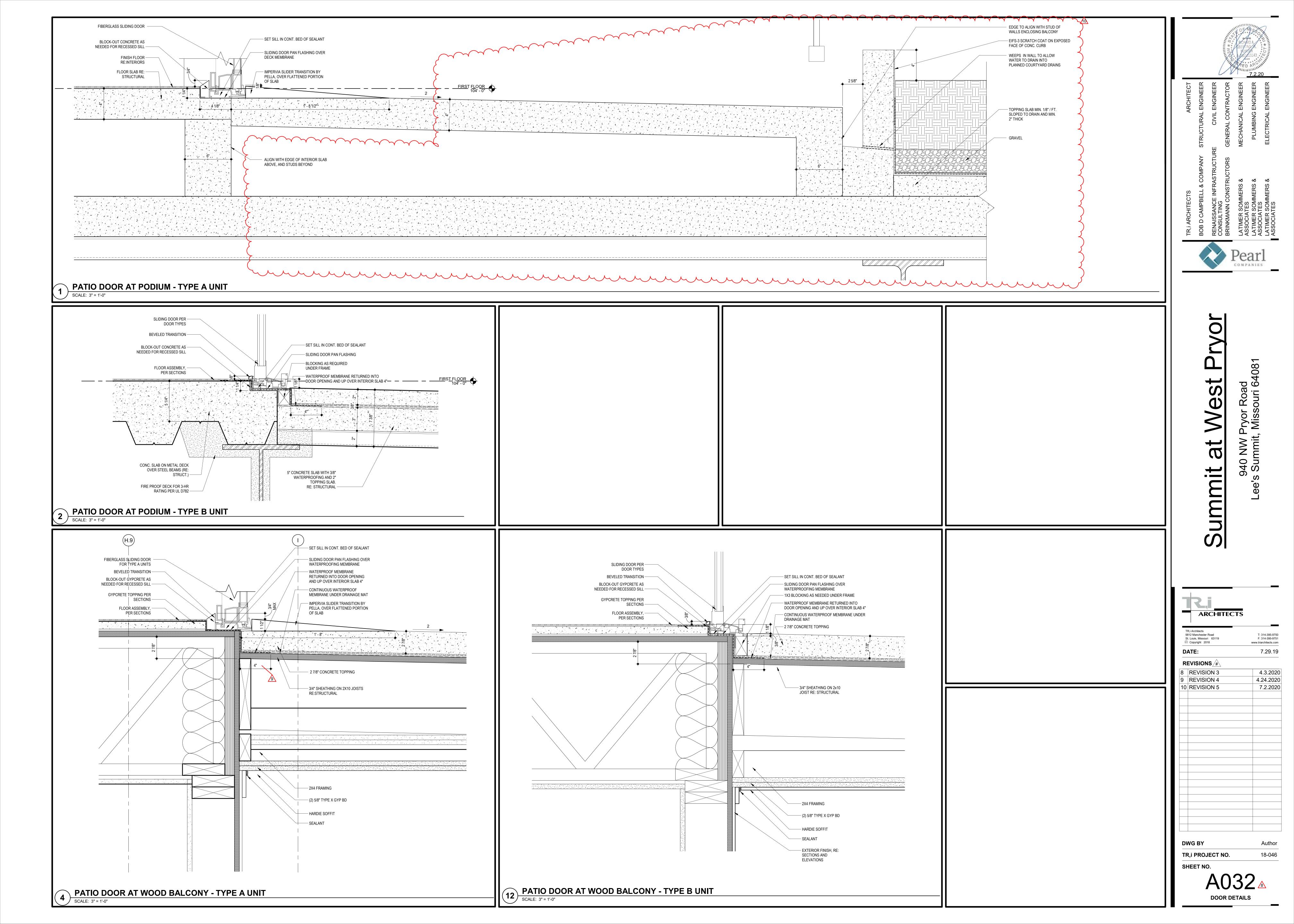


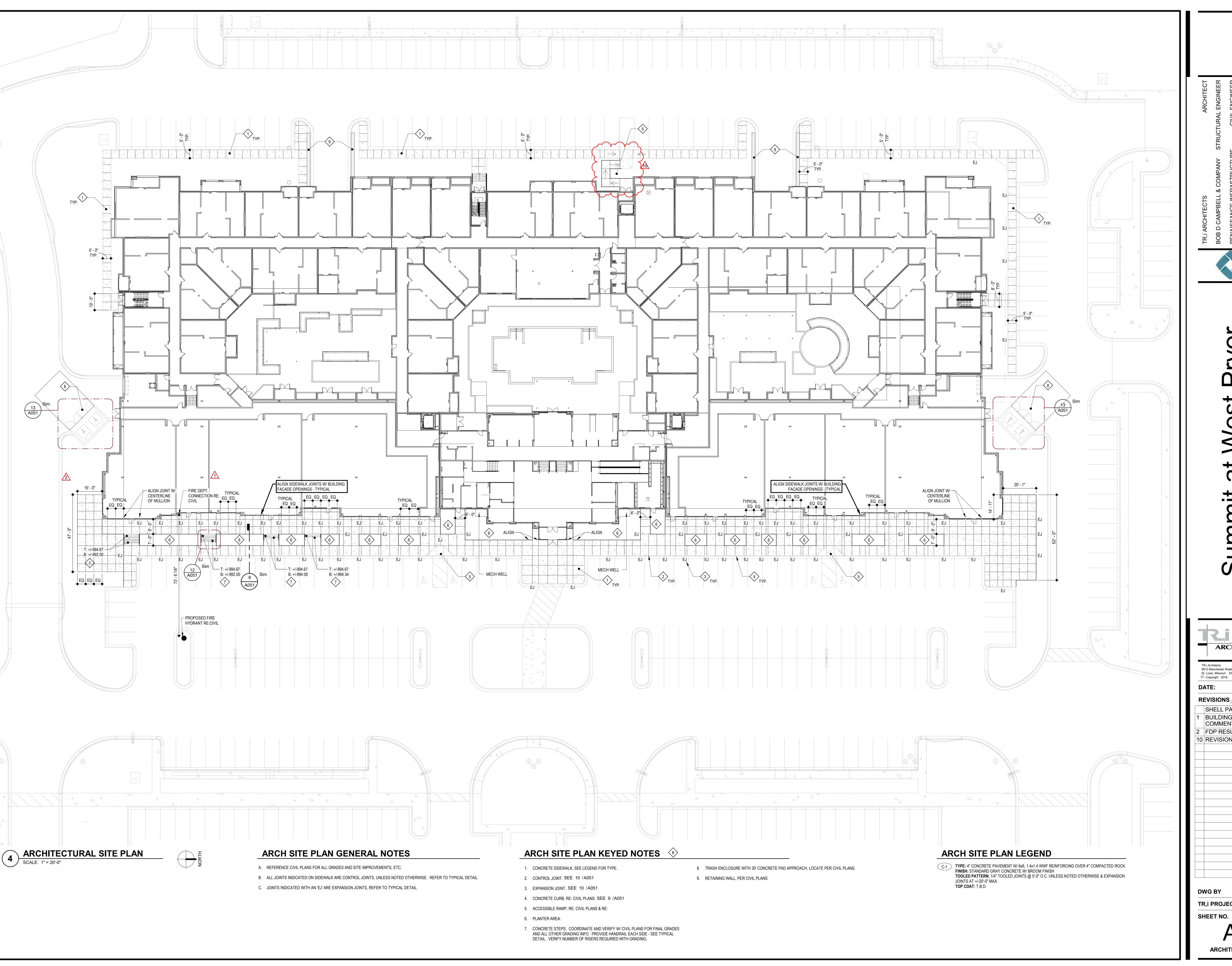


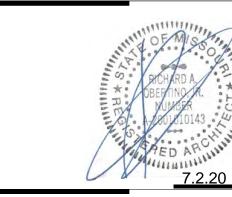
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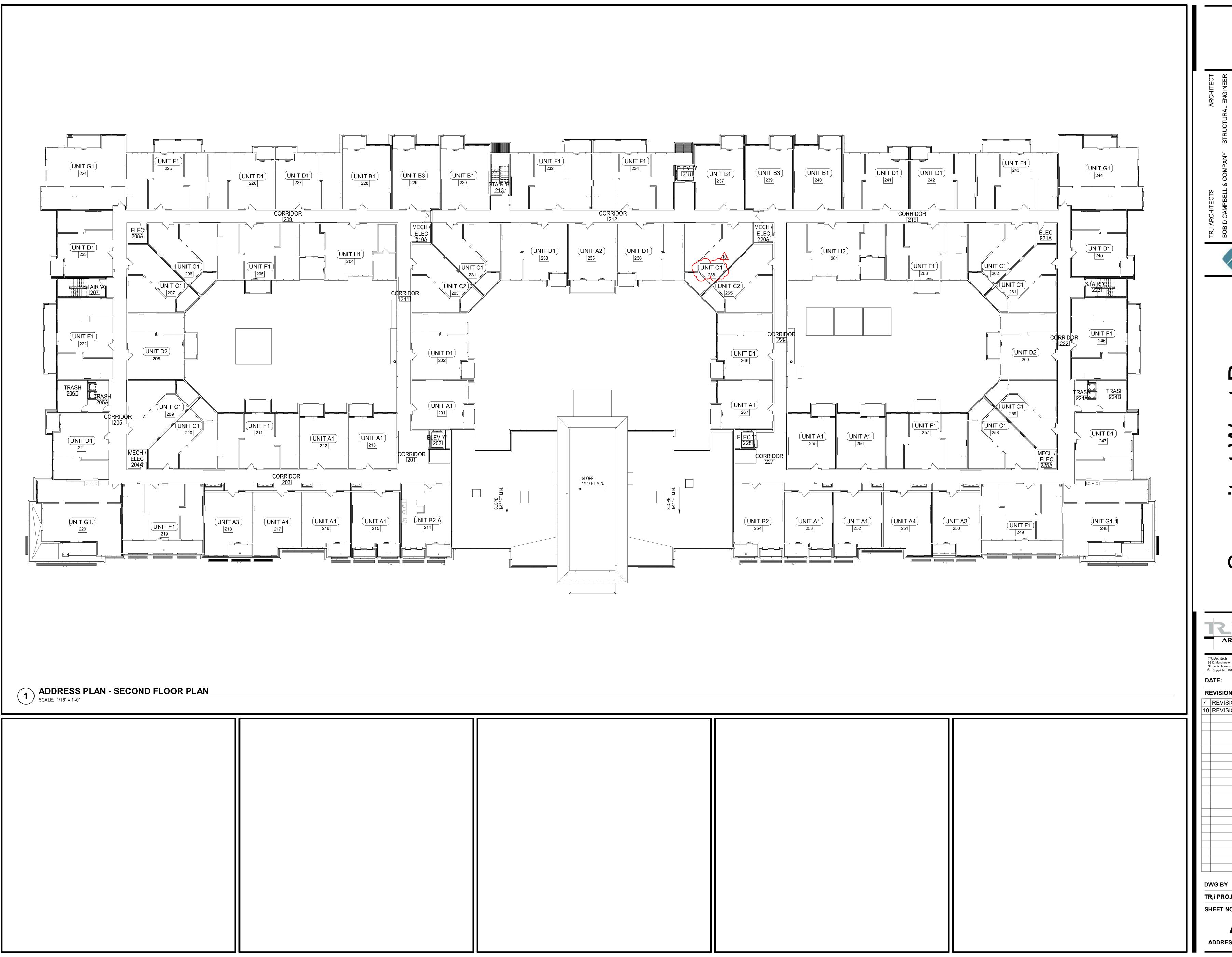


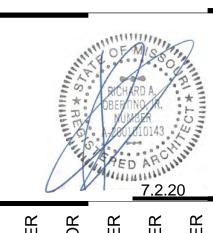
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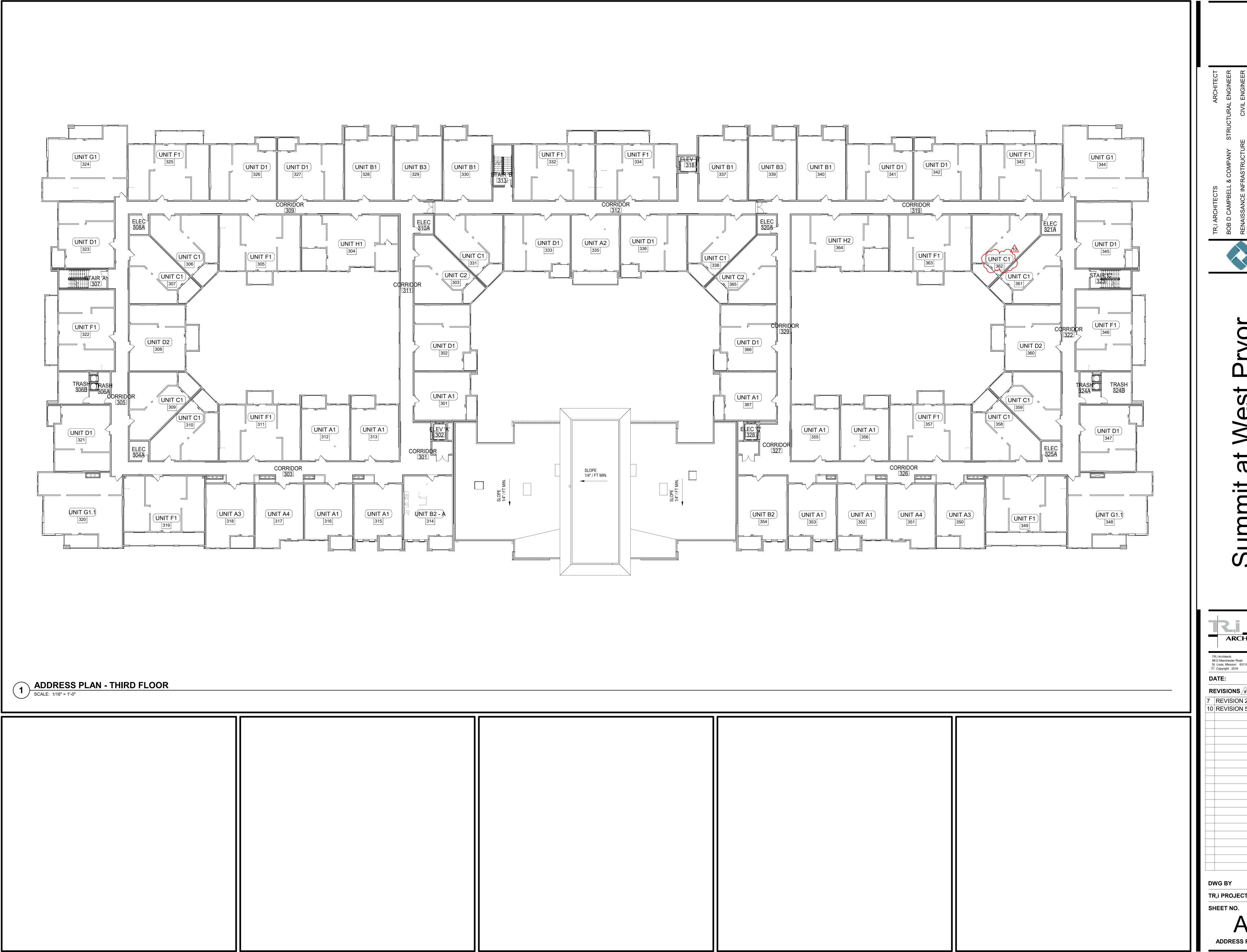
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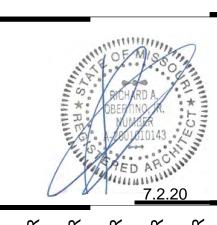
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7 REVISION 2 1.24.20
10 REVISION 5 7.2.2020

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A053
ADDRESS PLAN - SECOND FLOO





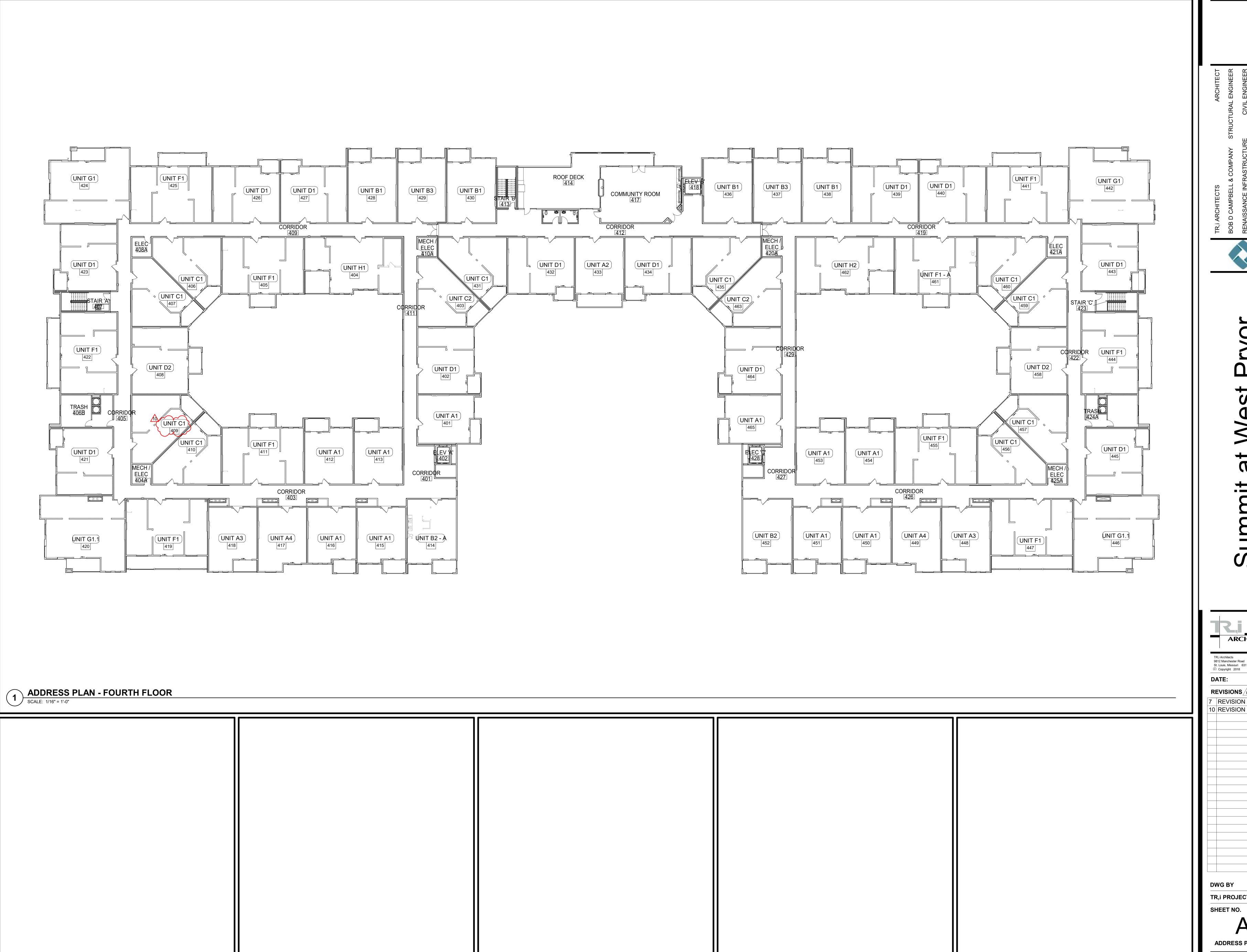
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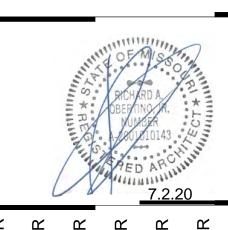
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TR,i PROJECT NO.



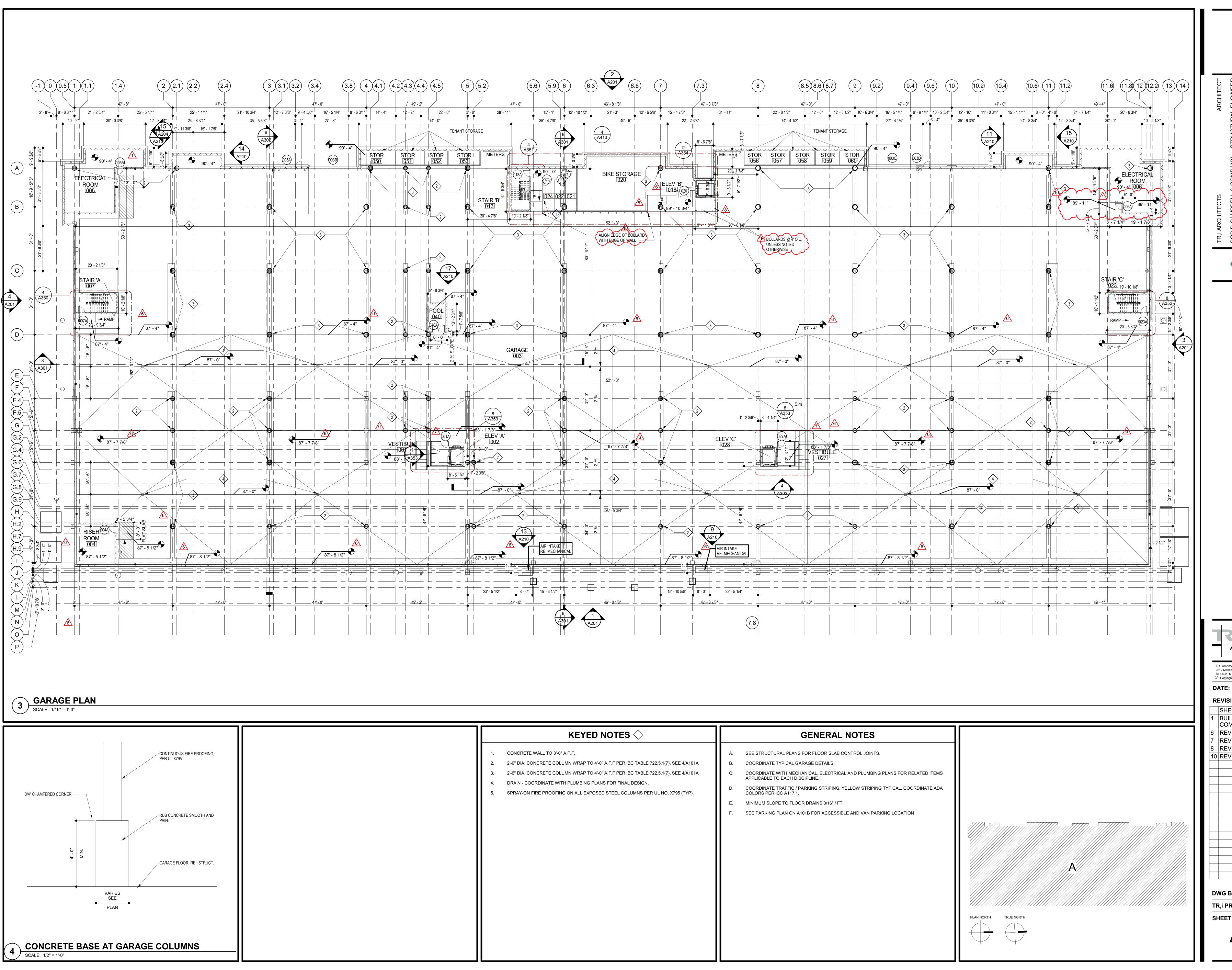


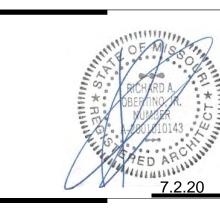


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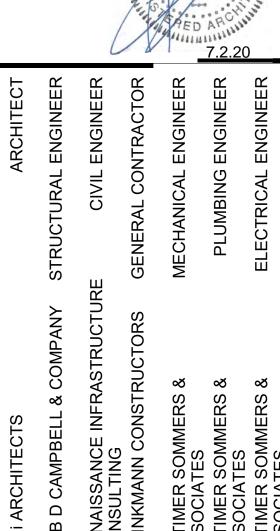


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7.29.19 SHELL PACKAGE 9.6.19 **BUILDING PERMIT** COMMENTS 12.20.19 REVISION 1 1.24.20 REVISION 2 4.3.2020 REVISION 3 7.2.2020 10 REVISION 5

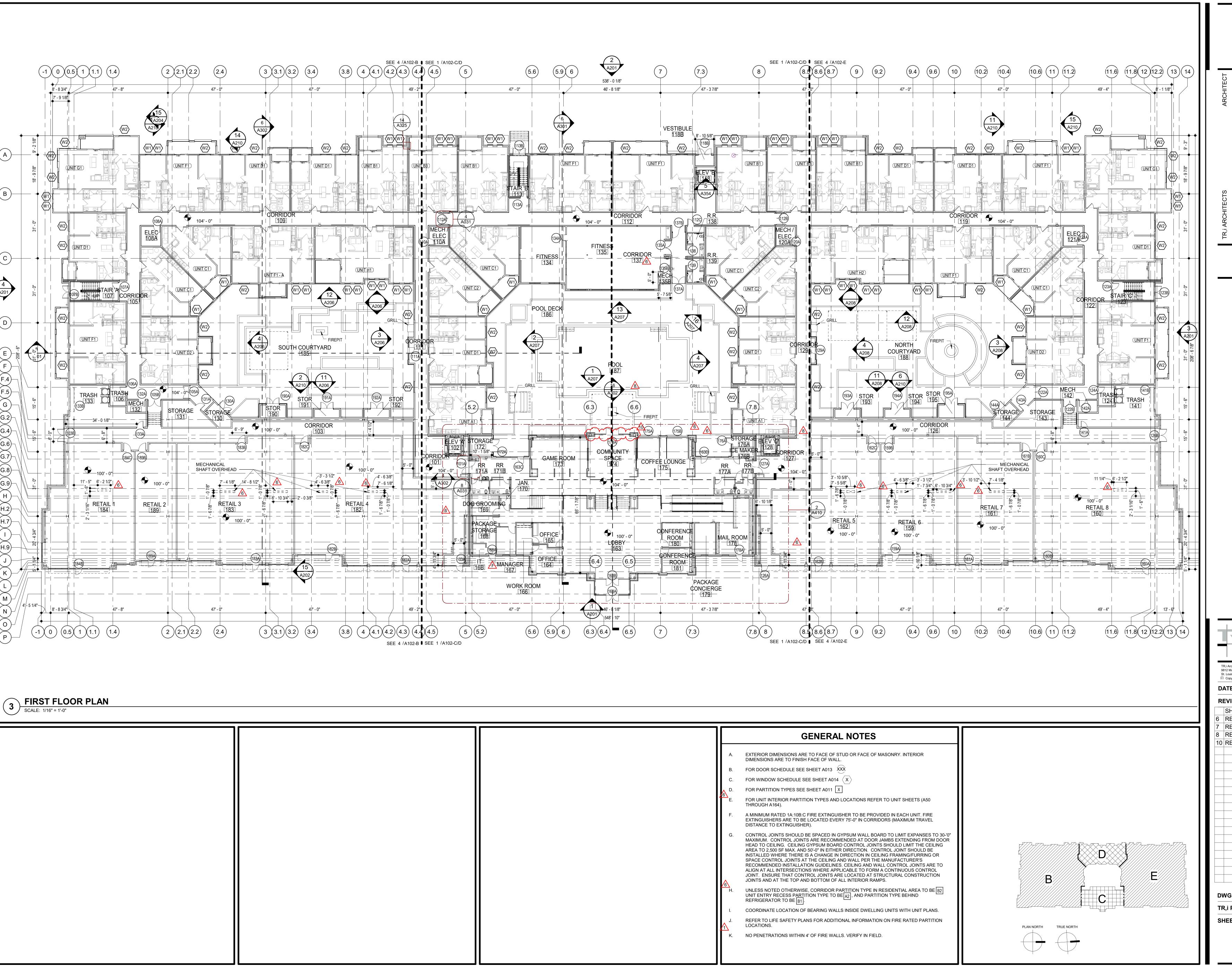
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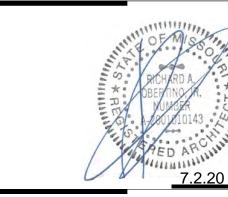




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	SHELL PACKAGE	7.29.1
6	REVISION 1	12.20.1
7	REVISION 2	1.24.2
8	REVISION 3	4.3.202
10	REVISION 5	7.2.202
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TI	R,i PROJECT NO.	18-046
S	HEET NO.	





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STURE CONTRACTOR
RS GENERAL CONTRACTOR
MECHANICAL ENGINEER

RENAISSANCE INFRASTRUCTURE
CONSULTING
BRINKMANN CONSTRUCTORS
CATIMER SOMMERS &

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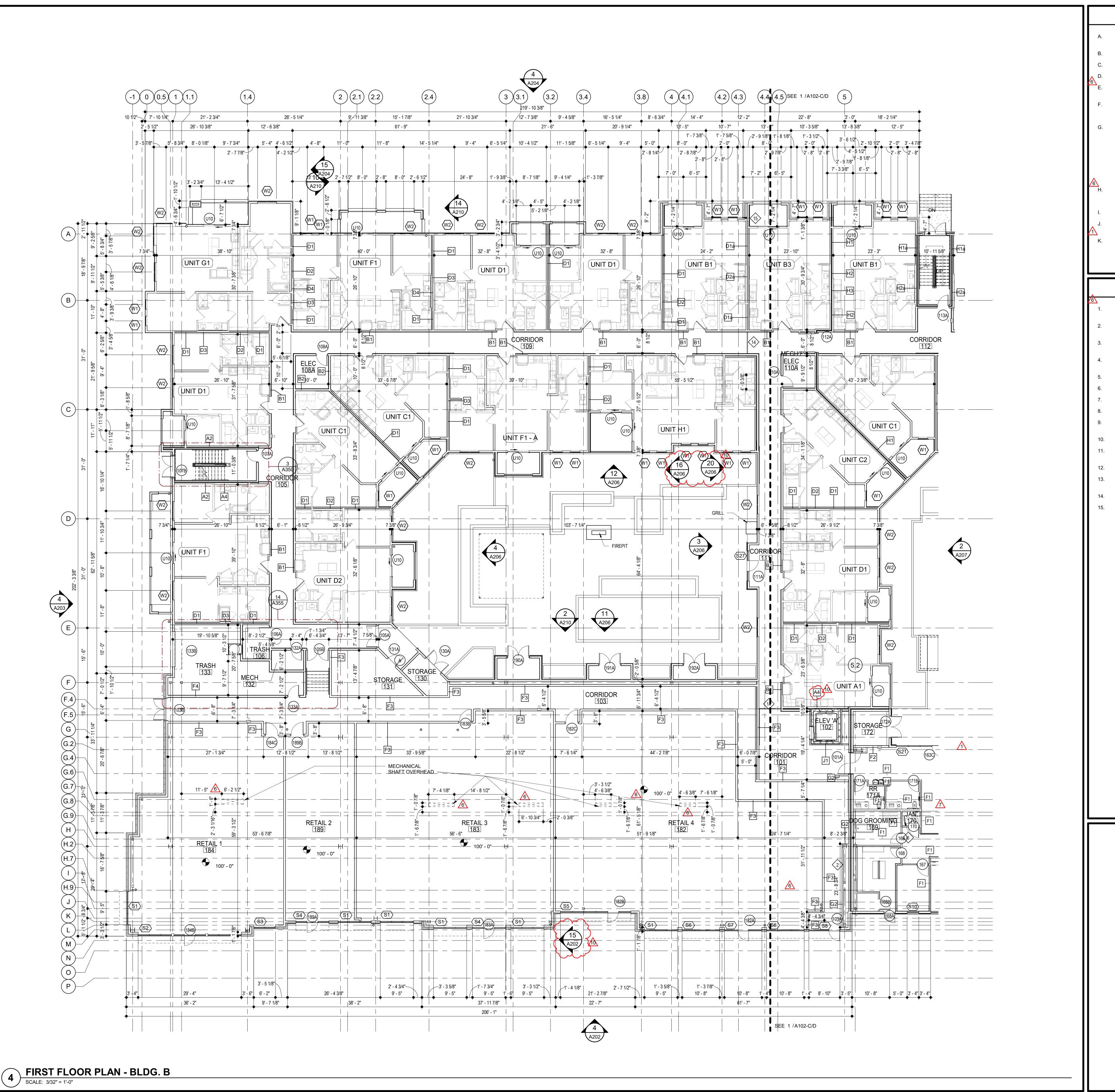
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TR,i PROJECT NO. 18-04
SHEET NO.

A102



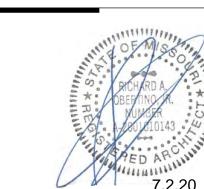
GENERAL NOTES

- EXTERIOR DIMENSIONS ARE TO FACE OF STUD OR FACE OF MASONRY. INTERIOR DIMENSIONS ARE TO FINISH FACE OF WALL.
- FOR DOOR SCHEDULE SEE SHEET A013 XXX
- FOR WINDOW SCHEDULE SEE SHEET A014 \langle X \rangle
- FOR PARTITION TYPES SEE SHEET A011 X
- FOR UNIT INTERIOR PARTITION TYPES AND LOCATIONS REFER TO UNIT SHEETS (A50 THROUGH A164).
- A MINIMUM RATED 1A:10B:C FIRE EXTINGUISHER TO BE PROVIDED IN EACH UNIT. FIRE
 - EXTINGUISHERS ARE TO BE LOCATED EVERY 75'-0" IN CORRIDORS (MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER).
- MAXIMUM. CONTROL JOINTS ARE RECOMMENDED AT DOOR JAMBS EXTENDING FROM DOOR HEAD TO CEILING. CEILING GYPSUM BOARD CONTROL JOINTS SHOULD LIMIT THE CEILING AREA TO 2,500 SF MAX. AND 50'-0" IN EITHER DIRECTION. CONTROL JOINT SHOULD BE INSTALLED WHERE THERE IS A CHANGE IN DIRECTION IN CEILING FRAMING/FURRING OR SPACE CONTROL JOINTS AT THE CEILING AND WALL PER THE MANUFACTURER'S RECOMMENDED INSTALLATION GUIDELINES. CEILING AND WALL CONTROL JOINTS ARE TO ALIGN AT ALL INTERSECTIONS WHERE APPLICABLE TO FORM A CONTINUOUS CONTROL JOINT. ENSURE THAT CONTROL JOINTS ARE LOCATED AT STRUCTURAL CONSTRUCTION JOINTS AND AT THE TOP AND BOTTOM OF ALL INTERIOR RAMPS.
- UNLESS NOTED OTHERWISE, CORRIDOR PARTITION TYPE IN RESIDENTIAL AREA TO BE B2
 UNIT ENTRY RECESS PARTITION TYPE TO BE A2, AND PARTITION TYPE BEHIND
 REFRIGERATOR TO BE D4 REFRIGERATOR TO BE B1.
- COORDINATE LOCATION OF BEARING WALLS INSIDE DWELLING UNITS WITH UNIT PLANS. REFER TO LIFE SAFETY PLANS FOR ADDITIONAL INFORMATION ON FIRE RATED PARTITION
- NO PENETRATIONS WITHIN 4' OF FIRE WALLS. VERIFY IN FIELD.

KEYED NOTES 🔷

- ADDITIONAL LAYER OF GYP. BD. (NOT SHOWN IN PARTITION TYPE) TO ALIGN WITH ADJACENT PARTITION'S GYP. BD.
- ENCLOSED COLUMN AND CROSS BRACE TO SMALLEST SIZE POSSIBLE WITH STUD/GYP. BD.
- EXTERIOR 1-HR FIRE RATED PARTITION PER UL U356. SEE LIFE SAFETY PLANS FOR EXTENT OF RATING.
- TYPICAL ALL STEEL COLUMNS AND STEEL BRACES ON 1ST AND 2ND FLOORS: WRAP IN GYP. BD. FOR 1-HOUR PROTECTION PER UL X526.
- EXTERIOR 2-HR FIRE RATED PARTITION PER UL U302.
- LADDER TO ROOF HATCH.
- TAPERED CRICKETS AS REQUIRED. SLOPE 1/2" PER FOOT MINIMUM.
- FULLY ADHERED T.P.O. ROOF MEMBRANE.
- PRIMARY AND OVERFLOW ROOF DRAINS. SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- 10. REFER TO INTERIOR DECOR DRAWINGS FOR ADDITIONAL INFORMATION IN THIS AREA.
- ENCLOSE EXHAUST VENT FROM CLUB ROOM FIRE PLACE WITH STUDS/GYP. BD. TO SMALLEST SIZE POSSIBLE.
- TAPERED INSULATION TO THRU WALL SCUPPER SEE 19/A312.
- 13. PAVERS ON PEDESTALS OVER TAPERED INSULATION AND FLOOR DRAINS.
- 14. EXPANSION JOINT RE: 10/A323
- 15. EXPANSION JOINT RE: 14/A325

PLAN NORTH TRUE NORTH



COMPANIES



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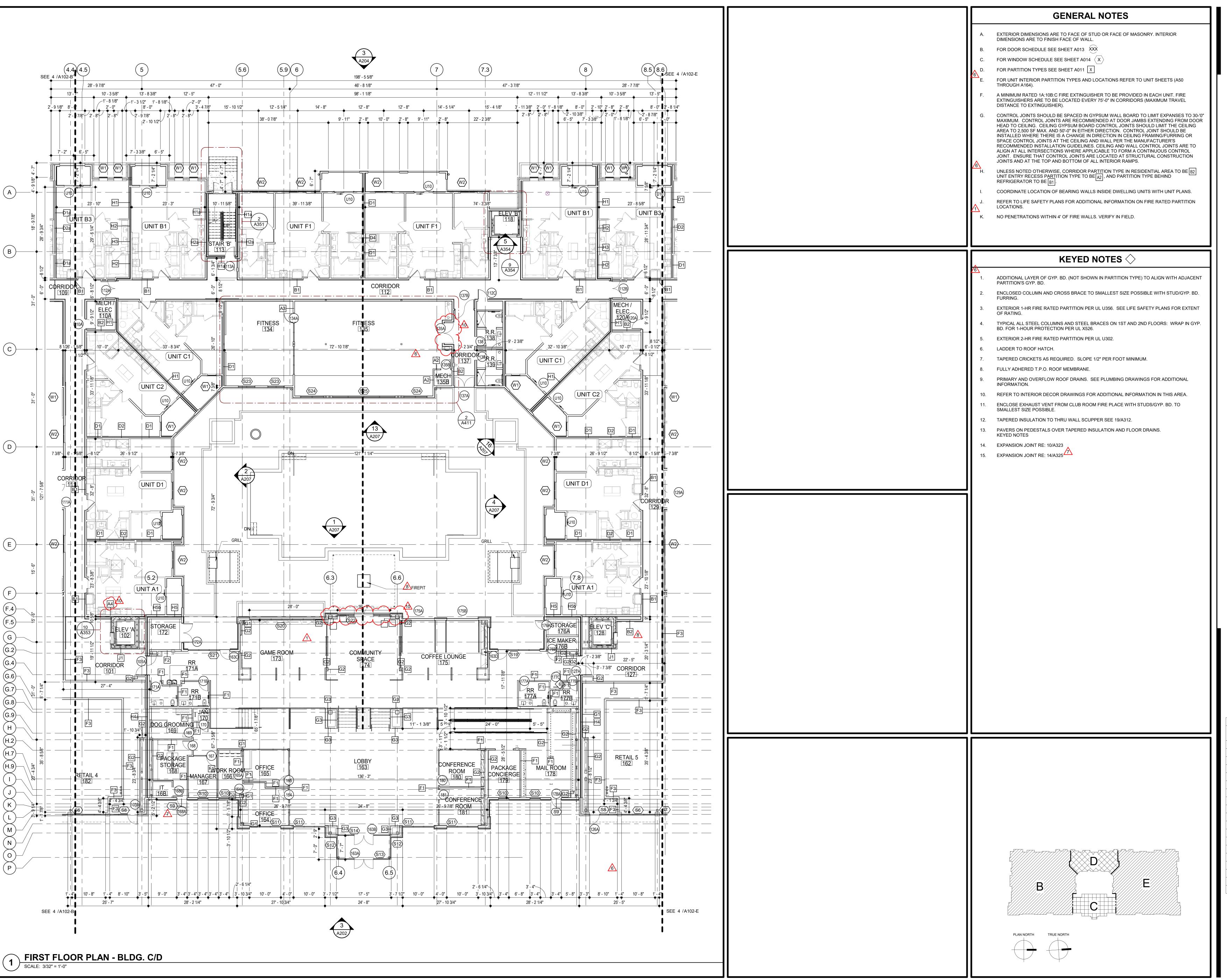
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10 REVISION 5 7.2.2020

DWG BY TR,i PROJECT NO.

SHEET NO.

FIRST FLOOR PLAN - BLDG. B





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MECHANICAL ENGINEER
PLUMBING ENGINEER

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ASSOCIATES
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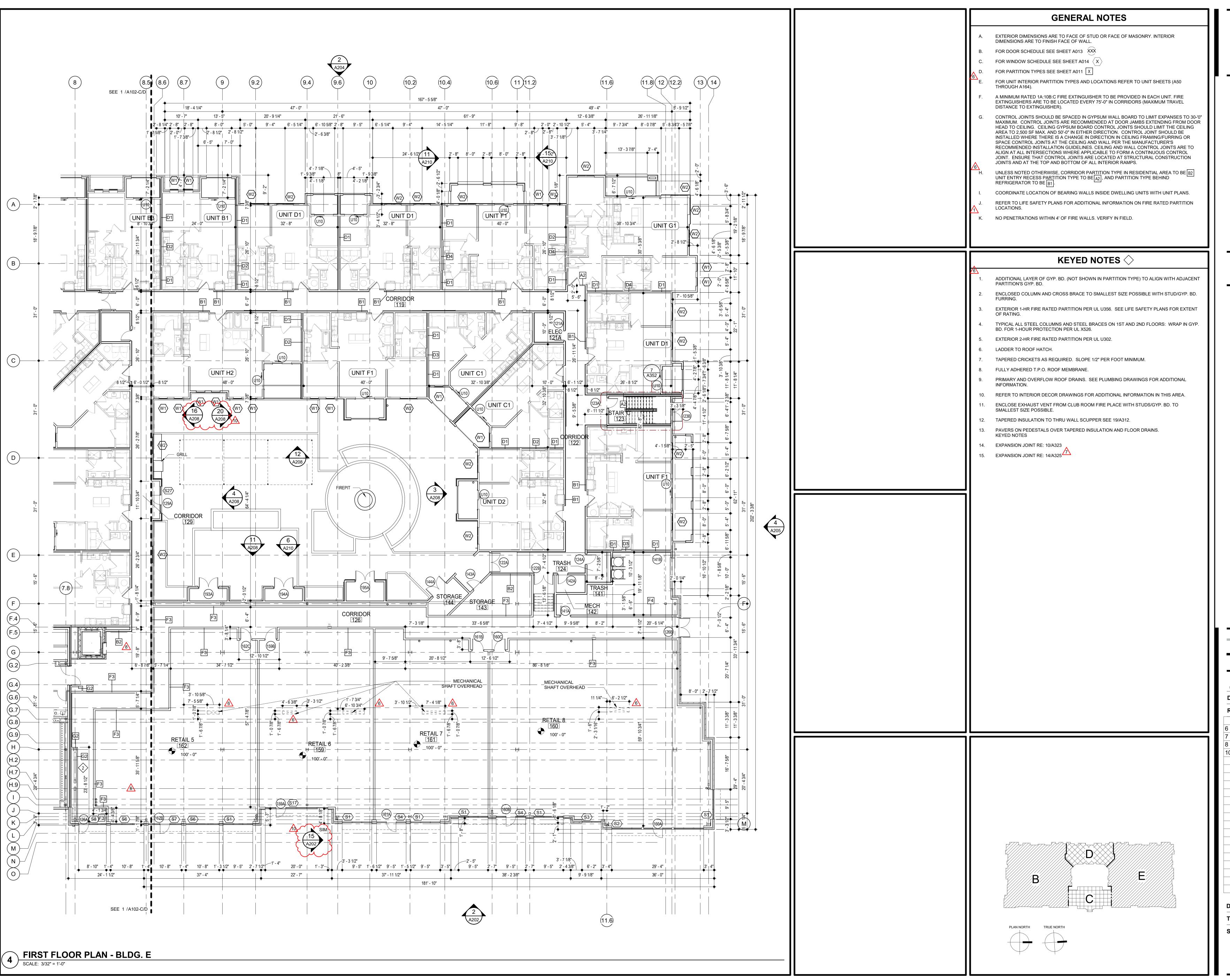
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REVISION 5 7.2.2

DWG BY MK
TR,i PROJECT NO. 18-0
SHEET NO.

A102-C/D
FIRST FLOOR PLAN - BLDG. C/D





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RENAISSANCE INFRASTRUCTURE
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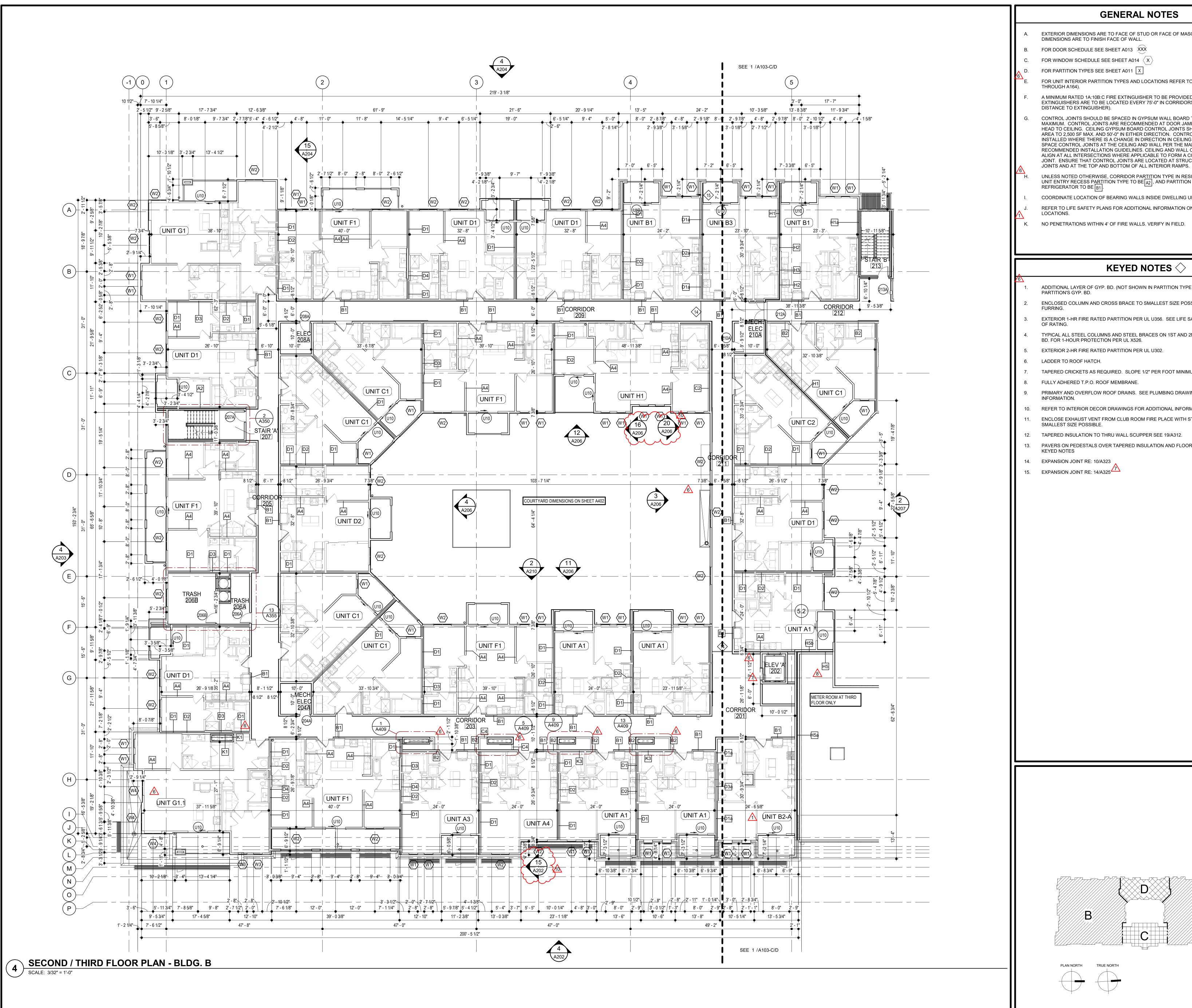
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DWG BY MKSS
TR,i PROJECT NO. 18-046

SHEET NO.

FIRST FLOOR PLAN - BLDG. E



GENERAL NOTES

- EXTERIOR DIMENSIONS ARE TO FACE OF STUD OR FACE OF MASONRY. INTERIOR DIMENSIONS ARE TO FINISH FACE OF WALL.
- FOR DOOR SCHEDULE SEE SHEET A013 XXX
- FOR WINDOW SCHEDULE SEE SHEET A014 $\,\langle\, {\sf X}\,
 angle$
- FOR PARTITION TYPES SEE SHEET A011 X
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- CONTROL JOINTS SHOULD BE SPACED IN GYPSUM WALL BOARD TO LIMIT EXPANSES TO 30-'0" MAXIMUM. CONTROL JOINTS ARE RECOMMENDED AT DOOR JAMBS EXTENDING FROM DOOR HEAD TO CEILING. CEILING GYPSUM BOARD CONTROL JOINTS SHOULD LIMIT THE CEILING AREA TO 2,500 SF MAX. AND 50'-0" IN EITHER DIRECTION. CONTROL JOINT SHOULD BE INSTALLED WHERE THERE IS A CHANGE IN DIRECTION IN CEILING FRAMING/FURRING OR SPACE CONTROL JOINTS AT THE CEILING AND WALL PER THE MANUFACTURER'S RECOMMENDED INSTALLATION GUIDELINES. CEILING AND WALL CONTROL JOINTS ARE TO ALIGN AT ALL INTERSECTIONS WHERE APPLICABLE TO FORM A CONTINUOUS CONTROL JOINT. ENSURE THAT CONTROL JOINTS ARE LOCATED AT STRUCTURAL CONSTRUCTION
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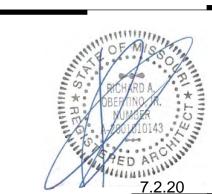
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- PRIMARY AND OVERFLOW ROOF DRAINS. SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- 10. REFER TO INTERIOR DECOR DRAWINGS FOR ADDITIONAL INFORMATION IN THIS AREA. ENCLOSE EXHAUST VENT FROM CLUB ROOM FIRE PLACE WITH STUDS/GYP. BD. TO
- SMALLEST SIZE POSSIBLE.

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PLAN NORTH

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- PAVERS ON PEDESTALS OVER TAPERED INSULATION AND FLOOR DRAINS.
- 14. EXPANSION JOINT RE: 10/A323
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COMPANIES

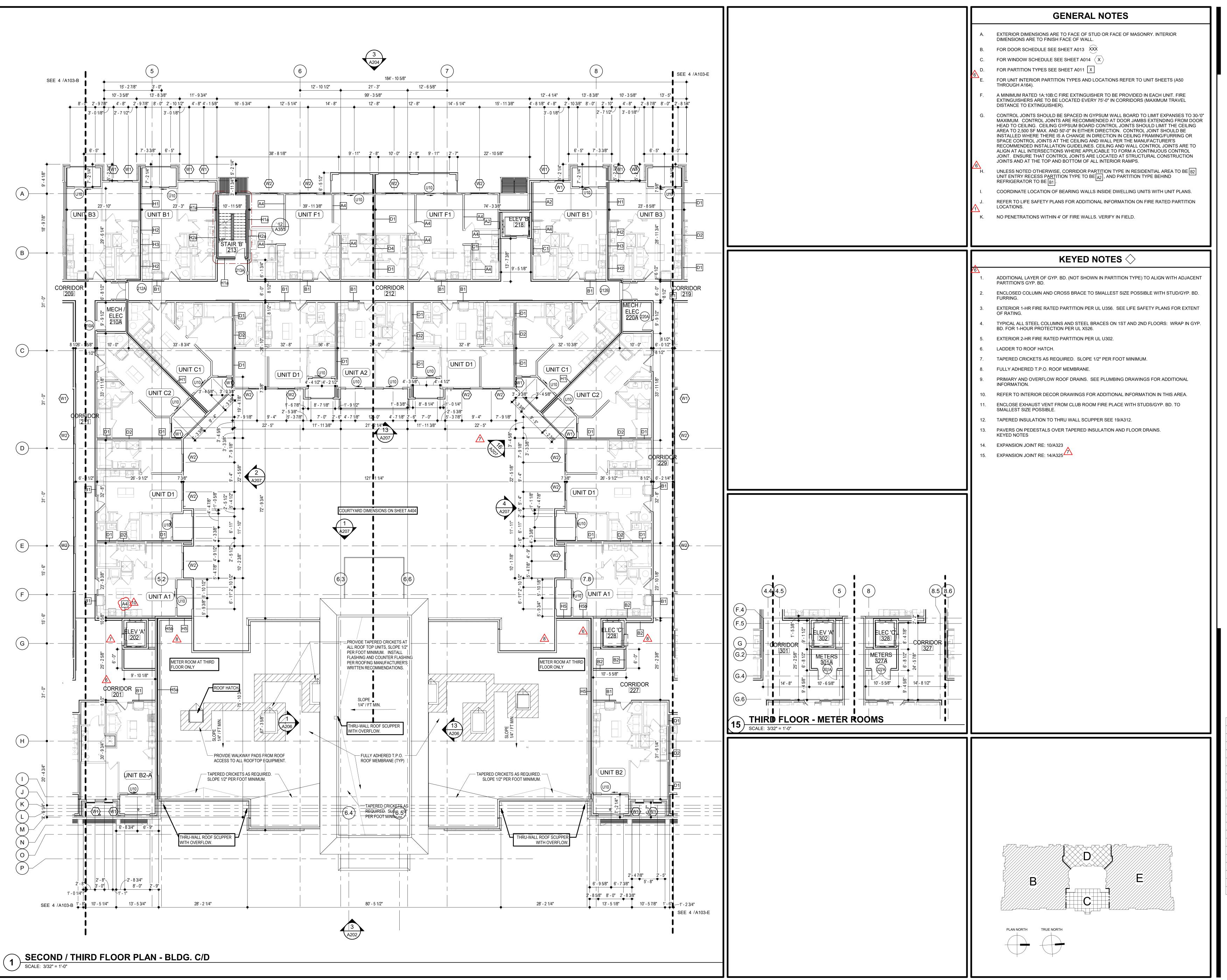




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	SHELL PACKAGE	7.29.1	
1	BUILDING PERMIT COMMENTS	9.6.1	
6	REVISION 1	12.20.1	
7	REVISION 2	1.24.2	
8	REVISION 3	4.3.202	
10	REVISION 5	7.2.202	

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SECOND / THIRD FLOOR PLAN -



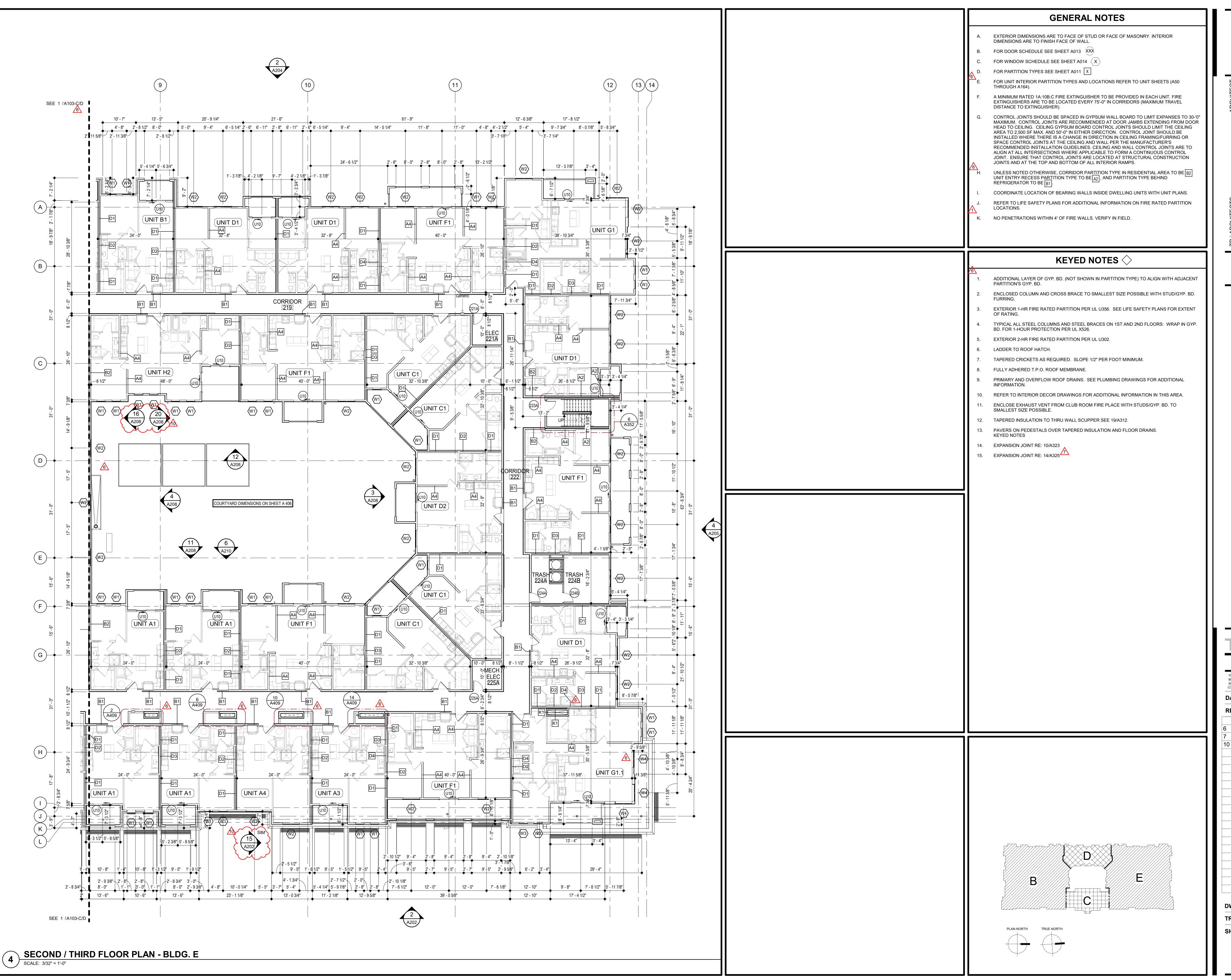


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SHEET NO.





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RS GENERAL CONTRACTOR
MECHANICAL ENGINEER

CONSULTING
BRINKMANN CONSTRUCTORS GE
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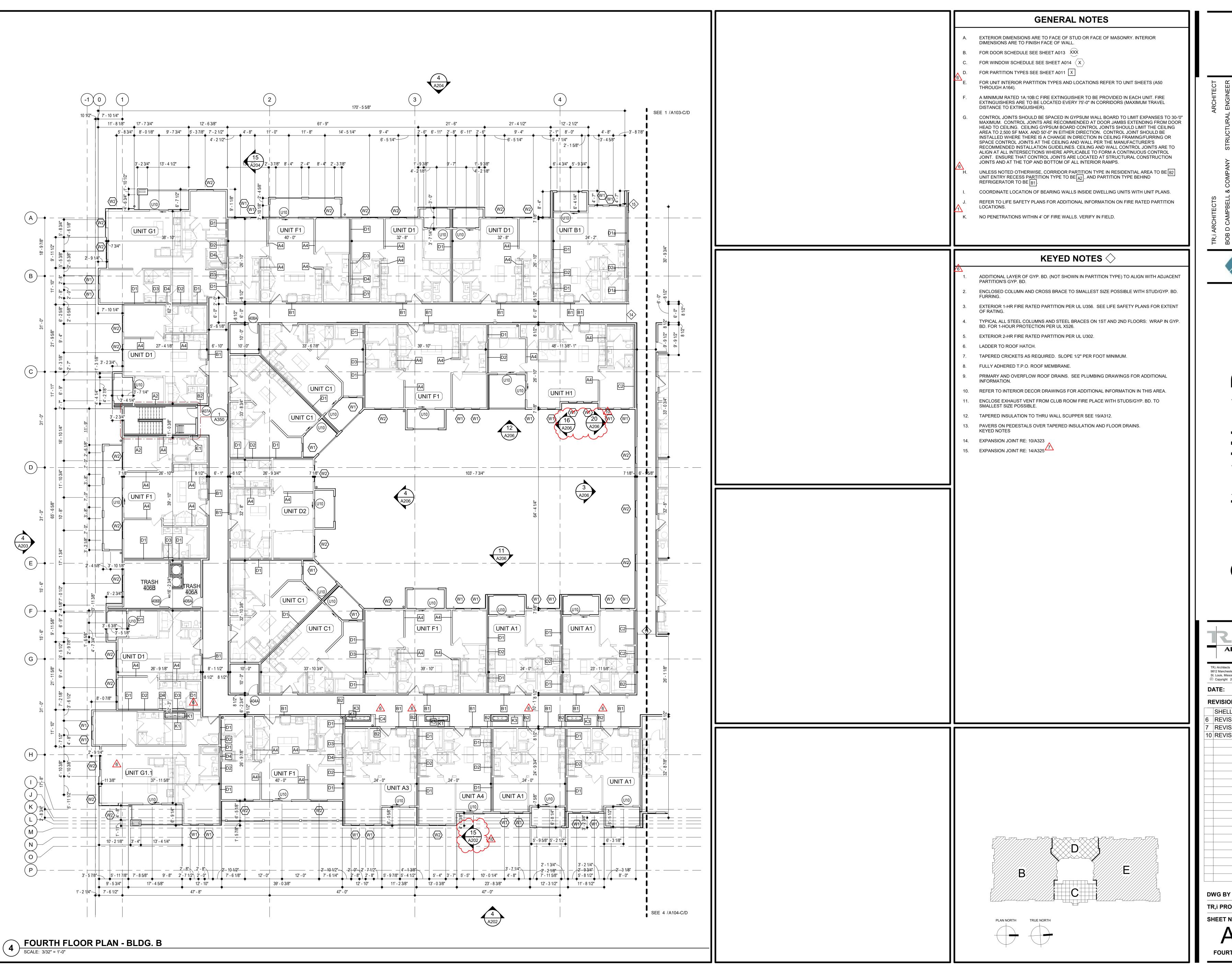
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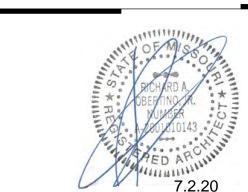
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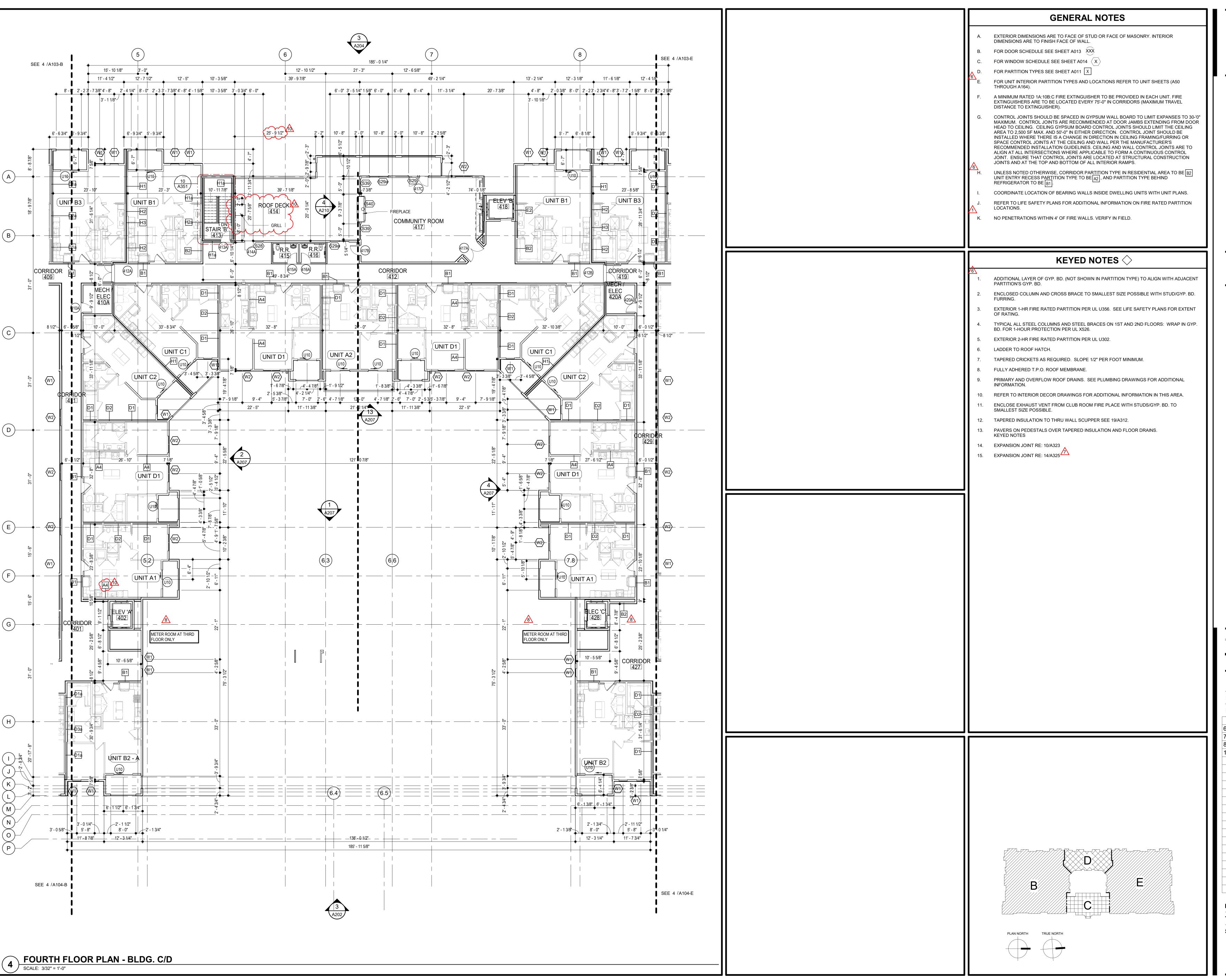
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FOURTH FLOOR PLAN - BLDG. B





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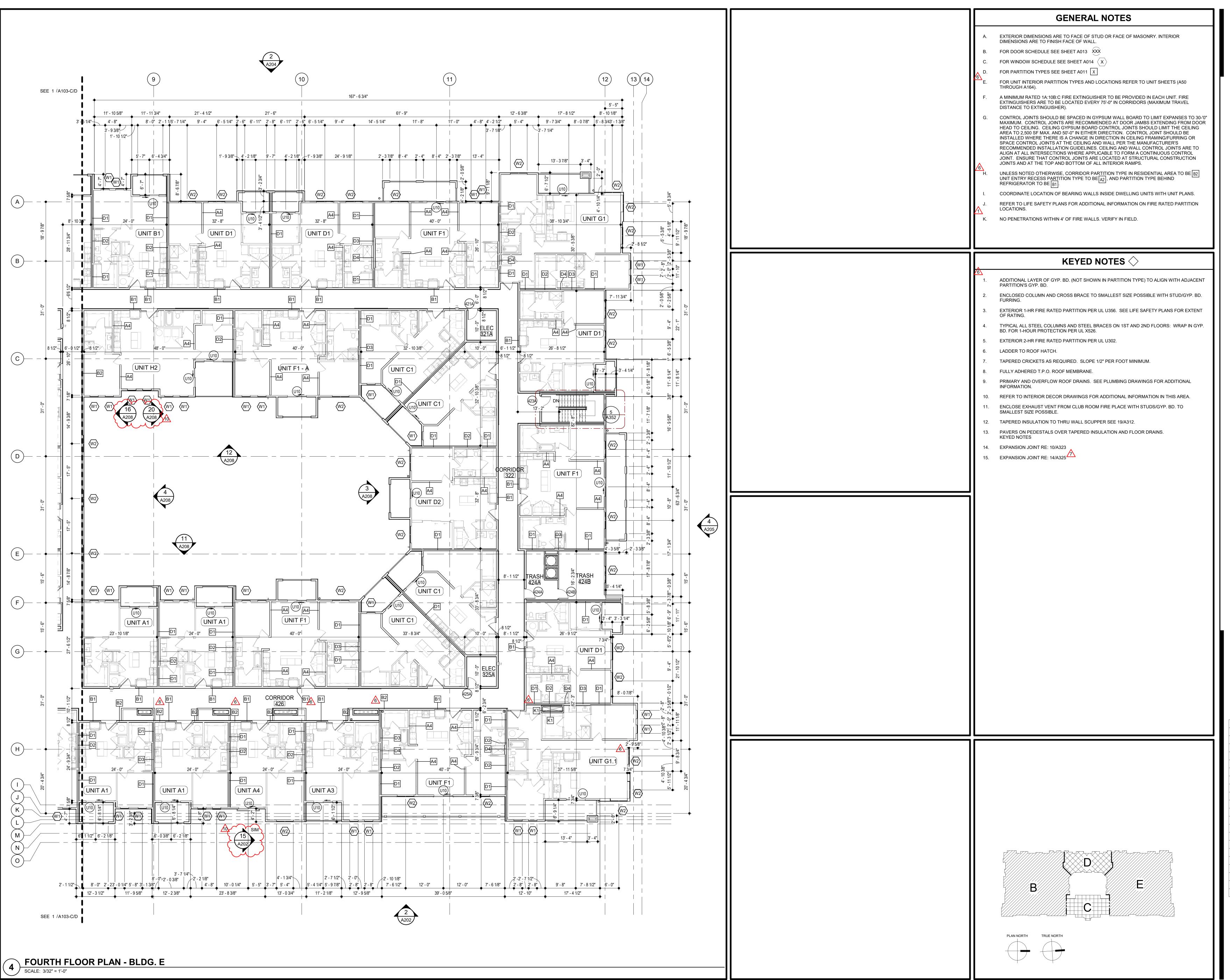
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SHEET NO.

FOURTH FLOOR PLAN - BLDG. C/D





GENERAL CONTRACTOR
MECHANICAL ENGINEER
PLUMBING ENGINEER
7.2

NCE INFRASTRUCTURE CIVIL E NG N CONSTRUCTORS GENERAL CON OMMERS & MECHANICAL E ES

BRINKMANN CONS
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ASSOCIATES
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ASSOCIATES

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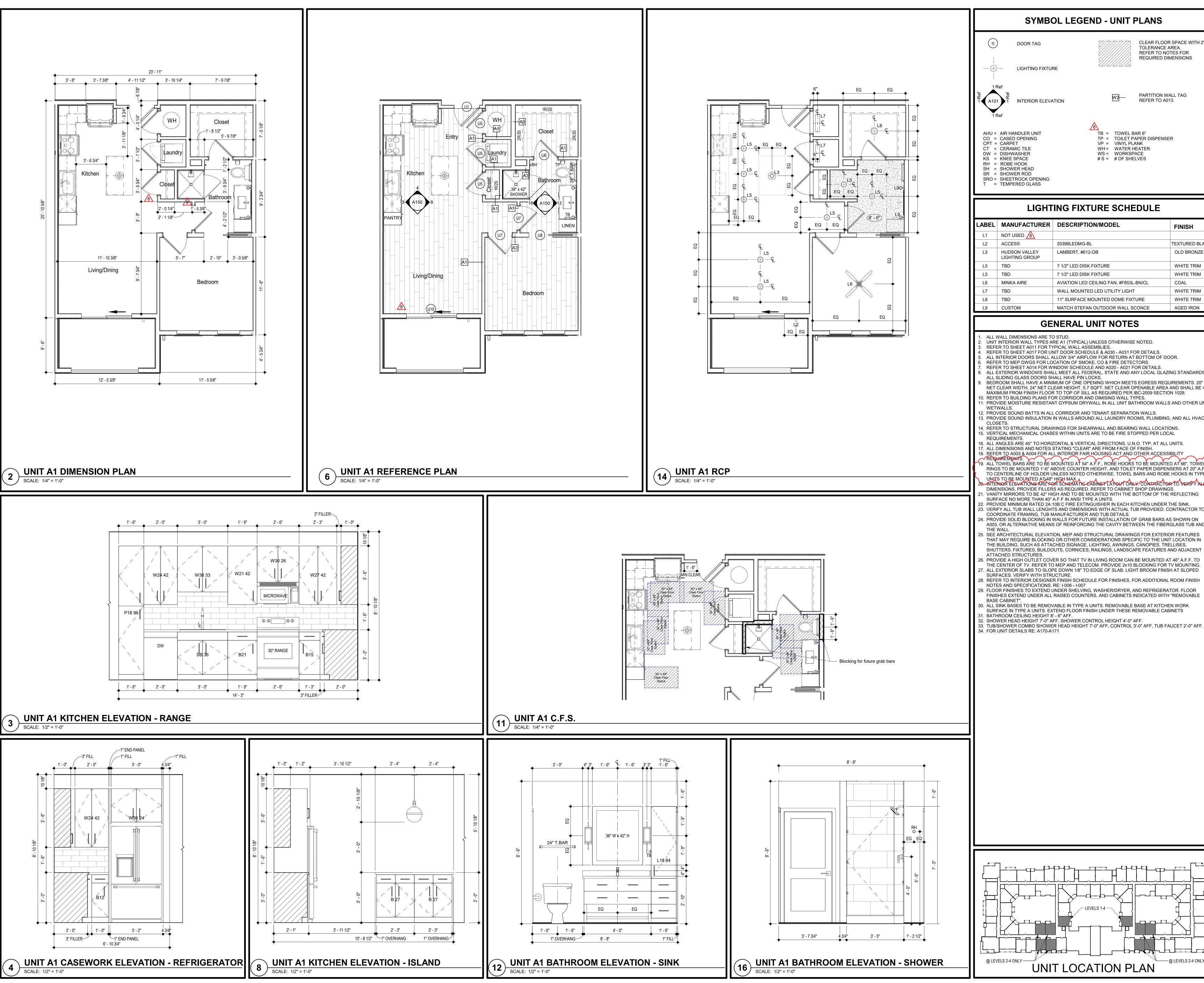
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FOURTH FLOOR PLAN - BLDG. E



SYMBOL LEGEND - UNIT PLANS

DOOR TAG

LIGHTING FIXTURE

CLEAR FLOOR SPACE WITH 2" TOLERANCE AREA. REFER TO NOTES FOR REQUIRED DIMENSIONS





PARTITION WALL TAG REFER TO A013

TB = TOWEL BAR 6"

VP = VINYL PLANK

WH = WATER HEATER

WS = WORKSPACE #S = #OF SHELVES

TP = TOILET PAPER DISPENSER

- AHU = AIR HANDLER UNIT CO = CASED OPENING
- CPT = CARPET CT = CERAMIC TILE DW = DISHWASHER
- KS = KNEE SPACE RH = ROBE HOOK SH = SHOWER HEAD SR = SHOWER ROD

LIGHTING FIXTURE SCHEDULE

LABEL	MANUFACTURER	DESCRIPTION/MODEL	FINISH
L1	NOT USED 8		
L2	ACCESS	20399LEDMG-BL	TEXTURED BLACK
L3	HUDSON VALLEY LIGHTING GROUP	LAMBERT, #612-OB	OLD BRONZE
L5	TBD	7 1/2" LED DISK FIXTURE	WHITE TRIM
L5	TBD	7 1/2" LED DISK FIXTURE	WHITE TRIM
L6	MINKA AIRE	AVIATION LED CEILING FAN, #F853L-BN/CL	COAL
L7	TBD	WALL MOUNTED LED UTILITY LIGHT	WHITE TRIM
L8	TBD	11" SURFACE MOUNTED DOME FIXTURE	WHITE TRIM
L9	CUSTOM	MATCH STEFAN OUTDOOR WALL SCONCE	AGED IRON

GENERAL UNIT NOTES

- UNIT INTERIOR WALL TYPES ARE A1 (TYPICAL) UNLESS OTHERWISE NOTED.
- REFER TO SHEET A011 FOR TYPICAL WALL ASSEMBLIES. REFER TO SHEET A017 FOR UNIT DOOR SCHEDULE & A030 - A031 FOR DETAILS.
- ALL INTERIOR DOORS SHALL ALLOW 3/4" AIRFLOW FOR RETURN AT BOTTOM OF DOOR.
- REFER TO MEP DWGS FOR LOCATION OF SMOKE, CO & FIRE DETECTORS. REFER TO SHEET A014 FOR WINDOW SCHEDULE AND A020 - A021 FOR DETAILS. ALL EXTERIOR WINDOWS SHALL MEET ALL FEDERAL, STATE AND ANY LOCAL GLAZING STANDARDS
- ALL SLIDING GLASS DOORS SHALL HAVE PIN LOCKS. BEDROOM SHALL HAVE A MINIMUM OF ONE OPENING WHICH MEETS EGRESS REQUIREMENTS. 20" NET CLEAR WIDTH, 24" NET CLEAR HEIGHT. 5.7 SQFT. NET CLEAR OPENABLE AREA AND SHALL BE 44"
- MAXIMUM FROM FINISH FLOOR TO TOP OF SILL AS REQUIRED PER IBC-2009 SECTION 1029. . REFER TO BUILDING PLANS FOR CORRIDOR AND DIMISING WALL TYPES.
- . PROVIDE MOISTURE RESISTANT GYPSUM DRYWALL IN ALL UNIT BATHROOM WALLS AND OTHER UNIT 12. PROVIDE SOUND BATTS IN ALL CORRIDOR AND TENANT SEPARATION WALLS.
- 3. PROVIDE SOUND INSULATION IN WALLS AROUND ALL LAUNDRY ROOMS, PLUMBING, AND ALL HVAC
- 14. REFER TO STRUCTURAL DRAWINGS FOR SHEARWALL AND BEARING WALL LOCATIONS.15. VERTICAL MECHANICAL CHASES WITHIN UNITS ARE TO BE FIRE STOPPED PER LOCAL
- REQUIREMENTS. 16. ALL ANGLES ARE 45° TO HORIZONTAL & VERTICAL DIRECTIONS, U.N.O. TYP. AT ALL UNITS.
 17. ALL DIMENSIONS AND NOTES STATING "CLEAR" ARE FROM FACE OF FINISH.
- 18. REFER TO A003 & A004 FOR ALL INTERIOR FAIR HOUSING ACT AND OTHER ACCESSIBILITY

 REQUIREMENTS.
- 9. ALL TOWEL BARS ARE TO BE MOUNTED AT 54" A.F.F., ROBE HOOKS TO BE MOUNTED AT 66", TOWEL RINGS TO BE MOUNTED 1'-6" ABOVE COUNTER HEIGHT, AND TOILET PAPER DISPENSERS AT 20" A.F.F TO CENTERLINE OF HOLDER UNLESS NOTED OTHERWISE. TOWEL BARS AND ROBE HOOKS IN TYPE A
- UNITS TO BE MOUNTED AT 48" HIGH MAX. 20. INTERIOR ELEVATIONS ARE FOR SCHEMATIC CABINET LAYOUT ONLY. CONTRACTOR TO VERIFY ALL DIMENSIONS. PROVIDE FILLERS AS REQUIRED. REFER TO CABINET SHOP DRAWINGS.
- VANITY MIRRORS TO BE 42" HIGH AND TO BE MOUNTED WITH THE BOTTOM OF THE REFLECTING SURFACE NO MORE THAN 40" A.F.F IN ANSI TYPE A UNITS. 2. PROVIDE MINIMUM RATED 2A:10B:C FIRE EXTINGUISHER IN EACH KITCHEN UNDER THE SINK.
- 3. VERIFY ALL TUB WALL LENGHTS AND DIMENSIONS WITH ACTUAL TUB PROVIDED. CONTRACTOR TO COORDINATE FRAMING, TUB MANUFACTURER AND TUB DETAILS. I. PROVIDE SOLID BLOCKING IN WALLS FOR FUTURE INSTALLATION OF GRAB BARS AS SHOWN ON
- A003, OR ALTERNATIVE MEANS OF REINFORCING THE CAVITY BETWEEN THE FIBERGLASS TUB AND 5. SEE ARCHITECTURAL ELEVATION, MEP AND STRUCTURAL DRAWINGS FOR EXTERIOR FEATURES
 THAT MAY REQUIRE BLOCKING OR OTHER CONSIDERATIONS SPECIFIC TO THE UNIT LOCATION IN THE BUILDING, SUCH AS ATTACHED SIGNAGE, LIGHTING, AWNINGS, CANOPIES, TRELLISES, SHUTTERS, FIXTURES, BUILDOUTS, CORNICES, RAILINGS, LANDSCAPE FEATURES AND ADJACENT
- ATTACHED STRUCTURES. 6. PROVIDE A HIGH OUTLET COVER SO THAT TV IN LIVING ROOM CAN BE MOUNTED AT 46" A.F.F. TO THE CENTER OF TV. REFER TO MEP AND TELECOM. PROVIDE 2x10 BLOCKING FOR TV MOUNTING. . ALL EXTERIOR SLABS TO SLOPE DOWN 1/8" TO EDGE OF SLAB. LIGHT BROOM FINISH AT SLOPED
- SURFACES. VERIFY WITH STRUCTURE. B. REFER TO INTERIOR DESIGNER FINSIH SCHEDULE FOR FINISHES, FOR ADDITIONAL ROOM FINISH
- NOTES AND SPECIFICATIONS. RE: I-006 I-007 29. FLOOR FINISHES TO EXTEND UNDER SHELVING, WASHER/DRYER, AND REFRIGERATOR. FLOOR FINISHES EXTEND UNDER ALL RAISED COUNTERS, AND CABINETS INDICATED WITH "REMOVABLE
-). ALL SINK BASES TO BE REMOVABLE IN TYPE A UNITS. REMOVABLE BASE AT KITCHEN WORK SURFACE IN TYPE A UNITS. EXTEND FLOOR FINISH UNDER THESE REMOVABLE CABINETS 1. BATHROOM CEILING HEIGHT 8' - 6" AFF.

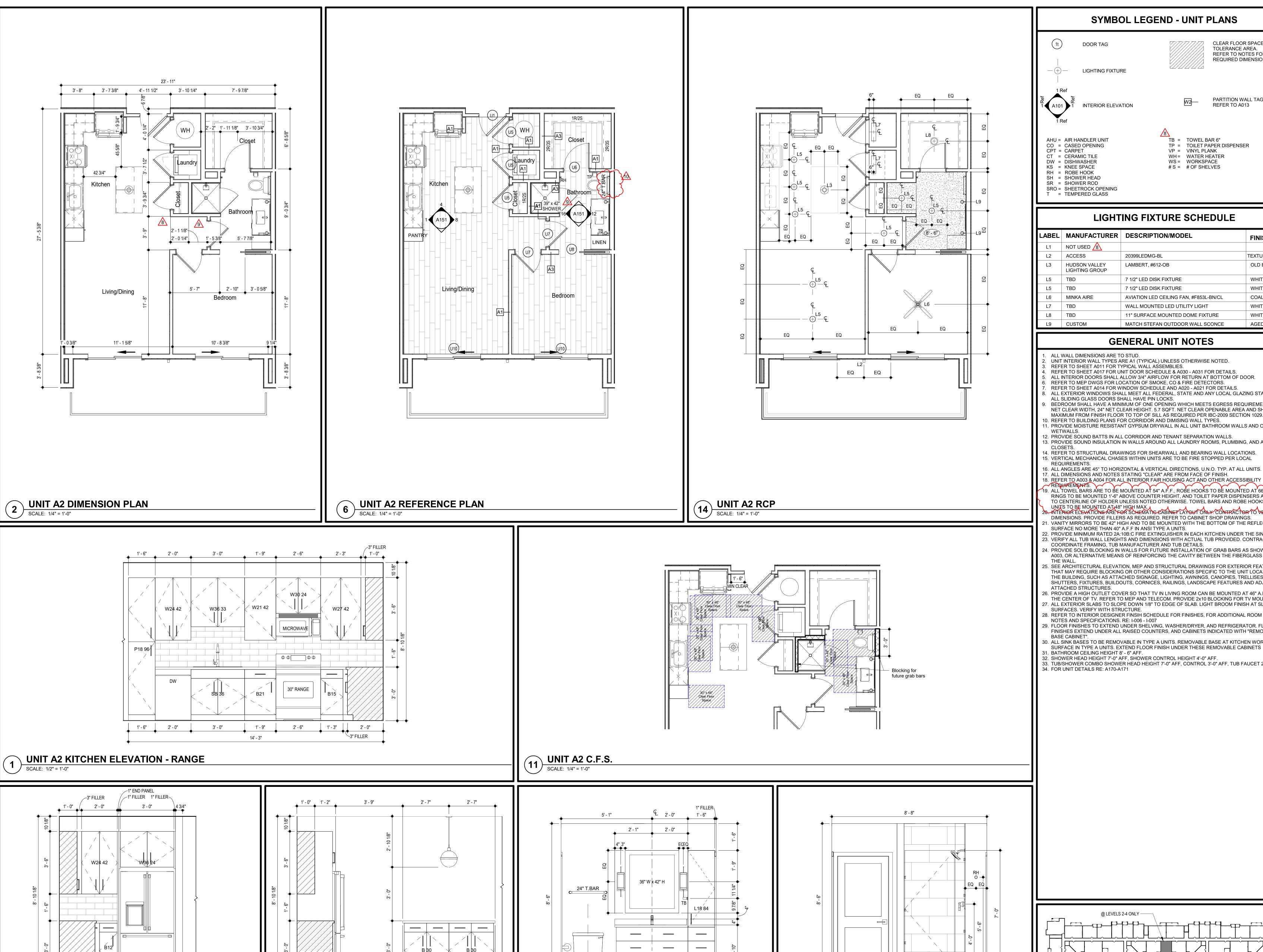
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18-04

UNIT 'A1' PLANS & ELEVATIONS

SHEET NO.

@ LEVELS 2-4 ONLY — UNIT LOCATION PLAN



2' - 0" | 1' - 0" ||

3' - 2"

1" END PANEL

6' - 10 3/4"

2' - 0"

UNIT A2 CASEWORK ELEVATION - REFRIGERATOR

SCALE: 1/2" = 1'-0"

UNIT A2 KITCHEN ELEVATION - ISLAND

SCALE: 1/2" = 1'-0"

3' - 11"

2' - 6"

1" OVERHANG

11' - 1"

2' - 6"

1" OVERHANG-

EQ

1' - 6"

1" FILLER

4' - 0"

1" OVERHANG

UNIT A2 BATHROOM ELEVATION - SINK

SCALE: 1/2" = 1'-0"

8' - 8"

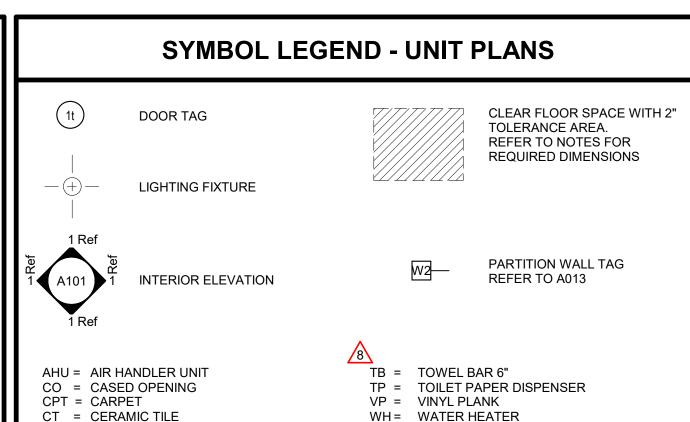
1' - 6"

4' - 0 1/2"

UNIT A2 BATHROOM ELEVATION - SHOWER

SCALE: 1/2" = 1'-0"

3' - 5"



	LIGHTING FIXTURE SCHEDULE			
LABEL	MANUFACTURER	DESCRIPTION/MODEL	FINISH	
L1	NOT USED 8			
L2	ACCESS	20399LEDMG-BL	TEXTURED BLACK	
L3	HUDSON VALLEY LIGHTING GROUP	LAMBERT, #612-OB	OLD BRONZE	
L5	TBD	7 1/2" LED DISK FIXTURE	WHITE TRIM	
L5	TBD	7 1/2" LED DISK FIXTURE	WHITE TRIM	
L6	MINKA AIRE	AVIATION LED CEILING FAN, #F853L-BN/CL	COAL	
L7	TBD	WALL MOUNTED LED UTILITY LIGHT	WHITE TRIM	
L8	TBD	11" SURFACE MOUNTED DOME FIXTURE	WHITE TRIM	
10	CUSTOM	MATCH STEEAN OUTDOOD WALL SCONCE	AGED IPON	

MATCH STEFAN OUTDOOR WALL SCONCE

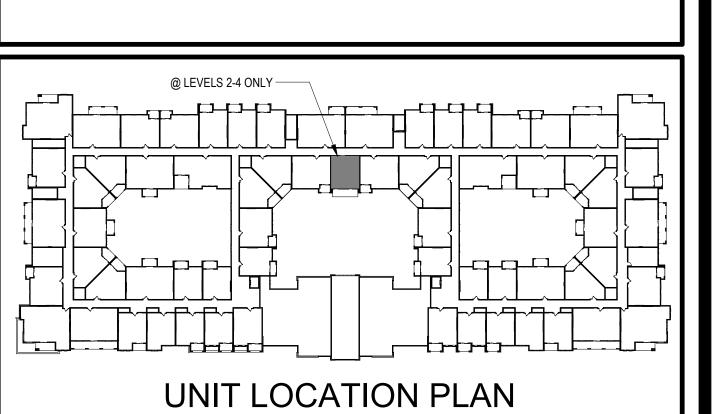
WS = WORKSPACE

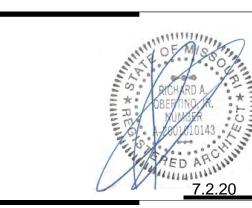
#S = #OF SHELVES

GENERAL UNIT NOTES

- 2. UNIT INTERIOR WALL TYPES ARE A1 (TYPICAL) UNLESS OTHERWISE NOTED. REFER TO SHEET A011 FOR TYPICAL WALL ASSEMBLIES.
- 4. REFER TO SHEET A017 FOR UNIT DOOR SCHEDULE & A030 A031 FOR DETAILS.
- 5. ALL INTERIOR DOORS SHALL ALLOW 3/4" AIRFLOW FOR RETURN AT BOTTOM OF DOOR. REFER TO MEP DWGS FOR LOCATION OF SMOKE, CO & FIRE DETECTORS.
- REFER TO SHEET A014 FOR WINDOW SCHEDULE AND A020 A021 FOR DETAILS. ALL EXTERIOR WINDOWS SHALL MEET ALL FEDERAL, STATE AND ANY LOCAL GLAZING STANDARDS
- ALL SLIDING GLASS DOORS SHALL HAVE PIN LOCKS. BEDROOM SHALL HAVE A MINIMUM OF ONE OPENING WHICH MEETS EGRESS REQUIREMENTS. 20" NET CLEAR WIDTH, 24" NET CLEAR HEIGHT. 5.7 SQFT. NET CLEAR OPENABLE AREA AND SHALL BE 44"
- MAXIMUM FROM FINISH FLOOR TO TOP OF SILL AS REQUIRED PER IBC-2009 SECTION 1029. 0. REFER TO BUILDING PLANS FOR CORRIDOR AND DIMISING WALL TYPES.
- 1. PROVIDE MOISTURE RESISTANT GYPSUM DRYWALL IN ALL UNIT BATHROOM WALLS AND OTHER UNIT
- 12. PROVIDE SOUND BATTS IN ALL CORRIDOR AND TENANT SEPARATION WALLS.
 13. PROVIDE SOUND INSULATION IN WALLS AROUND ALL LAUNDRY ROOMS, PLUMBING, AND ALL HVAC
- 14. REFER TO STRUCTURAL DRAWINGS FOR SHEARWALL AND BEARING WALL LOCATIONS.15. VERTICAL MECHANICAL CHASES WITHIN UNITS ARE TO BE FIRE STOPPED PER LOCAL
- REQUIREMENTS.
- 17. ALL DIMENSIONS AND NOTES STATING "CLEAR" ARE FROM FACE OF FINISH. 18. REFER TO A003 & A004 FOR ALL INTERIOR FAIR HOUSING ACT AND OTHER ACCESSIBILITY
- 19. ALL TOWEL BARS ARE TO BE MOUNTED AT 54" A.F.F., ROBE HOOKS TO BE MOUNTED AT 66", TOWEL
- RINGS TO BE MOUNTED 1'-6" ABOVE COUNTER HEIGHT, AND TOILET PAPER DISPENSERS AT 20" A.F.F. TO CENTERLINE OF HOLDER UNLESS NOTED OTHERWISE. TOWEL BARS AND ROBE HOOKS IN TYPE A UNITS TO BE MOUNTED AT 48" HIGH MAX.

 O. INTERIOR ELEVATIONS ARE FOR SCHEMATIC CABINET LAYOUT ONLY. CONTRACTOR TO VERIFY ALL.
- DIMENSIONS. PROVIDE FILLERS AS REQUIRED. REFER TO CABINET SHOP DRAWINGS. . VANITY MIRRORS TO BE 42" HIGH AND TO BE MOUNTED WITH THE BOTTOM OF THE REFLECTING SURFACE NO MORE THAN 40" A.F.F IN ANSI TYPE A UNITS.
- 2. PROVIDE MINIMUM RATED 2A:10B:C FIRE EXTINGUISHER IN EACH KITCHEN UNDER THE SINK. 23. VERIFY ALL TUB WALL LENGHTS AND DIMENSIONS WITH ACTUAL TUB PROVIDED. CONTRACTOR TO COORDINATE FRAMING, TUB MANUFACTURER AND TUB DETAILS.
- 24. PROVIDE SOLID BLOCKING IN WALLS FOR FUTURE INSTALLATION OF GRAB BARS AS SHOWN ON A003, OR ALTERNATIVE MEANS OF REINFORCING THE CAVITY BETWEEN THE FIBERGLASS TUB AND
- 5. SEE ARCHITECTURAL ELEVATION, MEP AND STRUCTURAL DRAWINGS FOR EXTERIOR FEATURES THAT MAY REQUIRE BLOCKING OR OTHER CONSIDERATIONS SPECIFIC TO THE UNIT LOCATION IN THE BUILDING, SUCH AS ATTACHED SIGNAGE, LIGHTING, AWNINGS, CANOPIES, TRELLISES, SHUTTERS, FIXTURES, BUILDOUTS, CORNICES, RAILINGS, LANDSCAPE FEATURES AND ADJACENT ATTACHED STRUCTURES.
- 26. PROVIDE A HIGH OUTLET COVER SO THAT TV IN LIVING ROOM CAN BE MOUNTED AT 46" A.F.F. TO THE CENTER OF TV. REFER TO MEP AND TELECOM. PROVIDE 2x10 BLOCKING FOR TV MOUNTING.
- 27. ALL EXTERIOR SLABS TO SLOPE DOWN 1/8" TO EDGE OF SLAB. LIGHT BROOM FINISH AT SLOPED SURFACES. VERIFY WITH STRUCTURE. 28. REFER TO INTERIOR DESIGNER FINSIH SCHEDULE FOR FINISHES, FOR ADDITIONAL ROOM FINISH
- 29. FLOOR FINISHES TO EXTEND UNDER SHELVING, WASHER/DRYER, AND REFRIGERATOR. FLOOR FINISHES EXTEND UNDER ALL RAISED COUNTERS, AND CABINETS INDICATED WITH "REMOVABLE
- SURFACE IN TYPE A UNITS. EXTEND FLOOR FINISH UNDER THESE REMOVABLE CABINETS
- 31. BATHROOM CEILING HEIGHT 8' 6" AFF. 32. SHOWER HEAD HEIGHT 7'-0" AFF, SHOWER CONTROL HEIGHT 4'-0" AFF. 33. TUB/SHOWER COMBO SHOWER HEAD HEIGHT 7'-0" AFF, CONTROL 3'-0" AFF, TUB FAUCET 2'-0" AFF.



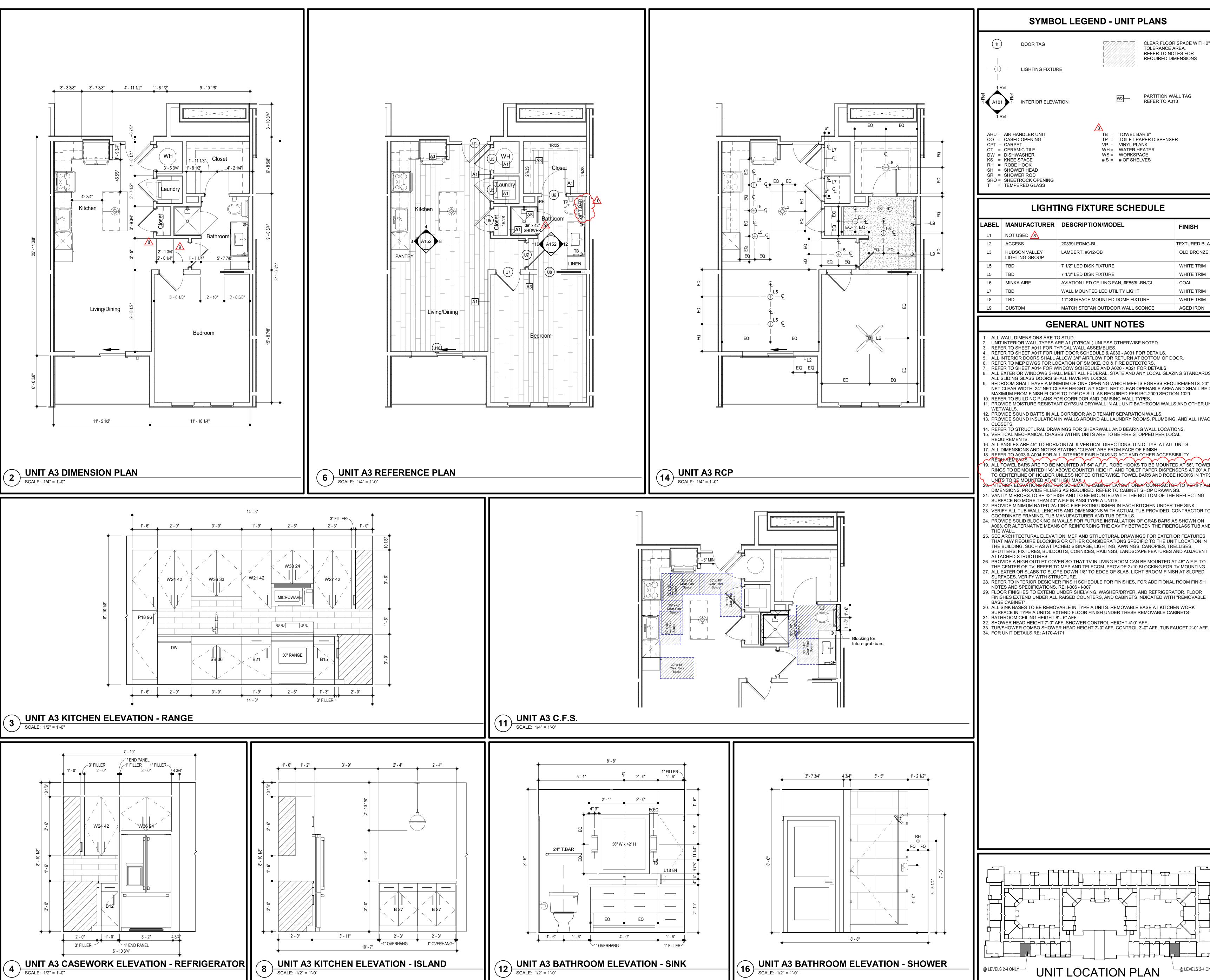


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TR,i PROJECT NO. SHEET NO.

UNIT 'A2' PLANS & ELEVATIONS

DWG BY





DOOR TAG

CLEAR FLOOR SPACE WITH 2" TOLERANCE AREA. REFER TO NOTES FOR REQUIRED DIMENSIONS





PARTITION WALL TAG REFER TO A013

INTERIOR ELEVATION

LIGHTING FIXTURE

TB = TOWEL BAR 6" TP = TOILET PAPER DISPENSER VP = VINYL PLANK WH = WATER HEATER WS = WORKSPACE #S = #OF SHELVES

LIGHTING FIXTURE SCHEDULE

LABEL	MANUFACTURER	DESCRIPTION/MODEL	FINISH	
L1	NOT USED 🔕			
L2	ACCESS	20399LEDMG-BL	TEXTURED BLACK	
L3	HUDSON VALLEY LIGHTING GROUP	LAMBERT, #612-OB	OLD BRONZE	
L5	TBD	7 1/2" LED DISK FIXTURE	WHITE TRIM	
L5	TBD	7 1/2" LED DISK FIXTURE	WHITE TRIM	
L6	MINKA AIRE	AVIATION LED CEILING FAN, #F853L-BN/CL	COAL	
L7	TBD	WALL MOUNTED LED UTILITY LIGHT	WHITE TRIM	
L8	TBD	11" SURFACE MOUNTED DOME FIXTURE	WHITE TRIM	
L9	CUSTOM	MATCH STEFAN OUTDOOR WALL SCONCE	AGED IRON	

GENERAL UNIT NOTES

- UNIT INTERIOR WALL TYPES ARE A1 (TYPICAL) UNLESS OTHERWISE NOTED. REFER TO SHEET A011 FOR TYPICAL WALL ASSEMBLIES.
- REFER TO SHEET A017 FOR UNIT DOOR SCHEDULE & A030 A031 FOR DETAILS.
- ALL INTERIOR DOORS SHALL ALLOW 3/4" AIRFLOW FOR RETURN AT BOTTOM OF DOOR. REFER TO MEP DWGS FOR LOCATION OF SMOKE, CO & FIRE DETECTORS. REFER TO SHEET A014 FOR WINDOW SCHEDULE AND A020 - A021 FOR DETAILS.
- ALL EXTERIOR WINDOWS SHALL MEET ALL FEDERAL, STATE AND ANY LOCAL GLAZING STANDARDS ALL SLIDING GLASS DOORS SHALL HAVE PIN LOCKS.
- NET CLEAR WIDTH, 24" NET CLEAR HEIGHT. 5.7 SQFT. NET CLEAR OPENABLE AREA AND SHALL BE 44" MAXIMUM FROM FINISH FLOOR TO TOP OF SILL AS REQUIRED PER IBC-2009 SECTION 1029.
- D. REFER TO BUILDING PLANS FOR CORRIDOR AND DIMISING WALL TYPES. 1. PROVIDE MOISTURE RESISTANT GYPSUM DRYWALL IN ALL UNIT BATHROOM WALLS AND OTHER UNIT
- PROVIDE SOUND BATTS IN ALL CORRIDOR AND TENANT SEPARATION WALLS. 13. PROVIDE SOUND INSULATION IN WALLS AROUND ALL LAUNDRY ROOMS, PLUMBING, AND ALL HVAC
- 14. REFER TO STRUCTURAL DRAWINGS FOR SHEARWALL AND BEARING WALL LOCATIONS.
- 15. VERTICAL MECHANICAL CHASES WITHIN UNITS ARE TO BE FIRE STOPPED PER LOCAL 16. ALL ANGLES ARE 45° TO HORIZONTAL & VERTICAL DIRECTIONS, U.N.O. TYP. AT ALL UNITS.
- 17. ALL DIMENSIONS AND NOTES STATING "CLEAR" ARE FROM FACE OF FINISH.

 18. REFER TO A003 & A004 FOR ALL INTERIOR FAIR HOUSING ACT AND OTHER ACCESSIBILITY REQUIREMENTS.
- 9. ALL TOWEL BARS ARE TO BE MOUNTED AT 54" A.F.F., ROBE HOOKS TO BE MOUNTED AT 66", TOWE RINGS TO BE MOUNTED 1'-6" ABOVE COUNTER HEIGHT, AND TOILET PAPER DISPENSERS AT 20" A.F.F. TO CENTERLINE OF HOLDER UNLESS NOTED OTHERWISE. TOWEL BARS AND ROBE HOOKS IN TYPE A
- UNITS TO BE MOUNTED AT 48" HIGH MAX. DIMENSIONS. PROVIDE FILLERS AS REQUIRED. REFER TO CABINET SHOP DRAWINGS.
- . VANITY MIRRORS TO BE 42" HIGH AND TO BE MOUNTED WITH THE BOTTOM OF THE REFLECTING SURFACE NO MORE THAN 40" A.F.F IN ANSI TYPE A UNITS. 2. PROVIDE MINIMUM RATED 2A:10B:C FIRE EXTINGUISHER IN EACH KITCHEN UNDER THE SINK.
- 3. VERIFY ALL TUB WALL LENGHTS AND DIMENSIONS WITH ACTUAL TUB PROVIDED. CONTRACTOR TO COORDINATE FRAMING, TUB MANUFACTURER AND TUB DETAILS.
- PROVIDE SOLID BLOCKING IN WALLS FOR FUTURE INSTALLATION OF GRAB BARS AS SHOWN ON A003, OR ALTERNATIVE MEANS OF REINFORCING THE CAVITY BETWEEN THE FIBERGLASS TUB AND
- 5. SEE ARCHITECTURAL ELEVATION, MEP AND STRUCTURAL DRAWINGS FOR EXTERIOR FEATURES THAT MAY REQUIRE BLOCKING OR OTHER CONSIDERATIONS SPECIFIC TO THE UNIT LOCATION IN THE BUILDING, SUCH AS ATTACHED SIGNAGE, LIGHTING, AWNINGS, CANOPIES, TRELLISES, SHUTTERS, FIXTURES, BUILDOUTS, CORNICES, RAILINGS, LANDSCAPE FEATURES AND ADJACENT ATTACHED STRUCTURES.
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- SURFACES. VERIFY WITH STRUCTURE. 28. REFER TO INTERIOR DESIGNER FINSIH SCHEDULE FOR FINISHES, FOR ADDITIONAL ROOM FINISH NOTES AND SPECIFICATIONS. RE: I-006 - I-007
- 29. FLOOR FINISHES TO EXTEND UNDER SHELVING, WASHER/DRYER, AND REFRIGERATOR. FLOOR FINISHES EXTEND UNDER ALL RAISED COUNTERS, AND CABINETS INDICATED WITH "REMOVABLE
- 30. ALL SINK BASES TO BE REMOVABLE IN TYPE A UNITS. REMOVABLE BASE AT KITCHEN WORK SURFACE IN TYPE A UNITS. EXTEND FLOOR FINISH UNDER THESE REMOVABLE CABINETS 31. BATHROOM CEILING HEIGHT 8' - 6" AFF.
- 32. SHOWER HEAD HEIGHT 7'-0" AFF, SHOWER CONTROL HEIGHT 4'-0" AFF.
 33. TUB/SHOWER COMBO SHOWER HEAD HEIGHT 7'-0" AFF, CONTROL 3'-0" AFF, TUB FAUCET 2'-0" AFF. 34. FOR UNIT DETAILS RE: A170-A171

-@ LEVELS 2-4 ONLY

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UNIT LOCATION PLAN

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DWG BY TR,i PROJECT NO.

SHEET NO. UNIT 'A3' PLANS & ELEVATIONS



1' - 6" 1' - 6"

UNIT A4 BATHROOM ELEVATION - SINK

SCALE: 1/2" = 1'-0"

1" OVERHANG 8' - 8"

1" OVERHANG

`_1" OVERHANG

8 UNIT A4 KITCHEN ELEVATION - ISLAND

1' - 6"

8' - 8"

UNIT A4 BATHROOM ELEVATION - SHOWER

SCALE: 1/2" = 1'-0"

2' - 0" 1' - 0" 3' - 2" 3" FILLER 1" END PANEL

UNIT A4 KITCHEN ELEVATION - REFRIGERATOR

SCALE: 1/2" = 1'-0"

2' - 0"

SCALE: 1/2" = 1'-0"

SYMBOL LEGEND - UNIT PLANS

DOOR TAG

CLEAR FLOOR SPACE WITH 2" TOLERANCE AREA. REFER TO NOTES FOR REQUIRED DIMENSIONS

COAL

WHITE TRIM

WHITE TRIM

AGED IRON



LIGHTING FIXTURE

PARTITION WALL TAG REFER TO A013

AHU = AIR HANDLER UNIT

- TB = TOWEL BAR 6" TP = TOILET PAPER DISPENSER
- CPT = CARPET CT = CERAMIC TILE DW = DISHWASHER KS = KNEE SPACE

MINKA AIRE

TBD

TBD

- RH = ROBE HOOK SH = SHOWER HEAD SR = SHOWER ROD SRO = SHEETROCK OPENING
- VP = VINYL PLANK WH = WATER HEATER WS = WORKSPACE #S = #OF SHELVES

LIGHTING FIXTURE SCHEDULE LABEL MANUFACTURER DESCRIPTION/MODEL **FINISH** NOT USED /8 TEXTURED BLAC ACCESS 20399LEDMG-BL OLD BRONZE L3 HUDSON VALLEY LAMBERT, #612-OB LIGHTING GROUP WHITE TRIM 7 1/2" LED DISK FIXTURE TBD 7 1/2" LED DISK FIXTURE WHITE TRIM

AVIATION LED CEILING FAN, #F853L-BN/CL

11" SURFACE MOUNTED DOME FIXTURE

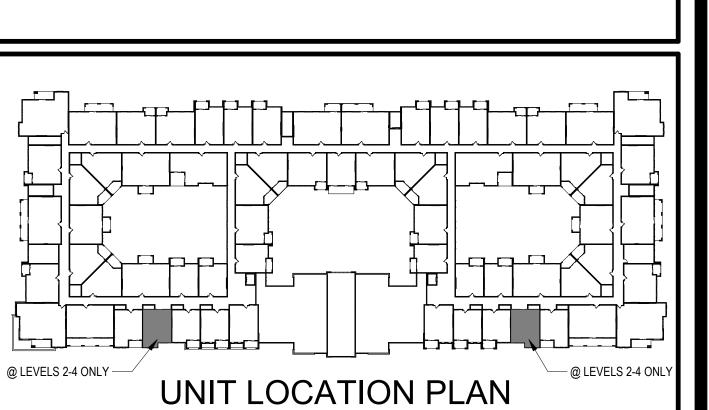
MATCH STEFAN OUTDOOR WALL SCONCE

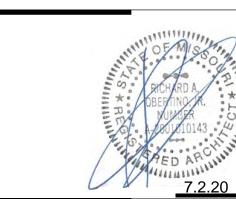
WALL MOUNTED LED UTILITY LIGHT

GENERAL UNIT NOTES

- ALL WALL DIMENSIONS ARE TO STUD. UNIT INTERIOR WALL TYPES ARE A1 (TYPICAL) UNLESS OTHERWISE NOTED.
- REFER TO SHEET A011 FOR TYPICAL WALL ASSEMBLIES.
- . REFER TO SHEET A017 FOR UNIT DOOR SCHEDULE & A030 A031 FOR DETAILS. ALL INTERIOR DOORS SHALL ALLOW 3/4" AIRFLOW FOR RETURN AT BOTTOM OF DOOR.
- REFER TO MEP DWGS FOR LOCATION OF SMOKE, CO & FIRE DETECTORS. REFER TO SHEET A014 FOR WINDOW SCHEDULE AND A020 - A021 FOR DETAILS.
- ALL EXTERIOR WINDOWS SHALL MEET ALL FEDERAL, STATE AND ANY LOCAL GLAZING STANDARDS ALL SLIDING GLASS DOORS SHALL HAVE PIN LOCKS. BEDROOM SHALL HAVE A MINIMUM OF ONE OPENING WHICH MEETS EGRESS REQUIREMENTS. 20"
- MAXIMUM FROM FINISH FLOOR TO TOP OF SILL AS REQUIRED PER IBC-2009 SECTION 1029. 0. REFER TO BUILDING PLANS FOR CORRIDOR AND DIMISING WALL TYPES.
- 1. PROVIDE MOISTURE RESISTANT GYPSUM DRYWALL IN ALL UNIT BATHROOM WALLS AND OTHER UNIT 2. PROVIDE SOUND BATTS IN ALL CORRIDOR AND TENANT SEPARATION WALLS.
- 13. PROVIDE SOUND INSULATION IN WALLS AROUND ALL LAUNDRY ROOMS, PLUMBING, AND ALL HVAC
- 14. REFER TO STRUCTURAL DRAWINGS FOR SHEARWALL AND BEARING WALL LOCATIONS.15. VERTICAL MECHANICAL CHASES WITHIN UNITS ARE TO BE FIRE STOPPED PER LOCAL
- 16. ALL ANGLES ARE 45° TO HORIZONTAL & VERTICAL DIRECTIONS, U.N.O. TYP. AT ALL UNITS.
 17. ALL DIMENSIONS AND NOTES STATING "CLEAR" ARE FROM FACE OF FINISH.
 18. REFER TO A003 & A004 FOR ALL INTERIOR FAIR HOUSING ACT AND OTHER ACCESSIBILITY
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 19. ALL TOWEL BARS ARE TO BE MOUNTED AT 54" A.F.F., ROBE HOOKS TO BE MOUNTED AT 66", TOWEL RINGS TO BE MOUNTED 1'-6" ABOVE COUNTER HEIGHT, AND TOILET PAPER DISPENSERS AT 20" A.F.F. TO CENTERLINE OF HOLDER UNLESS NOTED OTHERWISE. TOWEL BARS AND ROBE HOOKS IN TYPE A
- UNITS TO BE MOUNTED AT 48" HIGH MAX. , 20. INTERIOR ELEVATIONS ARE FOR SCHEMATIC CABINET LAYOUT ONLY. CONTRACTOR TO VERIFY ALL DIMENSIONS. PROVIDE FILLERS AS REQUIRED. REFER TO CABINET SHOP DRAWINGS. VANITY MIRRORS TO BE 42" HIGH AND TO BE MOUNTED WITH THE BOTTOM OF THE REFLECTING
- SURFACE NO MORE THAN 40" A.F.F IN ANSI TYPE A UNITS. 22. PROVIDE MINIMUM RATED 2A:10B:C FIRE EXTINGUISHER IN EACH KITCHEN UNDER THE SINK. 23. VERIFY ALL TUB WALL LENGHTS AND DIMENSIONS WITH ACTUAL TUB PROVIDED. CONTRACTOR TO
- COORDINATE FRAMING, TUB MANUFACTURER AND TUB DETAILS. 4. PROVIDE SOLID BLOCKING IN WALLS FOR FUTURE INSTALLATION OF GRAB BARS AS SHOWN ON A003, OR ALTERNATIVE MEANS OF REINFORCING THE CAVITY BETWEEN THE FIBERGLASS TUB AND
- 5. SEE ARCHITECTURAL ELEVATION, MEP AND STRUCTURAL DRAWINGS FOR EXTERIOR FEATURES THAT MAY REQUIRE BLOCKING OR OTHER CONSIDERATIONS SPECIFIC TO THE UNIT LOCATION IN THE BUILDING, SUCH AS ATTACHED SIGNAGE, LIGHTING, AWNINGS, CANOPIES, TRELLISES, SHUTTERS, FIXTURES, BUILDOUTS, CORNICES, RAILINGS, LANDSCAPE FEATURES AND ADJACENT ATTACHED STRUCTURES.
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- SURFACES. VERIFY WITH STRUCTURE. 28. REFER TO INTERIOR DESIGNER FINSIH SCHEDULE FOR FINISHES, FOR ADDITIONAL ROOM FINISH
- NOTES AND SPECIFICATIONS. RE: I-006 I-007 29. FLOOR FINISHES TO EXTEND UNDER SHELVING, WASHER/DRYER, AND REFRIGERATOR. FLOOR FINISHES EXTEND UNDER ALL RAISED COUNTERS, AND CABINETS INDICATED WITH "REMOVABLE
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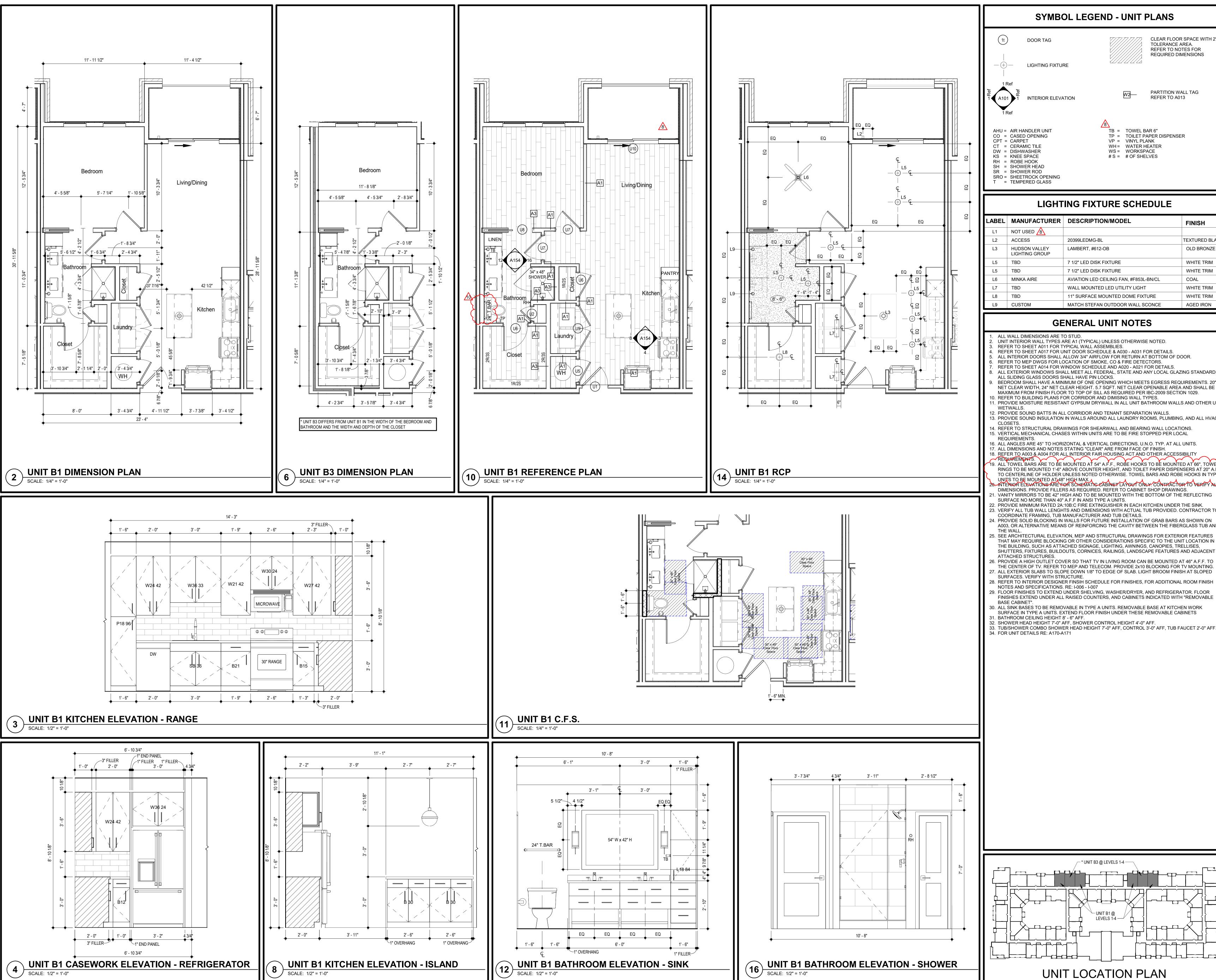
940 NW Pryor Roa ee's Summit, Missouri

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4.24.2020 9 REVISION 4 7.2.2020 10 REVISION 5

DWG BY TR,i PROJECT NO.

SHEET NO. **UNIT 'A4' PLANS & ELEVATIONS**



SYMBOL LEGEND - UNIT PLANS

DOOR TAG

LIGHTING FIXTURE

CLEAR FLOOR SPACE WITH 2" TOLERANCE AREA. REFER TO NOTES FOR REQUIRED DIMENSIONS



- PARTITION WALL TAG REFER TO A013

- CPT = CARPET CT = CERAMIC TILE DW = DISHWASHER KS = KNEE SPACE
- RH = ROBE HOOK SH = SHOWER HEAD SR = SHOWER ROD SRO = SHEETROCK OPENING
- TP = TOILET PAPER DISPENSER VP = VINYL PLANK WH = WATER HEATER WS = WORKSPACE #S = #OF SHELVES

TB = TOWEL BAR 6"

LIGHTING FIXTURE SCHEDULE **FINISH** 20399LEDMG-BL LAMBERT, #612-OB 7 1/2" LED DISK FIXTURE

LABEL MANUFACTURER DESCRIPTION/MODEL NOT USED /8 ACCESS TEXTURED BLAC OLD BRONZE HUDSON VALLEY LIGHTING GROUP WHITE TRIM L5 TBD 7 1/2" LED DISK FIXTURE WHITE TRIM MINKA AIRE AVIATION LED CEILING FAN, #F853L-BN/CL COAL WHITE TRIM WALL MOUNTED LED UTILITY LIGHT 11" SURFACE MOUNTED DOME FIXTURE WHITE TRIM L9 CUSTOM MATCH STEFAN OUTDOOR WALL SCONCE AGED IRON

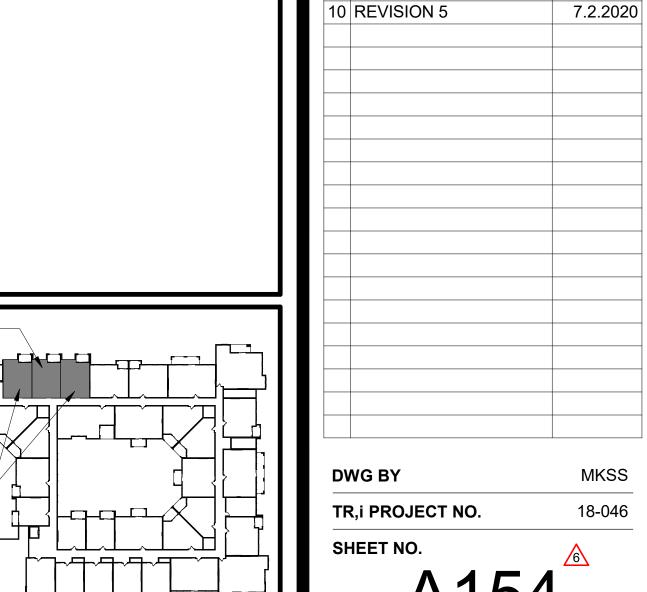
GENERAL UNIT NOTES

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- ALL EXTERIOR WINDOWS SHALL MEET ALL FEDERAL, STATE AND ANY LOCAL GLAZING STANDARDS. ALL SLIDING GLASS DOORS SHALL HAVE PIN LOCKS.
- BEDROOM SHALL HAVE A MINIMUM OF ONE OPENING WHICH MEETS EGRESS REQUIREMENTS. 20" NET CLEAR WIDTH, 24" NET CLEAR HEIGHT. 5.7 SQFT. NET CLEAR OPENABLE AREA AND SHALL BE 44"
- MAXIMUM FROM FINISH FLOOR TO TOP OF SILL AS REQUIRED PER IBC-2009 SECTION 1029.). REFER TO BUILDING PLANS FOR CORRIDOR AND DIMISING WALL TYPES. 1. PROVIDE MOISTURE RESISTANT GYPSUM DRYWALL IN ALL UNIT BATHROOM WALLS AND OTHER UNIT
- 12. PROVIDE SOUND BATTS IN ALL CORRIDOR AND TENANT SEPARATION WALLS.
- 13. PROVIDE SOUND INSULATION IN WALLS AROUND ALL LAUNDRY ROOMS, PLUMBING, AND ALL HVAC 14. REFER TO STRUCTURAL DRAWINGS FOR SHEARWALL AND BEARING WALL LOCATIONS.
- 15. VERTICAL MECHANICAL CHASES WITHIN UNITS ARE TO BE FIRE STOPPED PER LOCAL REQUIREMENTS.
- 6. ALL ANGLES ARE 45° TO HORIZONTAL & VERTICAL DIRECTIONS, U.N.O. TYP. AT ALL UNITS. 7. ALL DIMENSIONS AND NOTES STATING "CLEAR" ARE FROM FACE OF FINISH. 18. REFER TO A003 & A004 FOR ALL INTERIOR FAIR HOUSING ACT AND OTHER ACCESSIBILITY
- 9. ALL TOWEL BARS ARE TO BE MOUNTED AT 54" A.F.F., ROBE HOOKS TO BE MOUNTED AT 66", TOWEL RINGS TO BE MOUNTED 1'-6" ABOVE COUNTER HEIGHT, AND TOILET PAPER DISPENSERS AT 20" A.F.F. TO CENTERLINE OF HOLDER UNLESS NOTED OTHERWISE. TOWEL BARS AND ROBE HOOKS IN TYPE A UNITS TO BE MOUNTED AT 48" HIGH MAX. 20-10 TERIOR ELEVATIONS ARE FOR SCHEMATIC CABINET LAYOUT ONLY. CONTRACTOR TO VERIFY ALL
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- 22. PROVIDE MINIMUM RATED 2A:10B:C FIRE EXTINGUISHER IN EACH KITCHEN UNDER THE SINK. $23.\,$ VERIFY ALL TUB WALL LENGHTS AND DIMENSIONS WITH ACTUAL TUB PROVIDED. CONTRACTOR TO COORDINATE FRAMING, TUB MANUFACTURER AND TUB DETAILS. 24. PROVIDE SOLID BLOCKING IN WALLS FOR FUTURE INSTALLATION OF GRAB BARS AS SHOWN ON
- A003, OR ALTERNATIVE MEANS OF REINFORCING THE CAVITY BETWEEN THE FIBERGLASS TUB AND 25. SEE ARCHITECTURAL ELEVATION, MEP AND STRUCTURAL DRAWINGS FOR EXTERIOR FEATURES THAT MAY REQUIRE BLOCKING OR OTHER CONSIDERATIONS SPECIFIC TO THE UNIT LOCATION IN THE BUILDING, SUCH AS ATTACHED SIGNAGE, LIGHTING, AWNINGS, CANOPIES, TRELLISES,
- ATTACHED STRUCTURES. 26. PROVIDE A HIGH OUTLET COVER SO THAT TV IN LIVING ROOM CAN BE MOUNTED AT 46" A.F.F. TO THE CENTER OF TV. REFER TO MEP AND TELECOM. PROVIDE 2x10 BLOCKING FOR TV MOUNTING.
- 7. ALL EXTERIOR SLABS TO SLOPE DOWN 1/8" TO EDGE OF SLAB. LIGHT BROOM FINISH AT SLOPED SURFACES. VERIFY WITH STRUCTURE. 28. REFER TO INTERIOR DESIGNER FINSIH SCHEDULE FOR FINISHES, FOR ADDITIONAL ROOM FINISH
- NOTES AND SPECIFICATIONS. RE: I-006 I-007 29. FLOOR FINISHES TO EXTEND UNDER SHELVING, WASHER/DRYER, AND REFRIGERATOR. FLOOR FINISHES EXTEND UNDER ALL RAISED COUNTERS, AND CABINETS INDICATED WITH "REMOVABLE
- 30. ALL SINK BASES TO BE REMOVABLE IN TYPE A UNITS. REMOVABLE BASE AT KITCHEN WORK SURFACE IN TYPE A UNITS. EXTEND FLOOR FINISH UNDER THESE REMOVABLE CABINETS

└─ UNIT B1 @ LEVELS 1-4 ---

UNIT LOCATION PLAN

32. SHOWER HEAD HEIGHT 7'-0" AFF, SHOWER CONTROL HEIGHT 4'-0" AFF. 33. TUB/SHOWER COMBO SHOWER HEAD HEIGHT 7'-0" AFF, CONTROL 3'-0" AFF, TUB FAUCET 2'-0" AFF.



ARCHITECTS

T: 314-395-9750 F: 314-395-9751

7.29.19

7.29.19

12.20.19

4.3.2020

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REVISIONS /#\

REVISION 1 REVISION 3

SHELL PACKAGE

UNIT 'B1' & 'B3' PLANS & ELEVATIONS



UNIT B2 BATHROOM ELEVATION - SINK

UNIT B2 BA

SCALE: 1/2" = 1'-0"

8 UNIT B2 KITCHEN ELEVATION ISLAND
SCALE: 1/2" = 1'-0"

√ UNIT B2 KITCHEN ELEVATION - REFRIGERATOR 📗

SCALE: 1/2" = 1'-0"



DOOR TAG

LIGHTING FIXTURE



CLEAR FLOOR SPACE WITH 2" TOLERANCE AREA. REFER TO NOTES FOR REQUIRED DIMENSIONS







PARTITION WALL TAG REFER TO A013

TB = TOWEL BAR 6"

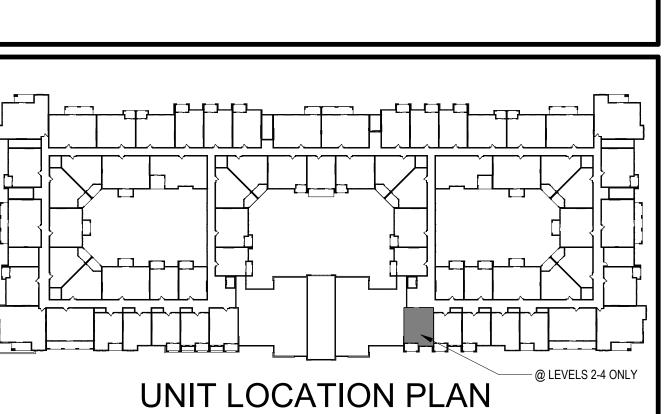
- CPT = CARPET CT = CERAMIC TILE DW = DISHWASHER KS = KNEE SPACE RH = ROBE HOOK SH = SHOWER HEAD SR = SHOWER ROD
- TP = TOILET PAPER DISPENSER VP = VINYL PLANK WH = WATER HEATER WS = WORKSPACE #S = #OF SHELVES

LIGHTING FIXTURE SCHEDULE

LABEL	MANUFACTURER	DESCRIPTION/MODEL	FINISH
L1	NOT USED 8		
L2	ACCESS	20399LEDMG-BL	TEXTURED BLACK
L3	HUDSON VALLEY LIGHTING GROUP	LAMBERT, #612-OB	OLD BRONZE
L5	TBD	7 1/2" LED DISK FIXTURE	WHITE TRIM
L5	TBD	7 1/2" LED DISK FIXTURE	WHITE TRIM
L6	MINKA AIRE	AVIATION LED CEILING FAN, #F853L-BN/CL	COAL
L7	TBD	WALL MOUNTED LED UTILITY LIGHT	WHITE TRIM
L8	TBD	11" SURFACE MOUNTED DOME FIXTURE	WHITE TRIM
L9	CUSTOM	MATCH STEFAN OUTDOOR WALL SCONCE	AGED IRON

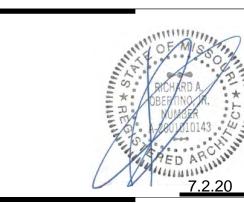
GENERAL UNIT NOTES

- ALL WALL DIMENSIONS ARE TO STUD. UNIT INTERIOR WALL TYPES ARE A1 (TYPICAL) UNLESS OTHERWISE NOTED.
- REFER TO SHEET A017 FOR UNIT DOOR SCHEDULE & A030 A031 FOR DETAILS. ALL INTERIOR DOORS SHALL ALLOW 3/4" AIRFLOW FOR RETURN AT BOTTOM OF DOOR.
- . REFER TO MEP DWGS FOR LOCATION OF SMOKE, CO & FIRE DETECTORS. REFER TO SHEET A014 FOR WINDOW SCHEDULE AND A020 - A021 FOR DETAILS.
- 3. ALL EXTERIOR WINDOWS SHALL MEET ALL FEDERAL, STATE AND ANY LOCAL GLAZING STANDARDS ALL SLIDING GLASS DOORS SHALL HAVE PIN LOCKS.
- BEDROOM SHALL HAVE A MINIMUM OF ONE OPENING WHICH MEETS EGRESS REQUIREMENTS. 20" NET CLEAR WIDTH, 24" NET CLEAR HEIGHT. 5.7 SQFT. NET CLEAR OPENABLE AREA AND SHALL BE 44" MAXIMUM FROM FINISH FLOOR TO TOP OF SILL AS REQUIRED PER IBC-2009 SECTION 1029.
- . REFER TO BUILDING PLANS FOR CORRIDOR AND DIMISING WALL TYPES. PROVIDE MOISTURE RESISTANT GYPSUM DRYWALL IN ALL UNIT BATHROOM WALLS AND OTHER UNIT
- WETWALLS. . PROVIDE SOUND BATTS IN ALL CORRIDOR AND TENANT SEPARATION WALLS.
- 13. PROVIDE SOUND INSULATION IN WALLS AROUND ALL LAUNDRY ROOMS, PLUMBING, AND ALL HVAC
- 14. REFER TO STRUCTURAL DRAWINGS FOR SHEARWALL AND BEARING WALL LOCATIONS. 15. VERTICAL MECHANICAL CHASES WITHIN UNITS ARE TO BE FIRE STOPPED PER LOCAL
- 16. ALL ANGLES ARE 45° TO HORIZONTAL & VERTICAL DIRECTIONS, U.N.O. TYP. AT ALL UNITS. 7. ALL DIMENSIONS AND NOTES STATING "CLEAR" ARE FROM FACE OF FINISH.
- . ALL TOWEL BARS ARE TO BE MOUNTED AT 54" A.F.F., ROBE HOOKS TO BE MOUNTED AT 66", TOWE RINGS TO BE MOUNTED 1'-6" ABOVE COUNTER HEIGHT, AND TOILET PAPER DISPENSERS AT 20" A.F. TO CENTERLINE OF HOLDER UNLESS NOTED OTHERWISE. TOWEL BARS AND ROBE HOOKS IN TYPE A
- UNITS TO BE MOUNTED AT 48" HIGH MAX. 20-INTERIOR ELEVATIONS ARE FOR SCHEMATIC CABINET LAYOUT ONLY. CONTRACTOR TO VERIFY ALL DIMENSIONS. PROVIDE FILLERS AS REQUIRED. REFER TO CABINET SHOP DRAWINGS. VANITY MIRRORS TO BE 42" HIGH AND TO BE MOUNTED WITH THE BOTTOM OF THE REFLECTING
- SURFACE NO MORE THAN 40" A.F.F IN ANSI TYPE A UNITS. . PROVIDE MINIMUM RATED 2A:10B:C FIRE EXTINGUISHER IN EACH KITCHEN UNDER THE SINK. . VERIFY ALL TUB WALL LENGHTS AND DIMENSIONS WITH ACTUAL TUB PROVIDED. CONTRACTOR TO COORDINATE FRAMING, TUB MANUFACTURER AND TUB DETAILS.
- PROVIDE SOLID BLOCKING IN WALLS FOR FUTURE INSTALLATION OF GRAB BARS AS SHOWN ON A003, OR ALTERNATIVE MEANS OF REINFORCING THE CAVITY BETWEEN THE FIBERGLASS TUB AND 5. SEE ARCHITECTURAL ELEVATION, MEP AND STRUCTURAL DRAWINGS FOR EXTERIOR FEATURES
- THAT MAY REQUIRE BLOCKING OR OTHER CONSIDERATIONS SPECIFIC TO THE UNIT LOCATION IN THE BUILDING, SUCH AS ATTACHED SIGNAGE, LIGHTING, AWNINGS, CANOPIES, TRELLISES, SHUTTERS, FIXTURES, BUILDOUTS, CORNICES, RAILINGS, LANDSCAPE FEATURES AND ADJACENT ATTACHED STRUCTURES. . PROVIDE A HIGH OUTLET COVER SO THAT TV IN LIVING ROOM CAN BE MOUNTED AT 46" A.F.F. TO
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- NOTES AND SPECIFICATIONS. RE: I-006 I-007 9. FLOOR FINISHES TO EXTEND UNDER SHELVING, WASHER/DRYER, AND REFRIGERATOR. FLOOR FINISHES EXTEND UNDER ALL RAISED COUNTERS, AND CABINETS INDICATED WITH "REMOVABLE
- SURFACE IN TYPE A UNITS. EXTEND FLOOR FINISH UNDER THESE REMOVABLE CABINETS . BATHROOM CEILING HEIGHT 8' - 6" AFF. 2. SHOWER HEAD HEIGHT 7'-0" AFF, SHOWER CONTROL HEIGHT 4'-0" AFF.



UNIT B2 BATHROOM ELEVATION - SHOWER

SCALE: 1/2" = 1'-0"



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UNIT 'B2' PLANS & ELEVATIONS



UNIT B2 - SCALE: 1/2" = 1'-0"

REMOVABLE

UNIT B2 - TYPE A BATHROOM ELEVATION - SINK

SCALE: 1/2" = 1'-0"

SCALE: 1/2" = 1'-0"

UNIT B2 - TYPE A BATHROOM ELEVATION -

11' - 7 1/2"

UNIT B2 - TYPE A KITCHEN ELEVATION ISLAND

1 1/2" END PANEL 1" END PANEL

UNIT B2 - TYPE A KITCHEN ELEVATION -

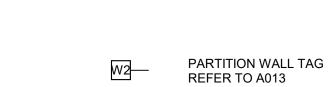
• REFRIGERATOR

SCALE: 1/2" = 1'-0"



CLEAR FLOOR SPACE WITH 2" DOOR TAG TOLERANCE AREA. REFER TO NOTES FOR REQUIRED DIMENSIONS LIGHTING FIXTURE





AHU = AIR HANDLER UNIT CO = CASED OPENING CPT = CARPET CT = CERAMIC TILE DW = DISHWASHER KS = KNEE SPACE

TB = TOWEL BAR 6" TP = TOILET PAPER DISPENSER VP = VINYL PLANK WH = WATER HEATER WS = WORKSPACE #S = #OF SHELVES

LIGHTING FIXTURE SCHEDULE				
MANUFACTURER	DESCRIPTION/MODEL	FINISH		
NOT USED 💰				
ACCESS	20399LEDMG-BL	TEXTURED BLACK		
HUDSON VALLEY LIGHTING GROUP	LAMBERT, #612-OB	OLD BRONZE		
TBD	7 1/2" LED DISK FIXTURE	WHITE TRIM		
TBD	7 1/2" LED DISK FIXTURE	WHITE TRIM		
MINKA AIRE	AVIATION LED CEILING FAN, #F853L-BN/CL	COAL		
TBD	WALL MOUNTED LED UTILITY LIGHT	WHITE TRIM		
·				

11" SURFACE MOUNTED DOME FIXTURE

MATCH STEFAN OUTDOOR WALL SCONCE

WHITE TRIM

AGED IRON

GENERAL UNIT NOTES

ALL WALL DIMENSIONS ARE TO STUD.
 UNIT INTERIOR WALL TYPES ARE A1 (TYPICAL) UNLESS OTHERWISE NOTED.

REFER TO SHEET A011 FOR TYPICAL WALL ASSEMBLIES.

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- 11. PROVIDE MOISTURE RESISTANT GYPSUM DRYWALL IN ALL UNIT BATHROOM WALLS AND OTHER UNIT
- 12. PROVIDE SOUND BATTS IN ALL CORRIDOR AND TENANT SEPARATION WALLS. 13. PROVIDE SOUND INSULATION IN WALLS AROUND ALL LAUNDRY ROOMS, PLUMBING, AND ALL HVAC
- 14. REFER TO STRUCTURAL DRAWINGS FOR SHEARWALL AND BEARING WALL LOCATIONS. 15. VERTICAL MECHANICAL CHASES WITHIN UNITS ARE TO BE FIRE STOPPED PER LOCAL
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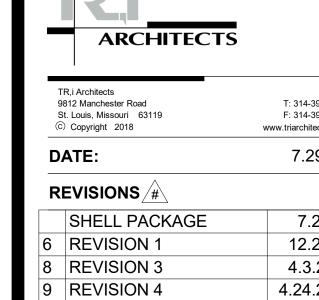
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- 29. FLOOR FINISHES TO EXTEND UNDER SHELVING, WASHER/DRYER, AND REFRIGERATOR. FLOOR FINISHES EXTEND UNDER ALL RAISED COUNTERS, AND CABINETS INDICATED WITH "REMOVABLE BASE CABINET".
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DWG BY TR,i PROJECT NO.

UNIT LOCATION PLAN

UNIT 'B2-TYPE A' PLANS & _ELEVATIONS_



SHEET NO.



UNIT C1 KITCHEN ELEVATION - SINK

SCALE: 1/2" = 1'-0"

UNIT C1 KITCHEN ELEVATION - REFRIGERATOR

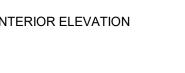
| SCALE: 1/2" = 1'-0" | SCALE: 1/2" = 1'-0" | SCALE: 1/2" = 1'-0"



CLEAR FLOOR SPACE WITH 2" DOOR TAG TOLERANCE AREA. REFER TO NOTES FOR REQUIRED DIMENSIONS LIGHTING FIXTURE

INTERIOR ELEVATION

PARTITION WALL TAG



- AHU = AIR HANDLER UNIT CO = CASED OPENING CPT = CARPET CT = CERAMIC TILE
- DW = DISHWASHER KS = KNEE SPACE
- RH = ROBE HOOK SH = SHOWER HEAD SR = SHOWER ROD SRO = SHEETROCK OPENING

REFER TO A013

AGED IRON

- TB = TOWEL BAR 6" TP = TOILET PAPER DISPENSER VP = VINYL PLANK WH = WATER HEATER
- WS = WORKSPACE #S = #OF SHELVES

LIGHTING FIXTURE SCHEDULE			
LABEL	MANUFACTURER	DESCRIPTION/MODEL	FINISH
L1	NOT USED 🔕		
L2	ACCESS	20399LEDMG-BL	TEXTURED BLACK
L3	HUDSON VALLEY LIGHTING GROUP	LAMBERT, #612-OB	OLD BRONZE
L5	TBD	7 1/2" LED DISK FIXTURE	WHITE TRIM
L5	TBD	7 1/2" LED DISK FIXTURE	WHITE TRIM
L6	MINKA AIRE	AVIATION LED CEILING FAN, #F853L-BN/CL	COAL
L7	TBD	WALL MOUNTED LED UTILITY LIGHT	WHITE TRIM
L8	TBD	11" SURFACE MOUNTED DOME FIXTURE	WHITE TRIM

GENERAL UNIT NOTES

- . ALL WALL DIMENSIONS ARE TO STUD. . UNIT INTERIOR WALL TYPES ARE A1 (TYPICAL) UNLESS OTHERWISE NOTED.
- REFER TO SHEET A011 FOR TYPICAL WALL ASSEMBLIES. REFER TO SHEET A017 FOR UNIT DOOR SCHEDULE & A030 - A031 FOR DETAILS.
- ALL INTERIOR DOORS SHALL ALLOW 3/4" AIRFLOW FOR RETURN AT BOTTOM OF DOOR. REFER TO MEP DWGS FOR LOCATION OF SMOKE, CO & FIRE DETECTORS.
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MATCH STEFAN OUTDOOR WALL SCONCE

- BEDROOM SHALL HAVE A MINIMUM OF ONE OPENING WHICH MEETS EGRESS REQUIREMENTS. 20" NET CLEAR WIDTH, 24" NET CLEAR HEIGHT. 5.7 SQFT. NET CLEAR OPENABLE AREA AND SHALL BE 44" MAXIMUM FROM FINISH FLOOR TO TOP OF SILL AS REQUIRED PER IBC-2009 SECTION 1029.
- 10. REFER TO BUILDING PLANS FOR CORRIDOR AND DIMISING WALL TYPES. 11. PROVIDE MOISTURE RESISTANT GYPSUM DRYWALL IN ALL UNIT BATHROOM WALLS AND OTHER UNIT
- PROVIDE SOUND BATTS IN ALL CORRIDOR AND TENANT SEPARATION WALLS. 13. PROVIDE SOUND INSULATION IN WALLS AROUND ALL LAUNDRY ROOMS, PLUMBING, AND ALL HVAC
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- DIMENSIONS. PROVIDE FILLERS AS REQUIRED. REFER TO CABINET SHOP DRAWINGS.
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- 32. SHOWER HEAD HEIGHT 7'-0" AFF, SHOWER CONTROL HEIGHT 4'-0" AFF.
 33. TUB/SHOWER COMBO SHOWER HEAD HEIGHT 7'-0" AFF, CONTROL 3'-0" AFF, TUB FAUCET 2'-0" AFF.

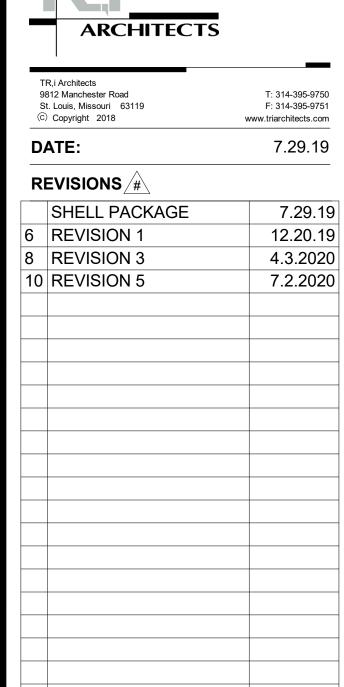
UNIT C1 LEVELS 1-4 —

UNIT C1 BATHROOM ELEVATION - SHOWER

16 UNIT C1 B

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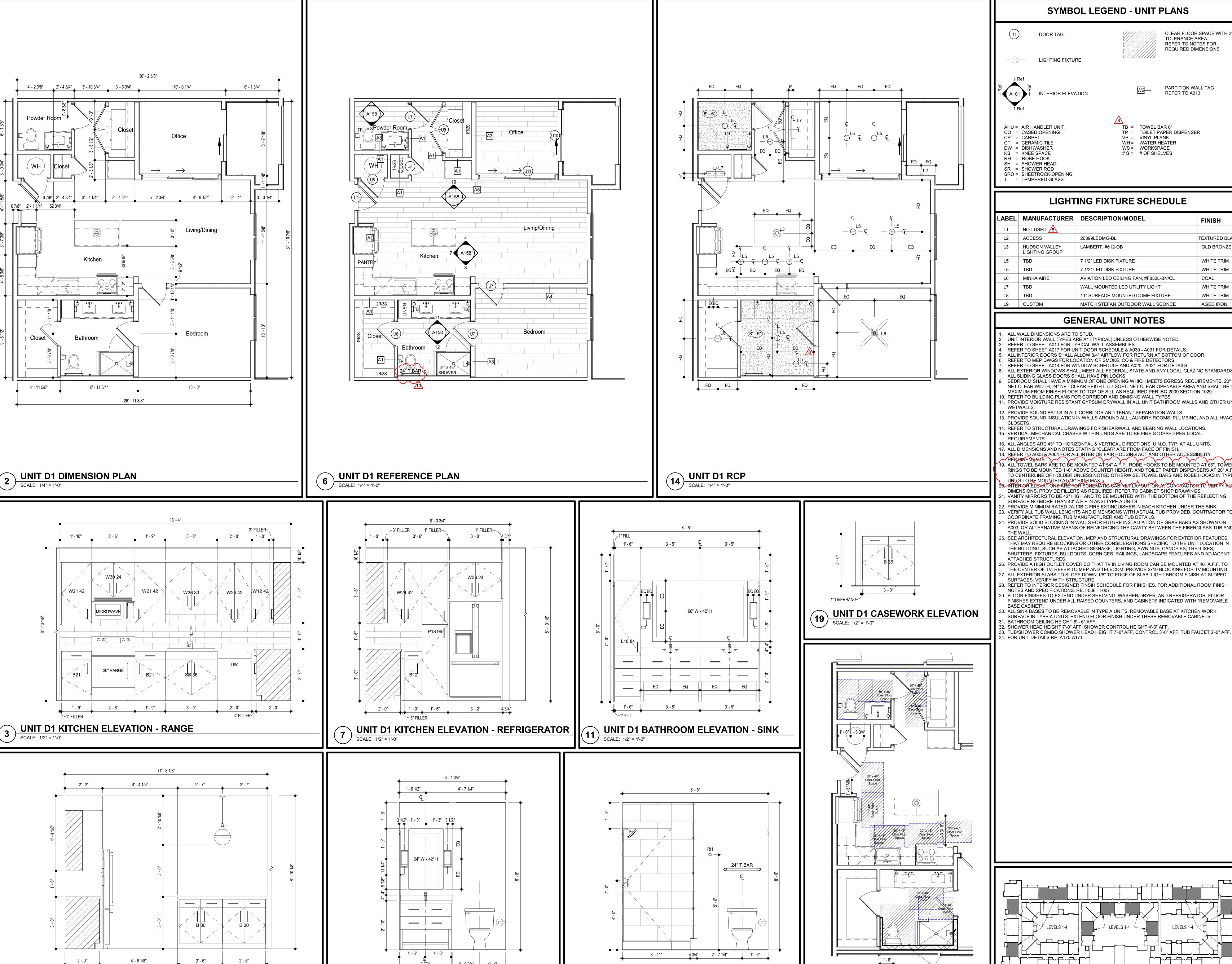
UNIT LOCATION PLAN



DWG BY

TR,i PROJECT NO. SHEET NO.

UNIT 'C1' & 'C2' PLANS & ELEVATIONS



1' - 6 3/4" 1' - 6"

8 UNIT D1 POWDER ROOM ELEVATION

SCALE: 1/2" = 1'-0"

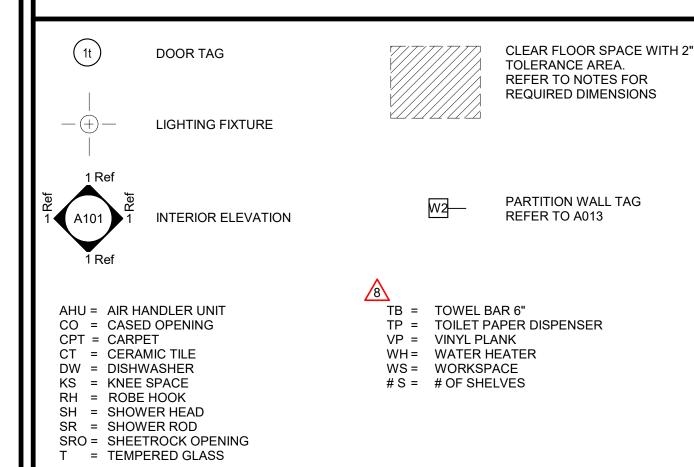
UNIT D1 KITCHEN ELEVATION - ISLAND

UNIT D1 BATHROOM ELEVATION - SHOWER

SCALE: 1/2" = 1'-0"

20 UNIT D1 C.F.S.

SCALE: 1/4" = 1'-0"



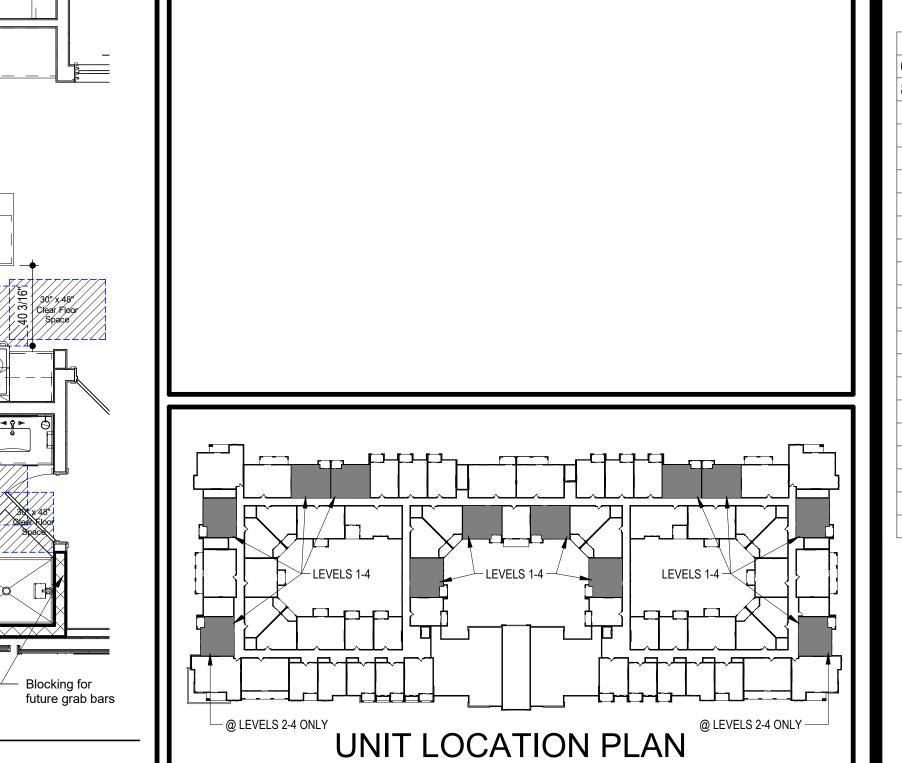
SYMBOL LEGEND - UNIT PLANS

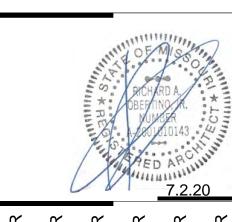
LIGHTING FIXTURE SCHEDULE			
LABEL	MANUFACTURER	DESCRIPTION/MODEL	FINISH
L1	NOT USED 🔕		
L2	ACCESS	20399LEDMG-BL	TEXTURED BLAC
L3	HUDSON VALLEY LIGHTING GROUP	LAMBERT, #612-OB	OLD BRONZE
L5	TBD	7 1/2" LED DISK FIXTURE	WHITE TRIM
L5	TBD	7 1/2" LED DISK FIXTURE	WHITE TRIM
L6	MINKA AIRE	AVIATION LED CEILING FAN, #F853L-BN/CL	COAL
L7	TBD	WALL MOUNTED LED UTILITY LIGHT	WHITE TRIM
L8	TBD	11" SURFACE MOUNTED DOME FIXTURE	WHITE TRIM
L9	CUSTOM	MATCH STEFAN OUTDOOR WALL SCONCE	AGED IRON

ALL WALL DIMENSIONS ARE TO STUD.

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- REFER TO SHEET A017 FOR UNIT DOOR SCHEDULE & A030 A031 FOR DETAILS. ALL INTERIOR DOORS SHALL ALLOW 3/4" AIRFLOW FOR RETURN AT BOTTOM OF DOOR.
- . REFER TO MEP DWGS FOR LOCATION OF SMOKE, CO & FIRE DETECTORS. REFER TO SHEET A014 FOR WINDOW SCHEDULE AND A020 - A021 FOR DETAILS.
- . ALL EXTERIOR WINDOWS SHALL MEET ALL FEDERAL, STATE AND ANY LOCAL GLAZING STANDARDS ALL SLIDING GLASS DOORS SHALL HAVE PIN LOCKS.
- BEDROOM SHALL HAVE A MINIMUM OF ONE OPENING WHICH MEETS EGRESS REQUIREMENTS. 20" NET CLEAR WIDTH, 24" NET CLEAR HEIGHT. 5.7 SQFT. NET CLEAR OPENABLE AREA AND SHALL BE 44"
- MAXIMUM FROM FINISH FLOOR TO TOP OF SILL AS REQUIRED PER IBC-2009 SECTION 1029.). REFER TO BUILDING PLANS FOR CORRIDOR AND DIMISING WALL TYPES.
- . PROVIDE MOISTURE RESISTANT GYPSUM DRYWALL IN ALL UNIT BATHROOM WALLS AND OTHER UNIT WETWALLS. 2. PROVIDE SOUND BATTS IN ALL CORRIDOR AND TENANT SEPARATION WALLS.
- 13. PROVIDE SOUND INSULATION IN WALLS AROUND ALL LAUNDRY ROOMS, PLUMBING, AND ALL HVAC
- 15. VERTICAL MECHANICAL CHASES WITHIN UNITS ARE TO BE FIRE STOPPED PER LOCAL
- 16. ALL ANGLES ARE 45° TO HORIZONTAL & VERTICAL DIRECTIONS, U.N.O. TYP. AT ALL UNITS.
 17. ALL DIMENSIONS AND NOTES STATING "CLEAR" ARE FROM FACE OF FINISH.
- 18. REFER TO A003 & A004 FOR ALL INTERIOR FAIR HOUSING ACT AND OTHER ACCESSIBILITY). ALL'TOWEL'BARS ARE TO BE MOUNTED AT 54" A.F.F., ROBE HOOKS TO BE MOUNTED AT 66", TOWE RINGS TO BE MOUNTED 1'-6" ABOVE COUNTER HEIGHT, AND TOILET PAPER DISPENSERS AT 20" A.F.I
- TO CENTERLINE OF HOLDER UNLESS NOTED OTHERWISE. TOWEL BARS AND ROBE HOOKS IN TYPE A UNITS TO BE MOUNTED AT 48" HIGH MAX. , 20.-INTERIOR ELEVATIONS ARE FOR SCHEMATIC CABINET LAYOUT ONLY. CONTRACTOR TO VERIFY ALL.
- DIMENSIONS. PROVIDE FILLERS AS REQUIRED. REFER TO CABINET SHOP DRAWINGS. VANITY MIRRORS TO BE 42" HIGH AND TO BE MOUNTED WITH THE BOTTOM OF THE REFLECTING SURFACE NO MORE THAN 40" A.F.F IN ANSI TYPE A UNITS.
- . PROVIDE MINIMUM RATED 2A:10B:C FIRE EXTINGUISHER IN EACH KITCHEN UNDER THE SINK. . VERIFY ALL TUB WALL LENGHTS AND DIMENSIONS WITH ACTUAL TUB PROVIDED. CONTRACTOR TO
- COORDINATE FRAMING, TUB MANUFACTURER AND TUB DETAILS. . PROVIDE SOLID BLOCKING IN WALLS FOR FUTURE INSTALLATION OF GRAB BARS AS SHOWN ON A003, OR ALTERNATIVE MEANS OF REINFORCING THE CAVITY BETWEEN THE FIBERGLASS TUB AND
- 5. SEE ARCHITECTURAL ELEVATION, MEP AND STRUCTURAL DRAWINGS FOR EXTERIOR FEATURES THAT MAY REQUIRE BLOCKING OR OTHER CONSIDERATIONS SPECIFIC TO THE UNIT LOCATION IN THE BUILDING, SUCH AS ATTACHED SIGNAGE, LIGHTING, AWNINGS, CANOPIES, TRELLISES,
- SHUTTERS, FIXTURES, BUILDOUTS, CORNICES, RAILINGS, LANDSCAPE FEATURES AND ADJACENT ATTACHED STRUCTURES. . PROVIDE A HIGH OUTLET COVER SO THAT TV IN LIVING ROOM CAN BE MOUNTED AT 46" A.F.F. TO
- THE CENTER OF TV. REFER TO MEP AND TELECOM. PROVIDE 2x10 BLOCKING FOR TV MOUNTING. ALL EXTERIOR SLABS TO SLOPE DOWN 1/8" TO EDGE OF SLAB. LIGHT BROOM FINISH AT SLOPED SURFACES. VERIFY WITH STRUCTURE.
- 28. REFER TO INTERIOR DESIGNER FINSIH SCHEDULE FOR FINISHES, FOR ADDITIONAL ROOM FINISH NOTES AND SPECIFICATIONS. RE: I-006 - I-007
- 29. FLOOR FINISHES TO EXTEND UNDER SHELVING, WASHER/DRYER, AND REFRIGERATOR. FLOOR FINISHES EXTEND UNDER ALL RAISED COUNTERS, AND CABINETS INDICATED WITH "REMOVABLE
- SURFACE IN TYPE A UNITS. EXTEND FLOOR FINISH UNDER THESE REMOVABLE CABINETS B1. BATHROOM CEILING HEIGHT 8' - 6" AFF. 32. SHOWER HEAD HEIGHT 7'-0" AFF, SHOWER CONTROL HEIGHT 4'-0" AFF.



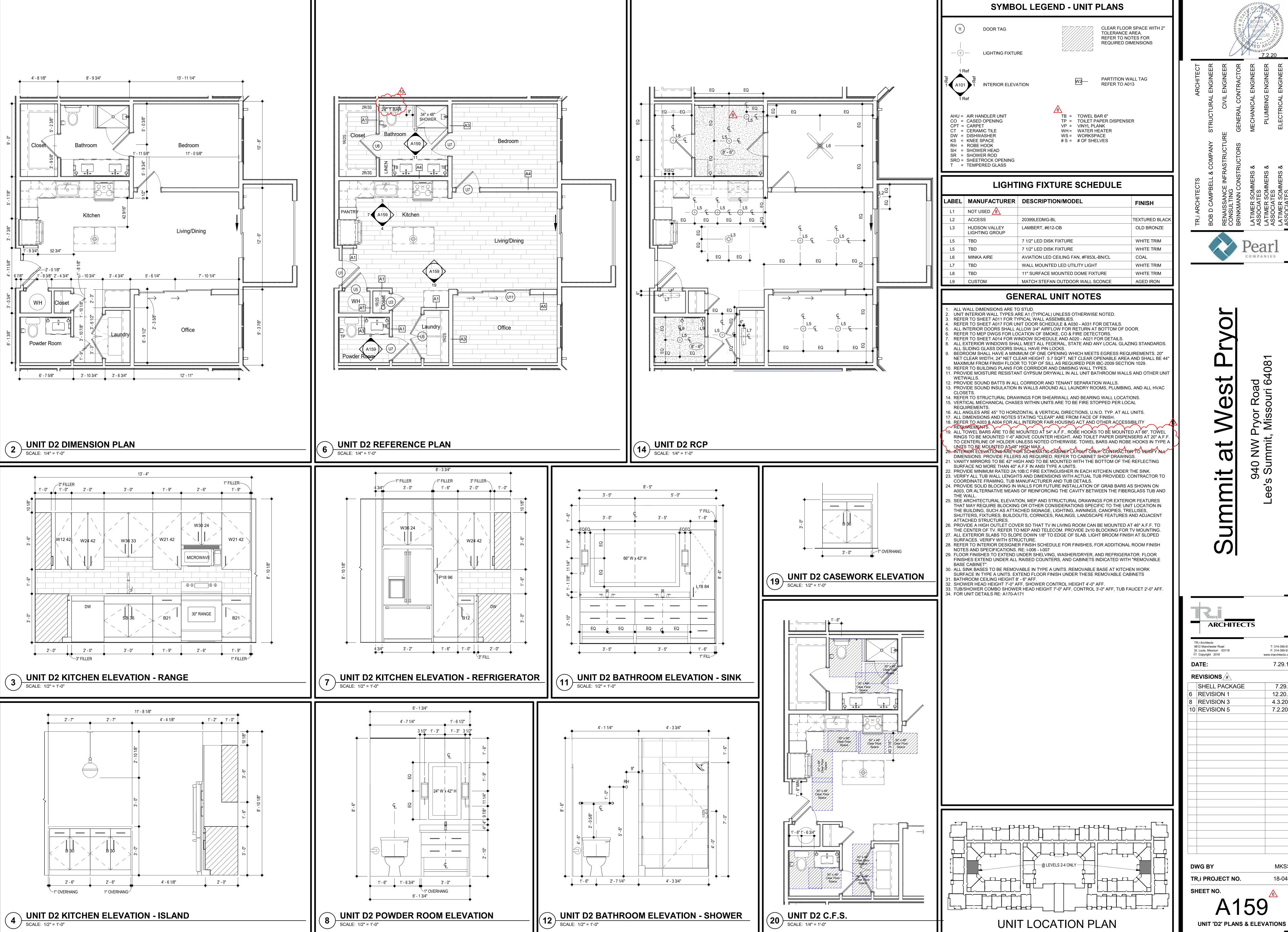


COMPANIES

940 NW Pryor Roa e's Summit, Missouri

ARCHITECTS TR.i Architects T: 314-395-9750 9812 Manchester Road St. Louis, Missouri 63119 F: 314-395-9751 © Copyright 2018 www.triarchitects.com 7.29.19 REVISIONS /#\ 7.29.19 SHELL PACKAGE 12.20.19 **REVISION 1** 4.3.2020 **REVISION 3** 7.2.2020 10 REVISION 5 **DWG BY** TR,i PROJECT NO. SHEET NO.

UNIT 'D1' PLANS & ELEVATIONS

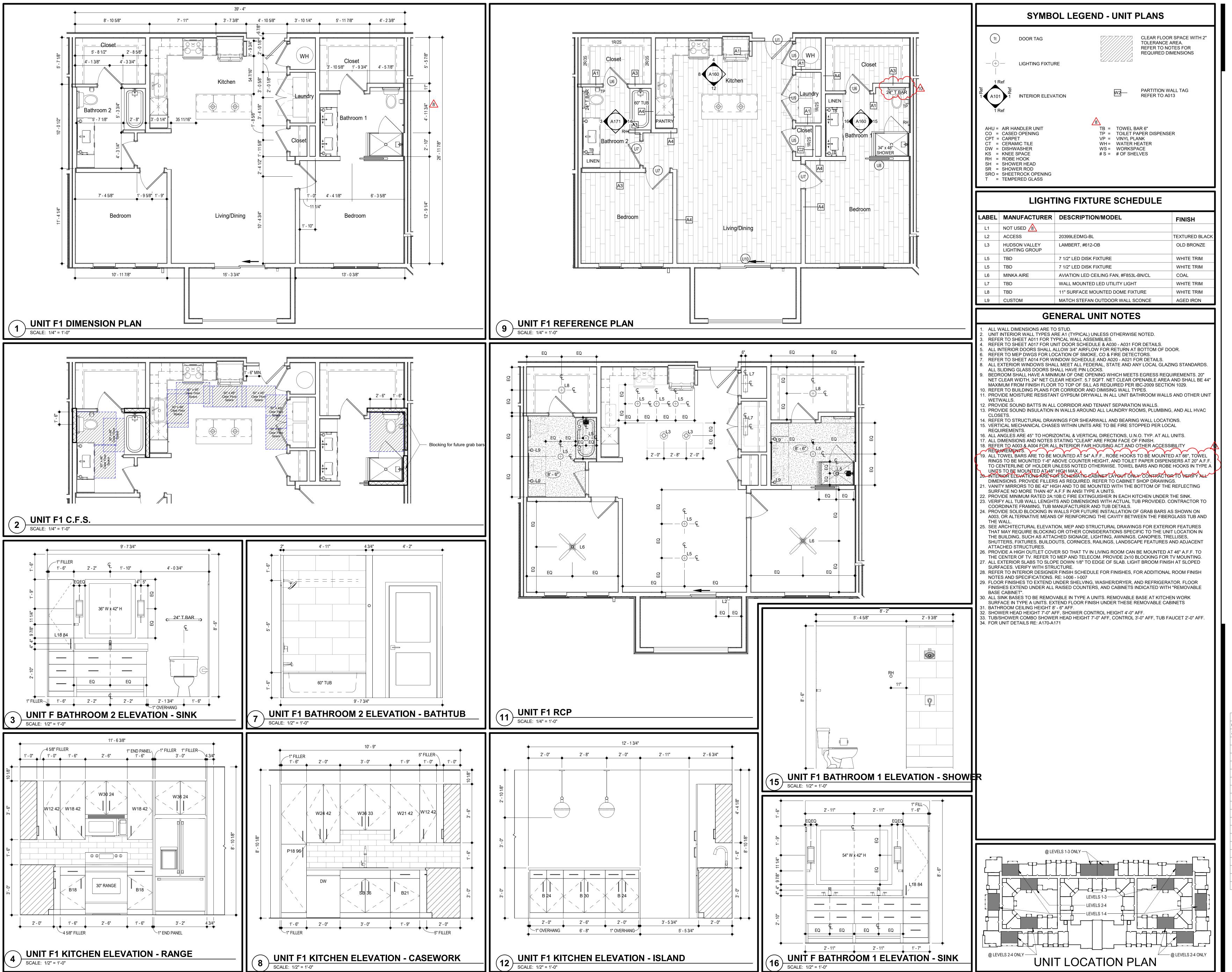


COMPANIES

O) 940 NW Pryor Roae's Summit, Missouri

	ARCHITECTS	
9: S	R,i Architects 812 Manchester Road t. Louis, Missouri 63119 0 Copyright 2018	T: 314-395-9 F: 314-395-9 www.triarchitects.o
D	ATE:	7.29.1
R	EVISIONS /#\	
	SHELL PACKAGE	7.29.
6	REVISION 1	12.20.
8	REVISION 3	4.3.20
10	REVISION 5	7.2.20
	WG BY R,i PROJECT NO.	MKS 18-04
Sł	HEET NO.	6

A159

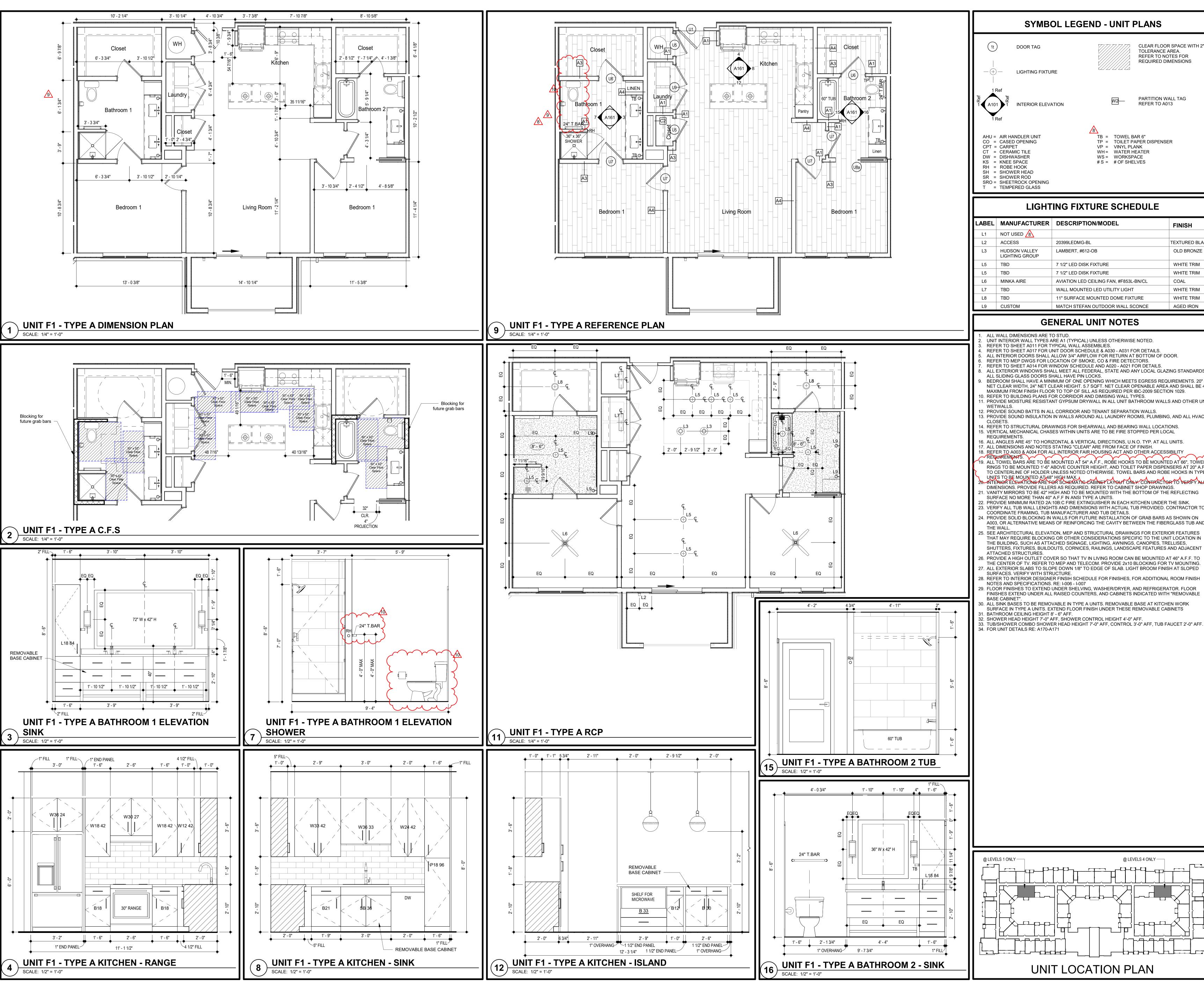


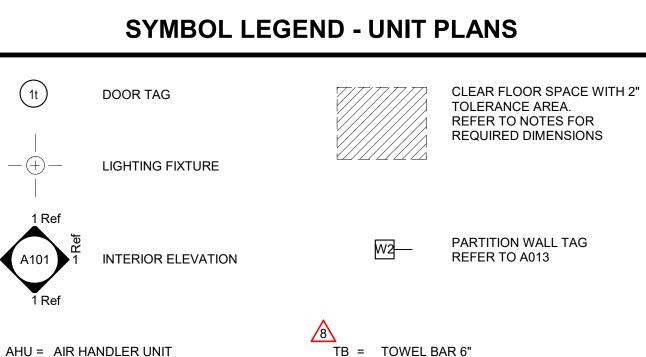
ARCHITECTS

TR.i Architects T: 314-395-9750 9812 Manchester Road F: 314-395-9751 St. Louis, Missouri 63119 © Copyright 2018 www.triarchitects.com 7.29.19 REVISIONS /#\ 7.29.19 SHELL PACKAGE 12.20.19 **REVISION 1** 4.3.2020 REVISION 3 7.2.2020 10 REVISION 5 **DWG BY** TR,i PROJECT NO. SHEET NO.

A160

UNIT 'F1' PLANS & ELEVATIONS





I - TEWPERED GLASS			
LIGHTING FIXTURE SCHEDULE			
LABEL	MANUFACTURER	DESCRIPTION/MODEL	FINISH
L1	NOT USED 8		
L2	ACCESS	20399LEDMG-BL	TEXTURED BLACK
L3	HUDSON VALLEY LIGHTING GROUP	LAMBERT, #612-OB	OLD BRONZE
L5	TBD	7 1/2" LED DISK FIXTURE	WHITE TRIM
L5	TBD	7 1/2" LED DISK FIXTURE	WHITE TRIM
L6	MINKA AIRE	AVIATION LED CEILING FAN, #F853L-BN/CL	COAL
L7	TBD	WALL MOUNTED LED UTILITY LIGHT	WHITE TRIM
L8	TBD	11" SURFACE MOUNTED DOME FIXTURE	WHITE TRIM

MATCH STEFAN OUTDOOR WALL SCONCE AGED IRON

TP = TOILET PAPER DISPENSER

VP = VINYL PLANK

WH = WATER HEATER

WS = WORKSPACE

#S = #OF SHELVES

GENERAL UNIT NOTES

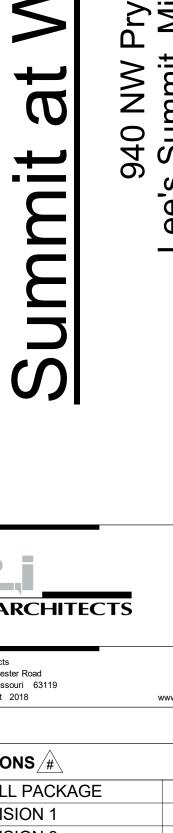
- UNIT INTERIOR WALL TYPES ARE A1 (TYPICAL) UNLESS OTHERWISE NOTED.
- REFER TO SHEET A017 FOR UNIT DOOR SCHEDULE & A030 A031 FOR DETAILS. ALL INTERIOR DOORS SHALL ALLOW 3/4" AIRFLOW FOR RETURN AT BOTTOM OF DOOR.
- REFER TO MEP DWGS FOR LOCATION OF SMOKE, CO & FIRE DETECTORS.
- REFER TO SHEET A014 FOR WINDOW SCHEDULE AND A020 A021 FOR DETAILS. ALL EXTERIOR WINDOWS SHALL MEET ALL FEDERAL, STATE AND ANY LOCAL GLAZING STANDARDS
- ALL SLIDING GLASS DOORS SHALL HAVE PIN LOCKS. BEDROOM SHALL HAVE A MINIMUM OF ONE OPENING WHICH MEETS EGRESS REQUIREMENTS. 20" NET CLEAR WIDTH, 24" NET CLEAR HEIGHT. 5.7 SQFT. NET CLEAR OPENABLE AREA AND SHALL BE 44"
- MAXIMUM FROM FINISH FLOOR TO TOP OF SILL AS REQUIRED PER IBC-2009 SECTION 1029.). REFER TO BUILDING PLANS FOR CORRIDOR AND DIMISING WALL TYPES.
- I.PROVIDE MOISTURE RESISTANT GYPSUM DRYWALL IN ALL UNIT BATHROOM WALLS AND OTHER UNIT WETWALLS. 2. PROVIDE SOUND BATTS IN ALL CORRIDOR AND TENANT SEPARATION WALLS.
- 13. PROVIDE SOUND INSULATION IN WALLS AROUND ALL LAUNDRY ROOMS, PLUMBING, AND ALL HVAC
- 14. REFER TO STRUCTURAL DRAWINGS FOR SHEARWALL AND BEARING WALL LOCATIONS. 15. VERTICAL MECHANICAL CHASES WITHIN UNITS ARE TO BE FIRE STOPPED PER LOCAL
- 16. ALL ANGLES ARE 45° TO HORIZONTAL & VERTICAL DIRECTIONS, U.N.O. TYP. AT ALL UNITS. 17. ALL DIMENSIONS AND NOTES STATING "CLEAR" ARE FROM FACE OF FINISH.
- 9. ALL TOWEL BARS ARE TO BE MOUNTED AT 54" A.F.F., ROBE HOOKS TO BE MOUNTED AT 66", TOWE RINGS TO BE MOUNTED 1'-6" ABOVE COUNTER HEIGHT, AND TOILET PAPER DISPENSERS AT 20" A.F.F.
- DIMENSIONS. PROVIDE FILLERS AS REQUIRED. REFER TO CABINET SHOP DRAWINGS. . VANITY MIRRORS TO BE 42" HIGH AND TO BE MOUNTED WITH THE BOTTOM OF THE REFLECTING
- SURFACE NO MORE THAN 40" A.F.F IN ANSI TYPE A UNITS. 2. PROVIDE MINIMUM RATED 2A:10B:C FIRE EXTINGUISHER IN EACH KITCHEN UNDER THE SINK. $23.\,$ VERIFY ALL TUB WALL LENGHTS AND DIMENSIONS WITH ACTUAL TUB PROVIDED. CONTRACTOR TO
- COORDINATE FRAMING, TUB MANUFACTURER AND TUB DETAILS. I. PROVIDE SOLID BLOCKING IN WALLS FOR FUTURE INSTALLATION OF GRAB BARS AS SHOWN ON A003, OR ALTERNATIVE MEANS OF REINFORCING THE CAVITY BETWEEN THE FIBERGLASS TUB AND
- THAT MAY REQUIRE BLOCKING OR OTHER CONSIDERATIONS SPECIFIC TO THE UNIT LOCATION IN THE BUILDING, SUCH AS ATTACHED SIGNAGE, LIGHTING, AWNINGS, CANOPIES, TRELLISES, SHUTTERS, FIXTURES, BUILDOUTS, CORNICES, RAILINGS, LANDSCAPE FEATURES AND ADJACENT
- 26. PROVIDE A HIGH OUTLET COVER SO THAT TV IN LIVING ROOM CAN BE MOUNTED AT 46" A.F.F. TO THE CENTER OF TV. REFER TO MEP AND TELECOM. PROVIDE 2x10 BLOCKING FOR TV MOUNTING. ALL EXTERIOR SLABS TO SLOPE DOWN 1/8" TO EDGE OF SLAB. LIGHT BROOM FINISH AT SLOPED
- SURFACES. VERIFY WITH STRUCTURE. 28. REFER TO INTERIOR DESIGNER FINSIH SCHEDULE FOR FINISHES, FOR ADDITIONAL ROOM FINISH NOTES AND SPECIFICATIONS. RE: I-006 - I-007 29. FLOOR FINISHES TO EXTEND UNDER SHELVING, WASHER/DRYER, AND REFRIGERATOR. FLOOR
- FINISHES EXTEND UNDER ALL RAISED COUNTERS, AND CABINETS INDICATED WITH "REMOVABLE 30. ALL SINK BASES TO BE REMOVABLE IN TYPE A UNITS. REMOVABLE BASE AT KITCHEN WORK
- SURFACE IN TYPE A UNITS. EXTEND FLOOR FINISH UNDER THESE REMOVABLE CABINETS B1. BATHROOM CEILING HEIGHT 8' - 6" AFF. 32. SHOWER HEAD HEIGHT 7'-0" AFF, SHOWER CONTROL HEIGHT 4'-0" AFF.

@ LEVELS 4 ONLY ---

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UNIT LOCATION PLAN



98	R,i Architects 312 Manchester Road t. Louis, Missouri 63119	T: 314-395-9750 F: 314-395-9751
	c. Louis, Missouri 63119 Copyright 2018	www.triarchitects.com
D	ATE:	7.29.19
RI	EVISIONS /#\	
	SHELL PACKAGE	7.29.19
6	REVISION 1	12.20.19
8	REVISION 3	4.3.2020
9	REVISION 4 REVISION 5	4.24.2020 7.2.2020
	NG BY R,i PROJECT NO.	Author 18-046

UNIT 'F1-TYPE A' PLANS &

ELEVATIONS



UNIT G1 C.F.S.

SCALE: 1/4" = 1'-0"

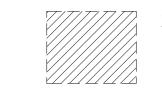
EQ EQ

UNIT G1 RCP

SCALE: 1/4" = 1'-0"



DOOR TAG



CLEAR FLOOR SPACE WITH 2" TOLERANCE AREA. REFER TO NOTES FOR REQUIRED DIMENSIONS



LIGHTING FIXTURE

PARTITION WALL TAG REFER TO A013

TB = TOWEL BAR 6" TP = TOILET PAPER DISPENSER

AHU = AIR HANDLER UNIT CO = CASED OPENING CPT = CARPET CT = CERAMIC TILE

VP = VINYL PLANK WH = WATER HEATER WS = WORKSPACE #S = #OF SHELVES

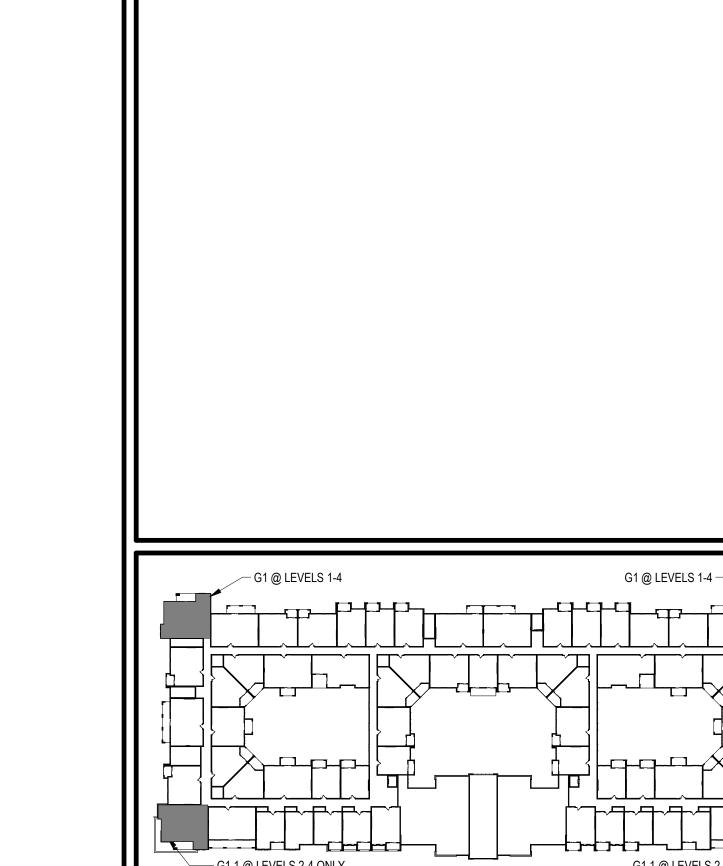
DW = DISHWASHER KS = KNEE SPACE RH = ROBE HOOK SH = SHOWER HEAD SR = SHOWER ROD

OCK OPENING ED GLASS			
LIGHTING FIXTURE SCHEDULE			
ACTURER	DESCRIPTION/MODEL	FINISH	
ED <u>8</u>			
	20399LEDMG-BL	TEXTURED BLAC	
VALLEY G GROUP	LAMBERT, #612-OB	OLD BRONZE	
	7 1/2" LED DISK FIXTURE	WHITE TRIM	

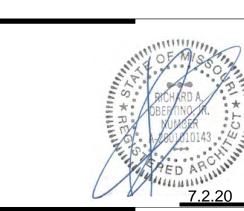
LABEL	MANUFACTURER	DESCRIPTION/MODEL	FINISH
L1	NOT USED <u></u>		
L2	ACCESS	20399LEDMG-BL	TEXTURED BLACK
L3	HUDSON VALLEY LIGHTING GROUP	LAMBERT, #612-OB	OLD BRONZE
L5	TBD	7 1/2" LED DISK FIXTURE	WHITE TRIM
L5	TBD	7 1/2" LED DISK FIXTURE	WHITE TRIM
L6	MINKA AIRE	AVIATION LED CEILING FAN, #F853L-BN/CL	COAL
L7	TBD	WALL MOUNTED LED UTILITY LIGHT	WHITE TRIM
L8	TBD	11" SURFACE MOUNTED DOME FIXTURE	WHITE TRIM
L9	CUSTOM	MATCH STEFAN OUTDOOR WALL SCONCE	AGED IRON

GENERAL UNIT NOTES

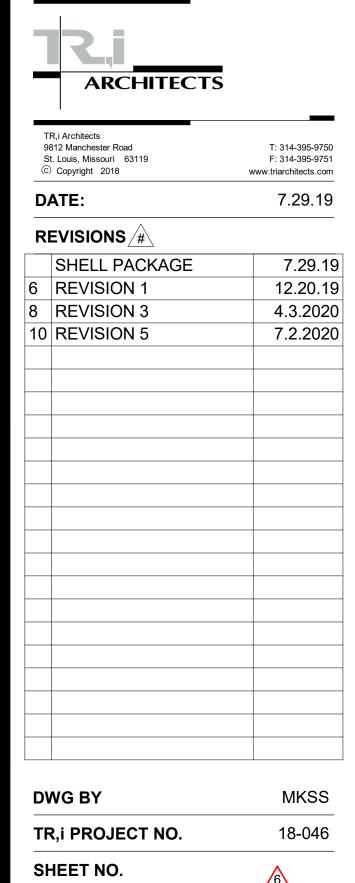
- ALL WALL DIMENSIONS ARE TO STUD. UNIT INTERIOR WALL TYPES ARE A1 (TYPICAL) UNLESS OTHERWISE NOTED. REFER TO SHEET A011 FOR TYPICAL WALL ASSEMBLIES.
- REFER TO SHEET A017 FOR UNIT DOOR SCHEDULE & A030 A031 FOR DETAILS. ALL INTERIOR DOORS SHALL ALLOW 3/4" AIRFLOW FOR RETURN AT BOTTOM OF DOOR.
- REFER TO MEP DWGS FOR LOCATION OF SMOKE, CO & FIRE DETECTORS.
- REFER TO SHEET A014 FOR WINDOW SCHEDULE AND A020 A021 FOR DETAILS. . ALL EXTERIOR WINDOWS SHALL MEET ALL FEDERAL, STATE AND ANY LOCAL GLAZING STANDARDS
- BEDROOM SHALL HAVE A MINIMUM OF ONE OPENING WHICH MEETS EGRESS REQUIREMENTS. 20" NET CLEAR WIDTH, 24" NET CLEAR HEIGHT. 5.7 SQFT. NET CLEAR OPENABLE AREA AND SHALL BE 44" MAXIMUM FROM FINISH FLOOR TO TOP OF SILL AS REQUIRED PER IBC-2009 SECTION 1029.
- . REFER TO BUILDING PLANS FOR CORRIDOR AND DIMISING WALL TYPES. . PROVIDE MOISTURE RESISTANT GYPSUM DRYWALL IN ALL UNIT BATHROOM WALLS AND OTHER UNIT
- 2. PROVIDE SOUND BATTS IN ALL CORRIDOR AND TENANT SEPARATION WALLS. 13. PROVIDE SOUND INSULATION IN WALLS AROUND ALL LAUNDRY ROOMS, PLUMBING, AND ALL HVAC
- 14. REFER TO STRUCTURAL DRAWINGS FOR SHEARWALL AND BEARING WALL LOCATIONS.
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- 6. ALL ANGLES ARE 45° TO HORIZONTAL & VERTICAL DIRECTIONS, U.N.O. TYP. AT ALL UNITS. 17. ALL DIMENSIONS AND NOTES STATING "CLEAR" ARE FROM FACE OF FINISH.
- 18. REFER TO A003 & A004 FOR ALL INTERIOR FAIR HOUSING ACT AND OTHER ACCESSIBILITY 9. ALL TOWEL BARS ARE TO BE MOUNTED AT 54" A.F.F., ROBE HOOKS TO BE MOUNTED AT 66", TOWEL RINGS TO BE MOUNTED 1'-6" ABOVE COUNTER HEIGHT, AND TOILET PAPER DISPENSERS AT 20" A.F.I
- TO CENTERLINE OF HOLDER UNLESS NOTED OTHERWISE. TOWEL BARS AND ROBE HOOKS IN TYPE A UNITS TO BE MOUNTED AT 48" HIGH MAX. , 20-10 TERIOR ELEVATIONS ARE FOR SCHEMATIC CABINET LAYOUT ONLY. CONTRACTOR TO VERIFY ALL. DIMENSIONS. PROVIDE FILLERS AS REQUIRED. REFER TO CABINET SHOP DRAWINGS.
- VANITY MIRRORS TO BE 42" HIGH AND TO BE MOUNTED WITH THE BOTTOM OF THE REFLECTING SURFACE NO MORE THAN 40" A.F.F IN ANSI TYPE A UNITS. . PROVIDE MINIMUM RATED 2A:10B:C FIRE EXTINGUISHER IN EACH KITCHEN UNDER THE SINK.
- 3. VERIFY ALL TUB WALL LENGHTS AND DIMENSIONS WITH ACTUAL TUB PROVIDED. CONTRACTOR TO COORDINATE FRAMING, TUB MANUFACTURER AND TUB DETAILS. PROVIDE SOLID BLOCKING IN WALLS FOR FUTURE INSTALLATION OF GRAB BARS AS SHOWN ON A003, OR ALTERNATIVE MEANS OF REINFORCING THE CAVITY BETWEEN THE FIBERGLASS TUB AND
- 5. SEE ARCHITECTURAL ELEVATION, MEP AND STRUCTURAL DRAWINGS FOR EXTERIOR FEATURES THAT MAY REQUIRE BLOCKING OR OTHER CONSIDERATIONS SPECIFIC TO THE UNIT LOCATION IN THE BUILDING, SUCH AS ATTACHED SIGNAGE, LIGHTING, AWNINGS, CANOPIES, TRELLISES, SHUTTERS, FIXTURES, BUILDOUTS, CORNICES, RAILINGS, LANDSCAPE FEATURES AND ADJACENT ATTACHED STRUCTURES. . PROVIDE A HIGH OUTLET COVER SO THAT TV IN LIVING ROOM CAN BE MOUNTED AT 46" A.F.F. TO
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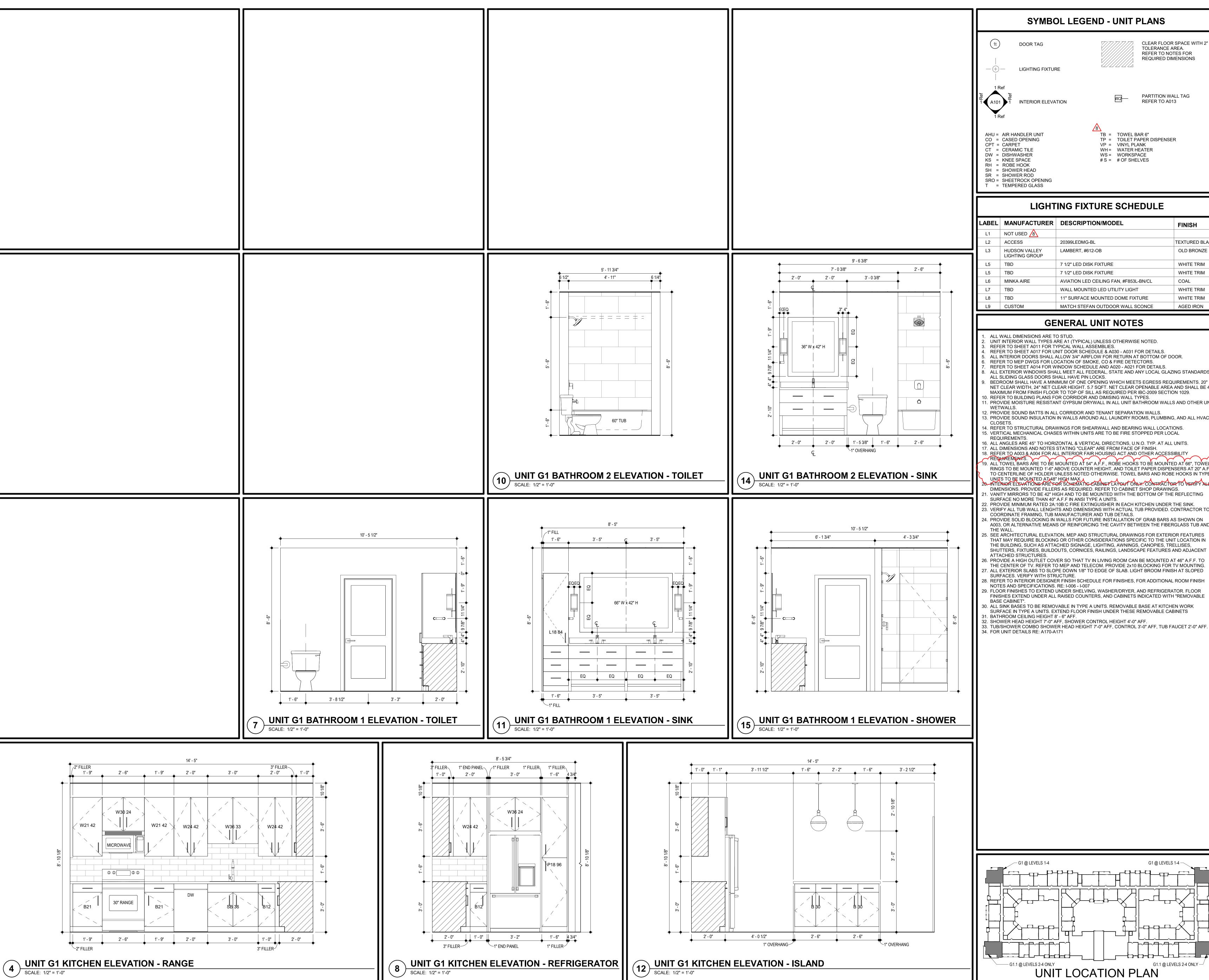
UNIT LOCATION PLAN



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UNIT 'G1' & 'G1.1' PLANS





DOOR TAG





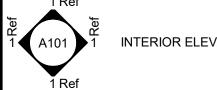
CLEAR FLOOR SPACE WITH 2"

TOLERANCE AREA. REFER TO NOTES FOR

PARTITION WALL TAG

AGED IRON

REFER TO A013



- INTERIOR ELEVATION
- AHU = AIR HANDLER UNIT CO = CASED OPENING
- DW = DISHWASHER KS = KNEE SPACE RH = ROBE HOOK SH = SHOWER HEAD SR = SHOWER ROD
- TB = TOWEL BAR 6" TP = TOILET PAPER DISPENSER VP = VINYL PLANK WH = WATER HEATER WS = WORKSPACE #S = #OF SHELVES

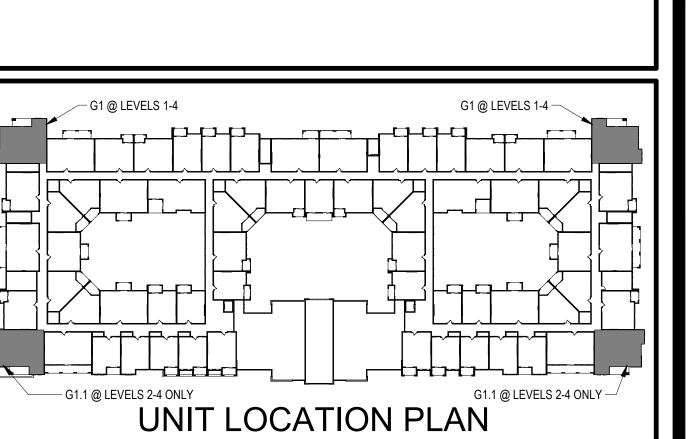
LIGHTING FIXTURE SCHEDULE LABEL MANUFACTURER DESCRIPTION/MODEL **FINISH** NOT USED 8 20399LEDMG-BL TEXTURED BLACK L3 HUDSON VALLEY LAMBERT, #612-OB OLD BRONZE LIGHTING GROUP 7 1/2" LED DISK FIXTURE WHITE TRIM 7 1/2" LED DISK FIXTURE WHITE TRIM MINKA AIRE AVIATION LED CEILING FAN, #F853L-BN/CL COAL WALL MOUNTED LED UTILITY LIGHT WHITE TRIM 11" SURFACE MOUNTED DOME FIXTURE WHITE TRIM

MATCH STEFAN OUTDOOR WALL SCONCE

ALL WALL DIMENSIONS ARE TO STUD.

GENERAL UNIT NOTES

- 2. UNIT INTERIOR WALL TYPES ARE A1 (TYPICAL) UNLESS OTHERWISE NOTED. 8. REFER TO SHEET A011 FOR TYPICAL WALL ASSEMBLIES.
- ALL INTERIOR DOORS SHALL ALLOW 3/4" AIRFLOW FOR RETURN AT BOTTOM OF DOOR. REFER TO MEP DWGS FOR LOCATION OF SMOKE, CO & FIRE DETECTORS.
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- 7. ALL EXTERIOR SLABS TO SLOPE DOWN 1/8" TO EDGE OF SLAB. LIGHT BROOM FINISH AT SLOPED SURFACES. VERIFY WITH STRUCTURE.
- 8. REFER TO INTERIOR DESIGNER FINSIH SCHEDULE FOR FINISHES, FOR ADDITIONAL ROOM FINISH NOTES AND SPECIFICATIONS. RE: I-006 - I-007 29. FLOOR FINISHES TO EXTEND UNDER SHELVING, WASHER/DRYER, AND REFRIGERATOR. FLOOR
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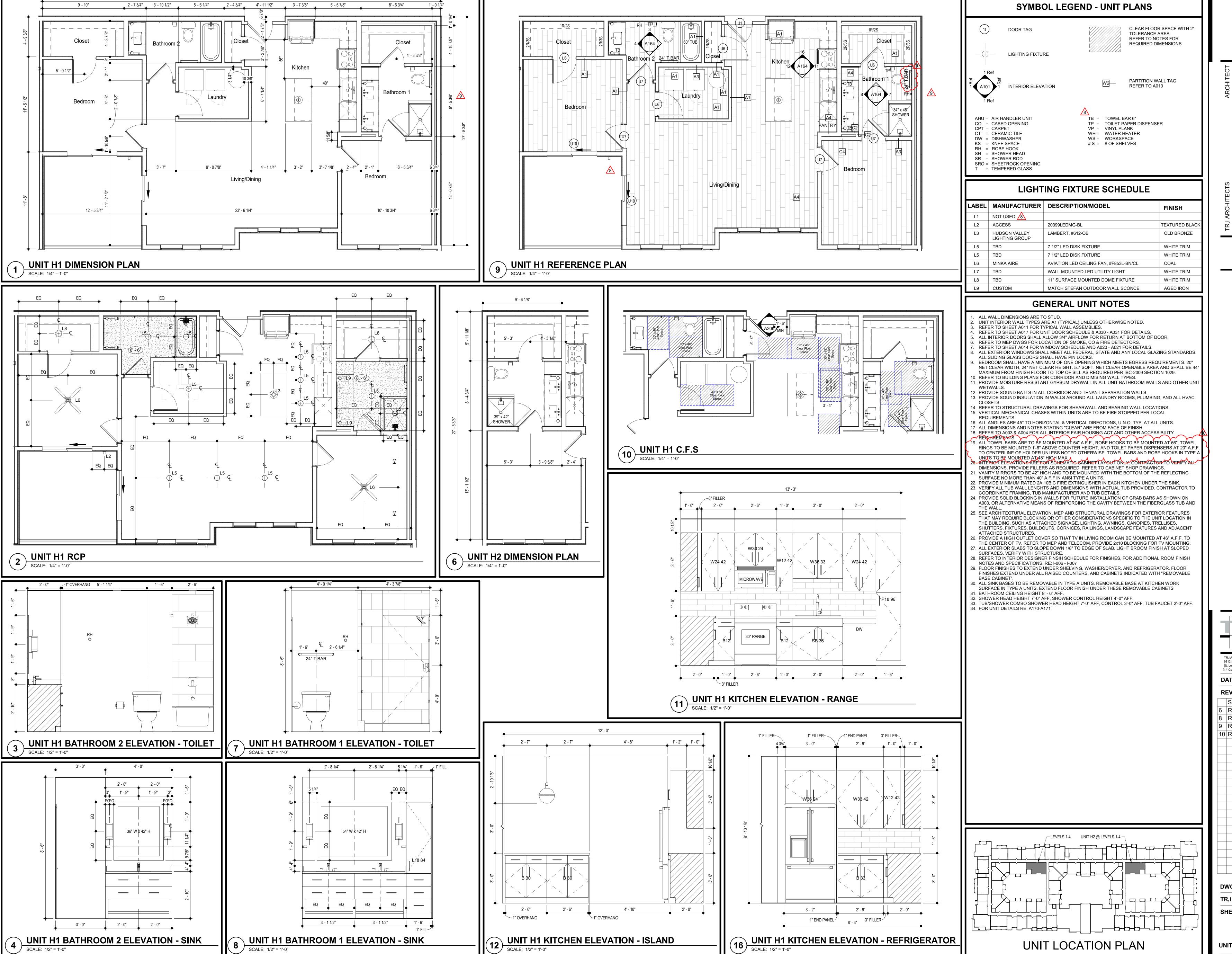
COMPANIES

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DWG BY TR,i PROJECT NO.

SHEET NO. A163 UNIT 'G1' & 'G1.1' ELEVATIONS



SCALE: 1/2" = 1'-0"

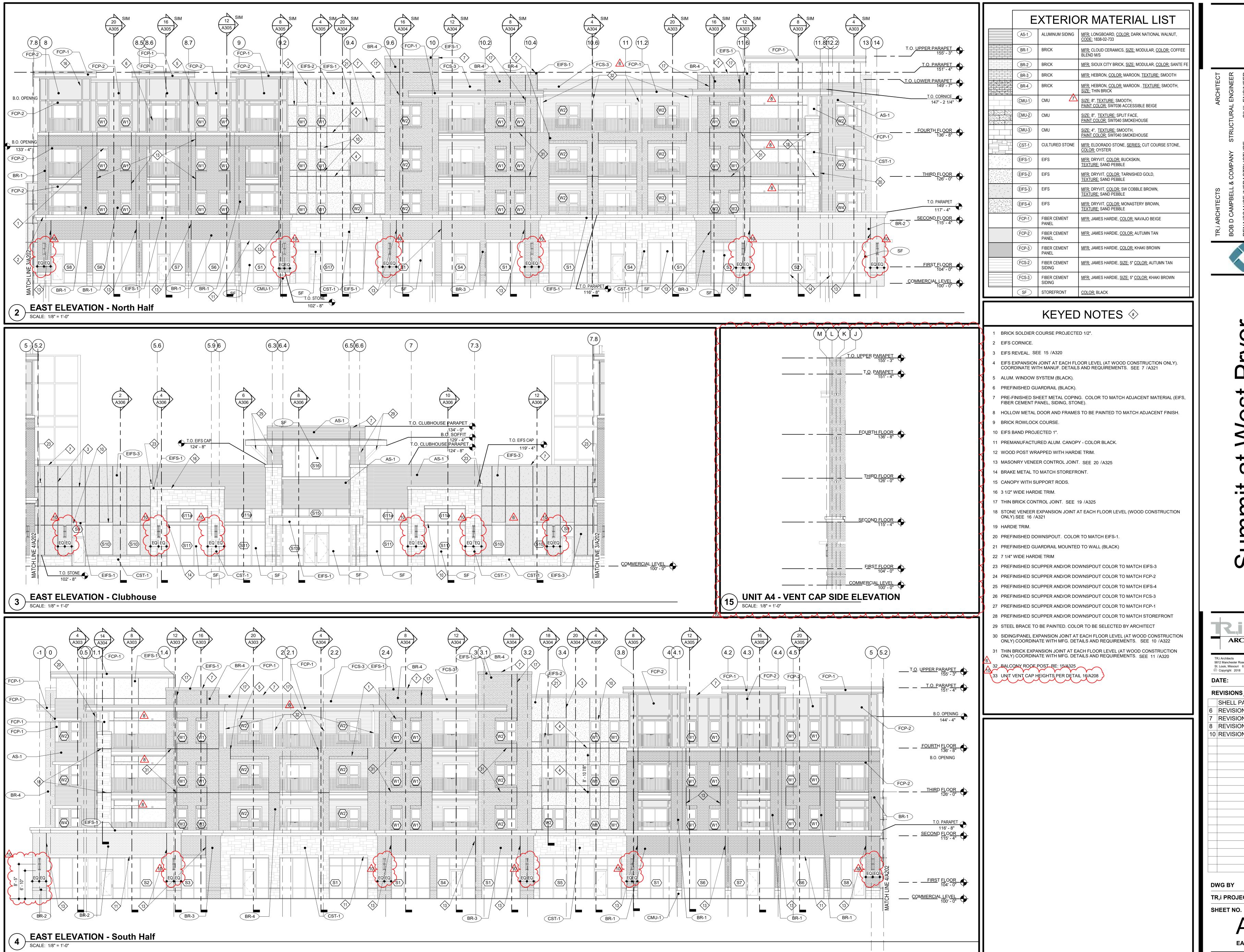
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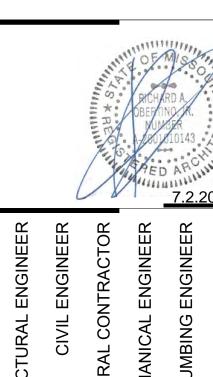


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UNIT 'H1' & 'H2' PLANS & ELEVATIONS

UNIT LOCATION PLAN



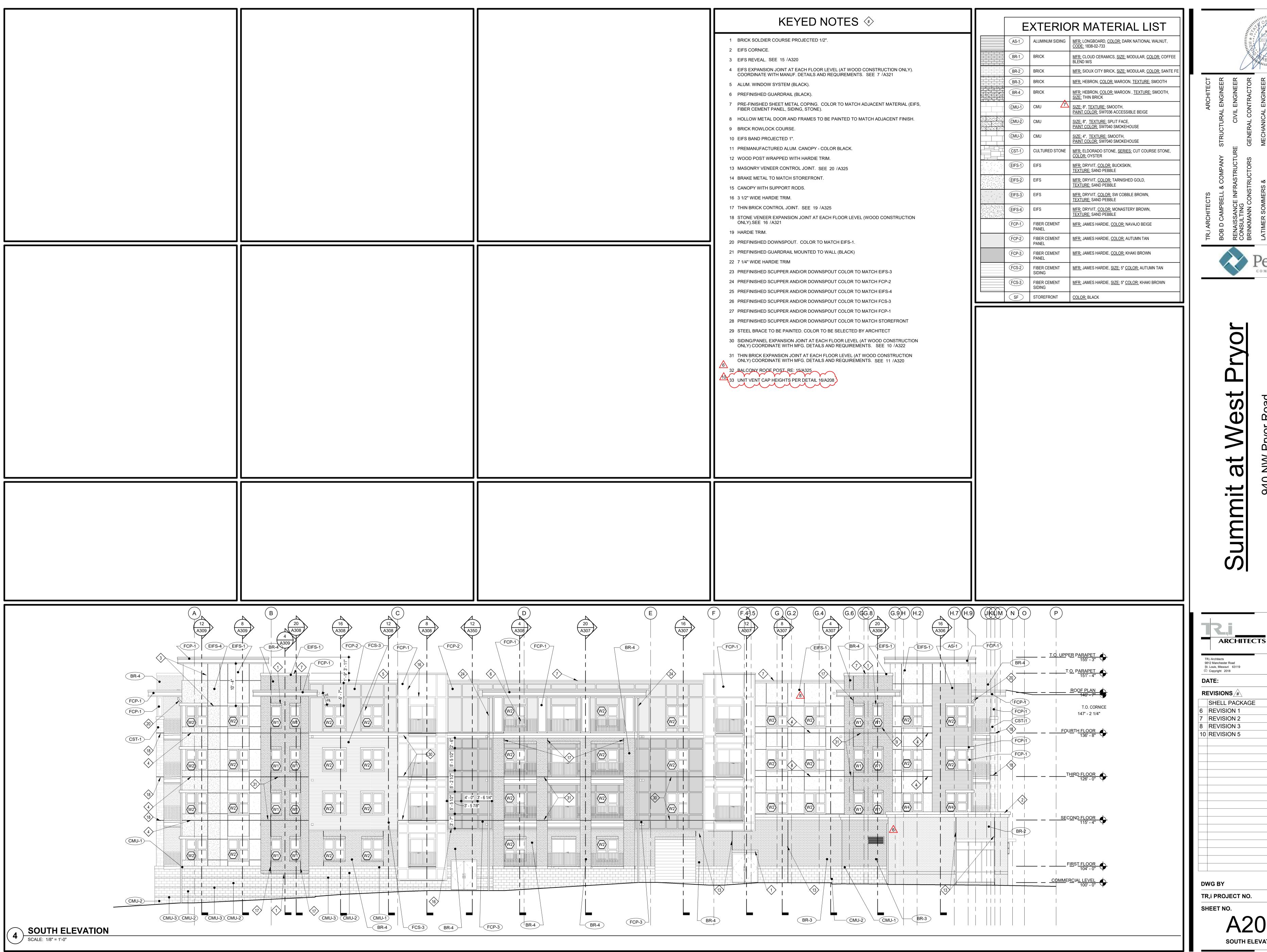


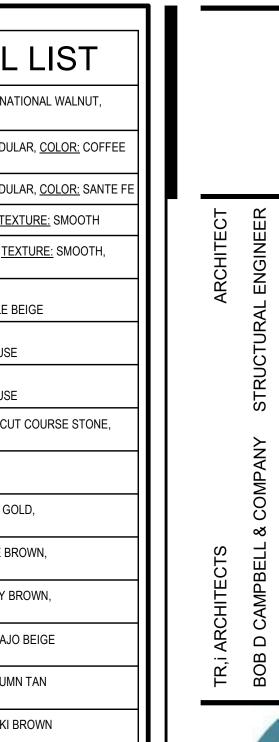
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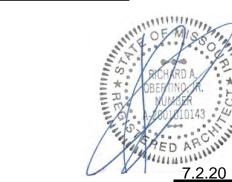




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18-046 TR,i PROJECT NO. SHEET NO.





TORS GENERAL CONTRACTOR

MECHANICAL ENGINEER

BRINKMANN CONSTRUCTORS
LATIMER SOMMERS &
ASSOCIATES
LATIMER SOMMERS &

BOB D CONST CONST

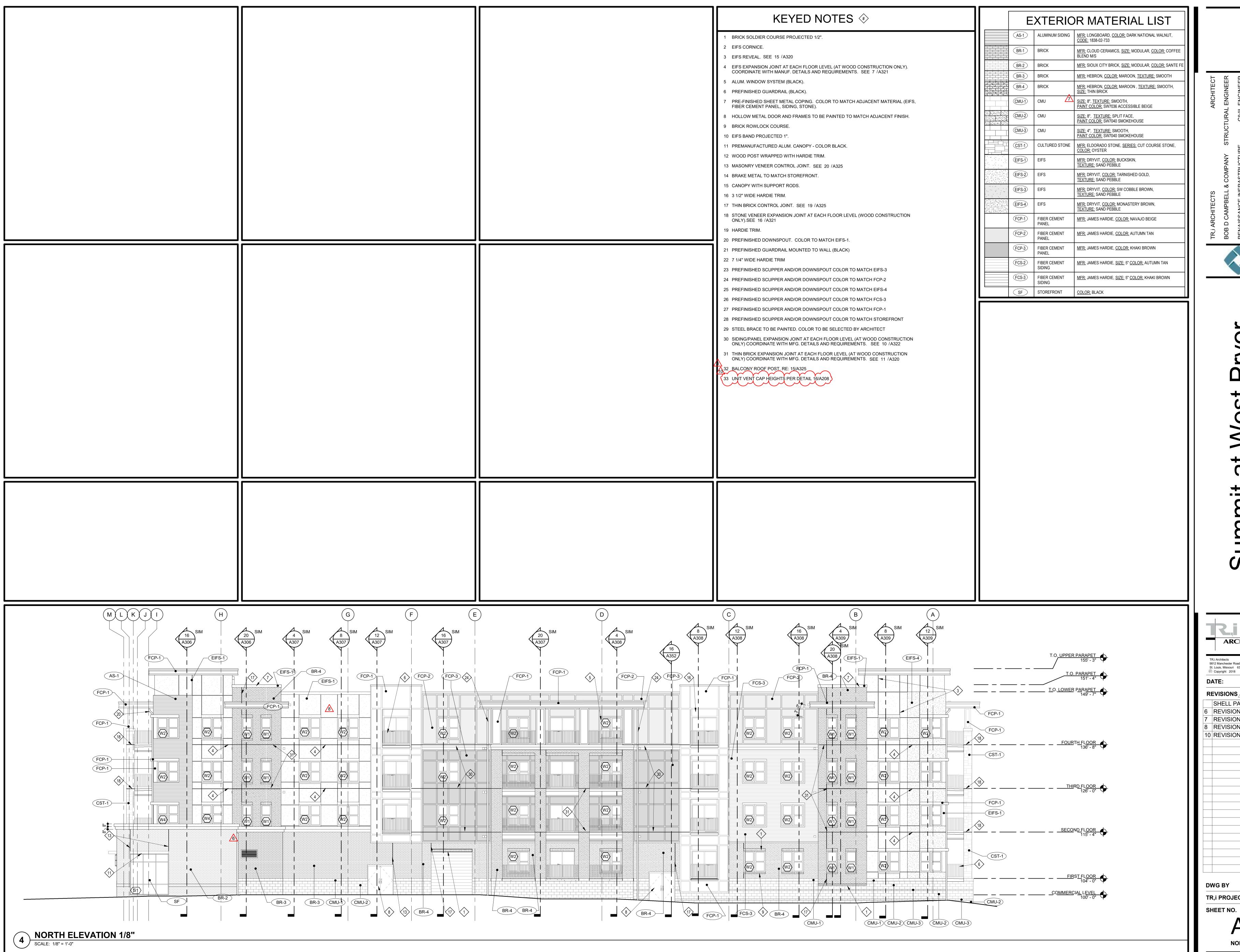
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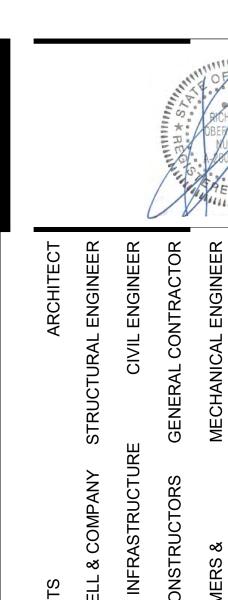
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DWG BY MKSS
TR,i PROJECT NO. 18-046
SHEET NO.

A204
WEST ELEVATIONS



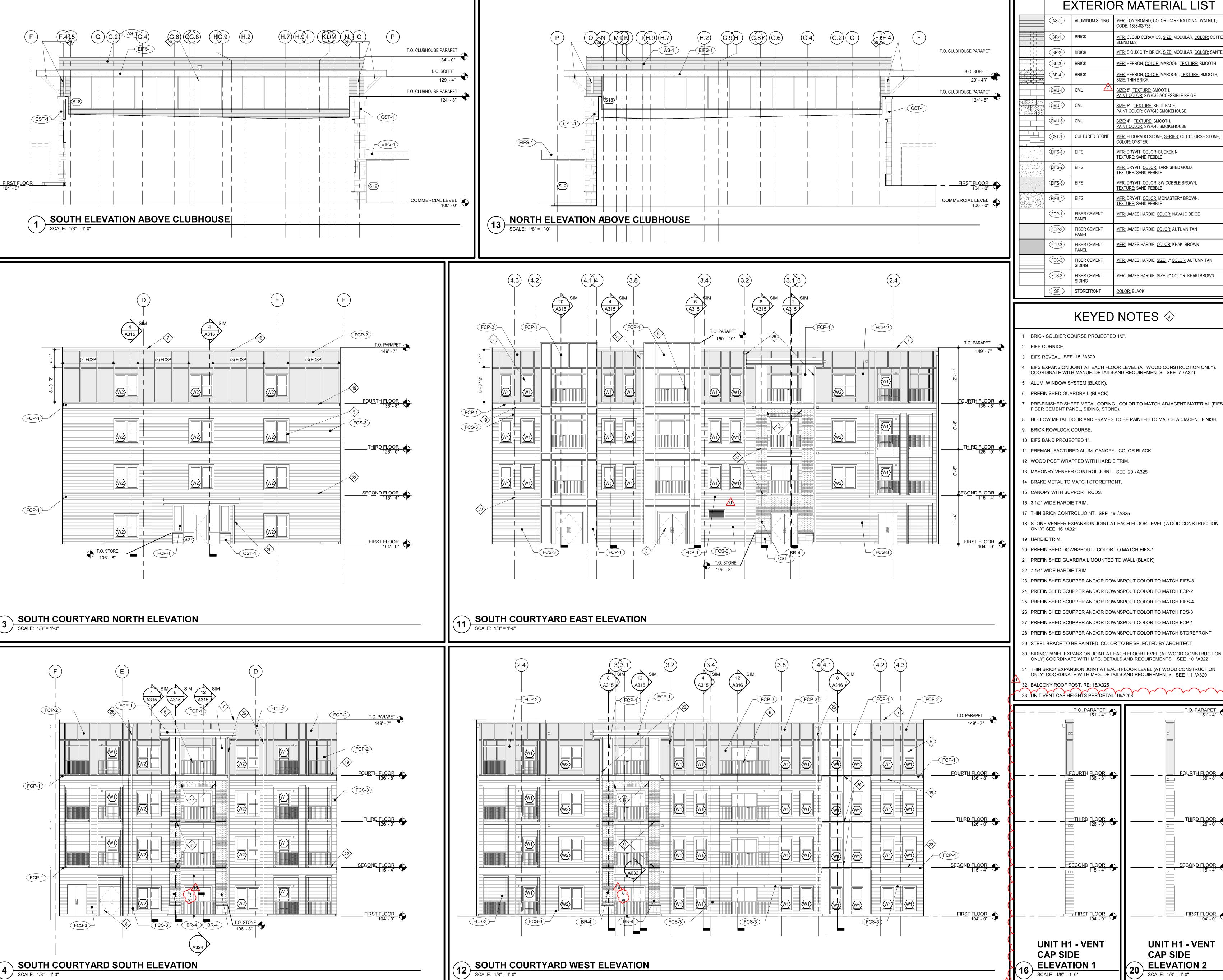




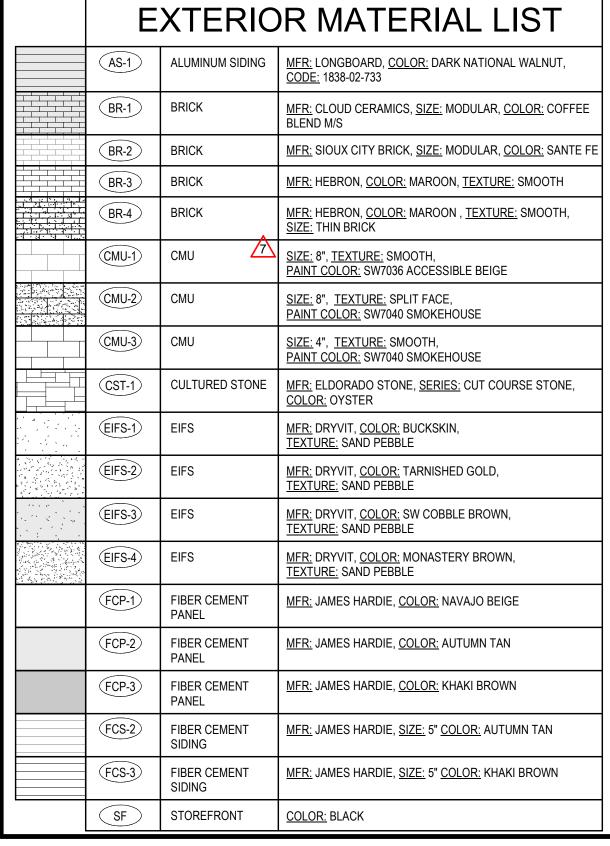
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1.24.20 4.3.2020 7.2.2020

TR,i PROJECT NO.



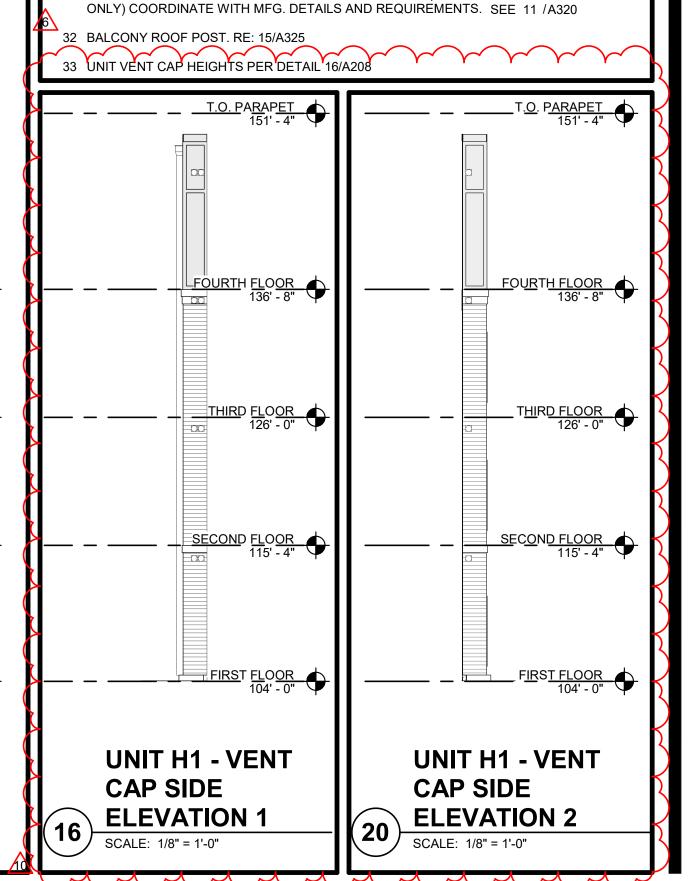
SCALE: 1/8" = 1'-0"



KEYED NOTES ◆

- EIFS EXPANSION JOINT AT EACH FLOOR LEVEL (AT WOOD CONSTRUCTION ONLY).
- PRE-FINISHED SHEET METAL COPING. COLOR TO MATCH ADJACENT MATERIAL (EIFS,
- 8 HOLLOW METAL DOOR AND FRAMES TO BE PAINTED TO MATCH ADJACENT FINISH.

- 23 PREFINISHED SCUPPER AND/OR DOWNSPOUT COLOR TO MATCH EIFS-3
- 24 PREFINISHED SCUPPER AND/OR DOWNSPOUT COLOR TO MATCH FCP-2
- 26 PREFINISHED SCUPPER AND/OR DOWNSPOUT COLOR TO MATCH FCS-3
- 27 PREFINISHED SCUPPER AND/OR DOWNSPOUT COLOR TO MATCH FCP-1
- 28 PREFINISHED SCUPPER AND/OR DOWNSPOUT COLOR TO MATCH STOREFRONT
- ONLY) COORDINATE WITH MFG. DETAILS AND REQUIREMENTS. SEE 10 /A322





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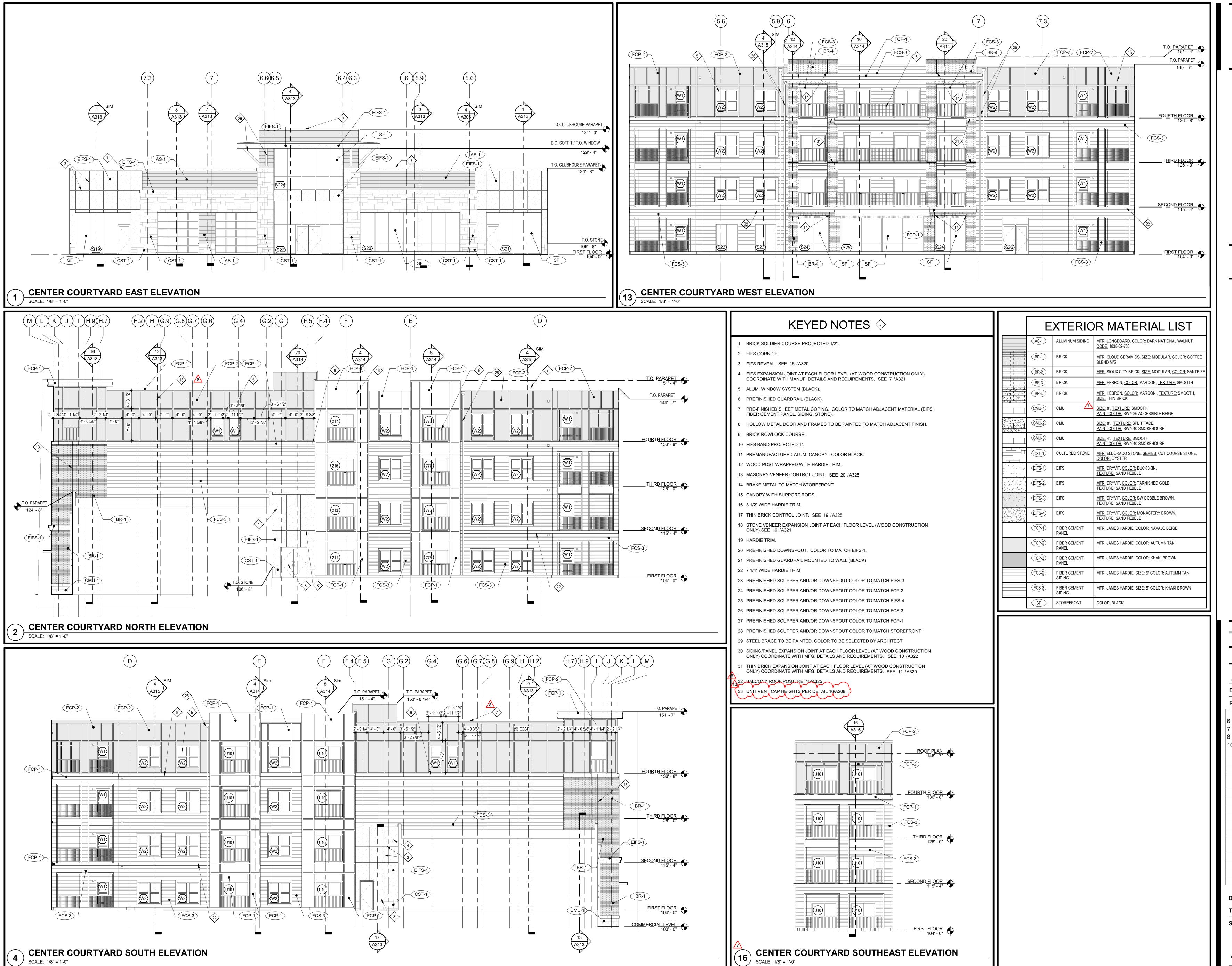
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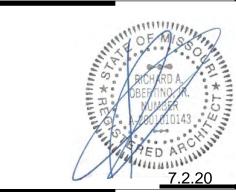
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DWG BY TR,i PROJECT NO.

SHEET NO. SOUTH COURTYARD ELEVATIONS





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RASTRUCTURE CIVIL ENGINEER
TRUCTORS GENERAL CONTRACTOR
S & MECHANICAL ENGINEER

BOB D CAMPBELL & COMPANY
RENAISSANCE INFRASTRUCTU
CONSULTING
BRINKMANN CONSTRUCTORS

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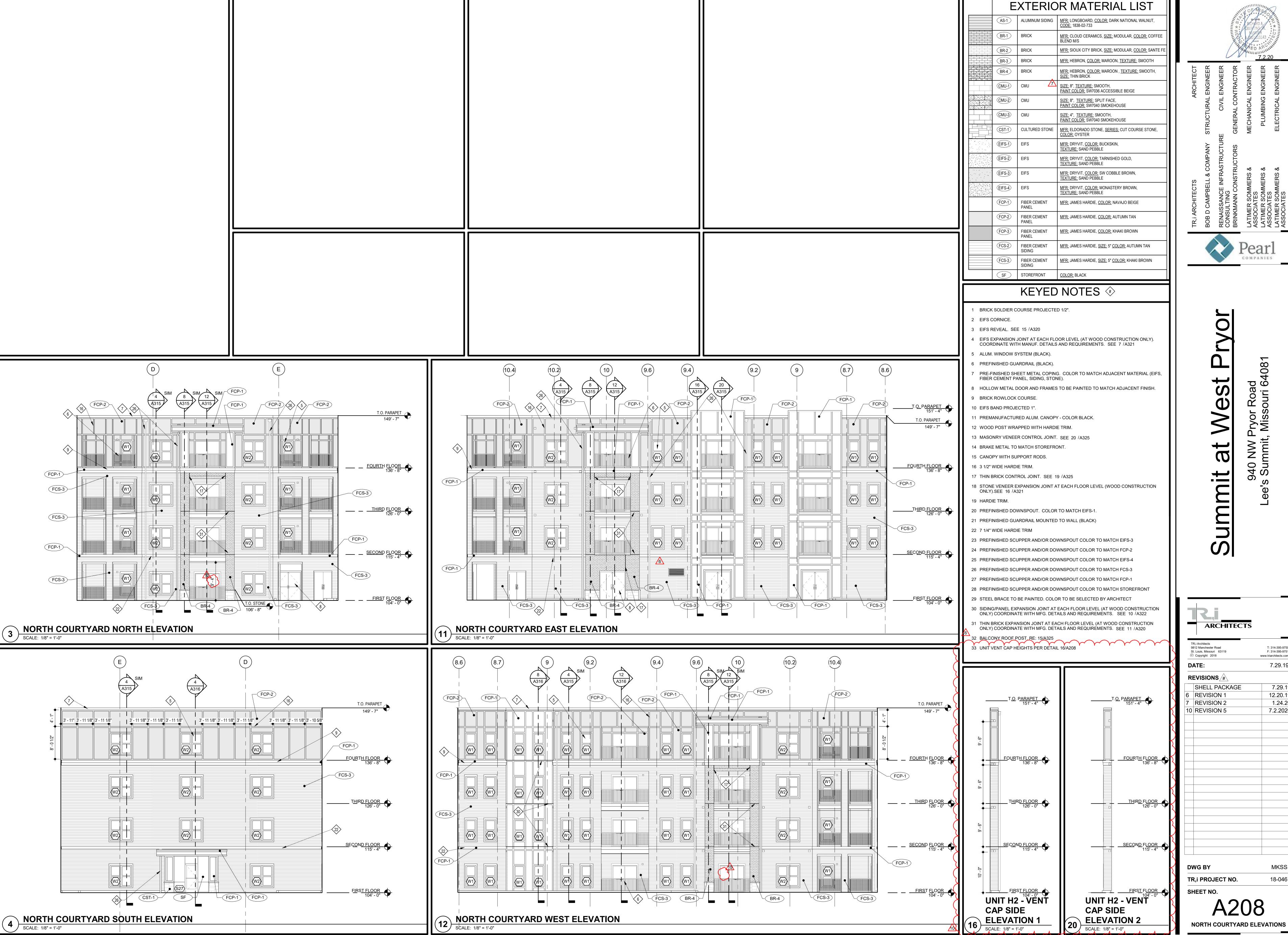
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A207





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