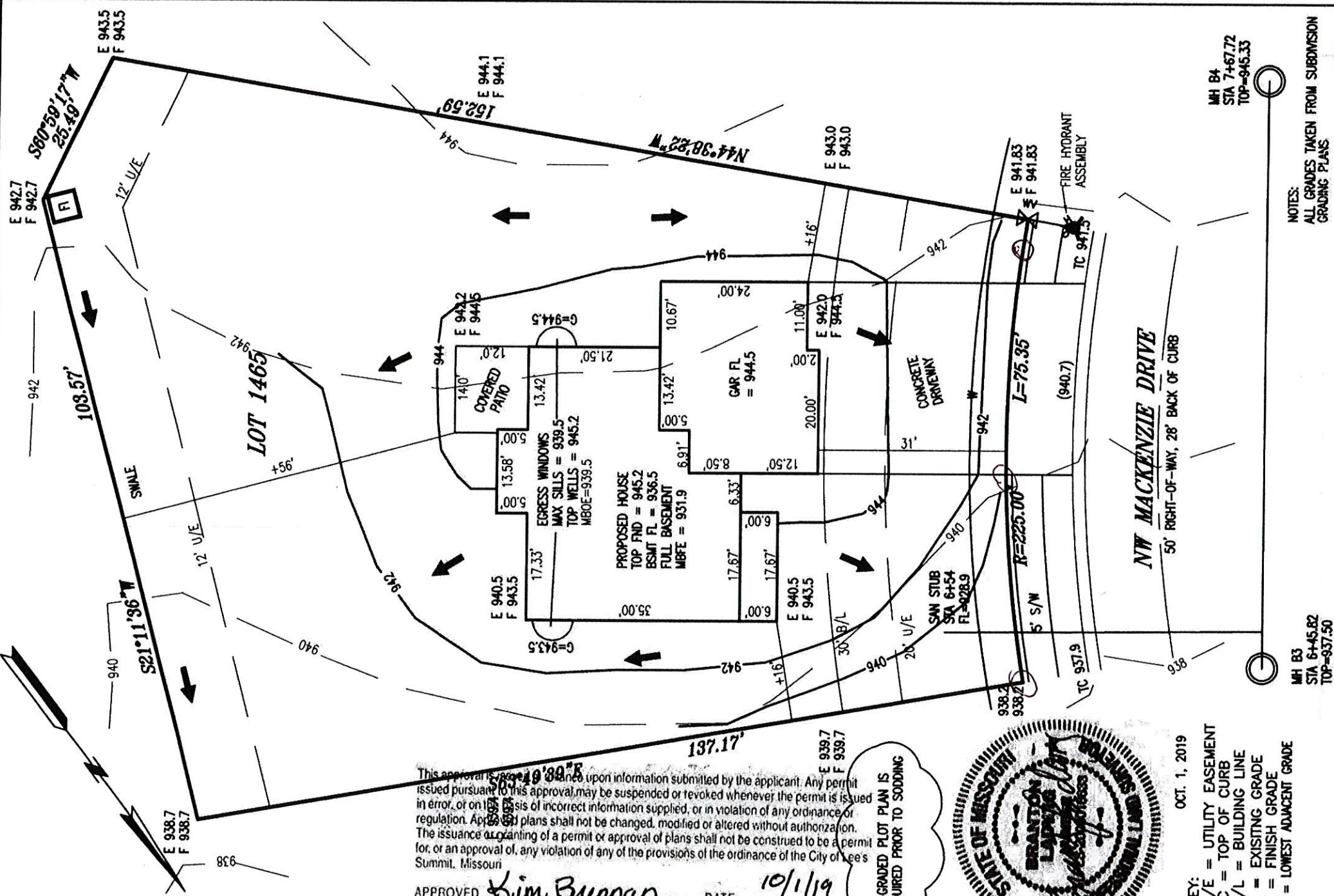




This approval is based upon information submitted by the applicant. Any permit issued pursuant to this approval may be suspended or revoked whenever the permit is issued in error, or on the basis of incorrect information supplied, or in violation of any ordinance or regulation. Approved plans shall not be changed, modified or altered without authorization. The issuance or granting of a permit or approval of plans shall not be construed to be a permit for, or an approval of, any violation of any of the provisions of the ordinance of the City of Lee's Summit, Missouri.

APPROVED Kim Bunnan DATE 10/1/19
 PRINT NAME KIM BUNNAN

AS-GRADED PLOT PLAN IS
 REQUIRED PRIOR TO SODDING



OCT. 1, 2019

KEY:
 U/E = UTILITY EASEMENT
 TC = TOP OF CURB
 B/L = BUILDING LINE
 E = EXISTING GRADE
 F = FINISH GRADE
 G = LOWEST ADJACENT GRADE

MH B3
 STA 6+45.82
 TOP=937.50

NOTES:
 ALL GRADES TAKEN FROM SUBDIVISION
 GRADING PLANS

JFE CONSTRUCTION ADDRESS: 121 NW MACKENZIE DRIVE

- NOTES:
- LEGAL DESCRIPTION OF PROPERTY PROVIDED BY CONTRACTOR. THIS PLOT PLAN DOES NOT CONSTITUTE OR REPRESENT A BOUNDARY SURVEY. THE CONTRACTOR AND/OR OWNER SHALL BE RESPONSIBLE FOR VERIFICATION OF PROPERTY BOUNDARY, PROPERTY CORNERS, DEED DESCRIPTIONS AND LOCATIONS OF PROPOSED HOUSE WITH RESPECT TO PROPERTY LINES.
 - EASEMENTS, BUILDING LINES AND SET-BACKS TAKEN FROM RECORDED PLAT ONLY.
 - CONTRACTOR TO VERIFY LOCATION AND DEPTH OF SANITARY SEWER SERVICE PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO VERIFY ALL DIMENSIONS, ELEVATIONS AND LOCATIONS PRIOR TO CONSTRUCTION
 - CONTRACTOR TO VERIFY CONDITION OF ALL FILL PRIOR TO CONSTRUCTION.
 - GRADES ARE PROPOSED GRADES ONLY. FINAL GRADING AND ELEVATIONS SHALL BE CONTRACTORS RESPONSIBILITY.

PLOT PLAN

LOT 1465

WINTERSET VALLEY 12TH PLAT

LEE'S SUMMIT

MISSOURI

LADWIG and ASSOCIATES, L.L.C.

LAND SURVEYORS
 816-309-6621

DRAWN BY: JDH

SCALE: 1" = 20'

DATE: 9/27/19

DRAWING NO: WW-1465



LEE'S SUMMIT MISSOURI

RELEASE FOR LAWN SPRINKLER SYSTEM IN CITY OF LEE'S SUMMIT RIGHT OF WAY (RESIDENTIAL)

In consideration for the City of Lee's Summit's permission to extend a Lawn Irrigation System into the City's right of way at (legal description of the property):

Lot No. _____ Plat Title _____ Address: 121 W. Mackenzie Lee's Summit
County: Jackson State: Missouri

I, Joel Rosales, the undersigned, successors, and assigns do hereby release and forever discharge the City of Lee's Summit, its employees and/or agents from and against any and all liability, claims and demands for any use arising out of, relating to, or being in any way connected with work or service by the City, its employees or agents within the City's right of way for any purpose whatsoever.

NOW THEREFORE, the Undersigned hereby declares that said property described above shall be held, sold and conveyed subject to the release herein and said release shall run with the real property and be binding on all parties having any part thereof, their heirs, successors and assigns.

IN WITNESS WHEREOF, this release has been read, signed and sealed this 2 day of July, 2020.

By:

Joel Rosales
Printed or Typed Name

INDIVIDUAL ACKNOWLEDGMENT

STATE OF MISSOURI
COUNTY OF JACKSON

ON THIS, The 2nd day of July, 2020 before me, a Notary Public, personally appeared:

proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) subscribed to the within instrument, and acknowledged that he/she/they executed the same for the purposes stated therein and no other.

WITNESS my hand and official seal in the County and State aforesaid, the day and year first above written.



ANGELA M. WERTENBERGER
My Commission Expires
April 8, 2021
Jackson County
Commission #13488766

/s/ Angela M. Wertenberger
Notary Public Signature
Angela M. Wertenberger
Printed or Typed Name

My Commission Expires: 4-8-21