

GENERAL NOTES:

- The recorded plat, Oldham East Business Park was used in preparation of this Final Development Plan.
- Cross Access easements for common driveways and adjoining parking lots will be provided on the Final Plat.
- There is no visible evidence of abandoned oil or gas wells located within the plot boundary, as identified in "Environmental Impact Study of Abandoned Oil and Gas Wells in Lee's Summit, Missouri," Edward Allan May, Jr., P.E., 1995.
- Mechanical units shall be totally screened from view. In accordance with Article 8 of the UDO.
- All materials, colors, and architecture of buildings to meet the requirements of Article 8 of the current UDO.
- Contractor to locate and relocate any existing utilities that may conflict with construction as necessary.
- The development shall meet the requirements of the Unified Development Ordinance, Design and Construction Manual, Access Management Code and other ordinances for development including, but not limited to, parking setbacks and spaces, ADA requirements, site lighting, landscaping and screening requirements.
- Every ADA accessible parking space shall be identified by a sign, mounted on a pole or other structure, located 60 inches above grade, measured from the bottom of the sign, and the head of the parking space.
- All identifying signs shall be 12 inches wide by 18 inches in height and meet the requirement set forth in the Manual on Uniform Traffic Control Devices, as referenced in the Lee's Summit General Code of Ordinances.
- All landscaping to meet Article 8 of the UDO.
- There shall be two way traffic movement.
- See architectural submitted for all building dimensions, monument signs and lighting details.
- Parking lot screening to meet UDO.
- See Lighting Plans and Specs for all information related to parking lot lighting.
- At curb to be CD-1 curb unless otherwise noted.
- Easements are provided for ingress/egress as shown and per the recorded plat.
- Parking Spaces shall be 9' x 19' (perimeter w/ curb), 9' x 19' (interior center), and 9' x 20' (interior w/ no curb).
- Water shed East Park-Little Blue River to Prairie Line Label.
- A minor plot will be prepared to combine the two lots into 1 lot. A private easement for the sanitary sewer service for the Landmark State Center building will be dedicated on the plot.
- All dimensions are to back of curb unless otherwise noted.
- All curb road within parking lot are 5' unless otherwise noted.

STREETS:

- Improvements to the main entrance off of SE Otham Parkway shall consist of curb & gutter addition and sidewalk construction to the West side of entrance. In regards to sidewalk to the East side of entrance, payment shall be made to the City of Lee's Summit for construction cost in lieu of actual construction of sidewalk.

BUILDING LINES:

- Minimum required building line is 20 feet from all property lines.

PARKING SETBACK LINES:

- Minimum required parking setback line is 20 feet on SO Hwy & SE Otham Parkway Frontages, 5 feet is required from all other property lines.

SIDEWALKS:

- Interior sidewalks are 5' as shown. Sidewalks to be 5' PCC on 4" of compacted gravel.

PROJECT DATA:

The site is Zoned CS
Project Area - 2.63 acres
Number of Lots - 2

PHASING:

- The project infrastructure as shown shall be completed in 1 phase.

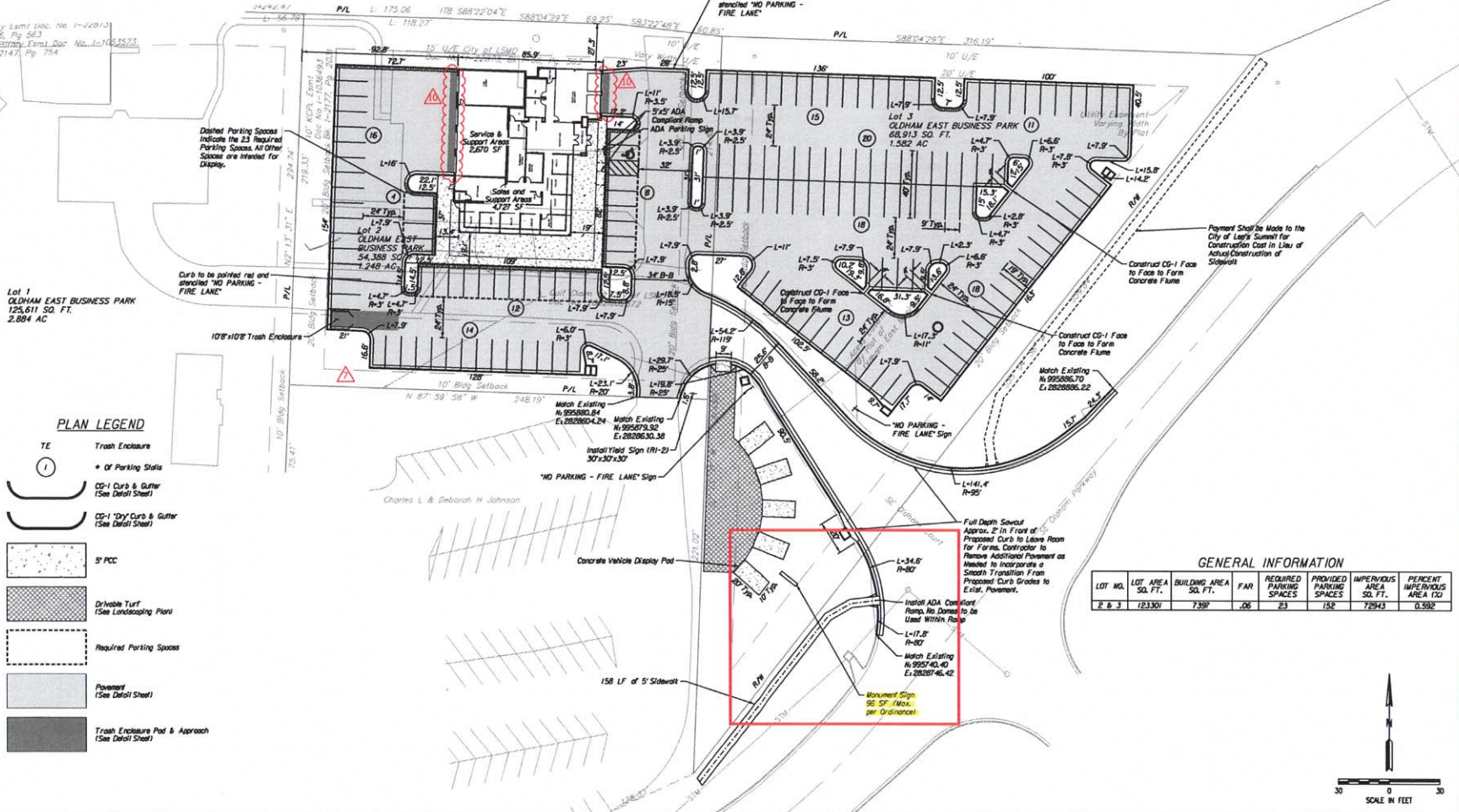
PARKING:

- Parking Spaces Required/Provided - 23/23 (145 Total)
- Garage - 3/way x 4 bays - 12
- Sales Area - 5/1000' - 4.7 x 2 = 9.4 (10)
- Outside Display Area - 1/2500' x 5 display pads at 200sf each - 1000sf - 0.4 (1)
- ADA Spaces Required/Provided - 1/1

SITE ADDRESS:

704 SE Otham Court, Lee's Summit, MO 64081

US 50 HWY



DATE	REVISION	NO.	BY	CHKD.
11/13/20	1	1	XXX	XXX
11/13/20	2	2	XXX	XXX
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11/13/20	30	30	XXX	XXX



1/13/20
Consulting Inc. engineers



ARISTOCRAT MOTORS
LEE'S SUMMIT - JACKSON COUNTY - MISSOURI

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11/13/20	30	XXX	XXX