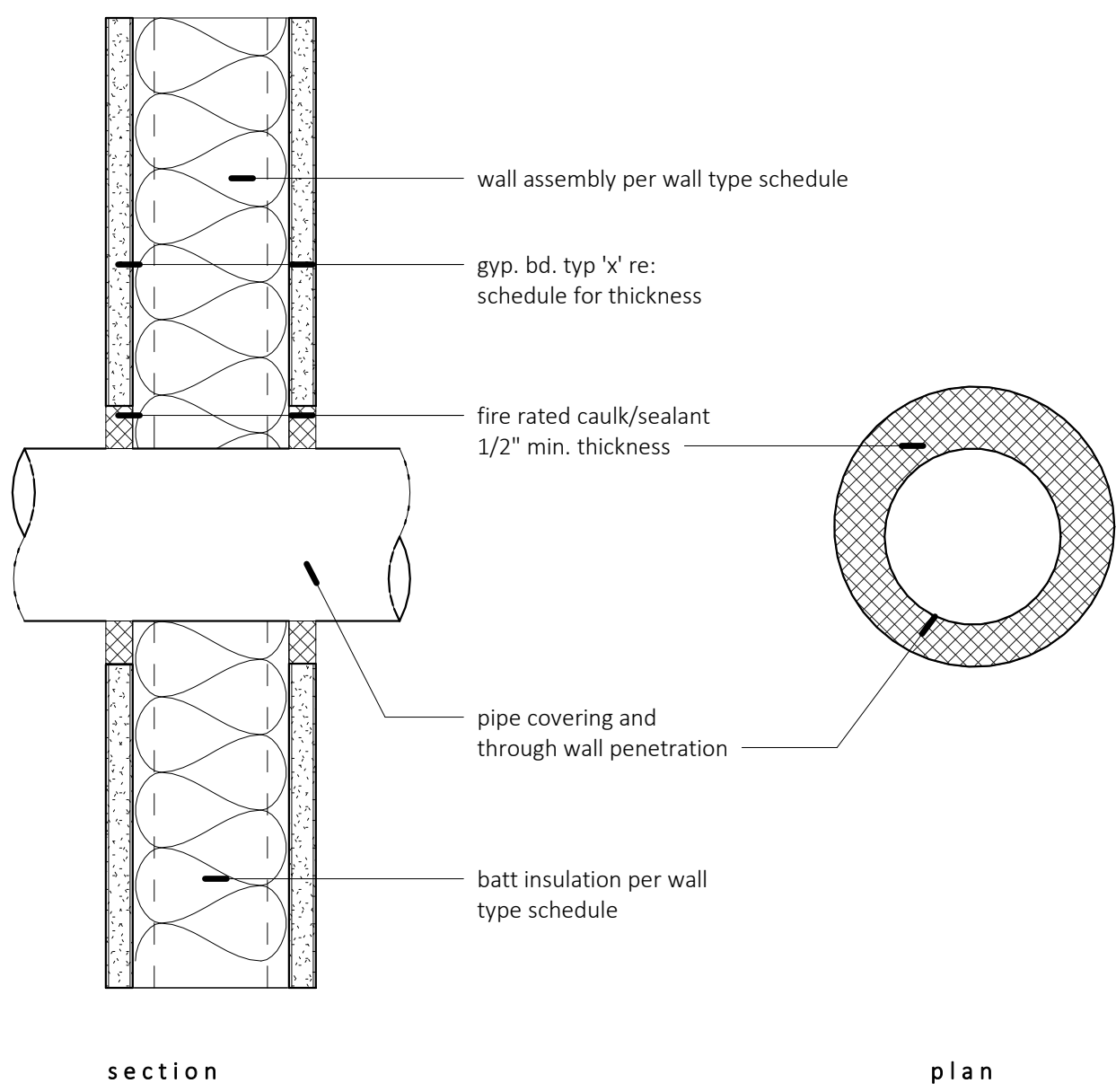
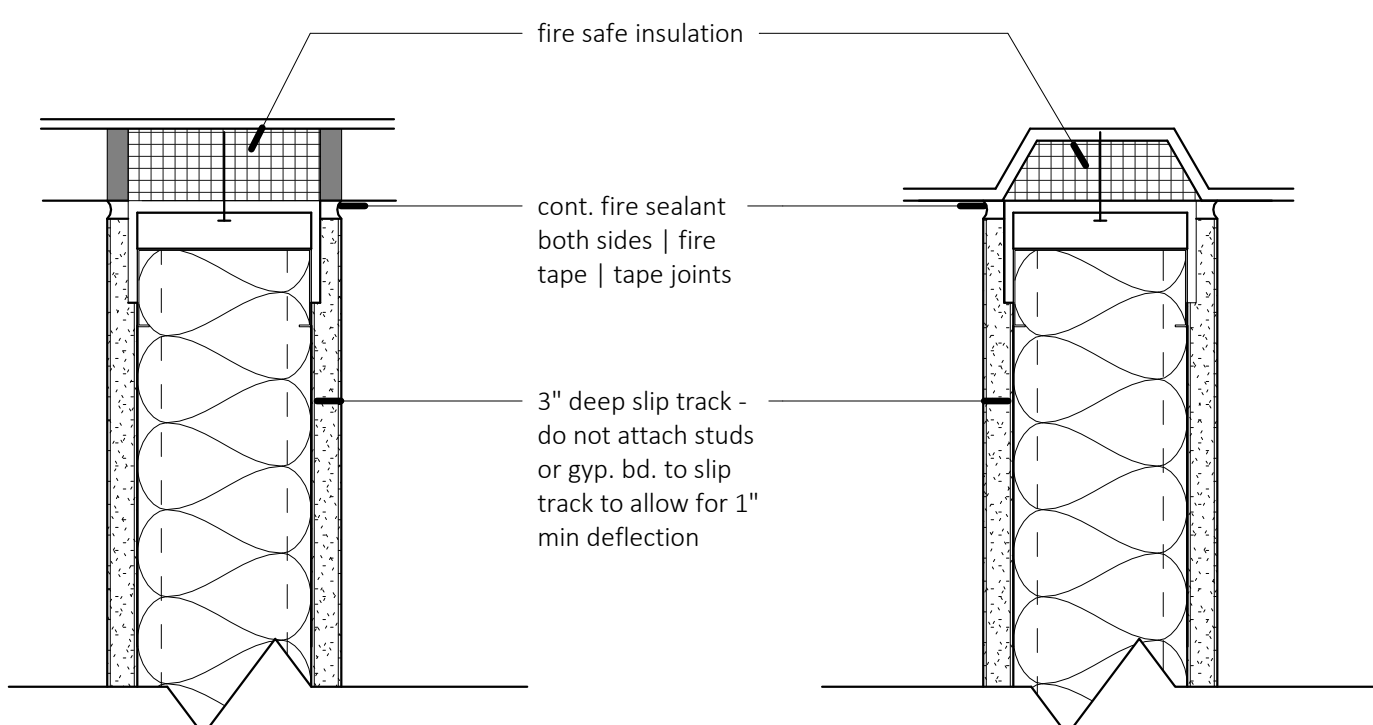


1 | floor plan
a1.0 | 1/4" = 1'-0"

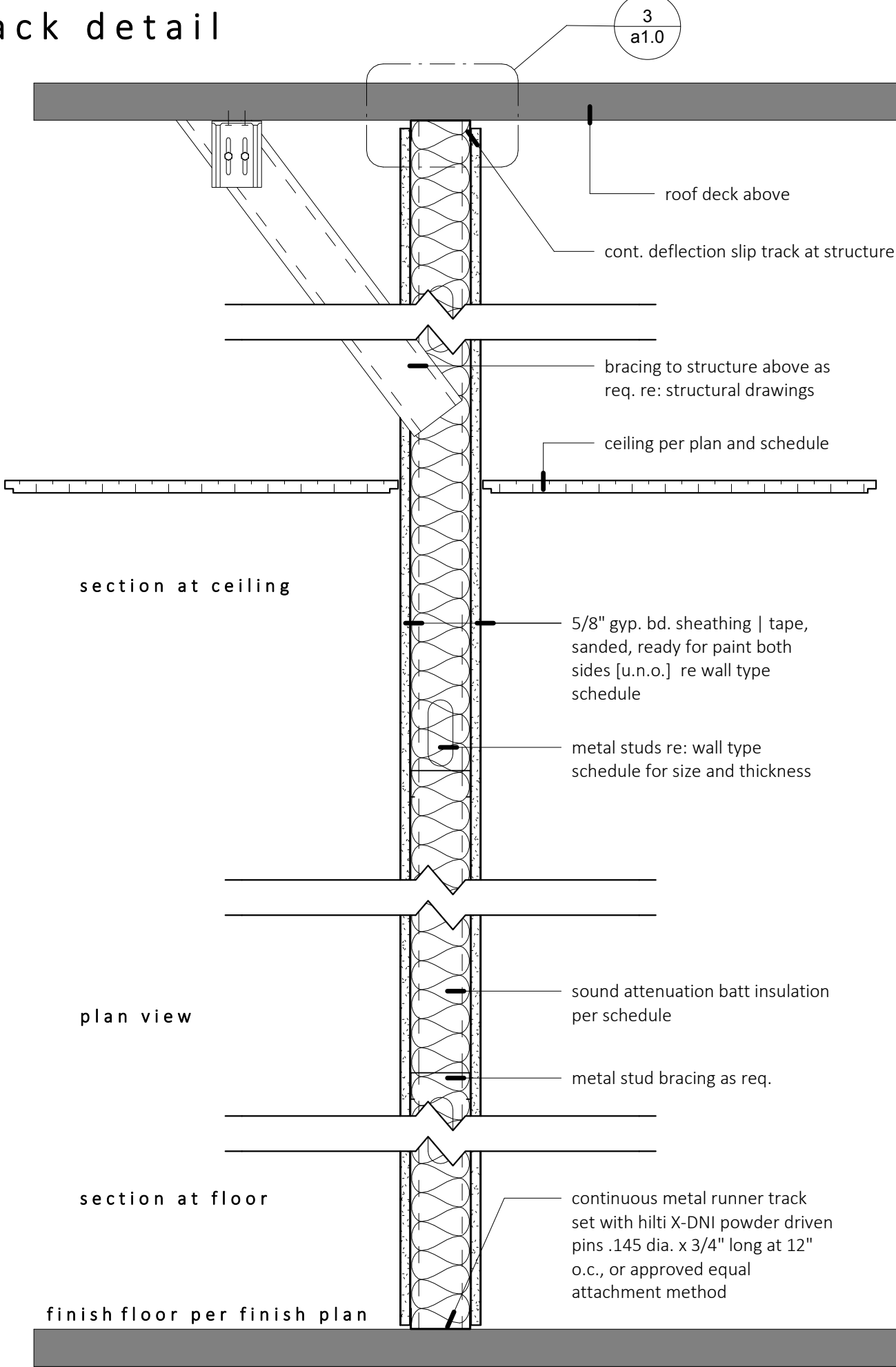


4 | wall penetration - pipe
a1.0 | 3" = 1'-0"

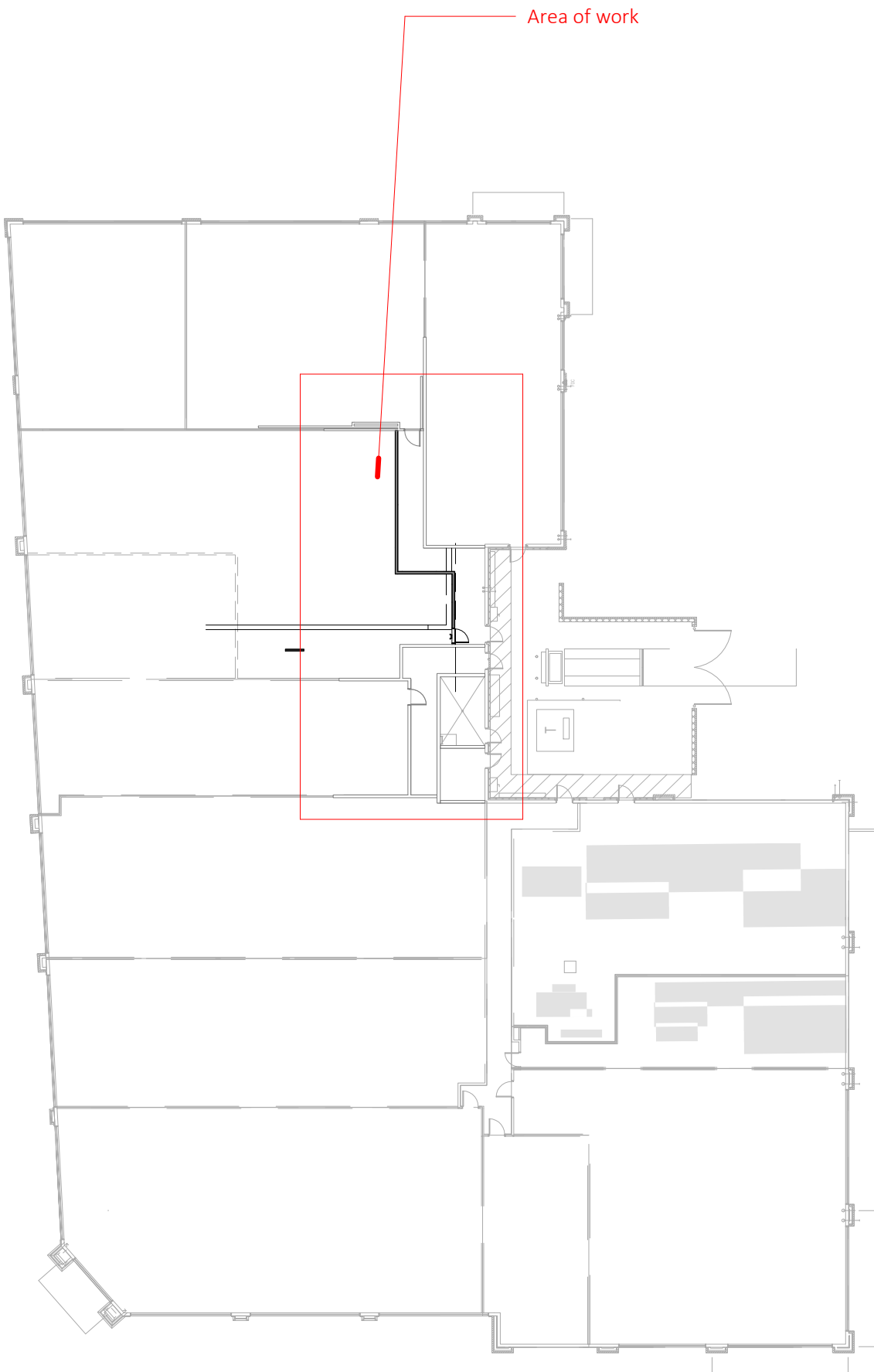


parallel to deck | perpendicular to deck |

3 | slip track detail
a1.0 | 3" = 1'-0"



5 | location plan
a1.0 | 1/32" = 1'-0"



general notes |

- all work shall conform with applicable building codes, regulation and ordinances, contractor shall obtain all required building and occupancy permits.
- information on the drawings regarding existing conditions is based upon site verification. the information is believed to be an accurate reflection of the existing conditions but it is in no way intended to guarantee exact conditions
- contractor is responsible to perform a complete analysis prior to commencement of work, report all discrepancies to the architect immediately. failure of the contractor to perform survey, field verify conditions, and coordinates work does not relieve contractor or responsibility for work
- contractor shall take precautions to maintain and protect existing systems and finishes which are to remain. any damage to such systems and finishes shall be repaired in a manner acceptable to the architect at the contractor's expense.
- drawings contained in this set shall not be reproduced for shop drawings, copies of these drawings submitted as shop drawings will be rejected and returned to the contractor.
- do not scale drawings. follow written dimensions or keyed notes only. contact architect for clarification if required.
- each installer must examine substrate and/or conditions under which the work will be installed and report to the contractor in writing any conditions detrimental to the proper and timely execution of the installer's work. do not proceed until unsatisfactory conditions are corrected. installation shall constitute acceptance of the substrate and/or conditions.
- all fire, life safety systems must be maintained in proper working order throughout the duration of the work. portable fire extinguishers of approved type are to be placed within the construction area in accordance with the local fire department inspector or marshal.
- field verifying existing conditions and dimensions prior to commencement of work. notify architect of any discrepancies.
- assemblies noted to be fire-rated (one hour, two hour, etc.) shall be constructed in strict compliance with the fire test referenced or if no text is referenced, an industry recognized fire-test applicable to the assembly.
- the architect is not responsible for g.c.'s means, sequence and methods or safety measures, including all personnel and visitors.
- non-bearing partitions shall be isolated from the building structure to prevent transfer of building loads from the structure to the partitions
- all finishes not specifically called out on the drawings shall be selected by owner/architect
- all exposed steel handrails, guardrails, etc. shall be painted. color to be determined by architect if not specified on drawings.
- all blocking to be ACG treated with approved fasteners if in contact with ground.
- all patching and repair work to roofing shall be compatible with existing roof materials and maintain all roofing warranties. contractor shall use landlord roofing contractor on any roof work
- any new tenant signage shall be submitted under separate cover, by others.
- all dissimilar metal materials shall be isolated with an approved non-metal isolation material.
- [typical] as used in these documents shall mean that the conditions or dimension is the same or representative for similar conditions throughout.
- any details for construction not specified or shown on drawings shall be in accordance with industry standards or manufacturer's recommendations.
- any manufactured items shall be installed in accordance with manufacturer's written instructions.
- all exterior wood shall be exterior rated with required preservatives
- general contractor is responsible for general clean up of job site upon completion of project.
- pedestrians shall be protected during construction, remodeling and demolition phases. contractor to provide signage directing pedestrian traffic. all required means of egress shall be maintained at all times during the construction process.
- all wet/plumbing walls are to be provided with moisture resistant gyp. bd. provide cement backer board behind all walls with tile in wet locations.
- no plumbing is allowed in demising walls. furr out wall as required.
- landlord building shell - structural system shall not be compromised in any fashion. any modifications and/or adaptations to existing structural system shall be coordinated and agreed upon by landlord representative.
- revisions to work or plans must be approved by the city and / or local jurisdictions inspection services prior to implementation. any additions or changes to work must be authorized in writing by the architect. no alterations will be made on the project except upon written order by using predetermined architect supplemental instructions, change order or construction change directives.
- all contractors will provide adequate bracing and/or shoring to insure structural stability of the building and all related building components, i.e. structural walls, interior wall assemblies, etc. during the construction phase of the project.
- provide sufficient blocking in stud walls to support all items or equipment shown or specified to be attached to the walls. provide additional structural supports (angles, channels, etc.) within wall where the weight of attached items or equipment is too great to be supported by metal studs. provide blocking for owner furnished or installed items.
- contractor to coordinate the shut down of any and all utility services with the existing building so as to minimize the disruption of service to other tenants in the building.

general notes - demolition |

- all work shall conform to the requirements of all local laws, codes, and regulations of all authorities having jurisdiction; in case of conflict between requirements, the most restrictive shall apply
- the contractor shall field check all relevant conditional and dimensions and notify the architect of any discrepancies with the drawings prior to construction.
- existing conditions and elevations are derived from field measurements and are shown to assist the bidders only. no claim is made to their validity. the contractor and subcontractors shall visit the site prior to submitting a bid and provide for all existing conditions. no allowance will be made resulting from failure to carry out such an examination.
- prior to the start of construction or demolition, the contractor shall coordinate with the landlord rep. or on site management and any adjacent tenants if work will impact their daily operations.
- contractor shall acquaint themselves with all landlord/developer requirements and shall comply full with such.
- the work involved shall be the entire responsibility of the contractor who shall ensure that such work is properly carried out by his forces of his subcontractors. the contractor shall confirm that all items are covered.
- protect existing conditions from damage and repair damage due to construction operations at no cost to owner.
- demolition work shall be executed in an orderly and careful manner and demolished materials shall become the property of the contractor for off-site disposal at their expense, in a legal manner.
- demolition contractor shall dispose of all removed materials at an appropriate location. the contractor shall confirm the exact location with the landlords on site representative
- perform work by means that will not produce noise, vibration, odors, or dust which could affect operations or use by other tenants.
- contractor shall provide adequate protection of work, materials, fixtures, etc. from loss, damage, fire, theft, etc.
- remove existing walls as indicated. patch and repair all remaining walls and soffits for as new finish. remove and replace existing concrete slab or sidewalk and prepare for new work.
- when existing finishes are to be removed from existing substrate, the remaining substrate shall be patched and/or repaired and prepared to receive new finish as required by the manufacturer's recommendations.
- verify all existing steel columns, bases and foundations are in acceptable condition. notify the architect immediately if not.
- where removal of walls are indicated, remove existing electrical devices, related wiring and conduit back to the source to facilitate removal. salvage all hornstrobes, emergency lighting, FE cabinets and thermostats for reuse on this project. contractor shall include removal of all abandoned conduit and wiring above ceilings.
- contractor is responsible for patching and repairing any and all fireproofing (to match or exceed existing) material and thickness, whether caused by demolition contractor or not.

applicable codes |

building code:	2018 international building code
mechanical code:	2018 international mechanical code
plumbing code:	2018 international plumbing code
electrical code:	2017 international electrical code
gas code:	2018 international fuel gas code
fire prevention:	2018 international fire code
life safety:	2018 nfpa101
energy code:	2018 international energy conservation code

code review |

project type:	remodel - add corridor
project name:	add corridor in existing building
occupancy [NO CHANGE TO OCCUPANCY FOR THIS PROJECT]	single occupancy (section 302)
informational purposes only	group m (section 309)
construction type:	type IIB (table 504.3)
allowable building stories:	fully sprinklered
actual building stories:	3 stories (table 504.2)
allowable building height:	1 story
sprinkler height increase:	55'-0" (table 504.3)
actual building height:	maximum height increase 20'-0" (table 506.2)
base allowable building area:	31'-0"
sprinkler area increase:	37,500 SF (table 506.3)
actual building area:	(section 506.3)
building element ratings	33,247 sf [no change]
exterior bearing walls	existing to remain
structural frame	existing to remain
floor and ceiling assemblies	existing to remain

CADSTONE STUDIO

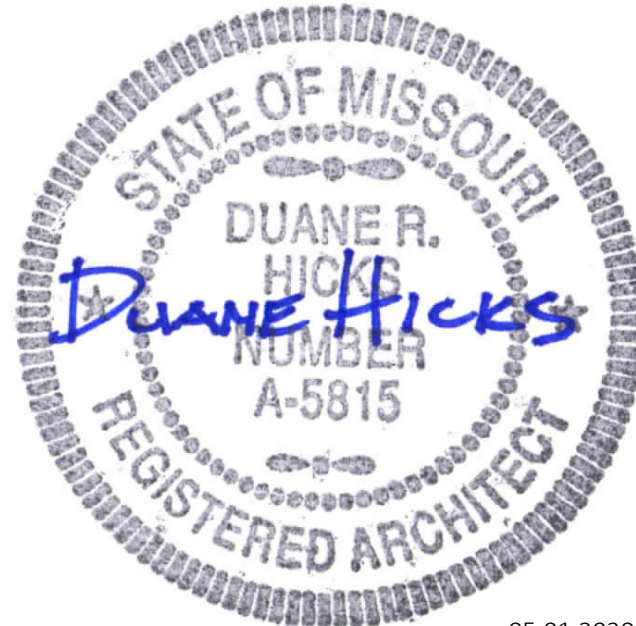
ARCHITECTURE

Duane Hicks

1213 W 32nd Street, Independence, MO 64055

816-550-0130

Cadstone1@aol.com



05.01.2020

New Corridor

910 NW Blueparkway
Lee's Summit, MO 64086

REV DATE DESCRIPTION

SHEET NAME

floor plan

ARCH PROJECT NO.

SHEET DATE

Project Number

04-27-2020

SHEET NO.

PROJECT PHASE

a1.0

Permit