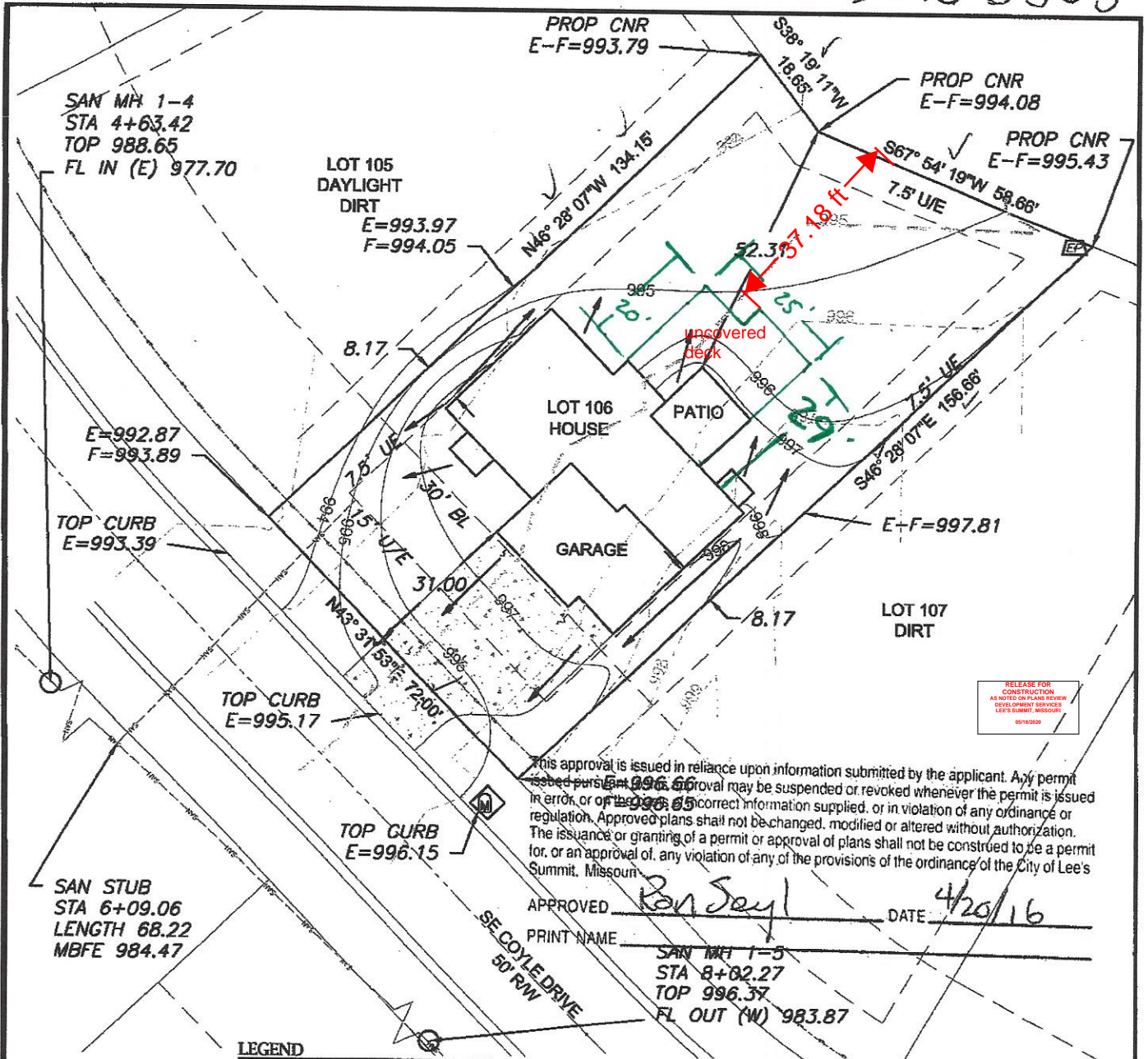


20160868



This approval is issued in reliance upon information submitted by the applicant. Any permit issued pursuant to this approval may be suspended or revoked whenever the permit is issued in error, or on the basis of incorrect information supplied, or in violation of any ordinance or regulation. Approved plans shall not be changed, modified or altered without authorization. The issuance or granting of a permit or approval of plans shall not be construed to be a permit for, or an approval of, any violation of any of the provisions of the ordinance of the City of Lee's Summit, Missouri.

APPROVED Ron Seyl DATE 4/20/16
 PRINT NAME SAN MH 1-5
STA 8+02.27
TOP 996.37
FL OUT (W) 983.87

RELEASE FOR CONSTRUCTION AS NOTED ON PLANS REVIEW DEVELOPMENT SERVICES LEE'S SUMMIT, MISSOURI 64080

LEGEND

- Gas Meter
- Telephone or Fiber-Optic Pedestal
- Cable TV Pedestal
- Electric Pedestal
- Light Pole
- Mailbox
- Fire Hydrant
- Water Valve

PROPOSED HOUSE

TOP FOUNDATION = 998.15
 GARAGE FLOOR = 997.65
 TOP FOOTING = 990.15
 BASEMENT FLOOR = 990.48

E = EXISTING ELEVATION
 F = PROPOSED FINAL ELEVATION
 G = ADJACENT GRADE AT EGRESS

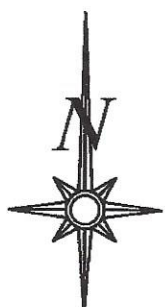
U.E. = UTILITY EASEMENT
 B.L. = BUILDING LINE

NOTES

1. BUILDER TO VERIFY ALL BUILDING ELEVATIONS AND DIMENSIONS.
2. THIS PLOT PLAN DOES NOT CONSTITUTE A BOUNDARY

NOTE: DECK APPROVAL WILL BE REQUIRED PRIOR TO (FUTURE) DECK CONSTRUCTION

DRIVEWAY SLOPE = 5.9 %
 EXTENDED LOT AREA = 10,990.93 SQ. FT.
 SIDEWALK AREA = N/A



Scale 1" = 30'

LOT INFORMATION

10,198.93 SQ. FT.
 MBFE = 984.47
 ADDRESS
 257 SE COYLE DR.

LEGAL DESCRIPTION

LOT 106, MILL CREEK OF SUMMIT MILL 3RD PLAT, A SUBDIVISION AS RECORDED IN RECORD BOOK

OS BAR
 E=994.09

OS BAR
 E=997.99

