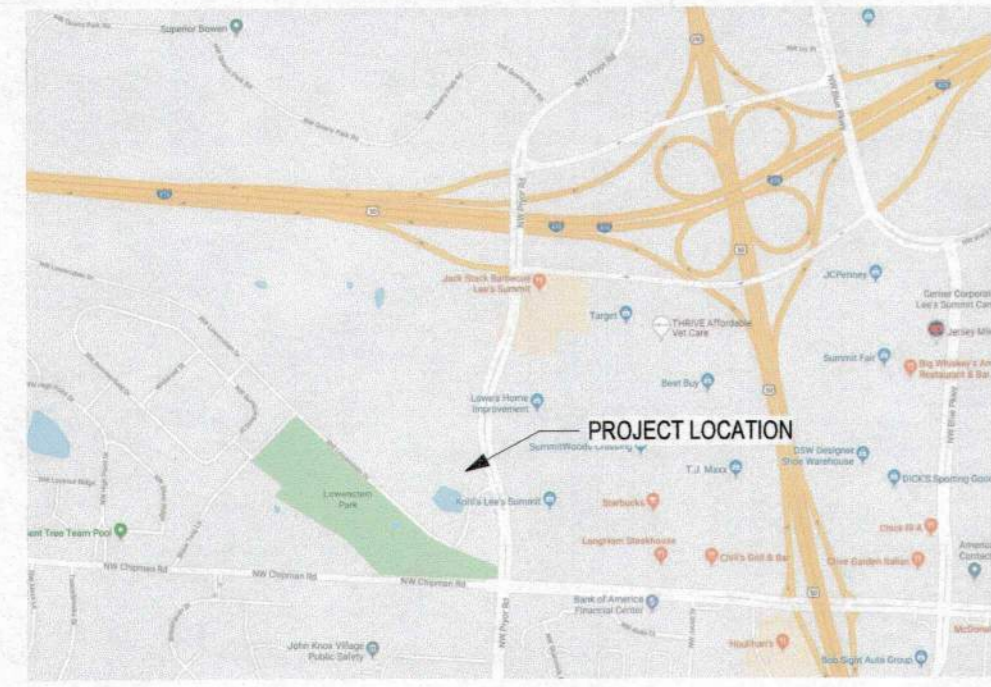


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DATE: 04/07/2020 11:09:51 AM
DRAWN BY: ALB



A1 LOCATION MAP
SCALE: NOT TO SCALE

MATERIAL LEGEND

PLAN OR SECTION		RIGID INSULATION
ACOUSTIC TILE (SECTION)		SAND, GRAVEL, PLASTER, DRYWALL, CUT STONE, GROUT
BATT INSULATION		TILE (LARGE SCALE)
BRICK		WOOD BLOCKING
CARPET		WOOD MEMBER (CONTINUOUS)
CONCRETE		WOOD STUDS, PARALAM, FINISHED
CONCRETE MASONRY UNITS		WOOD STUDS
CONCRETE, PLASTER CUT STONE, STUCCO		ELEVATION
EARTH COMPACTED/DISTURBED		BRICK
METAL		GLASS
METAL STUDS		WOOD
PLYWOOD (LARGE SIZE)		

ABBREVIATIONS

A	AFF	ABOVE FINISH FLOOR
	ACS PNL	ACCESS PANEL
	ACC	ACCESSIBLE
	ACT	ACOUSTICAL CEILING TILE
	ACOUS PNL	ACOUSTICAL PANEL
	ADMIN	ADMINISTRATION
	APC	ACOUSTICAL PANEL CEILING
	AWIT	ACOUSTICAL WALL TREATMENT
	ADJ	ADJUSTABLE
	AHU	AIR HANDLING UNIT
	ALT	ALTERNATE
	ALUM	ALUMINUM
	AB	ANCHOR BOLT
	L	ANGLE
	AND	AND/OR / AND/OVER
	APPROX	APPROXIMATE
	ARCH	ARCHITECTURAL
	ASPH	ASPHALT
B	BSMT	BASEMENT
	BM	BEAM
	BRG	BEARING
	BRG PL	BEARING PLATE
	BR	BEDROOM
	BLW	BELOW
	BTWN	BETWEEN
	BTUM	BUTIMINOUS
	BD	BOARD
	BF	BOTH FACES
	BS	BOTH SIDES
	BW	BOTH WALLS
	BOT	BOTTOM
	BRKT	BRACKET
	BLDG	BUILDING
	BUR	BUILT-UP ROOFING
C	CAB	CABINET
	CUH	CABINET UNIT HEATER
	CPT	CARPET
	CS	CAST-IN-PLACE
	CLG	CEILING
	CEM	CEMENT
	CTR	CENTER
	CL	CENTER LINE
	C TO C	CERAMIC TILE
	CH BD	CHALKBOARD
	C	CHANNEL
	CLR	CLEAR
	CLO	CLOSET
	COL	COLUMN
	CONC	CONCRETE
	CMU	CONCRETE MASONRY UNIT
	CJ	CONSTRUCTION JOINT, CONTROL JOINT

D	DW	DISHWASHER
	DR	DOOR
	DBL	DOUBLE
	DN	DOWN
	DS	DOWNSPOUT
	DWG	DRAWING
	DF	DRINKING FOUNTAIN
E	EA	EACH
	EW	EACH WAY
	ESMT	EASEMENT
	E	EAST
	ELEC	ELECTRIC, ELECTRICAL
	EL	ELEVATION
	ELEV	ELEVATOR
	EQ	EQUAL
	EQUIP	EQUIPMENT
	EXH FN	EXHAUST FAN
	EXIST	EXISTING
	EXP	EXPANSION
	EJ	EXPANSION JOINT
	EXT	EXTERIOR
	EIFS	EXTERIOR INSULATION & FINISH SYSTEM
F	FC BRK	FACE BRICK
	FOF	FACE OF FINISH
	FGL	FIBERGLASS
	FIN	FINISH
	FF EL	FINISH FLOOR ELEVATION
	FE	FIRE EXTINGUISHER
	FEC	FIRE EXTINGUISHER CABINET
	FIXT	FIXTURE
	FLASH	FLASHING
	FLR	FLOOR
	FCO	FLOOR CLEANOUT
	FD	FLOOR DRAIN
	FLUOR	FLUORESCENT
	FLUOR	FLOW LINE
	FT	FOOT
	FTG	FOOTING
	PDFTN	FOUNDATION
	FRM	FRAME
	FR	FRESH AIR
	FURN	FURNACE
	FUR	FURRING
	FS	FULL SIZE
G	GA	GAUGE
	GALV STL	GALVANIZED STEEL
	GC	GENERAL CONTRACTOR
	GL	GLASS
	GB	GRAB BAR
	GYP BD	GYP SUM BOARD

H	HYD	HOT WATER HYDRANT
I	INCL	INCLUDED
	ID	INSIDE DIAMETER
	INSUL	INSULATION
	INT	INTERIOR
J	JAN	JANITOR
K	KIT	KITCHEN
L	LAB	LABORATORY
	LAM	LAMINATE
	LAU	LAUNDRY
	LAV	LAVATORY
	LWC	LIGHTWEIGHT CONCRETE
	LCMU	LIGHTWEIGHT CONCRETE MASONRY
	LF	LINEAR FOOT
	LR	LIVING ROOM
	LLV	LONG LEG VERTICAL
M	MAINT	MAINTENANCE
	MH	MANHOLE
	MFR	MANUFACTURED
	MFG	MANUFACTURING
	MO	MASONRY OPENING
	MBR	MASTER BEDROOM
	MATL	MATERIAL
	MAX	MAXIMUM
	MECH	MECHANICAL
	MTL	METAL
	MW	MICROWAVE
	MIN	MINIMUM, MINUTE
	MISC	MISCELLANEOUS
	MR	MOISTURE RESISTANT
	MTD	MOUNTED
	MULL	MULLION
N	NRC	NOISE REDUCTION COEFFICIENT
	NOM	NOMINAL
	N	NORTH
	NIC	NOT IN CONTRACT
	NTS	NOT TO SCALE
O	OFF	OFFICE
	OC	ON CENTER
	OPNG	OPENING
	OPP	OPPOSITE
	OD	OUTSIDE DIAMETER
	OIO	OUT TO WALL
	OA	OVERALL
	ORD	OVERFLOW ROOF DRAIN
	OH	OVERHANG
	OFI	OWNER FURNISHED/CONTRACTOR INSTALLED
	OF/OI	OWNER FURNISHED/OWNER INSTALLED

P	PT	PAINT
	PR	PAIR
	PML	PANEL
	PTD	PAPER TOWEL DISPENSER
	PBD	PARTICLE BOARD
	PTN	PARTITION
	PVG	PAVING
	PERF	PERFORATED
	PERIM	PERIMETER
	PLAS	PLASTER
	PERP	PERPENDICULAR
	PLAM	PLASTIC LAMINATE
	PLYWD	PLYWOOD
	PVC	POLYVINYL CHLORIDE
	LB	POUNDS PER CUBIC FOOT
	PCF	POUNDS PER SQUARE FOOT
	PLF	POUNDS PER LINEAR FOOT
	PSF	POUNDS PER SQUARE INCH
	PSI	POUNDS PER SQUARE INCH
	PCC	PRECAST CONCRETE
	PREFAB	PREFABRICATE
	PREFIN	PREFINISH
	PROJ	PROJECT
	PL	PROPERTY LINE
Q	QT	QUARRY TILE
R	REF	REFERENCE, REFRIGERATOR
	RCP	REFLECTED CEILING PLAN
	REIN	REINFORCE
	REQD	REQUIRED
	RESIL	RESILIENT
	REST	RESTROOM
	RA	RETURN AIR
	REV	REVISION
	R	RISER, RADIUS, RANGE
	RD	ROUGH DRAIN
	RFG	ROUGH FINISH
	RM	ROOM
	RO	ROUGH OPENING
	RS	ROUGH SAWN
S	SNU	SANITARY NAPKIN DISPENSER
	SNDU	SANITARY SEWER
	SS	SCHEDULE
	SCHED	SCHEDULE
	SECT	SECTION
	SHIT	SHEET
	SV	SHEET VINYL
	SHV	SHELVING
	SHR	SHOWER
	SM	SIMILAR
	SCWD	SOUND CORE WOOD
	STC	SOUND TRANSMISSION CLASS
	S	SOUTH
	SPEC	SPECIFICATION
	SB	SPLASH BLOCK
	SF	SQUARE FOOT
	SI	SQUARE INCH
	SI	SQUARE YARD
	SST	STAINLESS STEEL
	STD	STANDARD
	STL	STEEL JOIST
	ST	STORAGE
	SD	STORM DRAIN
	ST	STREET

S	STRUCT	STRUCTURAL
	SUSP CLG	SUSPENDED CEILING
	SW	SWITCH
T	TK BD	TACKBOARD
	TEL	TELEPHONE
	TV	TELEVISION
	TMPO	TEMPERED
	TER	TERRAZZO
	THK	THICKNESS
	TPD	TOILET PAPER HOLDER
	TOS	TONGUE AND GROOVE
	TB	TOP AND BOTTOM
	TOC	TOP OF CURB
	TOF	TOP OF CONCRETE
	TOM	TOP OF FOOTING
	TOW	TOP OF MASONRY
	TOS	TOP OF STEEL
	TOW	TOP OF WALL
	TB	TOWEL BAR
	TRANS	TRANSPARENT
	TF	FINISH
	T	TREAD
	TYP	TYPICAL
U	UNFIN	UNFINISHED
	UH	UNIT HEATER
	UNO	UNLESS NOTED OTHERWISE
V	VR	VAPOR RETARDER
	VNR	VENEER
	VENT	VENTILATION
	VERT	VERTICAL
	VEST	VESTIBULE
	VCT	VINYL BASE
	VCT	VINYL COMPOSITION TILE
	VWC	VINYL WALL COVERING
	VWF	VINYL WALL FABRIC
	V	VOLT
W	WSC	WAINSCOT
	WC	WALL COVERING
	WC	WATER CLOSET
	WH	WATERPROOFING
	WP	WORKING POINT
WT	WWF	WEIGHT
	W	WEST, WIDE
	WDW	WINDOW
	WGL	WIRED GLASS
	W	WITH
	W/O	WITHOUT
	WD	WOOD

CODE SUMMARY

JURISDICTIONAL BUILDING CODES:	2018
INTERNATIONAL BUILDING CODE	2018
INTERNATIONAL MECHANICAL CODE	2017
NATIONAL ELECTRICAL CODE	2018
INTERNATIONAL PLUMBING CODE	2018
INTERNATIONAL FIRE CODE	2018
INTERNATIONAL FUEL GAS CODE	2018
ICC/ANSI A117.1-2017, ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES	

BUILDING TYPE:	NEW CONSTRUCTION
OCCUPANCY TYPE:	A2.1 & M
CONSTRUCTION TYPE:	5B
ALLOWABLE HEIGHT:	40 FT = 1 STORIES
ACTUAL HEIGHT:	25 FT = 1 STORIES

ALLOWABLE FLOOR AREA:

ALLOWABLE FLOOR AREA:	6,000 SF
FRONTAGE INCREASE: $1 = (F/P - .25) W / 30$	
$1 = (344.5 / 344.5 - .25) 30 / 30 = .75$	$6000 \times .75 = 4,500$ SF
TOTAL ALLOWABLE FLOOR AREA:	10,000 SF

STATEMENT OF WORK

GROSS BUILDING AREA:

TENANT A:	2198 SF
TENANT C:	1601 SF
TENANT E:	3112 SF
TOTAL AREA:	6911 SF

OCCUPANT LOAD CALCULATIONS:

SPACE	AREA	EXITS	EXITS	ESTIMATED
		REQUIRED	PROVIDED	OCCUPANT LOAD
TENANT A SEATING	894 SF	2	2	@ 15 PSF = 60
BACK OF HOUSE	614 SF	1	2	@ 200 PSF = 5
TENANT C SEATING	716 SF	1	1	@ 15 PSF = 48
BACK OF HOUSE	487 SF	1	1	@ 200 PSF = 3
TENANT E	3112 SF	2	3	@ 60 PSF = 52
TOTAL	6023 SF			OCCUPANTS = 168

PLUMBING FIXTURES:

PLUMBING FIXTURES TO BE INCLUDED IN INDIVIDUAL TENANT FINISH SUBMITTALS

MISCELLANEOUS:

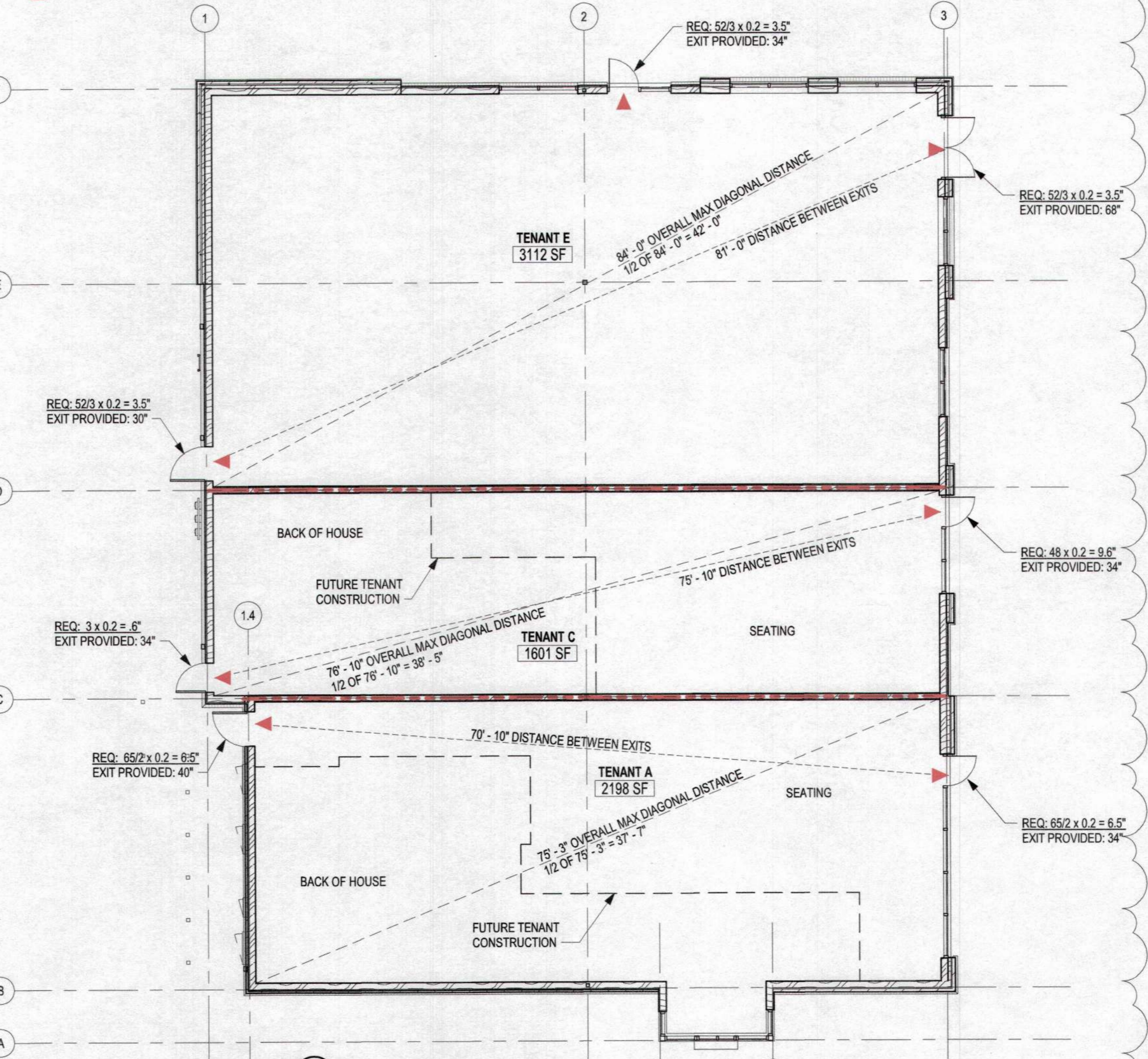
AUTOMATIC SPRINKLER SYSTEM (NO)

CODE PLAN LEGEND

2-HR SEPARATION

EXIT

NOTE: ALTHOUGH A 2-HOUR FIRE BARRIER IS NOT REQUIRED BETWEEN ALL TENANT SPACES, IT IS PROVIDED AT THE REQUEST OF THE TENANTS. BOTH SEPARATION WALLS WILL BE CONSTRUCTED AS A FIRE BARRIER, UL #301, EXTENDING FROM THE FOUNDATION TO THE UNDERSIDE OF THE ROOF SHEATHING.



A3 CODE PLAN
SCALE: 1" = 10'-0"

DESIGN TEAM

ARCHITECTURAL DESIGN

SCHWERT DESIGN GROUP
2231 SW WANAMAKER RD SUITE 303
TOPEKA, KANSAS 66614

CONTACT: MIKE HAMPTON, AIA
BETH VALDIVIA
PHONE: 785-273-7540
E-MAIL: MKH@SDGARCH.COM
BETH@SDGARCH.COM

MECHANICAL & ELECTRICAL DESIGN

PEARSON KENT MCKINLEY RAFF ENGINEERS, LLC
2933 SW WOODSIDE DR., SUITE C
TOPEKA, KANSAS 66614

CONTACT: BRIAN LEINWETTER, PE
PHONE: 785-273-4447 EXT 200
FAX: 785-273-0466
E-MAIL: BRYAN.LEINWETTER@PKMRENG.COM

STRUCTURAL DESIGN

CERTUS STRUCTURAL ENGINEERS
900 S KANSAS AVE, SUITE 400
TOPEKA, KANSAS 66614

CONTACT: AARON SCOTT, PE
PHONE: 785-291-0400
E-MAIL: AARON.SCOTT@CERTUSSE.COM

CIVIL DESIGN

SM ENGINEERING
919 W STEWART RD
COLUMBIA, MO 65203

CONTACT: SAM MALINOWSKI, PE
PHONE: 785-241-9747
E-MAIL: SMCIVLENGR@GMAIL.COM

SHEET INDEX

GENERAL

- G-001 COVER SHEET
- G-002 UL DESIGNATIONS

CIVIL

- C-1 COVER SHEET
- C-1.1 PLAT
- C-1.2 PLAT
- C-2 SITE PLAN
- C-3 UTILITY PLAN & WATERLINE A PLAN & PROFILE
- C-4 GRADING PLAN & STORM LINE A PROFILE
- C-4.1 ADA RAMP DETAILS
- C-5 EROSION CONTROL PLAN
- C-6 EROSION CONTROL DETAILS
- C-7 DETAILS
- C-8 DETAILS
- C-9 DETAILS
- C-10 LANDSCAPE PLAN

ARCHITECTURAL

- A-100 SITE PLAN & TRASH ENCLOSURE DETAILS
- A-101 FLOOR PLAN
- A-102 ROOF PLAN
- A-201 BUILDING ELEVATIONS
- A-302 TENANT A WALL SECTIONS
- A-303 TENANT B WALL SECTIONS & LADDER DETAILS
- A-304 TENANT C WALL SECTIONS
- A-401 ARCHITECTURAL DETAILS
- A-402 CANOPY & SCREEN WALL DETAILS
- A-601 DOOR SCHEDULES AND DETAILS

STRUCTURAL

- S-001 GENERAL NOTES
- S-101 FOUNDATION & WALL FRAMING PLANS
- S-102 ROOF FRAMING PLAN
- S-201 FRAMING ISOMETRIC
- S-301 CONCRETE DETAILS & SECTIONS I
- S-601 FRAMING DETAILS & SECTIONS I
- S-602 FRAMING DETAILS & SECTIONS II

MEP

- ME-101 COVER SHEET
- ME-102 PHOTOMETRIC PLAN

MECHANICAL

- M-101 PLUMBING PLAN
- M-102 HVAC PLAN

ELECTRICAL

- E-101 POWER PLAN
- E-102 LIGHTING PLAN



schwert design group
architecture | interiors | planning

2231 sw wanamaker rd
topeka, kansas 66614-4275
phone: 785.273.7540
schwert design group
missouri state certificate of authority
#F0035876



**MULTI-TENANT BUILDING, CORE & SHELL
STREETS OF WEST PRYOR, LOT 3**
2050 NW LOWENSTEIN DR. LEE'S SUMMIT, JACKSON CO, MO

SUBMISSION DATES
04/07/2020

ADD-1 4/23/20

SHEET TITLE
COVER SHEET

PROJECT NUMBER
190224

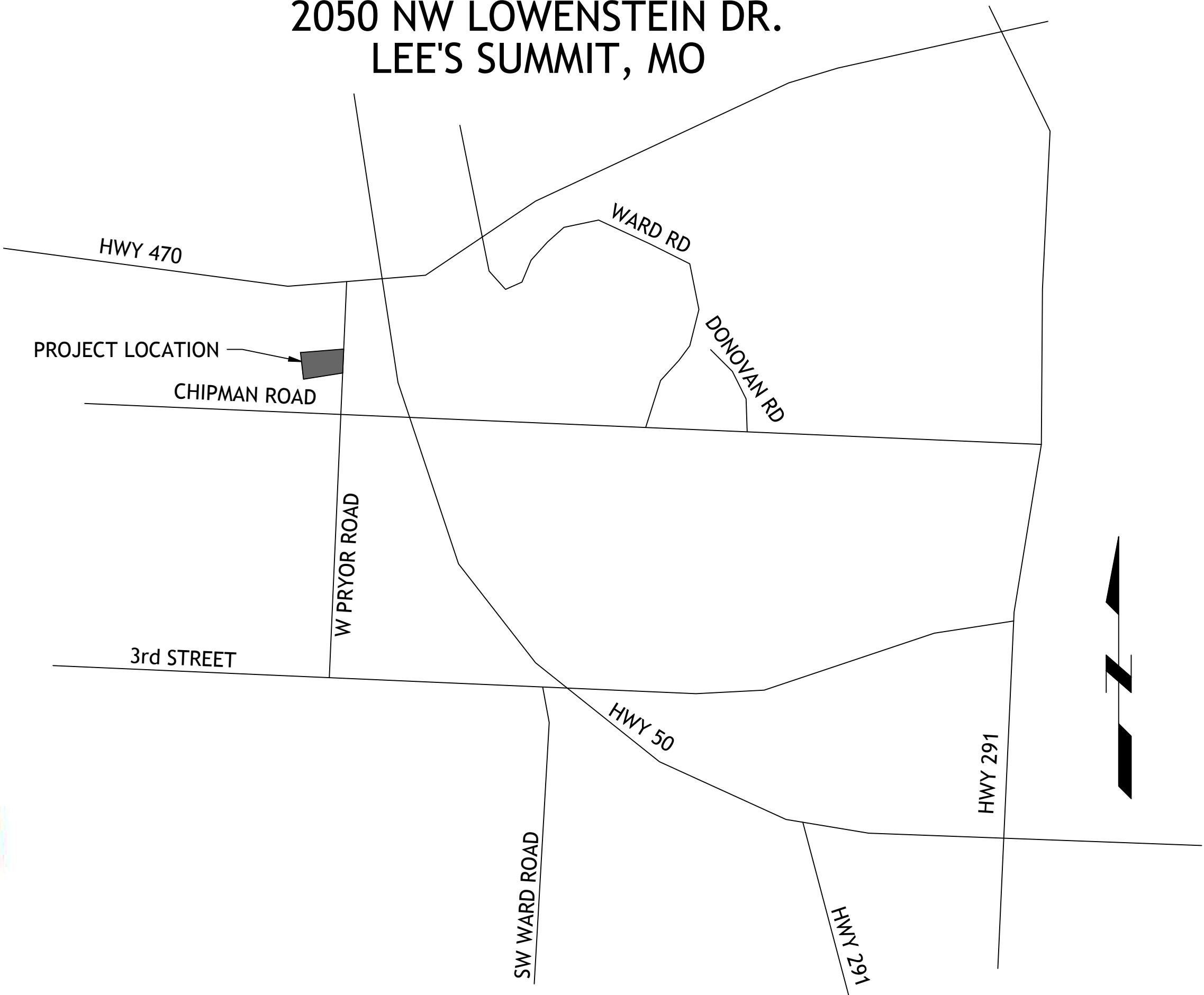
SHEET NUMBER
G-001

FINAL DEVELOPMENT PLANS

FOR

LOT 3 OF WEST PRYOR

2050 NW LOWENSTEIN DR.
LEE'S SUMMIT, MO



LOCATION MAP



UTILITIES

Electric Service
Evergy
Nathan Michael
913-347-4310
Nathan.michael@evergy.com

Gas Service
Spire
Katie Darnell
816-969-2247
Katie.darnell@spireenergy.com

Water/Sanitary Sewer
Water Utilities Department
1200 SE Hamblen Road
Lee's Summit, Mo 64081
Jeff Thorn
816-969-1900
jeff.thorn@cityofls.net

Communication Service
AT&T Carrie Cilke
816-703-4386
cc3527@att.com

Time Warner Cable
Steve Baxter
913-643-1928
steve.baxter@charter.com

Comcast
Ryan Alkire
816-795-2218
ryan.alkire@cable.comcast.com

Google Fiber
Becky Davis
913-725-8745
rebeccadavis@google.com

UTILITY STATEMENT:

THE UNDERGROUND UTILITIES SHOWN HEREON ARE FROM FIELD SURVEY INFORMATION OF ONE-CALL LOCATED UTILITIES, FIELD SURVEY INFORMATION OF ABOVE GROUND OBSERVABLE EVIDENCE, AND/OR THE SCALING AND PLOTTING OF EXISTING UTILITY MAPS AND DRAWINGS AVAILABLE TO THE SURVEYOR AT THE TIME OF SURVEY. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHERMORE, THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES BY EXCAVATION UNLESS OTHERWISE NOTED ON THIS SURVEY.

SAFETY NOTICE TO CONTRACTOR

IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICE, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

WARRANTY/DISCLAIMER

THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER SM ENGINEERING NOR ITS PERSONNEL CAN OR DO WARRANTY THESE DESIGNS OR PLANS AS CONSTRUCTED, EXCEPT IN THE SPECIFIC CASES WHERE SM ENGINEERING PERSONNEL INSPECT AND CONTROL THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.

CAUTION- NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICTS PRIOR TO ANY CONSTRUCTION.

LEGAL DESCRIPTION:

LOT 3, STREETS OF WEST PRYOR, LEE'S SUMMIT, JACKSON COUNTY MISSOURI
LOT AREA 1.75 ACRES

ALL EXISTING TOPOGRAPHIC DATA AND INFRASTRUCTURE IMPROVEMENTS SHOWN BASED ON INFORMATION BY KAW VALLEY ENGINEERING

BENCHMARKS:

#1 CHISELED "SQUARE" ON TOP OF CURB POINT OF INTERSECTION OF WEST PARK PARKING LOT AT EAST DRIVE ENTRANCE
ELEVATION 985.05

#2 CHISELED "SQUARE" ON NORTHWEST CORNER AREA INLET, 25' EAST OF CURB LINE AND ON-LINE WITH SOUTH CURB OF LOWENSTEIN DRIVE AT 90° BEND IN ROAD
ELEVATION 971.06

INDEX OF SHEETS

- C-1 COVER SHEET
- C-1.1 PLAT
- C-1.2 PLAT
- C-2 SITE PLAN
- C-2.1 SITE DETAILS
- C-3 UTILITY PLAN & WATERLINE A PLAN & PROFILE
- C-4 GRADING PLAN & STORM LINE A PROFILE
- C4.1 ADA RAMP DETAILS
- C-5 EROSION CONTROL PLAN
- C-6 EROSION CONTROL DETAILS
- C-7 DETAILS
- C-8 DETAILS
- C-9 DETAILS
- C-10 LANDSCAPE PLAN

DEVELOPER

SWP III, LLC
C/O DRAKE DEVELOPMENT, LLC
7200 W 132nd ST, SUITE 150
OVERLAND PARK, KS 66213
913-662-2630

ENGINEER

SM ENGINEERING
SAM MALINOWSKY
5507 HIGH MEADOW CIRCLE
MANHATTAN KANSAS, 66503
SMCIVILENGR@GMAIL.COM
785.341.9747



SAMUEL D. MALINOWSKY
PROFESSIONAL ENGINEER

SM Engineering



5507 High Meadow Circle
Manhattan Kansas, 66503
smcivilengr@gmail.com
785.341.9747

Drawings and/or Specifications are original proprietary work and property of the Engineer and intended specifically for this project. Use of items contained herein without consent of the Engineer is prohibited. Drawings illustrate best information available to the Engineer. Field verification of actual elements, conditions, and dimensions is required.

Revisions

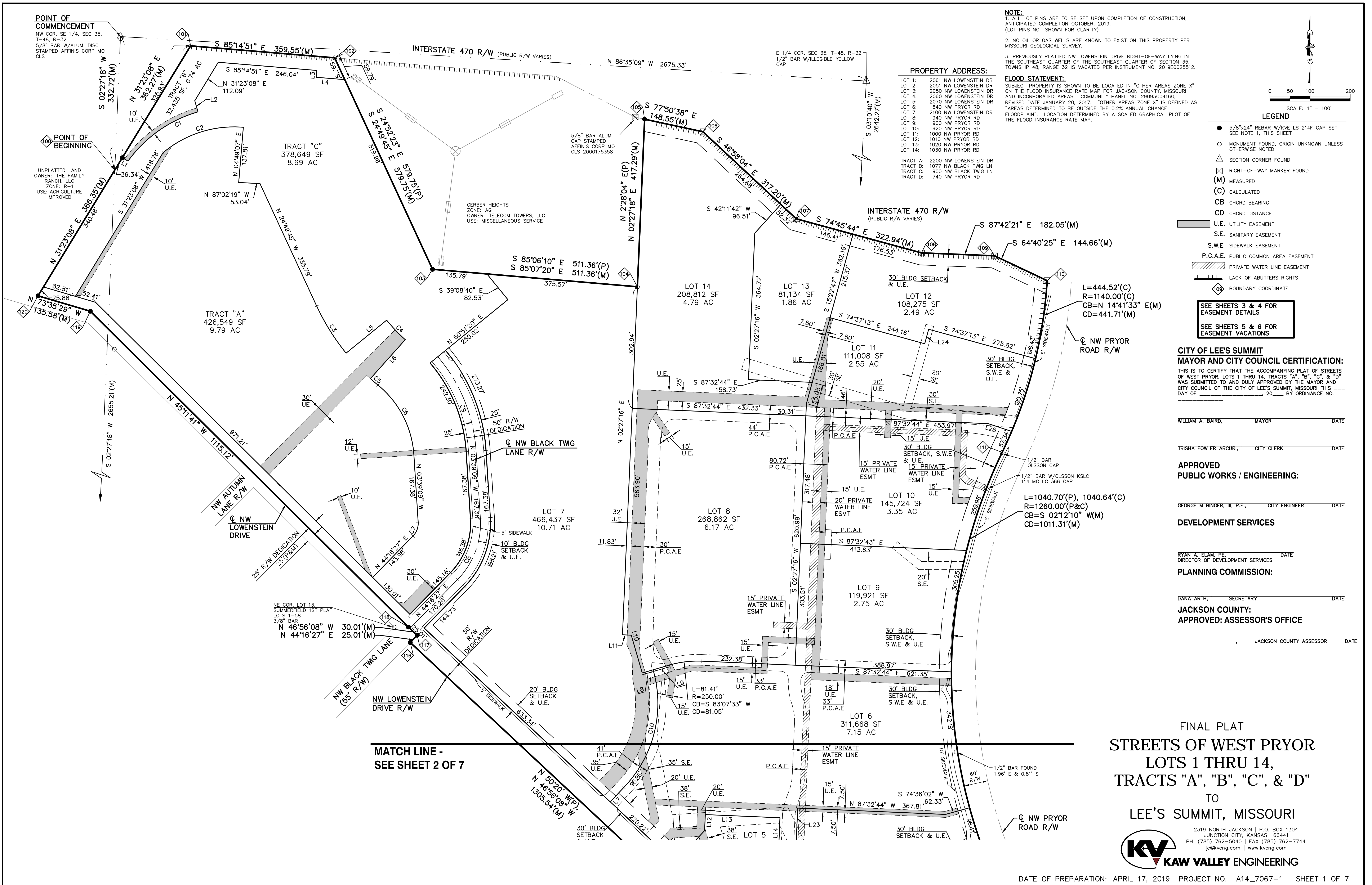
LOT 3 OF WEST PRYOR

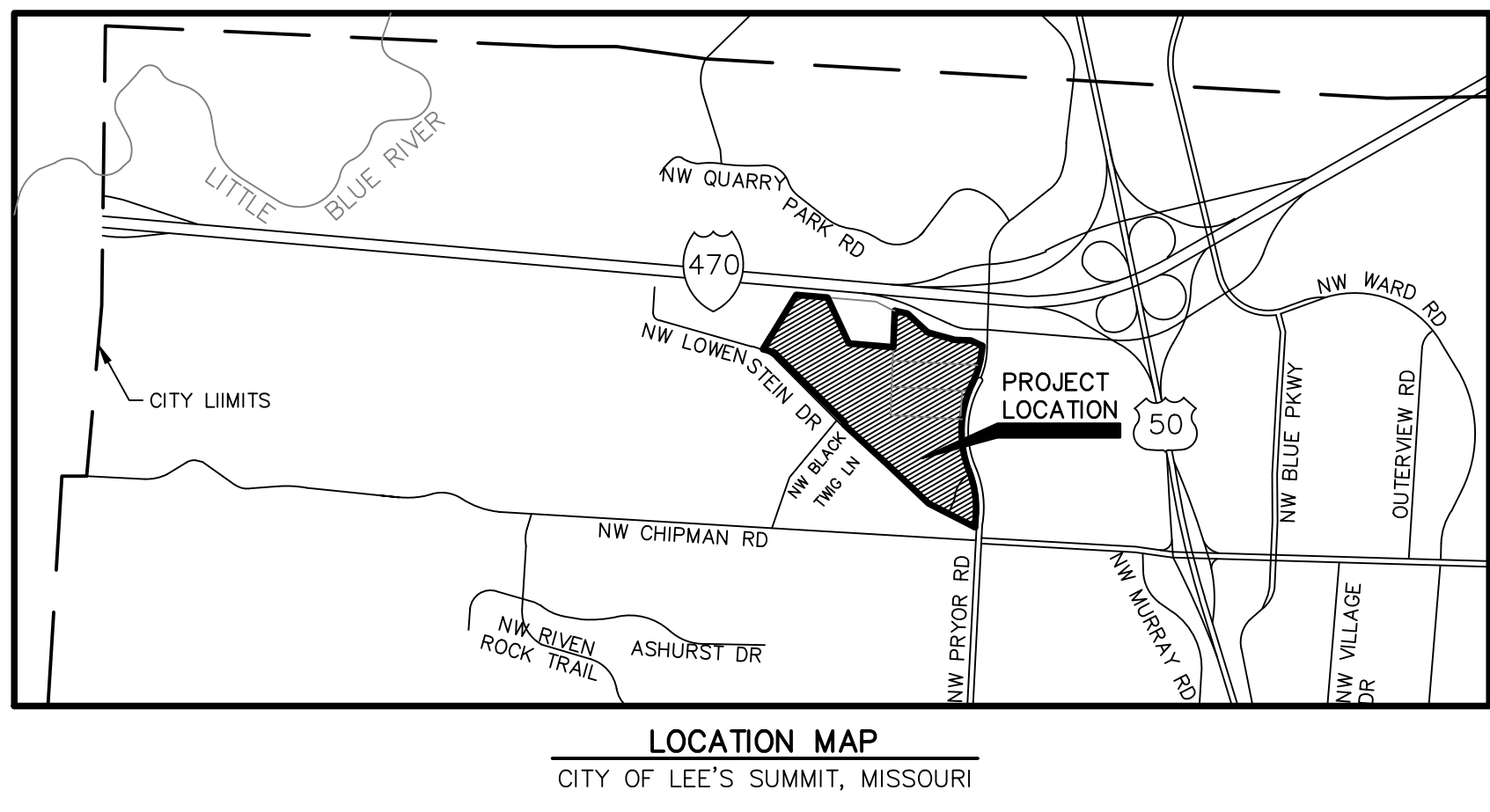
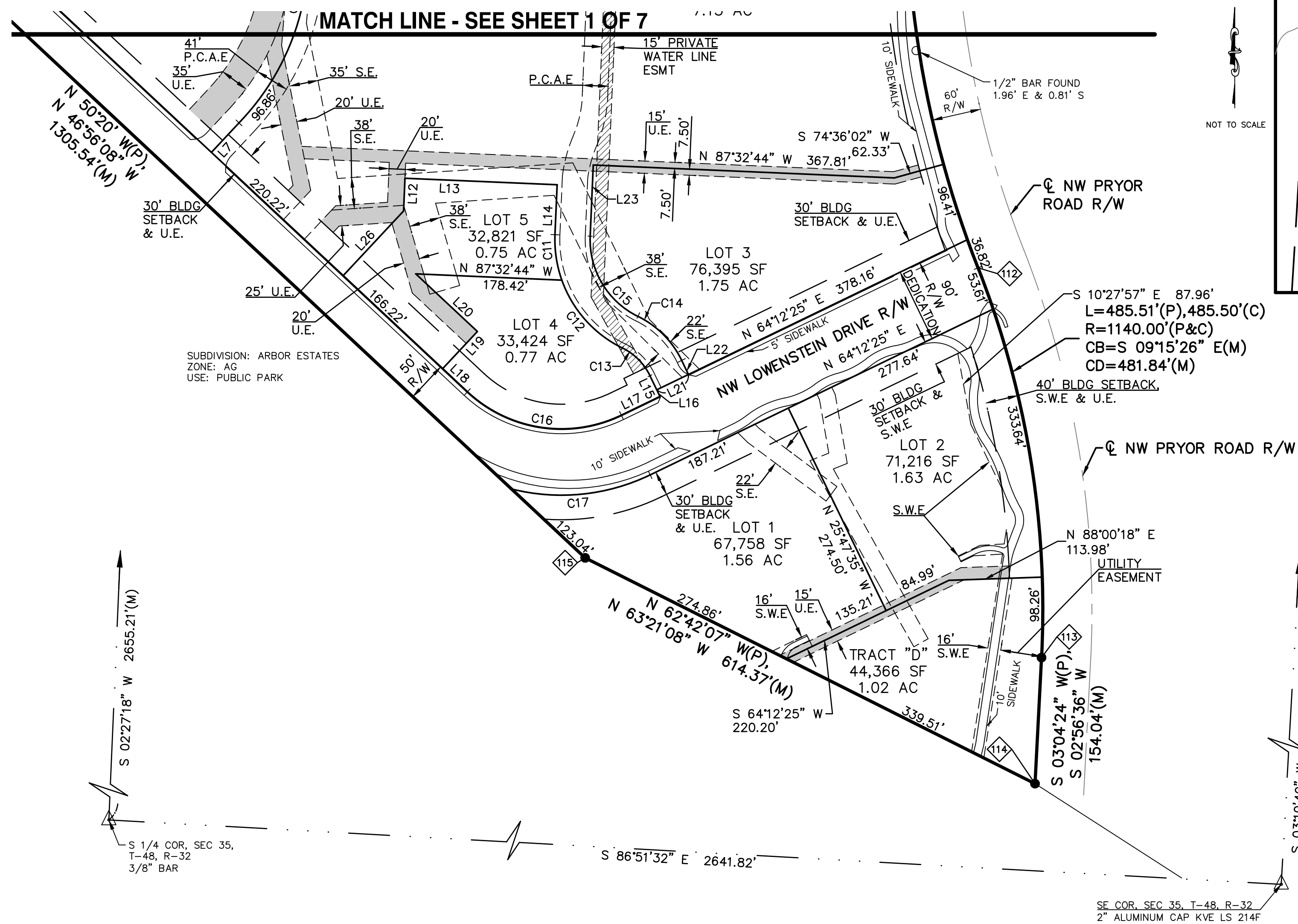
LEE'S SUMMIT, MISSOURI

s h e e t

C1.0

Civil
COVER SHEET
permit
24 APRIL 2020





0 50 100 200
SCALE: 1" = 100'

LEGEND

- 5/8"x24" REBAR W/KVE LS 214F CAP SET
SEE NOTE 1, THIS SHEET
- MONUMENT FOUND, ORIGIN UNKNOWN UNLESS
OTHERWISE NOTED
- △ SECTION CORNER FOUND
- ⊠ RIGHT-OF-WAY MARKER FOUND
- (M) MEASURED
- (C) CALCULATED
- CB= S 09°15'26" E(M)
CD= 481.84'(M)
- CD CHORD DISTANCE
- U.E. UTILITY EASEMENT
- S.E. SANITARY EASEMENT
- S.W.E. SIDEWALK EASEMENT
- P.C.A.E. PUBLIC COMMON AREA EASEMENT
- PRIVATE WATER LINE EASEMENT
- LACK OF ABUTTERS RIGHTS
- BOUNDARY COORDINATE

SEE SHEETS 3 & 4 FOR
EASEMENT DETAILS

SEE SHEETS 5 & 6 FOR
EASEMENT VACATIONS

**CITY OF LEE'S SUMMIT
MAYOR AND CITY COUNCIL CERTIFICATION:**

THIS IS TO CERTIFY THAT THE ACCOMPANYING PLAT OF STREETS
OF WEST PRYOR, LOTS 1 THRU 14, TRACTS "A", "B", "C", & "D",
WAS SUBMITTED TO AND DULY APPROVED BY THE MAYOR AND
CITY COUNCIL OF THE CITY OF LEE'S SUMMIT, MISSOURI THIS ____
DAY OF _____, 20____ BY ORDINANCE NO. _____

WILLIAM A. BAIRD, MAYOR DATE

TRISHA FOWLER ARCURI, CITY CLERK DATE

**APPROVED
PUBLIC WORKS / ENGINEERING:**

GEORGE M. BINGER, III, P.E., CITY ENGINEER DATE

DEVELOPMENT SERVICES

RYAN A. ELAM, PE, DIRECTOR OF DEVELOPMENT SERVICES DATE

PLANNING COMMISSION:

DANA ARTH, SECRETARY DATE

**JACKSON COUNTY:
APPROVED: ASSESSOR'S OFFICE**

JACKSON COUNTY ASSESSOR DATE

CURVE TABLE						
CURVE	CHORD BEARING	CHORD LENGTH	TANGENT	RADIUS	DELTA	
C1	S 54°52'02" W	212.87'	216.87'	112.65'	325.00'	381°3'58"
C2	S 72°26'39" W	209.36'	214.78'	113.20'	275.00'	44°44'56"
C3	S 31°58'32" E	138.09'	138.45'	69.59'	555.00'	141°7'35"
C4	S 43°39'04" E	67.12'	67.19'	33.66'	425.00'	9°03'29"
C5	S 49°27'13" E	24.67'	24.67'	12.34'	555.00'	2°32'48"
C6	S 27°11'23" E	195.68'	201.29'	106.72'	245.00'	47°04'28"
C7	N 20°18'39" E	36.55'	37.64'	20.00'	45.00'	47°55'37"
C8	N 20°18'39" E	162.46'	167.29'	88.89'	200.00'	47°55'35"
C9	N 22°06'53" W	253.34'	257.78'	133.55'	400.00'	36°55'29"
C10	N 13°57'34" E	301.47'	315.86'	174.34'	300.00'	60°19'29"
C11	S 8°32'21" E	56.07'	56.41'	28.56'	147.00'	21°59'13"
C12	S 41°43'35" E	111.06'	113.88'	59.97'	147.00'	44°23'17"
C13	N 44°51'25" W	47.69'	48.58'	25.23'	73.00'	38°07'38"
C14	N 44°51'25" W	75.78'	77.19'	40.09'	116.00'	38°07'38"
C15	S 30°43'59" E	113.86'	120.48'	68.02'	104.00'	66°22'30"
C16	S 81°21'52" E	189.97'	201.90'	115.16'	168.00'	68°51'27"
C17	N 84°11'16" E	170.17'	173.67'	90.54'	249.00'	39°57'43"

LINE TABLE		
LINE	BEARING	LENGTH
L1	N 58°36'52" W	16.45'
L2	S 16°00'59" E	28.89'
L3	N 4°45'09" E	17.00'
L4	S 85°14'51" E	71.09'
L5	S 50°52'40" W	130.00'
L6	N 41°49'12" E	130.00'
L7	S 43°03'52" W	49.28'
L8	N 73°47'49" E	28.02'
L9	N 73°47'49" E	42.44'
L10	S 16°12'11" E	97.91'
L11	N 87°32'44" W	21.89'
L12	S 2°27'16" W	40.00'
L13	N 87°32'44" W	185.86'
L14	N 2°27'16" E	60.96'
L15	N 25°47'35" W	19.08'
L16	N 25°47'35" W	9.00'
L17	N 64°12'25" E	52.31'
L18	N 46°56'08" W	41.35'
L19	S 43°03'52" W	62.00'
L20	S 46°56'08" E	102.98'
L21	N 64°12'25" E	43.00'
L22	N 25°47'35" W	19.08'
L23	N 2°27'16" E	86.95'
L24	N 15°22'47" E	37.29'
L25	N 71°41'12" W	61.48'
L26	S 43°03'52" W	107.89'

BOUNDARY COORDINATE TABLE		
POINT #	NORTHING	EASTING
100	1007391.33	2811593.79
101	1007700.59	2811782.46
102	1007670.80	2812140.78
103	1007144.64	2812384.22
104	1007101.16	2812893.73
105	1007518.07	2812911.60
106	1007486.79	2813056.82
107	1007270.33	2813288.69
108	1007185.45	2813600.27
109	1007178.16	2813782.18
110	1007116.28	2813912.93
111	1006689.02	2813800.90
112	1005678.45	2813762.03
113	1005202.89	2813839.54
114	1005049.05	2813831.63
115	1005324.60	2813282.52
116	1006216.05	2812328.71
117	1006233.96	2812346.16
118	1006254.45	2812324.24
119	1007040.27	2811533.06
120	1007078.58	2811402.99

THE ABOVE COORDINATES ARE GROUND COORDINATES SCALED FROM THE
MISSOURI STATE PLANE COORDINATE SYSTEM, WEST ZONE 2403,
NAD83(2011). STATE PLANE GRID COORDINATES WERE DERIVED FROM
CONNECTIONS TO NATIONAL CORS NETWORK VIA GPS STATIC SESSIONS ON
PROJECT CONTROL AND PROCESSED WITH THE NATIONAL GEODETIC
SURVEY'S OPUS PROJECTS UTILITY. COORDINATES WERE SCALED TO THE
GROUND USING A COMBINED ADJUSTMENT FACTOR OF 0.99990084. TABLE
COORDINATE MULTIPLIED BY 0.99990084 EQUALS THE MISSOURI STATE
PLANE GRID COORDINATE.

FINAL PLAT
STREETS OF WEST PRYOR
LOTS 1 THRU 14,
TRACTS "A", "B", "C", & "D"
TO
LEE'S SUMMIT, MISSOURI



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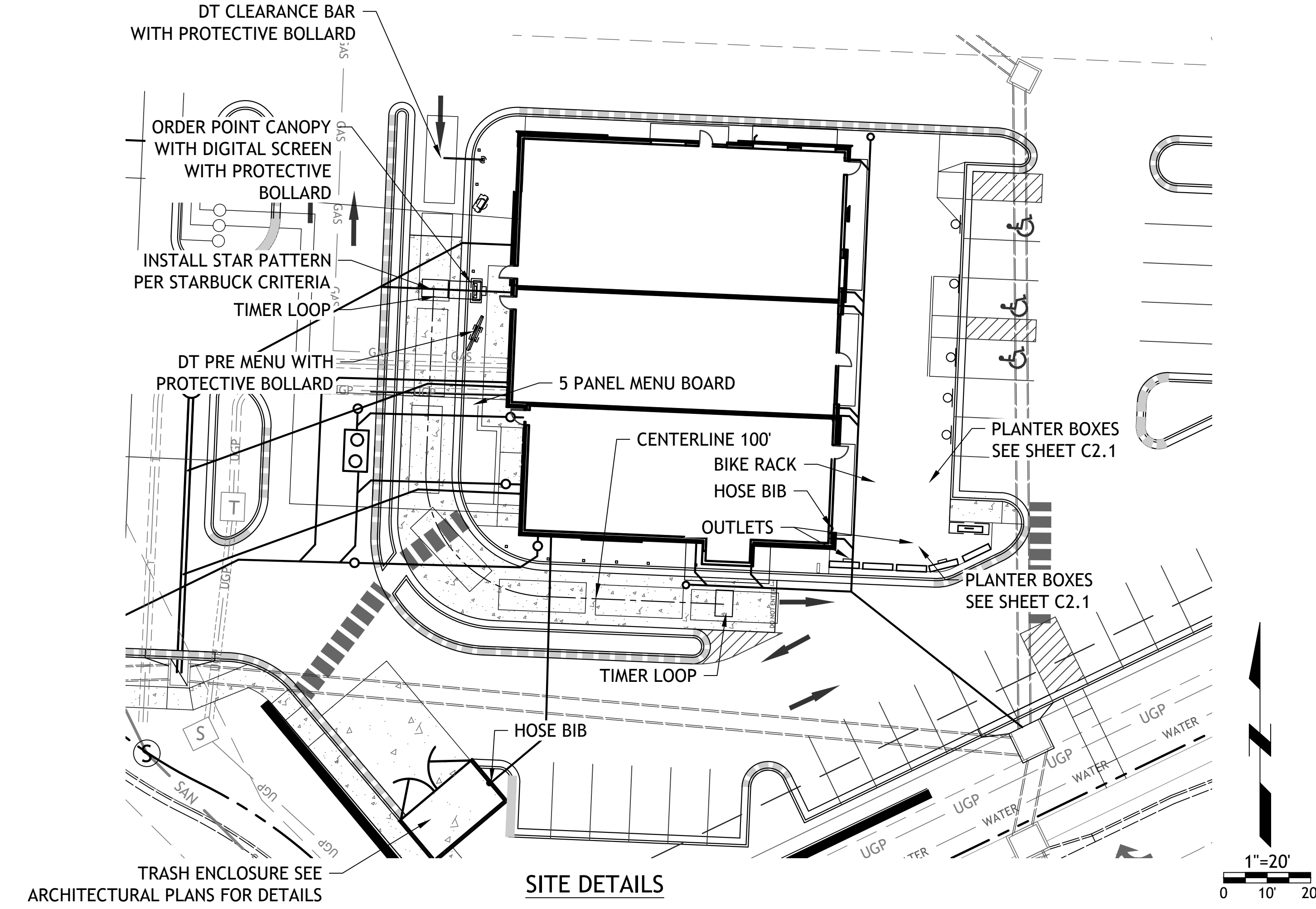
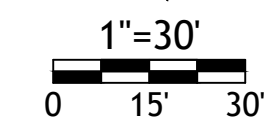
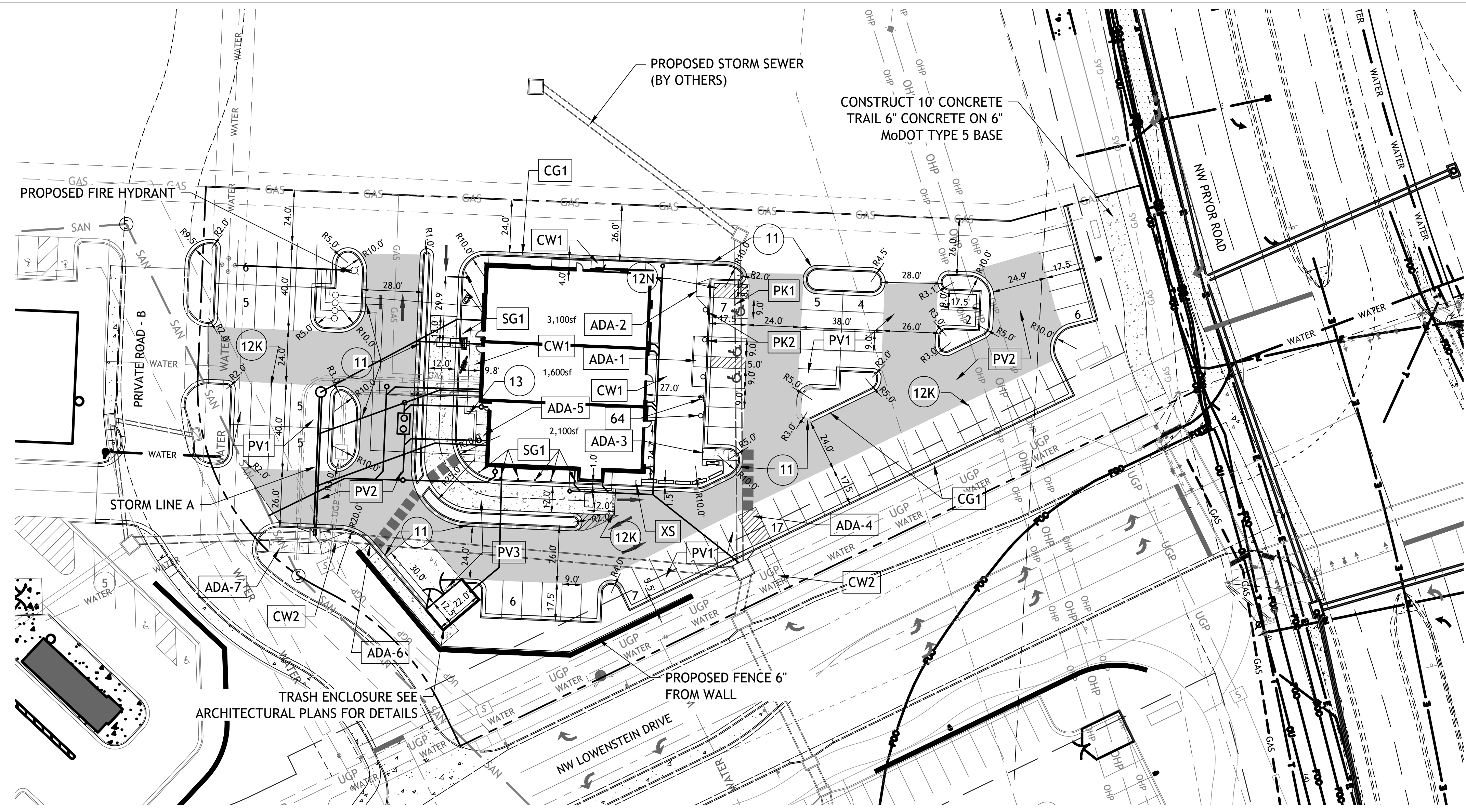
Revisions

LOT 3 OF WEST PRYOR
LEE'S SUMMIT, MISSOURI

SITE DATA	
TOTAL SITE	1.75ac (76,230sf)
TOTAL IMPERVIOUS AREA	32,403sf
OPEN SPACE	43,827sf (30.3%)
TOTAL BUILDING	5,700sf
FAR	0.08
TOTAL PARKING	75 (12.9 STALLS / 1000sf)

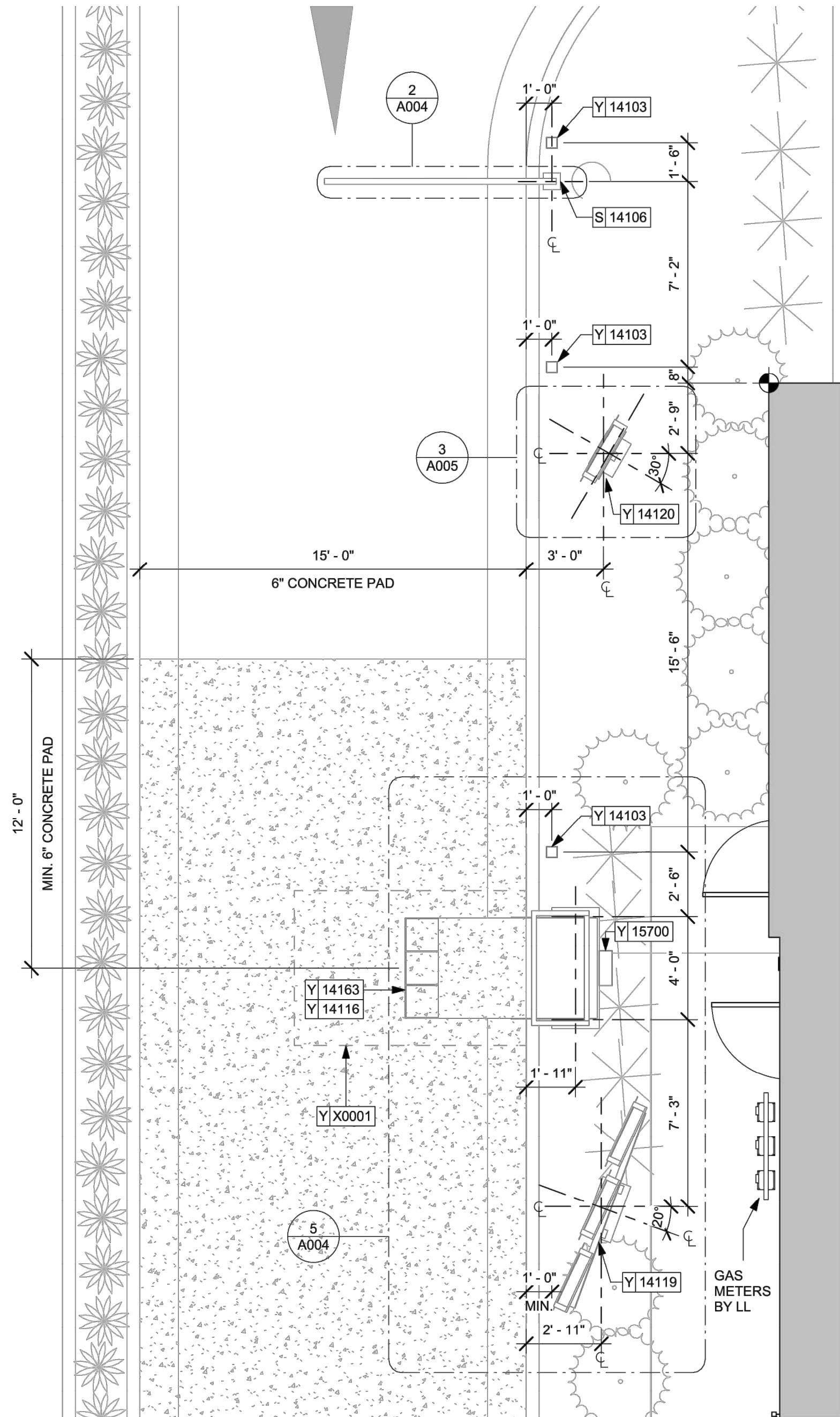
- CONSTRUCTION NOTES:**
- COORDINATE START-UP AND ALL CONSTRUCTION ACTIVITIES WITH OWNER.
 - CONSTRUCTION METHODS AND MATERIALS NOT SPECIFIED IN THESE PLANS ARE TO MEET OR EXCEED THE STANDARD SPECIFICATIONS.
 - ALL CONSTRUCTION WORK AND UTILITY WORK OUTSIDE OF PROPERTY BOUNDARIES SHALL BE PERFORMED IN COOPERATION WITH AND IN ACCORDANCE WITH REGULATIONS OF THE AUTHORITIES CONCERNED.
 - PUBLIC CONVENIENCE AND SAFETY: THE CONTRACTOR SHALL CONDUCT THE WORK IN A MANNER THAT WILL INSURE, AS FAR AS PRACTICABLE, THE LEAST OBSTRUCTION TO TRAFFIC, AND SHALL PROVIDE FOR TI-1E CONVENIENCE AND SAFETY OF THE GENERAL PUBLIC AND RESIDENTS ALONG AND ADJACENT TO STREETS IN THE CONSTRUCTION AREA.
 - ALL DIMENSIONS SHOWN ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
 - ACCESSIBLE STALLS SHOWN WITH A "VAN" SHALL BE 16'-0" MIN. AND SHALL HAVE A SIGN DESIGNATING "VAN-ACCESSIBLE". SEE DETAIL102.
- NOTE:**
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRANCE. SLOPED PAVING, EXIT PORCHES AND RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 - THESE PLANS HAVE NOT BEEN VERIFIED WITH FINAL ARCHITECTURAL CONTRACT DRAWINGS. CONTRACTOR SHALL VERIFY AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES. CONTRACTOR IS FULLY RESPONSIBLE FOR REVIEW AND COORDINATION OF ALL DRAWINGS AND CONTRACTOR DOCUMENTS.
 - ALL DIMENSIONS ARE PERPENDICULAR TO PROPERTY LINE.
 - ACTUAL SIGN LOCATIONS TO BE COORDINATED WITH CONSTRUCTION MANAGER.

- SEE DETAIL SHEET FOR THE FOLLOWING DETAILS:
- PK-1 96" ACCESSIBLE & VAN ACCESSIBLE SPACE STRIPING
 - PK-2 ACCESSIBLE SIGN
 - CG-1 CURB AND GUTTER
 - CW1 CURB WALK AT BUILDING
 - PV1 REGULAR DUTY PAVEMENT
 - PV2 HEAVY DUTY ASPHALT PAVEMENT
 - PV3 HEAVY DUTY CONCRETE PAVEMENT
 - CW2 SIDEWALK
 - ADA-1-7 HANDICAP RAMP SEE GEN-3A DETAIL SHEET C9.0 AND ADA RAMPS SHEET C4.1
 - XS EXIT SIGN "THANK YOU"
 - 64 MOBILE ORDER PAY PARKING ONLY SIGNAGE
 - SG1 BOLLARD -SEE SHEET 2.1 FOR SPACING
- NOTES:**
- 8A DOOR (SEE ARCH. PLANS)
 - 12K YELLOW PARKING LOT STRIPING (SHERWIN-WILLIAMS TM 2160 LEAD FREE OR APPROVED EQUAL)
 - 12N 4" YELLOW STRIPES 3'-0" O.C.
 - CO CLEAN-OUT (SEE GRADING PLAN)
 - 11 PAINT CURB RED "NO PARKING FIRE LANE"
 - 12 "DO NOT ENTER" WHITE PAVEMENT MARKING
 - 13 UTILITY SCREEN WALL PER LLWL REQUIREMENTS

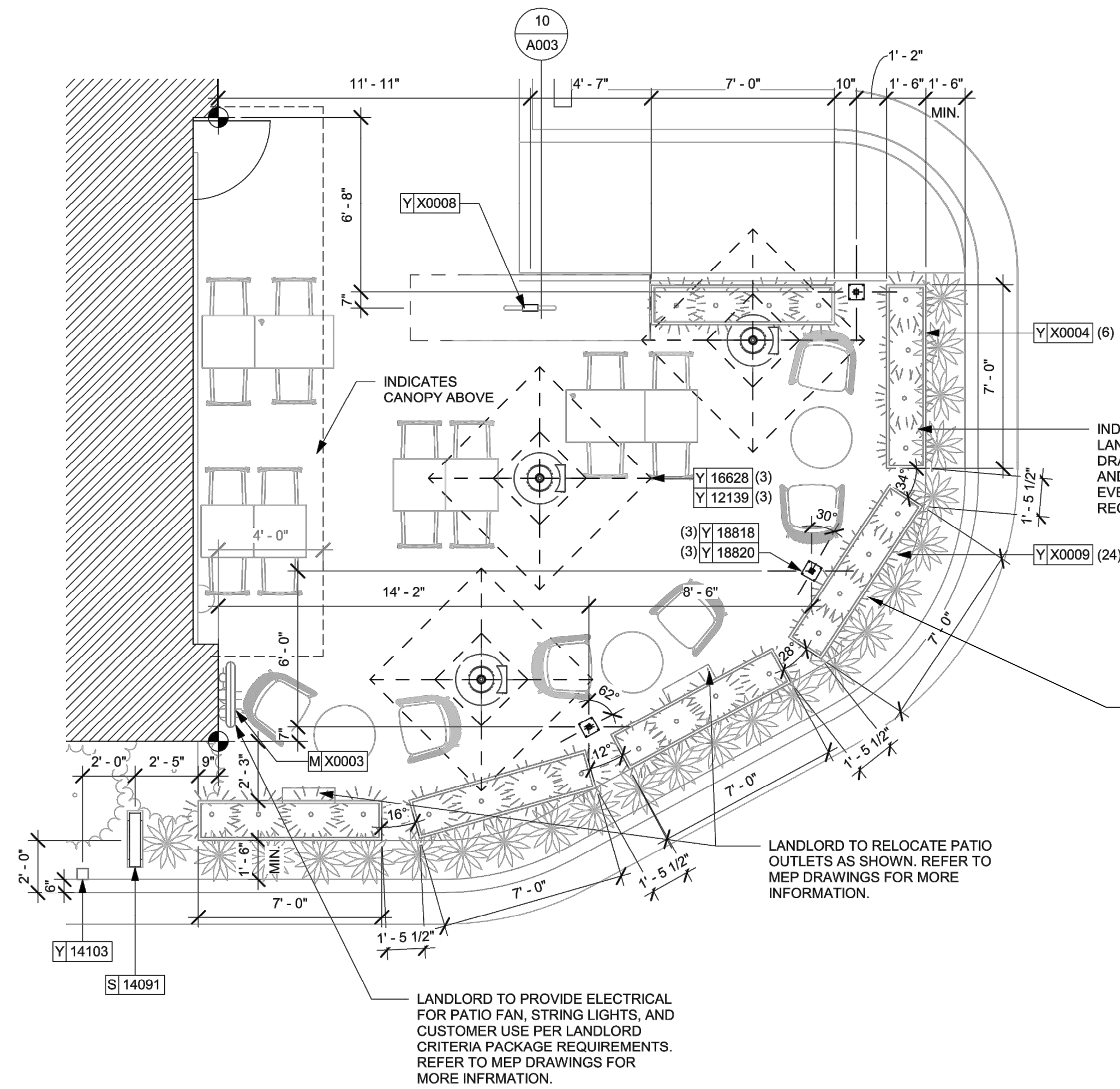


Architectural site plan showing a 6-inch concrete pad, various utility lines, and structural elements. The plan includes dimensions such as 5'-2", 9'-5 1/2", 1'-6", 14'-8 1/2", and 12'-0". It also features labels for utility lines (Y 14103, Y 10020, M 10894, W 14077, S X0001), structural elements (A006, A004), and a note "INDICATES CANOPY ABOVE". The plan is oriented with North at the top.

2 ENLARGED PICK-UP WINDOW
Scale: 1/4" = 1'-0"



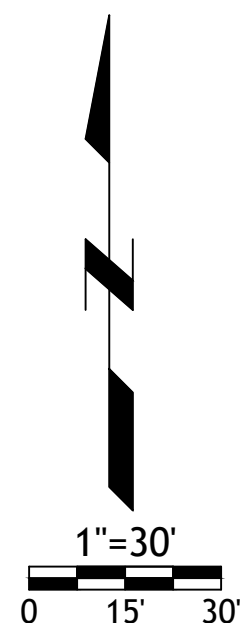
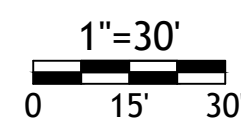
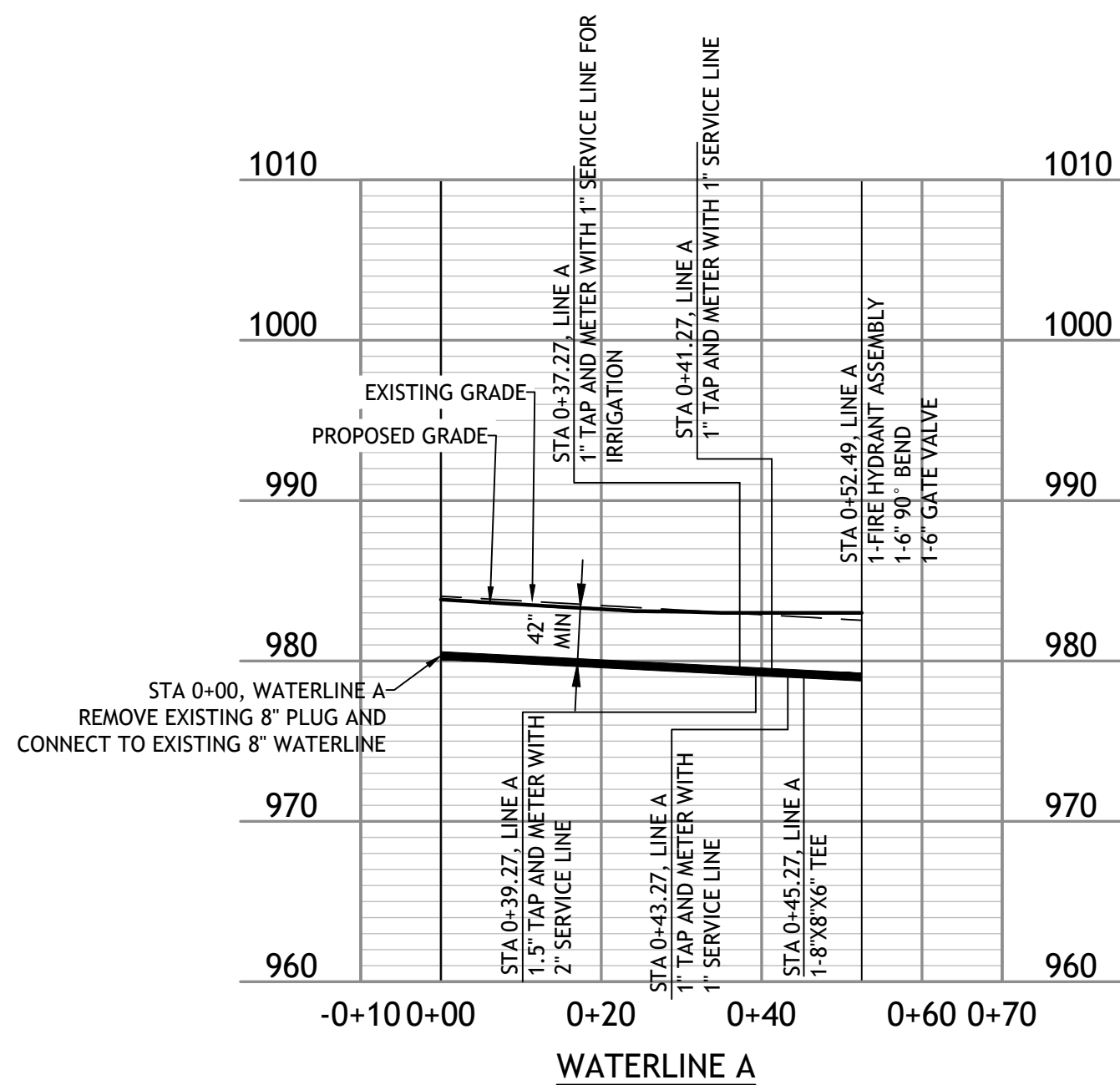
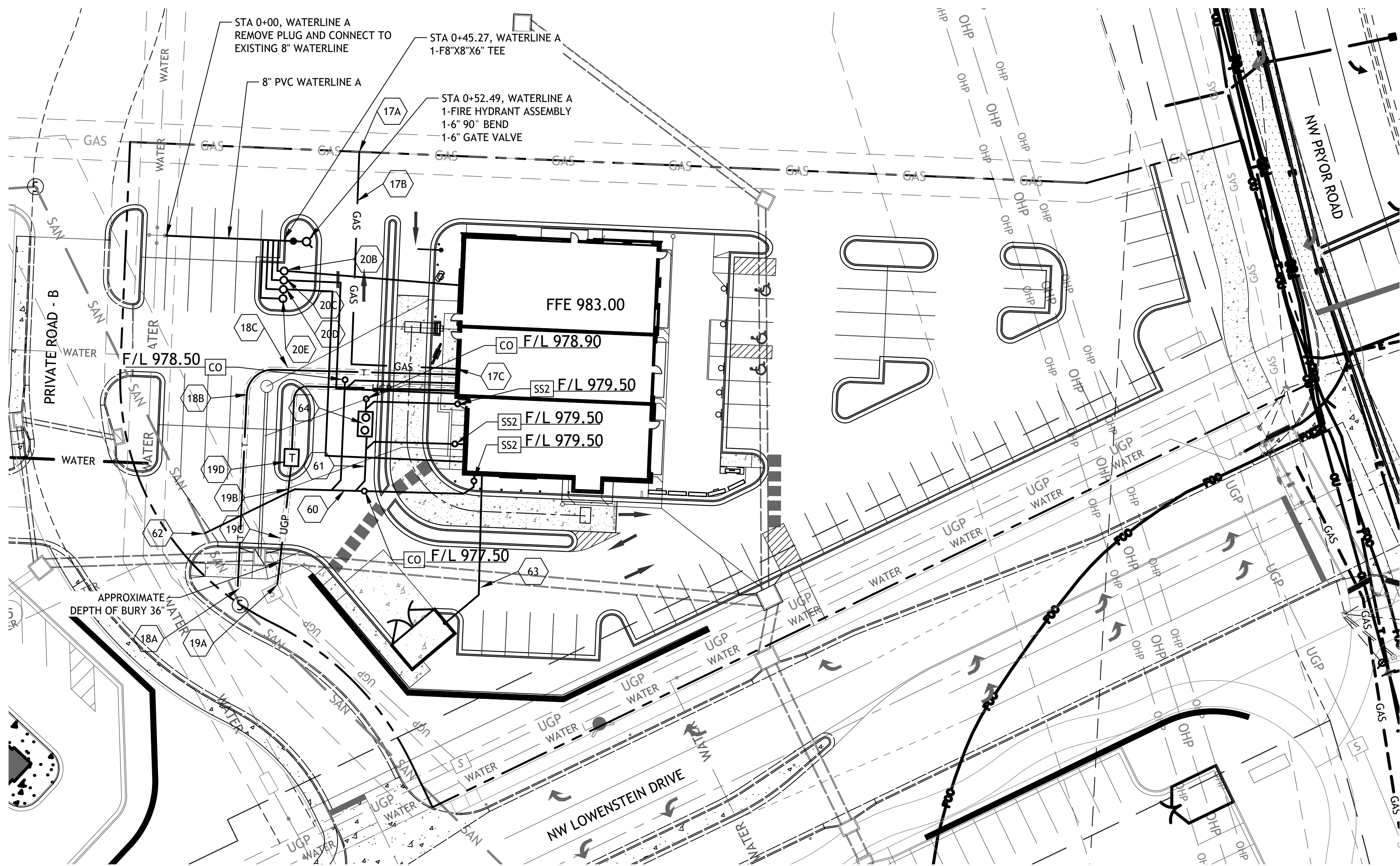
1 ENLARGED ORDER POINT



3 ENLARGED PATIO

– EACH PLANTER AREA SHOWN SHALL CONSIST OF 2 MODULAR PLANTER BOXES. EACH BOX SHALL BE MODULAR PLANTER 3 AS MANUFACTURED BY CAMPANIA MODEL NO. 94-133-13901. EACH PLANTER BOX SHALL BE EQUIPPED WITH AN IRRIGATION SYSTEM.

NOTE:
CONTRACTOR TO REFER TO MOST CURRENT
STARBUCK DESIGN DEVELOPMENT DRAWINGS, AS
PREPARED BY NORR, FOR FOOTING AND ANCHOR
BOLT INFORMATION ON ALL DRIVE THRU
APPURTENANCES.



UTILITY NOTES:

1. ALL UTILITY AND STORM SEWER TRENCHES CONSTRUCTED UNDER AREAS THAT RECEIVE PAVING SHALL BE BACKFILLED TO 18 INCHES ABOVE THE TOP OF THE PIPE WITH SELECT GRANULAR MATERIAL PLACED ON EIGHT-INCH LIFTS, AND COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
2. CONTRACTOR SHALL NOT OPEN, TURN OFF, INTERFERE WITH, OR ATTACH ANY PIPE OR HOSE TO OR TAP ANY WATER MAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCE OF ANY SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE LIABILITY OF THE CONTRACTOR. SM ENGINEERING AND OWNER ARE TO BE HELD HARMLESS.
3. ALL WATER AND SANITARY SEWER SYSTEMS THAT ARE TO BE PUBLIC LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS PREVIOUSLY APPROVED BY THE CITY OF LEE'S SUMMIT AND THE STATE OF MISSOURI AND SHALL BE INSPECTED BY THE CITY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASSURE THAT THIS INSPECTION OCCURS.
4. LOCATIONS SHOWN FOR PROPOSED WATER LINES ARE APPROXIMATE. VARIATIONS MAY BE MADE, WITH APPROVAL OF THE ENGINEER, TO AVOID CONFLICTS.
5. CONTRACTOR TO INSTALL TRACING TAPE ALONG ALL NON-METALLIC WATER MAINS AND SERVICE LINES PER SPECIFICATIONS.
6. CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICT AND POINTS OF CONNECTION PRIOR TO ANY CONSTRUCTION OF NEW UTILITIES.
7. WATER LINES SHALL HAVE A MINIMUM COVER OF 42 INCHES. ALL VALVES ON MAINS AND FIRE HYDRANT LEADS SHALL BE WITH VALVE BOX ASSEMBLIES. THE SIZE OF VALVE BOX ASSEMBLY TO BE INSTALLED IS DETERMINED BY THE TYPE AND SIZE OF VALVE. VALVE BOX CAPS SHALL HAVE THE WORD "WATER".
8. A MINIMUM HORIZONTAL DISTANCE OF 10 FEET SHALL BE MAINTAINED BETWEEN PARALLEL WATER AND SANITARY SEWER LINES. WHEN IT IS NECESSARY FOR ANY WATER LINE TO CROSS A SANITARY SEWER LINE, THE SEWER LINE SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE AT LEAST 10 FEET EITHER SIDE OF THE WATER LINE UNLESS THE WATER LINE IS AT LEAST 2 FEET CLEAR DISTANCE ABOVE THE SANITARY SEWER LINE.
9. INSTALL 2" TYPE "K" COPPER FROM THE MAIN TO THE METER AND EITHER TYPE "K" OR POLYETHYLENE PLASTIC TUBING (PE 3608) FROM METER TO STOP AND WASTE VALVE INSIDE BUILDING.
10. CONTRACTOR RESPONSIBLE FOR PROVIDING CASEMENT FOR ELECTRICAL SERVICE PER KCP&L

DETAILS

- MS1 TRENCH AND BEDDING DETAILS
- SS2 2-WAY CLEAN-OUT
- WAT-12 DCD4 VAULT
- WAT-11 WATER SERVICE CONNECTION
- WAT-7 FIRE HYDRANT
- CO CLEANOUT

NOTES

- 17A POINT OF CONNECTION - GAS SERVICE
- 17B GAS SERVICE (BY GAS COMPANY)
- 17C GAS METER
- 18A POINT OF CONNECTION - TELEPHONE SERVICE - COORDINATE WITH TELEPHONE COMPANY
- 18B UNDERGROUND TELEPHONE SERVICE PER LOCAL TELEPHONE COMPANY
- 18C 2-2" CONDUIT INSTALLED BY CONTRACTOR - TELEPHONE SERVICE
- 19A POINT OF CONNECTION - ELECTRICAL SERVICE
- 19B ELECTRICAL SERVICE (SEE NOTE 10)
- 19C 4" CONDUIT INSTALLED BY CONTRACTOR - ELECTRIC SERVICE
- 19D TRANSFORMER - PER EVERGY DETAIL 700-103
- 20A POINT OF CONNECTION - WATER SERVICE
- 20B 1" TAP AND METER WITH 1" SERVICE LINE
- 20C 1" TAP AND METER WITH 1" SERVICE LINE
- 20D 1.5" TAP AND METER WITH 2" SERVICE LINE
- 20E 1" TAP AND METER WITH 1" SERVICE LINE FOR IRRIGATION
- 60 6" SANITARY SEWER SERVICE LINE SDR-26 PVC
- 61 4" SANITARY SEWER SERVICE LINE SDR 26 PVC
- 62 CONNECT TO EXISTING SANITARY SEWER SERVICE MAIN
- 63 WATER SERVICE TO HOSE BIB
- 64 GREASE INTERCEPTOR SEE MEP PLANS

UTILITY STATEMENT:

THE UNDERGROUND UTILITIES SHOWN HEREON ARE FROM FIELD SURVEY INFORMATION OF ONE-CALL LOCATED UTILITIES, FIELD SURVEY INFORMATION OF ABOVE GROUND OBSERVABLE EVIDENCE, AND/OR THE SCALING AND PLOTTING OF EXISTING UTILITY MAPS AND DRAWINGS AVAILABLE TO THE SURVEYOR AT THE TIME OF SURVEY. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHERMORE, THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES BY EXCAVATION UNLESS OTHERWISE NOTED ON THIS SURVEY.

SM Engineering

SM
ENGINEERING

919 W. Stewart Road
Columbia, Missouri 65203
smcivilengr@gmail.com
785.341.9747

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Revisions

LOT 3 OF WEST PRYOR

LEE'S SUMMIT, MISSOURI

s h e e t

C3.0

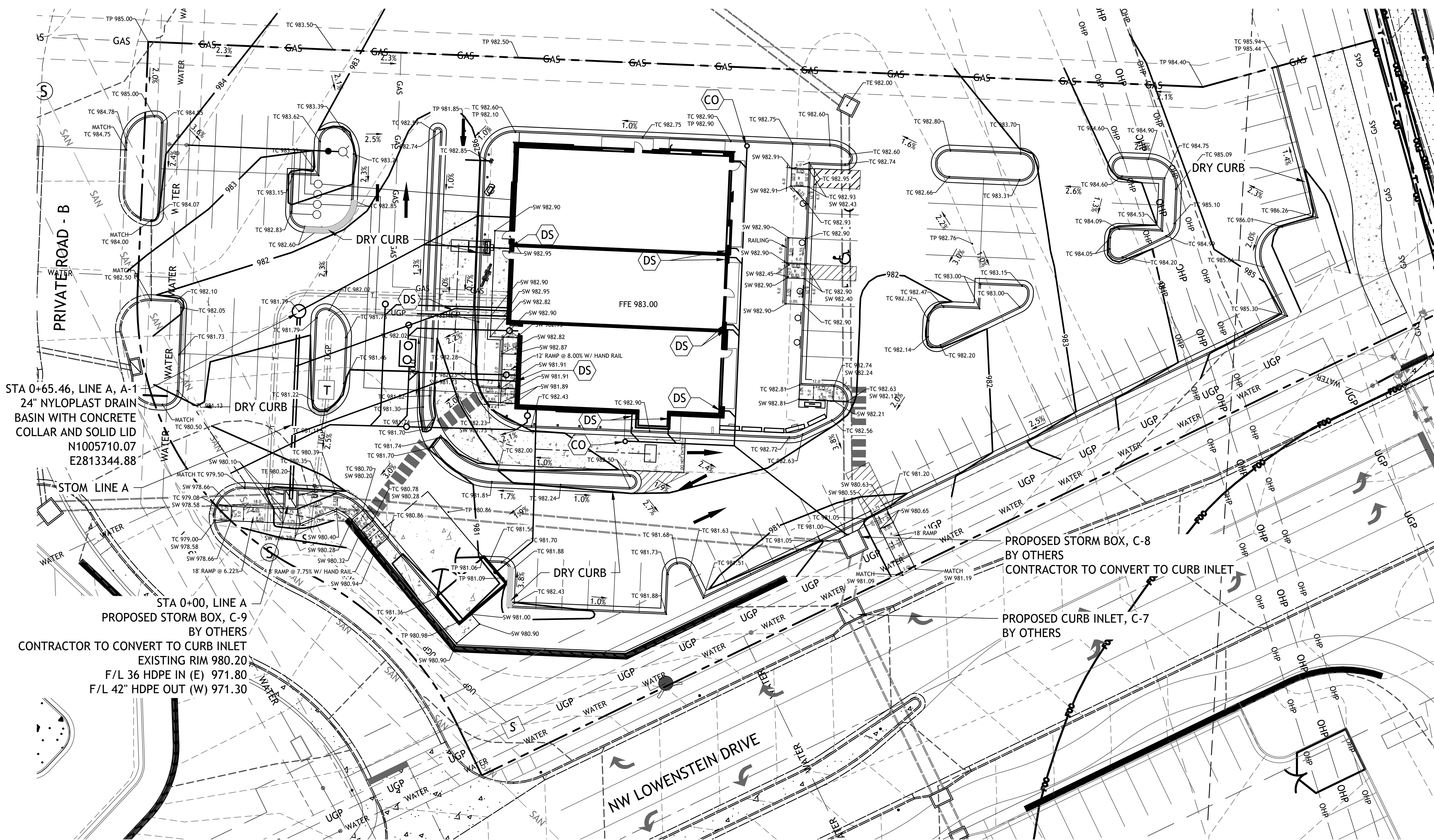
Civil
UTILITY PLAN
permit
24 APRIL 2020



Revisions

LOT 3 OF WEST PRYOR

LEE'S SUMMIT, MISSOURI

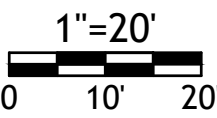
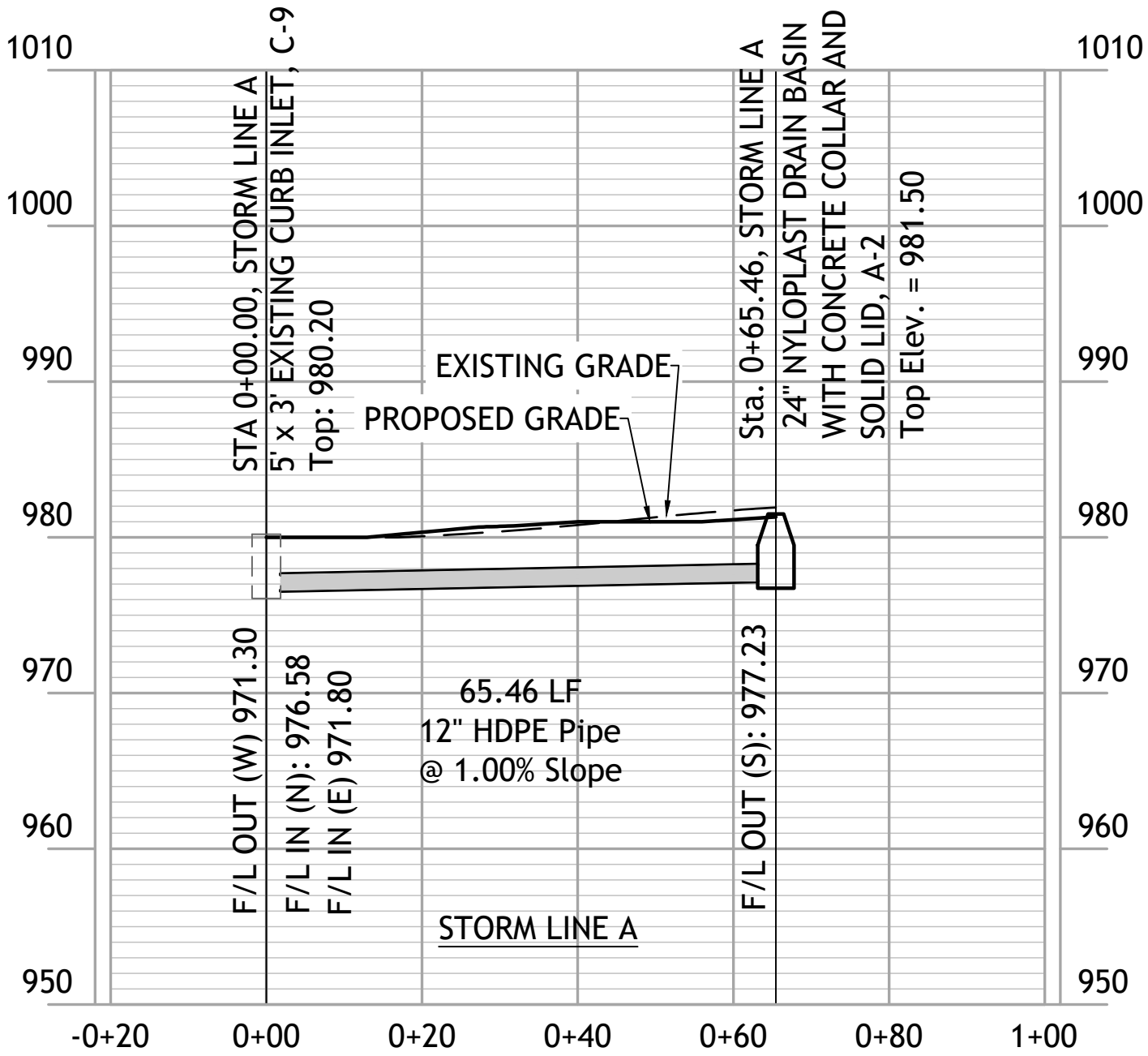


GRADING NOTES:

1. EARTHWORK UNDER THE BUILDING SHALL COMPLY WITH THE PROJECT ARCHITECTURAL PLANS. OTHER FILL MATERIAL SHALL BE MADE IN LIFTS NOT TO EXCEED EIGHT INCHES DEPTH COMPACTED TO 95% STANDARD PROCTOR DENSITY. FILL MATERIAL MAY INCLUDE ROCK FROM ON-SITE EXCAVATION IF CAREFULLY PLACED SO THAT LARGE STONES ARE WELL DISTRIBUTED AND VOIDS ARE COMPLETELY FILLED WITH SMALLER STONES, EARTH, SAND OR GRAVEL TO FURNISH A SOLID EMBANKMENT. NO ROCK LARGER THAN THREE INCHES IN ANY DIMENSION NOR ANY SHALE SHALL BE PLACED IN THE TOP 12 INCHES OF EMBANKMENT.
2. AREAS THAT ARE TO BE CUT TO SUBGRADE LEVELS SHALL BE PROOF ROLLED WITH A MODERATELY HEAVY LOADED DUMP TRUCK OR SIMILAR APPROVED CONSTRUCTION EQUIPMENT TO DETECT UNSUITABLE SOIL CONDITIONS.
3. IN ALL AREAS OF EXCAVATION, IF UNSUITABLE SOIL CONDITIONS ARE ENCOUNTERED, A QUALIFIED GEOTECHNICAL ENGINEER SHALL RECOMMEND TO THE OWNER THE METHODS OF UNDERCUTTING AND REPLACEMENT OF PROPERLY COMPACTED, APPROVED FILL MATERIAL. ALL PROOF ROLLING AND UNDERCUTTING SHOULD BE PERFORMED DURING A PERIOD OF DRY WEATHER.
4. CONTRACTOR SHALL USE SILT FENCE OR OTHER MEANS OF CONTROLLING EROSION ALONG THE EDGE OF THE PROPERTY OR OTHER BOTTOM OF SLOPE LOCATIONS.
5. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS.
6. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
7. IT IS NOT THE DUTY OF THE ENGINEER OR THE OWNER TO REVIEW THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE AT ANY TIME DURING CONSTRUCTION.
8. PIPE LENGTHS ARE CENTER TO CENTER OF STRUCTURE OR TO END OF END SECTIONS.
9. HANDICAP STALLS SHALL MEET ADA REQUIREMENTS AND SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION AT THE BUILDING ENTRY AND ACCESSIBLE PARKING STALLS. SLOPES EXCEEDING 2.0% WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
10. CONTRACTOR TO ADJUST DEPTHS OF EXISTING SERVICE LINES AS NECESSARY
11. ALL CONSTRUCTION TRAFFIC, TEMPORARY TRAFFIC CONTROL DEVICES AND PAVEMENT MARKINGS SHALL CONFORM TO REQUIREMENTS OF THE LATEST MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
12. SITE BEING ROUGH GRADED TO 12.5" BELOW FINISHED GRADE
13. CONTRACTOR TO PLACE 8" LOW PERMEABILITY LVC FOR BUILDING PAD

NOTES

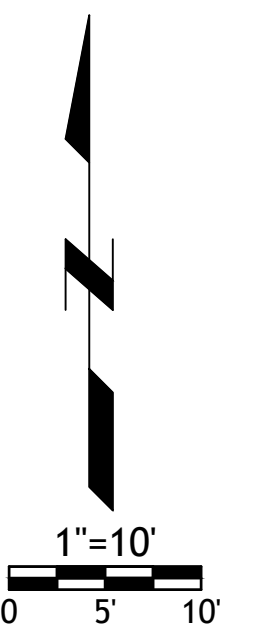
- DS 6"X4" DOWNSPOUTS TYING INTO 6" PVC TO CONNECT TO STORM SEWER AS SHOWN
- CO PROVIDE 18" MINIMUM COVER AND 1% MINIMUM SLOPE FOR 6" PVC CLEANOUT





DA RAMPS

permit
APRIL 2020



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Revisions

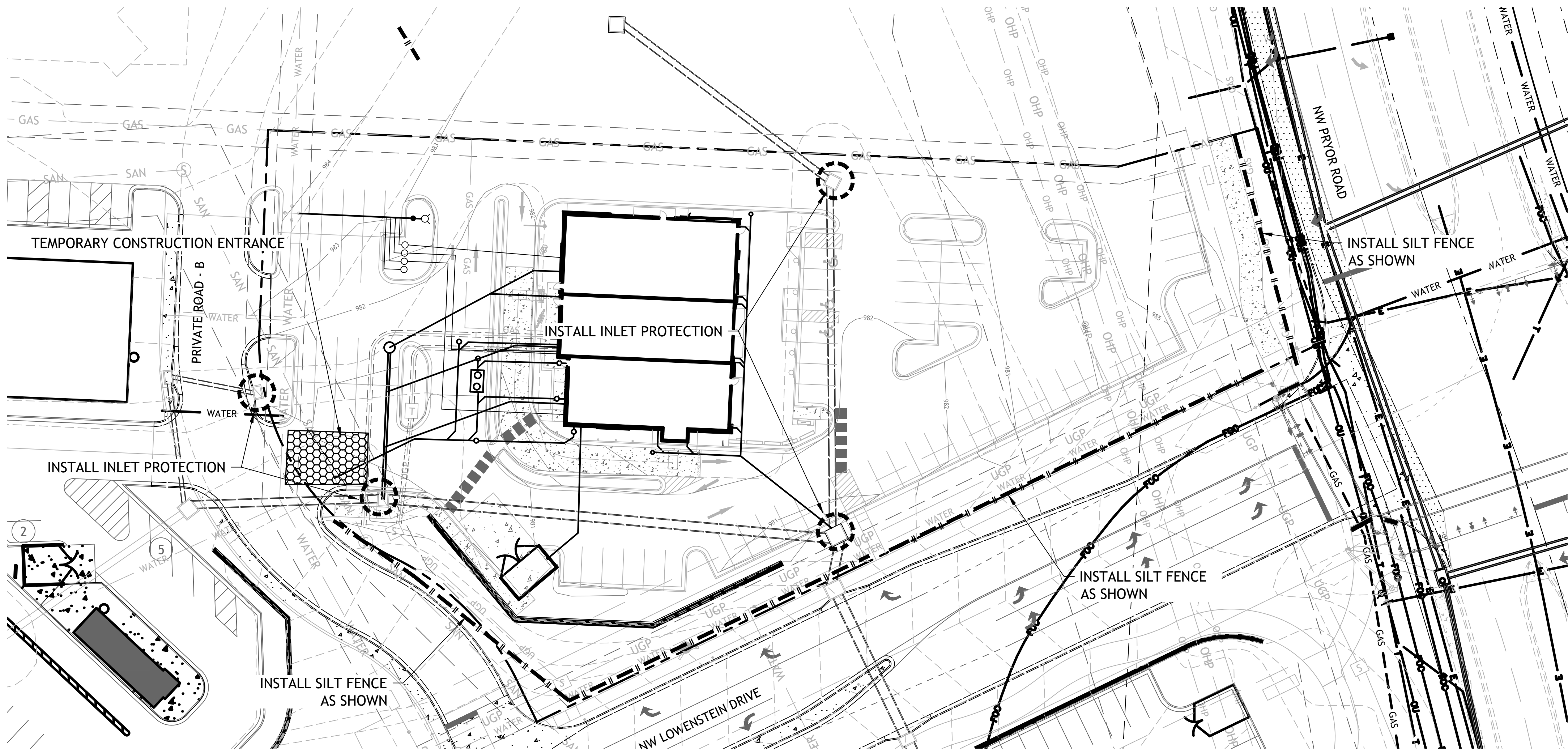
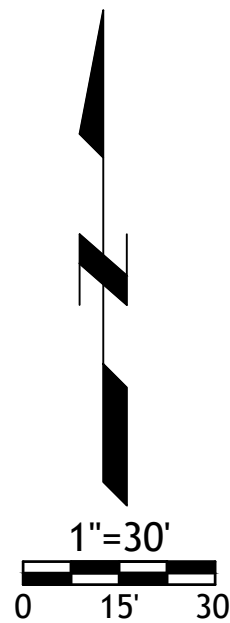
LOT 3 OF WEST PRYOR
LEES SUMMIT, MISSOURI

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Civil
EROSION CONTROL
PLAN
24 APRIL 2020

- NOTES:
- Prior to Land Disturbance activities, the following shall occur:
 - Identify the limits of construction on the ground with easily recognizable indications such as construction staking, construction fencing and placement of physical barriers or other means acceptable to the City Inspector and in conformance with the erosion and pollution control plan;
 - Construct a stabilized entrance/parking/staging area;
 - Install perimeter controls and protect any existing stormwater inlets;
 - Request an initial inspection of the installed Phase I pollution control measures designated on the approved erosion and pollution control plan. Land disturbance work shall not proceed until there is a passed inspection
 - The site shall comply with all requirements of the MoDNR general requirements
 - Immediate initiation of temporary stabilization BMPs on disturbed areas where construction activities have temporarily ceased on that portion of the project site if construction activities will not resume for a period exceeding 14 calendar days. Temporary stabilization may include establishment of vegetation, geotextiles, mulches or other techniques to reduce or eliminate erosion until either final stabilization can be achieved or until further construction activities take place to re-disturb the area. This stabilization must be completed within 14 calendar days;
 - Inspection of erosion and sediment control measures shall be performed to meet or exceed the minimum inspection frequency in the MoDNR General Permit. At a minimum, inspections shall be performed during all phases of construction at least once every 14 days and within 24 hours of each precipitation event.
 - An inspection log shall be maintained and shall be available for review by the regulatory authority;
 - The erosion and pollution control plan shall be routinely updated to show all modifications and amendments to the original plan. A copy of the erosion and pollution control plan shall be kept on site and made available for review by the regulatory authority.
 - Temporary seeding shall only be used for periods not to exceed 12 months. For final stabilization, temporary seeding shall only be used to establish vegetation outside the permanent seeding or sodding dates as specified in the Standard Specifications. Final stabilization requires a uniform perennial vegetative cover with a density of 70% over 100% of disturbed area.
 - Erosion and pollution control shall be provided for the duration of a project. All installed erosion and pollution control BMPs shall be maintained in a manner that preserves their effectiveness. If the City determines that the BMPs in place do not provide adequate erosion and pollution control at any time during the project, additional or alternate measures that provide effective control shall be required.
 - Concrete wash or rinse water from concrete mixing equipment. Tools and/or ready-mix trucks, etc. may not be discharged into or be allowed to run to any existing water body or portion of the storm water system. One or more locations for concrete washout will be designated on site, such that discharges during concrete washout will be contained in a small area where waste concrete can solidify in place. Proper signage will be installed to direct users to the concrete washout. Concrete washouts must be handled prior to pouring any concrete.
 - Silt fences and sediment control BMPs which are shown along the back of curb must be installed within two weeks of curb backfill and prior to placement of base asphalt. Exact locations of these erosion control methods may be field adjusted to minimize conflicts with utility construction. However, anticipated disturbance by utility construction shall not delay installation.
 - Required sediment basins and traps shall be installed as early as possible during mass grading. Sediment basins and traps shall be cleaned out when the sediment capacity has been reduced by 20% of its original design volume.
 - All manufactured BMPs such as erosion control blankets, TRMs, biodegradable logs, filter socks, synthetic sediment barriers and hydraulic erosion control shall be installed as directed by the manufacturer.
 - The above requirements are the responsibility of the permittee for the site. Responsibility may be transferred to another party by the permittee, but the permittee shall remain liable by the City of Lee's Summit if any of the above conditions are not met.

LEGEND

- SILT FENCE
- INLET PROTECTION
- TEMPORARY CONSTRUCTION ENTRANCE

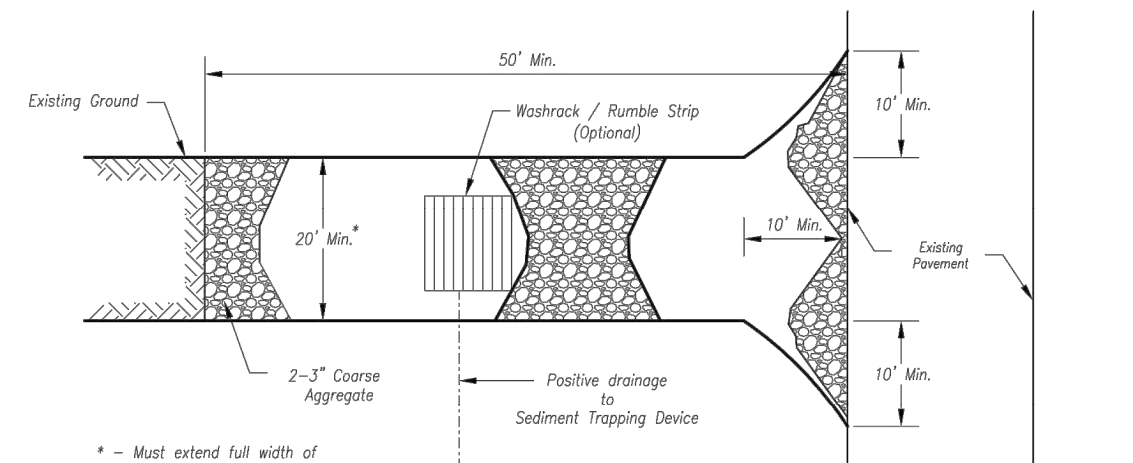


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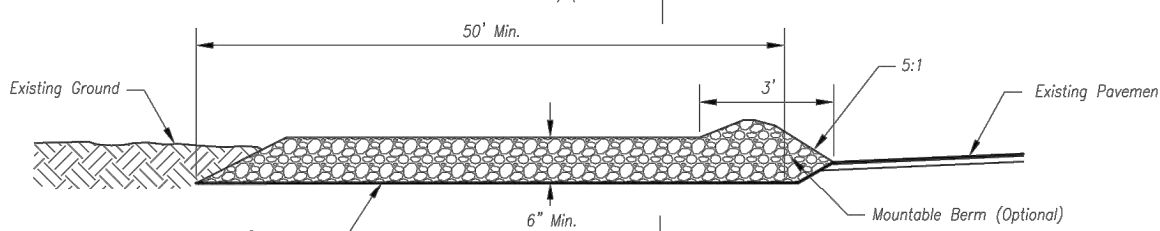
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Professional Engineer

Revisions

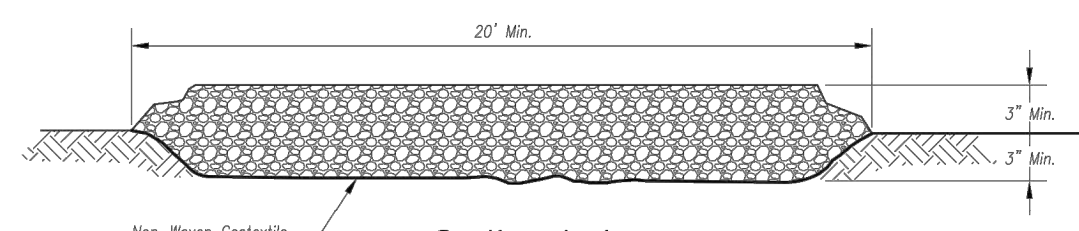
LOT 3 OF WEST PRYOR
LEES SUMMIT, MISSOURI



Plan View
Not to Scale



Side Elevation
Not to Scale



Section A-A
Not to Scale

Notes for Construction Entrance:

1. Avoid locating on steep slopes, at curves on public roads, or downwind of inhabited areas.
2. Remove all vegetation and other unsuitable material from the foundation area, grade, and crown for positive drainage.
3. If slope towards the public road exceeds 2%, construct a 6" to 8" high ridge with 3:1V side slopes across the foundation approximately 15 feet from the edge of the public road to divert runoff from it.
4. Install pipe under the entrance if needed to maintain drainage ditches along public roads.
5. Place stone to dimensions and grade as shown on plans. Leave surface sloped for drainage.
6. Divert all surface runoff and drainage from the entrance to a sediment control device.
7. If conditions warrant, place geotextile fabric on the graded foundation to improve stability.

Maintenance for Construction Entrance:

1. Reshape entrance as needed to maintain function and integrity of installation. Top dress with clean aggregate as needed.

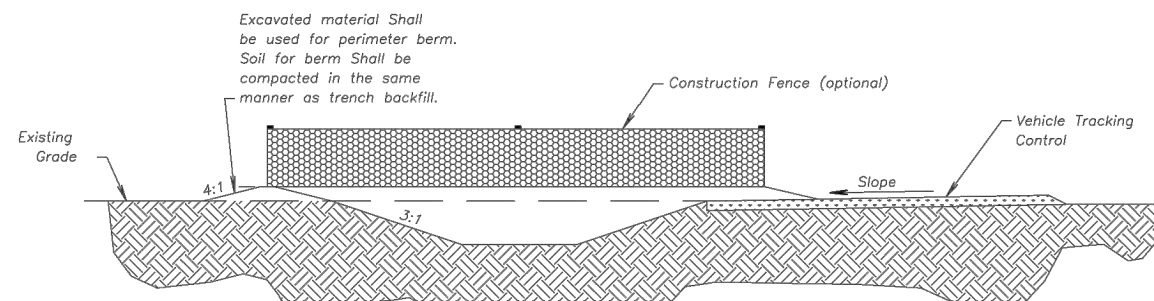
CONSTRUCTION ENTRANCE

Notes for Concrete Washout:


1. Concrete washout areas shall be installed prior to any concrete placement on site.
2. Concrete washout areas shall include a flat subsurface pit sized relative to the amount of concrete to be placed on site. The slopes leading out of the subsurface pit shall be 3:1. The vehicle tracking pad shall be sloped towards the concrete washout area.
3. Vehicle tracking control is required at the access point to all concrete washout areas.
4. Signs shall be placed at the construction site entrance, washout area and elsewhere as necessary to clearly indicate the location(s) of the concrete washout area(s) to operators of concrete trucks and pump rigs.
5. A one-piece impervious liner may be required along the bottom and sides of the subsurface pit in sandy or gravelly soils.

Maintenance for Concrete Washout:

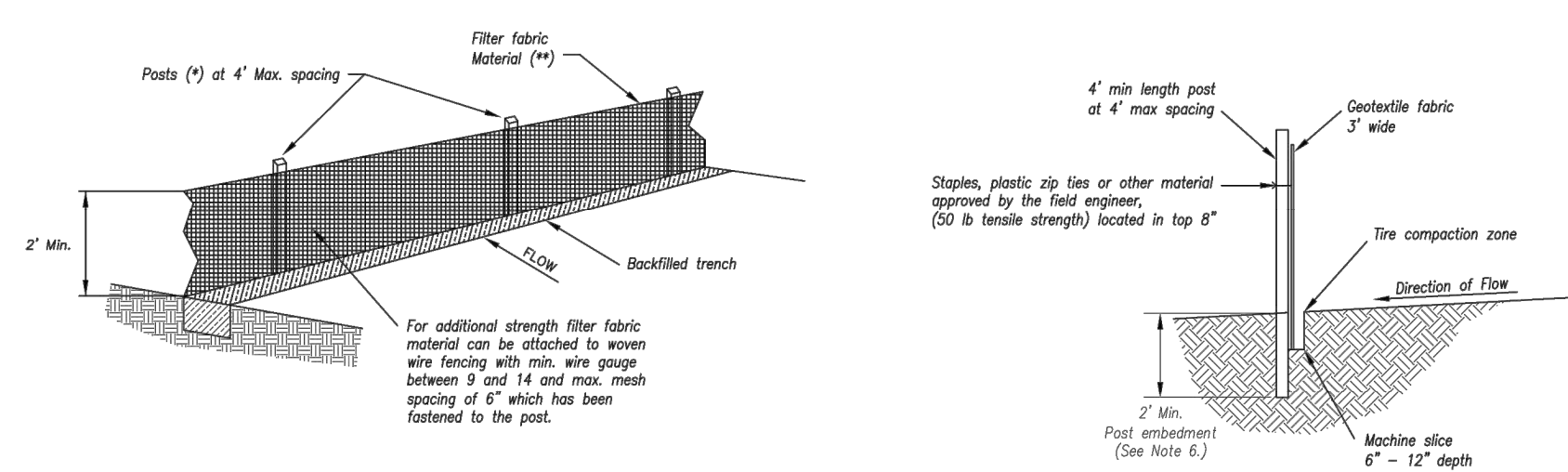
1. Concrete washout materials shall be removed once the materials have filled the washout to approximately 75% full.
2. Concrete washout areas shall be enlarged as necessary to maintain capacity for washed concrete.
3. Concrete washout water, washed pieces of concrete and all other debris in the subsurface pit shall be transported from the job site in a water-tight container and disposed of properly.
4. Concrete washout areas shall remain in place until all concrete for the project is placed.
5. When concrete washout areas are removed, excavations shall be filled with suitable compacted backfill and topped, any disturbed areas associated with the installation, maintenance, and/or removal of the concrete washout areas shall be stabilized.



CONCRETE WASHOUT

AMERICAN PUBLIC WORKS ASSOCIATION	
	KANSAS CITY METRO CHAPTER
CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT	STANDARD DRAWING NUMBER ESC-01 ADOPTED: 10/24/2016

Construction Entrance modified from 2015 Overland Park Standard Details for Erosion and Sediment Control; Concrete Washout modified from 2009 City of Great Bend Standard Drawings.



- (*) EOSIS
- MIN. LENGTH 4'
 - HARDWOOD 1 3/4" x 1 3/4"
 - NO.2 SOUTHERN PINE 2 3/4" x 2 3/4"
 - STEEL 1.33 LB/FT

(**) - Geotextile Fabric shall meet the requirements of AASHTO M288

SILT FENCE DETAILS

Not to Scale

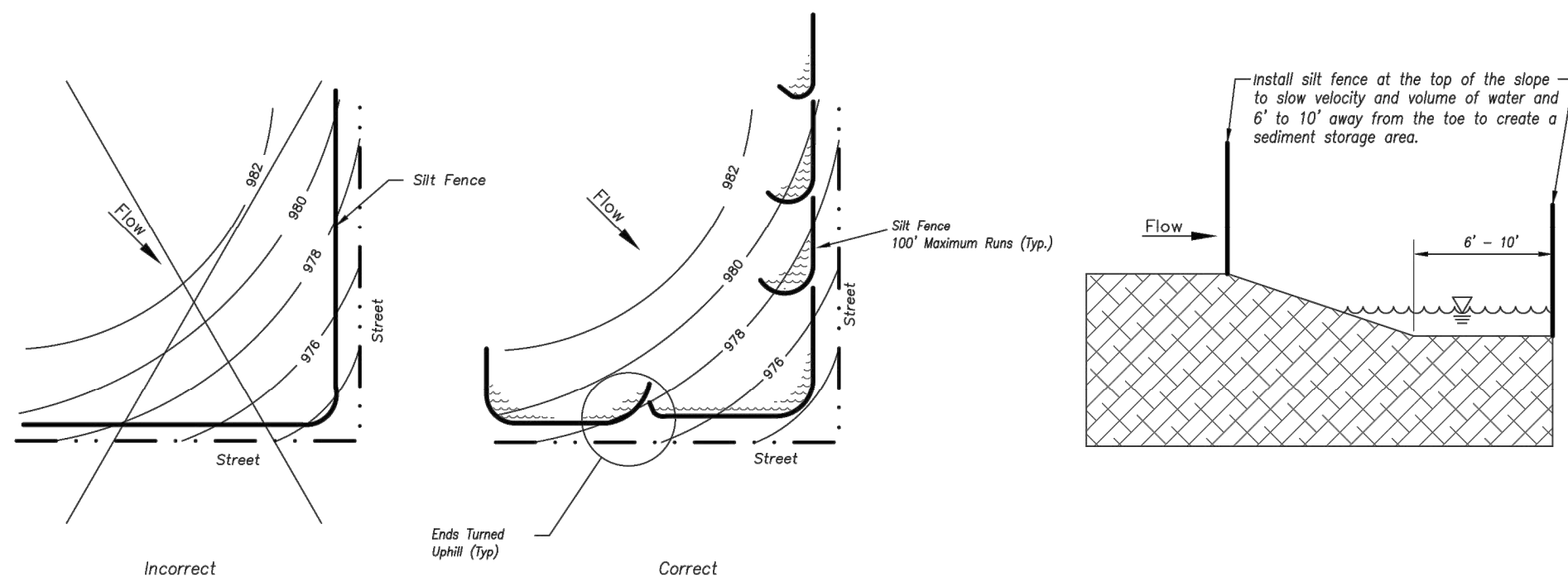
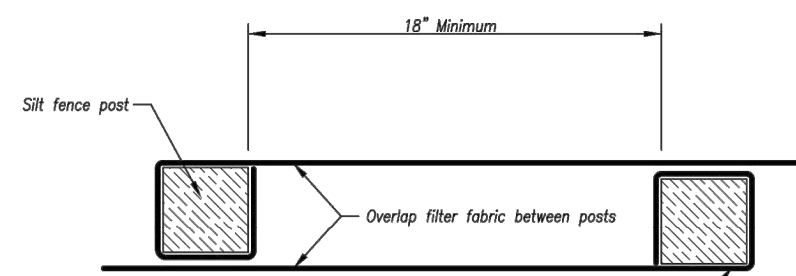


Figure A


SILT FENCE LAYOUT

Not to Scale

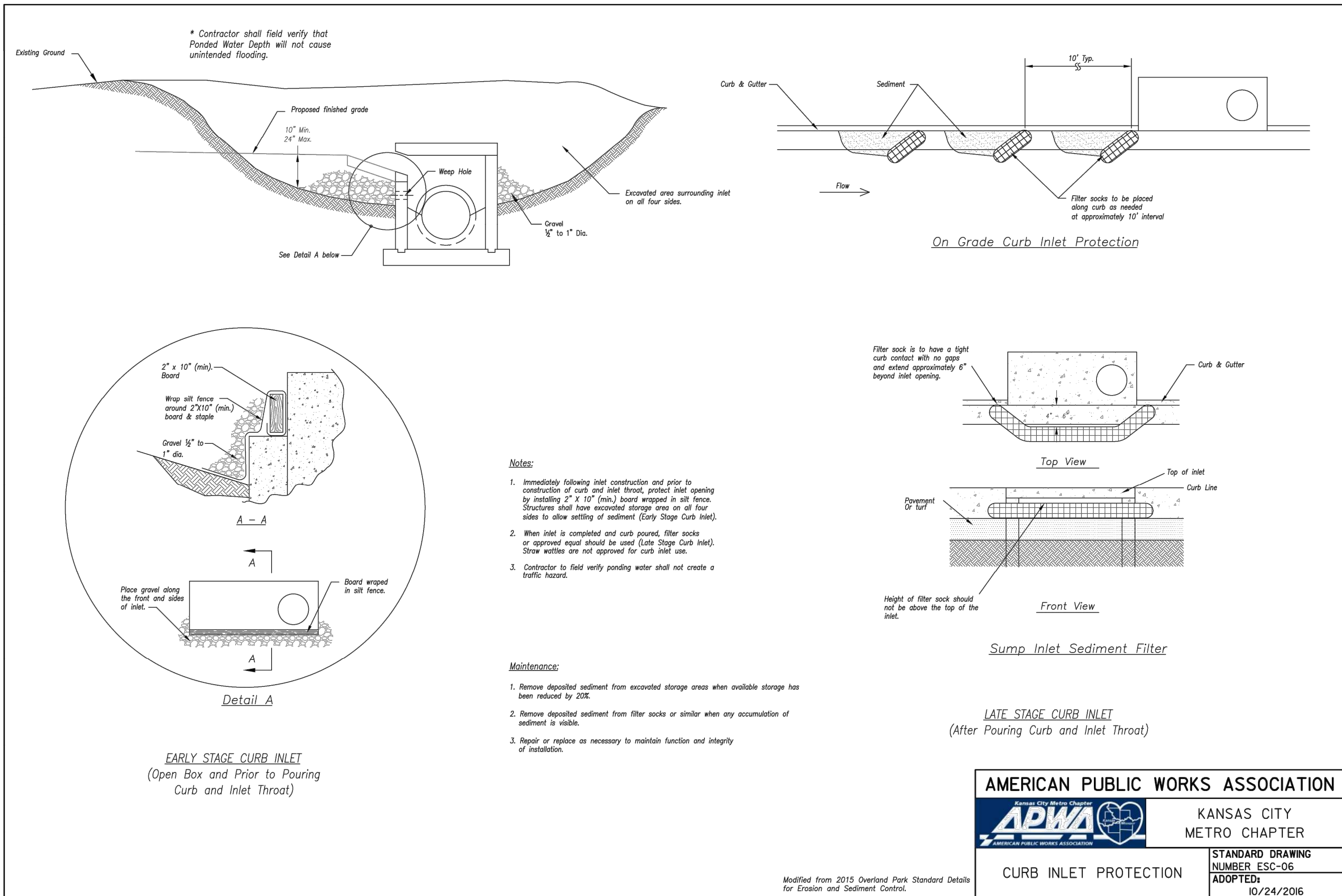


JOINING FENCE SECTIONS

Not to Scale

AMERICAN PUBLIC WORKS ASSOCIATION	
	KANSAS CITY METRO CHAPTER
SILT FENCE	STANDARD DRAWING NUMBER ESC-03 ADOPTED: 10/24/2016

Modified from 2015 Overland Park Standard Details for Erosion and Sediment Control.





PV1



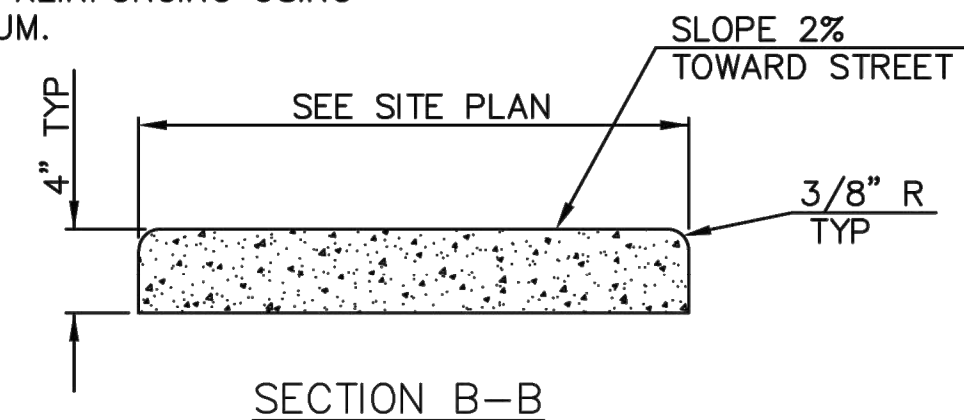
PV3

CURB WALK/CURB (AT BUILDING)

CW1

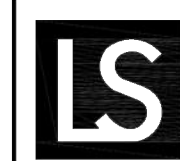


PV2



CONCRETE SIDEWALK

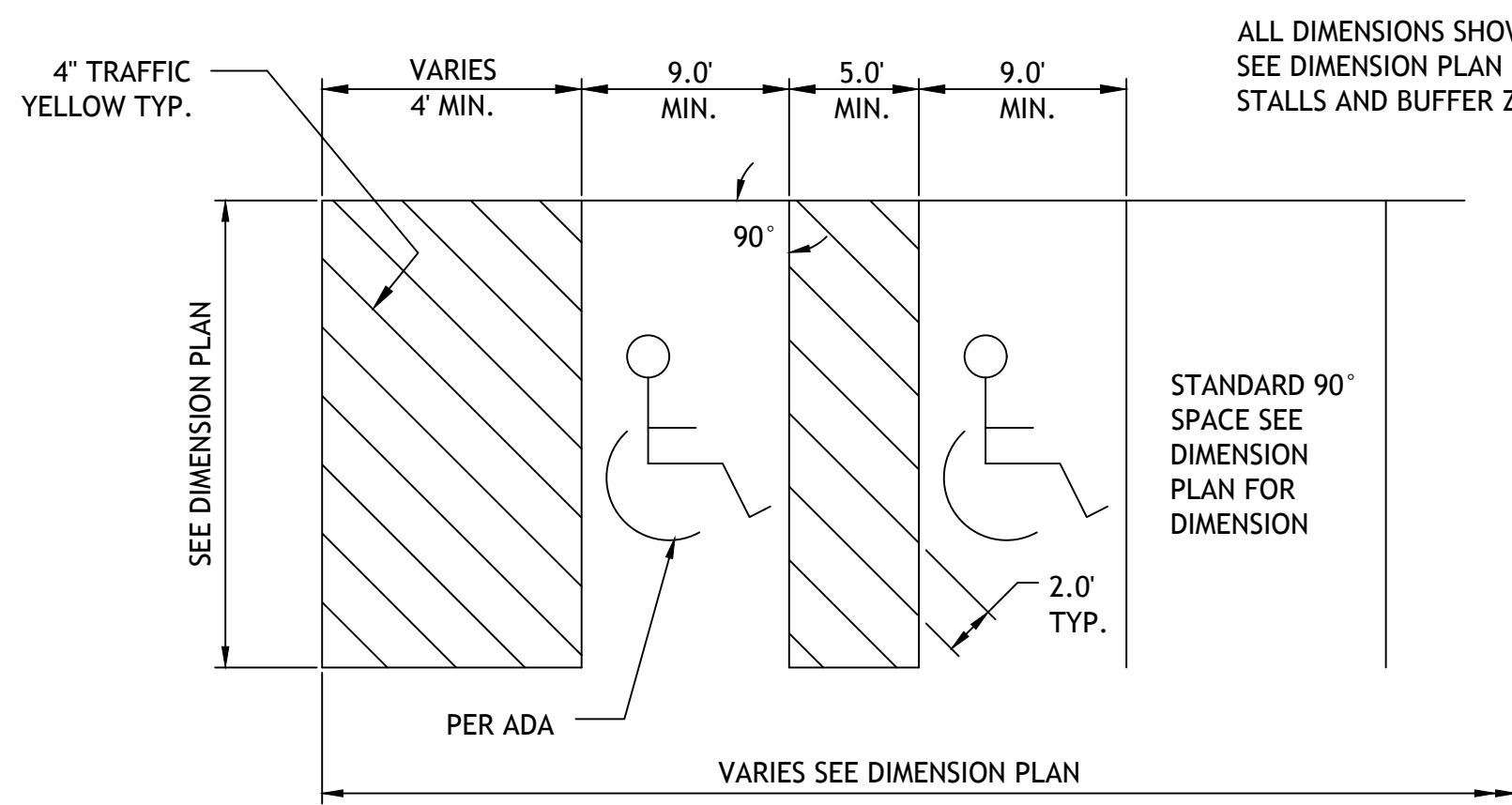
CW2



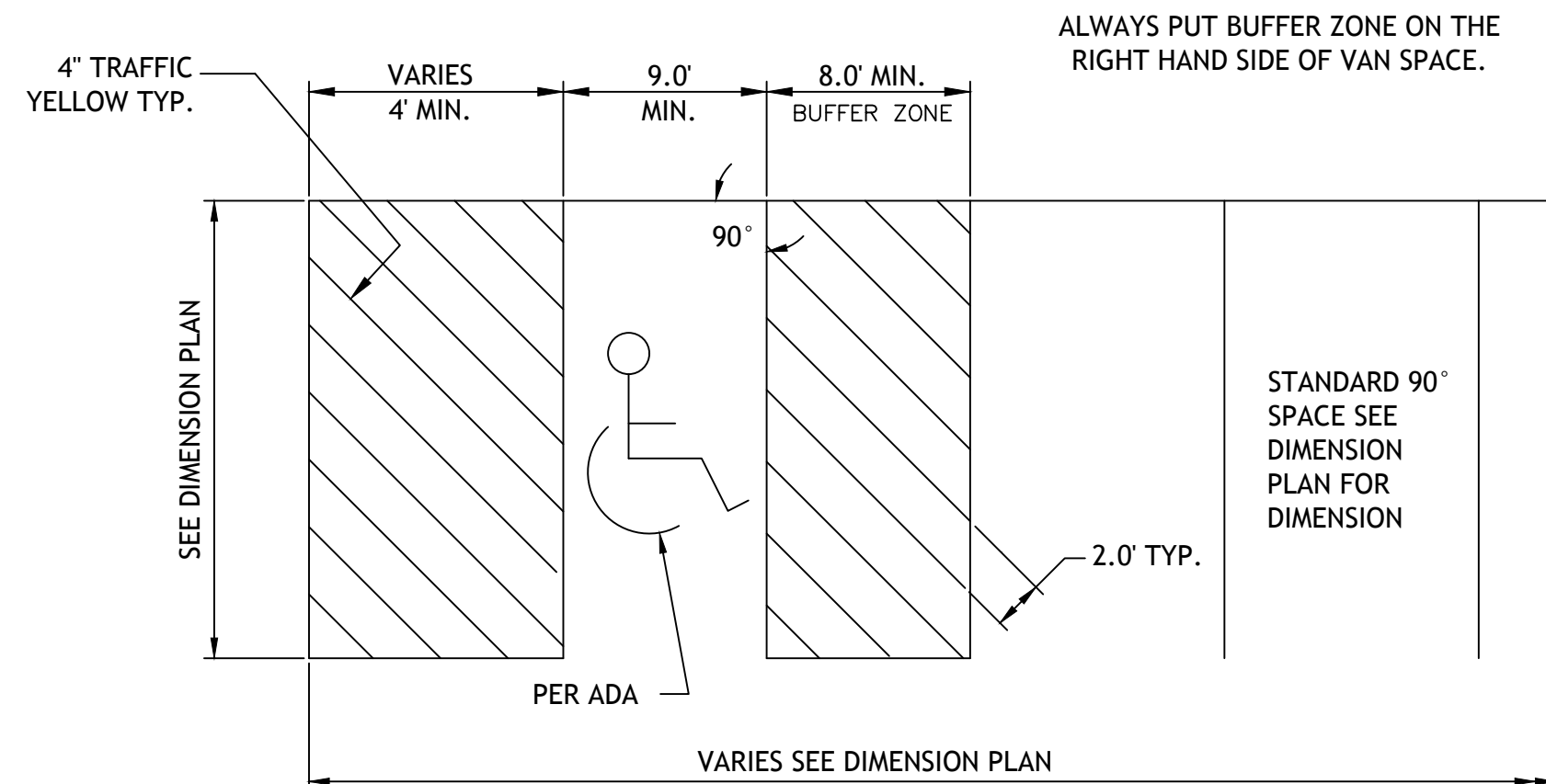
Date: 02/13
Drawn By: JN
Checked By: DL
FILE: WAT-7
Rev: 1/14
Rev:



PK2

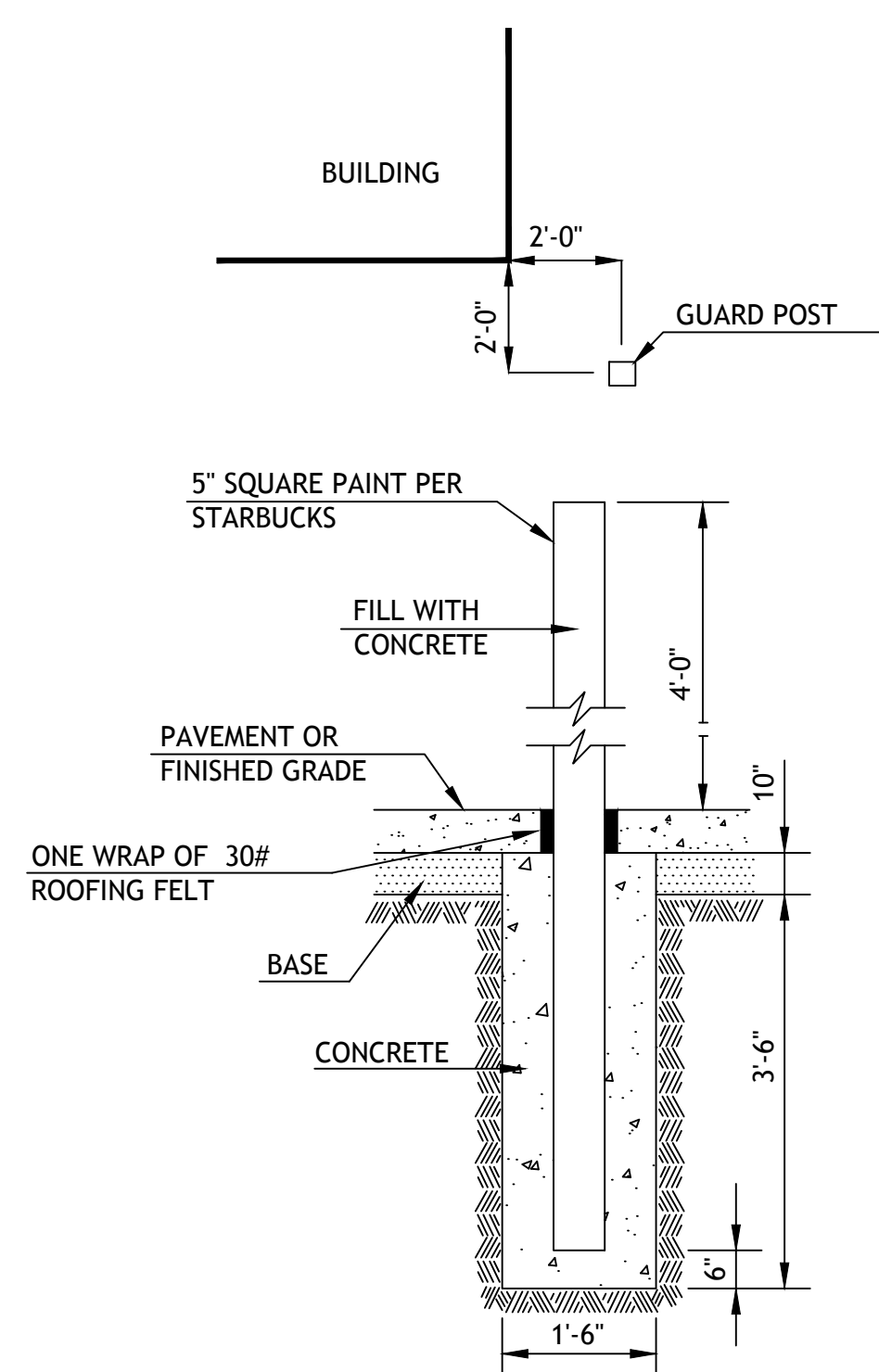


NOTE: PARKING SPACES AND ACCESS ISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 1:50 IN ALL DIRECTIONS



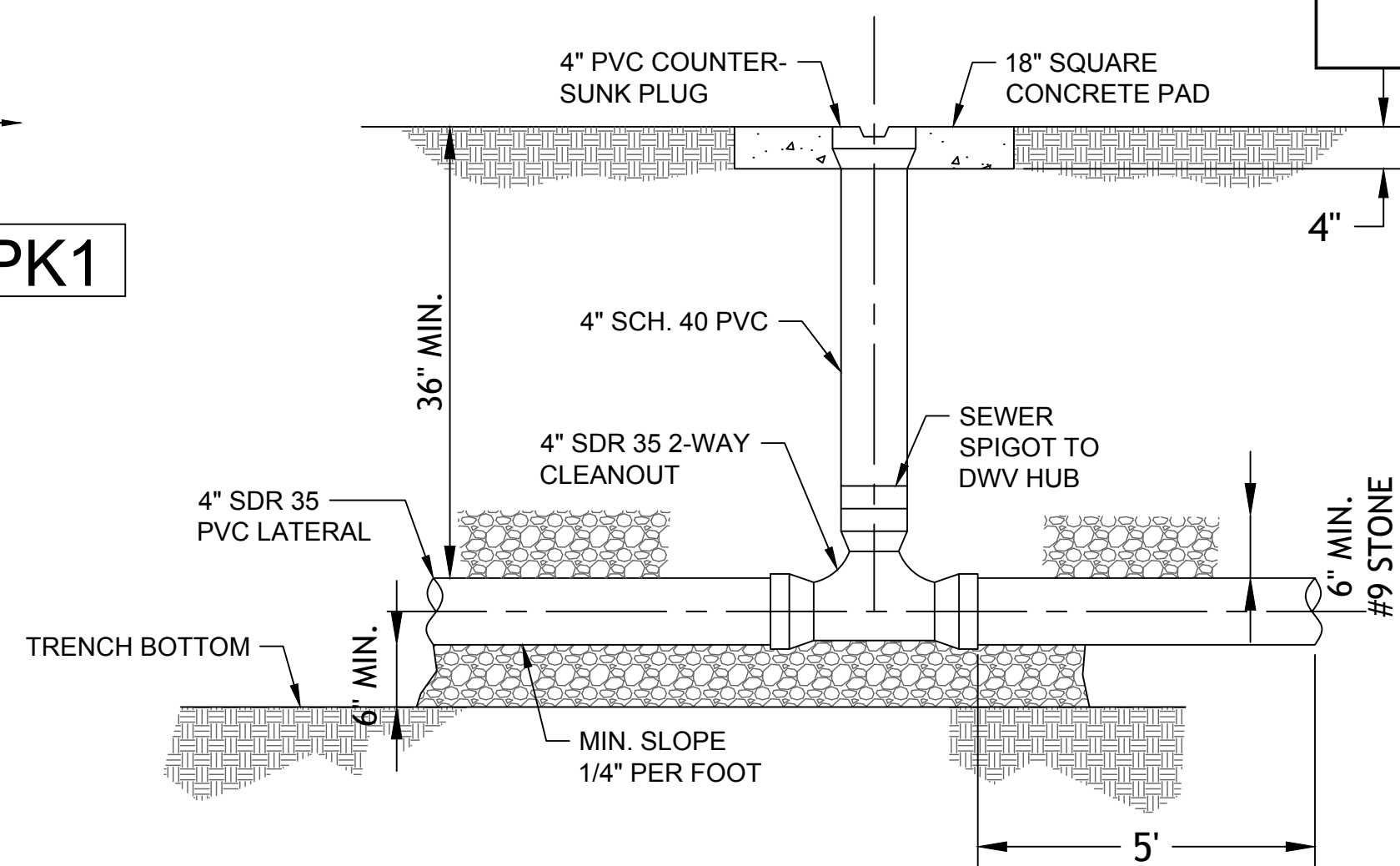
90° ACCESSIBLE & VAN ACCESSIBLE SPACE STRIPING

PK1



BOLLARD DETAIL

SG1



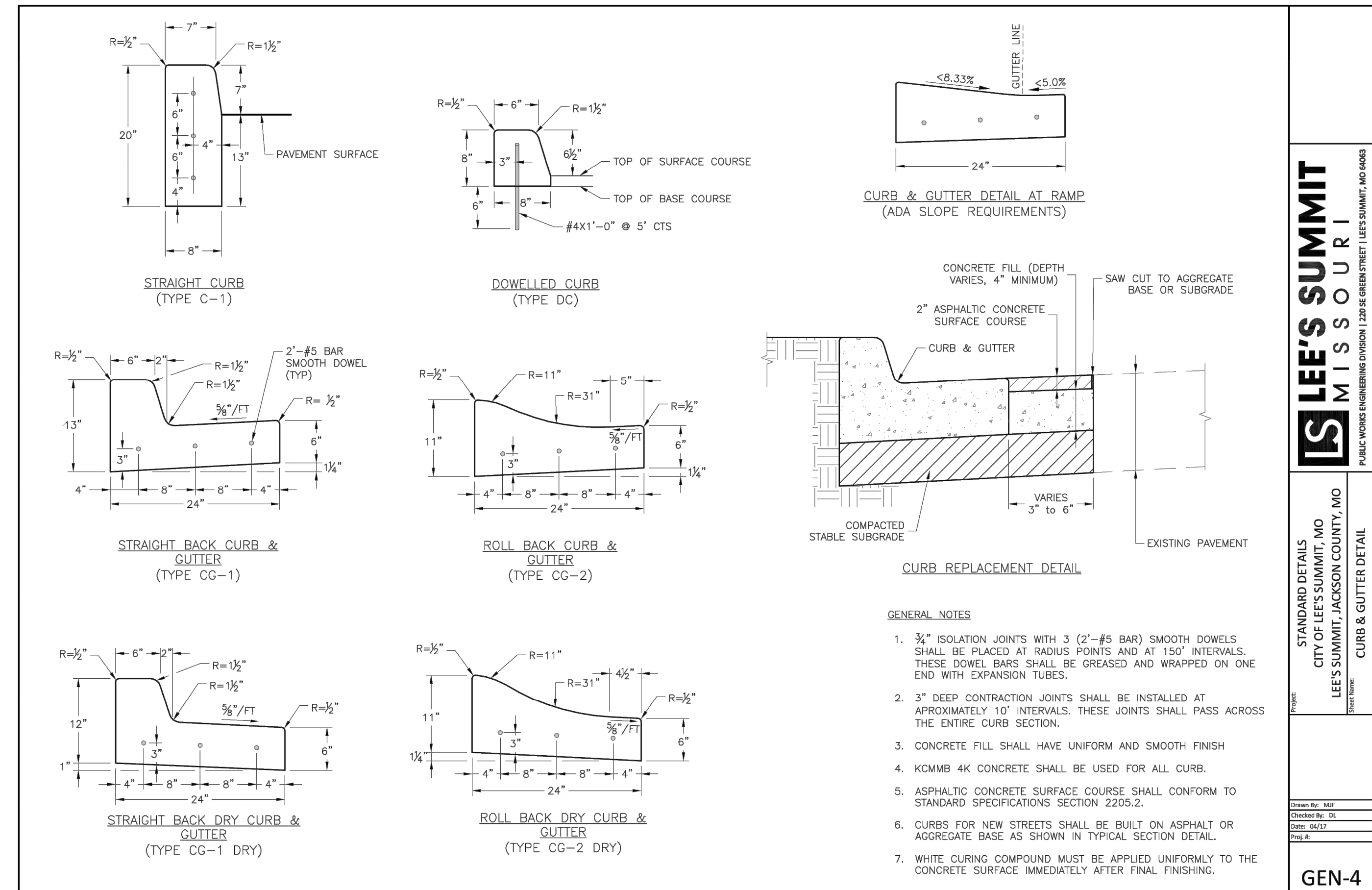
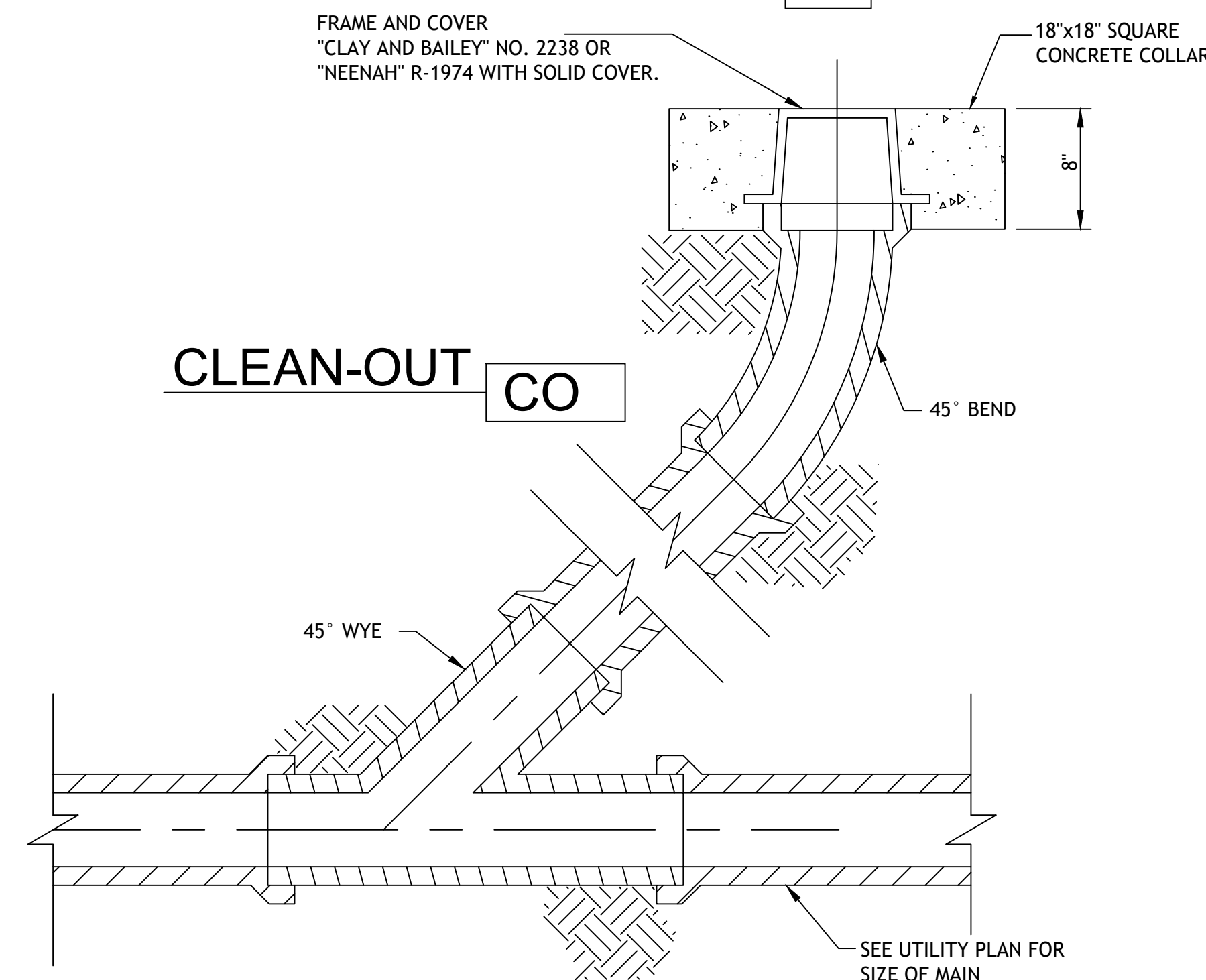
TWO WAY CLEANOUT

SS2

FRAME AND COVER "CLAY AND BAILEY" NO. 2238 OR "NEENAH" R-1974 WITH SOLID COVER.

CLEAN-OUT

CO



GENERAL NOTES

1. $\frac{3}{4}$ " ISOLATION JOINTS WITH 3 (2'-#5 BAR) SMOOTH DOWELS SHALL BE PLACED AT RADIUS POINTS AND AT 150' INTERVALS. THESE DOWEL BARS SHALL BE GREASED AND WRAPPED ON ONE END WITH EXPANSION TUBES.
2. 3" DEEP CONTRACTION JOINTS SHALL BE INSTALLED AT APPROXIMATELY 10' INTERVALS. THESE JOINTS SHALL PASS ACROSS THE ENTIRE CURB SECTION.
3. CONCRETE FILL SHALL HAVE UNIFORM AND SMOOTH FINISH
4. KCMMB 4K CONCRETE SHALL BE USED FOR ALL CURB.
5. ASPHALTIC CONCRETE SURFACE COURSE SHALL CONFORM TO STANDARD SPECIFICATIONS SECTION 2205.2.
6. CURBS FOR NEW STREETS SHALL BE BUILT ON ASPHALT OR AGGREGATE BASE AS SHOWN IN TYPICAL SECTION DETAIL.
7. WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.

LEE'S SUMMIT MISSOURI

STANDARD DETAILS CITY OF LEE'S SUMMIT, MO LEE'S SUMMIT, JACKSON COUNTY, MO

GEN-4

SM Engineering
919 W. Stewart Road
Columbia, Missouri 65203
smcivilengr@gmail.com
785.341.9747

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STATE OF MISSOURI
JACKSON COUNTY
LEE'S SUMMIT
4-2-20

Revisions

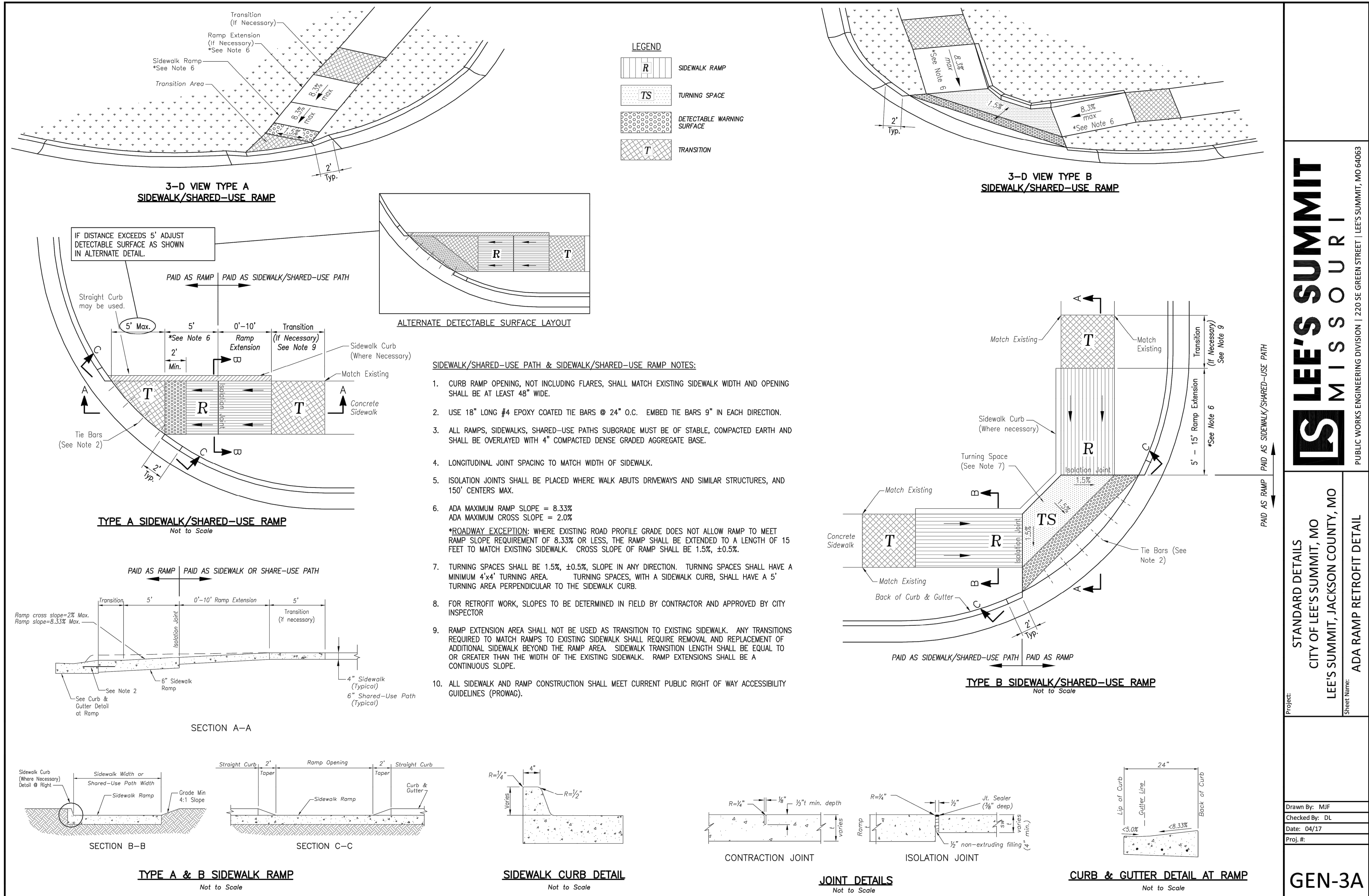
LOT 3 OF WEST PRYOR
LEE'S SUMMIT, MISSOURI

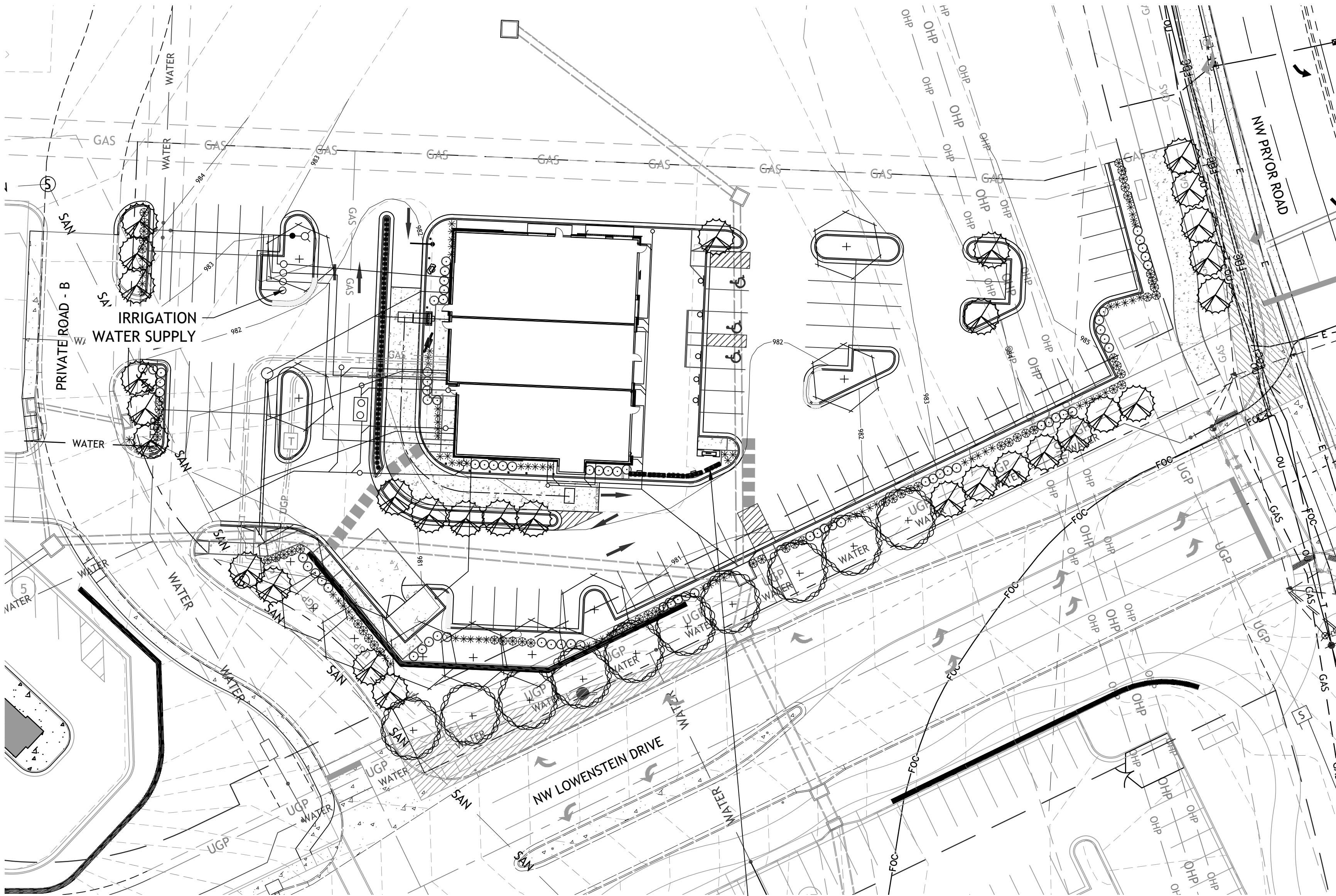
sheet
C8.0
Civil
DETAILS
permit
24 APRIL 2020



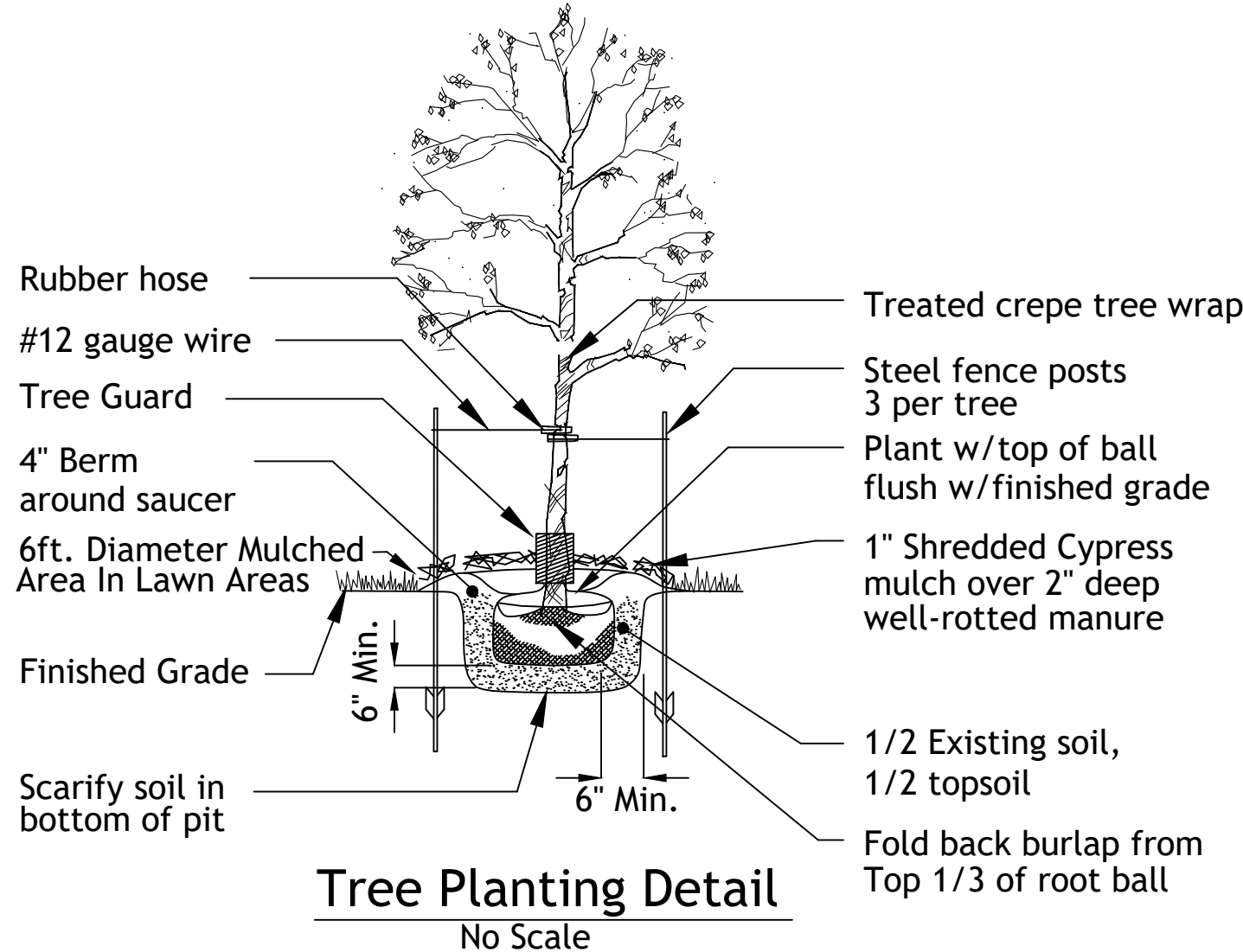
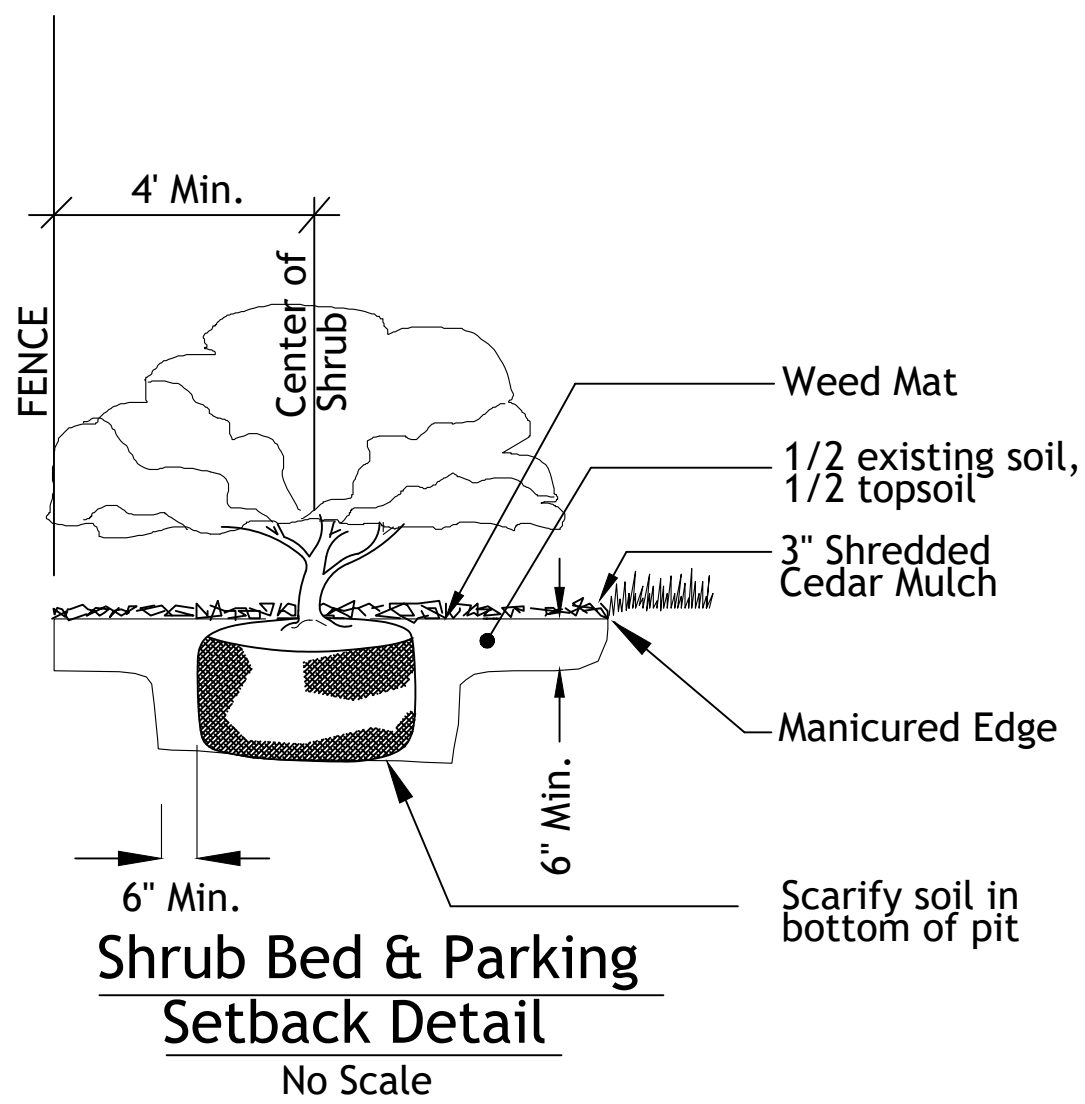
Revisions

LOT 3 OF WEST PRYOR
LEES SUMMIT, MISSOURI





EACH PLANTER BOX
TO RECEIVE 4
FEATHER REED PLANTS



SITE DATA:

LOWENSTEIN 378'
REQUIRED:
STREET TREES 1/30' = 13
SHRUBS 12/40' = 113

PROVIDED:
SHADE TREES = 10
ORNAMENTALS = 3
SHRUBS = 90

PRYOR ROAD 96'
REQUIRED:
STREET TREES 1/30' = 3
SHRUBS 12/40' = 29

PROVIDED:
SHADE TREES = 3
SHRUBS = 33

PRIVATE ROAD 303'
REQUIRED:
STREET TREES 1/30' = 10
SHRUBS 12/40' = 91

PROVIDED:
ORNAMENTALS TREES = 10
SHRUBS = 47

INTERIOR PARKING
TOTAL PARKING SURFACE = 49,113 sf
REQUIRED
5% LANDSCAPE AREA = 2,455 sf
PROVIDED = 2,930 sf

OPEN SPACE TREES
TOTAL SITE 1.75ac (76,394sf)
BUILDING AREA 5,700sf
OPEN SPACE 70,694sf

REQUIRED
1 / 5,000sf = 26

PROVIDED
SHADE TREES = 13
ORNAMENTALS = 13

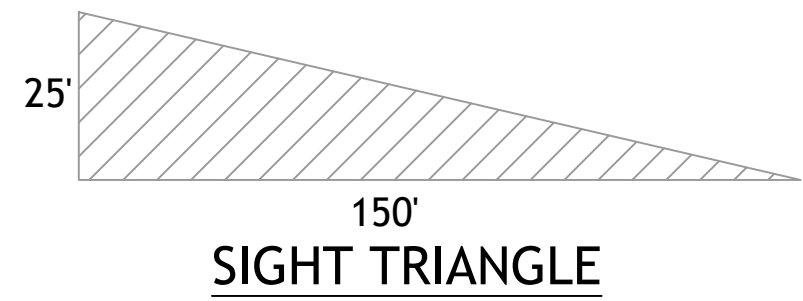
OPEN SPACE SHRUBS
REQUIRED
2 / 5,000sf = 28
PROVIDED = 119

Shrub List

Symbol	Quantity	Common Name	Botanical Name	Size	Condition	Spacing
	70	Seagreen Juniper	Juniperus Chinensis 'Seagreen'	18"-24"sp.	Cont.	4'o.c.
	60	Dwarf Winged Euonymus	Euonymus Alatus 'Compactus'	18"-24"sp.	Cont.	4'o.c.
	83	Morning Light Maiden Grass	Miscanthos Sinensis 'Morning Light'	18"-24"sp.	Cont.	4'o.c.
	72	Feather Reed Grass	Calamagrostis Acutiflora 'Karl Foerster'	3 gal.	Cont.	2'o.c.

Tree List

Symbol	Quantity	Common Name	Botanical Name	Size	Condition	Spacing
	10	October Glory Maple	Acer Rubrum 'October Glory'	3" cal	BB	As Shown
	11	Skyline Honeylocust	Gleditsia Triacanthos 'Skyline'	3" cal	BB	As Shown
	30	Golden Raintree	Koelreuteria Paniculata	3"cal	BB	As Shown



Typical Utility Box Screening Details



UTILITY BOXES SHALL BE CLUSTERED AS MUCH AS POSSIBLE

LANDSCAPE NOTES
CONTRACTOR REQUIRED TO LOCATE ALL UTILITIES BEFORE
INSTALLATION TO BEGIN.

Contractor shall verify all landscape material quantities and shall report
any discrepancies to the Landscape Architect prior to installation.

No plant material substitutions are allowed without Landscape
Architect or Owners approval.

Contractor shall guarantee all landscape work and plant material for a
period of one year from date of acceptance of the work by the Owner.
Any plant material which dies during the one year guarantee period
shall be replaced by the contractor during normal planting seasons.

Contractor shall be responsible for maintenance of the plants until
completion of the job and acceptance by the Owner.

Successful landscape contractor shall be responsible for design that
complies with minimum irrigation requirements, and installation of an
irrigation system. Irrigation system to be approved by the owner before
starting any installation.

All plant material shall be specimen quality stock as determined in the
"American Standards For Nursery Stock" published by The American
Association of Nurseryman, free of plant diseases and pest, of typical
growth of the species and having a healthy, normal root system.

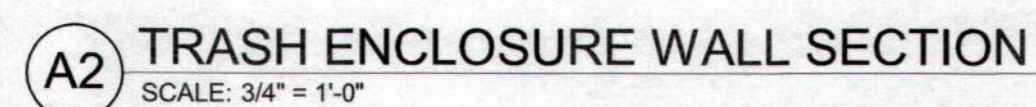
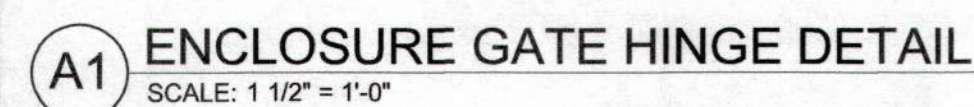
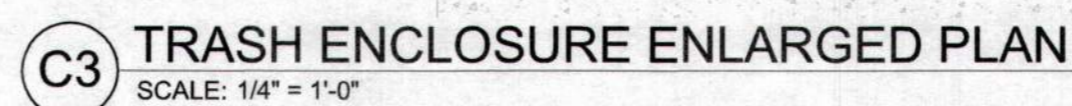
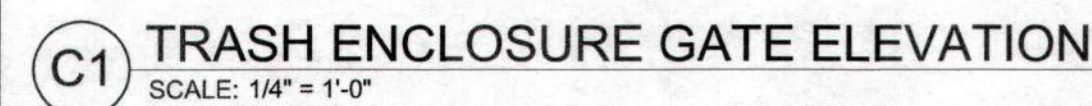
Sizes indicated on the plant list are the minimum, acceptable size. In
no case will sizes less than specified be accepted.

All shrub beds within lawn areas to receive a manicured edge.

All shrub beds shall be mulched with 3" of shredded cedar mulch.

All sod areas to be fertilized & sodded with a Turf-Type-Tall Fescue
seed blend.

All seed areas shall be hydro-seeded with a Turf-Type-Tall Fescue seed
blend.



SUBMISSION DATES	
04/07/2020	
 ADD-1	4/23/20

SHEET TITLE

SITE PLAN & TRASH ENCLOSURE DETAILS

PROJECT NUMBER

190224

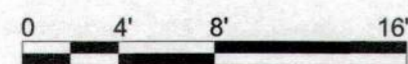
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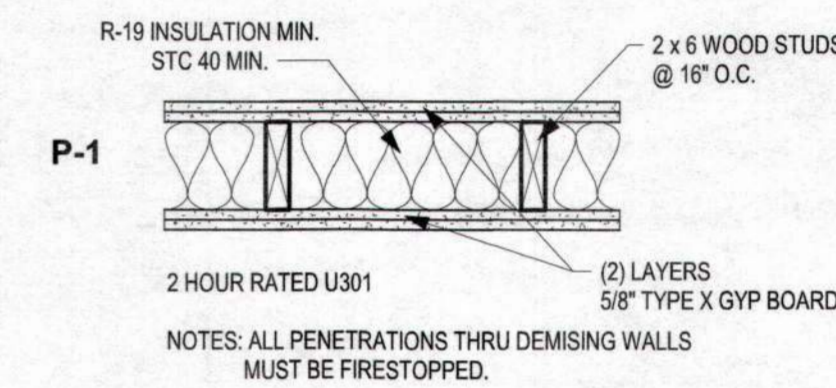
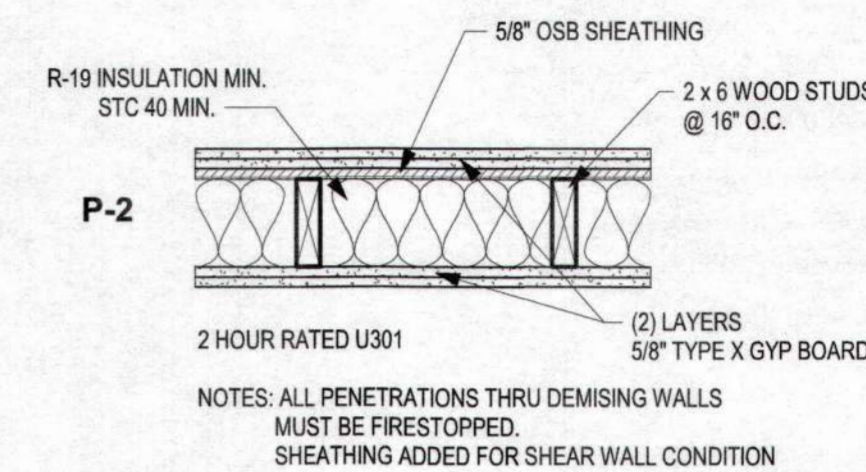
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DATE: 4/24/2020 10:34:48 AM
DRAWN BY: Author

A1 FLOOR PLAN
SCALE: 1/8" = 1'-0"



GENERAL PLAN NOTES

1. DIMENSIONS SHOWN ARE TO FACE OF 8" STUD OR COLUMN CENTER LINE.
2. FACE OF OUTER MOST STUD ALIGNS WITH FACE OF SLAB.



C5 PARTITION TYPES

SCALE: 1" = 1'-0"



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#F0003876



**MULTI-TENANT BUILDING, CORE & SHELL
STREETS OF WEST PRYOR, LOT 3**
2050 NW LOWENSTEIN DR. LEE'S SUMMIT, JACKSON CO, MO

SUBMISSION DATES

04/07/2020
ADD-1 4/23/20

SHEET TITLE
FLOOR PLAN

PROJECT NUMBER
190224

SHEET NUMBER
A-101



1. ROOF TO BE WHITE, TPO MEMBRANE
2. R-30 INSULATION
3. CONTRACTOR TO VERIFY ALL ROOFTOP OPENING SIZES WITH TENANTS PRIOR TO TRUSS FABRICATION.



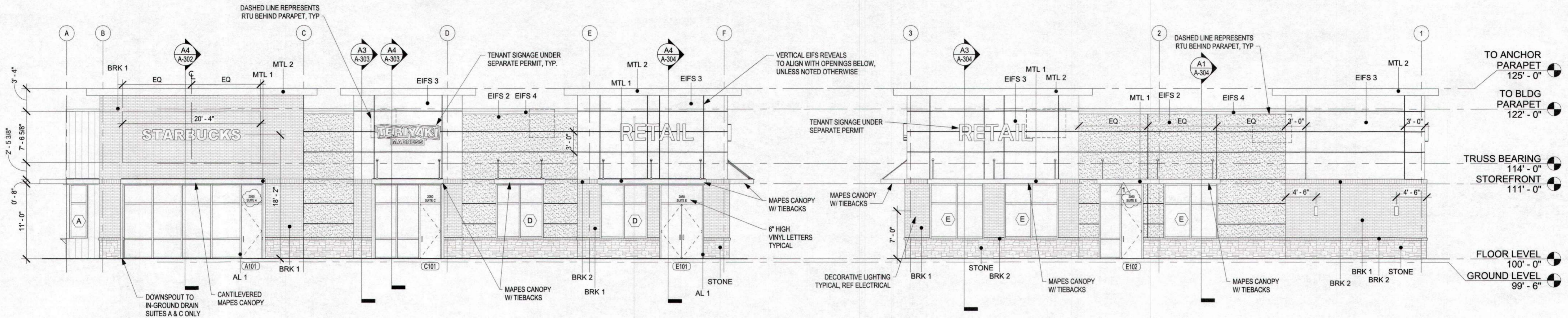
**MULTI-TENANT BUILDING, CORE & SHELL
STREETS OF WEST PRYOR, LOT 3**
2050 NW LOWENSTEIN DR. LEE'S SUMMIT, JACKSON CO, MO

SUBMISSION DATES	
04/07/2020	
 ADD-1	4/23/20
SHEET TITLE	
ROOM PLAN	
PROJECT NUMBER	
190224	
SHEET NUMBER	
A-102	

MATERIAL LEGEND

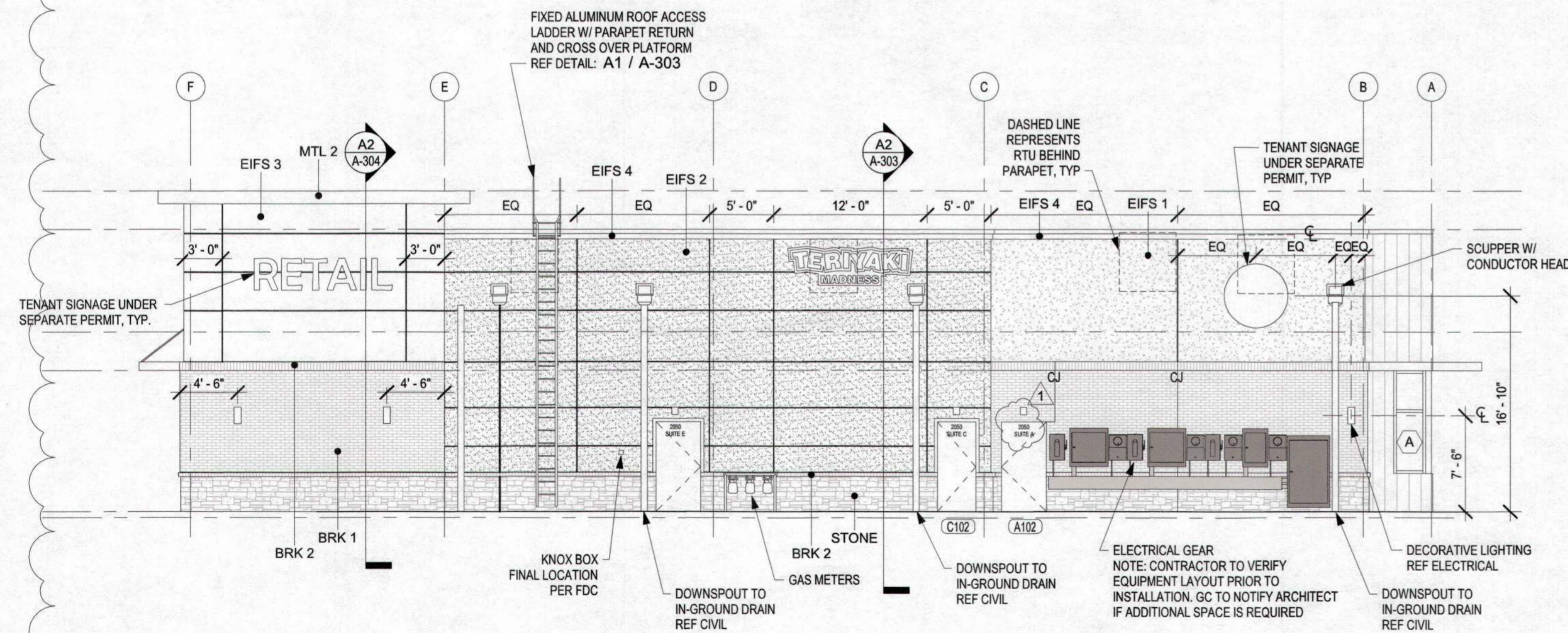
STONE: ENGINEERED STONE VENEER / ELDORADO STONE / BANFF SPRINGS CLIFFSTONE
 BRK 1: BRICK / MUTUAL MATERIALS / COAL CREEK / SM770 SABLE MORTAR / ROW LOCK
 BRK 2: BRICK / MUTUAL MATERIALS / COAL CREEK / SM770 SABLE MORTAR / ROW LOCK
 EIFS 1: EIFS / DRYVIT / 634A GRANITE GRAY / LIMESTONE TEXTURE
 EIFS 2: EIFS / DRYVIT / 633A BATTLESHIP / SANDPEBBLE TEXTURE
 EIFS 3: EIFS / DRYVIT / 456 OYSTER SHELL / LIMESTONE TEXTURE
 EIFS 4: EIFS / DRYVIT / BLACK (MATCH MTL 2) / LIMESTONE TEXTURE
 WD 1: ACCOYA WOOD SIDING / RE-SAWN TIMBER / SONORAN W/ DADOS PROFILE
 SEALD FACE AND BACK / 3/4" THICK x 7-3/8" WIDE x 8'-16" RANDOM LENGTHS
 WD 2: ACCOYA WOOD SIDING / RE-SAWN TIMBER / GOBI TONGUE & GROOVE PLANK /
 SEALD FACE AND BACK / 3/4" THICK x 7-3/8" WIDE x 8'-16" RANDOM LENGTHS

MTL 1: MAPES CANOPIES / MATCH RAL#7021 / MATTE MT0028 -FLAT BLACK
 MTL 2: PRE-FINISHED METAL COPING / MATCH RAL#7021 / MATTE MT0028 -FLAT BLACK
 AL 1: ALUMINUM STOREFRONT / ANODIZED BLACK
 PT 1: DOOR & FRAME / MATCH RAL#7021 / MATTE MT0028 -FLAT BLACK
 PT 2: DOOR & FRAME T&D

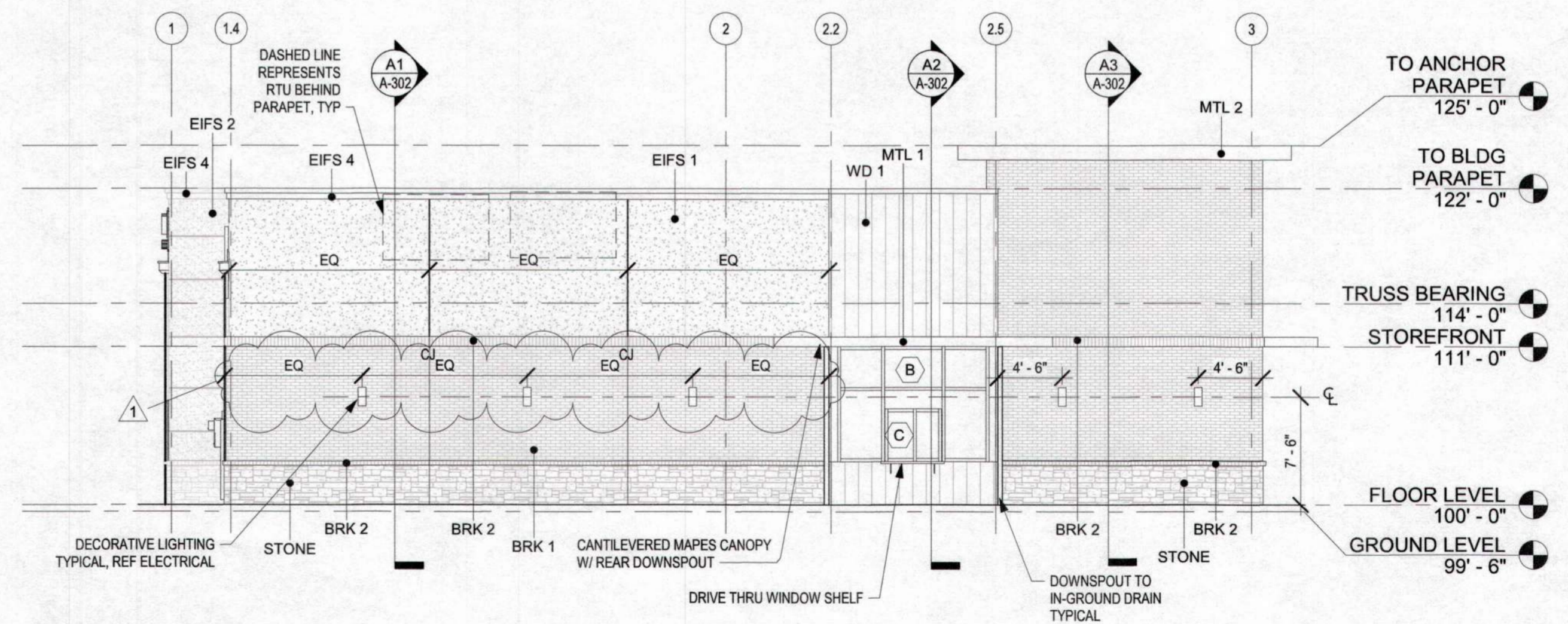


C1 EAST ELEVATION
 SCALE: 1/8" = 1'-0"

C4 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



A1 WEST ELEVATION
 SCALE: 1/8" = 1'-0"



A4 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

NOTE: ALL PVC IN-GROUND DRAIN PIPES
 TO EXTEND 2" ABOVE FINISHED GRADE.
 PROVIDE PVC TRANSITION FROM METAL
 DOWN SPOUT TO DRAIN PIPE.



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 topeka, kansas 66614-4275
 phone: 785.273.7540
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MULTI-TENANT BUILDING, CORE & SHELL
STREETS OF WEST PRYOR, LOT 3
 2050 NW LOWENSTEIN DR. LEE'S SUMMIT, JACKSON CO, MO

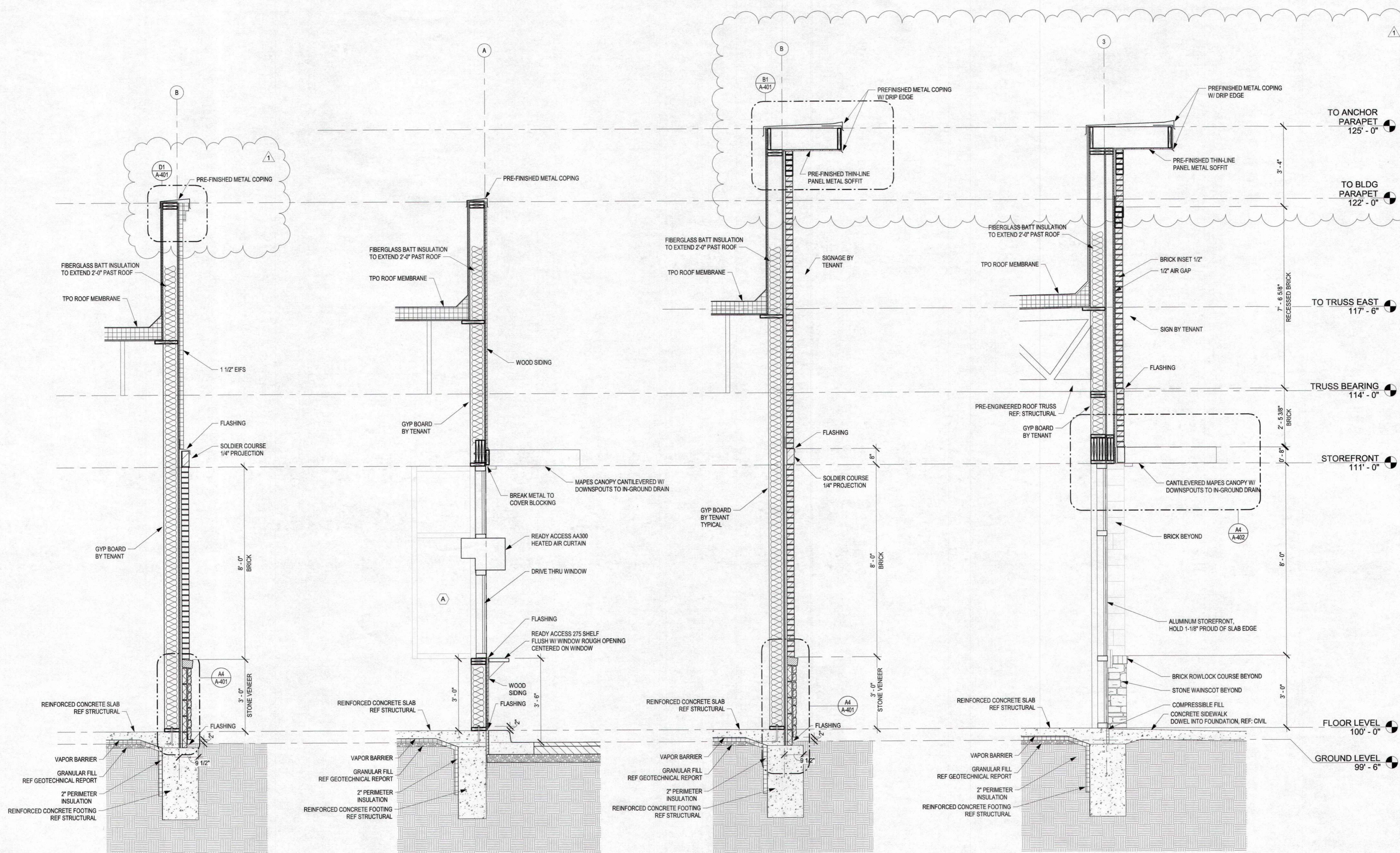
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 ADD-1 4/23/20

SHEET TITLE
 BUILDING ELEVATIONS

PROJECT NUMBER
190224

SHEET NUMBER
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A1 TENANT A @ EIFS
SCALE: 1/2" = 1'-0"

A2 TENANT A @ DRIVE THRU
SCALE: 1/2" = 1'-0"

A3 TENANT A SECTION @ BRICK
SCALE: 1/2" = 1'-0"

A4 TENANT A ENTRY
SCALE: 1/2" = 1'-0"

GENERAL NOTES:

1. NO TAPE ON ZIP SYSTEM SEAMS BEHIND EIFS MATERIAL.
2. ADDITION WATERPROOFING PER EIFS SPECIFICATION TO BE PLACED BEHIND EIFS MATERIAL.
3. ZIP SYSTEM TO BE FULLY TAPED BEHIND ALL OTHER MATERIALS.
4. PROPER VERTICAL AND HORIZONTAL FLASHINGS TO BE USED BETWEEN SEPARATE WATERPROOFING SYSTEMS, AS SHOWN IN SECTIONS & DETAILS.

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2231 NW Warminster Rd Suite 303
Topeka, Kansas 66614-4275
phone: 785.273.7540
SCHWERDT DESIGN GROUP
MISSOURI STATE CERTIFICATE OF AUTHORITY
#F0035876

STATE OF MISSOURI
MICHAEL K. HAMPTON
ARCHITECT
LICENSED PROFESSIONAL ARCHITECT
NO. 2-30087245

**MULTI-TENANT BUILDING, CORE & SHELL
STREETS OF WEST PRYOR, LOT 3**
2050 NW LOWENSTEIN DR. LEE'S SUMMIT, JACKSON CO, MO

SUBMISSION DATES
04/07/2020
ADD-1 4/23/20

SHEET TITLE
TENANT A WALL SECTIONS

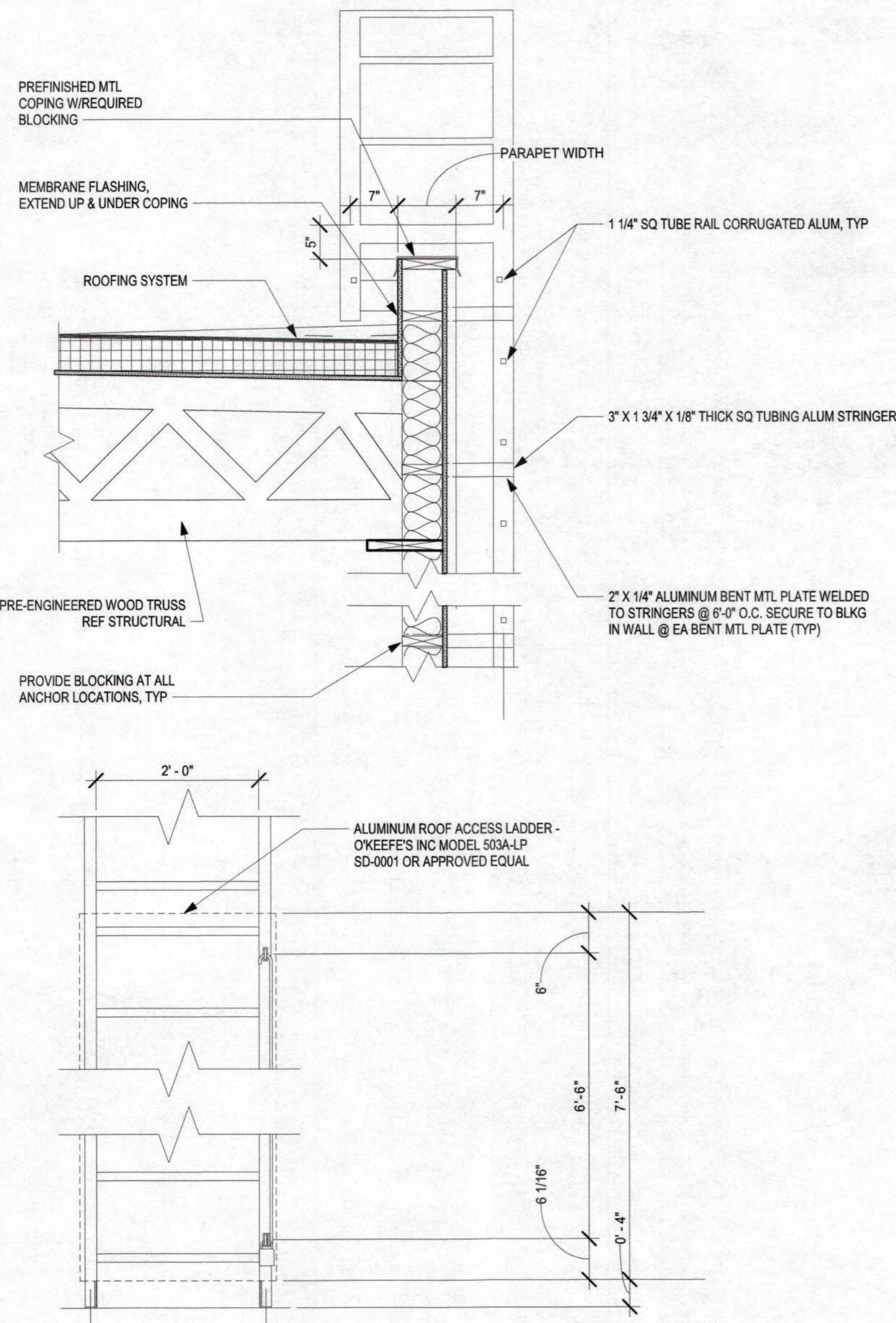
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SHEET NUMBER
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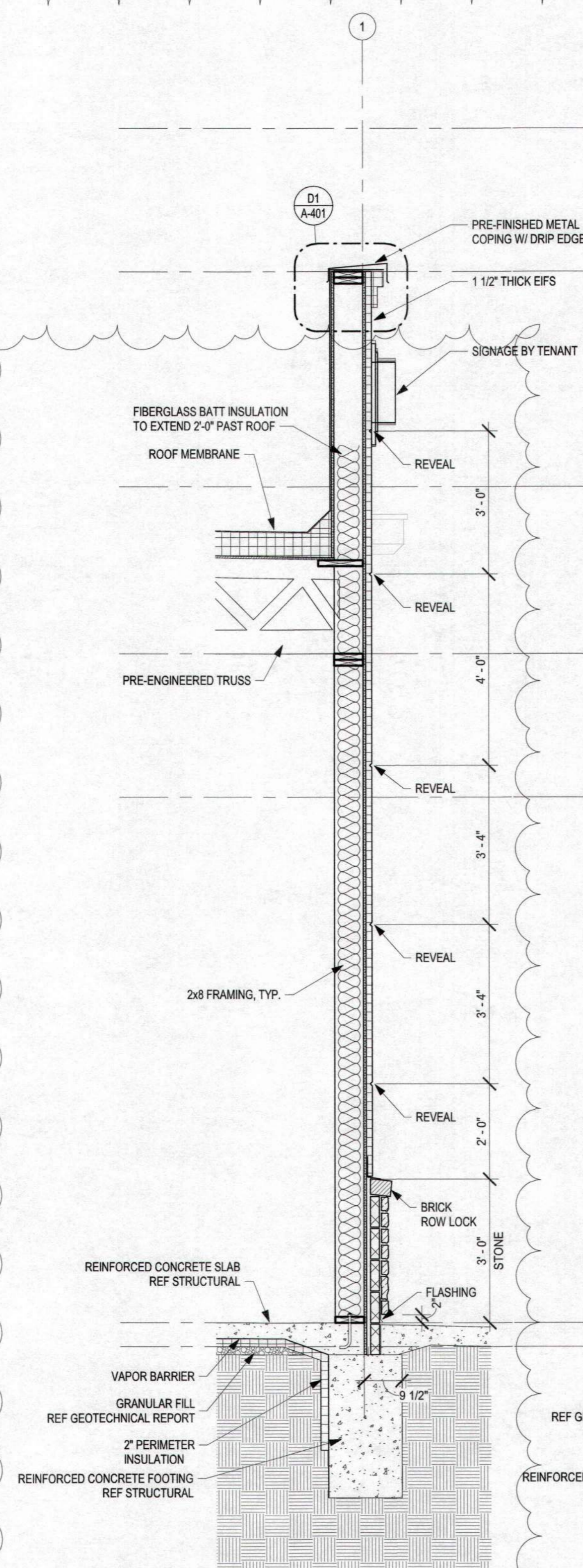
A1 ROOF ACCESS LADDER DETAILS

SCALE: 3/4" = 1'-0"



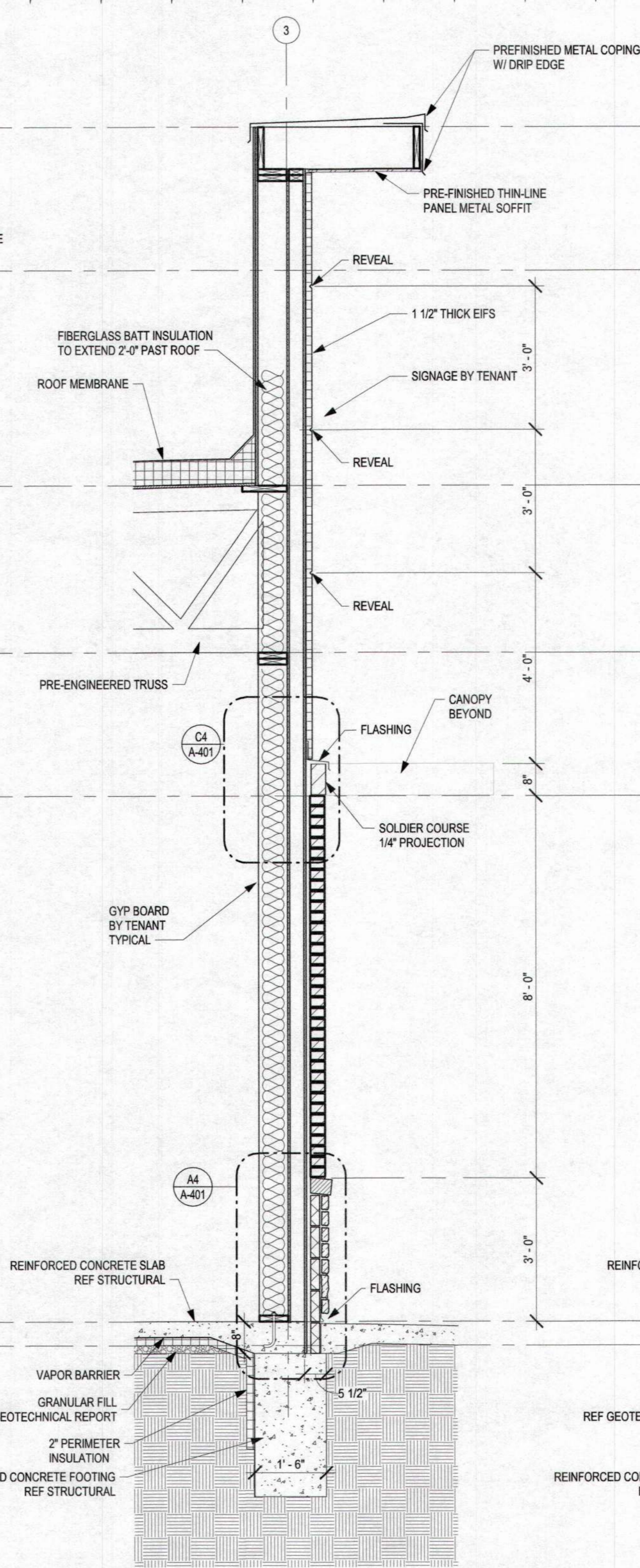
A2 TENANT B @ EIFS

SCALE: 1/2" = 1'-0"



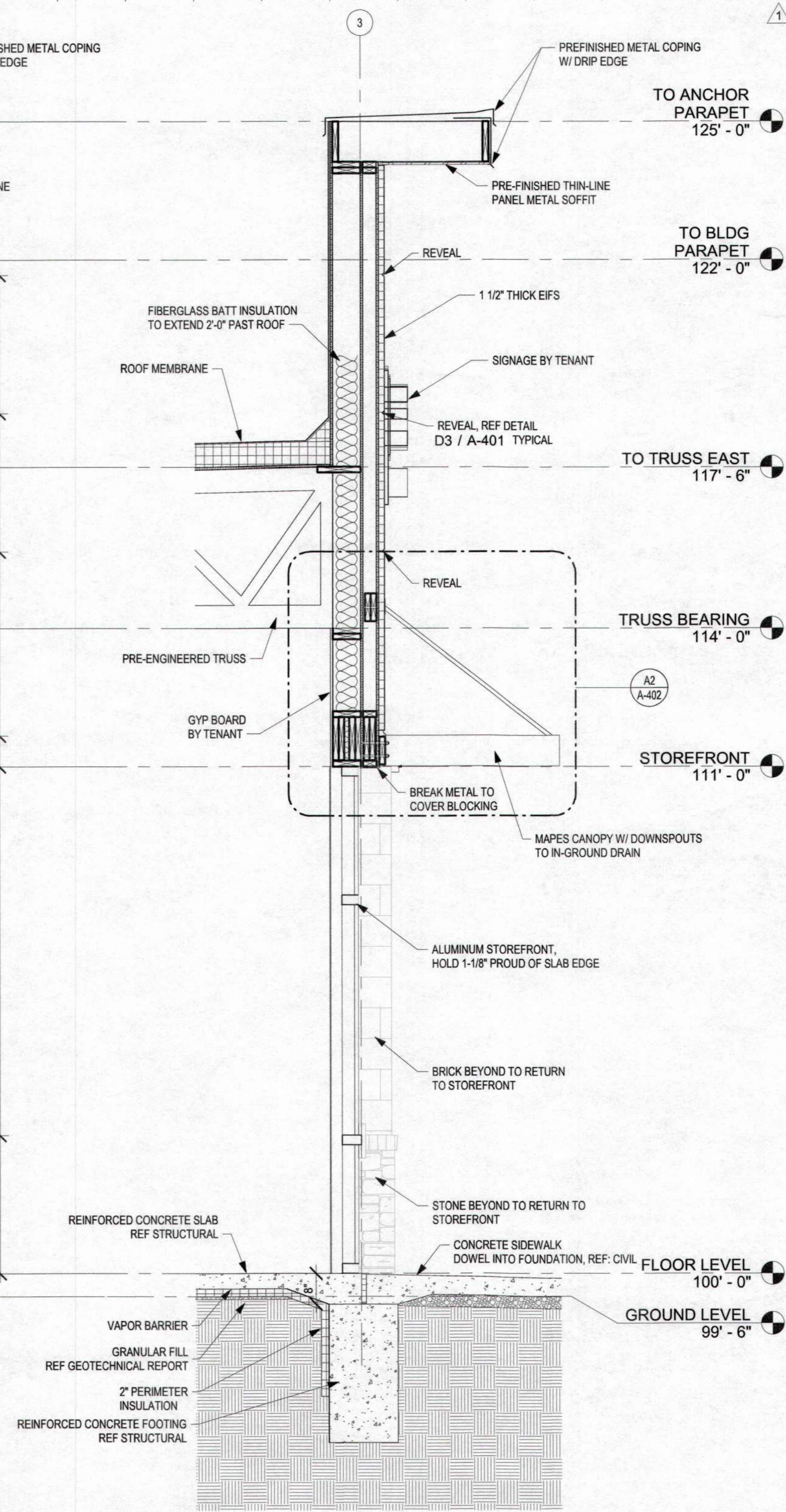
A3 TENANT B @ BRICK

SCALE: 1/2" = 1'-0"



A4 TENANT B ENTRY

SCALE: 1/2" = 1'-0"



GENERAL NOTES:

- NO TAPE ON ZIP SYSTEM SEAMS BEHIND EIFS MATERIAL.
- ADDITION WATERPROOFING PER EIFS SPECIFICATION TO BE PLACED BEHIND EIFS MATERIAL.
- ZIP SYSTEM TO BE FULLY TAPED BEHIND ALL OTHER MATERIALS.
- PROPER VERTICAL AND HORIZONTAL FLASHINGS TO BE USED BETWEEN SEPARATE WATERPROOFING SYSTEMS, AS SHOWN IN SECTIONS & DETAILS.



schwerdt design group
architecture | interiors | planning
2231 sw wanamaker rd suite 303
columbia, missouri 65214-4275
phone: 785.273.7540
SCHWERDT DESIGN GROUP
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#F0035876



MULTI-TENANT BUILDING, CORE & SHELL
STREETS OF WEST PRYOR, LOT 3
2050 NW LOWENSTEIN DR. LEE'S SUMMIT, JACKSON CO, MO

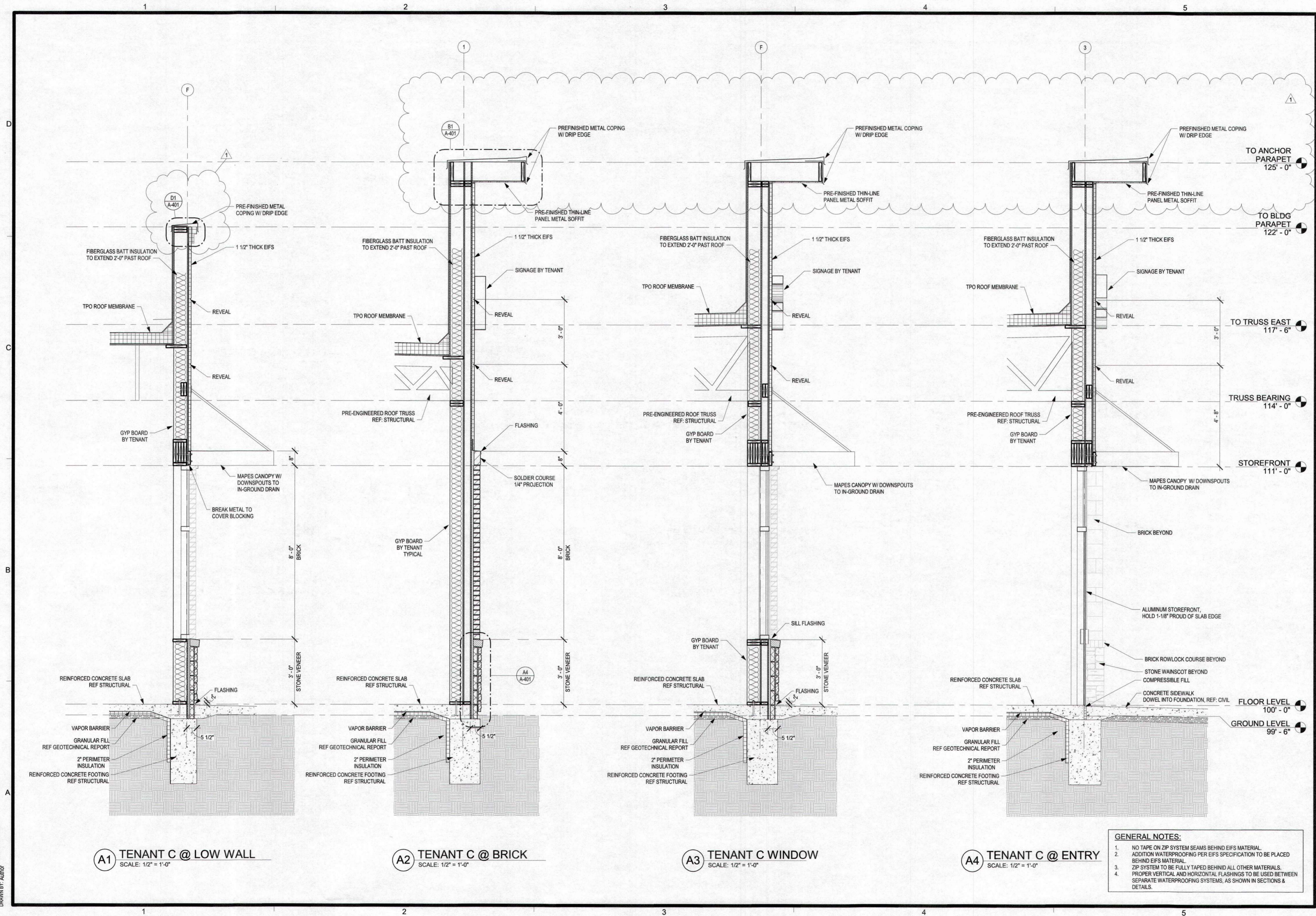
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ADD-1	4/23/20

SHEET TITLE
TENANT C WALL SECTIONS
& LADDER DETAILS

PROJECT NUMBER
190224

SHEET NUMBER
A-303

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schwerdt design group
architecture | interiors | planning
2231 sw warrenmaker rd suite 303
topeka, kansas 66614-4275
phone: 785.273.1540
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MISSOURI STATE CERTIFICATE OF AUTHORITY
#00035976



**MULTI-TENANT BUILDING, CORE & SHELL
STREETS OF WEST PRYOR, LOT 3**
2050 NW LOWENSTEIN DR. LEE'S SUMMIT, JACKSON CO, MO

SUBMISSION DATES
04/07/2020
1 ADD-1 4/23/20

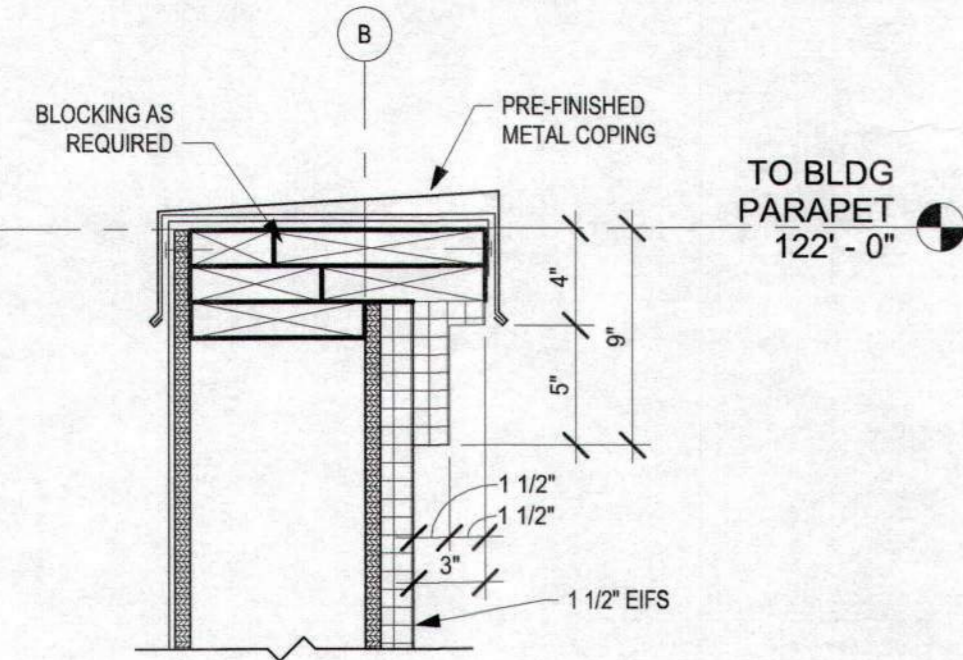
SHEET TITLE
TENANT E WALL SECTIONS

PROJECT NUMBER
190224

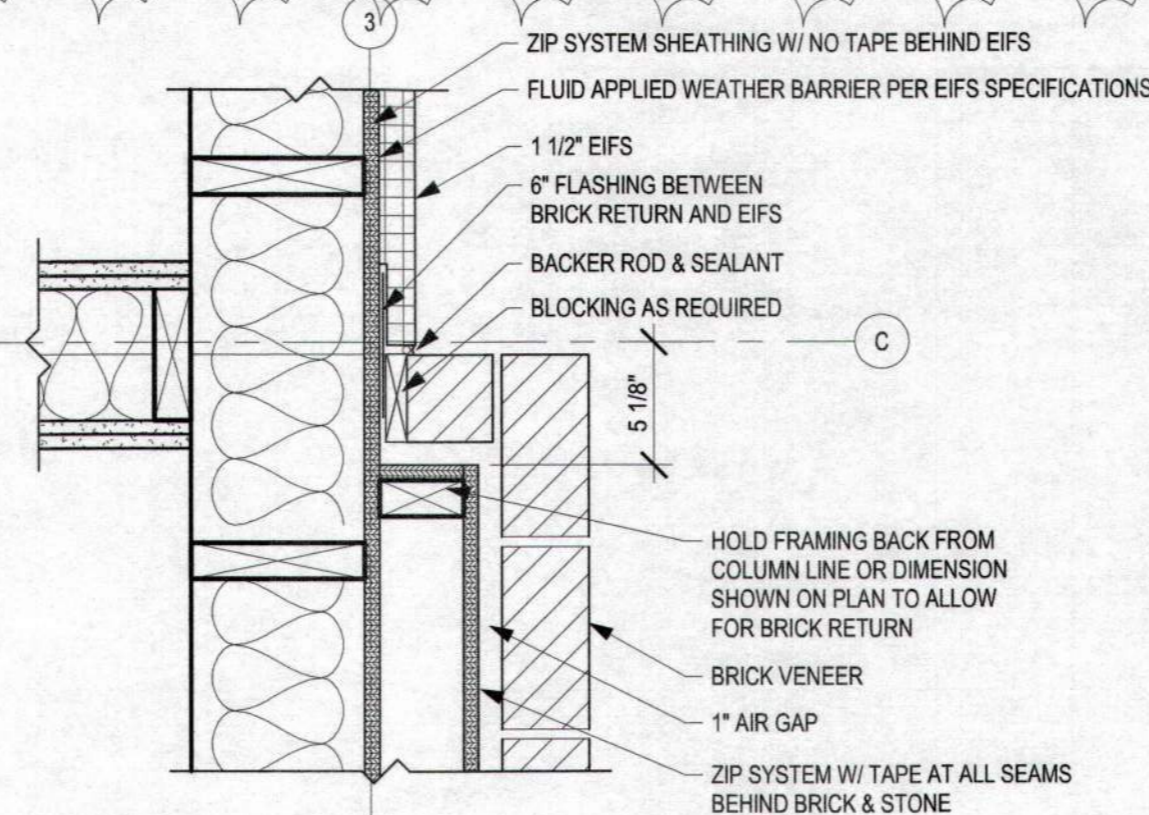
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A-304

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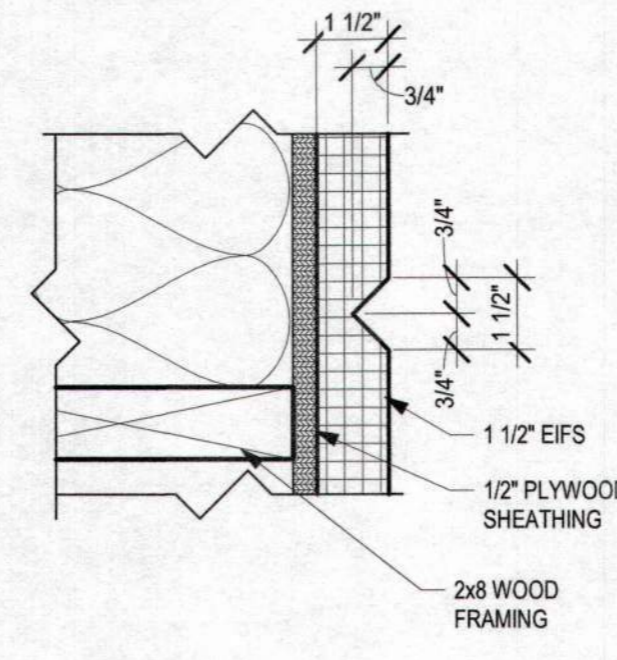
D1 STANDARD WALL PARAPET CAP DETAIL
SCALE: 1 1/2" = 1'-0"



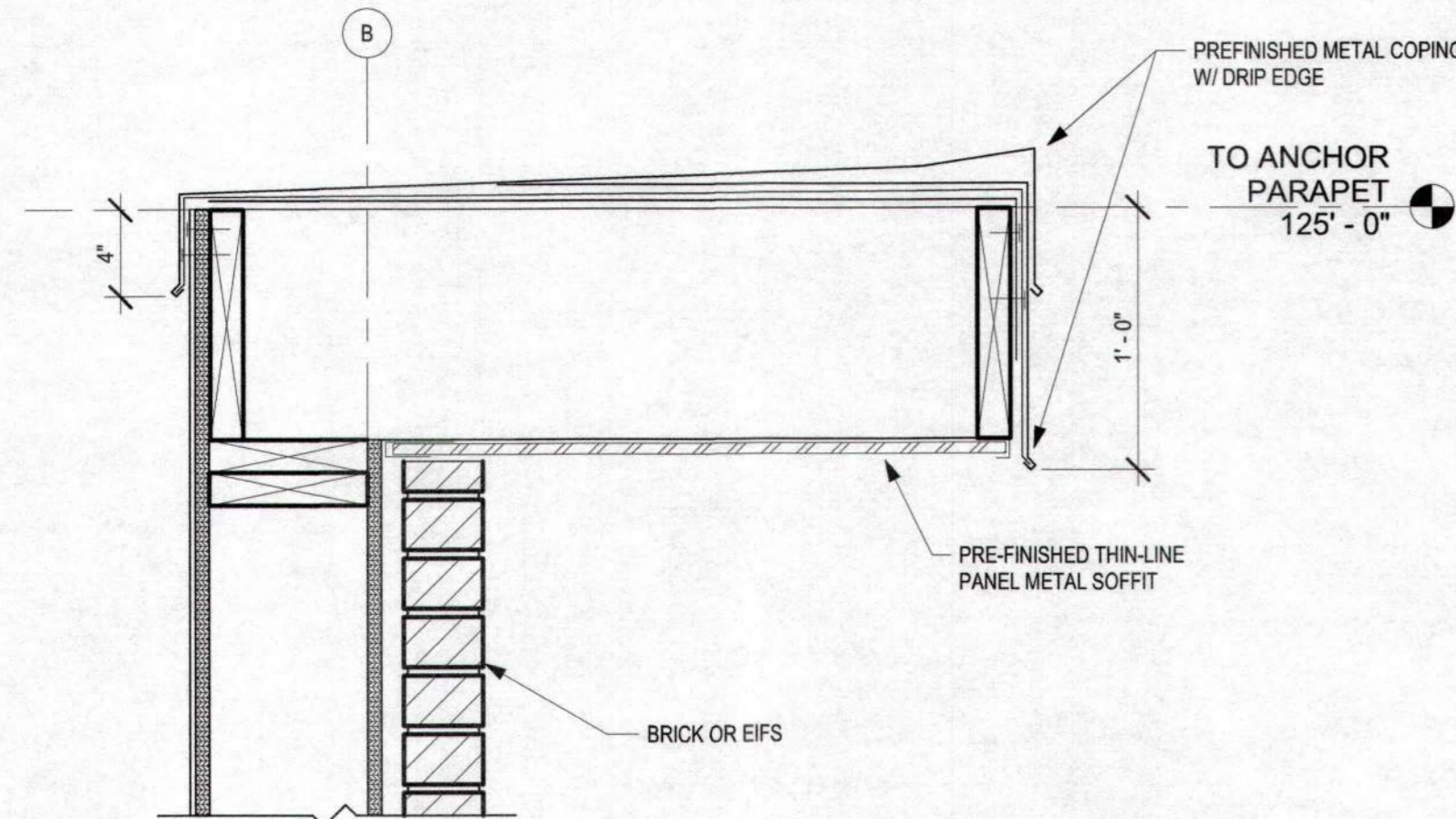
D2 BRICK RETURN @ EIFS
SCALE: 1 1/2" = 1'-0"



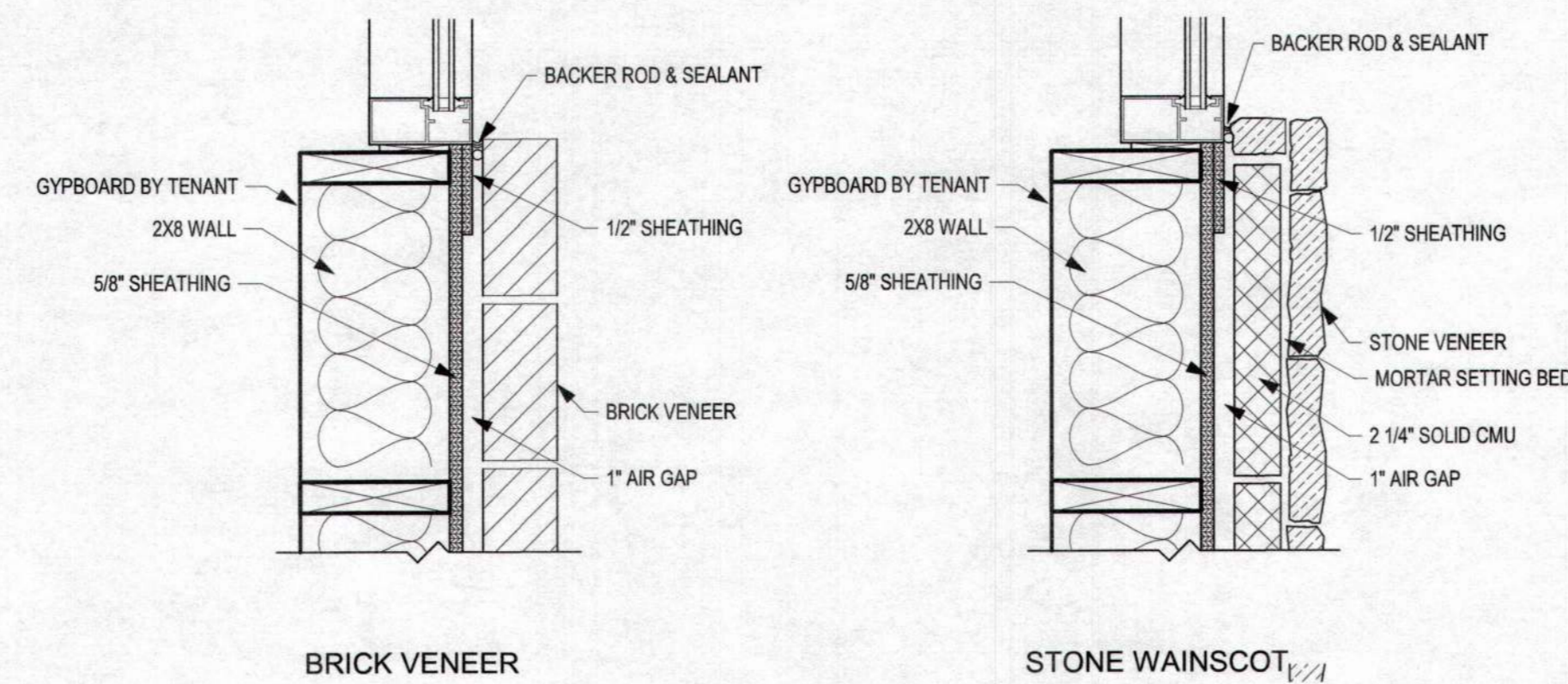
D3 EIFS REVEAL DETAIL
SCALE: 3" = 1'-0"



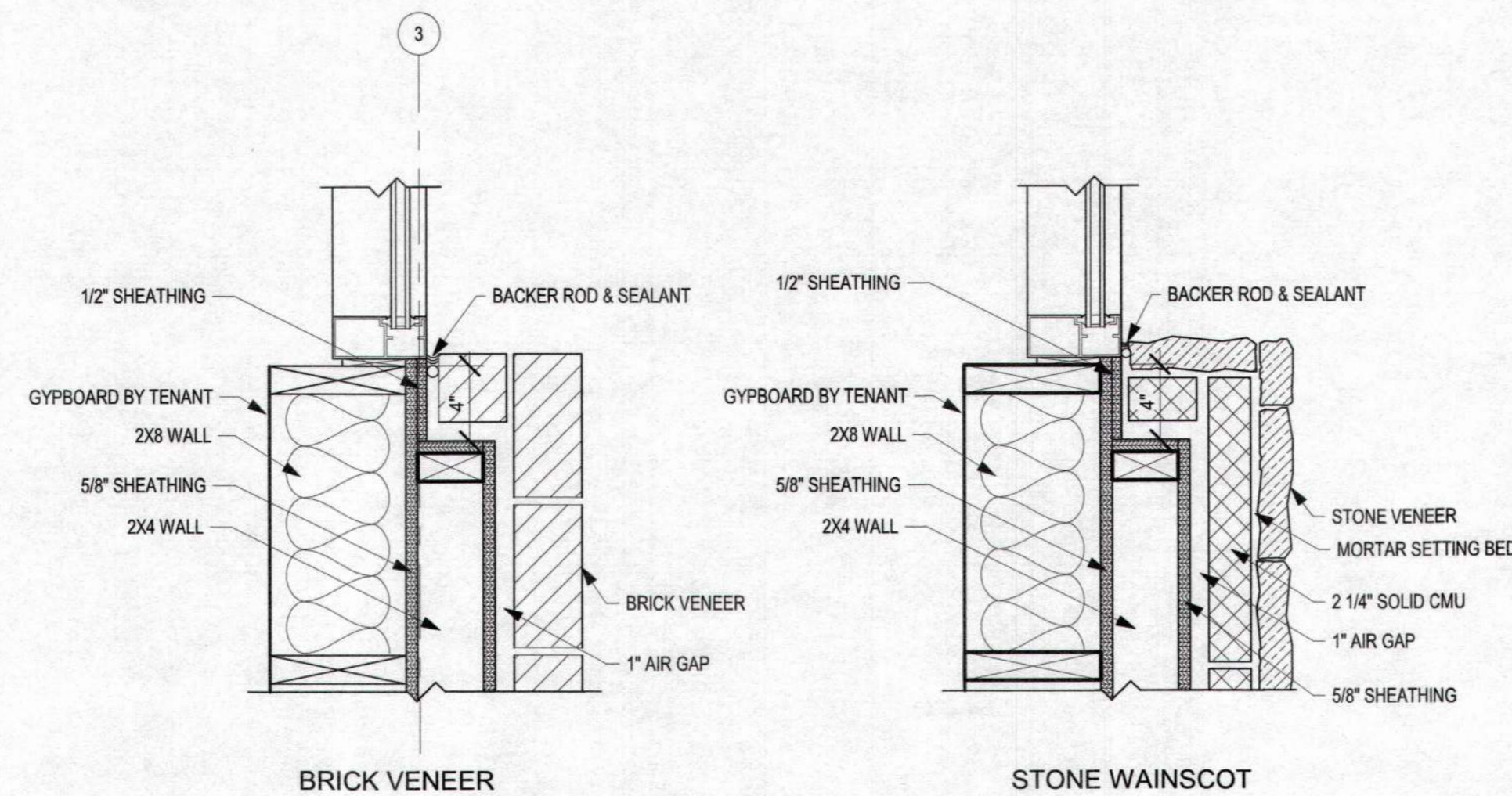
B1 ENTRY PARAPET CAP DETAIL
SCALE: 1 1/2" = 1'-0"



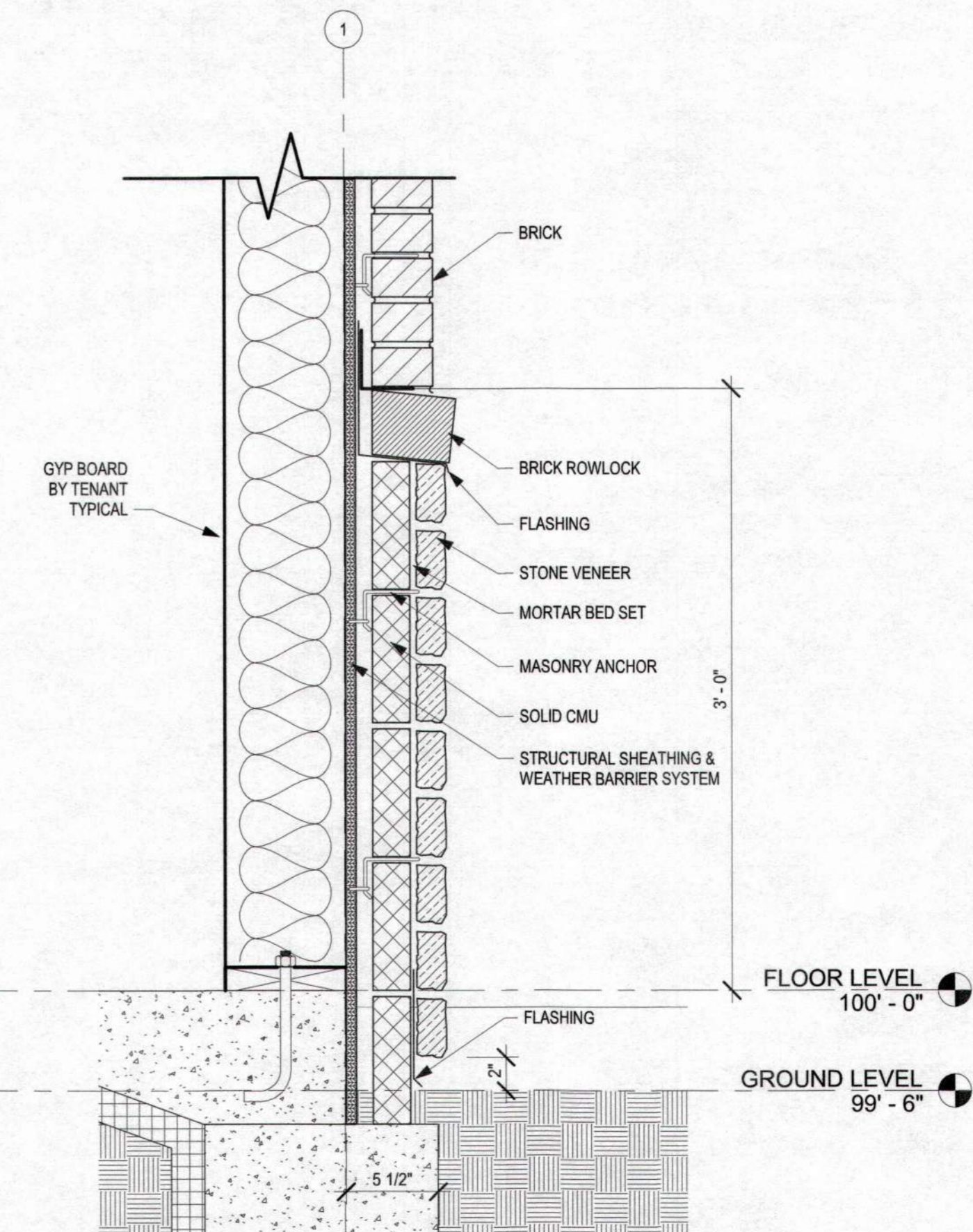
B2 MASONRY AT STOREFRONT ON SINGLE WALL
SCALE: 1 1/2" = 1'-0"



A2 MASONRY AT STOREFRONTS ON DOUBLE WALL
SCALE: 1 1/2" = 1'-0"



C4 SOLDIER COURSE
SCALE: 1 1/2" = 1'-0"



A4 STONE WAINSCOT
SCALE: 1 1/2" = 1'-0"



SCHWERDT design group
architecture | interiors | planning
2231 SW Wanamaker Rd
Topeka, Kansas 66614-4275
phone: 785.273.7540
FAX: 785.273.7540
SCHWERDT DESIGN GROUP
MISSOURI STATE CERTIFICATE OF AUTHORITY
#F0038876



MULTI-TENANT BUILDING, CORE & SHELL
STREETS OF WEST PRYOR, LOT 3
2050 NW LOWENSTEIN DR. LEE'S SUMMIT, JACKSON CO, MO

SUBMISSION DATES
04/07/2020
ADD-1 4/23/20

SHEET TITLE
ARCHITECTURAL DETAILS

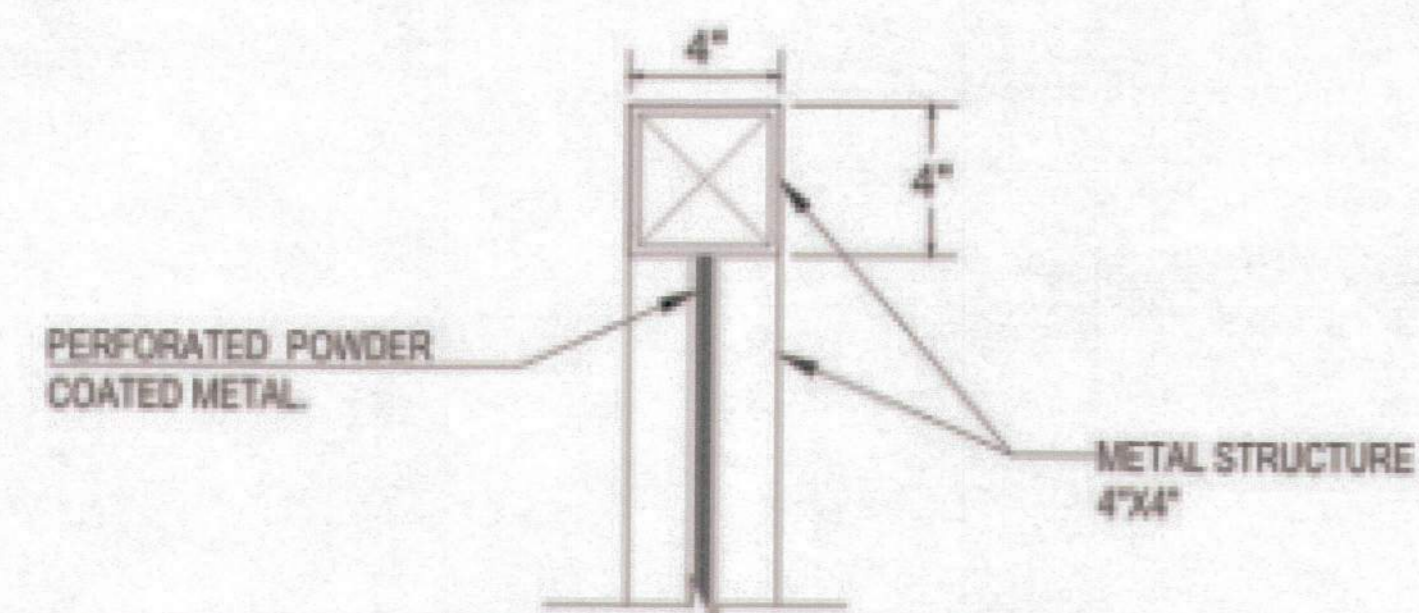
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190224

SHEET NUMBER
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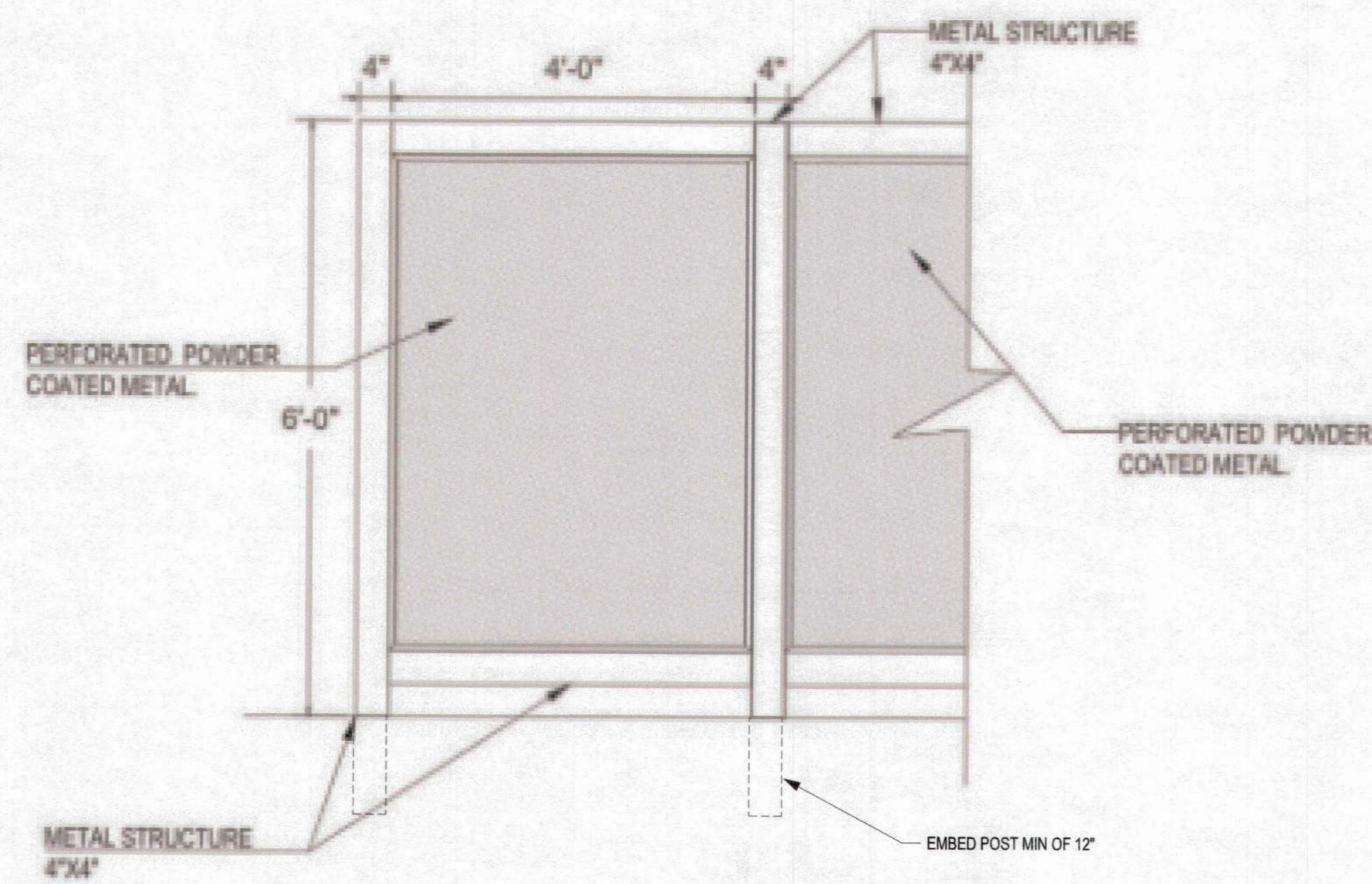
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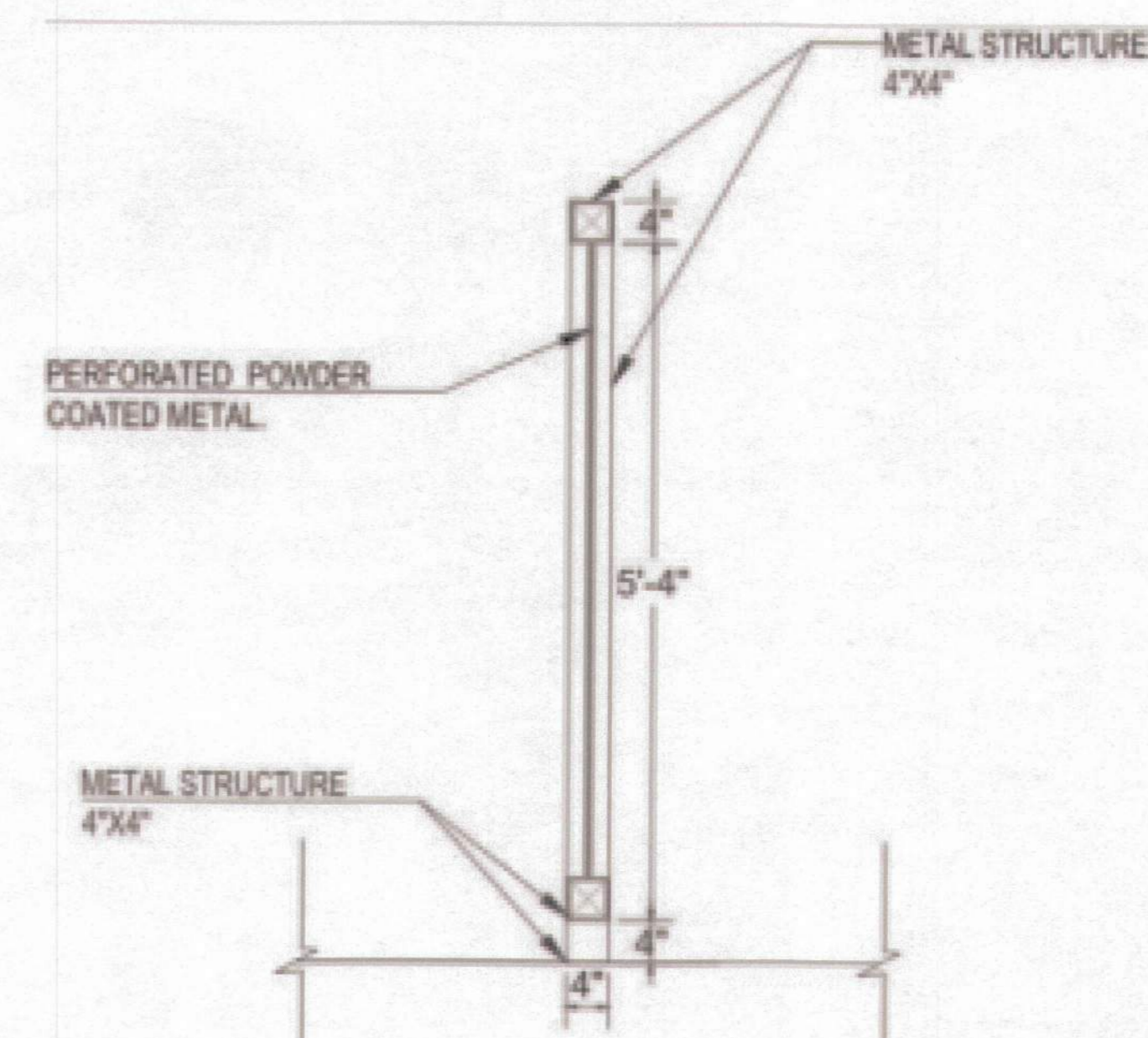
Floor plan



Section

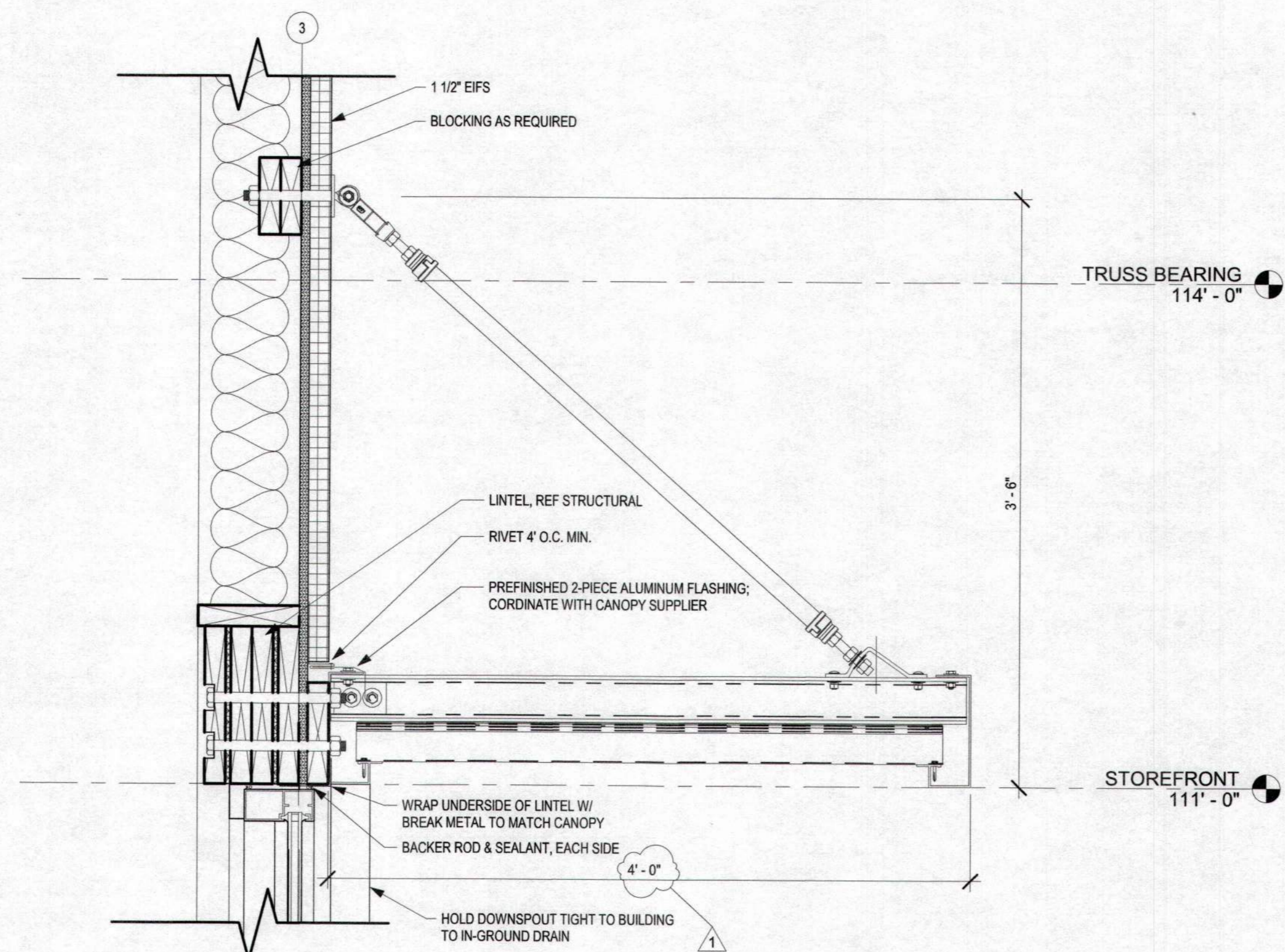


Elevation

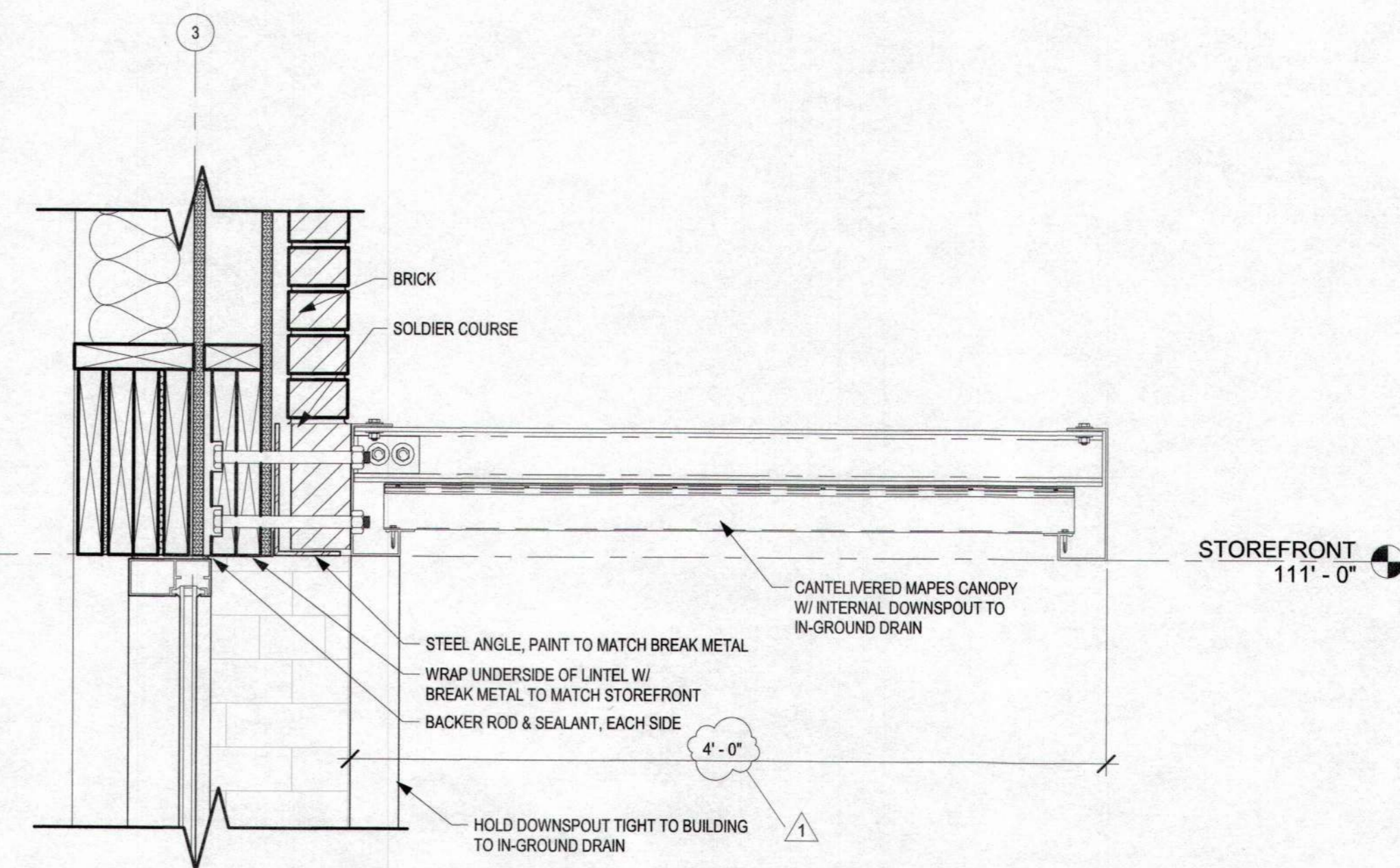


Section

C1 METAL SCREEN WALL DETAILS
SCALE: 3/4" = 1'-0"



A2 CANOPY DETAIL
SCALE: 1 1/2" = 1'-0"



A4 STARBUCK'S CANOPY
SCALE: 1 1/2" = 1'-0"



schweddt design group
architecture | interiors | planning
2231 sw warminster rd
topeka, kansas 66614-4275
phone: 785.273.7540
fax: 785.273.7540
schweddt design group
architects
MISSOURI STATE CERTIFICATE OF AUTHORITY
#F0035876



MULTI-TENANT BUILDING, CORE & SHELL
STREETS OF WEST PRYOR, LOT 3
2050 NW LOWENSTEIN DR. LEE'S SUMMIT, JACKSON CO, MO

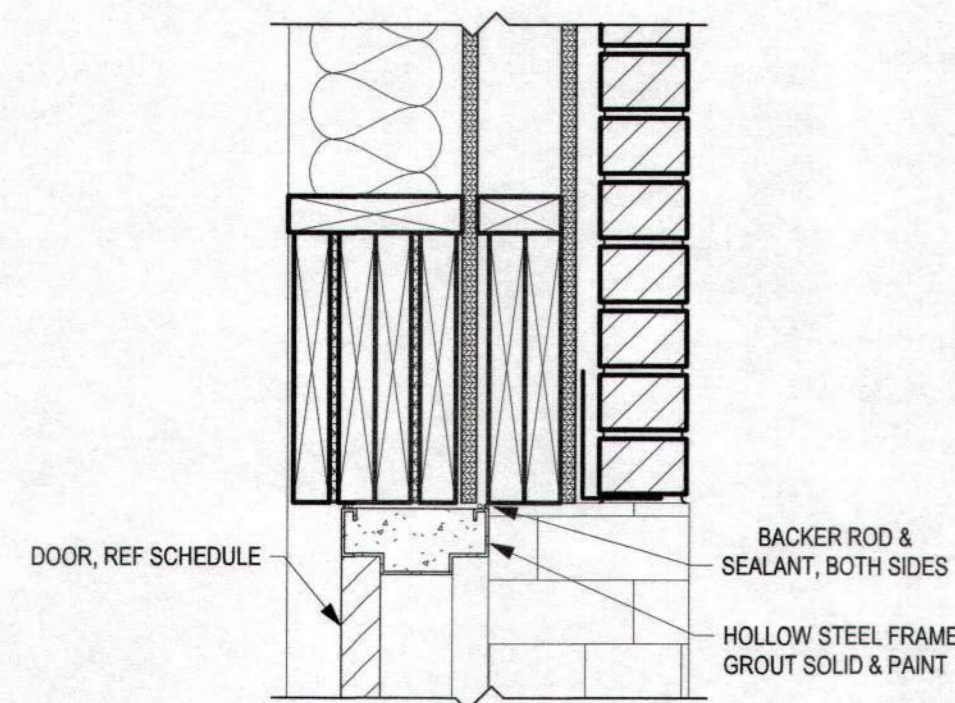
SUBMISSION DATES
04/07/2020
ADD-1 4/23/20

SHEET TITLE
CANOPY & SCREEN WALL
DETAILS

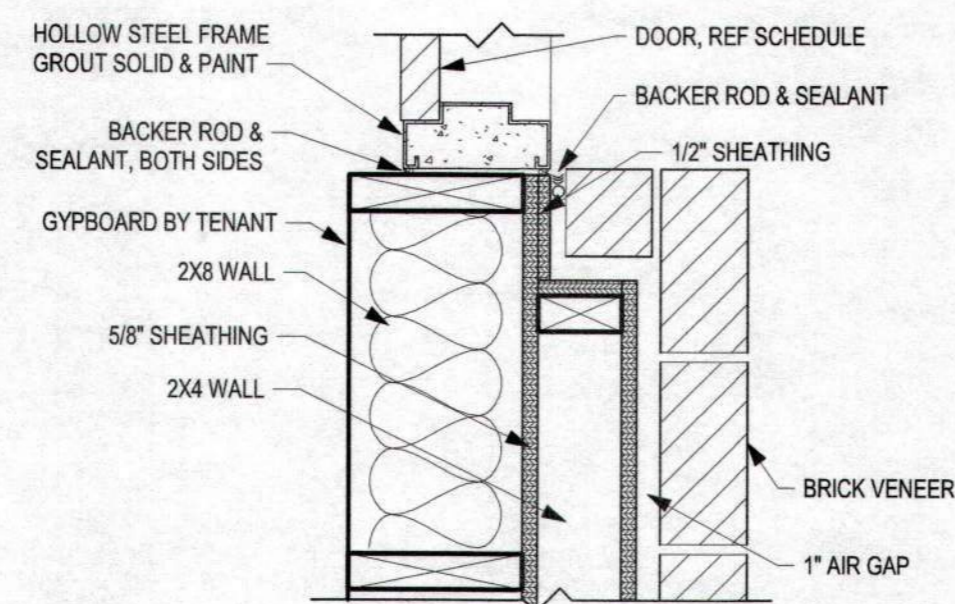
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SHEET NUMBER
A-402

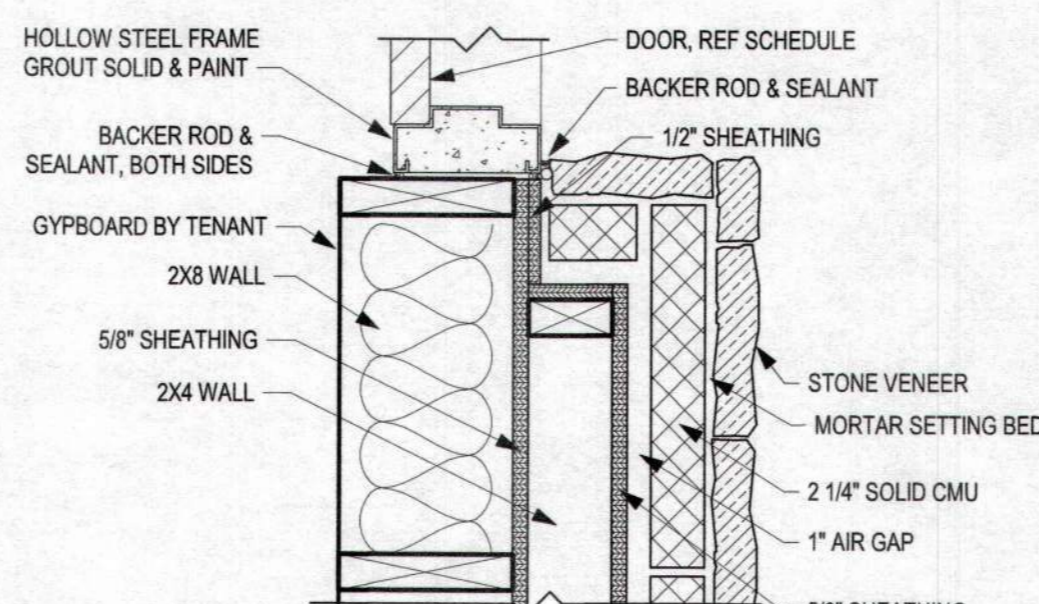
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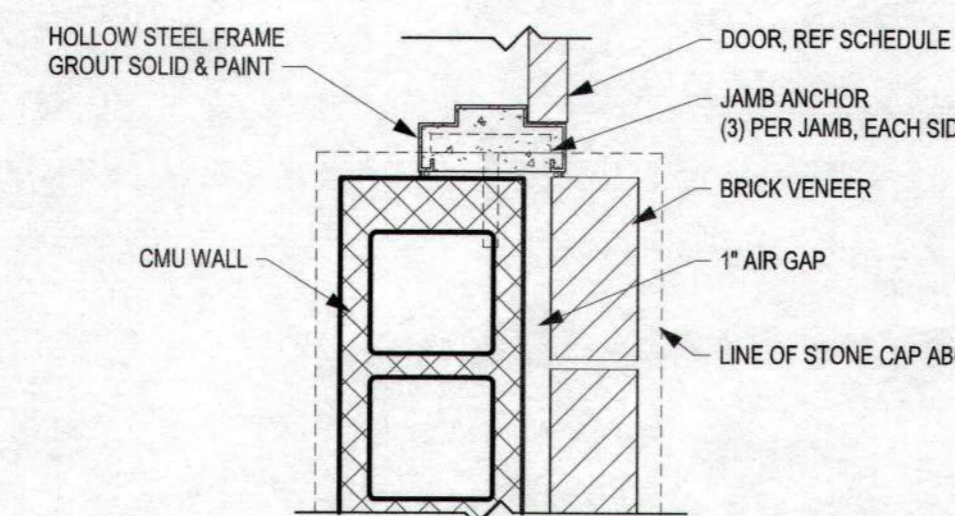
D1 HM HEAD DETAIL
SCALE: 1 1/2" = 1'-0"



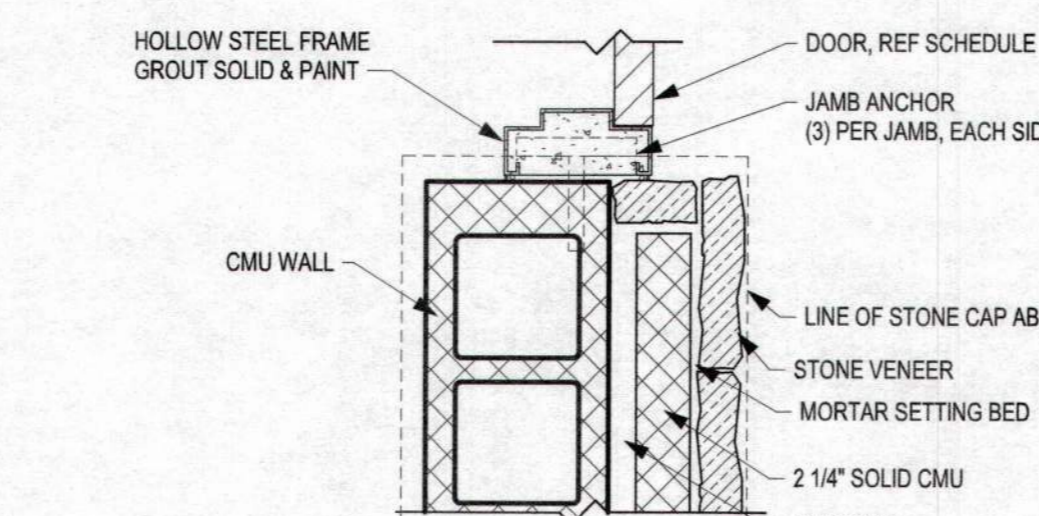
D2 HM JAMB DETAIL
SCALE: 1 1/2" = 1'-0"



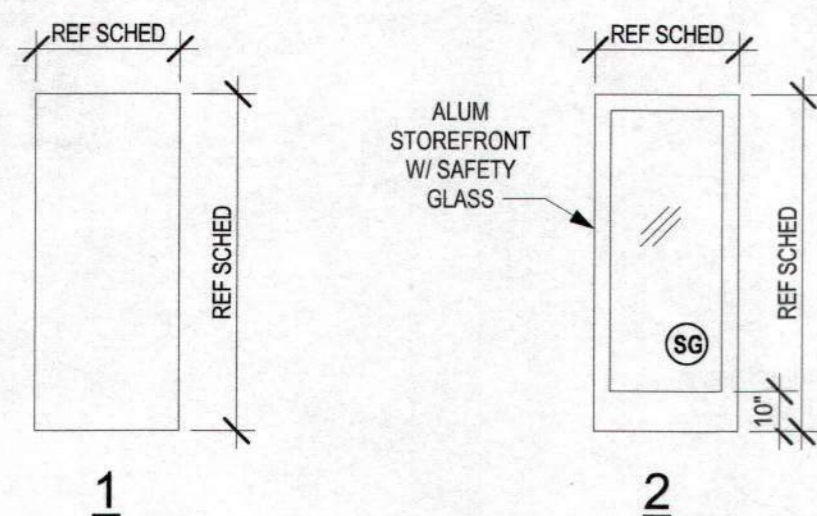
STONE WAINSCOT



BRICK VENEER

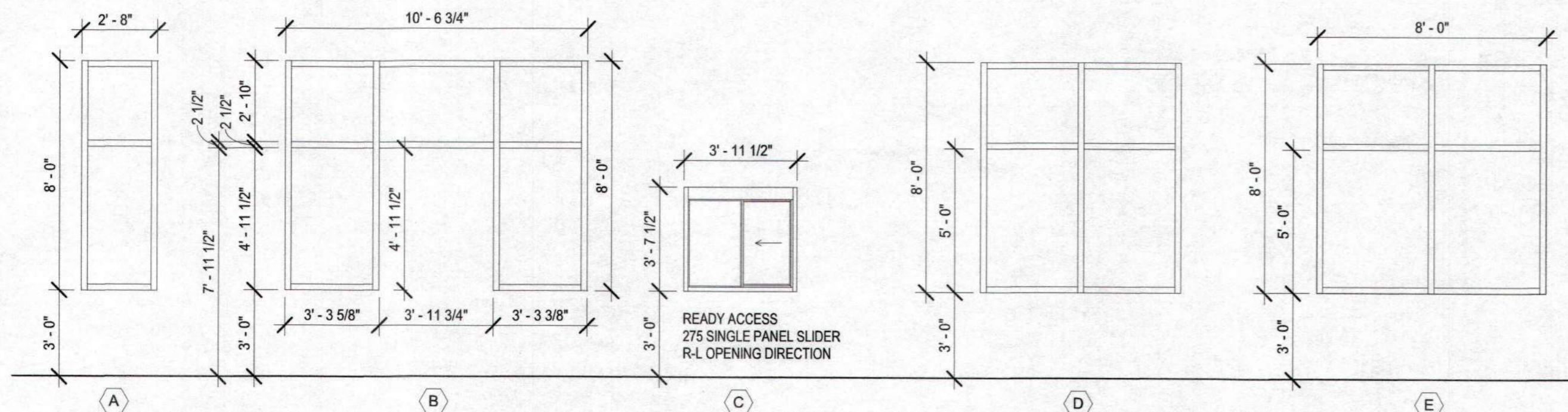


STONE WAINSCOT

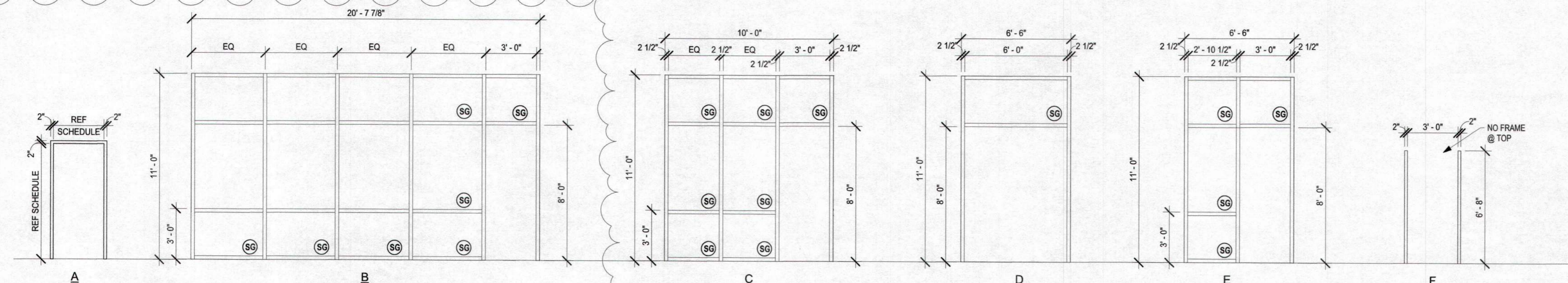


C1 DOOR ELEVATIONS
SCALE: 1/4" = 1'-0"

C2 TRASH ENCLOSURE JAMB DETAILS
SCALE: 1 1/2" = 1'-0"



B1 WINDOW ELEVATIONS
SCALE: 1/4" = 1'-0"



A1 FRAME ELEVATIONS
SCALE: 1/4" = 1'-0"

DOOR SCHEDULE

DOOR										FRAME						HWDW SET	NOTES
DOOR #	SIZE		MATL	FINISH	GLAZ	EL	MATL	FINIS		GLAZ	EL	DETAIL					
	W	HT						H				HEAD	JAMB				
A101	3'-0"	8'-0"	ALUM	AL	SAFETY	2	ALUM	AL	SAFETY	B	A4/A-402	A2/A-401	3				
A102	3'-6"	7'-0"	INSUL	PT	--	1	HM	PT	--	A	D1-A601	D2/A-601	2				
C101	3'-0"	8'-0"	ALUM	AL	SAFETY	2	ALUM	AL	SAFETY	C	A4/A-402	A2/A-401	1				
C102	3'-0"	7'-0"	INSUL	PT	--	1	HM	PT	--	A	D1-A601	D2/A-601	4				
E101	6'-1"	8'-0"	ALUM	AL	SAFETY	2	ALUM	AL	SAFETY	D	A4/A-402	A2/A-401	1				
E102	3'-0"	8'-0"	ALUM	AL	SAFETY	2	ALUM	AL	SAFETY	E	C4/A-402	B2/A-401	1				
E103	3'-6"	7'-0"	INSUL	PT	--	1	HM	PT	--	A	D1-A601	D2/A-601	4				
F101	3'-0"	6'-8"	HM	PT	--	3	HM	PT	--	F	--	C2/A-601	5	TRASH ENCLOSURE SIDE DOOR			

HARDWARE SCHEDULE

HARDWARE SET #1
- (3) PAIR HINGES W/ NON-REMOVABLE PINS (PER DOOR)
BY STOREFRONT MANUFACTURER
- PUSH / PULL HARDWARE (PER DOOR)
BY STOREFRONT MANUFACTURER
- PUSH PLATE (PER DOOR)
- KICK PLATE (PER DOOR)
- WEATHER STRIPPING
- 7-PIN BEST ACCEPTABLE EXTERIOR KEYED CYLINDER
- DOOR CLOSURE (PER DOOR)
- STOP (PER DOOR)
- ALUMINUM THRESHOLD
- PANIC DEVICE (PER DOOR)

HARDWARE SET #2
- HANGING DEVICES - (3) PAIR MCKINNEY TH2314/MPB91 HINGE MACPRO BEARING 4.5x4.5, FINISH 630
- SECURING DEVICE - FALCON LOCK C807 7-PIN CORE COMBINATION "A" KEYWAY, FINISH 626
- SECURING DEVICES - SUR-LOCK VO 2000L-330C AUTO LOCKING DOOR ALARM, IC, NO CTR INCLUDES MORTISE CYLINDER
- CLOSING DEVICE - DORMA 8916 DOOR CLOSER 8916 AF89P, FINISH 689
- PROTECTIVE TRIM UNITS - ROCKWOOD K1050 B4E KICKPLATE 10" x 40", FINISH 630
- ACCESSORIES - NATIONAL GUARD 137NA WEATHER STRIP 20' 40" x 84", FINISH A
- ACCESSORIES - PEMKO DOOR SWEEP 18062CNB36, FINISH A
- MISCELLANEOUS ITEM - SECURITY PRODUCTS DS / 1000 DOOR SCOPE, FINISH SILVER
- MISCELLANEOUS ITEM - NUTONE MCV309NWHGL DOOR BELL, FINISH AS SELECTED

HARDWARE SET #3
- HANGING DEVICES - (3) PAIR MCKINNEY TH2314/MPB91, FINISH 630
- SECURING DEVICES - VON DUPRIN C035A-NL-OP PANIC DEVICE, FINISH 626/630
- SECURING DEVICES - (2) FALCON LOCK C807 7-PIN CORE COMBINATION "A" KEYWAY, FINISH 626
- SECURING DEVICES - FALCON LOCK C807 7-PIN CORE COMBINATION "A" KEYWAY, FINISH 626
- SECURING DEVICES - (9) FALCON LOCK KB632-2 CUT USER KEY "A" KEYWAY
- SECURING DEVICES - FALCON LOCK C853 7-PIN RIM CYLINDER HOUSING, FINISH 626
- SECURING DEVICES - FALCON LOCK C807 7-PIN MORTISE CYLINDER HOUSING W/ AR CAM, FINISH 626
- SECURING DEVICES - FALCON LOCK A08794-003 ADJUSTABLE RING, MORTISE CYL 516-13/32, FINISH 626
- OPERATING TRIM - ROCKWOOD 108 DOOR PULL HANDLE, FINISH 630
- CLOSING DEVICES - DORMA 8916 DOOR CLOSER 8916 AF89P, FINISH 689
- STOPS AND HOLDERS - ROCKWOOD 473 DOOR STOP W/ HOOK, FINISH 626
- THRESHOLD - NATIONAL GUARD 325 HALF SADDLE THRESHOLD
- SIGN - SETON - VINYL SIGN "THIS DOOR MUST REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED"

HARDWARE SET #4
- SURFACE MOUNTED CLOSURE
- PANIC HARDWARE
- (3) PAIR HEAVY DUTY HINGES W/ NON-REMOVABLE PINS
- LOCKSET
- KICK PLATE ON INTERIOR OF DOOR
- ALUMINUM THRESHOLD
- WEATHER STRIPPING
- RAIN GUARD
- DOOR VIEWER
- 8" EXTERIOR STRIKE GUARD

HARDWARE SET #5
- 3 PAIR HEAVY DUTY HINGES
- LATCHSET
- NOTE: THIS DOOR TO HAVE SIDE JAMBS ONLY, NOTHING ABOVE



schwerdt design group
architecture | interiors | planning

2231 sw watanabey rd
topeka, kansas 66614-4275
phone: 785.273.7540
suite 303

SCHWERDT DESIGN GROUP
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STREETS OF WEST PRYOR, LOT 3
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ADD-1 4/23/20

SHEET TITLE
DOOR SCHEDULES AND
DETAILS

PROJECT NUMBER
190224

SHEET NUMBER
A-601

FILEPATH: C:\Users\doug.gentry\Documents\01190008.110 - Streets of West Pryor - Lot 3_Doug Gentry@CertusSE.com.rvt
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STRUCTURAL GENERAL NOTES

GENERAL NOTES:

ALL STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE OTHER PROJECT DRAWINGS AND SPECIFICATIONS. THE MATERIAL REQUIREMENTS IN THESE NOTES ARE TO BE CONSIDERED AS MINIMUM. SPECIFICATIONS SHALL GOVERN WHEN MORE STRINGENT.

VERIFY ALL DIMENSIONS SHOWN WITH ARCHITECTURAL DRAWINGS AND EXISTING CONDITIONS PRIOR TO CONSTRUCTION. DISCREPANCIES SHALL BE RESOLVED BEFORE PROCEEDING WITH CONSTRUCTION. CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES AND MAKE NECESSARY INVESTIGATIONS AND FIELD MEASUREMENTS. INFORM ENGINEER OF ALL DISCREPANCIES.

THE CONTRACTOR SHALL VERIFY THE SIZE AND LOCATIONS OF PENETRATIONS AND EMBEDDED ITEMS THROUGH THE STRUCTURE FOR ALL TRADES. PENETRATIONS SHALL BE SUBJECT TO APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER.

SEE MECHANICAL, ELECTRICAL, ARCHITECTURAL DRAWINGS FOR ANCHORS, PIPE SLEEVES, CONDUITS OR OTHER ITEMS TO BE EMBEDDED IN OR PASS THROUGH CONCRETE. IN GENERAL, EMBEDMENTS AND PENETRATIONS LESS THAN 12 INCHES IN DIAMETER ARE NOT SHOWN ON THE STRUCTURAL DRAWINGS.

SEE ARCHITECTURAL DRAWINGS FOR DOOR HEIGHTS AND WALL OPENING DIMENSIONS.

STRUCTURAL ELEMENTS ARE NON-SELF SUPPORTING AND REQUIRE INTERACTION WITH OTHER ELEMENTS FOR STABILITY. FRAMING AND WALLS SHALL BE TEMPORARILY BRACED BY THE CONTRACTOR UNTIL PERMANENT BRACING, FLOOR AND ROOF DECKS AND WALLS HAVE BEEN INSTALLED AND CONNECTIONS BETWEEN THESE ELEMENTS HAVE BEEN MADE.

SUPPORT OF ALL NON-STRUCTURAL ELEMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. NON-STRUCTURAL ELEMENTS ARE THOSE THAT DO NOT CONTRIBUTE TO THE DIRECT LOAD PATH OF BOTH THE GRAVITY AND LATERAL FORCE RESISTING SYSTEMS. THESE ELEMENTS INCLUDE, BUT ARE NOT LIMITED TO PARTITIONS, FINISHES, MILLWORK, MECHANICAL EQUIPMENT, DUCTWORK, PIPING, LIGHT FIXTURES, ELECTRICAL CONDUIT, STORAGE RACKS, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THESE ELEMENTS ARE ADEQUATELY CONNECTED TO THE STRUCTURE TO RESIST ALL APPLIED LOADS. NOTIFY THE STRUCTURAL ENGINEER OF RECORD IF UNUSUAL SUPPORT CONDITIONS EXIST.

WORK REQUIRING SPECIAL INSPECTIONS SHALL BE INSPECTED ACCORDING TO THE BUILDING CODE AND INCLUDES: CONCRETE, REINFORCING STEEL, STRUCTURAL WELDING, HIGH-STRENGTH BOLTING, AND MASONRY. RE: SPECIAL INSPECTION PROGRAM TABLE WHEN APPLICABLE.

DESIGN CRITERIA:

BUILDING CODE: 2018 INTERNATIONAL BUILDING CODE AS ADOPTED AND AMENDED BY THE CITY OF LEE'S SUMMIT, MISSOURI.

LIVE LOADS:
ROOF: 20 PSF

SNOW LOADS:
GROUND SNOW LOAD, Pg: 20 PSF
FLAT-ROOF SNOW LOAD, Pf: 20 PSF
SNOW EXPOSURE FACTOR, Ce: 0.9
SNOW LOAD IMPORTANCE FACTOR, Is: 1.0
THERMAL FACTOR, Ct: 1.0

WIND LOAD:
BASIC WIND SPEED: 115 MPH
EXPOSURE CATEGORY: C
WIND IMPORTANCE FACTOR, Iw: 1.0
BASIC INTERNAL PRESSURE COEFFICIENT, GCpi: ±0.18
BASIC COMPONENTS AND CLADDING PRESSURE (ADJUSTED TO COMPLY WITH BUILDING CODE):
±20 PSF @ INTERIOR ZONES
±25 PSF @ END ZONES

SEISMIC LOAD:
SEISMIC IMPORTANCE FACTOR, Ie: 1.0
SPECTRAL RESPONSE ACCELERATIONS:
Ss: 0.1274
S1: 0.0612
SPECTRAL RESPONSE COEFFICIENTS:
Sds: 0.102
Sd1: 0.069
SITE CLASS: C
SEISMIC DESIGN CATEGORY: B
BASIC SEISMIC-FORCE-RESISTING SYSTEM: LIGHT-FRAMED WALLS WITH WOOD STRUCTURAL PANELS & STEEL ORDINARY MOMENT FRAMES
DESIGN BASE SHEAR: Cs x W
SEISMIC RESPONSE COEFFICIENTS, Cs: 0.0157 & 0.0291
RESPONSE MODIFICATION FACTOR, R: 6.5 & 3.5
ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE

FOUNDATION AND EARTHWORK NOTES:

REFER TO THE GEOTECHNICAL EXPLORATION AND FOUNDATION RECOMMENDATIONS: WEST PRYOR VILLAGE - LEE'S SUMMIT, MISSOURI / COOK, FLATT, & STROBEL ENGINEERS, PA - KANSAS CITY, KANSAS (CFS NO 18-5125 & 18-5125-1) / JUNE 15, 2018 & OCTOBER 10, 2018 / AUGUST 14, 2019

THE FOUNDATION BEARING MATERIAL SHALL BE INSPECTED AND APPROVED BY A GEOTECHNICAL ENGINEER BEFORE FOUNDATIONS ARE CONSTRUCTED.

AT STEPPED FOOTINGS, THE LOWER FOOTING SHALL BE PLACED FIRST.

FOUNDATIONS HAVE BEEN DESIGNED FOR A NET ALLOWABLE SOIL BEARING PRESSURE OF 2,500 PSF FOR CONTINUOUS FOOTINGS AND 3,000 PSF FOR ISOLATED SPREAD FOOTINGS. FOUNDATIONS SHALL BEAR IN UNDISTURBED SOILS OR CONTROLLED STRUCTURAL FILL AS APPROVED BY THE GEOTECHNICAL ENGINEER.

WALL FOUNDATION SHALL BEAR AT MINIMUM OF 3'-0" BELOW ADJACENT FINISH GRADE, UNLESS OTHERWISE NOTED.

UNUSUAL CONDITIONS OR CHANGES TO THE FOUNDATIONS AS REQUIRED BY FIELD CONDITIONS SHALL BE REFERRED TO THE ENGINEER FOR APPROVAL.

CONSULT A GEOTECHNICAL ENGINEER/REFER TO GEOTECHNICAL REPORT FOR SUBGRADE PREP REQUIREMENTS FOR SLAB-ON-GRADE CONSTRUCTION. PREPARED SUBGRADES EXCAVATED TO INSTALL UTILITIES BELOW FLOOR SLABS SHALL BE BACKFILLED AND COMPACTED AS SPECIFIED BY THE GEOTECHNICAL ENGINEER.

CONSULT A GEOTECHNICAL ENGINEER/REFER TO GEOTECHNICAL REPORT FOR COMPACTION REQUIREMENTS.

MAINTAIN ALL EXCAVATIONS FREE OF WATER.

CONCRETE NOTES:

CONCRETE SHALL HAVE THE FOLLOWING UNLESS OTHERWISE SPECIFIED (SELECT PROPORTIONS FOR CONCRETE IN ACCORDANCE WITH ACI 318):

	MAX WATER/ CEMENT RATIO	MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS
INTERIOR SLAB ON GRADE	0.45	3,000 PSI
FOOTINGS	0.45	4,500 PSI
FOUNDATION WALLS	0.45	4,500 PSI
GRADE BEAMS	0.45	4,500 PSI
DRILLED PIERS	0.50	4,000 PSI
CONCRETE ON STEEL DECK	0.45	3,000 PSI

REINFORCING STEEL SHALL BE BILLET STEEL CONFORMING TO ASTM A615, GRADE 60.

WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.

CEMENT SHALL CONFORM TO ASTM C150, TYPE I OR II.

AGGREGATES SHALL CONFORM TO ASTM C33. COARSE AGGREGATE SHALL CONSIST OF 1" MAXIMUM AGGREGATE SIZE. COMBINED GRADATION SHALL HAVE A UNIFORM DISTRIBUTION AS FOLLOWS:
5-20% RETAINED ON 3/4", 1/2", 3/8", NO. 4, NO. 8, NO. 16, NO. 30 AND NO. 50 SIEVES; LESS THAN 5% PASSING NO. 50 SIEVE.

MATERIALS AND ADMIXTURES SHALL NOT CONTAIN CALCIUM CHLORIDE.

ALL EXTERIOR AND CONCRETE EXPOSED TO FREEZE/THAW CYCLES SHALL BE AIR-ENTRAINED 6% (±) BY VOLUME. THIS INCLUDES BUT IS NOT LIMITED TO FOOTINGS, FOUNDATION WALLS AND GRADE BEAMS.

SLEEVES, OPENINGS, OR OTHER ATTACHMENTS NOT SHOWN ON DRAWINGS SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACING CONCRETE.

MINIMUM TENSION LAP SPlice LENGTHS AND TENSION DEVELOPMENT LENGTHS SHALL BE AS SCHEDULED, UNLESS NOTED OTHERWISE ON THE DRAWINGS. WELDED WIRE FABRIC SHALL LAP ONE (1) FULL SQUARE PLUS TWO (2) INCHES.

MAINTAIN CONCRETE COVER AS SCHEDULED.

REINFORCING STEEL FABRICATION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE CRSI MANUAL OF STANDARD PRACTICE.

ALL REINFORCING AND EMBEDDED ANCHOR BOLTS SHALL BE ACCURATELY PLACED AND TIED PRIOR TO POURING CONCRETE. "STABBING" OF DOWELS OR ANCHOR BOLTS IS NOT ALLOWED.

CONSTRUCTION JOINTS IN WALLS AND ELEVATED FORMED SLABS SHALL BE KEYED (1 1/2" DEEP BY 1/3 MEMBER AREA) AND REINFORCING SHALL CONTINUE THROUGH JOINT OR BE TENSION LAP SPliced. CONSTRUCTION JOINTS SHALL BE LOCATED BY THE CONTRACTOR TO LEAST IMPAIR THE STRUCTURE. JOINT LOCATIONS SHALL BE APPROVED BY THE ENGINEER.

EMBEDDED CONDUIT SHALL NOT BE LARGER IN OUTSIDE DIMENSION THAN 1/3 THE OVERALL THICKNESS OF SLAB, WALL OR BEAM IN WHICH THEY ARE EMBEDDED. THEY SHALL NOT BE SPACED CLOSER THAN 3 DIAMETERS OR WIDTHS ON CENTER.

CONDUIT LOCATED WITH CONCRETE SECTIONS SHALL COMPLY WITH ACI 318 REQUIREMENTS.

INTERIOR FLOOR SLABS SHALL COMPLY WITH ACI 117, SHALL MEET THE REQUIREMENTS OF A TYPE 5, SINGLE COURSE, HARD STEEL-TROWELED FINISH AS DESCRIBED IN ACI 302, AND SHALL ACHIEVE AN OVERALL FF25/FL20 TOLERANCE.

ADHESIVE ANCHORS IN CONCRETE OR FULLY GROUTED MASONRY SHALL BE ITW RAMSET/REDHEAD EPON CERAMIC 6 SYSTEM, HILTI HY200, OR SIMPSON AT-XP. ADHESIVE ANCHORS FOR HOLLOW BLOCK AND OTHER MASONRY SHALL BE HILTI HY270 OR SIMPSON SET-XP.

STRUCTURAL STEEL ENCASED WITHIN CONCRETE SHALL COMPLY WITH AISC TOLERANCES.

MASONRY NOTES:

CONSTRUCT MASONRY IN ACCORDANCE WITH THE IBC. MASONRY REQUIRES LEVEL 1 QUALITY ASSURANCE (RE: SPECS). ALL MASONRY SHALL BE LAID IN RUNNING (COMMON) BOND USING THE LOW-LIFT METHOD OF GROUTING. REFER ARCHITECTURAL PLAN FOR ALL BLOCK COURSING.

MASONRY DESIGN IS BASED ON A MINIMUM COMPRESSIVE STRENGTH (F'm) OF ASSEMBLY OF 1,500 PSI.

MASONRY UNITS SHALL MEET THE REQUIREMENTS OF ASTM C-90, GRADE N, WITH A NET AREA COMPRESSIVE STRENGTH OF 1,900 PSI.

MORTAR SHALL BE PREPARED IN ACCORDANCE WITH ASTM C-270. PROVIDE TYPE M MORTAR AT ALL MASONRY BELOW GRADE AND TYPE S AT ALL OTHER MASONRY.

GROUT SHALL BE PREPARED IN ACCORDANCE WITH ASTM C-476, WITH A MINIMUM COMPRESSIVE STRENGTH OF 2,000 PSI AT 28 DAYS.

REINFORCING STEEL SHALL BE BILLET STEEL CONFORMING TO ASTM A615, GRADE 60.

LAP SPlice BAR REINFORCEMENT FOR MASONRY PER LAP SCHEDULE AND JOINT REINFORCEMENT A MINIMUM OF 6 INCHES.

CONCRETE MASONRY UNITS BELOW GRADE SHALL BE SOLID GROUTED.

CELLS WITH REINFORCING SHALL BE SOLID GROUTED AND VIBRATED.

STRUCTURAL STEEL NOTES:

STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING, UNLESS OTHERWISE NOTED:
WIDE FLANGE SHAPES (W, WT): ASTM A992 (Fy=50 KSI)
OTHER ROLLED SHAPES (M, S, HP, C, L): ASTM A36 (Fy=36 KSI)
STEEL PIPE: ASTM A53, GRADE B (Fy=35 KSI)
SQUARE AND RECTANGULAR TUBE: ASTM A500, GRADE B (Fy=46 KSI)
ANCHOR BOLTS: ASTM F1554, GRADE 36
HEADED ANCHOR STUDS: ASTM A108, GRADES 1010 TO 1020
PLATES AND BARS: ASTM A36 (Fy=36 KSI)

SHEAR CONNECTORS AND HEADED WELDED STUDS OF TYPE AND SIZE NOTED SHALL BE TYPE B.

STRUCTURAL STEEL SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH GOOD STANDARD PRACTICE AND IS THE RESPONSIBILITY OF THE CONTRACTOR.

PROPER FIT IN THE FIELD OF STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH GOOD STANDARD PRACTICE AND IS THE RESPONSIBILITY OF THE CONTRACTOR.

THE FABRICATOR SHALL BE RESPONSIBLE FOR THE DESIGN AND PERFORMANCE OF ALL CONNECTIONS NOT FULLY DESIGNED OR DETAILED ON THE CONTRACT DOCUMENTS.

ANCHOR BOLTS SHALL BE ASTM F1554, A36 UNO. ANCHOR BOLTS SHALL BE SET WITH TEMPLATES WITH THE APPROPRIATE BOLT PROJECTION, 4" MINIMUM UNO. PROVIDE DOUBLE NUTS AND DOUBLE WASHERS FOR STEEL COLUMN ANCHOR BOLTS TO ALLOW FOR ADJUSTMENT IN BASE PLATE ELEVATION.

NON-SHRINK GROUT UNDER BASE PLATES SHALL BE NON-METALLIC WITH A MINIMUM COMPRESSIVE STRENGTH OF 5,000 PSI AT 28 DAYS.

HIGH STRENGTH BOLTED CONNECTIONS SHALL CONFORM TO THE AISC SPECIFICATIONS FOR STRUCTURAL JOINTS USING A325 BOLTS. UNLESS OTHERWISE NOTED, HIGH STRENGTH BOLTS MAY BE TIGHTENED BY ANY METHOD THEREIN. REGARDLESS OF THE METHOD USED IN TIGHTENING, A HARDENED WASHER SHALL BE USED UNDER THE TURNED ELEMENT. UNLESS OTHERWISE NOTED, BOLTED CONNECTIONS SHALL BE MADE WITH 3/4"Ø, ASTM A325 HIGH STRENGTH BOLTS.

CONNECTIONS REQUIRING FULL PRETENSIONING ARE SLIP-CRITICAL, AND INCLUDE BOLTED COLUMN SPICES AND CONNECTIONS SUBJECT TO DIRECT TENSION.

ALL WELDING SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE STRUCTURAL WELDING CODE, AWS D1.1. UNLESS NOTED OTHERWISE, MINIMUM WELD SIZE SHALL BE PER AISC 360, BUT SHALL BE NO LESS THAN 3/16" FILLET.

FIELD WELDING SHALL NOT BE STARTED UNTIL JOINT ELEMENTS ARE BOLTED IN INTIMATE CONTACT AND/OR ADJUSTED TO DIMENSIONS INDICATED WITH ALLOWANCE FOR EXPECTED WELD SHRINKAGE. MAINTAIN PLUMBNESS AND TRUENESS OF THE STRUCTURE.

FIELD WELDS FOR STRUCTURAL STEEL SHALL BE MADE WITH LOW HYDROGEN ELECTRODES. WELD FILLER METAL SHALL HAVE A MINIMUM TENSILE STRENGTH OF 70 KSI.

WOOD NOTES:

GENERAL STRUCTURAL WOOD FRAMING SHALL MEET THE MINIMUM STRESS REQUIREMENTS FOR DOUGLAS-FIR #2 AND SHALL BEAR THE STAMP OF AN APPROVED TESTING AGENCY.

ROOF SHEATHING SHALL BE 5/8" PLYWOOD WITH A SPAN RATING OF AT LEAST 32/16. PANELS SHALL BE NAILED WITH 10d NAILS AT 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. (???ALL PANEL EDGES SHALL BE BLOCKED,???) 1/8" GAP BETWEEN INDIVIDUAL SHEETS. PLYWOOD SHALL BE APA RATED C-D EXTERIOR AND SHALL BEAR THE STAMP OF AN APPROVED TESTING AGENCY.

ALL WOOD-TO-WOOD CONNECTIONS SHALL MEET THE MINIMUM NAILING REQUIREMENTS OF THE BUILDING CODE.

PROVIDE SIMPSON CONNECTION HARDWARE AS SHOWN ON THE DRAWINGS. SUBSTITUTIONS MUST BE APPROVED BY THE ARCHITECT AND STRUCTURAL ENGINEER PRIOR TO USE. INSTALL CONNECTION HARDWARE ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS.

FLOOR SHEATHING SHALL BE 3/4" PLYWOOD WITH A MINIMUM FLOOR SPAN RATING OF 24". PANELS SHALL BE NAILED WITH 10d NAILS AT 4" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. ALL PANEL EDGES SHALL BE BLOCKED.

WALL SHEATHING SHALL BE 1/2" OSB ON THE EXTERIOR FACE OF ALL EXTERIOR WALLS. PANELS SHALL BE NAILED WITH 10d GALVANIZED NAILS AT 4" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. ALL PANEL EDGES SHALL BE BLOCKED.

INSTALL ALL FLOOR AND ROOF PLYWOOD SHEATHING WITH THE LONG DIMENSION OF THE PANEL PERPENDICULAR TO THE SUPPORTS WITH A MINIMUM OF TWO SPANS FOR EACH PANEL. STAGGER ALL END JOINTS. PROVIDE 1/8" SPACE AT PANEL JOINTS FOR EXPANSION PER APA.

SUB-FLOORING WILL BE 3/4" TONGUE AND GROOVE CD INTERIOR PLYWOOD GLUED AND NAILED. NAILS SHALL BE 8d AT 8" O.C. ALONG EACH JOIST.

WOOD JOISTS SHALL HAVE CONTINUOUS HORIZONTAL BRIDGING AS PER THE BUILDING CODE.

PREFABRICATED WOOD TRUSS NOTES:

SPECIAL INSPECTIONS OF THE FABRICATION PROCESS OF PRE-FABRICATED WOOD STRUCTURAL ELEMENTS AND ASSEMBLIES SHALL BE IN ACCORDANCE WITH THE IBC.

TRUSSES SHALL BE CONFIGURED TO FOLLOW FINAL ROOF LINES, UNLESS NOTED OTHERWISE.

TRUSSES SHALL BE DESIGNED FOR ALL LOAD COMBINATIONS REQUIRED BY THE BUILDING CODE. IN NO CASE SHALL THE DEAD LOAD BE LESS THAN 15 PSF ON THE TOP CHORD AND 10 PSF ON THE BOTTOM CHORD.

TRUSS MANUFACTURER SHALL SUPPLY ALL TRUSS CONNECTIONS USING PREFABRICATED STEEL CONNECTORS AS REQUIRED.

CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL TEMPORARY AND PERMANENT BRACING IN ADDITION TO ANY BRACING INDICATED ON THE PLANS.

ALL TEMPORARY AND PERMANENT BRACING FOR INDIVIDUAL TRUSS MEMBERS SHALL BE DESIGNED BY AND STAMPED BY A PROFESSIONAL ENGINEER PROVIDED BY CONTRACTOR AND/OR TRUSS MANUFACTURER. APPLIED ROOF SHEATHING AND OTHER ROOFING MATERIALS SHALL NOT BE ASSUMED TO PROVIDE SUFFICIENT BRACING FOR TRUSS CHORDS.

SHOP FABRICATED WOOD TRUSSES SHALL MEET DESIGN SPECIFICATIONS FOR METAL PLATE CONNECTED WOOD TRUSSES BY THE TRUSS PLATE INSTITUTE. PROVIDE PERMANENT AND TEMPORARY BRACING ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

COORDINATE ALL TRUSS DETAILS WITH ARCHITECTURAL PLANS.

SPLICE & DEVELOPMENT LENGTHS FOR REINFORCEMENT
(UNLESS NOTED OTHERWISE ON THE DRAWINGS)

fy = 60,000 psi
f'c = 3,000 psi

BAR SIZE	LENGTH OF LAPPED SPICES FOR REINFORCEMENT (INCHES)		LENGTH OF END ANCHORAGE FOR DEVELOPMENT OF REINFORCEMENT (INCHES)			HOOK LENGTH	BAR SIZE
	TOP BARS*	OTHERS	TOP BARS*	OTHERS	HOOKEED BARS		
3	28	22	22	17	9	6	3
4	38	29	29	22	11	8	4
5	47	36	36	28	14	10	5
6	56	43	43	33	17	12	6
7	81	63	63	48	20	14	7
8	93	72	72	55	22	16	8
9	105	81	81	62	25	20	9
10	118	91	91	70	28	22	10
11	131	101	101	78	31	24	11
14	--	--	121	93	38	31	14
18	--	--	161	124	50	41	18

*TOP BARS ARE HORIZONTAL BARS SO PLACED THAT MORE THAN 12" OF CONCRETE IS CAST IN THE MEMBER BELOW THE BAR. HORIZONTAL BARS IN WALLS ARE TO BE CONSIDERED AS TOP BARS. VERTICAL BARS MAY BE CONSIDERED AS OTHER BARS.

UNLESS EITHER OF THE FOLLOWING TWO CASES EXIST FOR STRAIGHT BARS, THE DEVELOPMENT OR SPlice LENGTH FOR STRAIGHT BARS IN THE ABOVE TABLE MUST BE MULTIPLIED BY 1.5:

I. THE CLEAR SPACING OF BARS BEING DEVELOPED OR SPliced IS GREATER THAN OR EQUAL TO ONE BAR DIAMETER, THE CLEAR COVER IS GREATER THAN OR EQUAL TO ONE BAR DIAMETER, AND STIRRUPS OR TIES PROVIDED THROUGHOUT THE DEVELOPMENT OR SPlice LENGTH MEET OR EXCEED THE CODE MINIMUM.

II.THE CLEAR SPACING OF BARS BEING DEVELOPED OR SPliced IS GREATER THAN OR EQUAL TO TWO BAR DIAMETERS AND THE CLEAR COVER IS GREATER THAN OR EQUAL TO ONE BAR DIAMETER.

THE DEVELOPMENT LENGTH FOR HOOKED BARS, SIZE 11 AND SMALLER, PLACED WITH SIDE COVER GREATER THAN OR EQUAL TO 2 1/2" AND COVER ON THE BAR EXTENSION BEYOND THE HOOD (90° HOOK ONLY) GREATER THAN OR EQUAL TO 2", MAY BE MULTIPLIED BY 0.7.

VALUES IN THE ABOVE TABLE ARE NOT TO BE USED FOR EPOXY COATED REINFORCING AND/OR REINFORCING PLACED IN CONCRETE CONTAINING LIGHTWEIGHT AGGREGATE.

CONCRETE COVER FOR REINFORCEMENT
(UNLESS NOTED OTHERWISE ON THE DRAWINGS)

LOCATION	MINIMUM COVER
CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH	3"
CONCRETE EXPOSED TO EARTH OR WEATHER: #6 AND LARGER #5 AND SMALLER	2" 1 1/2"
CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH THE GROUND: SLABS, WALLS, AND JOISTS: #14 AND LARGER #11 AND SMALLER BEAMS AND COLUMNS	1 1/2" 3/4" 1 1/2"

CERTUS

STRUCTURAL ENGINEERS

900 S. Kansas Avenue; Suite 400

Topeka, Kansas 66612

Phone: (785) 291-0400

Fax: (785) 291-0401

Proj #:01190008.110

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MULTI-TENANT BUILDING - LOT #3
STREETS OF WEST PRYOR
LEE'S SUMMIT, MISSOURI

SUBMISSION DATES

03/31/20

SHEET TITLE

GENERAL NOTES

PROJECT NUMBER

190224

SHEET NUMBER

S-001

ds

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2231 sw wanamaker rd, suite 303
topeka, kansas 66614-4275
phone: 785.273.7540
fax: 785.273.7579

500 north broadway, suite 200
oklahoma city, ok 73102
phone: 405.231.3105
fax: 405.231.3115

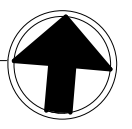
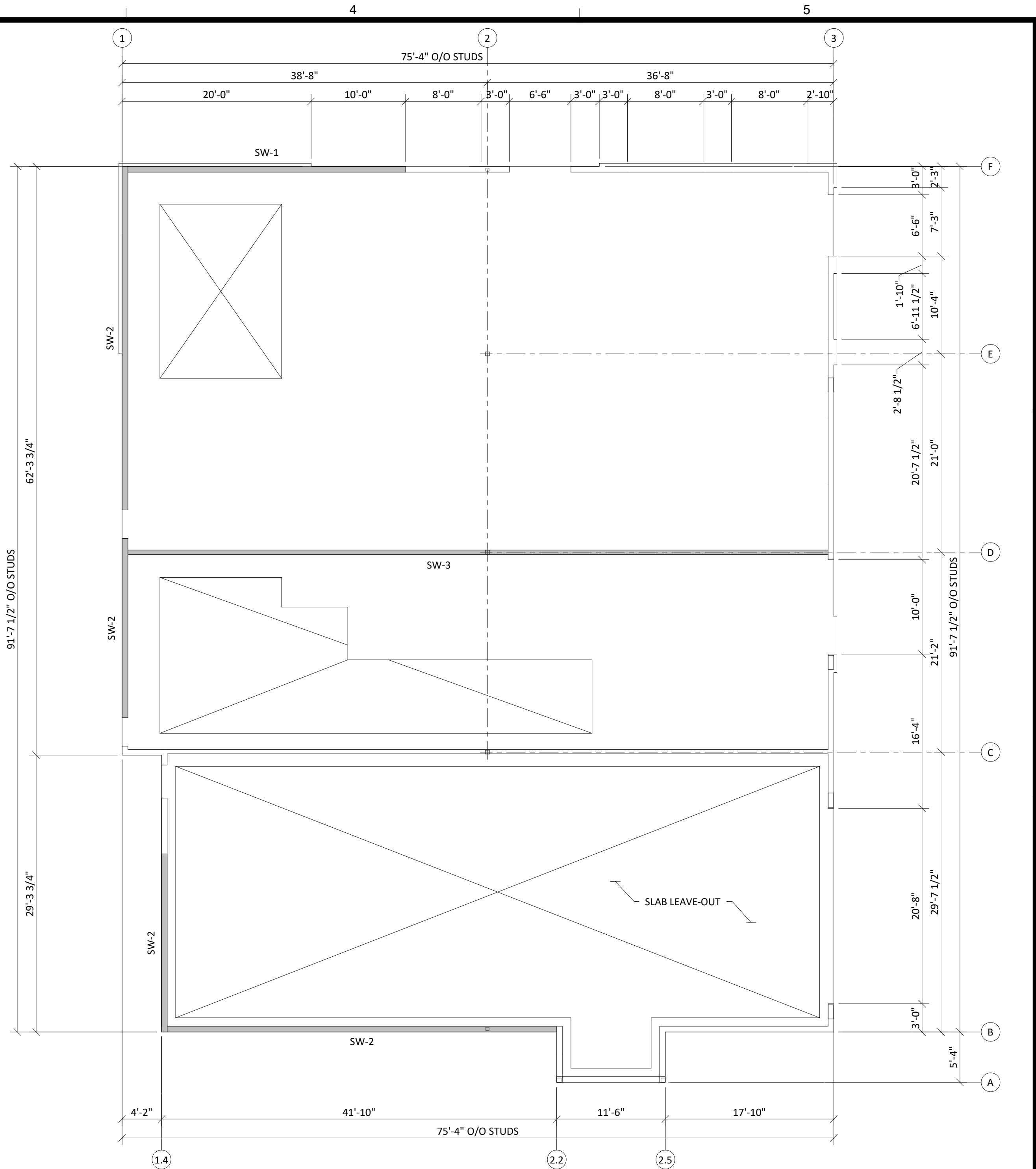
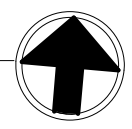
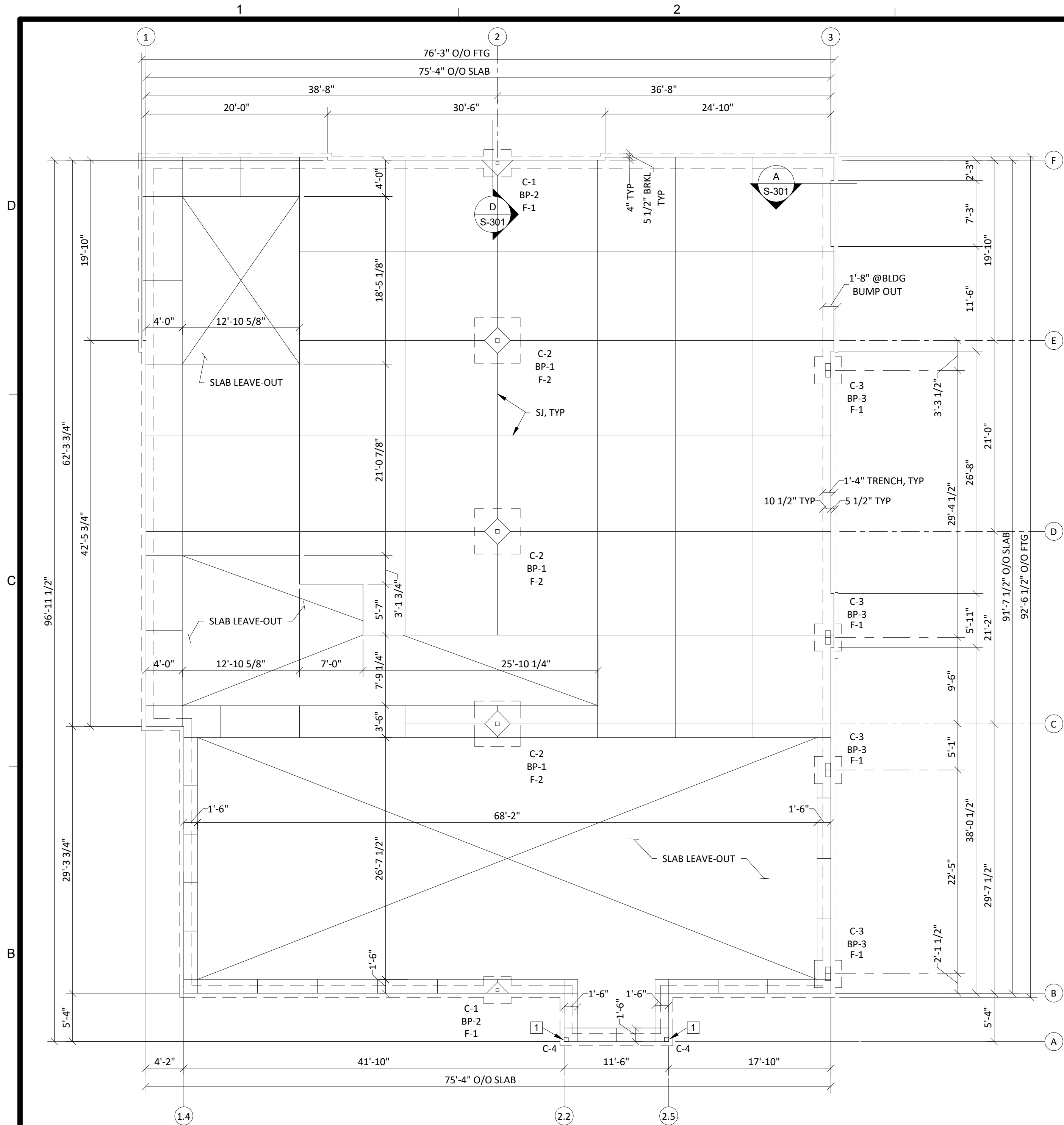
ARLTON M. SCOTT

PROFESSIONAL ENGINEER

20945

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CERTUS
STRUCTURAL ENGINEERS
900 S. Kansas Avenue; Suite 400
Topeka, Kansas 66612
Phone: (785) 291-0400
Fax: (785) 291-0401
Proj #:01190008.110
Certificate Of Authorization
E-1392
Revit 2020 Local

schwerdt design group
architecture | interiors | planning
2231 sw wanamaker rd, suite 303
Topeka, Kansas 66614-4275
phone: 785.233.7540
fax: 785.273.7579
500 north broadway, suite 200
oklahoma city, ok 73102
phone: 405.231.3105
fax: 405.231.3115

ARON M. SCOTT
LICENSED PROFESSIONAL ENGINEER
20945
04/24/20
KANSAS

MULTI-TENANT BUILDING - LOT #3
STREETS OF WEST PRYOR
LEE'S SUMMIT, MISSOURI

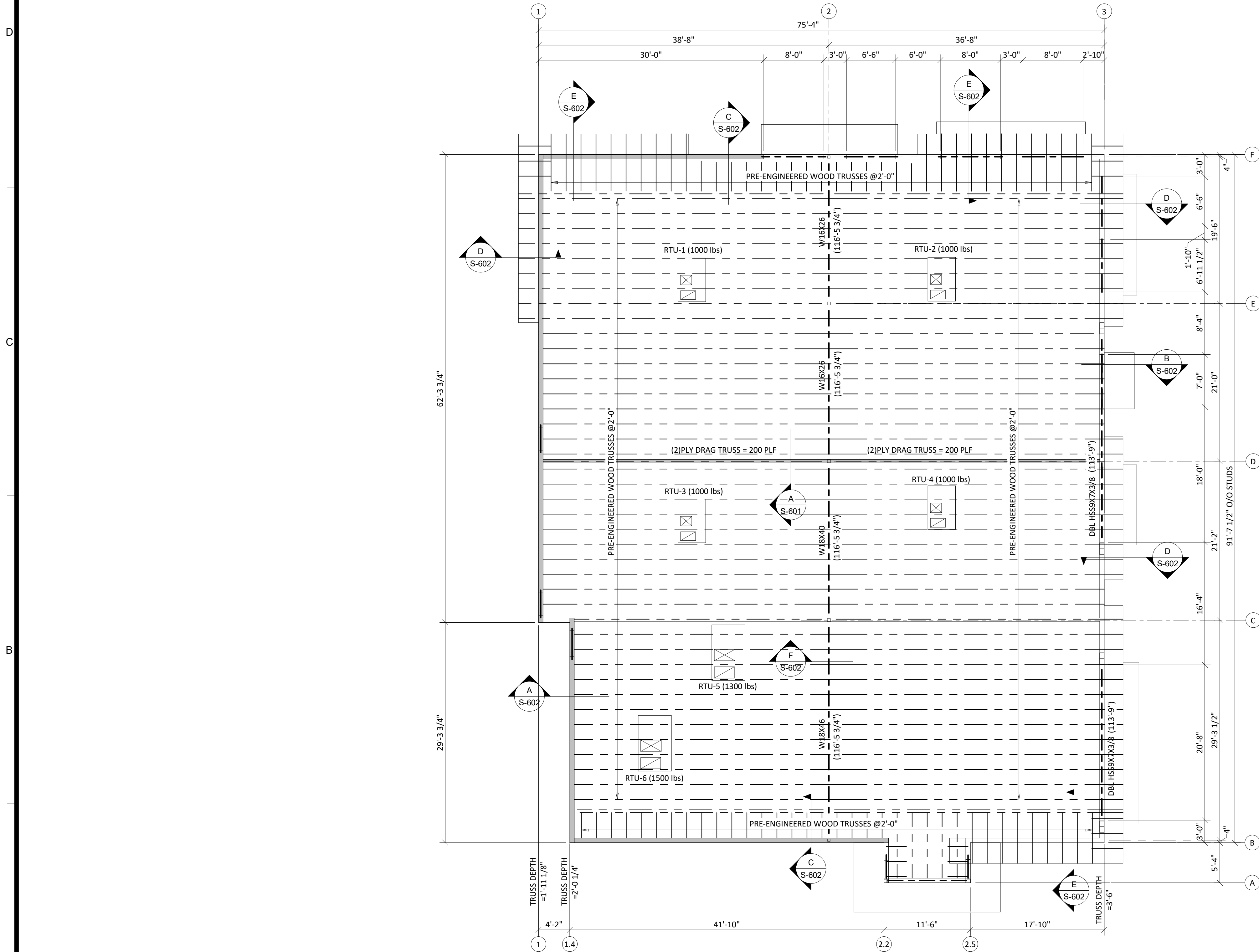
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SHEET TITLE
FOUNDATION & WALL FRAMING PLANS

PROJECT NUMBER
190224

SHEET NUMBER
S-101

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1 ROOF FRAMING PLAN

SCALE: 1/8" = 1'-0"

ROOF CONSTRUCTION: WOOD SHEATHING OVER PREFAB WOOD ROOF TRUSSES @ 2'-0" OC MAX. SHEATHING SHALL BE CONTINUOUS UNDER AREAS OF OVERBUILD. REFERENCE GENERAL NOTES FOR SHEATHING SPECIFICATIONS AND ATTACHMENT.

DESIGN ALL TRUSSES FOR 15 PSF NET UPLIFT.

PROVIDE BRIDGING AS PRESCRIBED BY THE TRUSS MANUFACTURER REQUIREMENTS.

TOS - TOP OF STEEL ELEVATION: NOTED THUS (ELEV)

TOP OF PARAPET = 125-0

TRUSS BEARING ELEVATION = 114-0

TYPICAL HEADERS IN OPENINGS LESS THAN 4'-0" SHALL BE (3) 2X8 OR DEEPER, ALL HEADERS IN OPENINGS UP TO 6'-6" SHALL BE (3) 2X10 OR DEEPER, ALL HEADERS IN OPENINGS UP TO 11'-4" SHALL BE 5 1/4"X9 1/4" 2.0 PSL. CONSTRUCT HEADERS PER "TYPICAL HEADER CONSTRUCTION" DETAIL." ALL HEADERS SHALL HAVE (1) TRIMMER MINIMUM AND (2) DEDICATED STUDS MINIMUM. PROVIDE (2) TRIMMERS AT OPENINGS LARGER THAN 7'-4".

LINTELS: LOOSE BRICK LINTELS FOR DOOR AND WINDOW OPENINGS UP TO 8'-0" SHALL BE 15X5X3/8 GALVANIZED (ASTM A36)

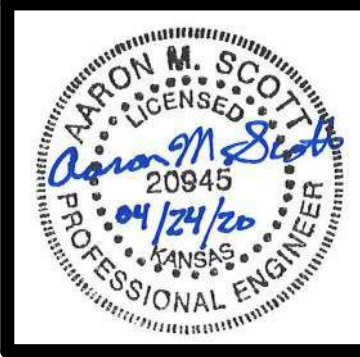
DESIGN ROOF TRUSSES TO SUPPORT RTU LOADS AT LOCATIONS SHOWN. NOTIFY ENGINEER IF WEIGHTS, SIZES, OR LOCATIONS VARY FROM THAT SHOWN.

VERIFY ALL DIMENSIONS SHOWN WITH ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION. INFORM ENGINEER OF ALL DISCREPANCIES.

CERTUS
STRUCTURAL ENGINEERS

900 S. Kansas Avenue; Suite 400
Topeka, Kansas 66612
Phone: (785) 291-0400
Fax: (785) 291-0401
Proj #:01190008.110
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2231 sw wanamaker rd, suite 303
topeka, kansas 66614-4275
phone: 785.213.7540
fax: 785.273.7579
500 north broadway, suite 200
oklahoma city, ok 73102
phone: 405.231.3105
fax: 405.231.3115


AARON M. SCOTT
LICENSED PROFESSIONAL ENGINEER
STATE OF KANSAS
20945
04/24/20

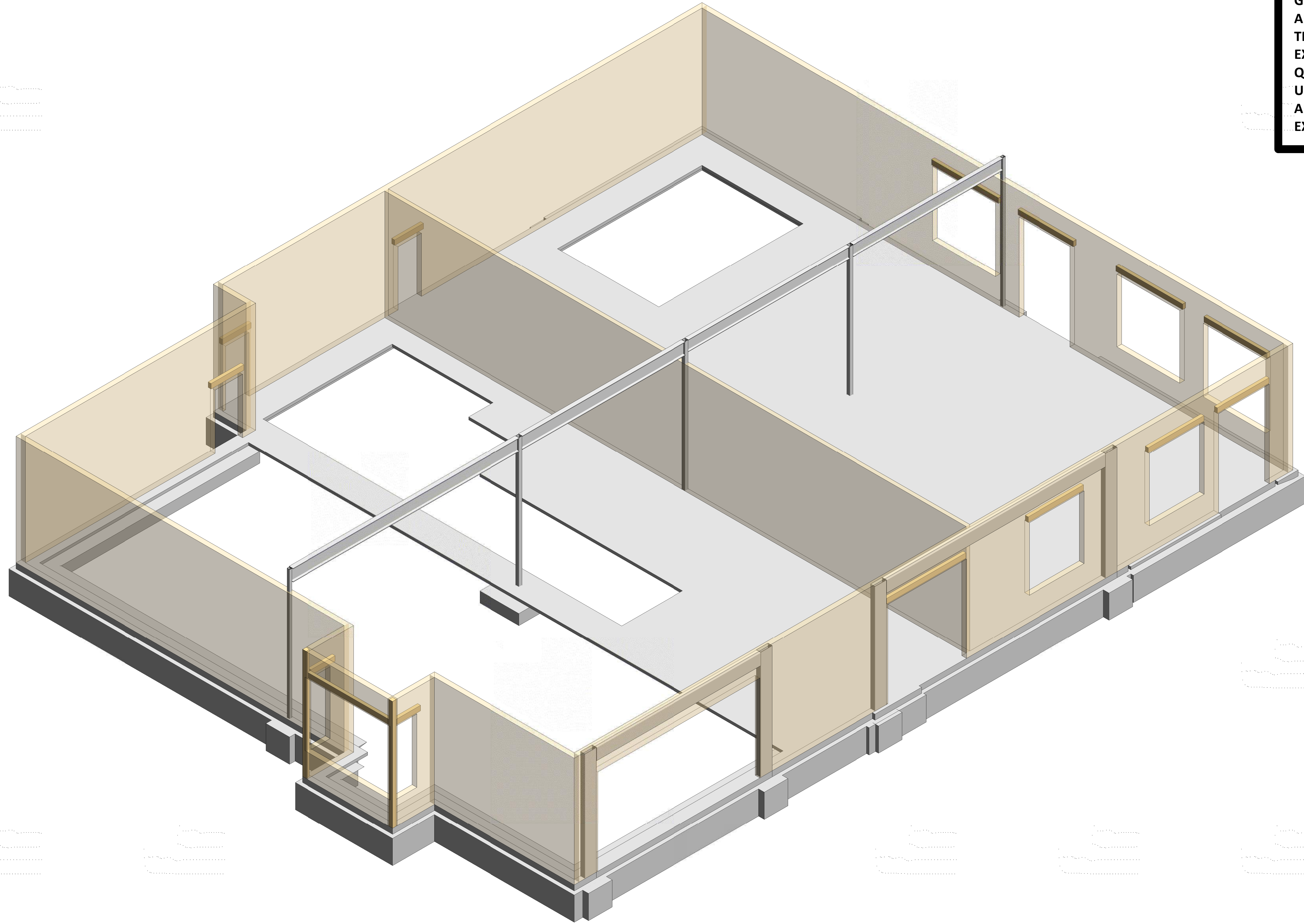
MULTI-TENANT BUILDING - LOT #3 STREETS OF WEST PRYOR LEE'S SUMMIT, MISSOURI

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ASI #1	04/23/20

SHEET TITLE
ROOF FRAMING PLAN

PROJECT NUMBER
190224

SHEET NUMBER
S-102



ISOMETRIC VIEWS ARE INTENDED TO SHOW
GENERAL FRAMING CONFIGURATIONS AND
ARE FOR REFERENCE ONLY. IN NO WAY SHALL
THESE VIEWS BE USED TO CONVEY THE FULL
EXTENT OF FRAMING MATERIALS REQUIRED.
QUANTITY OF MATERIALS SHALL BE BASED
UPON STRUCTURAL PLANS, DETAILS,
ARCHITECTURAL DRAWINGS, AND THE FULL
EXTENT OF CONSTRUCTION DOCUMENTS.

1 STRUCTURAL STEEL ISOMETRIC VIEW FROM SE CORNER
SCALE: NONE

CERTUS

STRUCTURAL ENGINEERS

900 S. Kansas Avenue; Suite 400

Topeka, Kansas 66612

Phone: (785) 291-0400

Fax: (785) 291-0401

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2231 sw wanamaker rd suite 303
topeka, kansas 66614-4275
phone: 785.233.7540
fax: 785.233.7579

500 north broadway suite 200
oklahoma city, ok 73102
phone: 405.231.3105
fax: 405.231.3115

ATLANTON M. SCOTT

LICENSED PROFESSIONAL ENGINEER

20945

04/24/20

KANSAS

MULTI-TENANT BUILDING - LOT #3

STREETS OF WEST PRYOR

LEE'S SUMMIT, MISSOURI

SUBMISSION DATES

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SHEET TITLE

FRAMING ISOMETRIC

PROJECT NUMBER

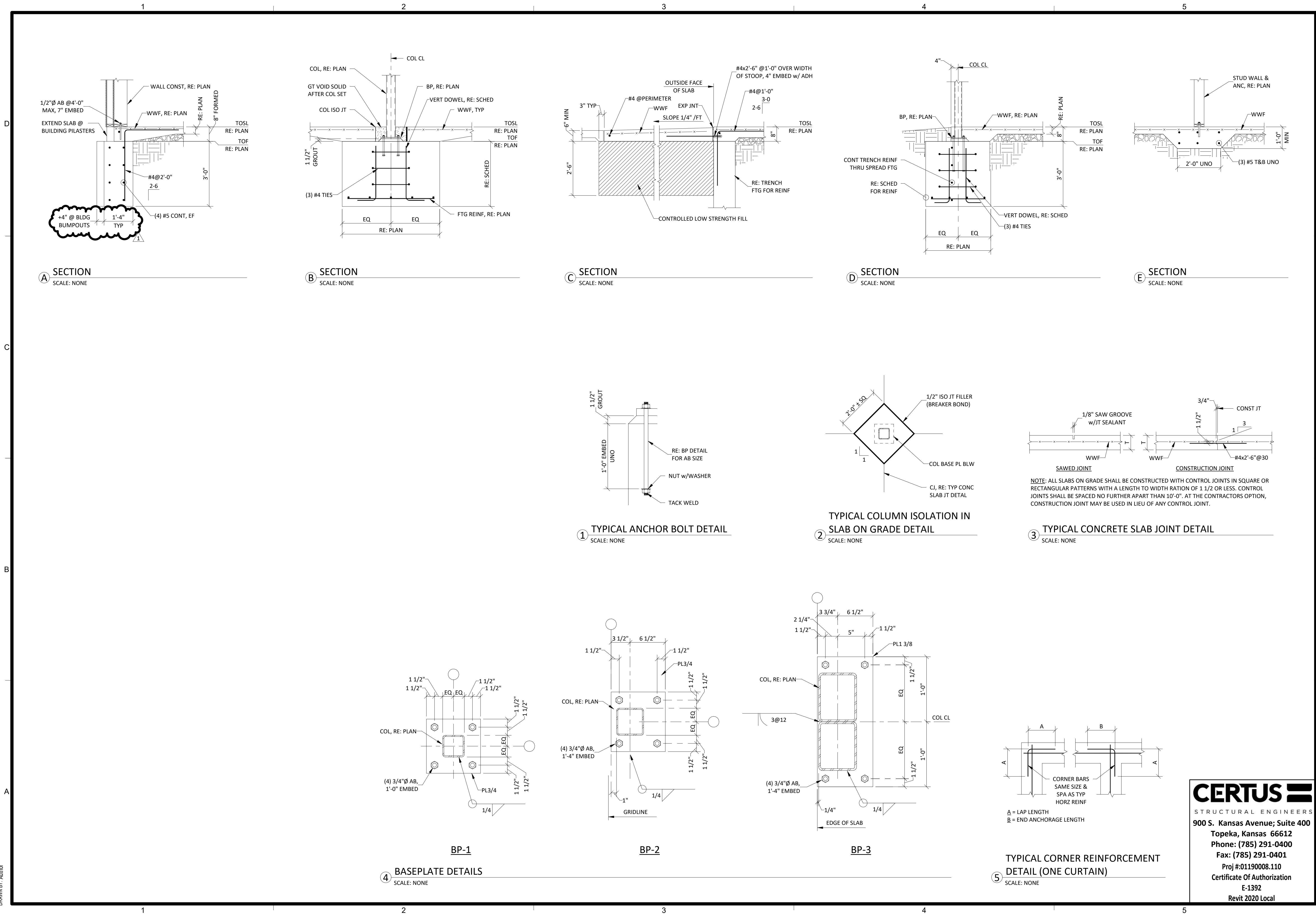
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SHEET NUMBER

S-201

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topeka, kansas 66614-4275
phone: 785.213.7540
fax: 785.273.7579
500 north broadway, suite 200
oklahoma city, ok 73102
phone: 405.231.3105
fax: 405.231.3115

AARON M. SCOTT
LICENSED PROFESSIONAL ENGINEER
20945
04/24/20
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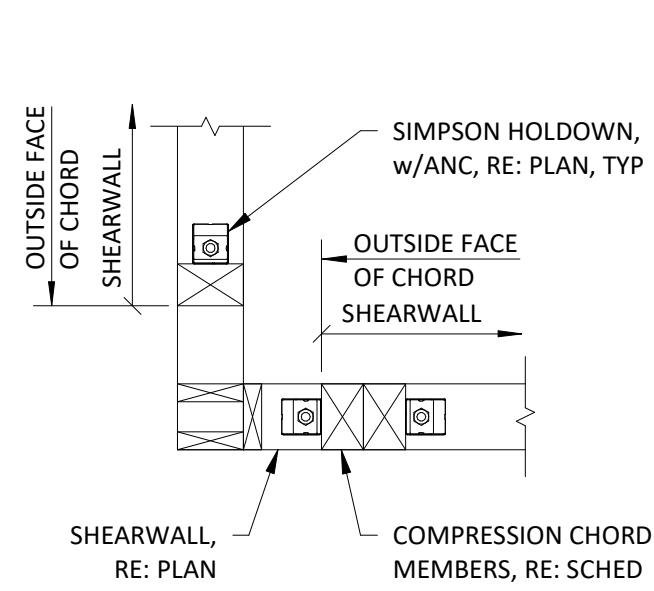
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Topeka, Kansas 66612
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SHEET TITLE
CONCRETE DETAILS & SECTIONS I

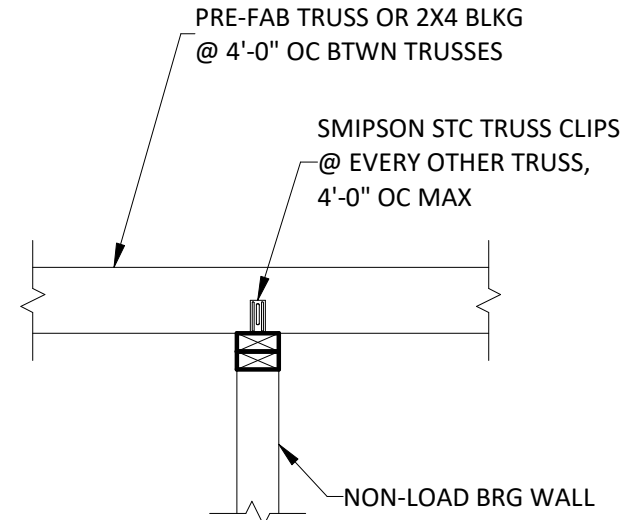
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SHEET NUMBER
S-301

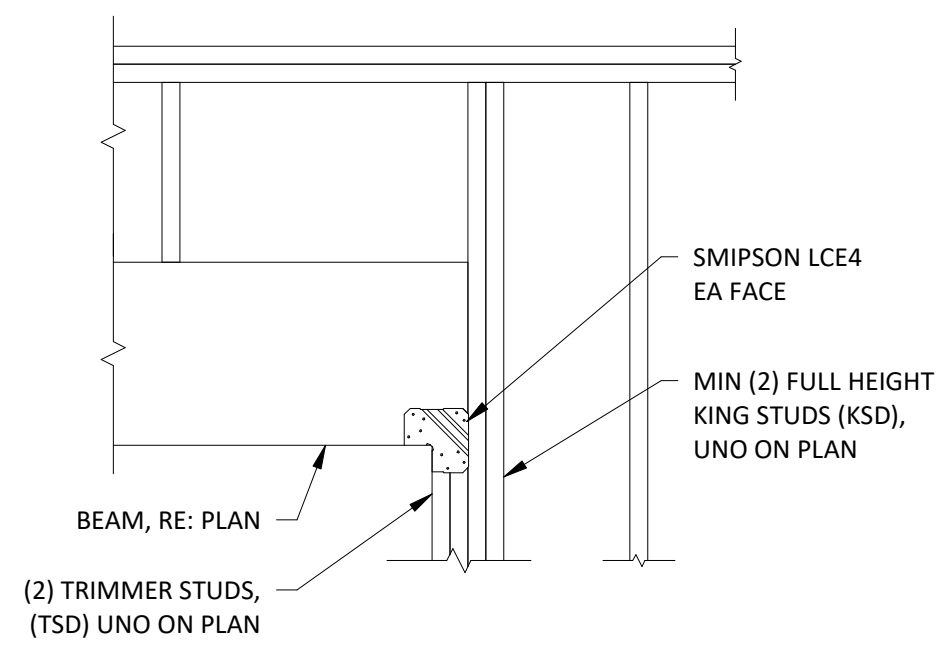
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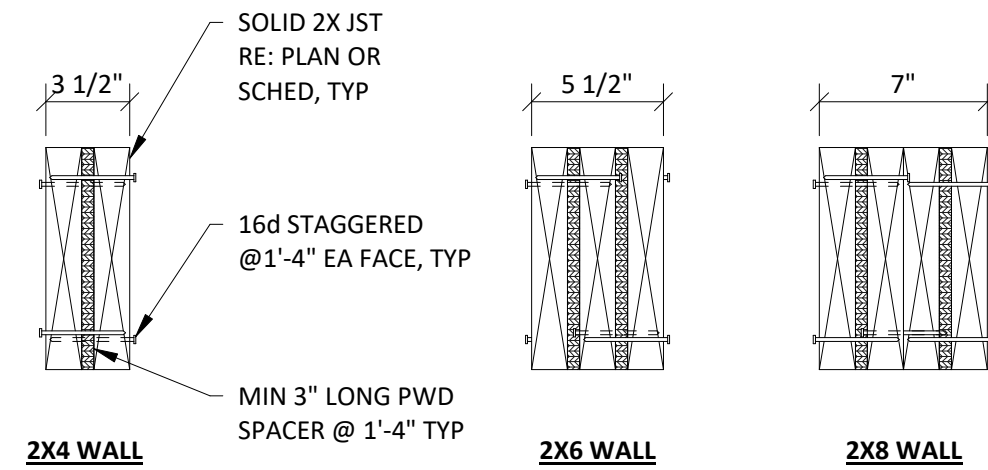
1 TYPICAL HOLDOWN ASSEMBLY
CORNER (ALTERNATE)
SCALE: NONE



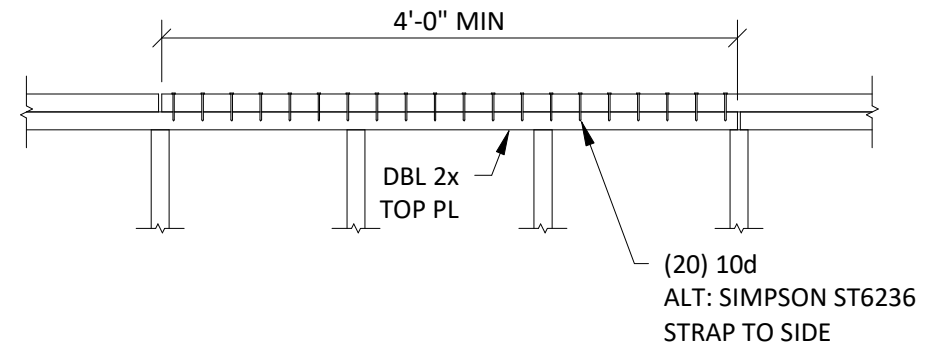
2 NON-LOAD BEARING WALL LATERAL
SUPPORT DETAIL
SCALE: NONE



3 TYPICAL HEADER CONSTRUCTION DETAIL
SCALE: NONE

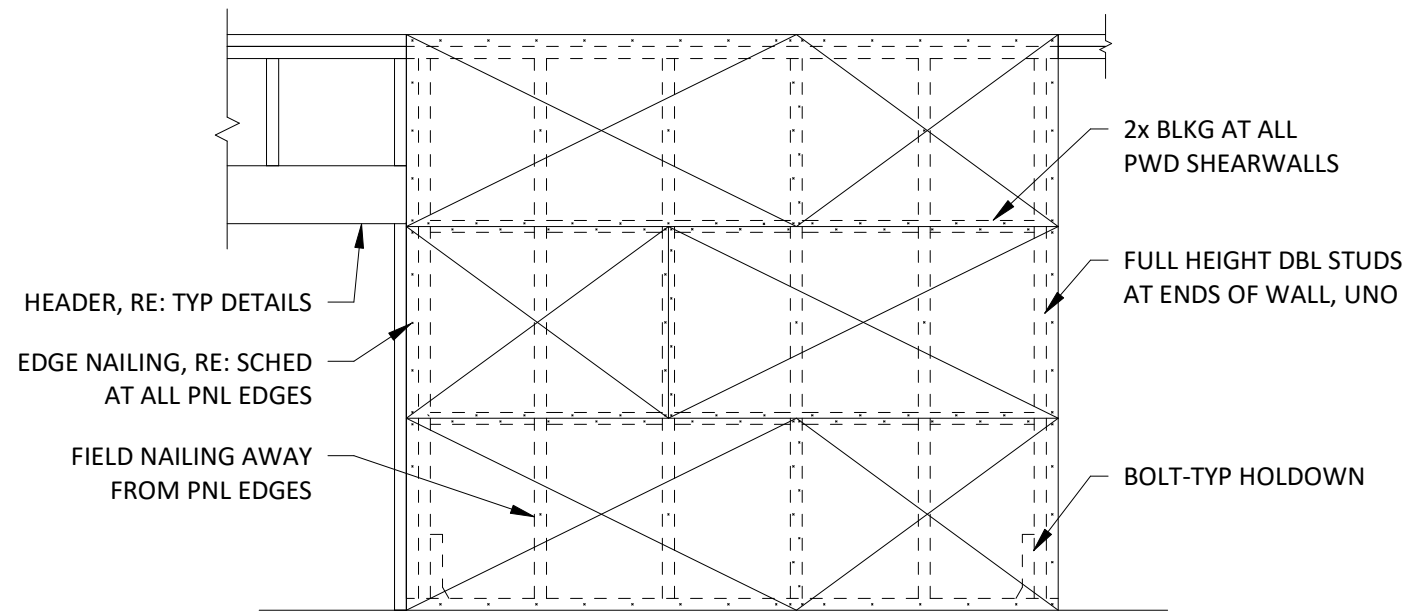


4 TYPICAL BUILT-UP HEADER CONSTRUCTION
SCALE: NONE

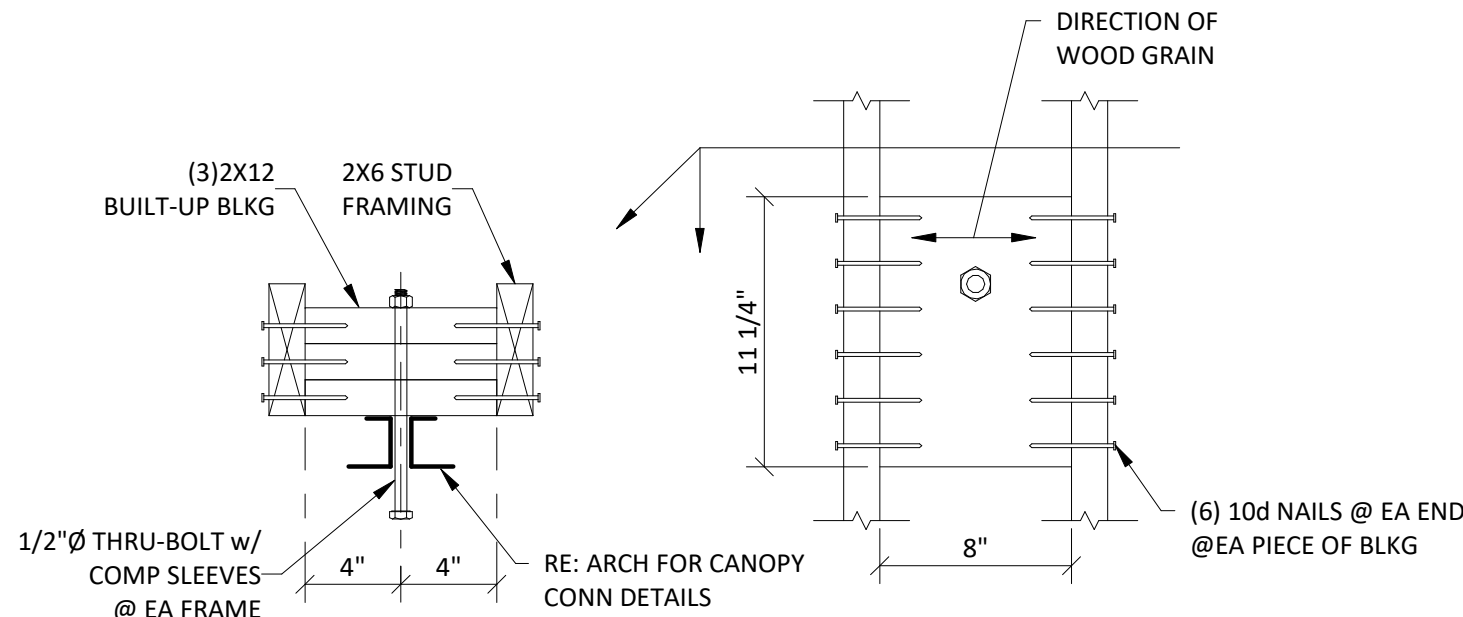


- NOTES:
1. SPLICE REQUIRED OVER ALL SHEARWALLS AND ALL EXTERIOR AND BEARING WALLS.
 2. SPECIFIC SPLICE REQUIREMENTS DO NOT APPLY TO INTERIOR NON-SHEARWALLS OR TOP OF PARAPET WALLS UNLESS NOTED OTHERWISE.

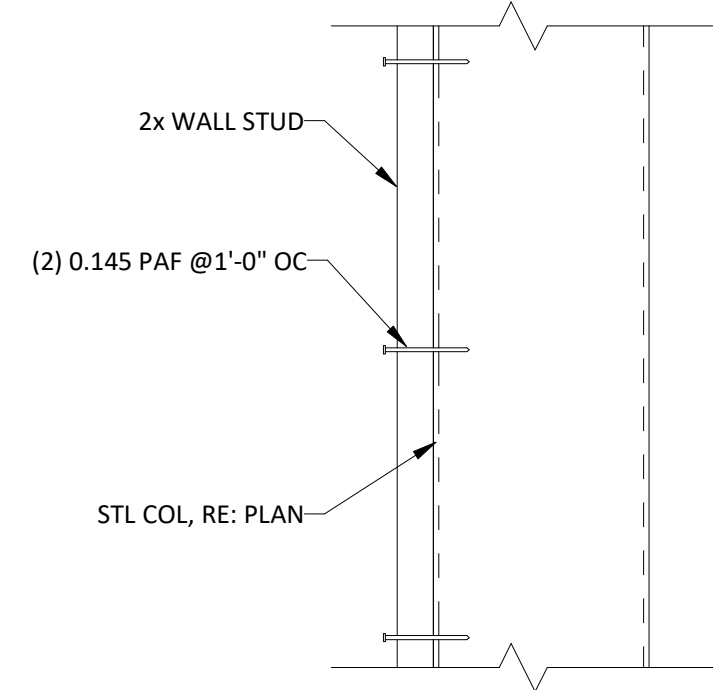
5 TYPICAL TOP PLATE SPLICE DETAIL
SCALE: NONE



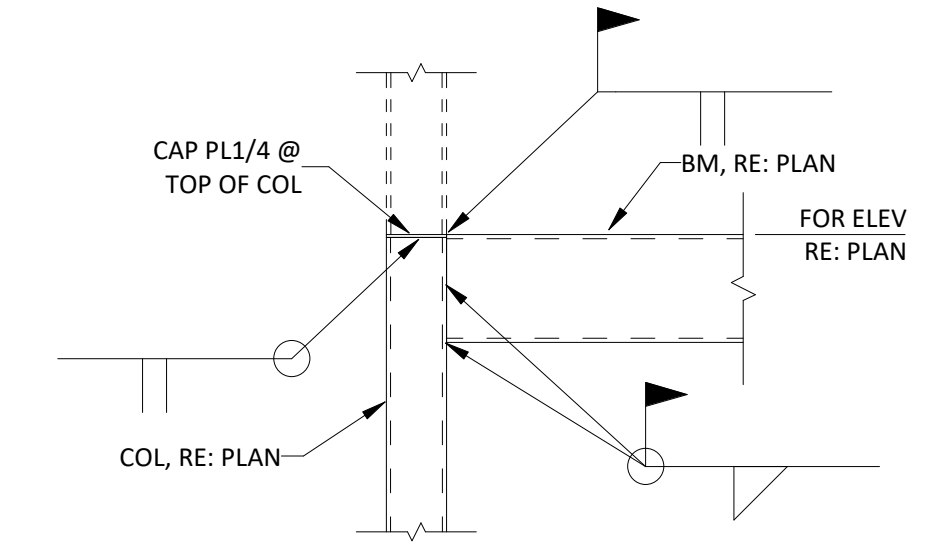
6 TYPICAL SHEARWALL CONSTRUCTION
SCALE: NONE



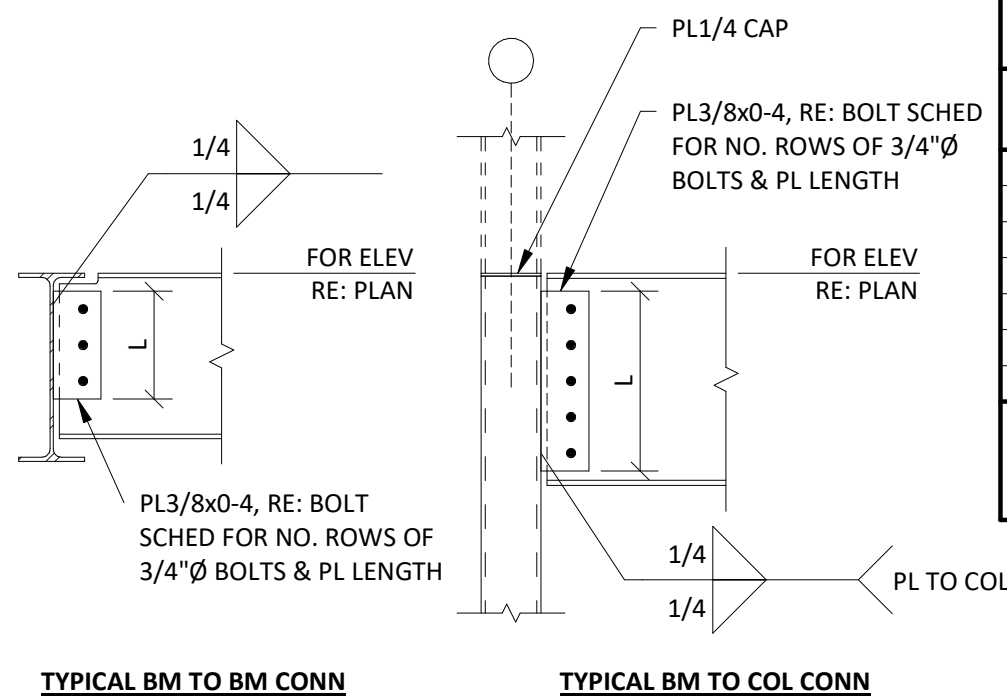
7 TYPICAL CANOPY CONNECTION BLOCKING DETAIL
SCALE: NONE



8 TYPICAL SHEARWALL TERMINATION
AT STEEL COLUMN DETAIL
SCALE: NONE



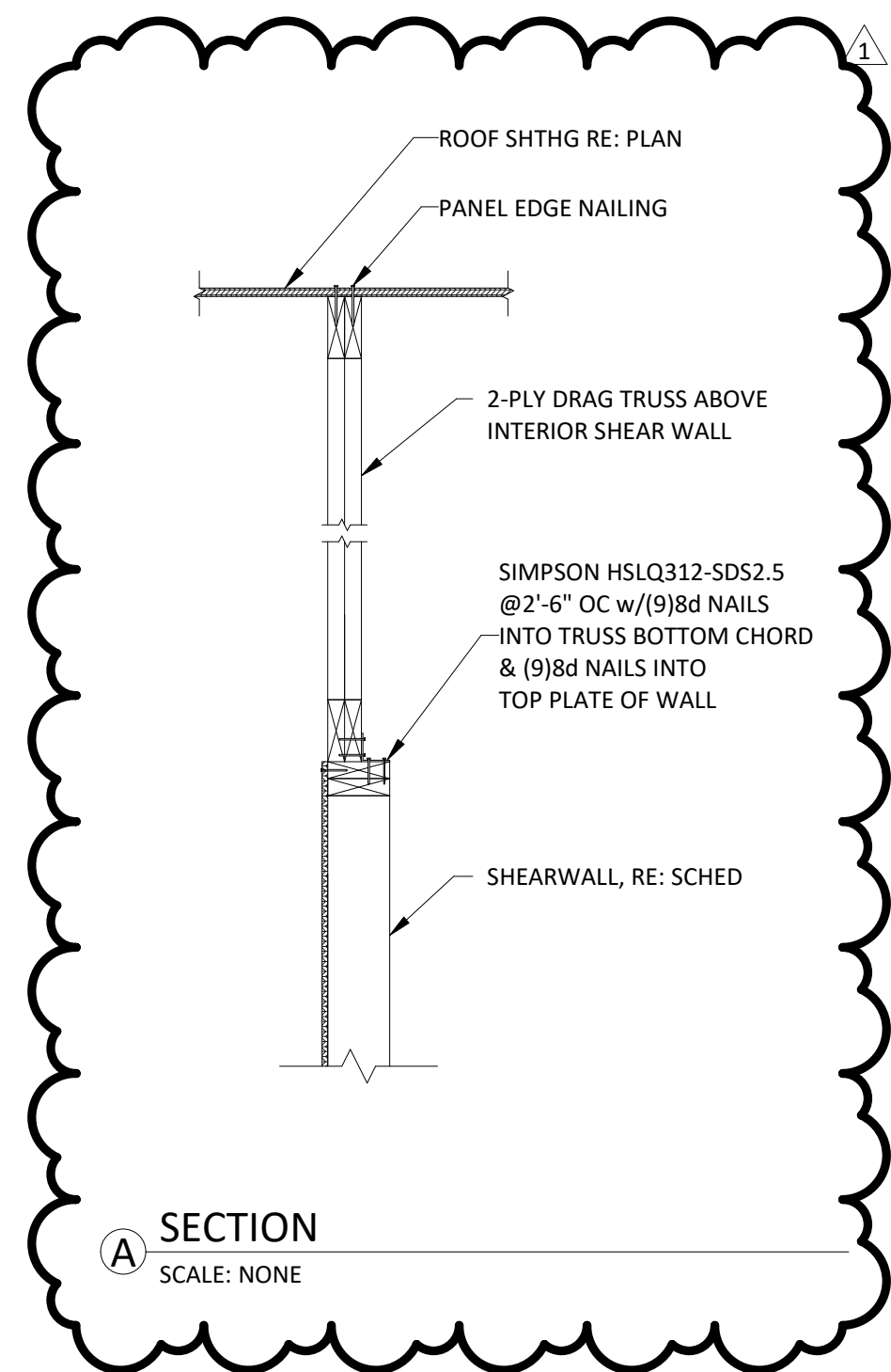
10 TYPICAL TUBE COLUMN TO BEAM CONNECTION
SCALE: NONE



9 TYPICAL STEEL CONNECTIONS DETAIL (SHEAR TABS)
SCALE: NONE

BOLT SCHEDULE			
CONNECTION BEAM SIZE	LENGTH (L)	(#) ROWS OF BOLTS	
W8, W10	6"	2	
W12, W14	9"	3	
W16	1'-0"	4	
W18	1'-3"	5	
W21	1'-6"	6	
W24, W27	1'-9"	7	
W30, W33	2'-6"	10	

NOTE: BOLTS SHALL BE 3/4"Ø A325 AT 3" CENTERS, UNLESS NOTED OTHERWISE



A SECTION
SCALE: NONE

CERTUS
STRUCTURAL ENGINEERS
900 S. Kansas Avenue; Suite 400
Topeka, Kansas 66612
Phone: (785) 291-0400
Fax: (785) 291-0401
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architecture | interiors | planning
2231 sw wanamaker rd, suite 303
Topeka, Kansas 66614-4275
phone: 785.213.7540
fax: 785.273.7579
500 north broadway, suite 200
Oklahoma city, ok 73102
phone: 405.231.3105
fax: 405.231.3115

ARON M. SCOTT
LICENSED PROFESSIONAL ENGINEER
04/24/20
20945

MULTI-TENANT BUILDING - LOT #3
STREETS OF WEST PRYOR
LEE'S SUMMIT, MISSOURI

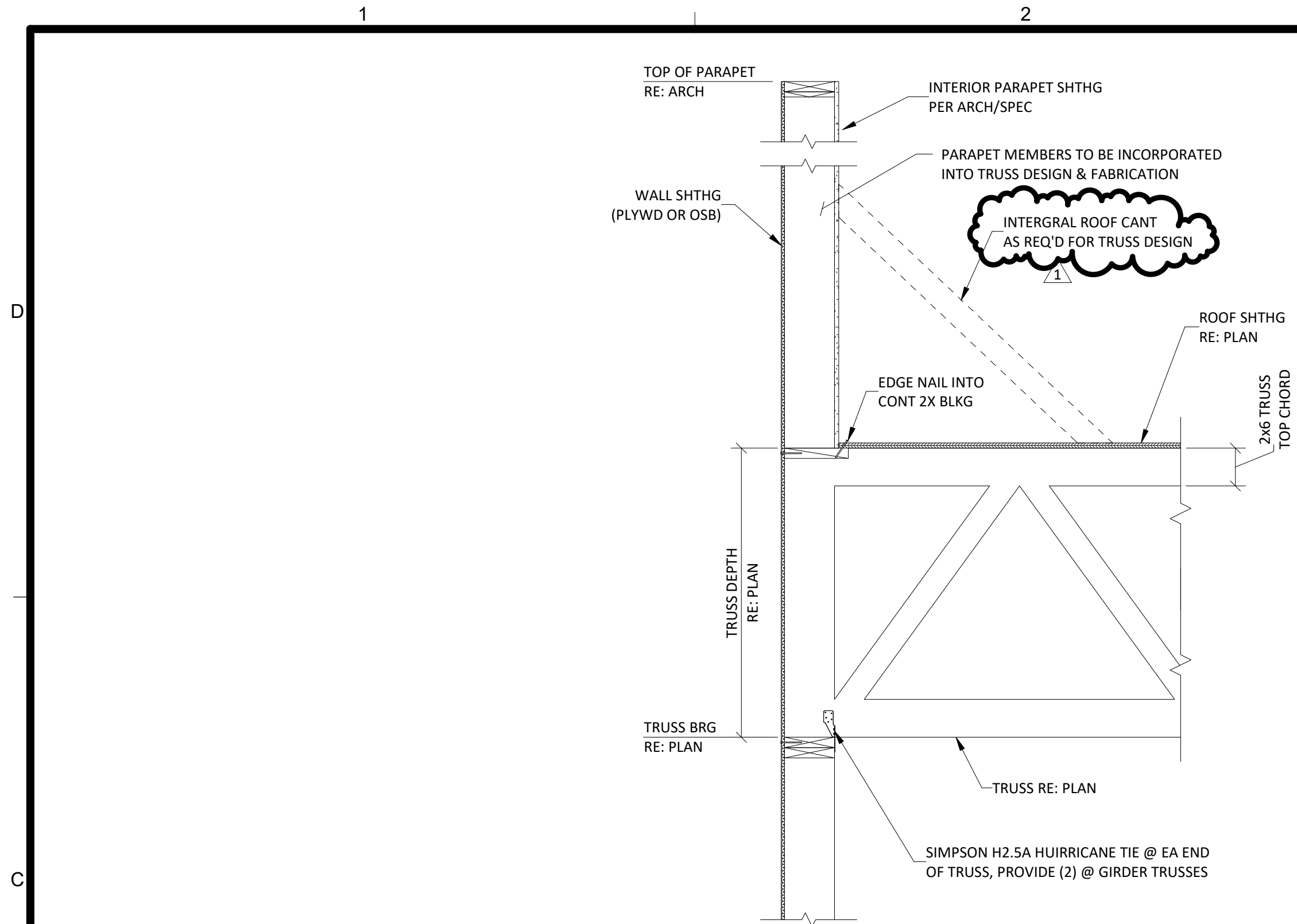
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SHEET TITLE
FRAMING DETAILS &
SECTIONS I

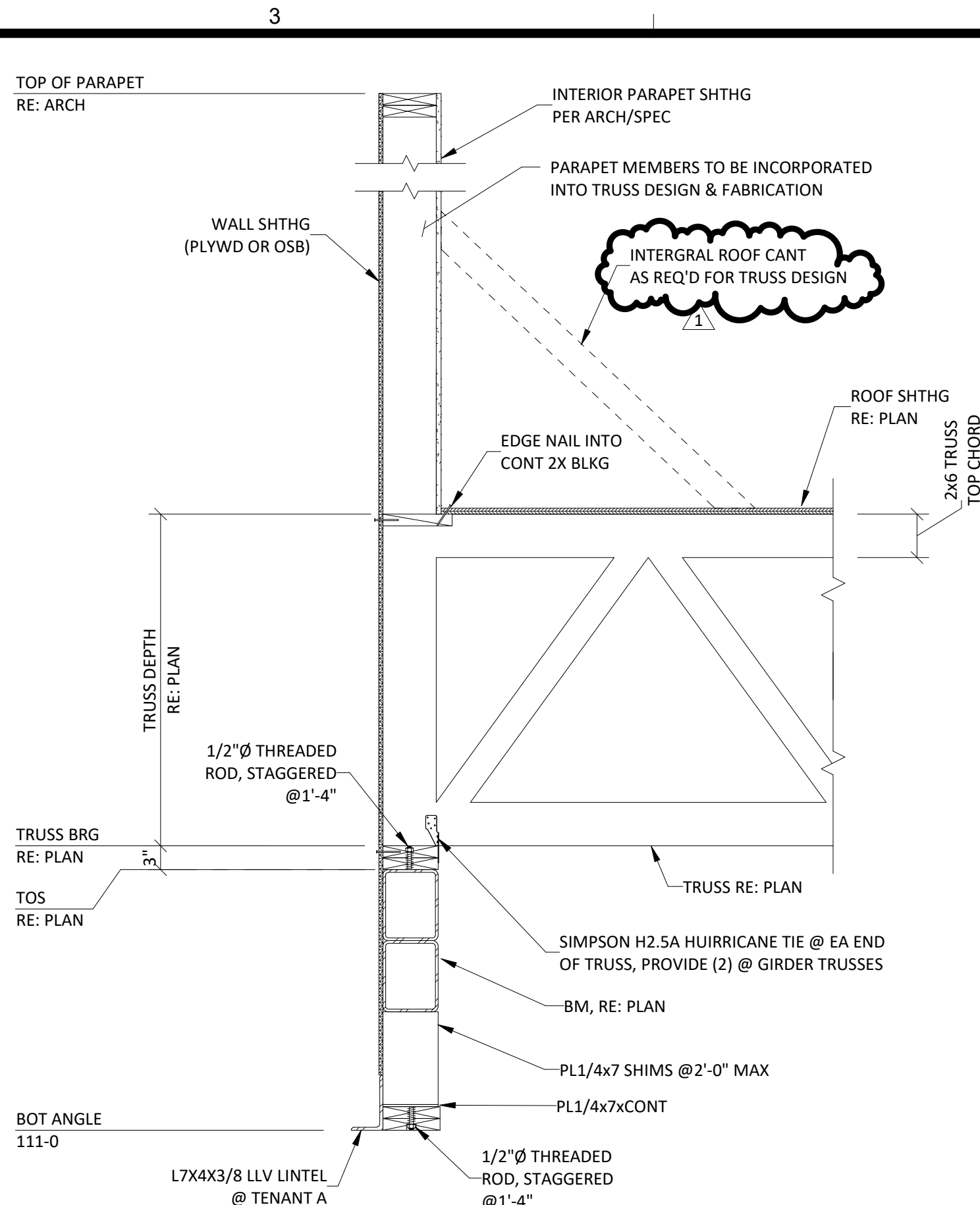
PROJECT NUMBER
190224

SHEET NUMBER
S-601

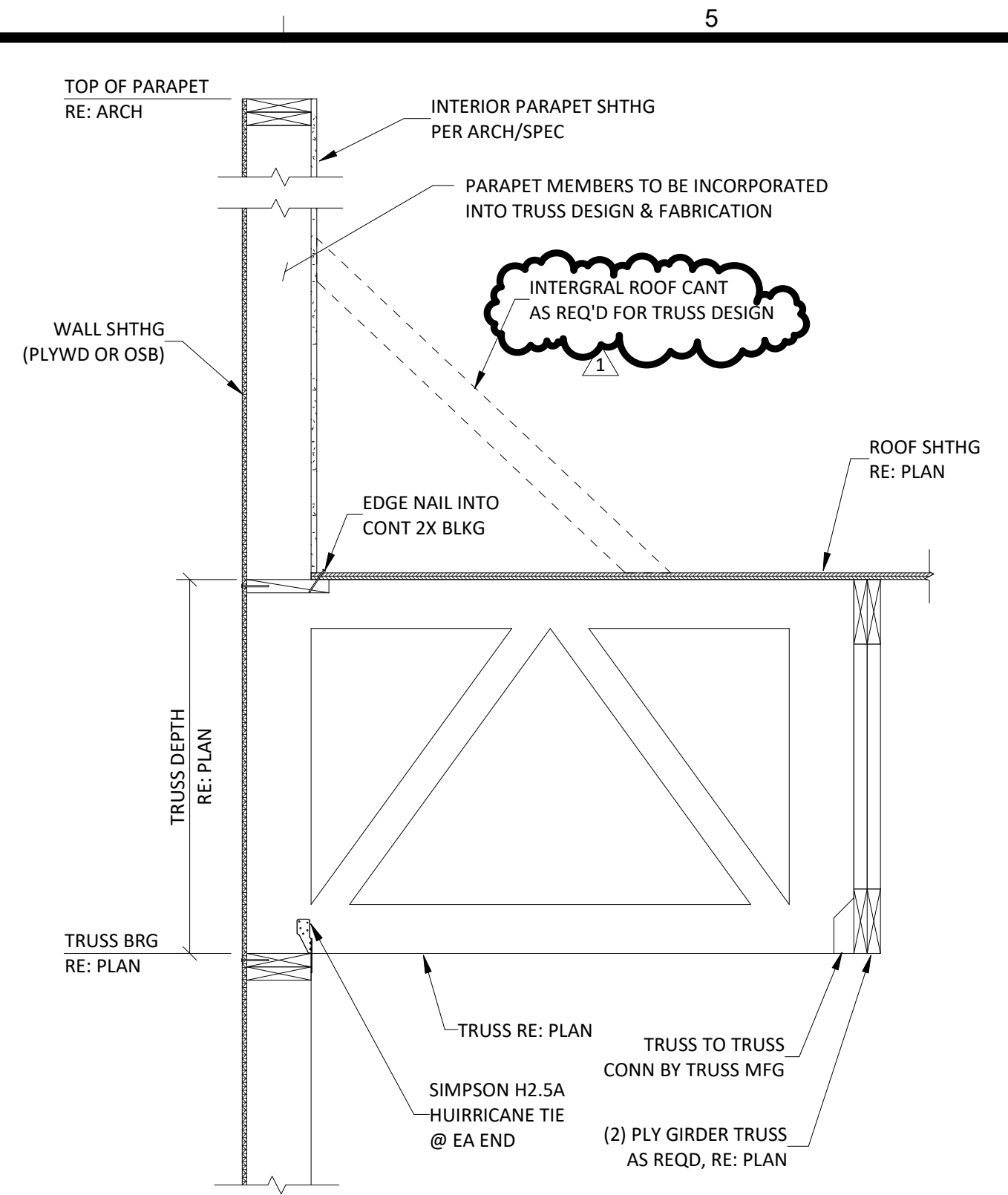
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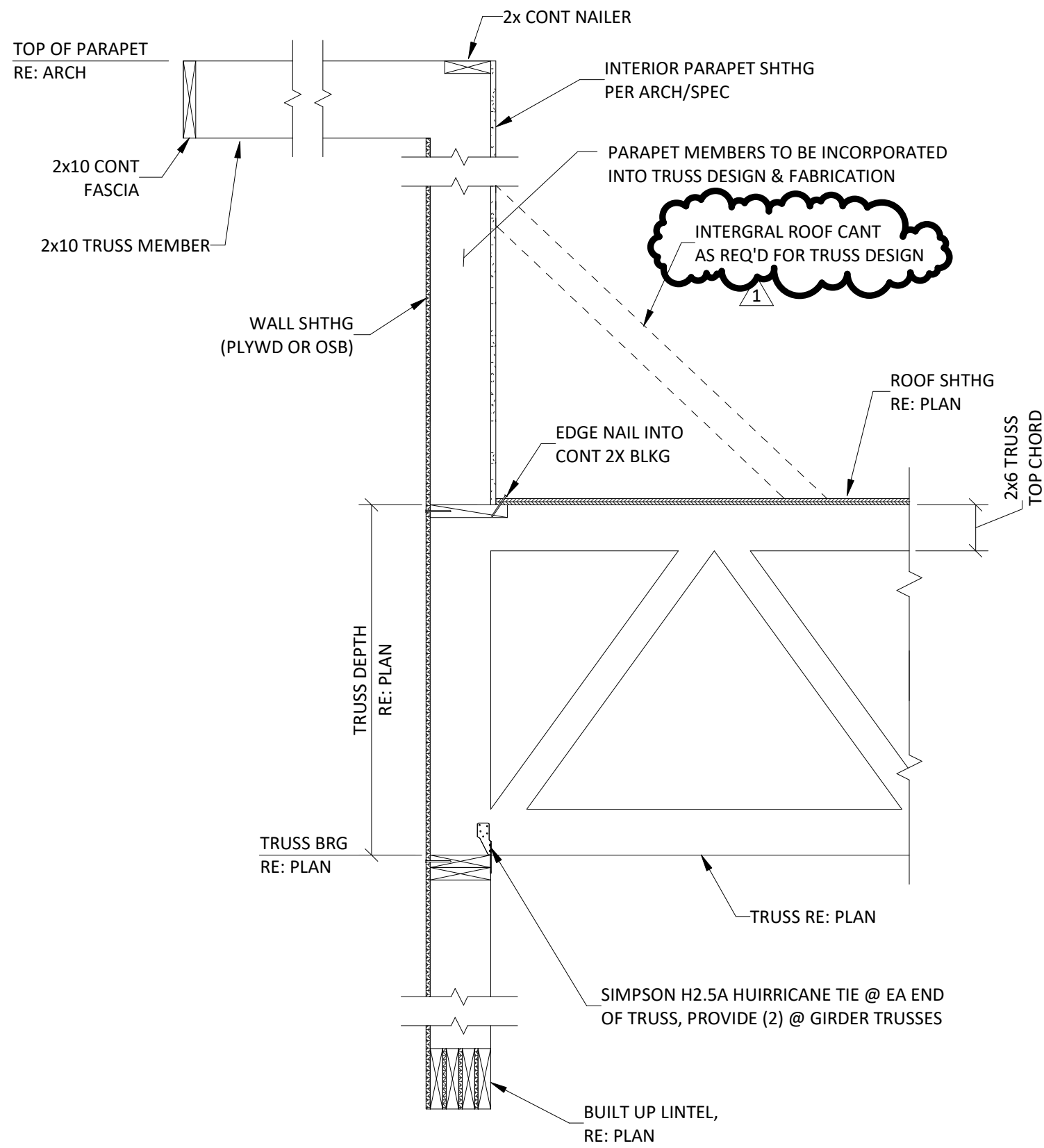
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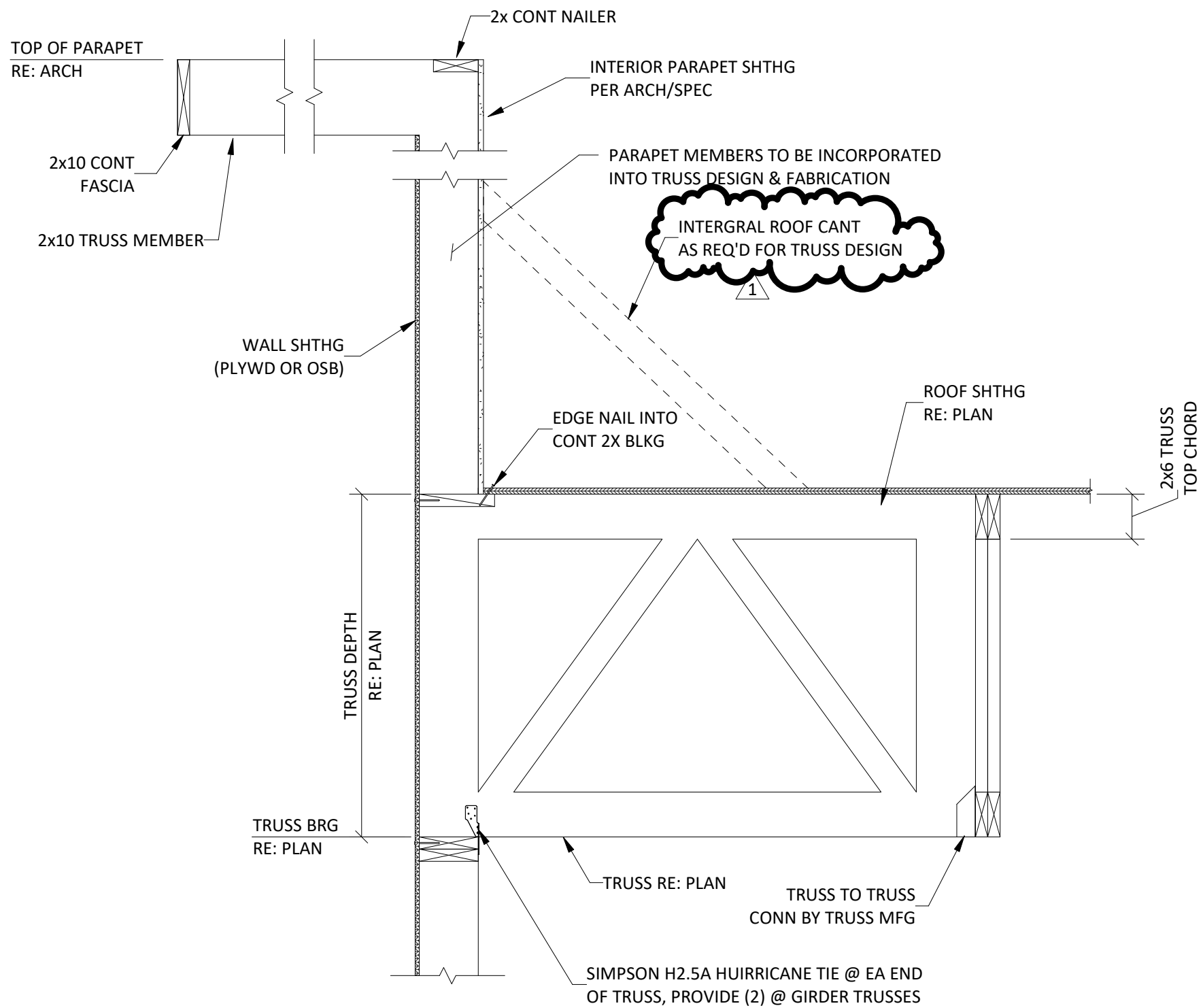
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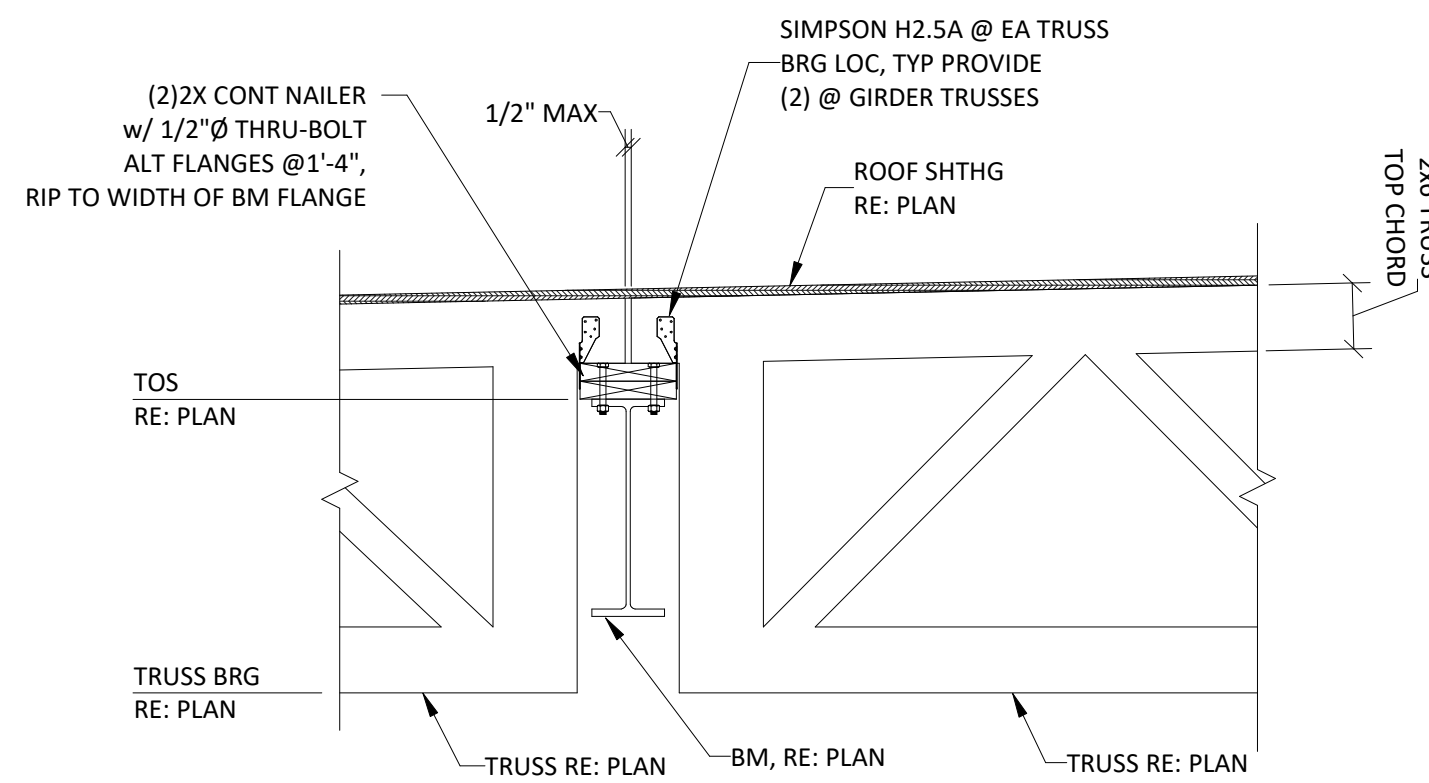
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D SECTION
SCALE: NONE



E SECTION
SCALE: NONE



F SECTION
SCALE: NONE

CERTUS
STRUCTURAL ENGINEERS
900 S. Kansas Avenue; Suite 400
Topeka, Kansas 66612
Phone: (785) 291-0400
Fax: (785) 291-0401
Proj #:01190008.110
Certificate Of Authorization
E-1392
Revit 2020 Local

schwerdt design group
architecture | interiors | planning
2231 sw wanamaker rd suite 303
topeka, kansas 66614-4275
phone: 785.213.7540
fax: 785.273.7579
500 north broadway suite 200
oklahoma city, ok 73102
phone: 405.231.3105
fax: 405.231.3115

ARON M. SCOTT
LICENSED PROFESSIONAL ENGINEER
20945
04/24/20
KANSAS

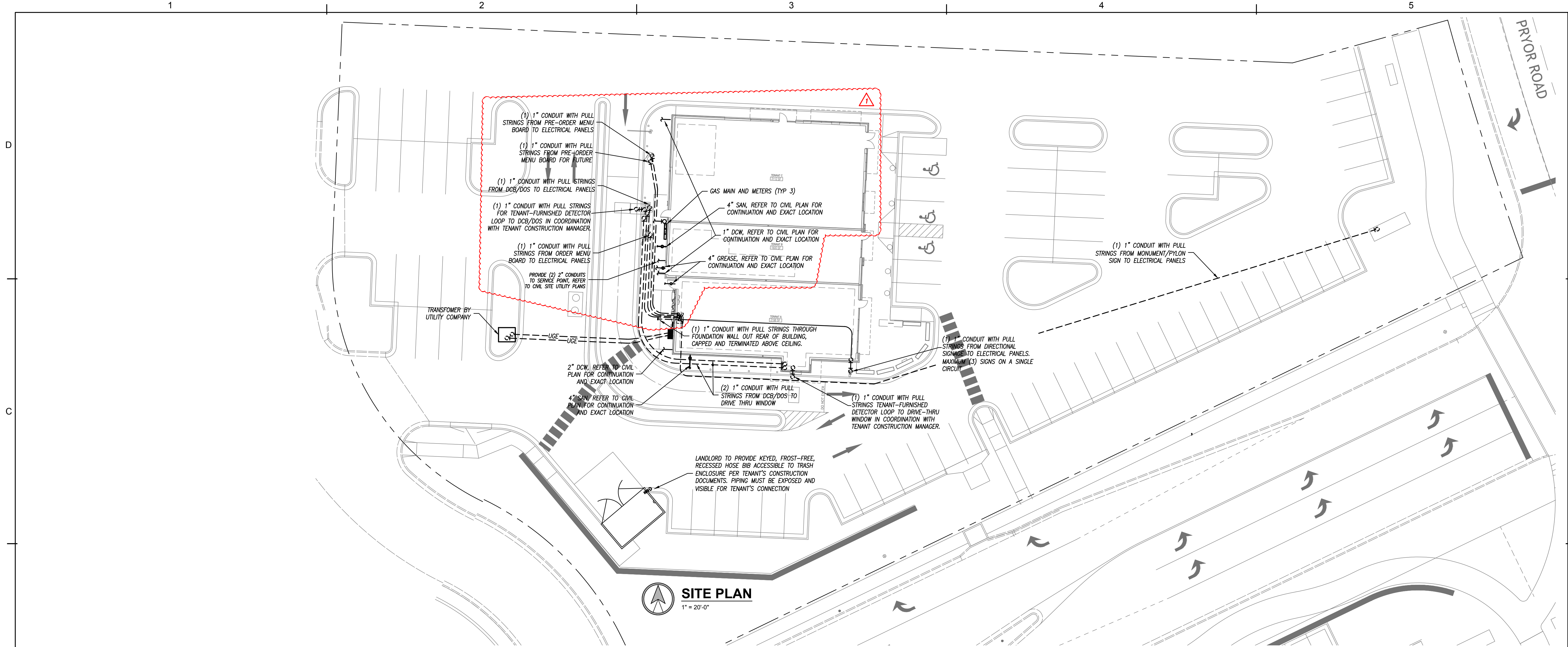
MULTI-TENANT BUILDING - LOT #3
STREETS OF WEST PRYOR
LEE'S SUMMIT, MISSOURI

SUBMISSION DATES
03/31/20
ASI #1 04/23/20

SHEET TITLE
FRAMING DETAILS & SECTIONS II

PROJECT NUMBER
190224

SHEET NUMBER
S-602



FIRE SEALING NOTES

- COORDINATE CONSTRUCTION OF OPENINGS AND PENETRATING ITEMS TO ENSURE THAT THROUGH-PENETRATION FIRESTOP SYSTEMS ARE INSTALLED ACCORDING TO SPECIFIED AND APPLICABLE UL REQUIREMENTS.
- COORDINATE SIZING OF SLEEVES, OPENINGS, CORE-DRILLED HOLES, OR CUT OPENINGS TO ACCOMMODATE THROUGH-PENETRATION FIRESTOP SYSTEMS.
- DO NOT COVER UP THROUGH-PENETRATION FIRESTOP SYSTEM INSTALLATIONS UNTIL EXAMINED BY INSPECTOR, IF REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- COMPATIBILITY: PROVIDE THROUGH-PENETRATION FIRESTOP SYSTEMS THAT ARE COMPATIBLE WITH ONE ANOTHER, WITH THE SUBSTRATES FORMING OPENINGS, AND WITH THE ITEMS, IF ANY, PENETRATING THROUGH-PENETRATION FIRESTOP SYSTEMS, UNDER CONDITIONS OF SERVICE AND APPLICATION, AS DEMONSTRATED BY THROUGH-PENETRATION FIRESTOP SYSTEM MANUFACTURER BASED ON TESTING AND FIELD EXPERIENCE.
- PROVIDE COMPONENTS FOR EACH THROUGH-PENETRATION FIRESTOP SYSTEM THAT ARE NEEDED TO INSTALL FILL MATERIALS. USE ONLY COMPONENTS SPECIFIED BY THROUGH-PENETRATION FIRESTOP SYSTEM MANUFACTURER AND APPROVED BY QUALIFIED TESTING AND INSPECTING AGENCY FOR FIRESTOP SYSTEMS INDICATED.
- PROVIDE SLEEVES THROUGH ALL FIRE-RATED WALLS AND FILL VOIDS SURROUNDING SLEEVES AND INTERIOR TO SLEEVES AROUND PIPING WITH FIRE STOP PUTTY WITH U.L. LISTED 3 HOUR RATING INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS.
- FIRE SEAL ALL PIPING, CONDUIT, CABLE, ETC PENETRATIONS ROUTED THROUGH FIRE RATED WALLS.
- PROVIDE FIRE RATED ENCLOSURES OR WRAPS ON LIGHT FIXTURES AND OTHER ITEMS PENETRATING FIRE RATED CEILINGS, FLOOR/CEILING/ CEILING/ROOF ASSEMBLIES TO MAINTAIN UL LISTING FOR CONSTRUCTION.

GEN. MECHANICAL NOTES

- COMPLETE INSTALLATION SHALL BE IN ACCORDANCE WITH THE LATEST ADOPTED VERSION OF THE INTERNATIONAL MECHANICAL CODE, LOCAL AND STATE CODES, AND REQUIREMENTS OF THE A/H.
- ANY POWER FOR CONTROL SYSTEMS TO BE PROVIDED BY E/C IS INDICATED ON ELECTRICAL PLANS. ANY ADDITIONAL LINE VOLTAGE OR LOW VOLTAGE POWER REQUIRED BY THE M/C OR SUBCONTRACTORS TO HAVE A FULLY FUNCTIONING SYSTEM SHALL BE PROVIDED BY THE M/C CONTRACTOR OR SUBS.
- ALL EQUIPMENT SHALL BE ADEQUATELY AND PROPERLY SUPPORTED AND FASTENED FROM STRUCTURE.
- ALL EQUIPMENT AND ACCESSORIES INSTALLED IN CONCEALED SPACES REQUIRING ACCESS SHALL BE PROVIDED WITH ACCESS DOORS MEETING ANY FIRE REQUIREMENTS OF THE WALL/CEILING THEY ARE INSTALLED.
- EACH AIR HANDLING UNIT OVER 2000CFM SHALL BE PROVIDED WITH A SMOKE DETECTOR TO SHUT DOWN THE UNIT PER IMC 606 AS REQUIRED BY A/H. COORDINATE WITH OTHER TRADES.
- START UP AND ADJUST ALL EQUIPMENT AND VERIFY ALL MECHANICAL SYSTEMS IN OPERATE IN ACCORDANCE WITH THEIR INTENDED PURPOSES. SUBMIT BALANCE AND START UP REPORTS TO THE A/E. REFER TO SPECIFICATIONS FOR ANY ADDITIONAL REQUIREMENTS.

GENERAL PLUMBING NOTES

- COMPLETE INSTALLATION SHALL BE IN ACCORDANCE WITH THE LATEST ADOPTED VERSION OF THE INTERNATIONAL PLUMBING CODE, LOCAL AND STATE CODES, AND REQUIREMENTS OF THE A/H.
- NO PIPING SHALL BE INSTALLED WHERE IT WILL SUBJECT TO FREEZING TEMPERATURES. PIPING IN EXTERIOR WALLS SHALL BE INSTALLED ON THE WARM SIDE OF BUILDING INSULATION, INSULATED AND THE CHASE SHALL BE VENTILATED WITH GRILLES ALLOWING INDOOR AMBIENT CONDITIONS TO CIRCULATE THROUGH THE CHASE.
- PROVIDE CLEANOUTS IN THE FOLLOWING LOCATIONS:
 - IN ALL HORIZONTAL DRAINS (WITHIN THE BUILDING) NOT MORE THAN 100 FEET APART.
 - IN BUILDING SEWERS LOCATED NO MORE THAN 100 FEET APART MEASURED FROM THE UPSTREAM ENTRANCE OF THE CLEANOUT.
 - EACH CHANGE OF DIRECTION OF THE BUILDING DRAIN OR HORIZONTAL WASTE OR SOIL LINES GREATER THAN 45 DEGREES.WHERE MORE THAN ONE CHANGE OF DIRECTION OCCURS IN A RUN OF PIPING, ONLY ONE CLEANOUT SHALL BE REQUIRED FOR EACH 40 FEET OF DEVELOPED LENGTH OF THE DRAINAGE PIPING.
 - AT THE BASE OF EACH WASTE OR SOIL STACK.
 - NEAR THE JUNCTION OF THE BUILDING DRAIN AND BUILDING SEWER.

COORDINATION NOTES

- COORDINATE REQUIREMENTS FOR INSTALLATION OF SYSTEMS AND EQUIPMENT WITH ALL OTHER TRADES.
- THE CONTRACTOR SHALL COORDINATE THE ROUTING AND PATH OF ALL SYSTEMS, CONDUITS, PIPES, DUCTS, ETC WITH THE POSITION AND LAYOUT OF THE STRUCTURE. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR SYSTEMS AND COMPONENTS AS NEEDED TO INSTALL THE MEP SYSTEMS TO CLEAR STRUCTURE, CEILINGS, ETC AND OTHER SYSTEMS IN POTENTIAL CONFLICT WITH ROUTING.
- COORDINATE WORK WITH OTHER TRADES TO INSTALL SYSTEMS ABOVE CEILING HEIGHTS INDICATED ON ARCHITECTURAL PLANS.
- CHECK SPACE REQUIREMENTS WITH OTHER TRADES AND STRUCTURE/CONSTRUCTION TO INSURE THAT ALL MATERIALS AND EQUIPMENT CAN BE INSTALLED IN THE SPACE ALLOTTED INCLUDING FINISHED SUSPENDED CEILINGS AND OTHER SPACES, CHASES, ETC WITHIN THE BUILDING. MAKE MODIFICATIONS THERETO AS REQUIRED AND APPROVED.
- TRANSMIT TO OTHER TRADES ALL INFORMATION REQUIRED FOR WORK TO BE PROVIDED UNDER THEIR RESPECTIVE SECTIONS IN AMPLE TIME FOR INSTALLATION.
- WHEREVER WORK INTERCONNECTS WITH WORK OF OTHER TRADES, COORDINATE WITH THOSE TRADES TO INSURE THAT ALL SUBCONTRACTORS HAVE THE INFORMATION NECESSARY SO THAT THEY MAY PROPERLY INSTALL ALL CONNECTIONS AND EQUIPMENT. IDENTIFY ALL ITEMS OF WORK THAT REQUIRE ACCESS SO THAT THE CEILING TRADE WILL KNOW WHERE TO INSTALL ACCESS DOORS AND PANELS.
- COORDINATE, PROJECT AND SCHEDULE WORK WITH OTHER TRADES IN ACCORDANCE WITH THE CONSTRUCTION SEQUENCE.
- DRAWINGS SHOW THE GENERAL RUNS OF CONDUITS, PIPING AND DUCTWORK AND APPROXIMATE LOCATION OF OUTLETS. ANY SIGNIFICANT CHANGES IN LOCATION OF ITEMS NECESSARY IN ORDER TO MEET FIELD CONDITIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT/ENGINEER AND RECEIVE HIS APPROVAL BEFORE SUCH ALTERATIONS ARE MADE. ALL SUCH MODIFICATIONS SHALL BE MADE WITHOUT ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION AND REPAIR OF SURFACES, AREAS AND PROPERTY THAT MAY BE DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES.
- ADJUST LOCATION OF PIPING, DUCTWORK, ETC. TO PREVENT INTERFERENCES, BOTH ANTICIPATED AND ENCOUNTERED. DETERMINE THE EXACT ROUTE AND LOCATION OF EACH ITEM PRIOR TO FABRICATION. MAKE OFFSETS, TRANSITIONS AND CHANGES IN DIRECTION IN SYSTEMS AS REQUIRED TO MAINTAIN ADEQUATE CLEARANCES AND HEADROOM.
- WHenever the work is of sufficient complexity, PREPARE ADDITIONAL COORDINATION DRAWINGS AND ORGANIZE ON-SITE MEETINGS WITH ALL RELATED SUBCONTRACTORS TO COORDINATE THE WORK BETWEEN TRADES. DRAWINGS SHALL CLEARLY SHOW THE WORK AND ITS RELATION TO THE WORK OF OTHER TRADES, AND BE SUBMITTED FOR REVIEW PRIOR TO COMMENCING SHOP FABRICATION OR ERECTION IN THE FIELD.
- COORDINATE WITH LOCAL UTILITY PROVIDERS FOR THEIR REQUIREMENTS FOR SERVICE CONNECTIONS AND PROVIDE ALL NECESSARY PAYMENTS, MATERIALS, LABOR AND TESTING TO ACCOMPLISH THE WORK.

GENERAL NOTES

- SOME ROOM NAMES MAY NOT BE SHOWN FOR PURPOSE OF CLARIFYING PLAN. REFER TO ARCHITECTURAL PLANS FOR REFERENCE TO ROOM NAMES NOT SHOWN.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN AND KEEP AT THE JOB SITE, AN UP TO DATE SET OF "RECORD DRAWINGS" SHOWING ALL CHANGES FROM THE ORIGINAL PLANS. THE CONTRACTOR SHALL DELIVER THE "RECORD DRAWINGS" TO THE ENGINEER AT THE CONCLUSION OF THE PROJECT ELECTRONICALLY.
- THESE DRAWINGS ARE DIAGRAMMATIC. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS (NEW AND EXISTING), DIMENSIONS, AND CLEARANCES PRIOR TO THE COMMENCEMENT OF WORK AND SHALL INCLUDE ALL COSTS, EQUIPMENT, MATERIAL, ACCESSORIES, ETC. REQUIRED FOR A FULLY COMPLETE, FUNCTIONAL AND CODE COMPLIANT INSTALLATION.
- FINAL LOCATIONS OF ALL DEVICES, LIGHT FIXTURES, EQUIPMENT ETC SHALL BE INDICATED ON THE ARCHITECTURAL DRAWINGS. ALL DIMENSIONAL INFORMATION SHALL BE OBTAINED FROM ARCHITECTURAL PLANS. NO DIMENSIONAL INFORMATION SHALL BE OBTAINED FROM MEP DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS, APPROVALS, LICENSES, ETC. AS NEEDED FOR THE COMPLETE INSTALLATION AND PROJECT. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR ALL FEES AND DATA NEEDED FOR THIS.

GENERAL ELECTRICAL NOTES

- COMPLETE INSTALLATION SHALL BE IN ACCORDANCE WITH THE LATEST ADOPTED VERSION OF THE NATIONAL ELECTRICAL CODE, LOCAL AND STATE CODES, AND REQUIREMENTS OF THE A/H.
- COORDINATE LOCATIONS OF RECEPTACLES, SWITCHES, ETC. WITH ARCHITECTURAL CASEWORK AND ELEVATIONS.
- REFER TO MOUNTING HEIGHTS DETAIL FOR MOUNTING HEIGHTS OF ALL DEVICES NOT INDICATED OTHERWISE.
- PROVIDE ALL EMPTY CONDUITS WITH PULL STRINGS AND BUSHED ENDS.
- CONTRACTOR SHALL CONCEAL ALL CONDUIT, FITTINGS, AND DEVICES FROM VIEW WHERE REASONABLY POSSIBLE.



2231 sw wanamaker rd suite 303
topeka, kansas 66614-4276
phone: 785.273.7540
500 north broadway suite 200
oklahoma city, ok 73102
phone: 405.231.3105



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MULTI-TENANT BUILDING
STREETS OF WEST PRYOR, LOT 3
LEE'S SUMMIT, MO

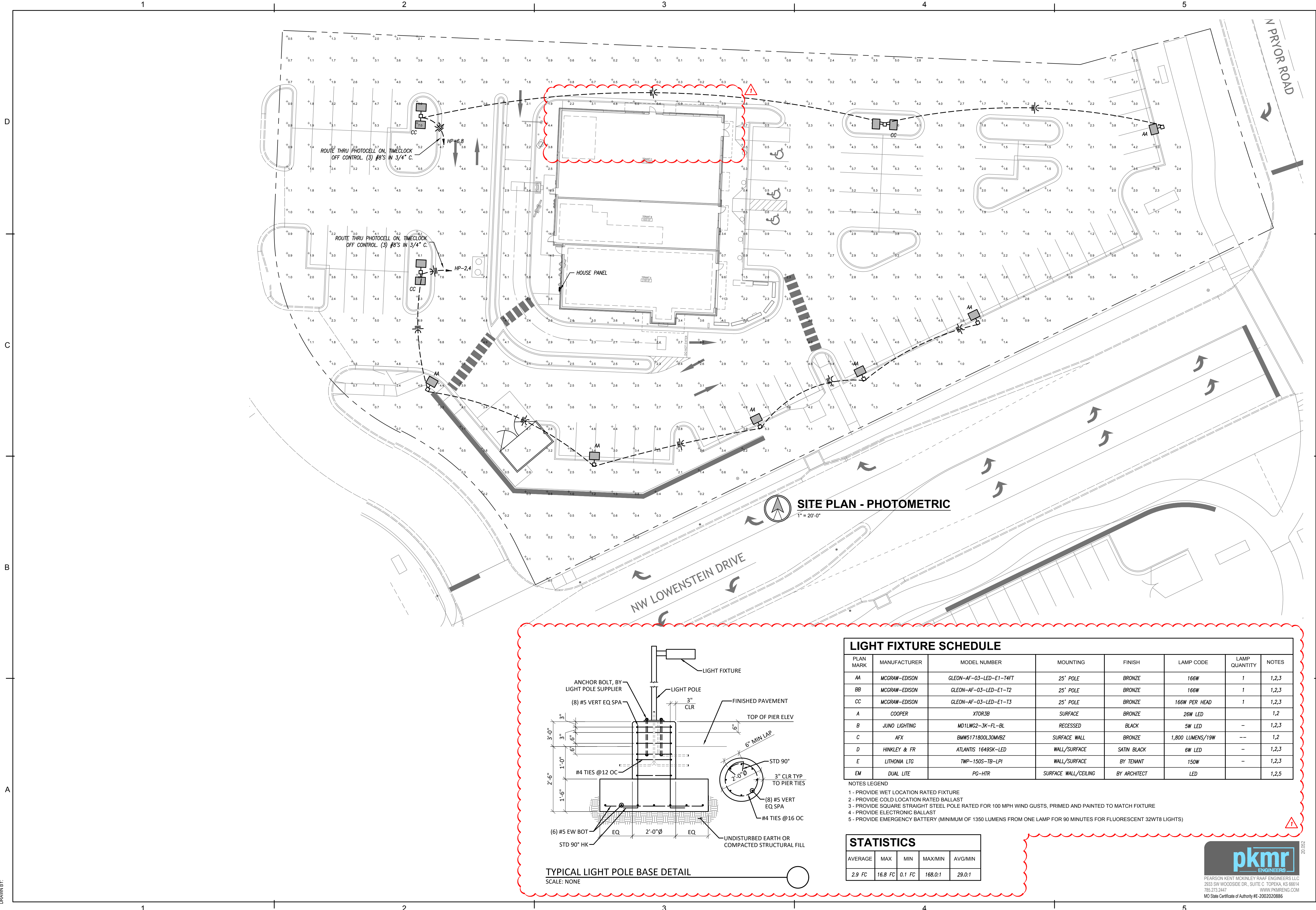
SUBMISSION DATES

MARCH 31, 2020
ASI #1 4/23/2020

SHEET TITLE
SITE PLAN

PROJECT NUMBER
190224

SHEET NUMBER
ME-101



schwerdt design group
architecture | interiors | planning
2231 sw wanamaker rd suite 303
topeka, kansas 66614-4275
phone: 785.273.7040
500 north broadway suite 200
oklahoma city, ok 73102
phone: 405.231.3105

STATE OF MISSOURI
Scott W. McKinley
NUMBER PE-2016007380
03/03/2020
PROFESSIONAL ENGINEER

MO State Certificate of Authority #E-2002020886

**MULTI-TENANT BUILDING
STREETS OF WEST PRYOR, LOT 3
LEE'S SUMMIT, MO**

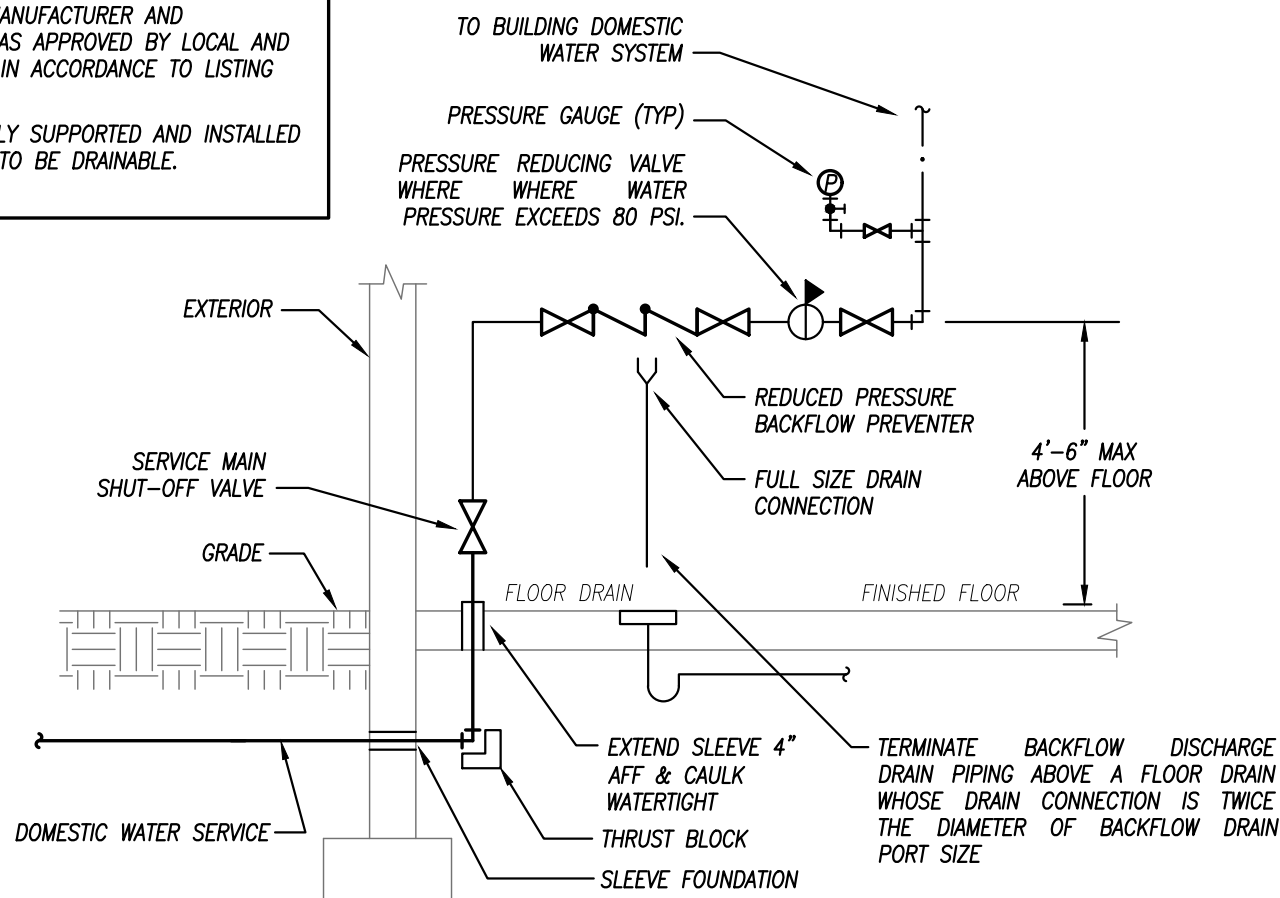
SUBMISSION DATES	
MARCH 31, 2020	
ASI #1	4/23/2020

SHEET TITLE
PHOTOMETRIC PLAN

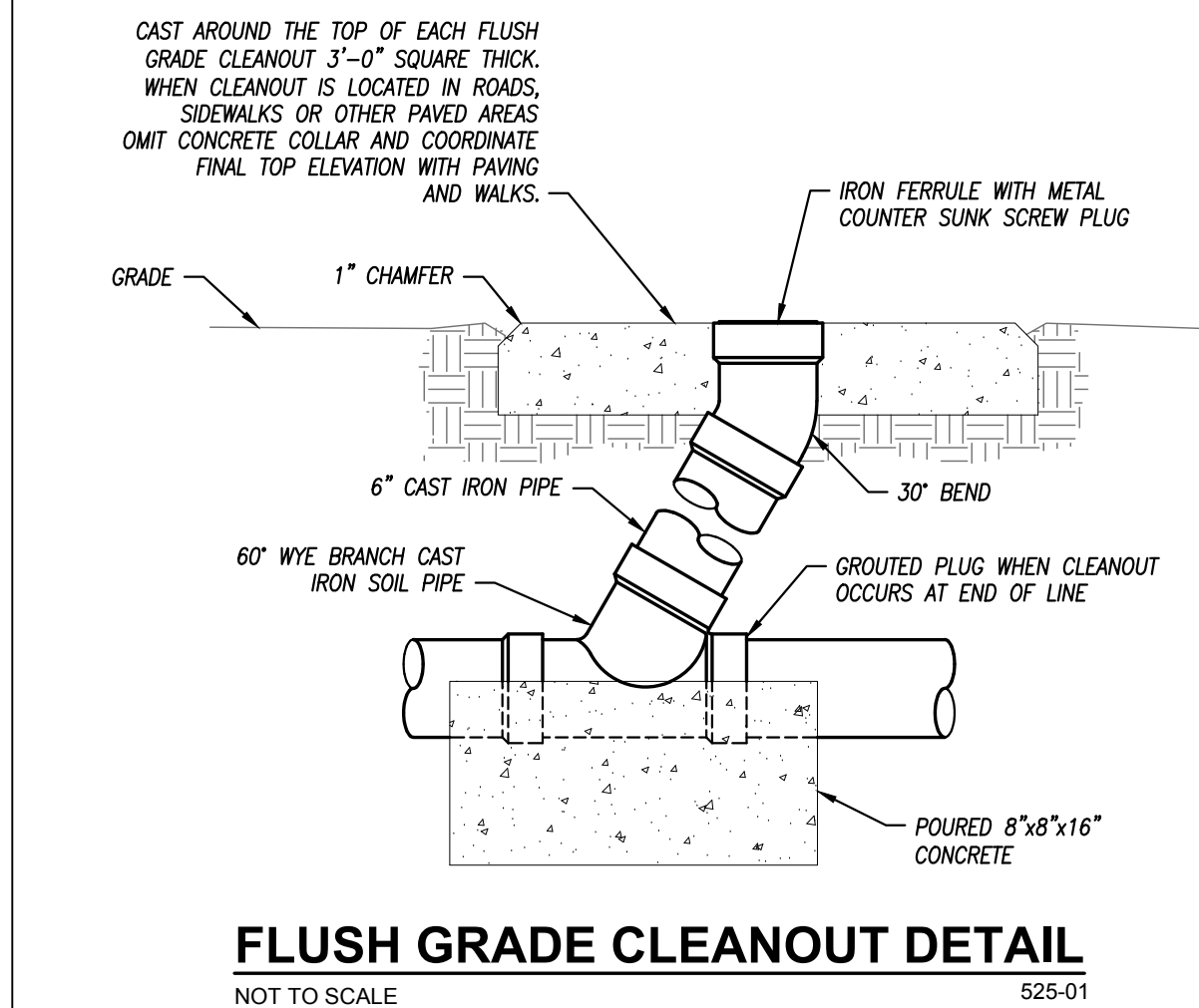
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SHEET NUMBER
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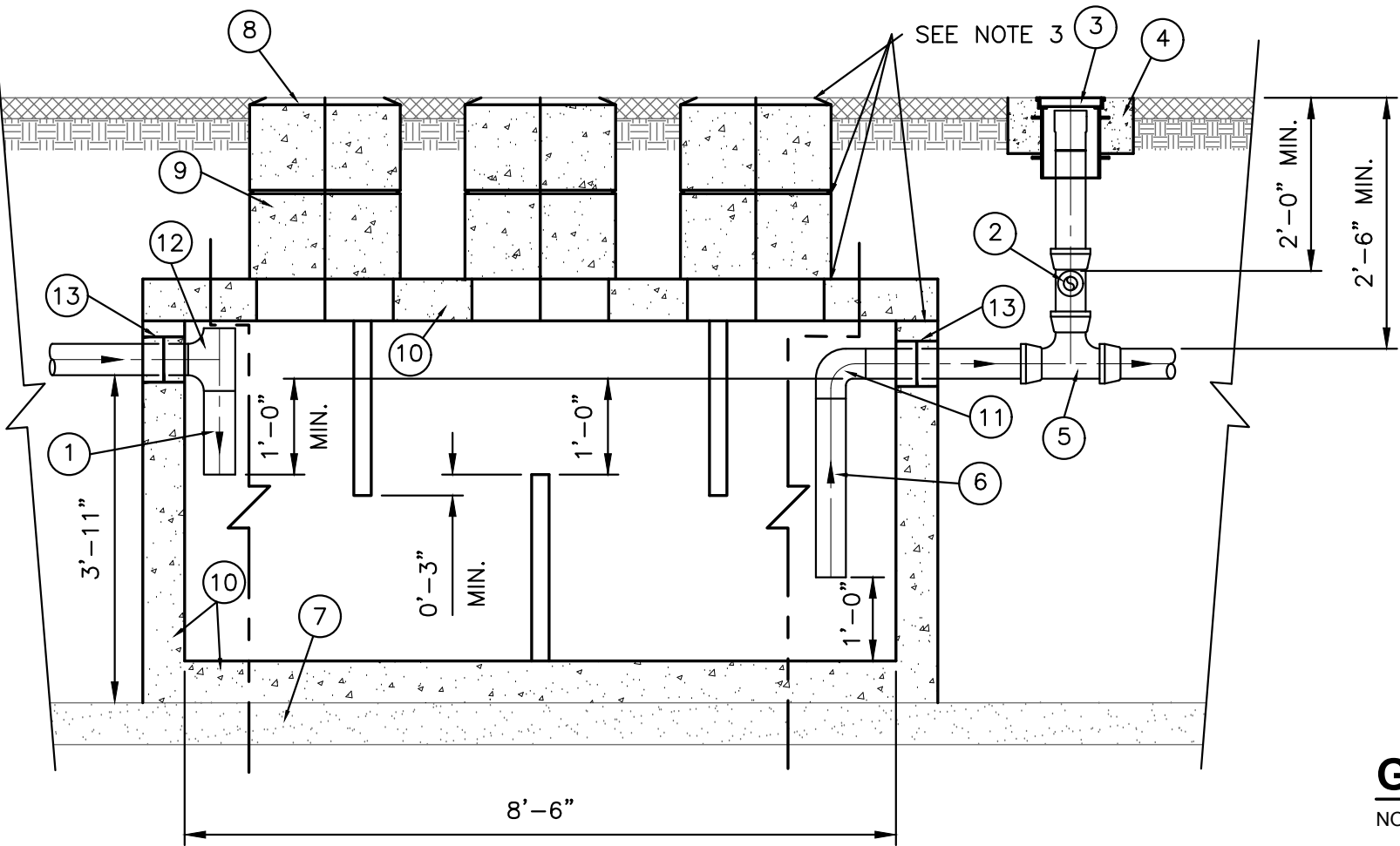
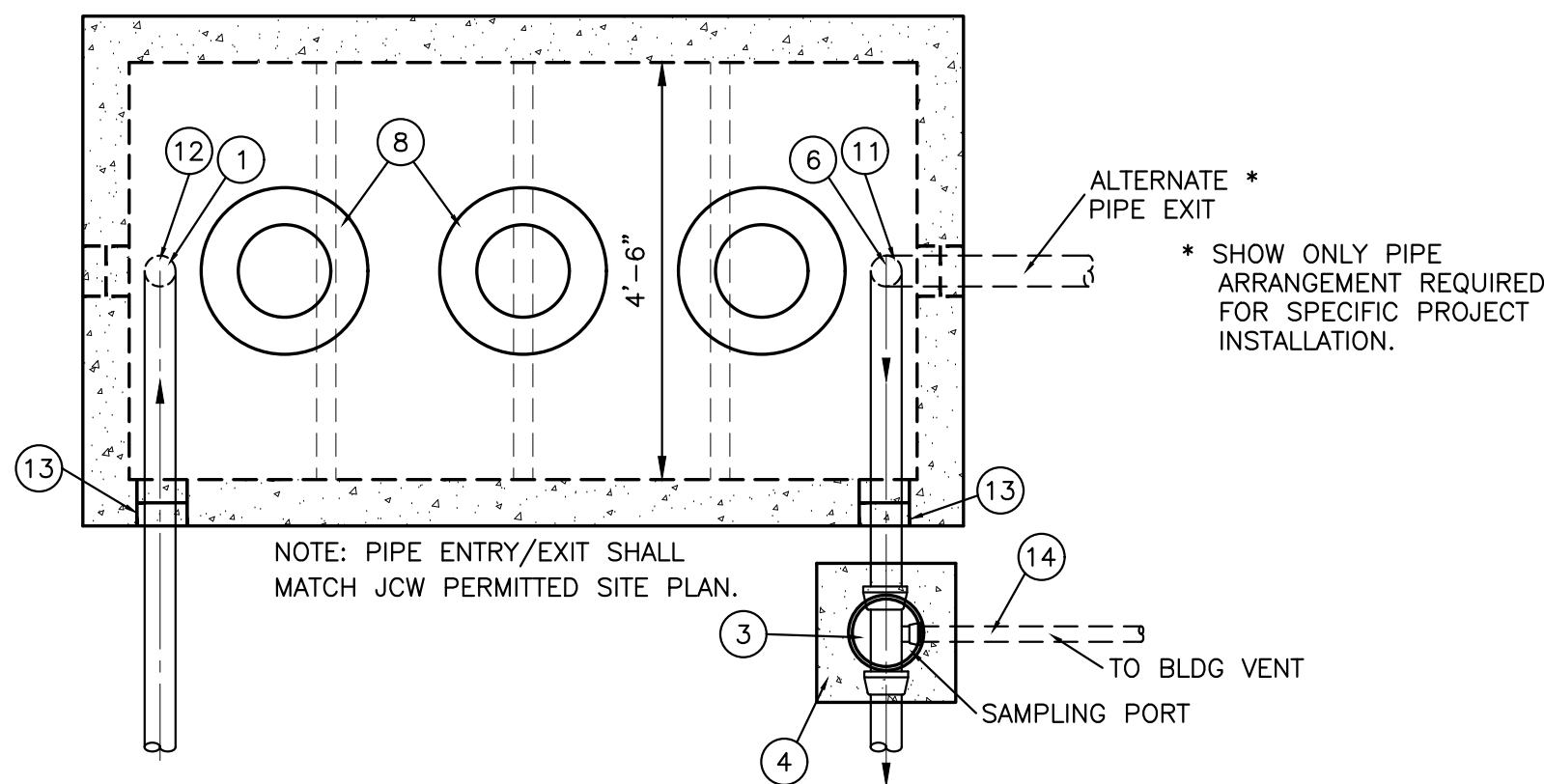
NOTES:
1. BACKFLOW PREVENTER MANUFACTURER AND INSTALLATION SHALL BE AS APPROVED BY LOCAL AND STATE AUTHORITIES AND IN ACCORDANCE TO LISTING OF DEVICE.
2. ALL PIPING TO BE RIGIDLY SUPPORTED AND INSTALLED IN SUCH A MANNER AS TO BE DRAINABLE.



**WATER SERVICE
REDUCED PRESSURE BACKFLOW PREVENTER DETAIL**
NOT TO SCALE
KCMO STANDARDS
511-02k



FLUSH GRADE CLEANOUT DETAIL
NOT TO SCALE
525-01



GREASE INTERCEPTOR DETAIL
NOT TO SCALE
523-01

GREASE INTERCEPTOR SCHEDULE

MANUFACTURER	MODEL NO.	CAPACITY US gal	FULL WT (LBS)	LENGTH L	WIDTH W	HEIGHT H	INLET FL1	OUTLET FL2	NOTES
OLD CASTLE	GI-1500	1500	20255	60	90"	84"	26"	26"	1

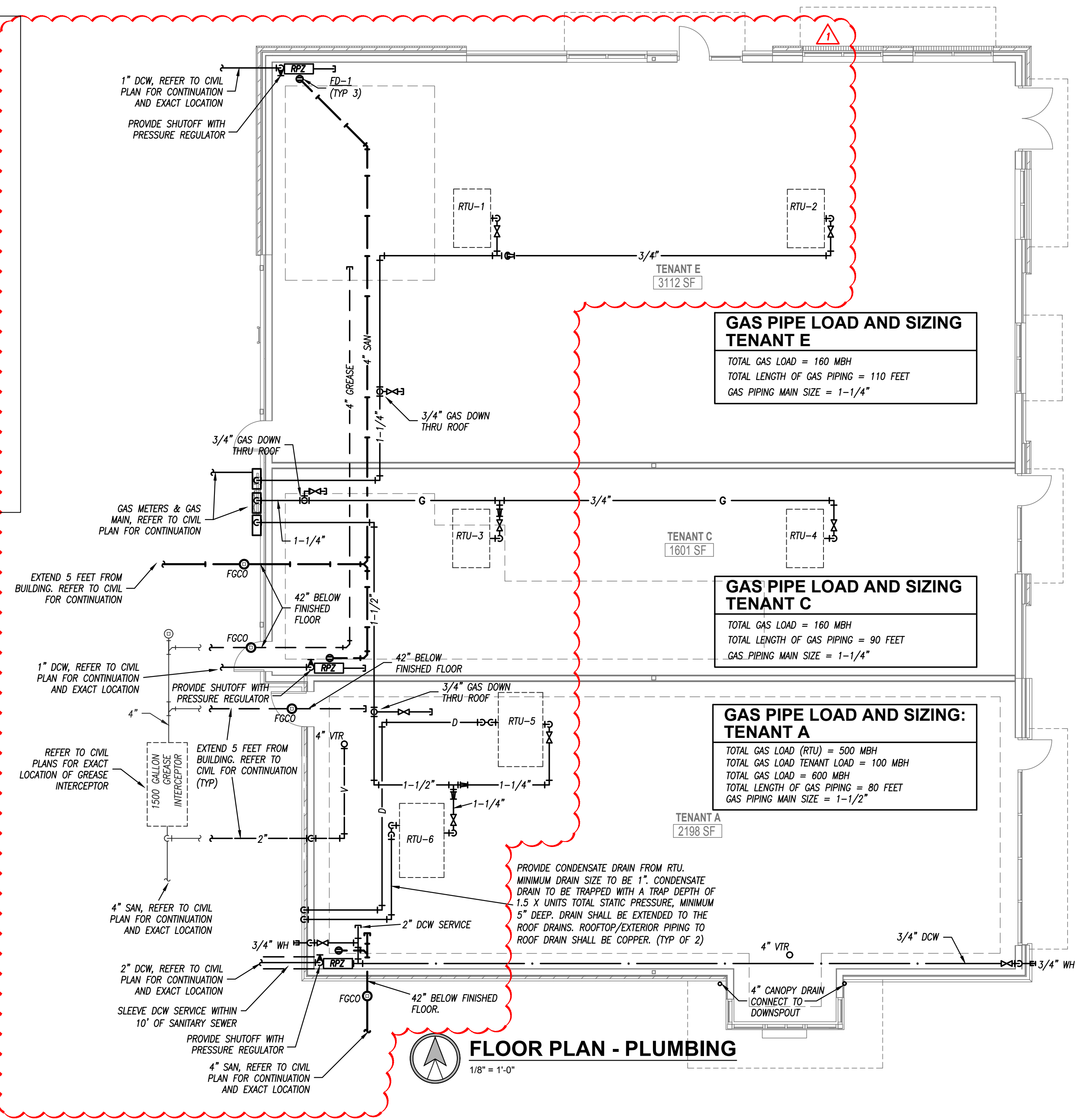
NOTES
1. REINFORCED TANK WITH MESH THROUGHOUT. REINFORCED LID FOR DRIVE AREA. 4000 LB CONCRETE.

ITEM	DESCRIPTION
1	4" ABS INLET PIPE*
2	4"x4"x2" TEE WITH 2" PIPE TO BUILDING VENT*
3	THREADED C/O CAP JOSAM 58860 OR APP EQUAL**
4	CONCRETE PAD
5	4"x4"x4" TWO-WAY CLEANOUT TEE*
6	4" ABS OUTLET*
7	4" - 6" GRAVEL BEDDING
8	HEAVY-DUTY CAST IRON FRAME AND COVER ***
9	CONCRETE ADJUSTMENT RINGS
10	REINFORCE AS REQUIRED FOR SERVICE CONDITIONS
11	4" ABS 90° ELBOW*
12	4" ABS TEE*
13	A-LOK OR PRESS SEAL PSX PIPE/WALL CONNECTOR
14	2" VENT PIPE

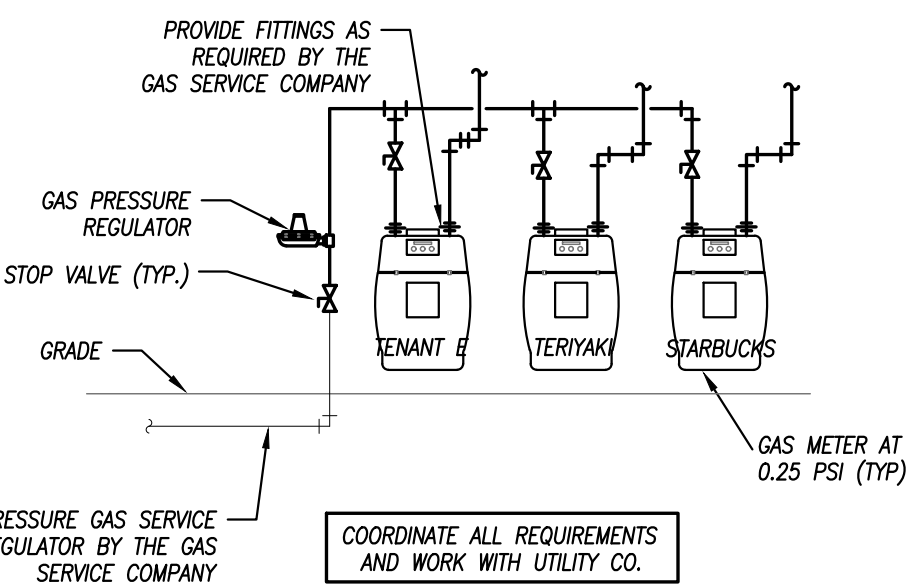
* 6" PIPE MAY BE SUBSTITUTED TO MATCH UPSTREAM PIPE DIAMETER.
** REFER TO CLEAN OUT DETAIL(S) ON STANDARD DETAIL SHEET.
*** CLAY & BAILEY 2008 BV OR EQUAL (FROST PROOF COVERS OPTIONAL)

NOTES:

- THREE COVERS AND RISERS SHOWN. TWO COVERS AND RISERS CENTERED OVER UPPER TWO BAFFLES ARE OPTIONAL.
- INTERCEPTOR SIZE - 1500 GAL MINIMUM
- ALL JOINTS AT THE FRAME & COVER*, CONCRETE ADJUSTMENT RINGS AND THE LID OF THE INTERCEPTOR SHALL BE SEALED WITH A MINIMUM OF TWO (2) ROWS OF 3/4 TO 1 INCH PREFORMED BUTYL JOINT SEALER AND A 6" BUTYL JOINT WRAP AROUND SLEEVE (EZ WRAP). THE ENDS OF THE 6" EZ WRAP SHALL OVERLAP BY 12".
- PIPING ON THE INTERIOR OF THE INTERCEPTOR SHALL BE ABS WITH SOLVENT-CEMENTED JOINTS
- GREASE INTERCEPTOR INCLUDING ADJUSTMENT RINGS AND CASTINGS SHALL BE VACUUM TESTED FOR WATER TIGHTNESS AFTER THE BACKFILL OPERATIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH JOW TECHNICAL SPECIFICATIONS. A VACUUM OF 10 INCHES OF MERCURY SHALL BE DRAWN AND WITH THE VACUUM PUMP SHUT OFF THE MERCURY SHALL NOT DROP BELOW 9 INCHES WITHIN 1 MINUTE OR BELOW 5 INCHES WITHIN 5 MINUTES



FLOOR PLAN - PLUMBING
1/8" = 1'-0"



GAS SERVICE DETAIL
NOT TO SCALE

FLOOR DRAIN SCHEDULE

PLAN MARK	MANUFACTURER	MODEL NUMBER	SERVICE	TOP/GRATE SIZE	WASTE SIZE	REMARKS
FD-1	WADE	1100	FLOOR DRAIN	6"Ø	3"	1

REMARKS:
1. PROVIDE WITH NICKEL BRONZE TOP AND TRAP SEAL.

pkmr
ENGINEERS
PEARSON KENT MCKINLEY RAAP ENGINEERS LLC
2833 SW WOODSIDE DR., SUITE C TOPEKA, KS 66614
785.273.2447 WWW.PKMR.ENG.COM
MO State Certificate of Authority #E-2002020886



schwerdt design group
architecture | interiors | planning
2231 sw wanamaker rd suite 303
topeka, kansas 66614-4276
phone: 785.273.7540
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**MULTI-TENANT BUILDING
STREETS OF WEST PRYOR, LOT 3
LEE'S SUMMIT, MO**

SUBMISSION DATES
MARCH 31, 2020
ASI #1 4/23/2020

SHEET TITLE
PLUMBING PLAN

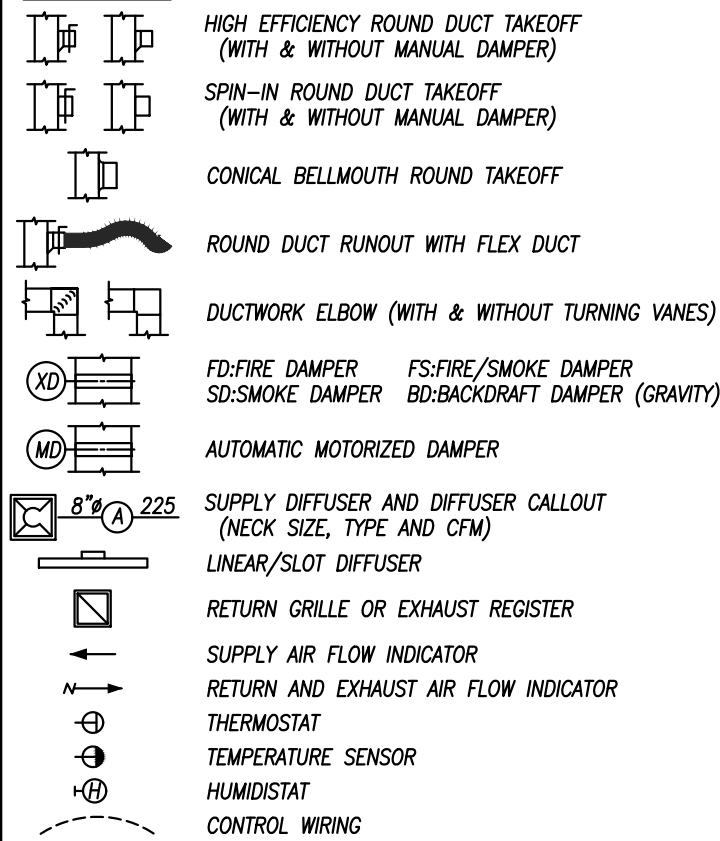
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190224

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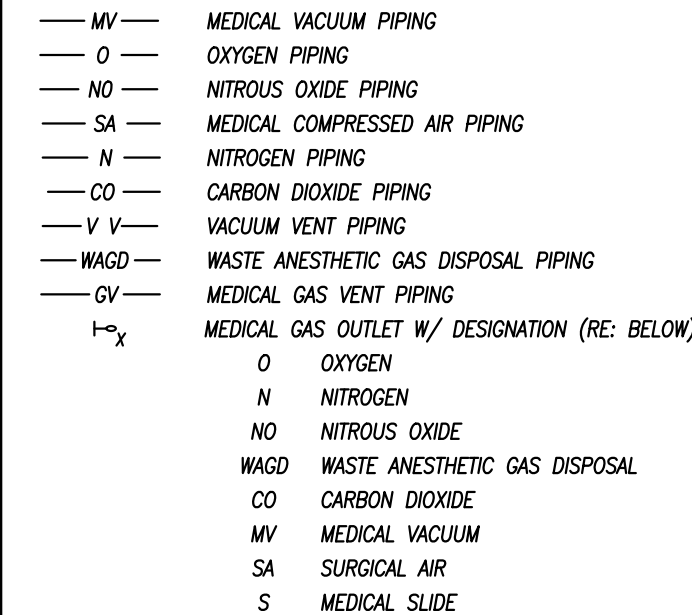
MECHANICAL AND PLUMBING SYMBOL LEGEND

SOME SYMBOLS AND ABBREVIATIONS ON THIS LEGEND MAY NOT BE USED

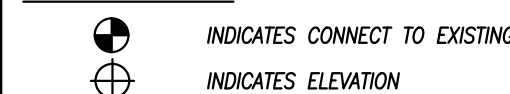
SHEET METAL



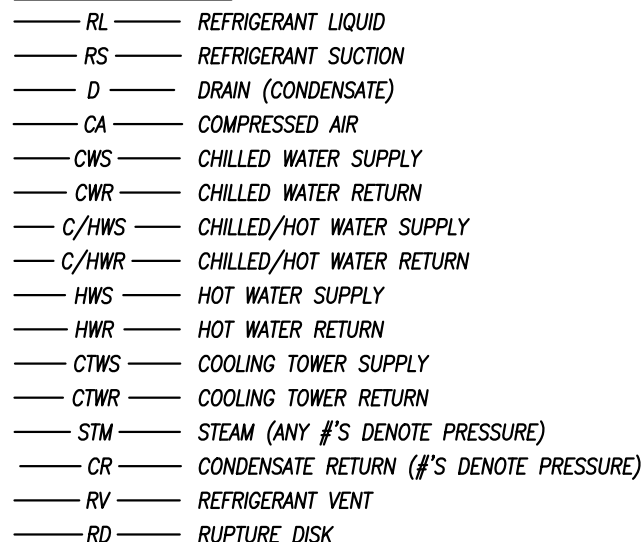
MEDICAL GAS



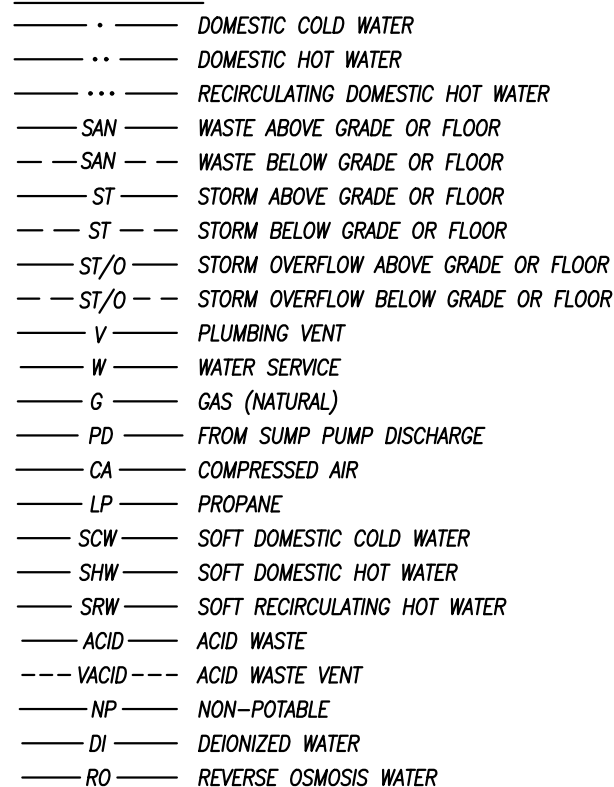
GENERAL SYMBOLS



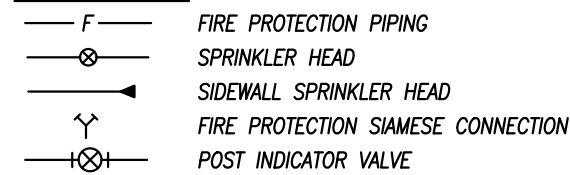
MECHANICAL PIPING



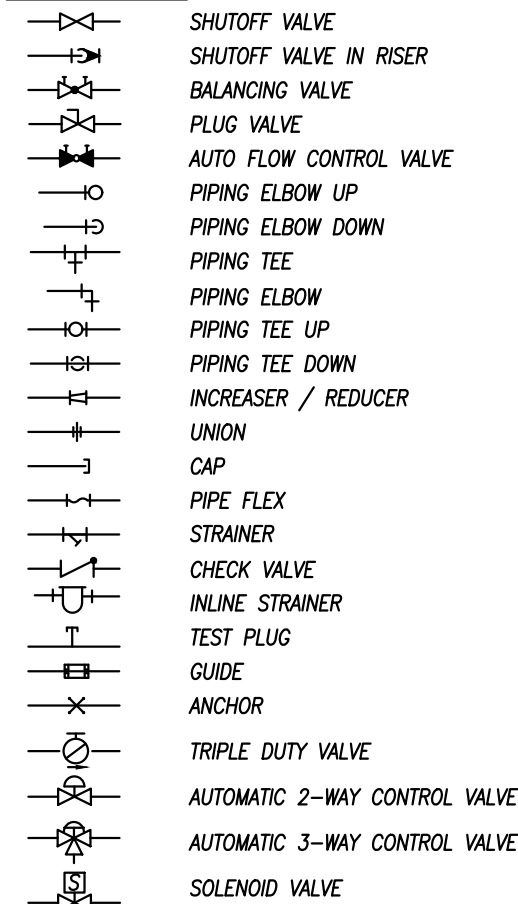
PLUMBING PIPING



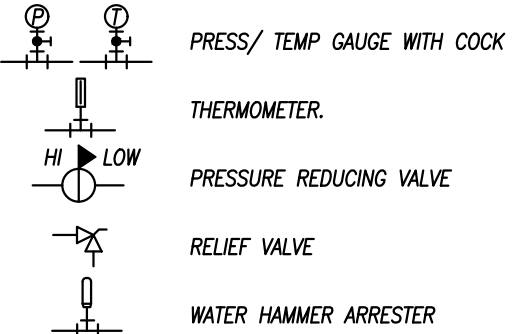
FIRE SPRINKLER



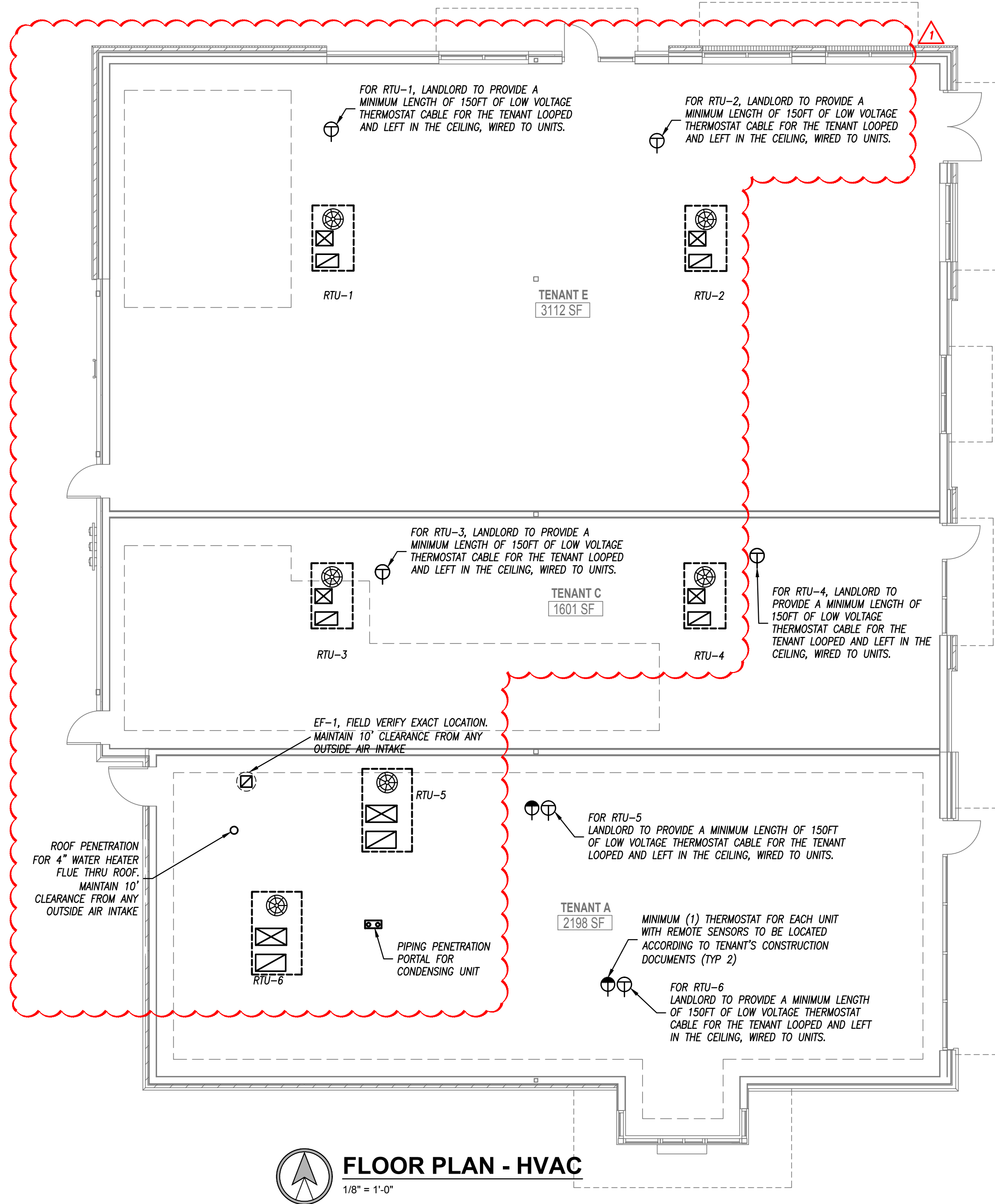
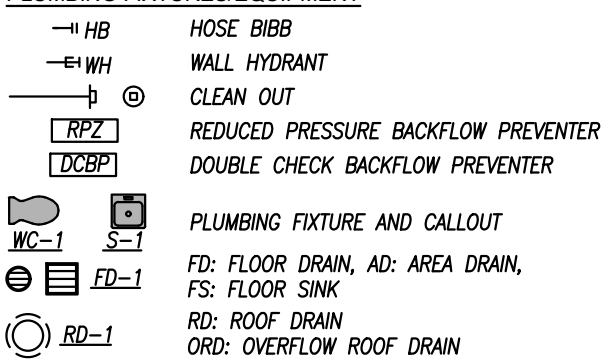
PIPING SYMBOLS



PIPING SPECIALTIES



PLUMBING FIXTURES/EQUIPMENT



FLOOR PLAN - HVAC

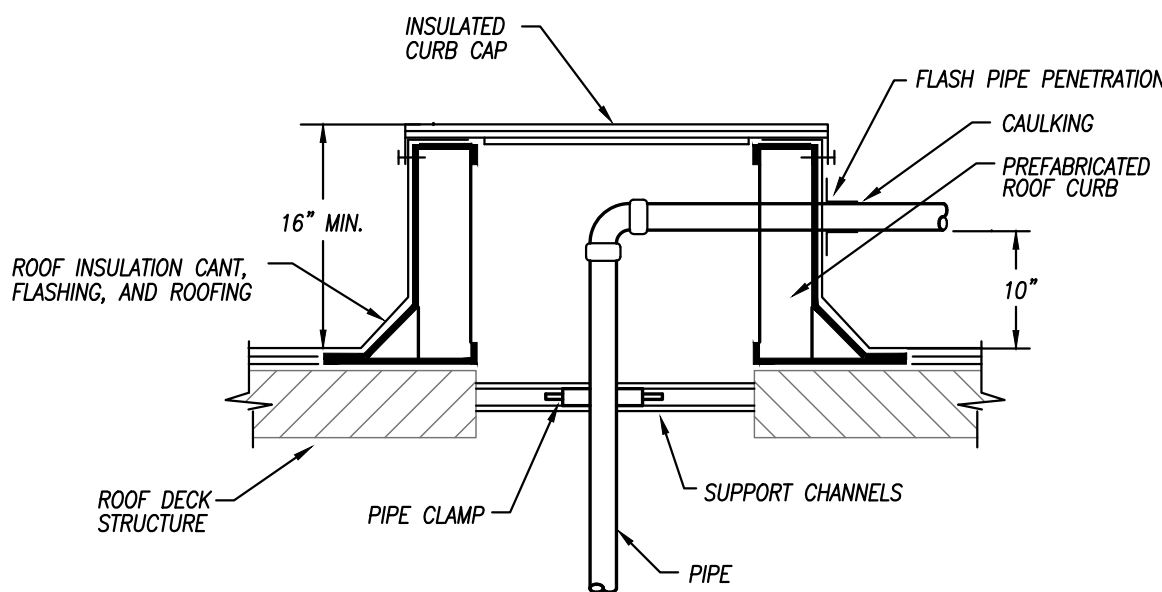
1/8" = 1'-0"

EXHAUST FAN SCHEDULE

PLAN MARK	MANUFACTURER	MODEL NUMBER	MOUNTING	SERVICE	MAX CFM	STATIC PRESSURE	ELECTRICAL	DRIVE	DISCONNECT	DAMPER	NOTES
EF-1	GREENHECK	G-080-VG	ROOF	RESTROOMS	500	0.31	1/10 HP, 120V, 1 PH.	DIRECT	YES	YES	1

NOTES LEGEND

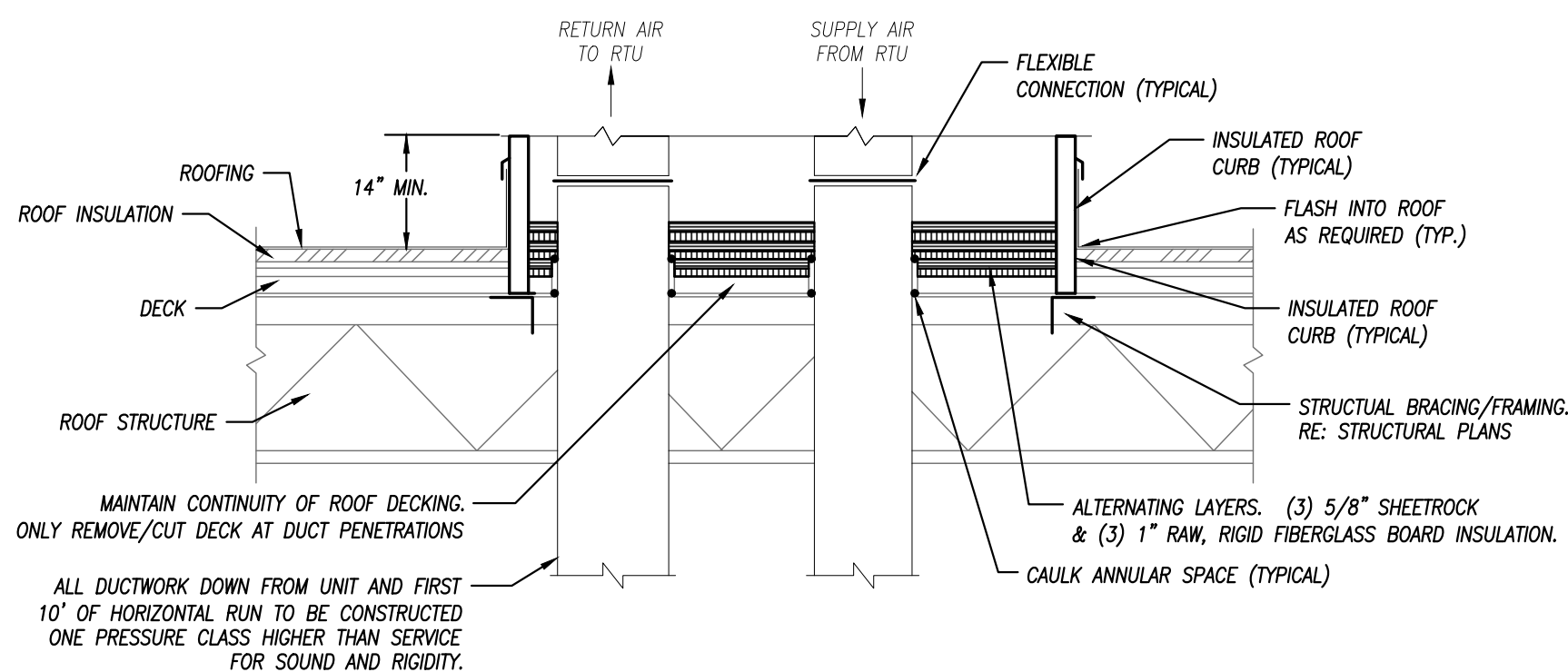
1. PROVIDE WITH FACTORY ROOF CURB AND BACKDRAFT DAMPER
1. PROVIDE WITH SPEED CONTROLLER



ROOF PIPE CURB PENETRATION

NOT TO SCALE

503-01



ROOFTOP UNIT CURB DETAIL

NOT TO SCALE

561-01

ROOF TOP UNIT SCHEDULE - THREE PHASE ELECTRIC WITH GAS HEAT

PLAN MARK	MANUFACTURER	MODEL NUMBER	SIZE	REFRIGERANT	MINIMUM EFFICIENCY	AIRFLOW	COMPRESSORS	COOLING CAPACITY	CFM	EXTERNAL STATIC	OA CFM	HEATING CAPACITY	ELECTRICAL	WEIGHT	FILTER	NOTES
RTU-1	TRANE	YSC 048 E3	4 TON	R-410A	14 SEER	DOWN	(1) SCROLL	49,000 BTUH	1,600	0.7"	160	80 MBH	208 V, 3 PH, 35 AMP	800 LBS	MERV 13	1,2,3,4
RTU-2	TRANE	YSC 060 E3	5 TON	R-410A	14 SEER	DOWN	(1) SCROLL	60,100 BTUH	2,000	1.0"	200	80 MBH	208 V, 3 PH, 40 AMP	800 LBS	MERV 13	1,2,3
RTU-3	TRANE	YSC 048 E3	4 TON	R-410A	14 SEER	DOWN	(1) SCROLL	49,000 BTUH	1,600	0.7"	160	80 MBH	208 V, 3 PH, 35 AMP	800 LBS	MERV 13	1,2,3,4
RTU-4	TRANE	YSC 048 E3	4 TON	R-410A	14 SEER	DOWN	(1) SCROLL	49,000 BTUH	1,600	0.7"	160	80 MBH	208 V, 3 PH, 35 AMP	800 LBS	MERV 13	1,2,3,4
RTU-5	TRANE	YHC 120 F	10 TON	R-410A	11.3 SEER	DOWN	(2) SCROLLS	119,000 BTUH	4,000	1.5"	400	250 MBH	208 V, 3 PH, 60 AMP	1500 LBS	MERV 13	5-14
RTU-6	TRANE	YHC 120 F	10 TON	R-410A	11.3 SEER	DOWN	(2) SCROLLS	119,000 BTUH	4,000	1.5"	400	250 MBH	208 V, 3 PH, 60 AMP	1500 LBS	MERV 13	5-14

NOTES LEGEND

1. PROVIDE ROOF CURB, DISCONNECT SWITCH, HAIL GUARDS, AND ECONOMIZER
2. PROVIDE WALL MOUNTED 7-DAY PROGRAMMABLE THERMOSTAT
3. PROVIDE INTERNAL VIBRATION ISOLATION FOR THE RTU FAN AND COMPRESSORS
4. PROVIDE SMOKE DETECTOR IN RETURN AIR DUCT DROP.
5. NEW ELECTRIC COOLING/GAS HEATING ROOFTOP PACKAGED UNIT BY LANDLORD. VERIFY FINAL LOCATION AT JOBSITE.
6. HIGH EFFICIENCY, DOWN DISCHARGE CONFIGURATION.
7. MOUNT ON CURB WITH NEW ROOF OPENING.
8. PROVIDE WITH FACTORY INSTALLED UNIT MOUNTED DISCONNECT SWITCH.
9. PROVIDE WITH FACTORY INSTALLED NON-POWERED CONVENIENCE SERVICE OUTLET (115V GFCI).
10. PROVIDE WITH FACTORY INSTALLED ENTHALPY TYPE ECONOMIZER.
11. PROVIDE SMOKE DETECTOR IN RETURN AIR DUCT TO SHUT DOWN UNIT UPON DETECTION.
12. PROGRAMMABLE THERMOSTAT WITH REMOTE SENSOR.
13. PROVIDE WITH HAIL GUARDS.
14. PROVIDE WITH POWER EXHAUST.



architecture | interiors | planning

2231 sw wanamaker rd. suite 303
topeka, kansas 66614-4275
phone: 785.273.7540

500 north broadway. suite 200
oklahoma city, ok 73102
phone: 405.231.3105



MO State Certificate of Authority #E-2002020886

MULTI-TENANT BUILDING
STREETS OF WEST PRYOR, LOT 3
LEE'S SUMMIT, MO

SUBMISSION DATES

MARCH 31, 2020

ASI #1 4/23/2020

SHEET TITLE
HVAC PLAN

PROJECT NUMBER
190224

SHEET NUMBER
M-102



PEARSON KENT MCKINLEY RAAF ENGINEERS LLC
2833 SW WOODSIDE DR., SUITE C TOPEKA, KS 66614
785.273.2447 WWW.PKMRENG.COM
MO State Certificate of Authority #E-2002020886

PANELBOARD SCHEDULE

PANEL DESIGNATION		MAIN BUS AMPS: 400		VOLTAGE: 120/208V		MOUNTING: RECESSED	
P1		MAIN BREAKER: MCB		PHASE/WIRE: 3PH/4W		LOCATION: SEE PLANS	
		PANEL TYPE: N00D - WITH FEED THRU LUGS				MINIMUM AIC: 22K	
CIRCUIT DESCRIPTION		CKT. BKR.	CKT. NO.	CKT. BKR.		CIRCUIT DESCRIPTION	
		P AMP	AMP	P AMP			
EXHAUST FAN		1 20	1 2	60 3		RTU-1 (VERIFY C.B. SIZE WITH	
RECEPTACLES: PLANTERS		1 20	3 4			TENANT'S CONSTRUCTION DOCUMENTS)	
DRIVE-THRU WINDOW		1 20	5 6				
PATIO STRING LIGHTS		1 20	7 8	60 3		RTU-2 (VERIFY C.B. SIZE WITH	
SPARE		1 20	9 10			TENANT'S CONSTRUCTION DOCUMENTS)	
SPARE		1 20	11 12				
GF SPARE		1 20	13 14	20 1		EXTERIOR RECEPTACLES	
GF SPARE		1 20	15 16	20 1		ROOF RECEPTACLES	
GF SPARE		1 20	17 18	40 2		AIR CURTAIN (VERIFY C.B. SIZE WITH	
GF SPARE		1 20	19 20			TENANT'S CONSTRUCTION DOCUMENTS)	
GF SPARE		1 20	21 22	20 1		GF SPARE	
GF SPARE		1 20	23 24	20 1		GF SPARE	
GF SPARE		1 20	25 26	20 1		GF SPARE	
GF SPARE		1 20	27 28	20 1		GF SPARE	
GF SPARE		1 20	29 30	20 1		GF SPARE	
GF SPARE		1 20	31 32	20 1		GF SPARE	
GF SPARE		1 20	33 34	20 1		GF SPARE	
GF SPARE		1 20	35 36	20 1		GF SPARE	
GF SPARE		1 20	37 38	20 1		GF SPARE	
GF SPARE		1 20	39 40	20 1		GF SPARE	
GF SPARE		1 20	41 42	20 1		GF SPARE	
GF SPARE		1 20	43 44	20 1		GF SPARE	
GF SPARE		1 20	45 46	20 1		GF SPARE	
GF SPARE		1 20	47 48	20 1		GF SPARE	
GF SPARE		1 20	49 50	20 1		GF SPARE	
GF SPARE		1 20	51 52	20 1		GF SPARE	
SPARE		1 20	53 54	20 1		GF SPARE	
SPARE		1 20	55 56	20 1		GF SPARE	
SPARE		1 20	57 58	20 1		GF SPARE	
SPARE		1 20	59 60	20 1		GF SPARE	

NOTES:
GF = GROUND FAULT CIRCUIT INTERRUPTER CIRCUIT BREAKER (MUST BE A CIRCUIT BREAKER PER STARBUCKS)

PANELBOARD SCHEDULE

PANEL DESIGNATION		MAIN BUS AMPS: 400		VOLTAGE: 120/208V		MOUNTING: RECESSED	
P2		MAIN BREAKER: MCB		PHASE/WIRE: 3PH/4W		LOCATION: SEE PLANS	
		PANEL TYPE: N00D				MINIMUM AIC: 22K	
CIRCUIT DESCRIPTION		CKT. BKR.	CKT. NO.	CKT. NO.	CKT. BKR.	CIRCUIT DESCRIPTION	
		P AMP			P AMP		
GF SPARE	1	20	1	2	20	1	GF SPARE
GF SPARE	1	20	3	4	20	1	GF SPARE
GF SPARE	1	20	5	6	20	1	GF SPARE
GF SPARE	1	20	7	8	20	1	GF SPARE
GF SPARE	1	20	9	10	20	1	GF SPARE
GF SPARE	1	20	11	12	20	1	GF SPARE
GF SPARE	1	20	13	14	20	1	GF SPARE
GF SPARE	1	20	15	16	20	1	GF SPARE
GF SPARE	1	20	17	18	20	1	GF SPARE
GF SPARE	1	20	19	20	20	1	GF SPARE
GF SPARE	1	20	21	22	20	1	GF SPARE
GF SPARE	1	20	23	24	20	1	GF SPARE
GF SPARE	1	20	25	26	20	1	GF SPARE
GF SPARE	1	20	27	28	20	1	GF SPARE
GF SPARE	1	20	29	30	20	1	GF SPARE
GF SPARE	1	20	31	32	20	1	GF SPARE
GF SPARE	1	20	33	34	20	1	GF SPARE
GF SPARE	1	20	35	36	20	1	GF SPARE
GF SPARE	1	20	37	38	20	1	GF SPARE
GF SPARE	1	20	39	40	20	1	GF SPARE
SPARE	1	20	41	42	20	1	SPARE
SPARE	1	20	43	44	20	1	SPARE
SPARE	1	20	45	46	20	1	SPARE
SPARE	1	20	47	48	20	1	SPARE
SPARE	1	20	49	50	20	1	SPARE
SPARE	1	20	51	52	20	1	SPARE
SPARE	1	20	53	54	20	1	SPARE
SPARE	1	20	55	56	20	1	SPARE
SPARE	1	20	57	58	20	1	SPARE
SPARE	1	20	59	60	20	1	SPARE

NOTES:
GF = GROUND FAULT CIRCUIT INTERRUPTER CIRCUIT BREAKER (MUST BE A CIRCUIT BREAKER PER STARBUCKS)

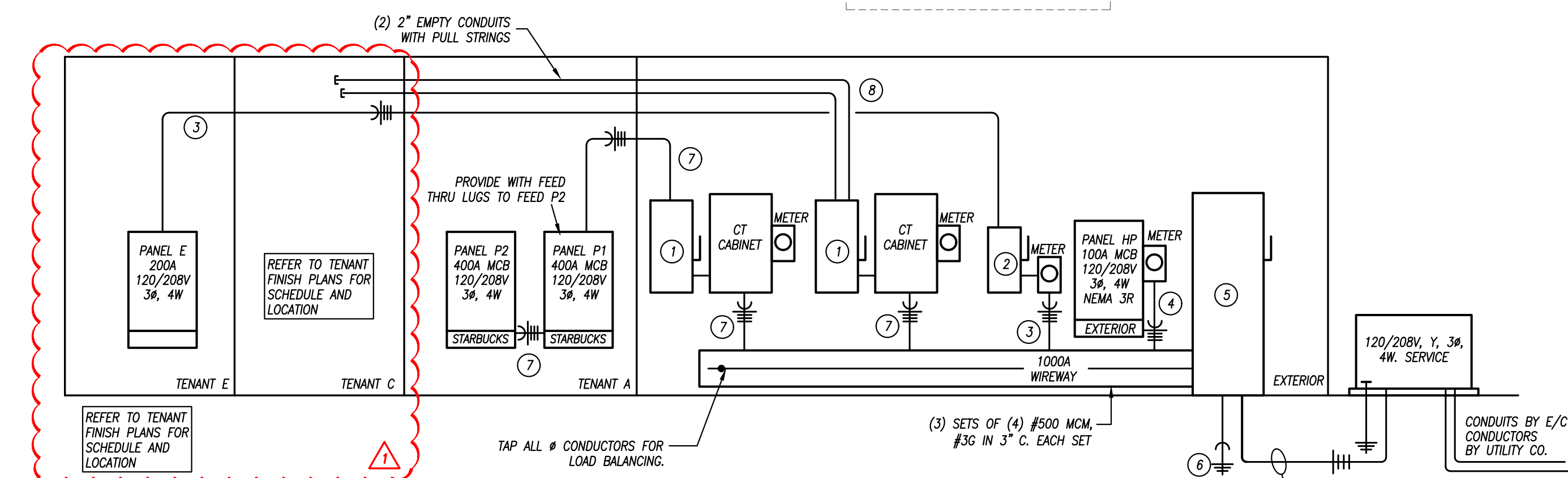
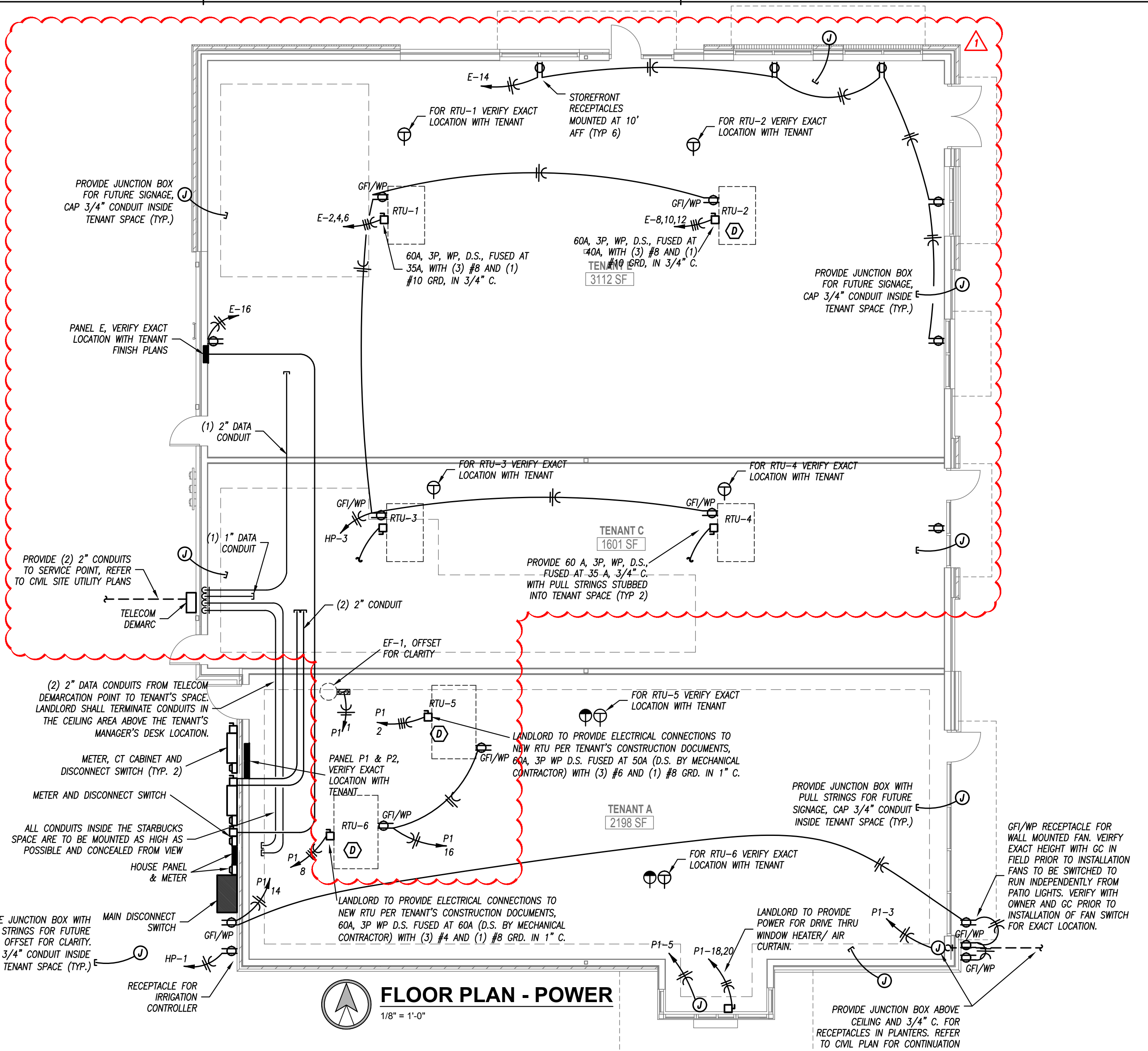
PANELBOARD SCHEDULE

PANEL DESIGNATION	MAIN BUS AMPS: 100		VOLTAGE: 120/240V		MOUNTING: SURFACE			
HP	MAIN BREAKER: 100		PHASE/WIRE: 3PH/4W		LOCATION: EXTERIOR			
	PANEL TYPE: NEMA 3R				MINIMUM AIC: 22K			
CIRCUIT DESCRIPTION			CKT. NO.	BKR. AMP	CKT. NO.	BKR. AMP	CIRCUIT DESCRIPTION	
IRRIGATION CONTROLLER			1	20	1	2	20	SITE LTG: PARKING LOT
ROOFTOP RECEPTACLES			1	20	3	4		
SPARE			1	20	5	6	20	SITE LTG: PARKING LOT
SPARE			1	20	7	8		
SPARE			1	20	9	10	20	SITE LTG: CANOPIES
SPARE			1	20	11	12	20	SITE LTG: WALL PACKS
SPARE			1	20	13	14	20	SITE LTG: WALL PACKS
SPARE			1	20	15	16	20	SPARE
SPARE			1	20	17	18	20	SPARE
SPARE			1	20	19	20	20	SPARE
SPARE					21	22		SPARE
SPARE					23	24		SPARE
SPARE					25	26		SPARE
SPARE					27	28		SPARE
SPARE					29	30		SPARE

NOTES:
NEMA 3R RATED PANEL WITH LOCKABLE COVER

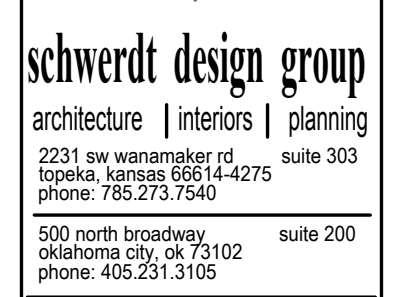
PANELBOARD SCHEDULE

PANEL DESIGNATION		MAIN BUS AMPS: 225A		VOLTAGE: 120/208V		MOUNTING: RECESSED	
E		MAIN BREAKER: 200A		PHASE/WIRE: 3PH/4W		LOCATION: SEE PLANS	
		PANEL TYPE: N00D				MINIMUM AIC: 22K	
CIRCUIT DESCRIPTION		CKT. BKR. P	AMP	CKT. NO.	CKT. NO.	CKT. BKR. P	CIRCUIT DESCRIPTION
SPARE		1	20	1	2	35 3	RTU-1 (VERIFY C.B. SIZE WITH
SPARE		1	20	3	4		TENANT'S CONSTRUCTION DOCUMENTS)
SPARE		1	20	5	6		
SPARE		1	20	7	8	40 3	RTU-2 (VERIFY C.B. SIZE WITH
SPARE		1	20	9	10		TENANT'S CONSTRUCTION DOCUMENTS)
SPARE		1	20	11	12		
SPARE		1	20	13	14	20 1	STOREFRONT RECEPTACLES
SPARE		1	20	15	16	20 1	RECEPTACLES
SPARE		1	20	17	18	20 1	SPARE
SPARE		1	20	19	20	20 1	SPARE
SPARE		1	20	21	22	20 1	SPARE
SPARE		1	20	23	24	20 1	SPARE
SPARE		1	20	25	26	20 1	SPARE
SPARE		1	20	27	28	20 1	SPARE
SPARE		1	20	29	30	20 1	SPARE
SPARE		1	20	31	32	20 1	SPARE
SPARE		1	20	33	34	20 1	SPARE
SPARE		1	20	35	36	20 1	SPARE
SPARE		1	20	37	38	20 1	SPARE
SPARE		1	20	39	40	20 1	SPARE
SPARE		1	20	41	42	20 1	SPARE



ELECTRICAL RISER KEYED NOTES

- 400 AMP, 3 PH, NEMA 3R DISCONNECT SWITCH FUSED AT 400 AMP
- 200 AMP, 3 PH, NEMA 3R DISCONNECT SWITCH FUSED AT 200 AMP
- (4) #3/0 AND (1) #6 GRD. IN 2" C.
- (4) #1 AND (1) #8 GRD. IN 1-1/2" C.
- 1000A 120/208V, 3PH, 4W NEMA 3R ELECTRONIC TRIP CIRCUIT BREAKER SERVICE DISCONNECT
- #3/0 GROUNDING ELECTRODE CONDUCTOR. RE: DETAIL
- 2 SETS OF (4) #3/0 AND (1) #1/0 GRD. IN 2-1/2" C.
- ALL CONDUITS INSIDE THE STARBUCKS SPACE ARE TO BE MOUNTED AS HIGH AS POSSIBLE AND CONCEALED FROM VIEW



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SHEET TITLE
POWER PLAN

PROJECT NUMBER
190224

SHEET NUMBER
E-101

ELECTRICAL SYMBOL LEGEND

SOME SYMBOLS AND ABBREVIATIONS ON THIS LEGEND MAY NOT BE USED

CIRCUITING

- HOME RUN (2#12 1#12G UNO)
INDICATES 2 PHASE, 1 N, & 1 GRD CONDUCTOR
HOME RUN: INDICATES SHARED CIRCUIT
HOME RUN: INDICATES #10 CONDUCTORS ENTIRELY

UTILITIES

- UG --- UNDERGROUND ELECTRICAL
OHE --- OVERHEAD ELECTRICAL
TELE --- TELECOMMUNICATIONS CONDUIT
UGT --- UNDERGROUND TELECOMMUNICATIONS CONDUIT

LIGHTING

- FLUORESCENT LIGHT FIXTURE
FLUORESCENT STRIP FIXTURE
SURFACE/RECESSED LIGHT FIXTURE
WALL-MOUNTED LIGHT FIXTURE
POLE-MOUNTED LIGHT FIXTURE
EXIT LIGHT
BATTERY-OPERATED EMERGENCY LIGHT (WALL MTD)
BATTERY-OPERATED EMERGENCY LIGHT (CEILING MTD)
WALL-MOUNTED COMBINATION EXIT LIGHT/
BATTERY-OPERATED EMERGENCY LIGHT
LIGHT SWITCH - SINGLE POLE
LIGHT SWITCH - 3-WAY
LIGHT SWITCH - 4-WAY
LIGHT SWITCH - KEY
LIGHT SWITCH - DIMMER
LIGHT SWITCH - PILOT LIGHT
LIGHT SWITCH - 2 POLE
LIGHT SWITCH - 3-WAY DIMMER
WALL-MOUNTED MOTION SWITCH
CEILING-MOUNTED MOTION SWITCH
SWITCHBANK - REFER TO DETAILS
DIMMER BOARD
REMOTE CONTROL SWITCH AS SCHEDULED
TIMECLOCK - REFER TO PLANS / DETAILS

EQUIPMENT

- DISCONNECT SWITCH. RE: PLANS FOR INFORMATION.
MAGNETIC MOTOR STARTER
COMBINATION DISCONNECT SWITCH / MOTOR STARTER
TOGGLE-TYPE DISCONNECT. FURNISH WITH THERMAL
MOTOR PROTECTION WHERE SERVING FANS/PUMPS.
SURFACE PANELBOARD
RECESSED PANELBOARD
DISTRIBUTION PANELBOARD
SWITCHBOARD, FEEDER/MAIN CIRCUIT BREAKER
SECTION AND DISTRIBUTION SECTION.

GENERAL SYMBOLS

- INDICATES CONNECT TO EXISTING
INDICATES ELEVATION

POWER DEVICES

- DUPLEX RECEPTACLE
LINE THRU DEVICE INDICATES ABOVE COUNTER
SPECIAL DUPLEX RECEPTACLE
(GFCI, ISOLATED GROUND, ETC.)
QUADPLEX RECEPTACLE
SIMPLEX RECEPTACLE W/NEMA CONFIG AS NOTED
MULTI-POLE RECEPTACLE W/NEMA CONFIG AS NOTED
CEILING MOUNTED RECEPTACLE
RECEPTACLE/DEVICE MOUNTED IN "TOMBSTONE"
POKE-THRU WITH POWER
POKE-THRU WITH TELECOMMUNICATIONS
POKE-THRU W/POWER AND TELECOM
SINGLE GANG FLOOR BOX (2, 3, 4 GANG SIMILAR)
DIVIDED POWER POLE
CLOCK RECEPTACLE
PLUG MOLD / WIRE MOLD AS SPECIFIED
JUNCTION BOX
THERMOSTAT - ELECTRIC
PUSH BUTTON
MOTOR

TELEPHONE/DATA

- TELEPHONE OUTLET (SINGLE-GANG BOX WITH (1)
3/4" CONDUIT TO ABOVE ACCESSIBLE CEILING)
LINE THRU DEVICE INDICATES ABOVE COUNTER
DATA OUTLET (DOUBLE-GANG BOX WITH (2) 3/4"
CONDUITS TO ABOVE ACCESSIBLE CEILING)
TELEPHONE/DATA OUTLET (DOUBLE-GANG BOX WITH
(2) 3/4" CONDUITS TO ABOVE ACCESSIBLE CLG.)
PHONE OUTLET WITH NUMBER OF PHONE JACKS AS
INDICATED - SEE DETAILS FOR ADD'L INFO.
DATA OUTLET WITH NUMBER OF PHONE JACKS AS
INDICATED - SEE DETAILS FOR ADD'L INFO.
PHONE/DATA OUTLET WITH NUMBER OF PHONE/DATA
JACKS AS INDICATED - SEE DETAILS FOR ADD'L INFO.
WALL-MOUNTED WIRELESS INTERNET TRANSMITTER
CEILING-MOUNTED WIRELESS INTERNET TRANSMITTER

AUDIOVISUAL

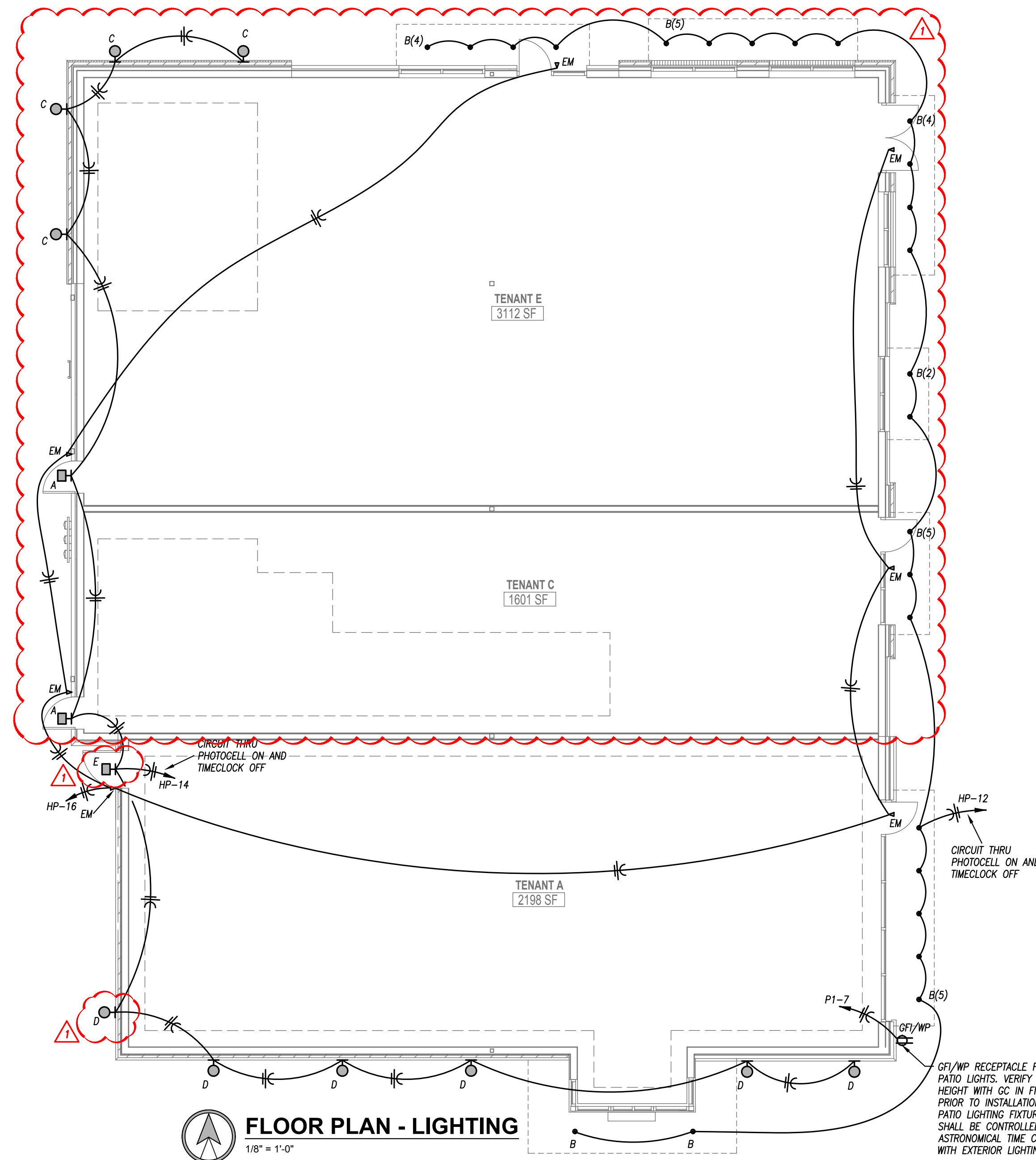
- TELEVISION OUTLET (SINGLE GANG BOX WITH (1)
3/4" CONDUIT TO ABOVE ACCESSIBLE CEILING)
REVERSE TELEVISION OUTLET - CABLE TO HEAD END
TEACHER'S DESK CONNECTIONS - RE: DETAILS
WALL SPEAKER
CEILING SPEAKER
WALL SPEAKER - HORN TYPE
CEILING SPEAKER - HORN TYPE
CEILING SPEAKER - SUBWOOFER
CEILING SPEAKER - SOUND SYSTEM
VOLUME CONTROL
INTERCOM CALL STATION
INTERCOM HANDSET
SOUND SYSTEM AUDIO JACK
REMOTE MICROPHONE CONTROL
PUBLIC ADDRESS SYSTEM AMPLIFIER
INTERCOM MASTER STATION

FIRE ALARM

- MANUAL PULL STATION
CEILING SMOKE DETECTOR
DUCT SMOKE DETECTOR
HEAT DETECTOR
WATERFLOW SWITCH
TAMPER SWITCH
VISIBLE NOTIFICATION DEVICE WITH CANDELA RATING.
75cd RATING UNLESS OTHERWISE NOTED ON PLANS.
AUDIBLE/VISIBLE NOTIFICATION DEVICE WITH CANDELA
RATING. 75cd UNLESS OTHERWISE NOTED ON PLANS.
HORN
CEILING-MOUNTED STROBE LIGHT WITH CANDELA
RATING. MINIMUM OF 75cd RATING.
CEILING-MOUNTED COMBINATION HORN/STROBE WITH
CANDELA RATING. MIN. OF 75cd RATING.
CEILING-MOUNTED HORN
CEILING-MOUNTED SPEAKER
RELAY
FIRE ALARM CONTROL PANEL
FIRE ALARM ANNUNCIATOR PANEL
REMOTE ANNUNCIATOR PANEL
FIRE ALARM EXTENDER CABINET
DOOR HOLDER
SINGLE / MULTI-STATION 120V SMOKE ALARM
ZONE ADDRESSABLE MODULE
INDIVIDUAL ADDRESSABLE MODULE
KITCHEN HOOD FIRE SUPPRESSION SYSTEM PANEL
KITCHEN HOOD REMOTE PULL STATION
AREA OF RESCUE ASSISTANCE STATION
AREA OF RESCUE ASSISTANCE MASTER STATION

SECURITY

- FIXED CAMERA
PAN/TILT/ZOOM CAMERA
PROXIMITY TYPE CARD READER
SWIPE CARD READER
BREAK GLASS DETECTOR
ELECTRIC STRIKE
SECURITY MOTION DETECTOR
KEYPAD / MAG LOCK
BUTTON / MAG LOCK

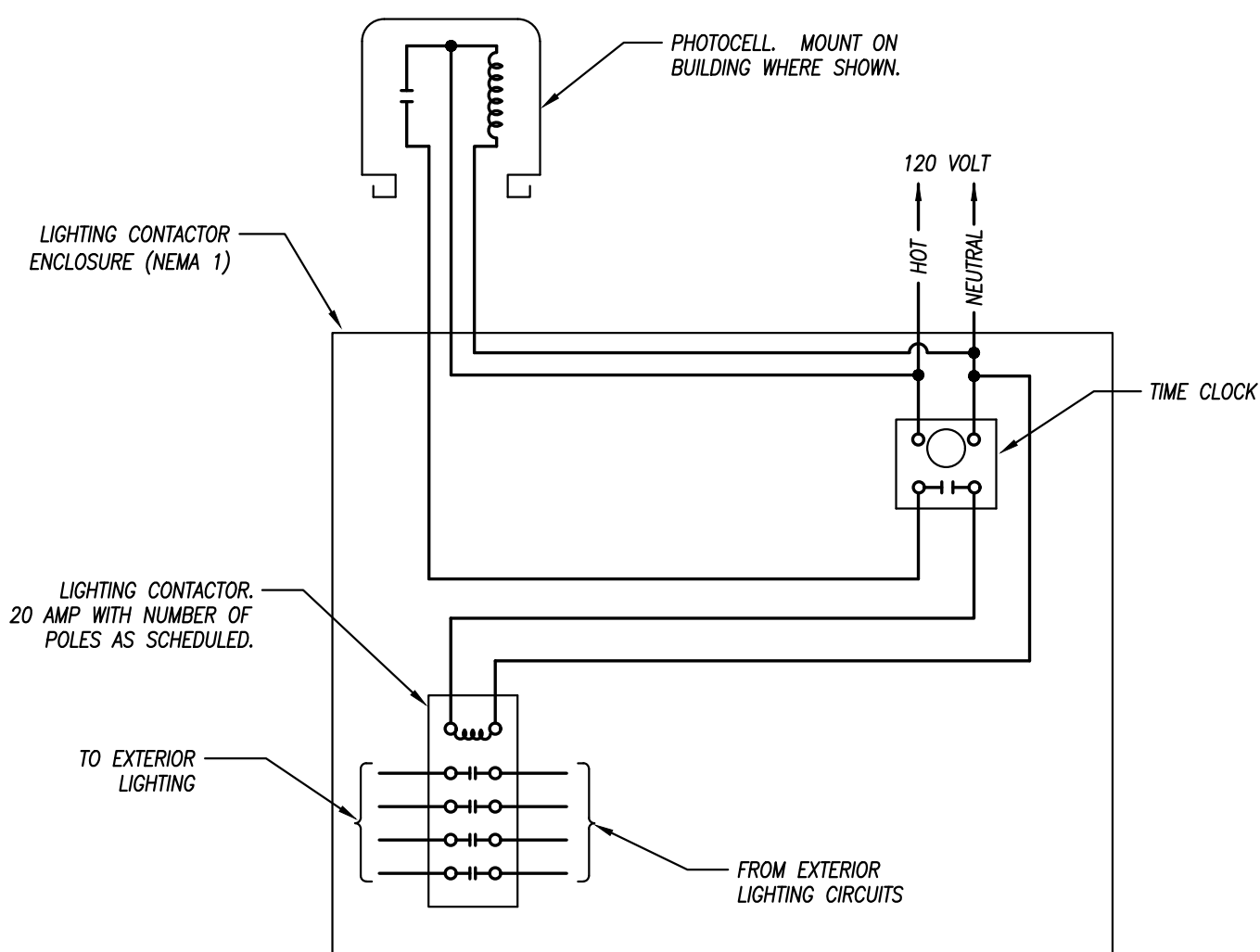


LIGHT FIXTURE SCHEDULE

PLAN MARK	MANUFACTURER	MODEL NUMBER	MOUNTING	FINISH	LAMP CODE	LAMP QUANTITY	NOTES
AA	MCGRAW-EDISON	GLEON-AF-03-LED-E1-T4FT	25' POLE	BRONZE	166W	1	1,2,3
BB	MCGRAW-EDISON	GLEON-AF-03-LED-E1-T2	25' POLE	BRONZE	166W	1	1,2,3
CC	MCGRAW-EDISON	GLEON-AF-03-LED-E1-T3	25' POLE	BRONZE	166W PER HEAD	1	1,2,3
A	COOPER	XTOR3B	SURFACE	BRONZE	26W LED	1,2	
B	JUNO LIGHTING	MD1LW62-3K-FL-BL	RECESSED	BLACK	5W LED	-	1,2,3
C	AFX	BMWS171800L30MV6Z	SURFACE WALL	BRONZE	1,800 LUMENS/19W	--	1,2
D	HINKLEY & FR	ATLANTIS 1649SK-LED	WALL/SURFACE	SATIN BLACK	6W LED	-	1,2,3
E	LITHONIA LTG	TWP-150S-TB-LPI	WALL/SURFACE	BY TENANT	150W	-	1,2,3
EM	DUAL LITE	PG-HTR	SURFACE WALL/CEILING	BY ARCHITECT	LED	1,2,5	

NOTES LEGEND

- 1 - PROVIDE WET LOCATION RATED FIXTURE
- 2 - PROVIDE COLD LOCATION RATED BALLAST
- 3 - PROVIDE SQUARE STRAIGHT STEEL POLE RATED FOR 100 MPH WIND GUSTS, PRIMED AND PAINTED TO MATCH FIXTURE
- 4 - PROVIDE ELECTRONIC BALLAST
- 5 - PROVIDE EMERGENCY BATTERY (MINIMUM OF 1350 LUMENS FROM ONE LAMP FOR 90 MINUTES FOR FLUORESCENT 32WT8 LIGHTS)

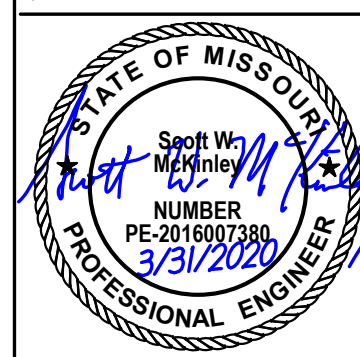


EXTERIOR LIGHTING CONTROL

NOT TO SCALE



2231 sw wanamaker rd suite 303
topeka, kansas 66614-4276
phone: 785.273.7540
500 north broadway suite 200
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