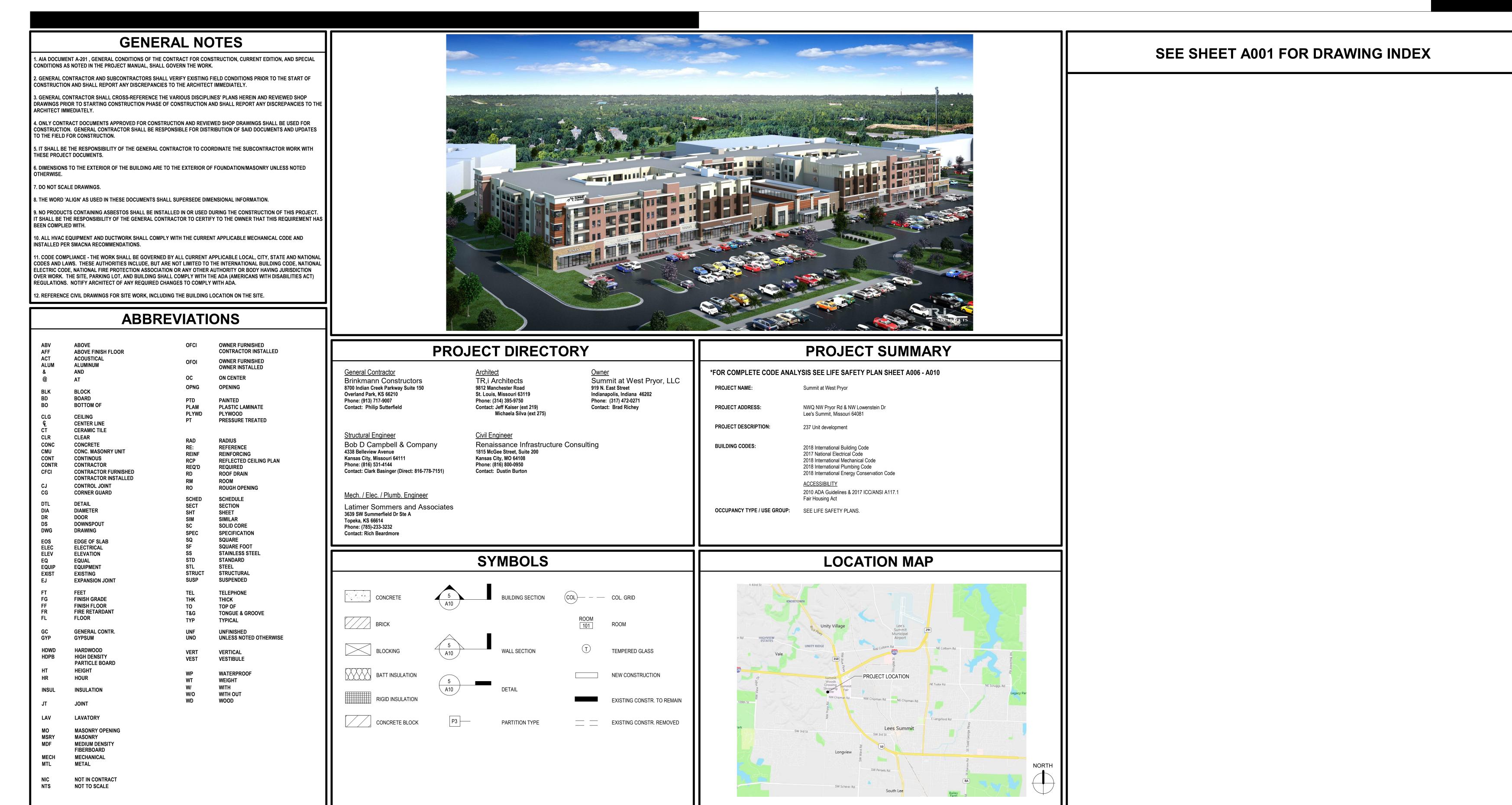


940 NW Pryor Road Lee's Summit, Missouri 64081 **PROJECT NO.: 18-046**

ISSUE DATE: 4.3.2020 (REVISION 3)



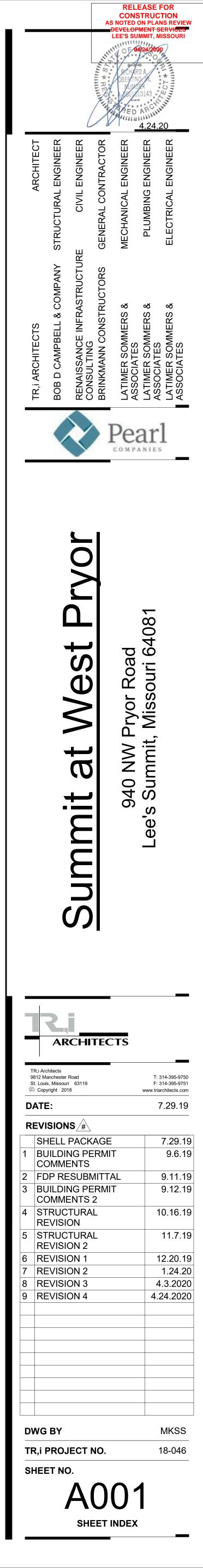


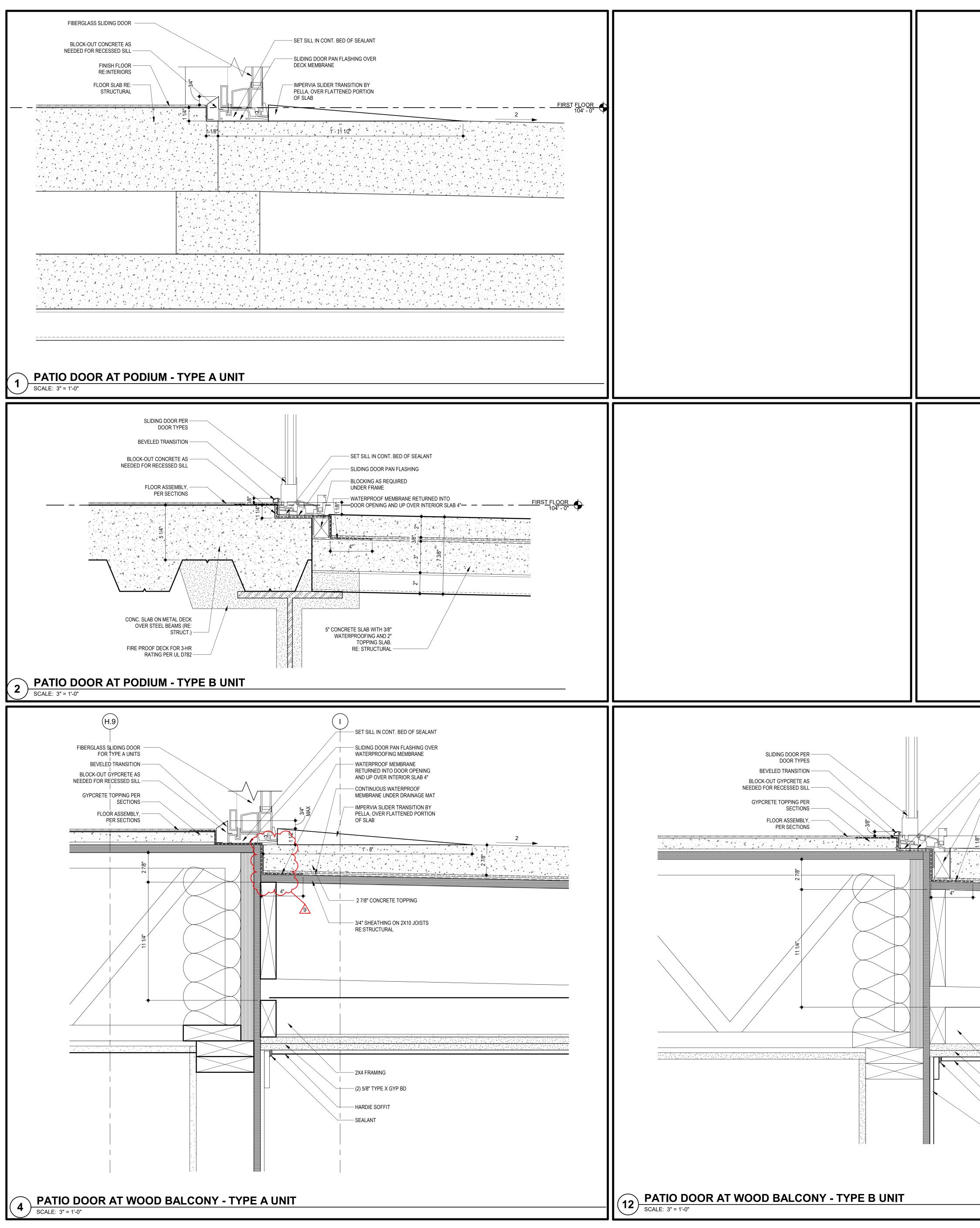
COVER SHEET

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A000 A001	COVER SHEET SHEET INDEX	•	0	0	0	0	0	0	0	0	С
A003	ACCESSIBILITY REQUIREMENTS	•	•	•	•	•	•	•	•	•	
A004 A005	ACCESSIBILITY REQUIREMENTS & ADA SOUND TRANSMISSION ASSEMBLIES	•						•			
A006	LIFE SAFETY PLAN - GARAGE	•	•	•				•	•		
A007 A008	LIFE SAFETY PLAN - FIRST FLOOR LIFE SAFETY PLAN - SECOND/THIRD FLOOR	•	•					•	•		
A009	LIFE SAFETY PLAN - FOURTH FLOOR	•						•	•		
A010 A011	LIFE SAFETY PLAN - UNITS PARTITION TYPES	•						•	•		
A012	FLOORING ASSEMBLIES	•						•		•	
A013 A014	DOOR SCHEDULE & TYPICAL DETAILS WINDOW AND STOREFRONT SCHEDULE	•						•	•	•	
A015	STOREFRONT SCHEDULE	•						•	•	•	
A016 A017	STOREFRONT SCHEDULE UNIT SCHEDULES	•						•	•	•	
A020	WINDOW DETAILS	•								•	
A021 A030	WINDOW DETAILS DOOR DETAILS	•								•	
A031	DOOR DETAILS	•						•	•	-	
A032 A050	DOOR DETAILS ARCHITECTURAL SITE PLAN	•	•	•						•	•
A051	SITE DETAILS	•							-		
A052 A053	ADDRESS PLAN - FIRST FLOOR ADDRESS PLAN - SECOND FLOOR								•		
A054	ADDRESS PLAN - THIRD FLOOR								•		
A055 A101A	ADDRESS PLAN - FOURTH FLOOR GARAGE FLOOR PLAN	•	•					•	•	•	
A101B	GARAGE PARKING PLAN	•						•	•	•	
A102 A102-B	FIRST FLOOR PLAN FIRST FLOOR PLAN - BLDG. B	•	•					•	•	•	
A102-C/D	FIRST FLOOR PLAN - BLDG. C/D	•	•					•	•	•	
A102-E A103	FIRST FLOOR PLAN - BLDG. E SECOND/THIRD FLOOR PLAN	•	•					•	•	•	
A103-B	SECOND / THIRD FLOOR PLAN - BLDG. B	•	•					•	•	•	
A103-C/D A103-E	SECOND / THIRD FLOOR PLAN - BLDG. C/D SECOND / THIRD FLOOR PLAN - BLDG. E	•						•	•	•	
A104 A104-B	FOURTH FLOOR PLAN FOURTH FLOOR PLAN - BLDG. B	•						•	•	•	
A104-B A104-C/D	FOURTH FLOOR PLAN - BLDG. B FOURTH FLOOR PLAN - BLDG. C/D	•						•	•	•	
A104-E	FOURTH FLOOR PLAN - BLDG. E	•						•	•		
A110 A150	ROOF PLAN UNIT 'A1' PLANS & ELEVATIONS	•						•		•	
A151	UNIT 'A2' PLANS & ELEVATIONS	•						•		•	•
A152 A153	UNIT 'A3' PLANS & ELEVATIONS UNIT 'A4' PLANS & ELEVATIONS	•						•		•	
A154	UNIT 'B1' & 'B3' PLANS & ELEVATIONS	•						•		•	
A155 A156	UNIT 'B2' PLANS & ELEVATIONS UNIT 'B2-TYPE A' PLANS & ELEVATIONS	•						•		•	
A157	UNIT 'C1' & 'C2' PLANS & ELEVATIONS	•						•		•	
A158 A159	UNIT 'D1' PLANS & ELEVATIONS UNIT 'D2' PLANS & ELEVATIONS	•						•		•	
A160	UNIT 'F1' PLANS & ELEVATIONS	•						•		•	
A161 A162	UNIT 'F1-TYPE A' PLANS & ELEVATIONS UNIT 'G1' & 'G1.1' PLANS	•						•		•	
A163	UNIT 'G1' & 'G1.1' ELEVATIONS	•						•			
A164 A170	UNIT 'H1' & 'H2' PLANS & ELEVATIONS UNIT DETAILS	•						•		•	•
A171								•			•
A201 A202	OVERALL EXTERIOR ELEVATIONS EAST ELEVATIONS	•						•	•	•	
A203	SOUTH ELEVATION	•						•	•	•	
A204 A205	WEST ELEVATIONS NORTH ELEVATION	•						•	•	•	
A206	SOUTH COURTYARD ELEVATIONS	•						•	•		
A207 A208	CENTER COURTYARD ELEVATIONS NORTH COURTYARD ELEVATIONS	•						•	•	•	
A210	ENLARGED ELEVATIONS							•			
A220 A301	BALCONY DETAILS BUILDING SECTIONS	•						•			-
A302	BUILDING SECTIONS	•								-	
A303 A304	WALL SECTIONS WALL SECTIONS	•								•	-
A305	WALL SECTIONS	•								•	
A306 A307	WALL SECTIONS WALL SECTIONS	•								•	
A308	WALL SECTIONS	•								•	
A309 A310	WALL SECTIONS WALL SECTIONS	•								•	
A311 A312	WALL SECTIONS	•								•	
A313	WALL SECTIONS CENTER COURTYARD WALL SECTIONS	•								•	F
A314 A315	CENTER COURTYARD WALL SECTIONS	•								•	
A315 A316	NORTH & SOUTH COURTYARD WALL SECTIONS NORTH & SOUTH COURTYARD WALL SECTIONS	•							•	•	
A320 A321	SECTION DETAILS SECTION DETAILS	•							•	•	
A321 A322	SECTION DETAILS SECTION DETAILS	•						•	•	•	
A323 A325	SECTION DETAILS PLAN DETAILS	•							•	•	
A350	STAIR A	•						•	•	-	
A351 A352	STAIR B STAIR C	•						•	•		
A353	ELEVATOR A/C	•	•					•	•		F
A354 A355	ELEVATOR B TRASH CHUTE	•	•					•	•	•	_
A401	ENLARGED COURTYARD PLANS	•						•	•	•	F
A402 A403	ENLARGED COURTYARD PLANS ENLARGED COURTYARD PLANS	•						•		•	
A403 A404	ENLARGED COURTYARD PLANS ENLARGED COURTYARD PLANS	•						•		•	_
A405	ENLARGED COURTYARD PLANS ENLARGED COURTYARD PLANS	•						•			
A406 A407	ENLARGED COURTYARD PLANS ENLARGED COURTYARD DRAIN PLANS	•						•		•	
A408	PERGOLA PLANS MECHANICAL SHAFTS	•						-	-	•	
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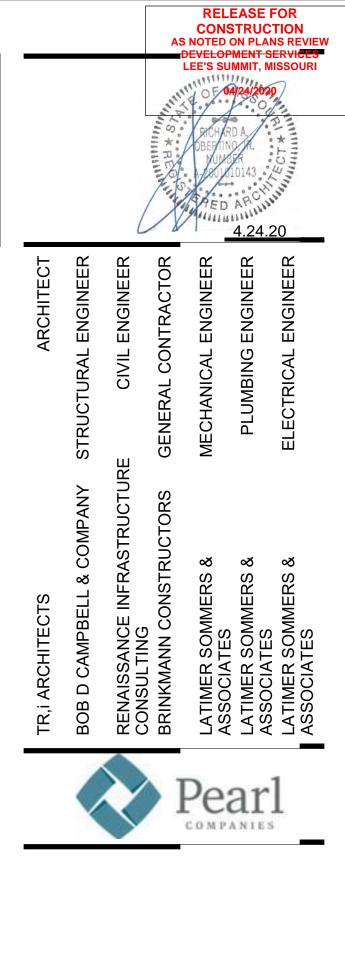
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S001	GENERAL NOTES	•									<u> </u>
S002 S003	SCHEDULES & CMU DETAILS TYPICAL WOOD GRAVITY SCHEDULES & DETAILS	•								•	
S004	TYPICAL WOOD LATERAL SCHEDULES & DETAILS	•								•	
S005	TYPICAL WOOD DETAILS	•									
S006	TYPICAL WOOD DETAILS	•									<u> </u>
S007	TYPICAL WOOD DETAILS	•									
S110 S110B	FOUNDATION PLAN FOUNDATION PLAN - AREA B	•				•					
S1106 S110C/D	FOUNDATION PLAN - AREA B FOUNDATION PLAN - AREA C/D	•									
S110E	FOUNDATION- AREA E	•				•					
S111	COMMERCIAL FLOOR FRAMING PLAN	•									
S111B	COMMERCIAL FLOOR FRAMING PLAN- AREA B	•				•	•				
S111B-R	COMMERCIAL FLOOR REACTIONS PLAN - AREA B	•				-					
S111C/D S111C/D-R	COMMERCIAL FLOOR FRAMING PLAN- AREA C/D COMMERCIAL FLOOR REACTIONS PLAN - AREA C/D	•				•					
S1116/211	COMMERCIAL FLOOR FRAMING PLAN- AREA E	•				•					
S111E-R	COMMERCIAL FLOOR REACTIONS PLAN - AREA E	•									
S112	FIRST FLOOR FRAMING PLAN	•									
S112B	FIRST FLOOR 1 FRAMING PLAN- AREA B	•				•	•				
S112B-TR S112C/D	FIRST FLOOR 1 TENSION ROD & REACTIONS PLAN - AREA B FIRST FLOOR 1 FRAMING PLAN- AREA C/D	•				•	•				
S112C/D-TR	FIRST FLOOR 1 TENSION ROD & REACTIONS PLAN - AREA C/D	•				•	•				
S112E	FIRST FLOOR 1 FRAMING PLAN- AREA E	•				•	•				
S112E-TR	FIRST FLOOR 1 TENSION ROD & REACTIONS PLAN - AREA E	•									
S113	SECOND FLOOR FRAMING PLAN	•									
S113B S113B-TR	SECOND FLOOR FRAMING PLAN- AREA B SECOND FLOOR TENSION ROD PLAN - AREA B	•				•		•			
S113D-11(S113C/D	SECOND FLOOR FRAMING PLAN- AREA C/D	•								•	
S113E	SECOND FLOOR FRAMING PLAN- AREA E	•				•		•			
S113E-TR	SECOND FLOOR TENSION ROD PLAN - AREA E	•									
S114	THIRD FLOOR FRAMING PLAN	•									
S114B S114C/D	THIRD FLOOR FRAMING PLAN- AREA A THIRD FLOOR FRAMING PLAN- AREA C/D	•				•			•		
S114C/D S114E	THIRD FLOOR FRAMING PLAN- AREA E	•				•			•		
S115	FOURTH FLOOR FRAMING PLAN	•									
S115B	FOURTH FLOOR FRAMING PLAN- AREA B	•							•		
S115C/D	FOURTH FLOOR FRAMING PLAN- AREA C/D	•									
S115E S116	FOURTH FLOOR FRAMING PLAN- AREA E ROOF FRAMING PLAN	•							•		
S116 S116B	ROOF FRAMING PLAN	•									
S116C/D	ROOF FRAMING PLAN- AREA C/D	•									
S116E	ROOF FRAMING PLAN- AREA E	•									
S117	SHEARWALL AND BEARING WALL TYPE PLAN	•									
S117B S117C/D	SHEARWALL AND BEARING WALL TYPE PLAN - B SHEARWALL AND BEARING WALL TYPE PLAN - C/D	•									
S117C/D S117E	SHEARWALL AND BEARING WALL TYPE PLAN - C/D SHEARWALL AND BEARING WALL TYPE PLAN - E	•									
S120	STAIR FRAMING PLANS	•	1								
S121	STAIR FRAMING PLANS	•									
S122	STAIR FRAMING PLANS	•									
S200	FOUNDATION SECTIONS	•				-				•	
S201 S300	FOUNDATION SECTIONS STEEL FRAMING SECTIONS	•				•					
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S306 S307	STEEL FRAMING SECTIONS	•				-				•	
S320	STEEL ROOF FRAMING SECTIONS	•								-	
S330	WOOD FLOOR FRAMING SECTIONS	•									
S331	WOOD FLOOR FRAMING SECTIONS	•									
S332	WOOD FLOOR FRAMING SECTIONS	•									
S333 S340	WOOD FLOOR FRAMING SECTIONS WOOD ROOF FRAMING SECTIONS	•								<u> </u>	
S340 S341	WOOD ROOF FRAMING SECTIONS	•									
S342	WOOD ROOF FRAMING SECTIONS	•									
S400	ELEVATIONS	•									

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		SHELL PACKAGE 07.29.19	BUILDING PERMIT COMMENTS 9.6.19	P RESUBMITTAL 9.11.19	BUILDING PERMIT COMMENTS 9.12.19	STRUCTURAL REVISION 10.16.19	STRUCTURAL REVISION 2 11.7.19	REVISION 1 12.20.19	REVISION 2 1.24.20	REVISION 3 4.3.2020	REVISION 4 4.24.2020
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ME101 P101	SITE PLAN - MECH/ELEC PARTIAL GARAGE PLAN - BELOW-GRADE PLUMBING	•	•	•					•		
P102	PARTIAL GARAGE PLAN - BELOW-GRADE PLUMBING	•	•						-	•	
P103	PARTIAL GARAGE PLAN - PLUMBING	•	•					•	•	•	•
P104 P105	PARTIAL GARAGE PLAN - PLUMBING FIRST FLOOR PLAN AREA B - PLUMBING	•	•					•	•	•	•
P105 P106	FIRST FLOOR PLAN AREAS C/D - PLUMBING	•	•					•	•	•	•
P107	FIRST FLOOR PLAN AREA E - PLUMBING	•	•							•	•
P108	SECOND FLOOR PLAN AREA B - PLUMBING	•									
P109 P110	SECOND FLOOR PLAN AREAS C/D - PLUMBING SECOND FLOOR PLAN AREA E - PLUMBING	•						•	•		
P111	FOURTH FLOOR PLAN AREA B - PLUMBING	•									
P112	FOURTH FLOOR PLAN AREAS C/D - PLUMBING	•						•	•		_
P113	FOURTH FLOOR PLAN AREA E PLUMBING	•									
P114 P115	PLUMBING RISERS PLUMBING RISERS				•						<u> </u>
P115 P116	PLUMBING RISERS				•						<u> </u>
P201	TYPICAL UNIT PLANS - PLUMBING	•						•			
P202 M101	TYPICAL UNIT PLANS - PLUMBING PARTIAL GARAGE PLAN - HVAC	•						•		•	<u> </u>
M101 M102	PARTIAL GARAGE PLAN - HVAC	•						•	•	•	
M103	FIRST FLOOR PLAN AREA B - HVAC	•									
M104	FIRST FLOOR PLAN AREAS C/D - HVAC	•						•		•	
M104a M105	PARTIAL FIRST FLOOR PLAN AREA C - HVAC FIRST FLOOR PLAN AREA E - HVAC	•						•			
M105 M106	SECOND FLOOR PLAN AREA B - HVAC	•						•			
M107	SECOND FLOOR PLAN AREAS C/D - HVAC	•									
M108	SECOND FLOOR PLAN AREA E - HVAC	•									
M109 M110	FOURTH FLOOR PLAN AREA B - HVAC FOURTH FLOOR PLAN AREAS C/D - HVAC	•						•			
M111	FOURTH FLOOR PLAN AREA E HVAC	•									
M112	ROOF FLOOR PLAN AREA B - HVAC	•									
M113 M114	ROOF FLOOR PLAN AREA D - HVAC ROOF FLOOR PLAN AREA E - HVAC	•									
M114 M201	TYPICAL UNIT PLANS - HVAC	•									
M202	TYPICAL UNIT PLANS - HVAC	•						•			
MP101		•									
MP102 MP103	MECHANICAL DETAILS MECHANICAL DETAILS	•									
MP104	MECHANICAL SCHEDULES	•						•		•	
E001	SITE PHOTOMETRIC PLAN	•		•						•	
E101 E102	PARTIAL GARAGE PLAN - ELECTRICAL PARTIAL GARAGE PLAN - ELECTRICAL	•	•					•	•	•	
E102	FIRST FLOOR PLAN AREA B - ELECTRICAL	•	•					•	•	•	•
E104	FIRST FLOOR PLAN AREAS C/D - ELECTRICAL	•						•		•	•
E104a	PARTIAL FIRST FLOOR PLAN AREA D - LIGHTING	•						•		•	
E104b E105	PARTIAL FIRST FLOOR PLAN AREA D - LIGHTING FIRST FLOOR PLAN AREA E - ELECTRICAL	•	•					•		•	•
E106	SECOND FLOOR PLAN AREA B - ELECTRICAL	•	•							•	
E107	SECOND FLOOR PLAN AREAS C/D - ELECTRICAL	•	٠							•	
E108 E109	SECOND FLOOR PLAN AREA E - ELECTRICAL FOURTH FLOOR PLAN AREA B - ELECTRICAL	•	•							•	
E109 E110	FOURTH FLOOR PLAN AREAS D - ELECTRICAL	•	•					•		•	
E110a	PARTIAL FOURTH FLOOR PLAN - AREA C/D - LIGHTING							•		•	
E111	FOURTH FLOOR PLAN AREA E ELECTRICAL	•	•							•	
E112 E113	ROOF FLOOR PLAN AREA B - ELECTRICAL ROOF FLOOR PLAN AREA D - ELECTRICAL	•	•							•	
E114	ROOF FLOOR PLAN AREA E - ELECTRICAL	•	•								
E201	TYPICAL UNIT PLANS - ELECTRICAL	•	•					•		•	
E202 E203	TYPICAL UNIT PLANS - ELECTRICAL TYPICAL UNIT PLANS - ELECTRICAL	•	•					•		•	
E301	ELECTRICAL DETAILS	•						-			
E302	ELECTRICAL DETAILS	•	•								
E303	ELECTRICAL DETAILS	•	-	<u> </u>						-	<u> </u>
E304 E305	ELECTRICAL DISTRIBUTION RISER DIAGRAM ELECTRICAL SCHEDULES	•	•	-	-					•	<u> </u>
E306	ELECTRICAL SCHEDULES	•	•					•	L	•	
E307	ELECTRICAL SCHEDULES	•	٠					•		•	
T101 T102	GARAGE PLAN TELECOM FIRST FLOOR PLAN - TELECOM	•									<u> </u>
T102 T103	SECOND FLOOR - TELECOM	•									
T104	FOURTH FLOOR - TELECOM	•									
T201	TELECOM DETAILS	•									





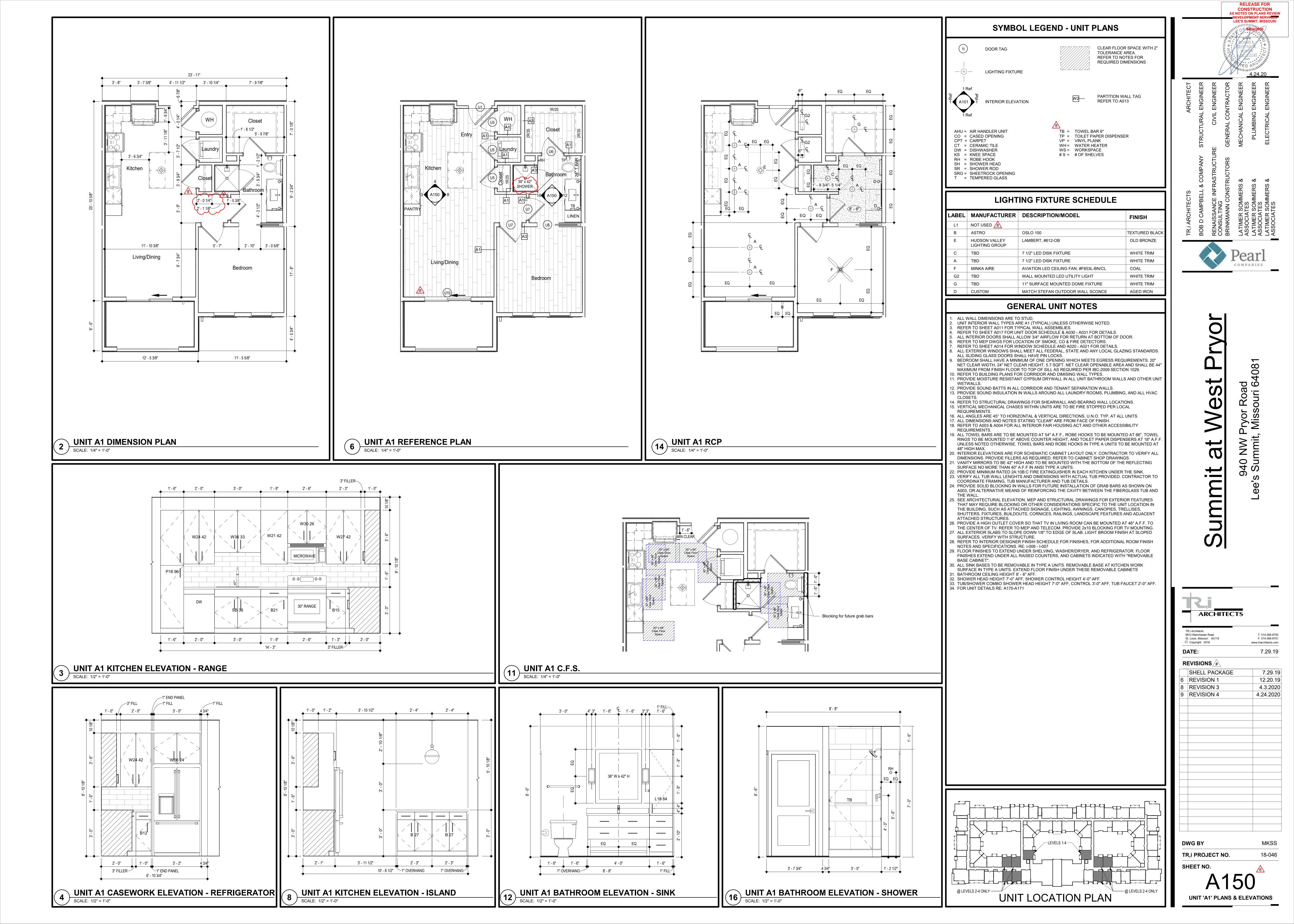
SET SILL IN CONT. BED OF SEALANT	
SLIDING DOOR PAN FLASHING OVER WATERPROOFING MEMBRANE	
/ 1X3 BLOCKING AS NEEDED UNDER FRAME	
WATERPROOF MEMBRANE RETURNED INTO DOOR OPENING AND UP OVER INTERIOR SLAB 4"	
CONTINUOUS WATERPROOF MEMBRANE UNDER DRAINAGE MAT	
2 7/8" CONCRETE TOPPING	
3/4" SHEATHING ON 2x10 JOIST RE: STRUCTURAL	
ことである。とものもので、あるには、あたまであった。 ひかってん ひっとう かんしょう かんしょう かん ひろう ひろう かんしょう アン・シストレイ アン・シスト	
2X4 FRAMING	
2X4 FRAMING (2) 5/8" TYPE X GYP BD	
2X4 FRAMING (2) 5/8" TYPE X GYP BD HARDIE SOFFIT	
2X4 FRAMING (2) 5/8" TYPE X GYP BD HARDIE SOFFIT SEALANT	
2X4 FRAMING (2) 5/8" TYPE X GYP BD HARDIE SOFFIT SEALANT EXTERIOR FINISH, RE: SECTIONS AND	
2X4 FRAMING (2) 5/8" TYPE X GYP BD HARDIE SOFFIT SEALANT EXTERIOR FINISH, RE:	
2X4 FRAMING (2) 5/8" TYPE X GYP BD HARDIE SOFFIT SEALANT EXTERIOR FINISH, RE: SECTIONS AND	
2X4 FRAMING (2) 5/8" TYPE X GYP BD HARDIE SOFFIT SEALANT EXTERIOR FINISH, RE: SECTIONS AND	

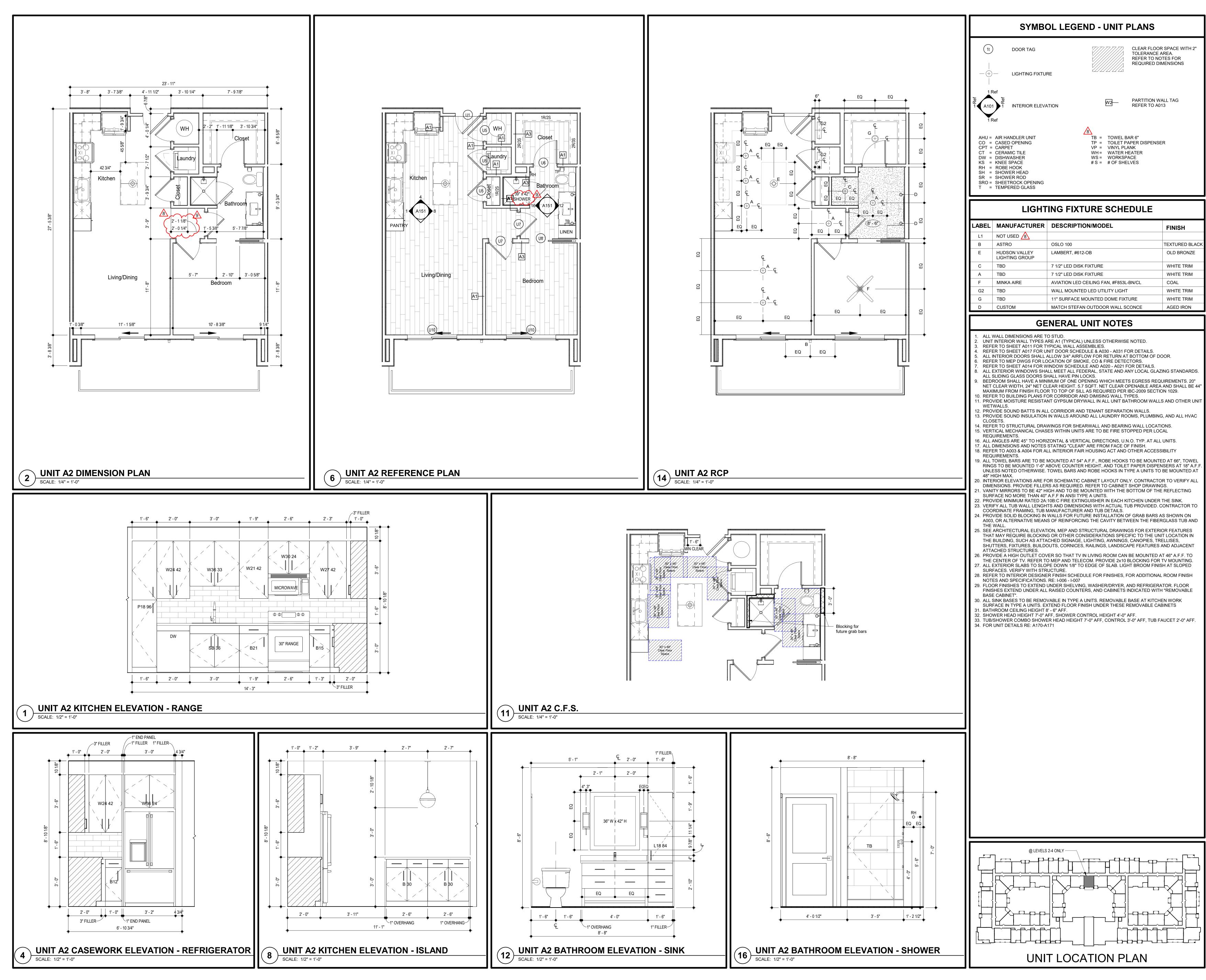


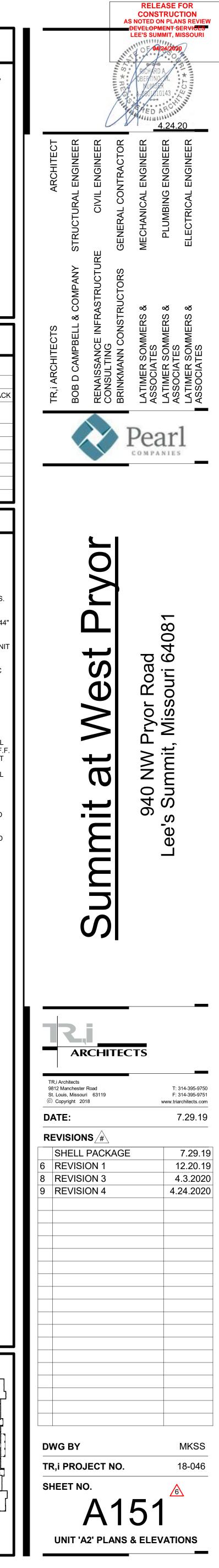


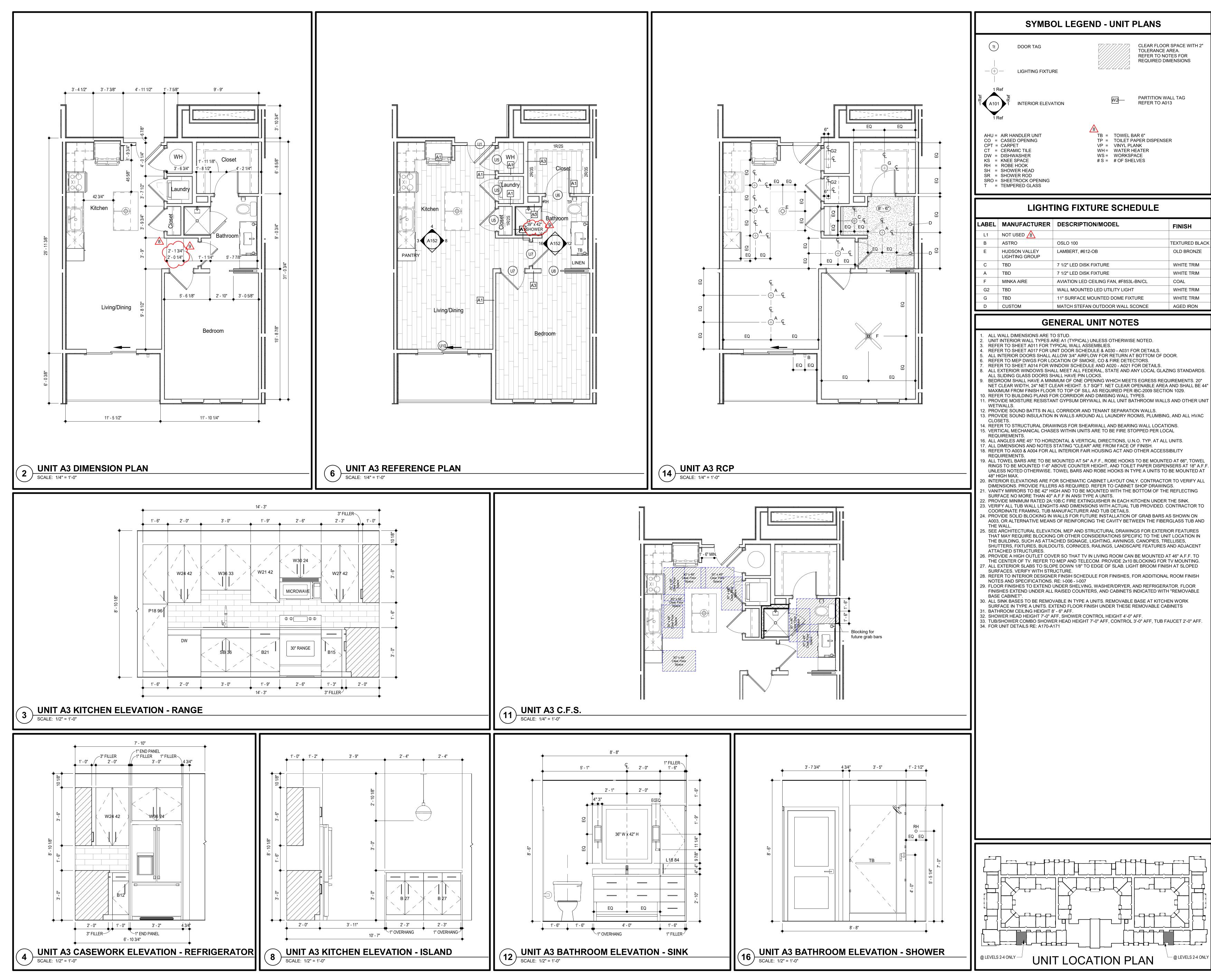
TR,i Architects 9812 Manchester Road St. Louis, Missouri 63119 (c) Copyright 2018	T: 314-395-9750 F: 314-395-9751 www.triarchitects.com					
DATE:	7.29.19					
REVISIONS #						
8 REVISION 3 9 REVISION 4	4.3.2020					
	Author					
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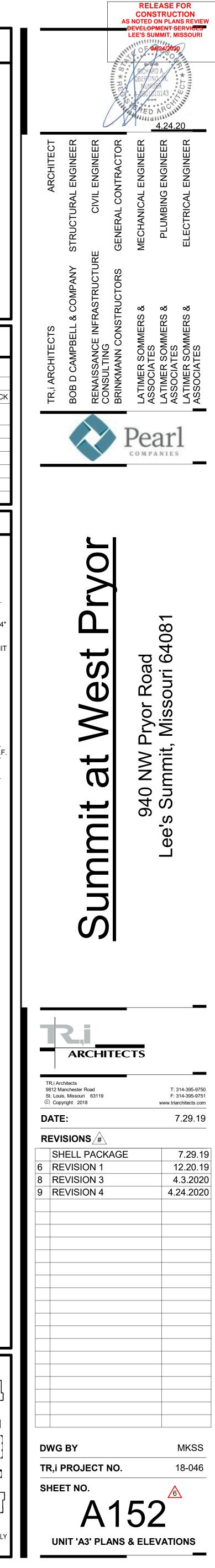
DOOR DETAILS

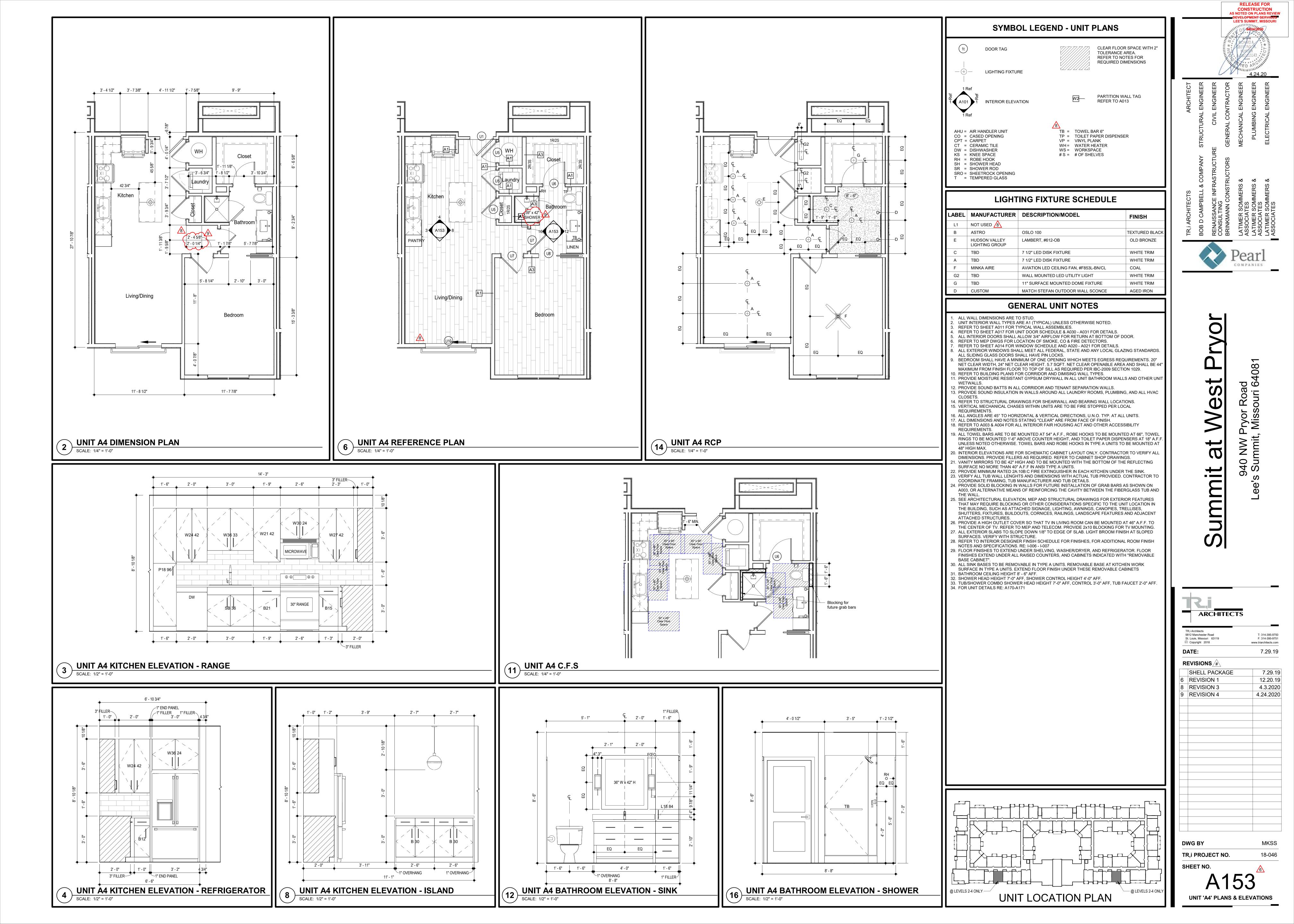


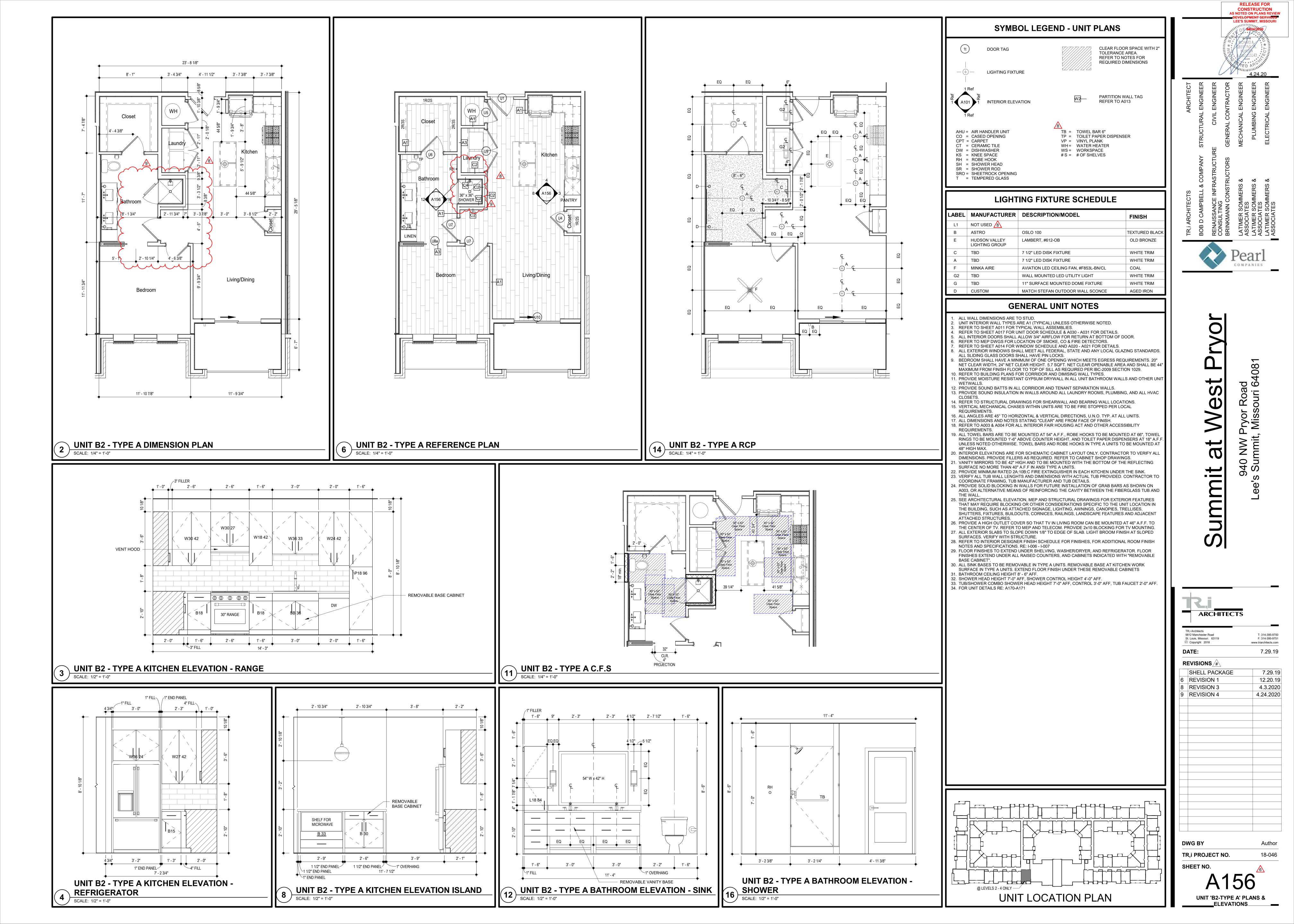


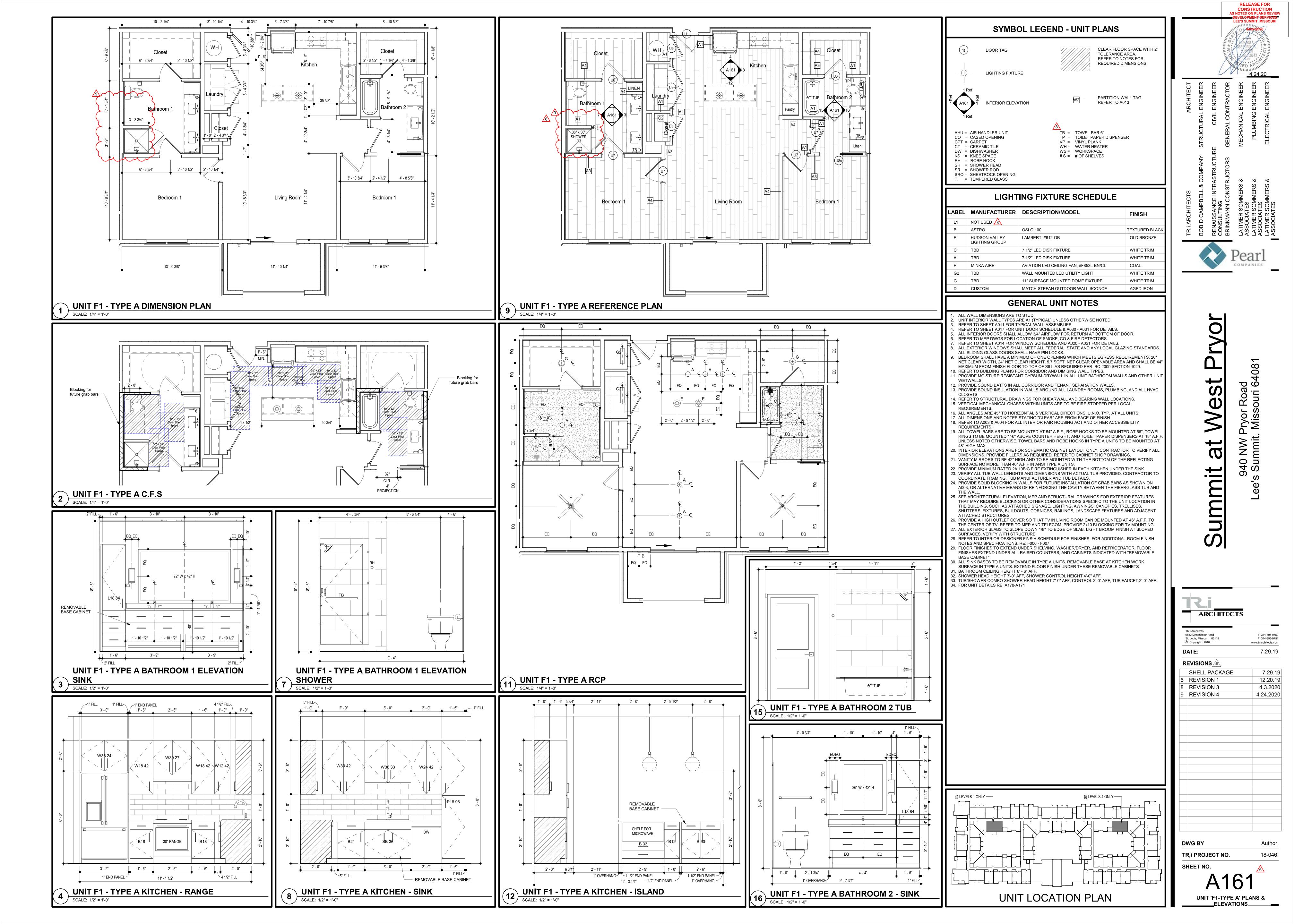


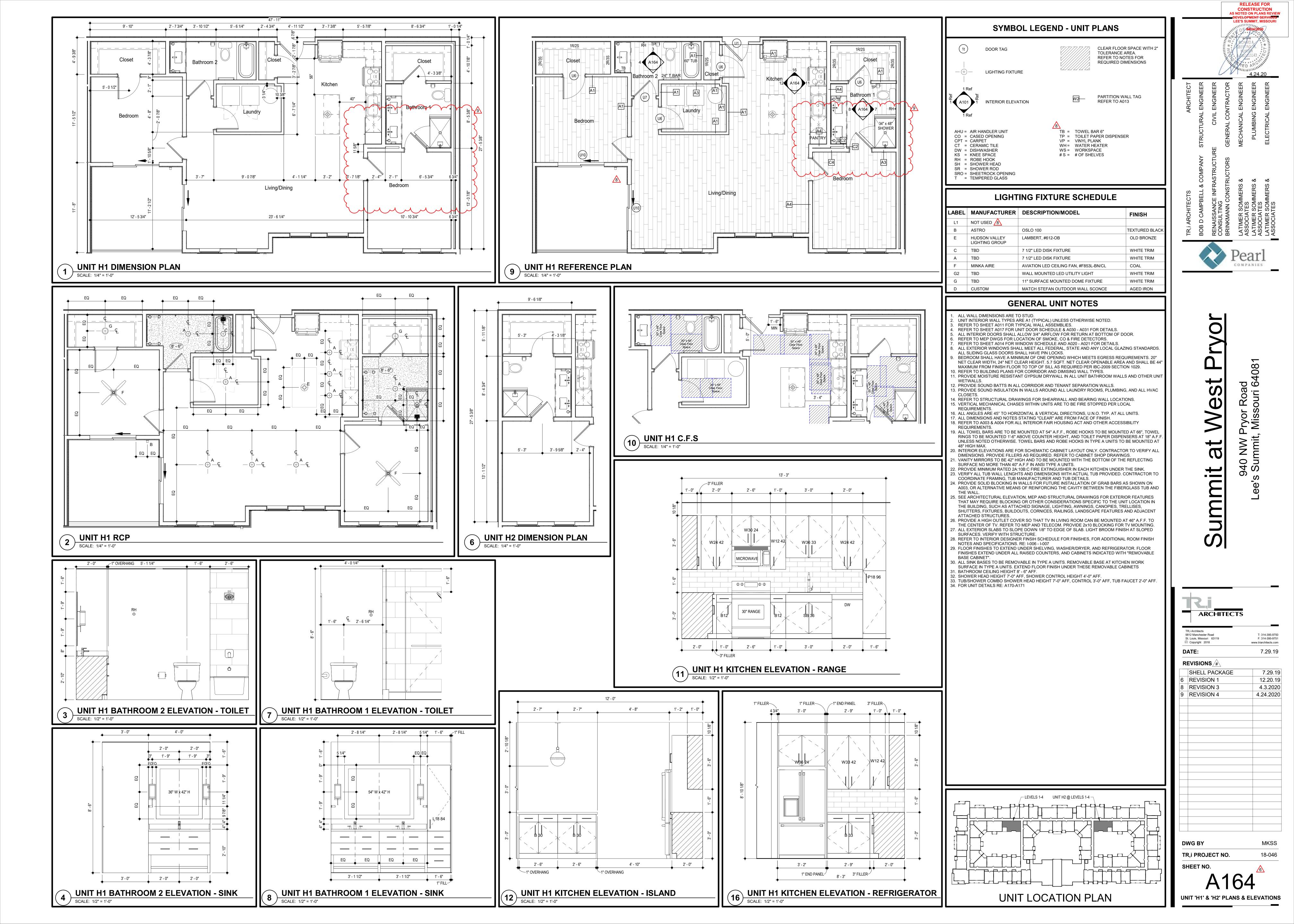


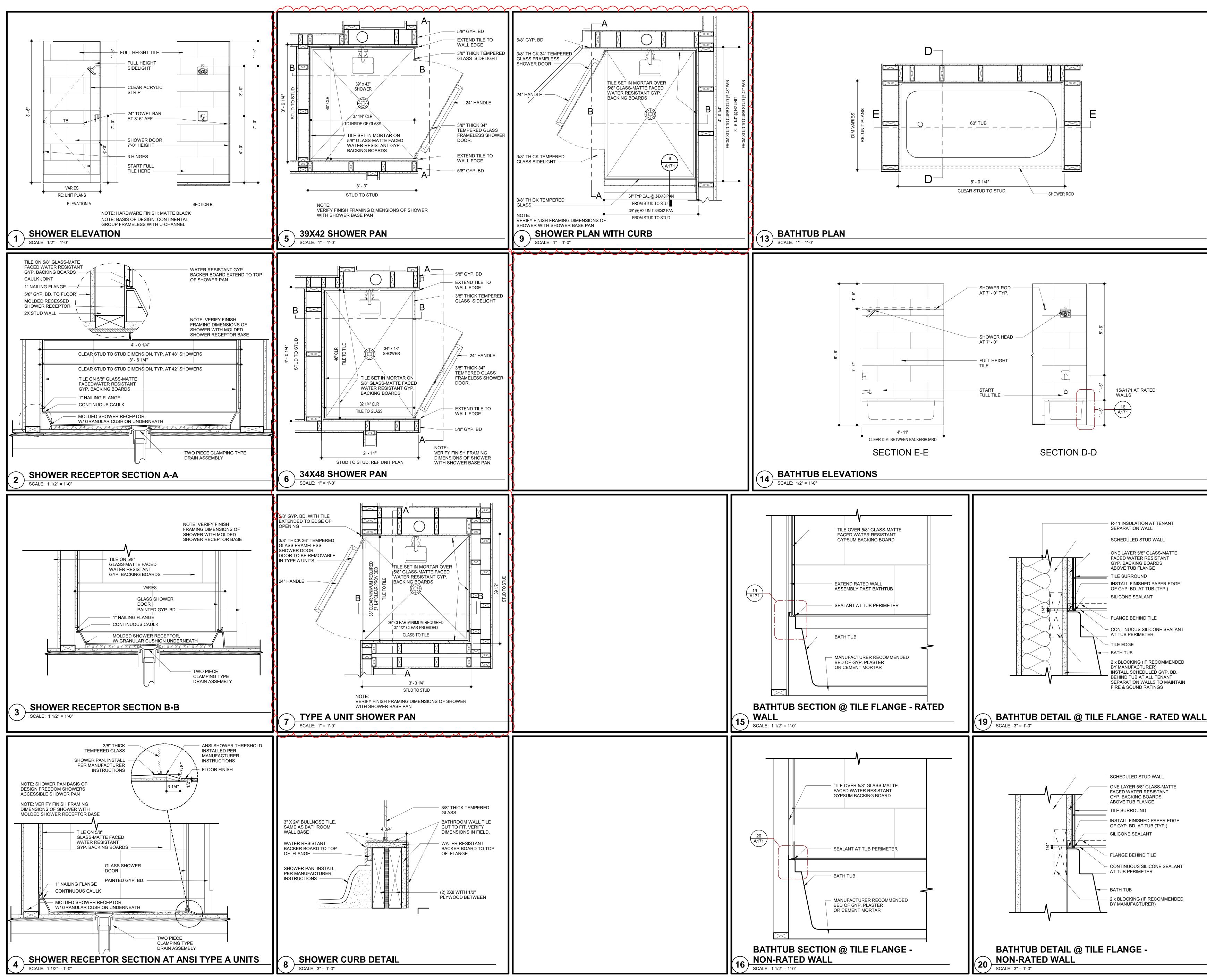


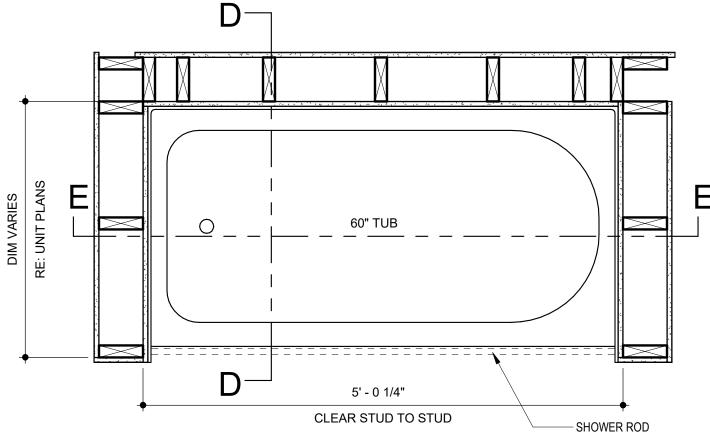


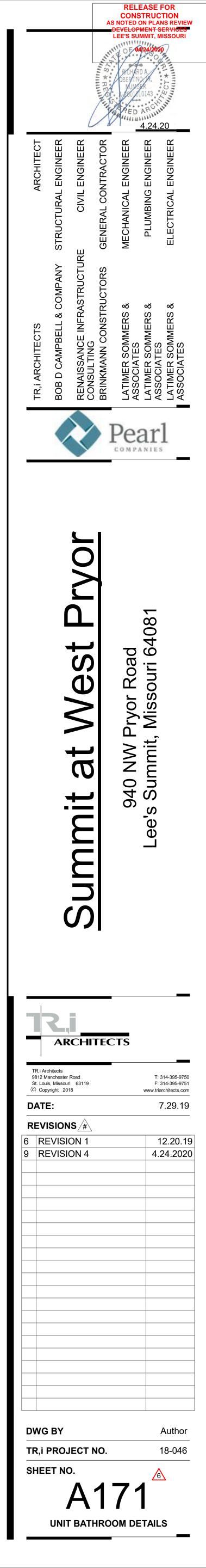


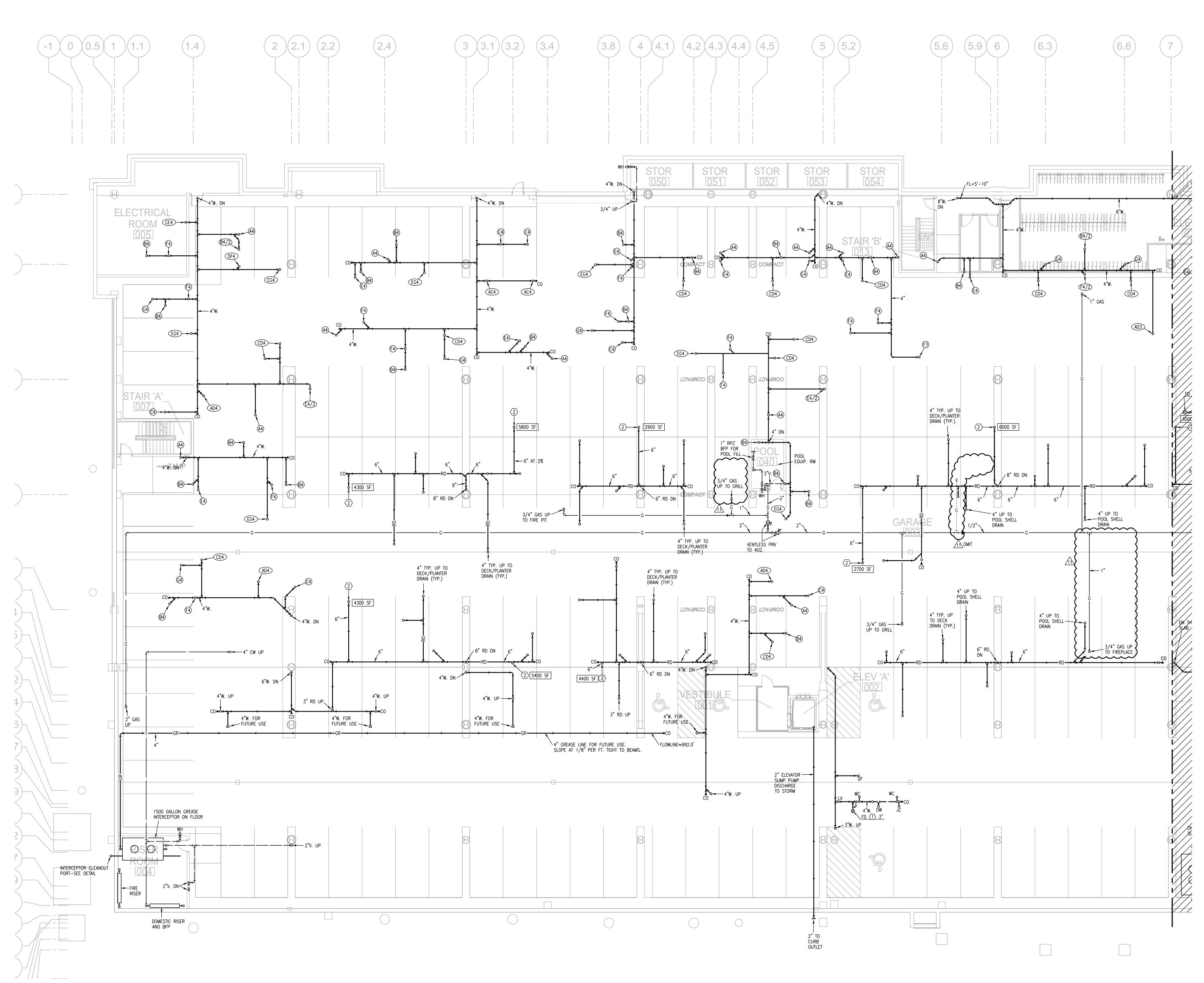












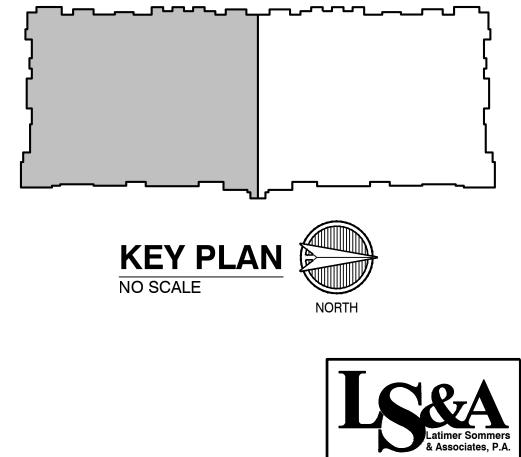


- 1. ALL DRAIN, WASTE AND VENT PIPING IS 2" UNLESS NOTED OTHERWISE.
- 2. ALL BELOW SLAB SUPPLY PIPING SHALL BE PEX WITH NO JOINTS. DHW BELOW SLAB TO BE INSULATED TO R-3.
- 3. DHW PIPING 3/4" AND LARGER TO BE INSULATED TO R-3 MINIMUM
- ALL SUPPLY PIPING IS 1/2" UNLESS NOTED OTHERWISE.
- 5. CONNECT ALL APPLIANCES OR EQUIPMENT PER MANUFACTURERS INSTRUCTIONS.
- 6. ALL PLUMBING VENTS SHALL BE 10 FEET FROM OPENINGS OR INTAKE.
- 7. THERE SHALL BE NO PVC WITHIN RETURN AIR PLENUMS.
- 8. ALL FIXTURES WITH QUICK CLOSING VALVES SHALL HAVE FIXTURE OR BLADDER TYPE SHOCK SUPPRESSORS FOR EACH CHASE.
- 9. SEE ARCHITECTURAL DRAWINGS FOR ALL MOUNTING HEIGHTS.
- 10. REFER TO THE ARCHITECTURAL DRAWINGS FOR FLOOR DRAIN LOCATIONS AND FLOOR SLOPES IF PRESENT.
- 11. ROUTE DRAIN PIPING FROM WATER HEATERS, AIR HANDLERS OR EQUIPMENT TO FLOOR DRAINS. PROVIDE PROPER TRAPS.
- 12. ROUTE NO PIPING OVER ELECTRICAL EQUIPMENT.
- 13. ALL WASTE AND ROOF DRAIN STACKS SHALL HAVE CLEANOUTS AT THE BASE.

LEGEND:

(1) 3"V. UP TO RISER FOR FUTURE CONNECTION.						
$\langle 2 \rangle$ 6" UP TO DOWNSPOUT CONNECTION.						
$\langle 3 \rangle$ DOWNSPOUT CONNECTION. 6" DOWN TO GARAGE.						

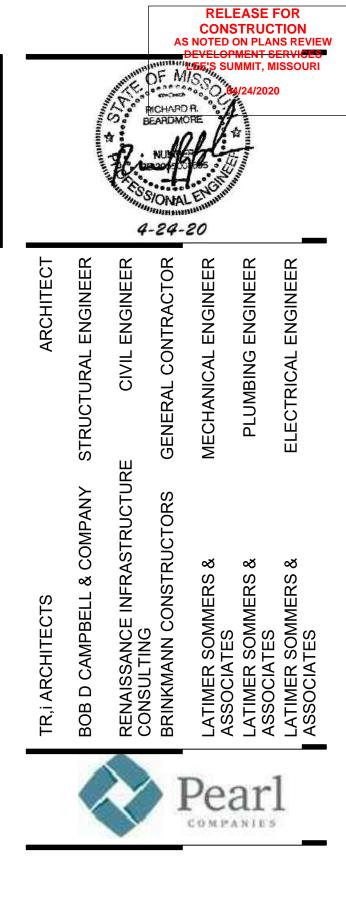
 $\langle 4 \rangle$ penetrate beam per structural detail.



CONSULTING ENGINEERS 3639 SW Summerfield Drive, Suite A Topeka, Kansas 66614-3974

Telephone: (785) 233-3232 FAX: (785) 233-0647 Email: Isapa@Isapa.com

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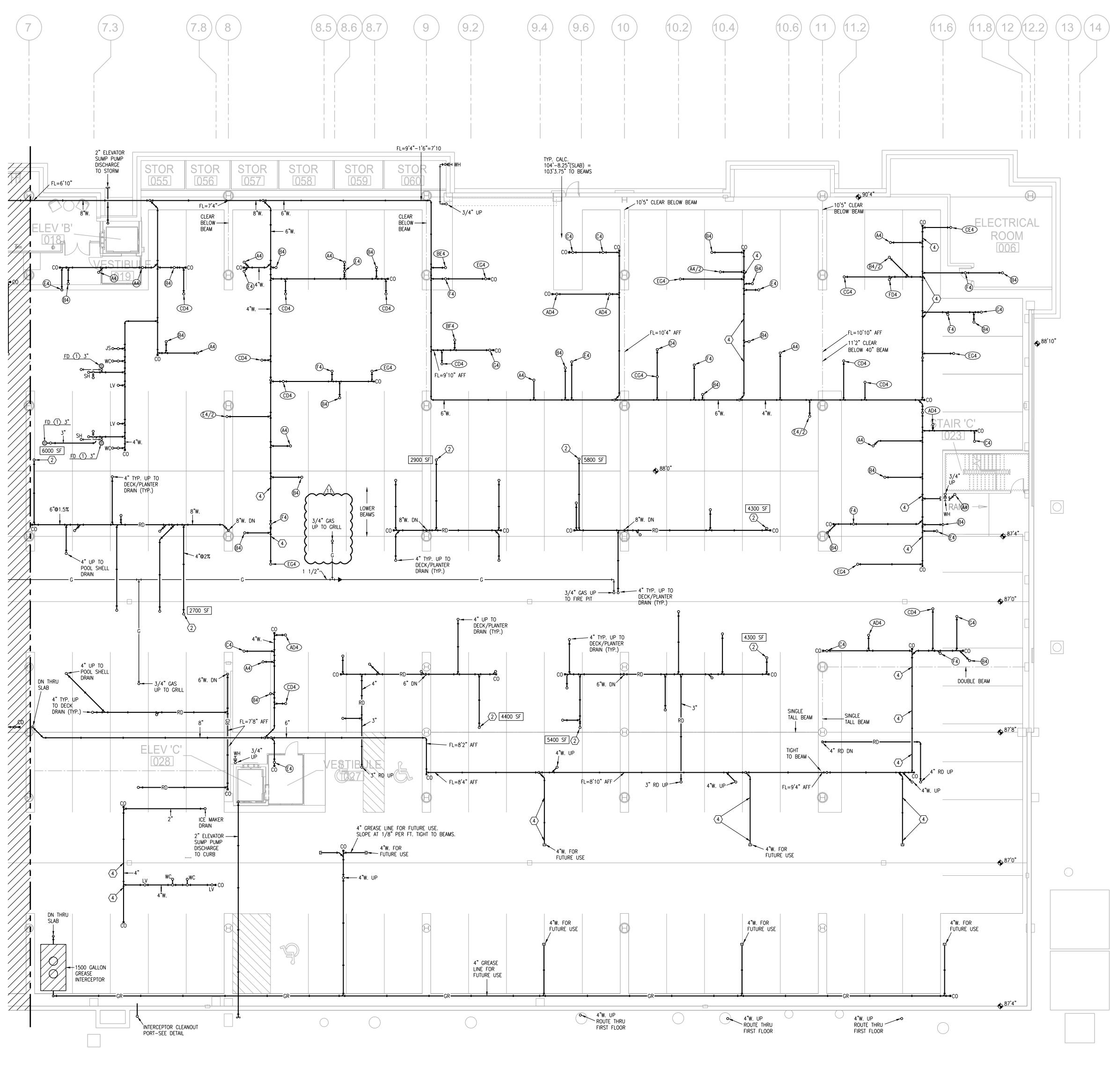
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TR,i Architects 9812 Manchester Road St. Louis, Missouri 63119 ⓒ Copyright 2018	T: 314-395-9750 F: 314-395-9751 www.triarchitects.com
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1 PERMIT COMMENTS	09.06.19
6 REVISION 1	12.20.19
7 REVISION 2	1.24.20
8 REVISION 3	04.03.20
REVISION 4	04.24.2020
WG BY	RRB

SHEET NO. P103 PARTIAL GARAGE PLAN - PLUMBING

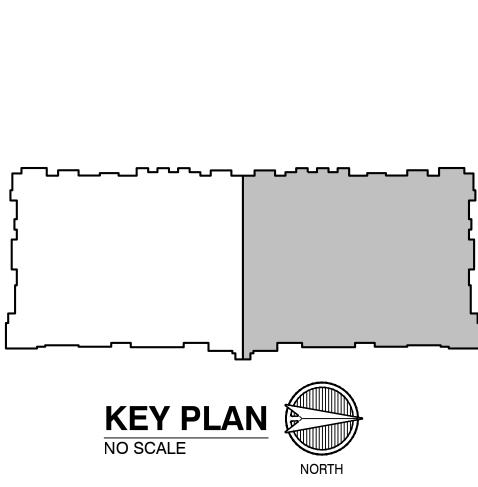
18-046

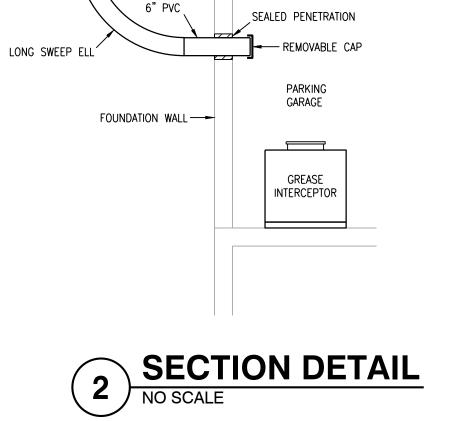
TR, i PROJECT NO.











FIRST FLOOR

CAST IRON LID

18" SQUARE [/] CONCRETE PAD

GRADE

LEGEND:
(1) 3"V. UP TO RISER FOR FUTURE CONNECTION.
$\langle 2 \rangle$ 6" UP TO DOWNSPOUT CONNECTION.
(3) DOWNSPOUT CONNECTION. 6" DOWN TO GARAGE.
$\langle 4 \rangle$ penetrate beam per structural detail.

ALL PLUMBING VENTS SHALL BE 10 FEET FROM OPENINGS OR INTAKE. THERE SHALL BE NO PVC WITHIN RETURN AIR PLENUMS.

ALL SUPPLY PIPING IS 1/2" UNLESS NOTED

CONNECT ALL APPLIANCES OR EQUIPMENT PER MANUFACTURERS INSTRUCTIONS.

ALL DRAIN, WASTE AND VENT PIPING IS 2" UNLESS NOTED OTHERWISE.

ALL BELOW SLAB SUPPLY PIPING SHALL BE PEX WITH NO JOINTS. DHW BELOW SLAB TO BE INSULATED TO

. DHW PIPING 3/4" AND LARGER TO BE INSULATED TO

NOTES:

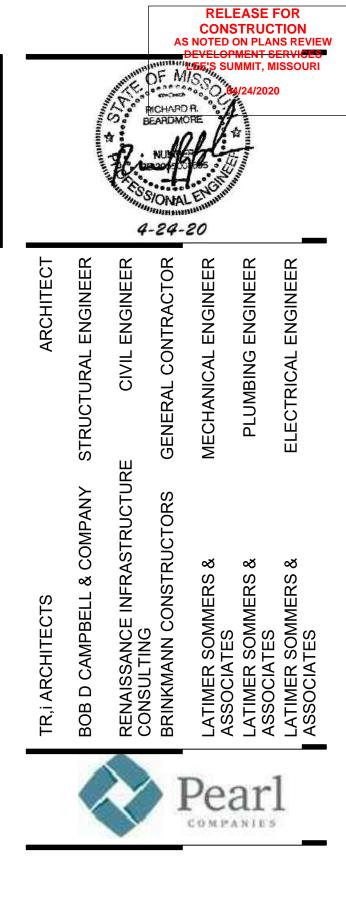
R-3.

R-3 MINIMUM

OTHERWISE.

- ALL FIXTURES WITH QUICK CLOSING VALVES SHALL HAVE FIXTURE OR BLADDER TYPE SHOCK SUPPRESSORS FOR EACH CHASE.
- . SEE ARCHITECTURAL DRAWINGS FOR ALL MOUNTING
- HEIGHTS.
- D. REFER TO THE ARCHITECTURAL DRAWINGS FOR FLOOR DRAIN LOCATIONS AND FLOOR SLOPES IF PRESENT.
- . ROUTE DRAIN PIPING FROM WATER HEATERS, AIR HANDLERS OR EQUIPMENT TO FLOOR DRAINS. PROVIDE
- PROPER TRAPS.

- 12. ROUTE NO PIPING OVER ELECTRICAL EQUIPMENT. 13. ALL WASTE AND ROOF DRAIN STACKS SHALL HAVE CLEANOUTS AT THE BASE.



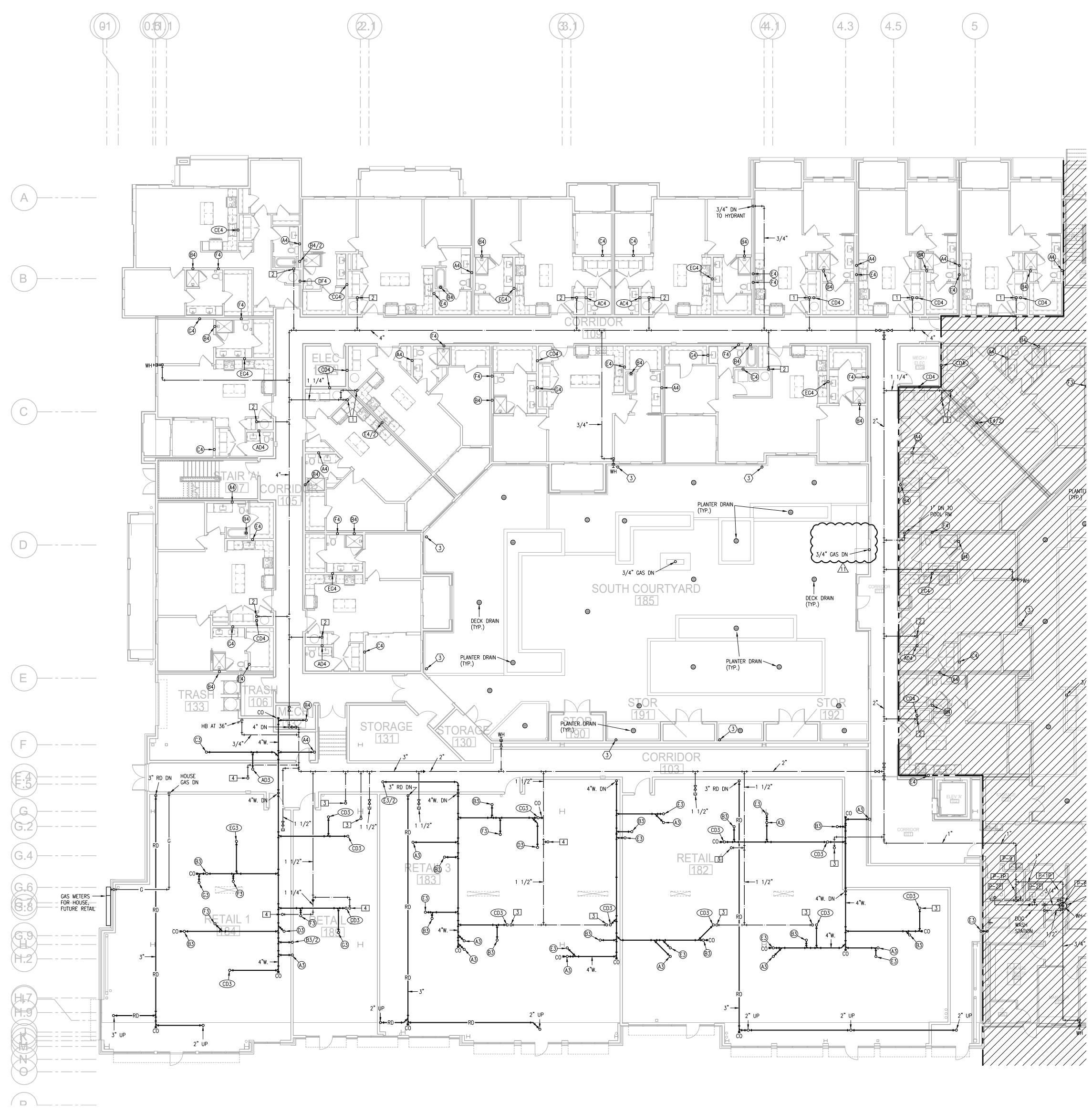
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REVISION 4	04.24.2020
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P104

PARTIAL GARAGE PLAN - PLUMBING

SHEET NO.

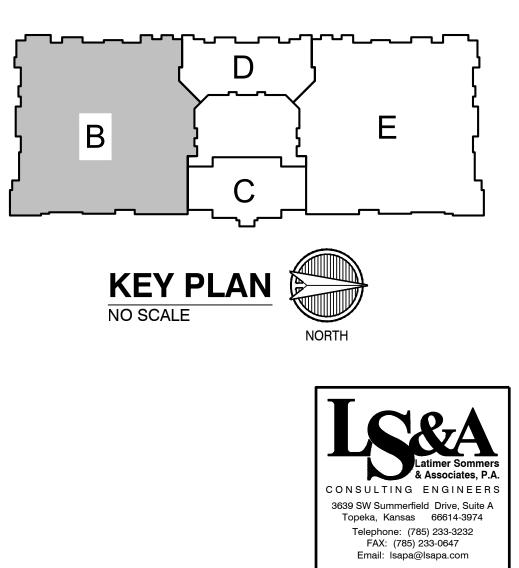


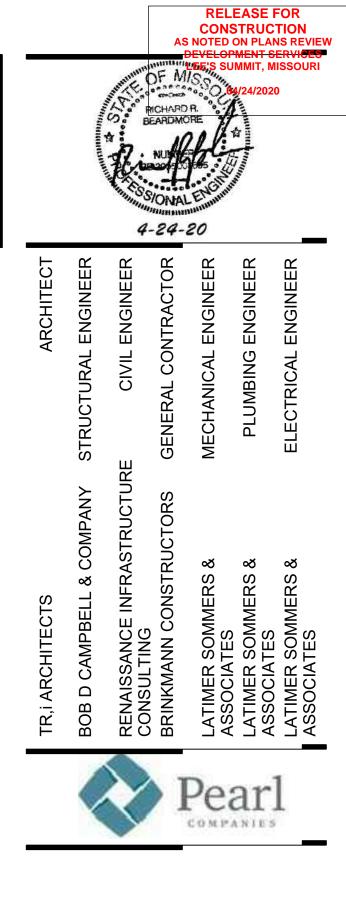


- 1. ALL DRAIN, WASTE AND VENT PIPING IS 2" UNLESS NOTED OTHERWISE.
- 2. ALL BELOW SLAB SUPPLY PIPING SHALL BE PEX WITH NO JOINTS. DHW BELOW SLAB TO BE INSULATED TO R-3.
- DHW PIPING 3/4" AND LARGER TO BE INSULATED TO R-3 MINIMUM
- 4. ALL SUPPLY PIPING IS 1/2" UNLESS NOTED OTHERWISE.
- 5. CONNECT ALL APPLIANCES OR EQUIPMENT PER MANUFACTURERS INSTRUCTIONS.
- 6. ALL PLUMBING VENTS SHALL BE 10 FEET FROM OPENINGS OR INTAKE.
- 7. THERE SHALL BE NO PVC WITHIN RETURN AIR PLENUMS.
- 8. ALL FIXTURES WITH QUICK CLOSING VALVES SHALL HAVE FIXTURE OR BLADDER TYPE SHOCK SUPPRESSORS FOR EACH CHASE.
- 9. SEE ARCHITECTURAL DRAWINGS FOR ALL MOUNTING HEIGHTS.
- 10. REFER TO THE ARCHITECTURAL DRAWINGS FOR FLOOR DRAIN LOCATIONS AND FLOOR SLOPES IF PRESENT.
- 11. ROUTE DRAIN PIPING FROM WATER HEATERS, AIR HANDLERS OR EQUIPMENT TO FLOOR DRAINS. PROVIDE PROPER TRAPS.
- 12. ROUTE NO PIPING OVER ELECTRICAL EQUIPMENT.
- 13. ALL WASTE AND ROOF DRAIN STACKS SHALL HAVE CLEANOUTS AT THE BASE.

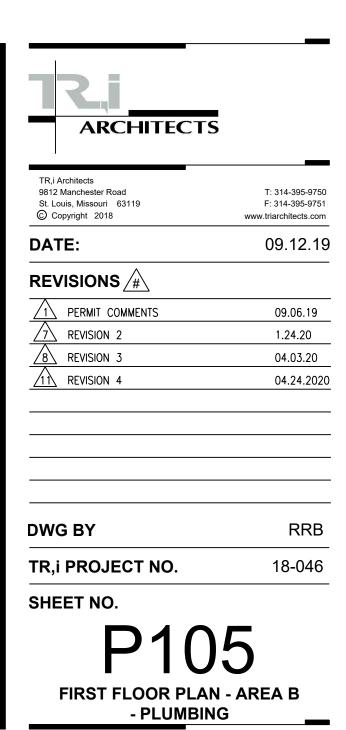
LEGEND:

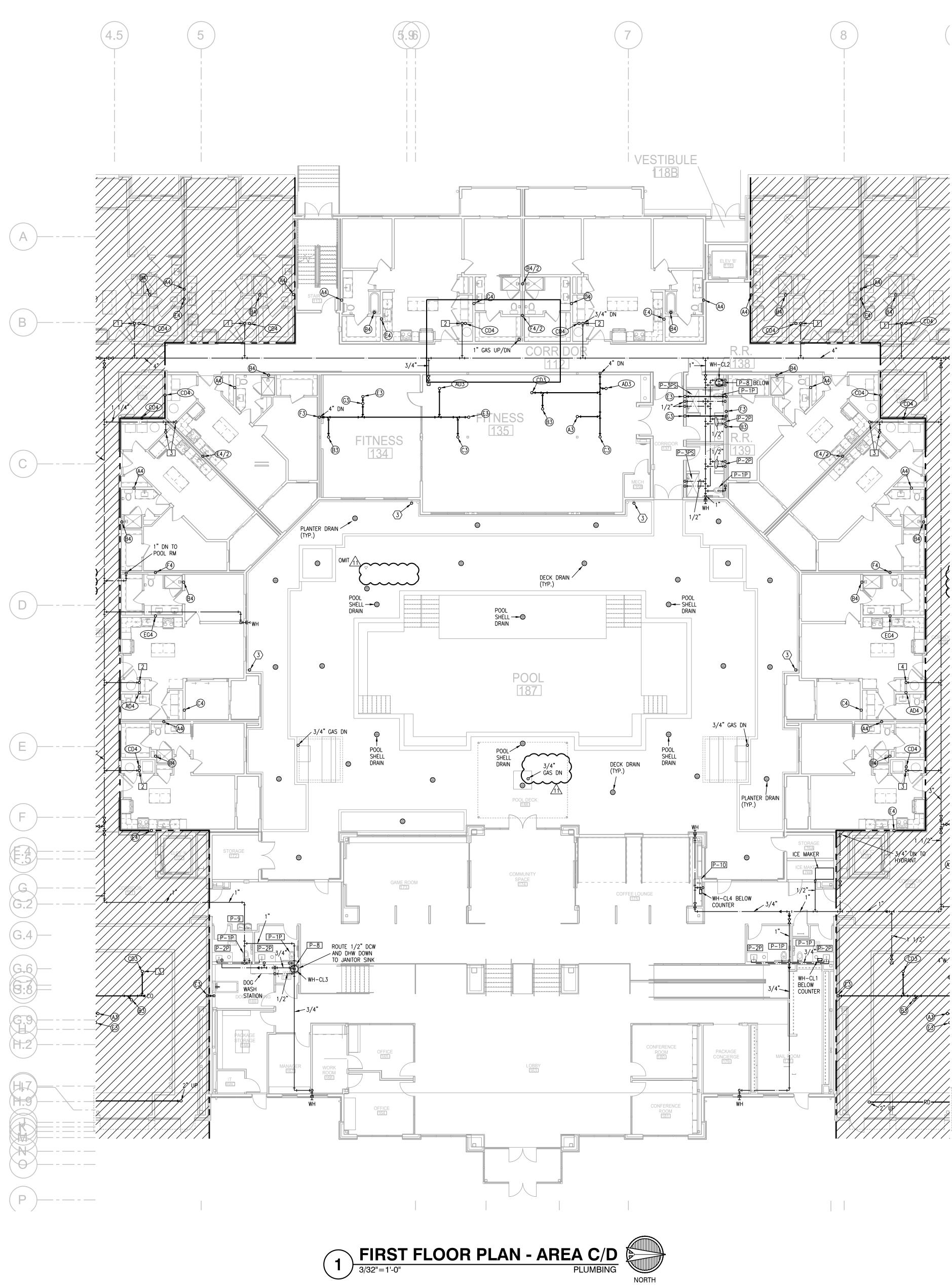
(1) 3"V. UP TO RISER FOR FUTURE CONNECTION.
$\langle 2 \rangle$ 6" UP TO DOWNSPOUT CONNECTION.
$\overline{3}$ DOWNSPOUT CONNECTION. 6" DOWN TO GARAGE.
4 PENETRATE BEAM PER STRUCTURAL DETAIL.





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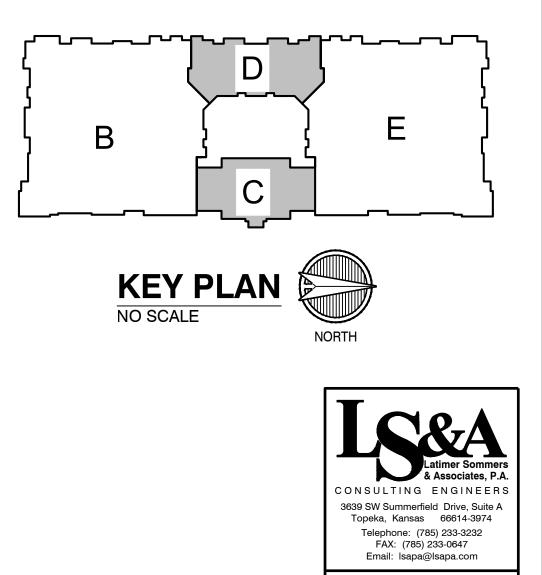




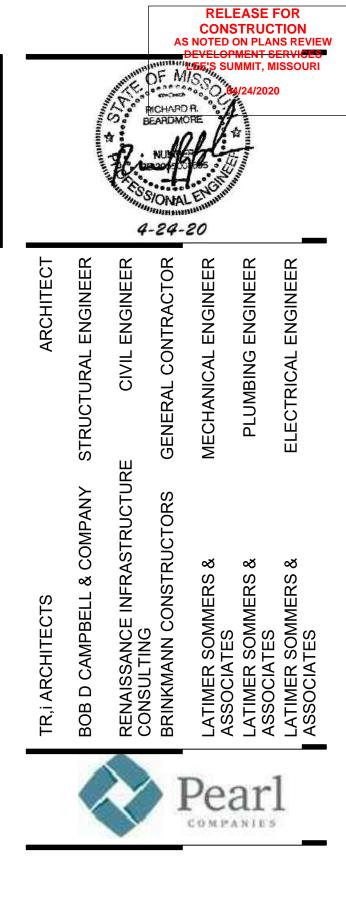
- . ALL DRAIN, WASTE AND VENT PIPING IS 2" UNLESS NOTED OTHERWISE.
- 2. ALL BELOW SLAB SUPPLY PIPING SHALL BE PEX WITH NO JOINTS. DHW BELOW SLAB TO BE INSULATED TO R-3.
- . DHW PIPING 3/4" AND LARGER TO BE INSULATED TO R-3 MINIMUM
- . ALL SUPPLY PIPING IS 1/2" UNLESS NOTED OTHERWISE.
- CONNECT ALL APPLIANCES OR EQUIPMENT PER MANUFACTURERS INSTRUCTIONS.
- ALL PLUMBING VENTS SHALL BE 10 FEET FROM OPENINGS OR INTAKE.
- THERE SHALL BE NO PVC WITHIN RETURN AIR PLENUMS.
- 3. ALL FIXTURES WITH QUICK CLOSING VALVES SHALL HAVE FIXTURE OR BLADDER TYPE SHOCK SUPPRESSORS FOR EACH CHASE.
- . SEE ARCHITECTURAL DRAWINGS FOR ALL MOUNTING HEIGHTS.
- 0. REFER TO THE ARCHITECTURAL DRAWINGS FOR FLOOR DRAIN LOCATIONS AND FLOOR SLOPES IF PRESENT.
- 1. ROUTE DRAIN PIPING FROM WATER HEATERS, AIR HANDLERS OR EQUIPMENT TO FLOOR DRAINS. PROVIDE PROPER TRAPS.
- 12. ROUTE NO PIPING OVER ELECTRICAL EQUIPMENT.
- 13. ALL WASTE AND ROOF DRAIN STACKS SHALL HAVE CLEANOUTS AT THE BASE.

LEGEND:

(1) 3"V. UP TO RISER FOR FUTURE CONNECTION.
$\langle 2 \rangle$ 6" UP TO DOWNSPOUT CONNECTION.
$\langle \overline{3} \rangle$ downspout connection. 6" down to garage
$\langle 4 \rangle$ penetrate beam per structural detail.



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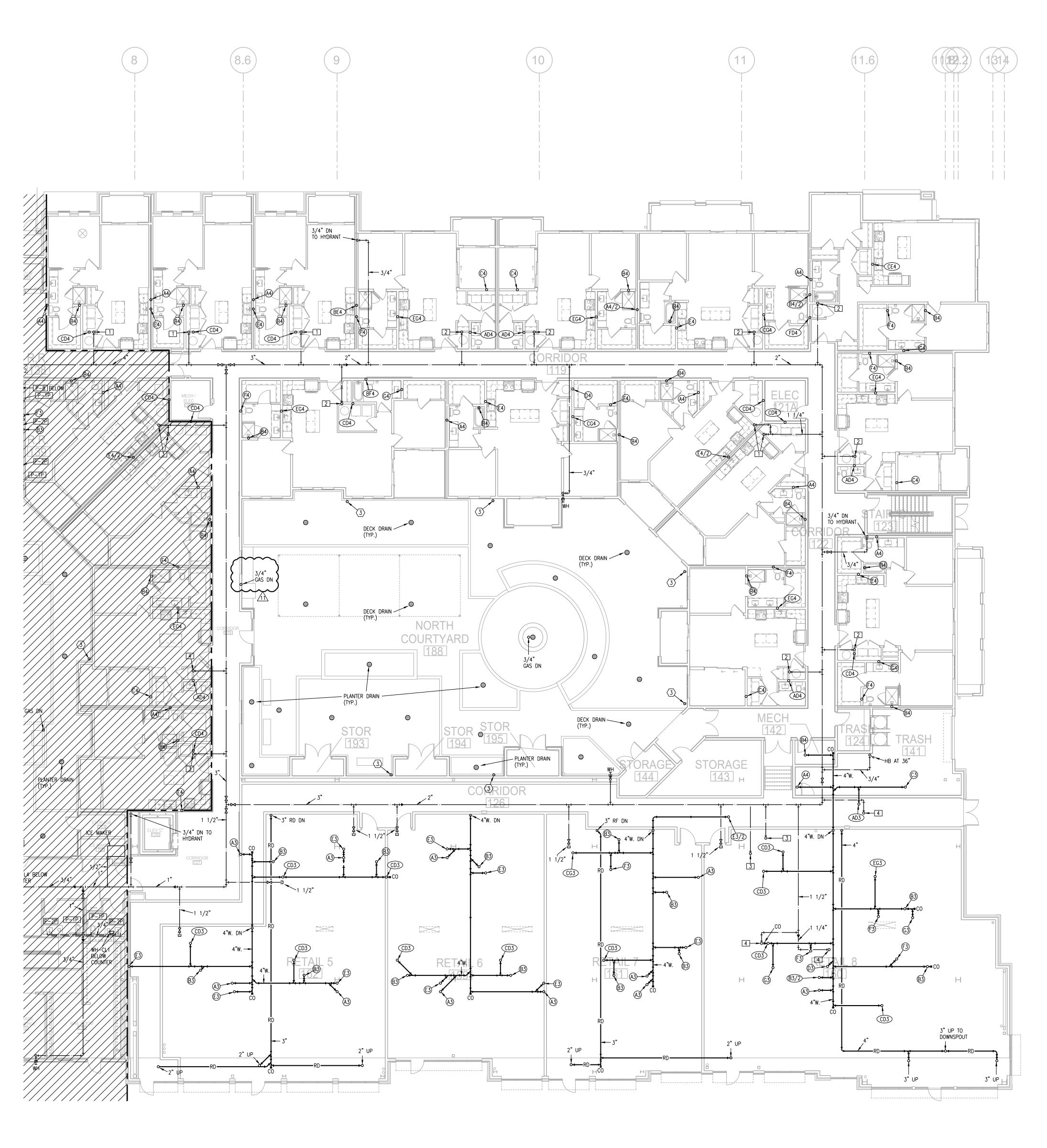


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TR,i PROJECT NO.	18-046

P106 FIRST FLOOR PLAN - AREA C/D - PLUMBING

SHEET NO.

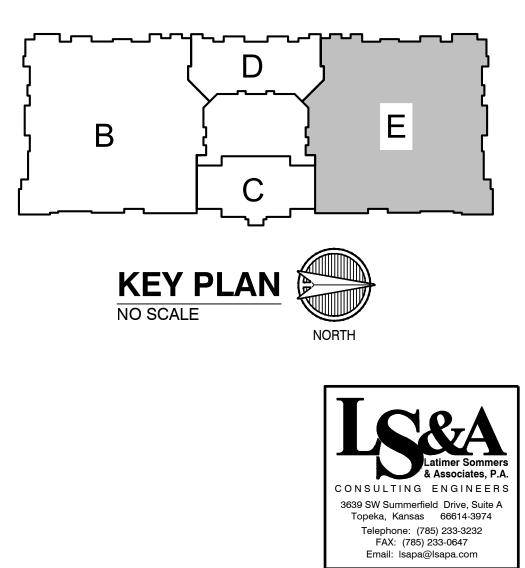


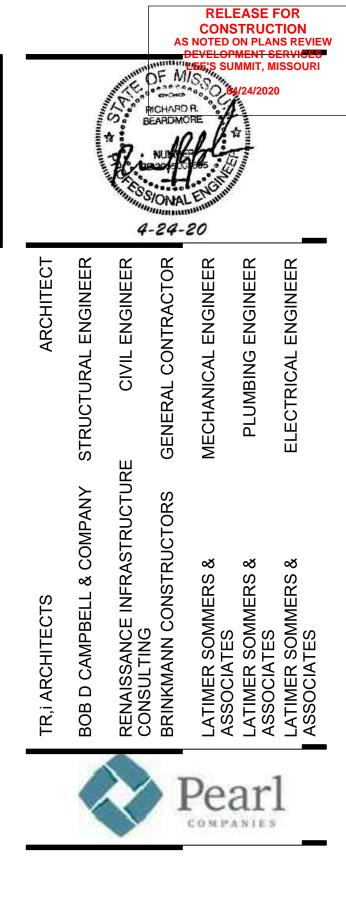


- 1. ALL DRAIN, WASTE AND VENT PIPING IS 2" UNLESS NOTED OTHERWISE.
- 2. ALL BELOW SLAB SUPPLY PIPING SHALL BE PEX WITH NO JOINTS. DHW BELOW SLAB TO BE INSULATED TO R-3.
- 3. DHW PIPING 3/4" AND LARGER TO BE INSULATED TO R-3 MINIMUM
- 4. ALL SUPPLY PIPING IS 1/2" UNLESS NOTED OTHERWISE.
- 5. CONNECT ALL APPLIANCES OR EQUIPMENT PER MANUFACTURERS INSTRUCTIONS.
- 6. ALL PLUMBING VENTS SHALL BE 10 FEET FROM OPENINGS OR INTAKE.
- 7. THERE SHALL BE NO PVC WITHIN RETURN AIR PLENUMS.
- 8. ALL FIXTURES WITH QUICK CLOSING VALVES SHALL HAVE FIXTURE OR BLADDER TYPE SHOCK SUPPRESSORS FOR EACH CHASE.
- 9. SEE ARCHITECTURAL DRAWINGS FOR ALL MOUNTING HEIGHTS.
- 10. REFER TO THE ARCHITECTURAL DRAWINGS FOR FLOOR DRAIN LOCATIONS AND FLOOR SLOPES IF PRESENT.
- 11. ROUTE DRAIN PIPING FROM WATER HEATERS, AIR HANDLERS OR EQUIPMENT TO FLOOR DRAINS. PROVIDE PROPER TRAPS.
- 12. ROUTE NO PIPING OVER ELECTRICAL EQUIPMENT.
- 13. ALL WASTE AND ROOF DRAIN STACKS SHALL HAVE CLEANOUTS AT THE BASE.

LEGEND:

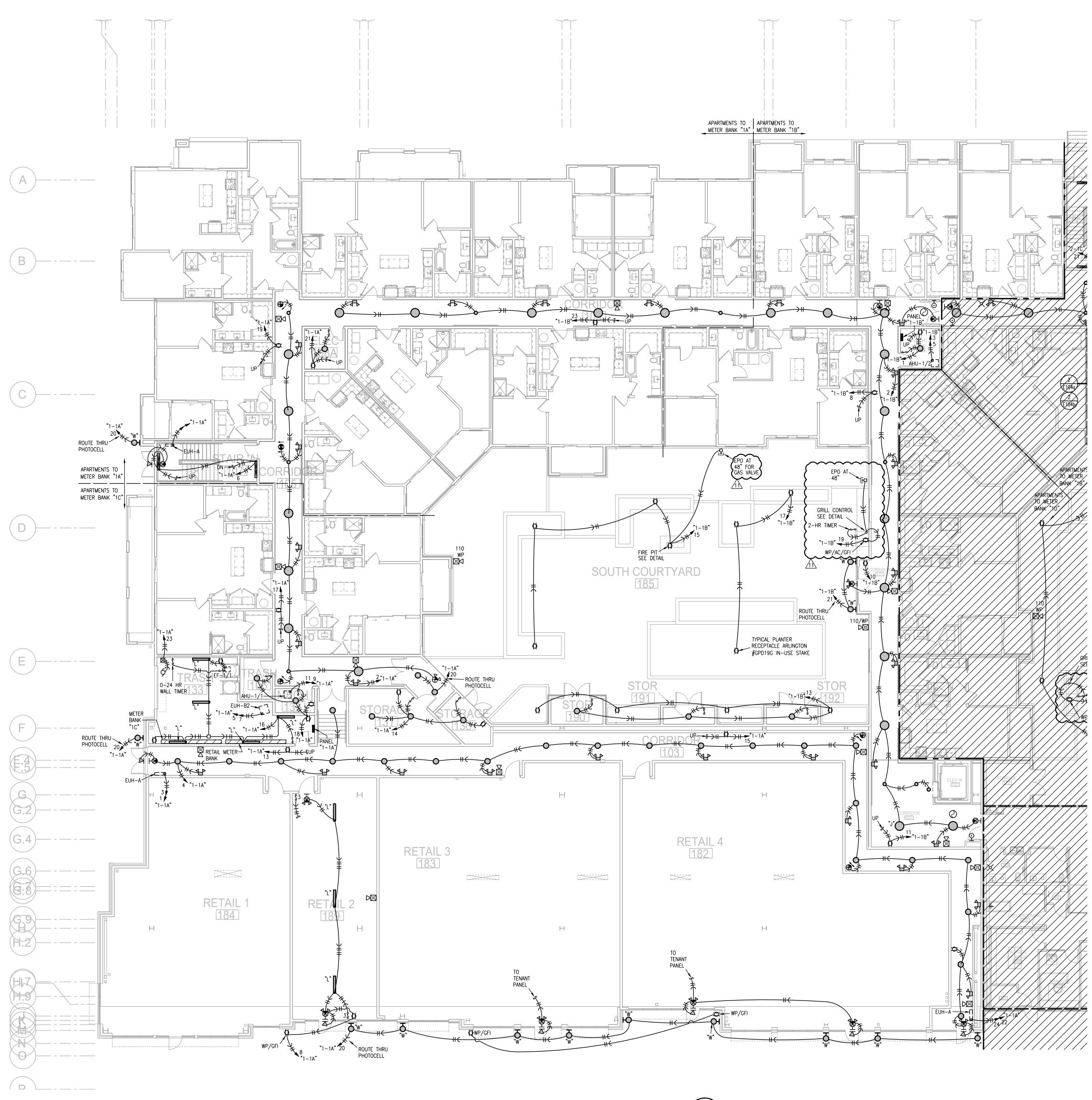
$\langle 1 \rangle$ 3"V. UP TO RISER FOR FUTURE CONNECTION.
$\langle 2 \rangle$ 6" UP TO DOWNSPOUT CONNECTION.
$\langle 3 \rangle$ DOWNSPOUT CONNECTION. 6" DOWN TO GARAGE.
$\langle 4 \rangle$ penetrate beam per structural detail.





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11 REVISION 4	04.24.2020
DWG BY	RRB
TR,i PROJECT NO.	18-046
SHEET NO.	
P10	7
FIRST FLOOR PLAN	

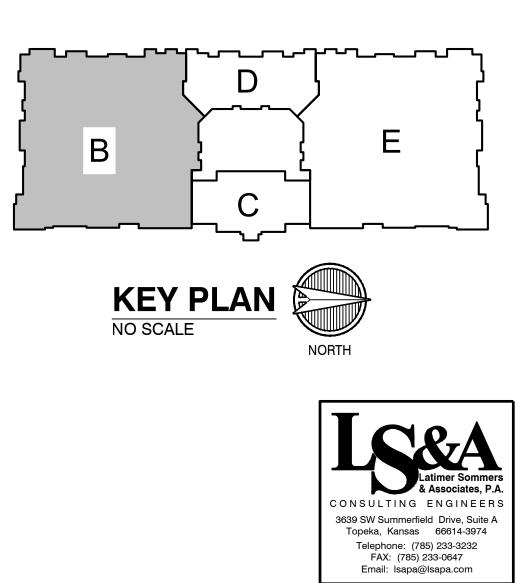


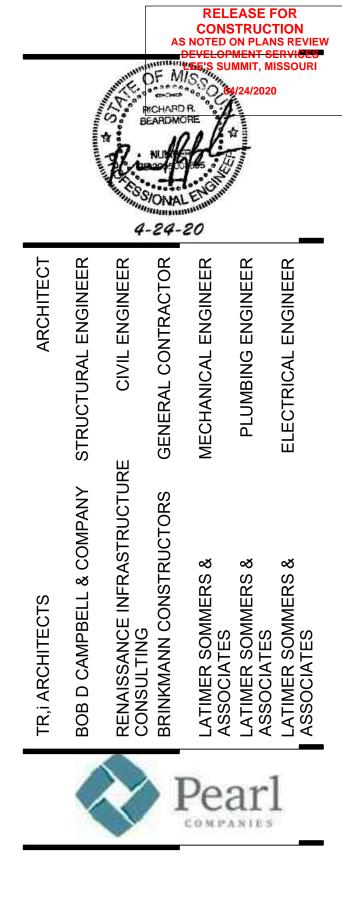


- 1. ALL ARE TYPE "A" UNLESS NOTED OTHERWISE.
- 2. ALL STAIR LIGHTS ARE TYPE "L1" UNLESS NOTED OTHERWISE.
- 3. ALL S ARE TYPE "X1" UNLESS NOTED OTHERWISE.
- 4. ALL 😿 ARE TYPE "X2" UNLESS NOTED OTHERWISE.
- 5. ALL 🛨 ARE TYPE "X5" UNLESS NOTED OTHERWISE.
- CONNECT FIRE/SMOKE DAMPERS SHOWN ON MECHANICAL PLANS TO 120V. AND FIRE ALARM RELAY TO SHUT UPON SMOKE DETECTION IN CORRIDORS.
 SEE UNIT PLANS FOR FURTHER WORK.
- 8. LIGHTS AT APT. ENTRY DOORS CONNECT TO APT. HOT CIRCUIT.
- 9. ALL AHU'S HAVE AUTO DAMPER/THERMOSTAT SYSTEM TO WIRE. SEE HVAC PLANS.
- 10. EXIT SIGNS SHALL BE READILY VISIBLE TO OCCUPANTS.
- 11. EXTERIOR LIGHTING TO BE ROUTED THRU PHOTOCELL.
- 12. "DP-1" DENOTES DISTRIBUTION PANEL.

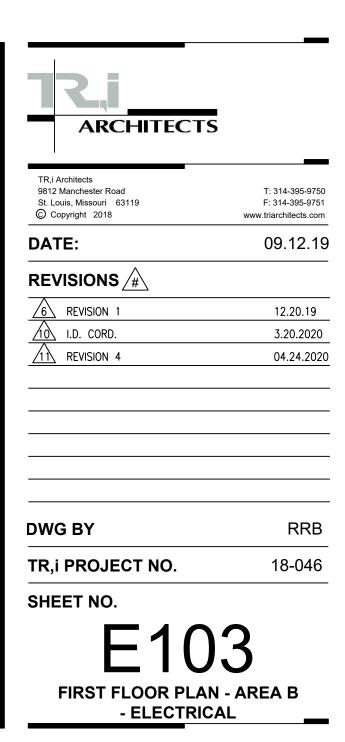
LEGEND:

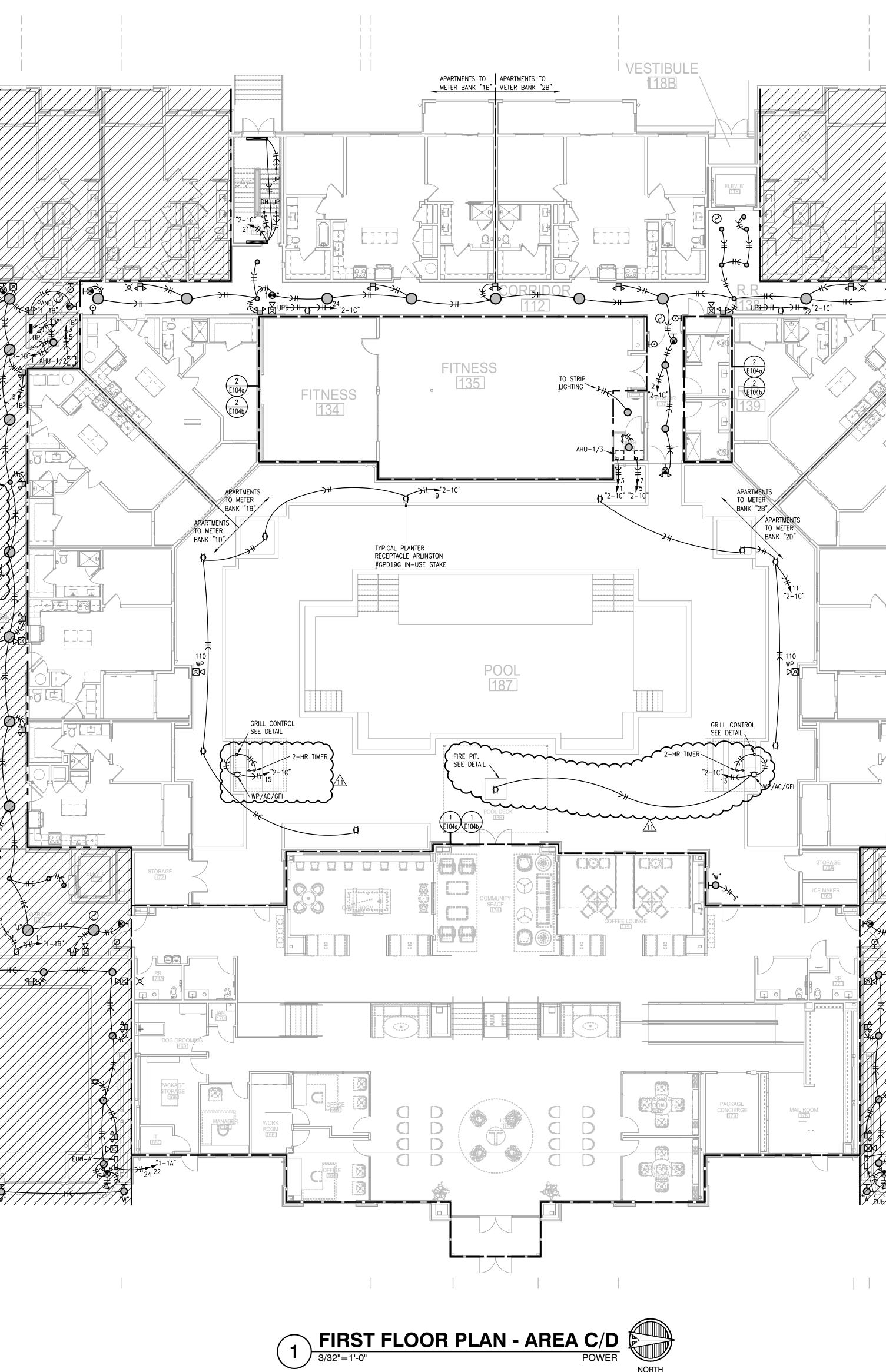
(1) TO LIGHTING CONTROL PANEL.





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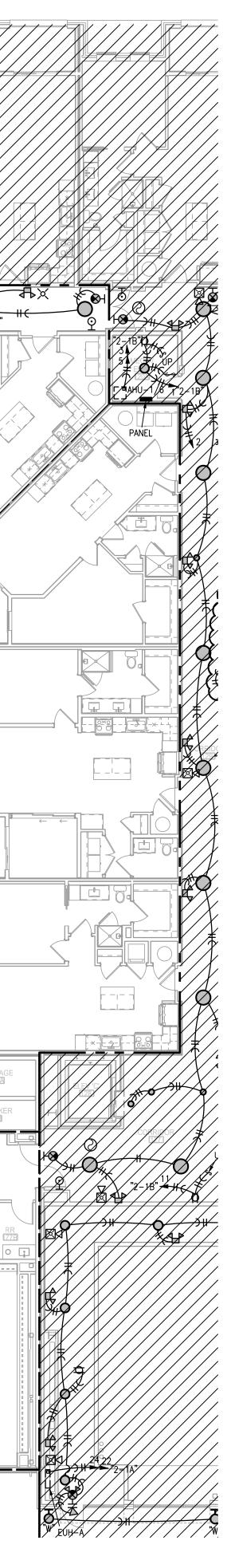
NORTH

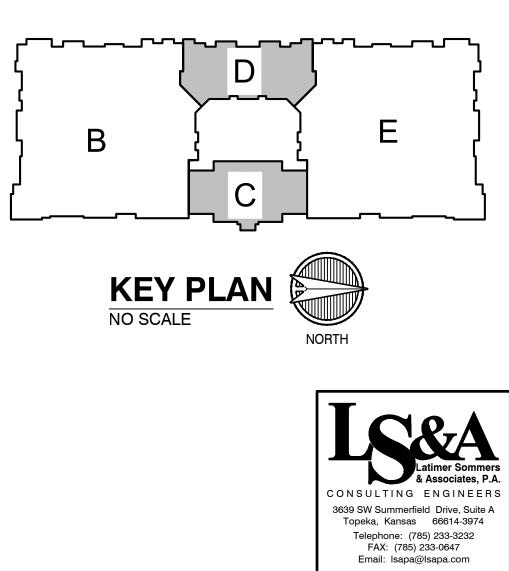
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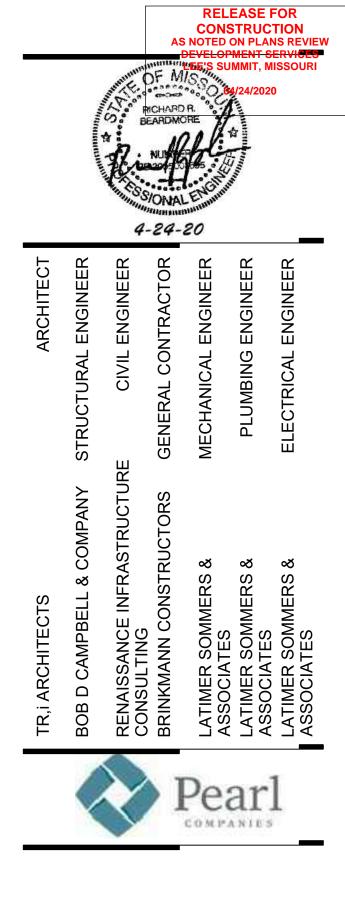
- ALL 🔘 ARE TYPE "A" UNLESS NOTED OTHERWISE.
- ALL STAIR LIGHTS ARE TYPE "L1" UNLESS NOTED OTHERWISE.
- ALL 🔕 ARE TYPE "X1" UNLESS NOTED OTHERWISE.
- ALL 😿 ARE TYPE "X2" UNLESS NOTED OTHERWISE.
- ALL �� ARE TYPE "X5" UNLESS NOTED OTHERWISE.
- CONNECT FIRE/SMOKE DAMPERS SHOWN ON MECHANICAL PLANS TO 120V. AND FIRE ALARM RELAY TO SHUT UPON SMOKE DETECTION IN CORRIDORS. SEE UNIT PLANS FOR FURTHER WORK.
- LIGHTS AT APT. ENTRY DOORS CONNECT TO APT. HOT CIRCUIT.
- ALL AHU'S HAVE AUTO DAMPER/THERMOSTAT SYSTEM TO WIRE. SEE HVAC PLANS.
- 10. EXIT SIGNS SHALL BE READILY VISIBLE TO OCCUPANTS.
- 1. EXTERIOR LIGHTING TO BE ROUTED THRU PHOTOCELL.
- 2. "DP-1" DENOTES DISTRIBUTION PANEL.

LEGEND:

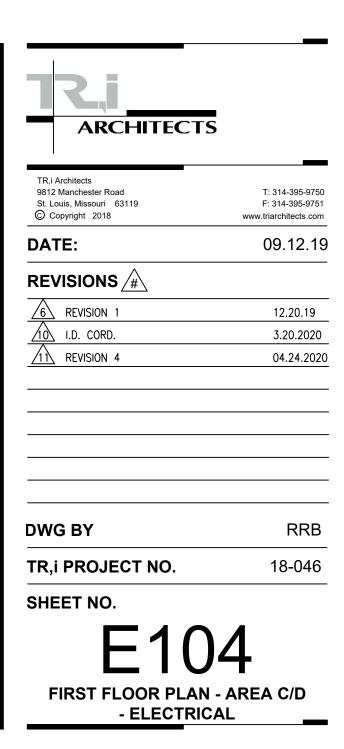
(1) TO LIGHTING CONTROL PANEL.

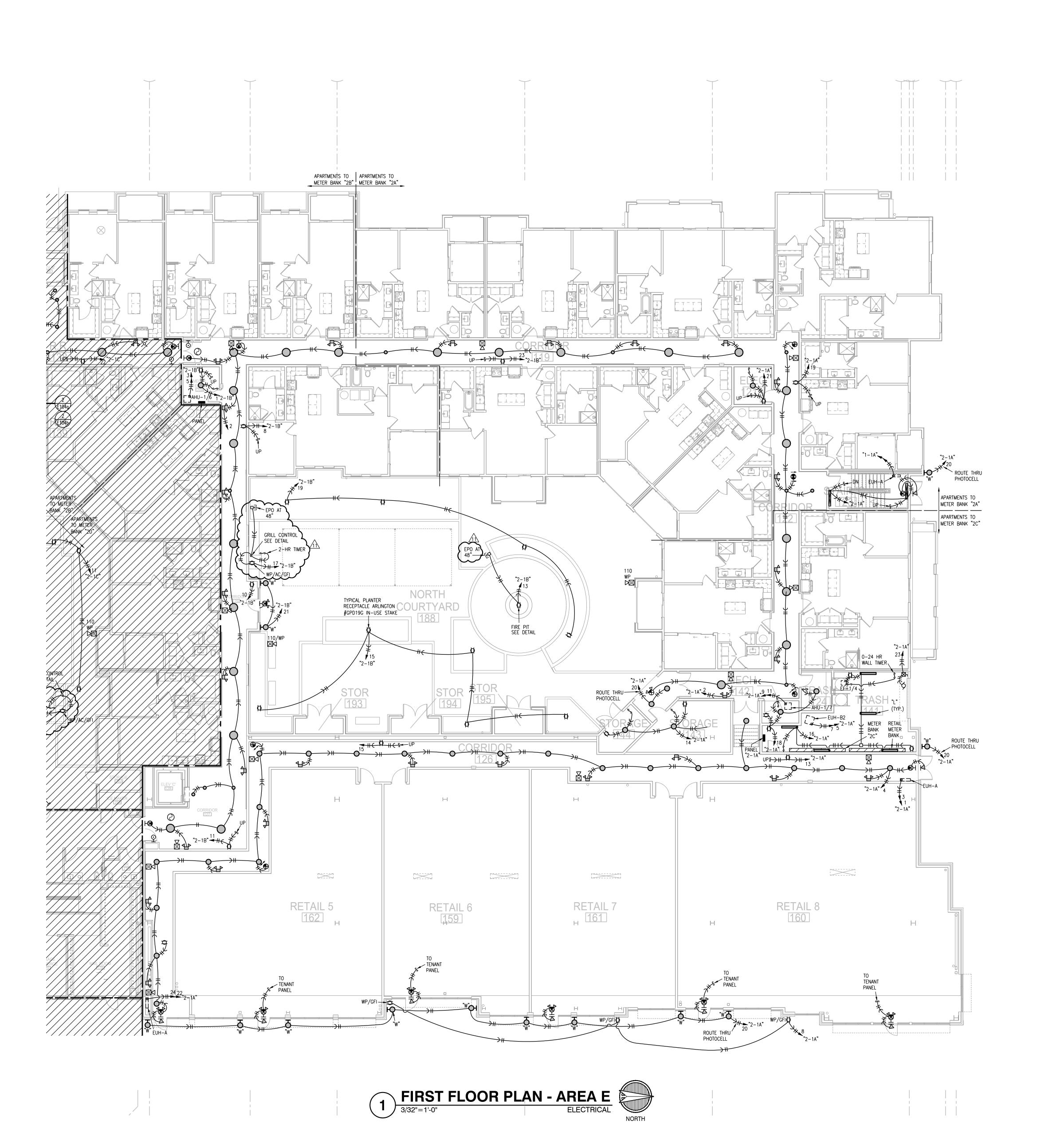






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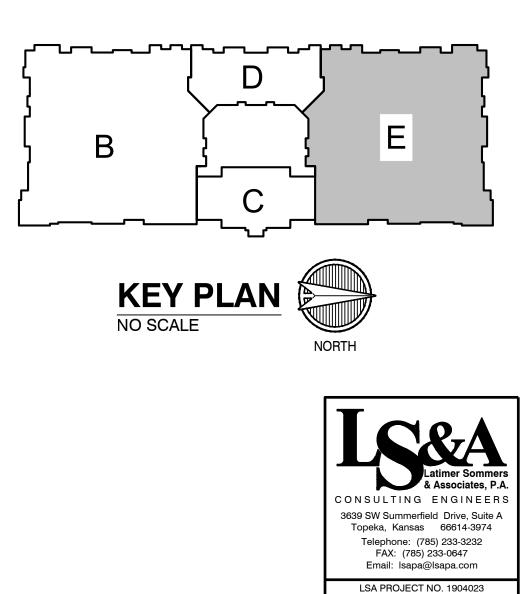


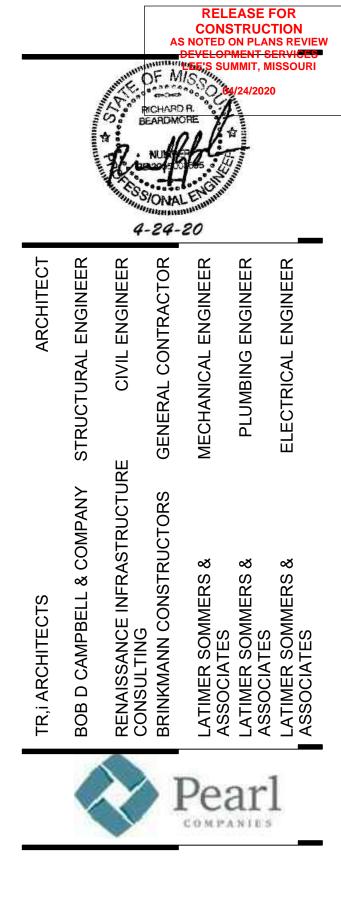


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- 3. ALL S ARE TYPE "X1" UNLESS NOTED OTHERWISE.
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LEGEND:

(1) TO LIGHTING CONTROL PANEL.





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