



940 NW Pryor Road Lee's Summit, Missouri 64081

PROJECT NO.: 18-046

ISSUE DATE: 4.3.2020 (REVISION 3)

GENERAL NOTES

1. AIA DOCUMENT A-201, GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, CURRENT EDITION, AND SPECIAL CONDITIONS AS NOTED IN THE PROJECT MANUAL, SHALL GOVERN THE WORK.
2. GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL VERIFY EXISTING FIELD CONDITIONS PRIOR TO THE START OF CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.
3. GENERAL CONTRACTOR SHALL CROSS-REFERENCE THE VARIOUS DISCIPLINES' PLANS HEREIN AND REVIEWED SHOP DRAWINGS PRIOR TO STARTING CONSTRUCTION PHASE OF CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.
4. ONLY CONTRACT DOCUMENTS APPROVED FOR CONSTRUCTION AND REVIEWED SHOP DRAWINGS SHALL BE USED FOR CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DISTRIBUTION OF SAID DOCUMENTS AND UPDATES TO THE FIELD FOR CONSTRUCTION.
5. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE THE SUBCONTRACTOR WORK WITH THESE PROJECT DOCUMENTS.
6. DIMENSIONS TO THE EXTERIOR OF THE BUILDING ARE TO THE EXTERIOR OF FOUNDATION/MASONRY UNLESS NOTED OTHERWISE.
7. DO NOT SCALE DRAWINGS.
8. THE WORD 'ALIGN' AS USED IN THESE DOCUMENTS SHALL SUPERSEDE DIMENSIONAL INFORMATION.
9. NO PRODUCTS CONTAINING ASBESTOS SHALL BE INSTALLED IN OR USED DURING THE CONSTRUCTION OF THIS PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CERTIFY TO THE OWNER THAT THIS REQUIREMENT HAS BEEN COMPLIED WITH.
10. ALL HVAC EQUIPMENT AND DUCTWORK SHALL COMPLY WITH THE CURRENT APPLICABLE MECHANICAL CODE AND INSTALLED PER SMACNA RECOMMENDATIONS.
11. CODE COMPLIANCE - THE WORK SHALL BE GOVERNED BY ALL CURRENT APPLICABLE LOCAL, CITY, STATE AND NATIONAL CODES AND LAWS. THESE AUTHORITIES INCLUDE, BUT ARE NOT LIMITED TO THE INTERNATIONAL BUILDING CODE, NATIONAL ELECTRIC CODE, NATIONAL FIRE PROTECTION ASSOCIATION OR ANY OTHER AUTHORITY OR BODY HAVING JURISDICTION OVER WORK, THE SITE, PARKING LOT, AND BUILDING SHALL COMPLY WITH THE ADA (AMERICANS WITH DISABILITIES ACT) REGULATIONS. NOTIFY ARCHITECT OF ANY REQUIRED CHANGES TO COMPLY WITH ADA.
12. REFERENCE CIVIL DRAWINGS FOR SITE WORK, INCLUDING THE BUILDING LOCATION ON THE SITE.



SEE SHEET A001 FOR DRAWING INDEX

ABBREVIATIONS

ABV	ABOVE	OFCl	OWNER FURNISHED CONTRACTOR INSTALLED
AFF	ABOVE FINISH FLOOR	OFOf	OWNER FURNISHED OWNER INSTALLED
ACT	ACoustICAL	OC	ON CENTER
ALUM	ALUMINUM	OPNG	OPENING
AND			
@	AT		
BLK	BLOCK	PTD	PAINTED
BD	BOARD	PLAM	PLASTIC LAMINATE
BO	BOTTOM OF	PLYWD	PLYWOOD
CLG	CEILING	PT	PRESSURE TREATED
CL	CENTER LINE		
CT	CERAMIC TILE		
CLR	CLEAR		
CONC	CONCRETE	RE	RADIUS
CMU	CONC. MASONRY UNIT	RE	REFERENCE
CONT	CONTINUOUS	REIN	REINFORCING
CONTR	CONTRACTOR	RCP	REFLECTED CEILING PLAN
CFCl	CONTRACTOR FURNISHED CONTRACTOR INSTALLED	REQD	REQUIRED
CJ	CONTROL JOINT	RD	ROOF DRAIN
CG	CORNER GUARD	RM	ROOM
		RO	ROUGH OPENING
DTL	DETAIL	SCHED	SCHEDULE
DIA	DIAMETER	SECT	SECTION
DR	DOOR	SHT	SHEET
DS	DOWNSPOUT	SIM	SIMILAR
DWG	DRAWING	SC	SOLID CORE
EOS	EDGE OF SLAB	SPC	SPECIFICATION
ELEC	ELECTRICAL	SO	SQUARE
ELEV	ELEVATION	SF	SQUARE FOOT
EQ	EQUAL	SS	STAINLESS STEEL
EQUIP	EQUIPMENT	STD	STANDARD
EXIST	EXISTING	STL	STEEL
EJ	EXPANSION JOINT	STRUCT	STRUCTURAL
		SUSP	SUSPENDED
FT	FEET	TEL	TELEPHONE
FG	FINISH GRADE	THK	THICK
FF	FINISH FLOOR	TO	TOP OF
FR	FIRE RETARDANT	T&G	TONGUE & GROOVE
FL	FLOOR	TYP	TYPICAL
GC	GENERAL CONTR.	UNF	UNFINISHED
GYP	GYPsum	UNO	UNLESS NOTED OTHERWISE
HDWD	HARDWOOD	VERT	VERTICAL
HDPB	HIGH DENSITY PARTICLE BOARD	VEST	VESTIBULE
HT	HEIGHT	WP	WATERPROOF
HR	HOUR	WT	WEIGHT
INSUL	INSULATION	WI	WITH
		W/O	WITH OUT
		WD	WOOD
JT	JOINT		
LAV	LAVATORY		
MO	MASONRY OPENING		
MSRY	MASONRY		
MDF	MEDIUM DENSITY FIBERBOARD		
MECH	MECHANICAL		
MTL	METAL		
NIC	NOT IN CONTRACT		
NTS	NOT TO SCALE		

PROJECT DIRECTORY

General Contractor Brinkmann Constructors 8700 Indian Creek Parkway Suite 150 Overland Park, KS 66210 Phone: (913) 717-9007 Contact: Philip Sutterfield	Architect TRI Architects 9812 Manchester Road St. Louis, Missouri 63119 Phone: (314) 395-9750 Contact: Jeff Kaiser (ext 219) Michaela Silva (ext 275)	Owner Summit at West Pryor, LLC 919 N. East Street Indianapolis, Indiana 46202 Phone: (317) 472-9271 Contact: Brad Rickey
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Mech. / Elec. / Plumb. Engineer Latimer Sommers and Associates 3638 SW Summerfield Dr Ste A Topeka, KS 66614 Phone: (785)-233-3232 Contact: Rich Beardmore		

PROJECT SUMMARY

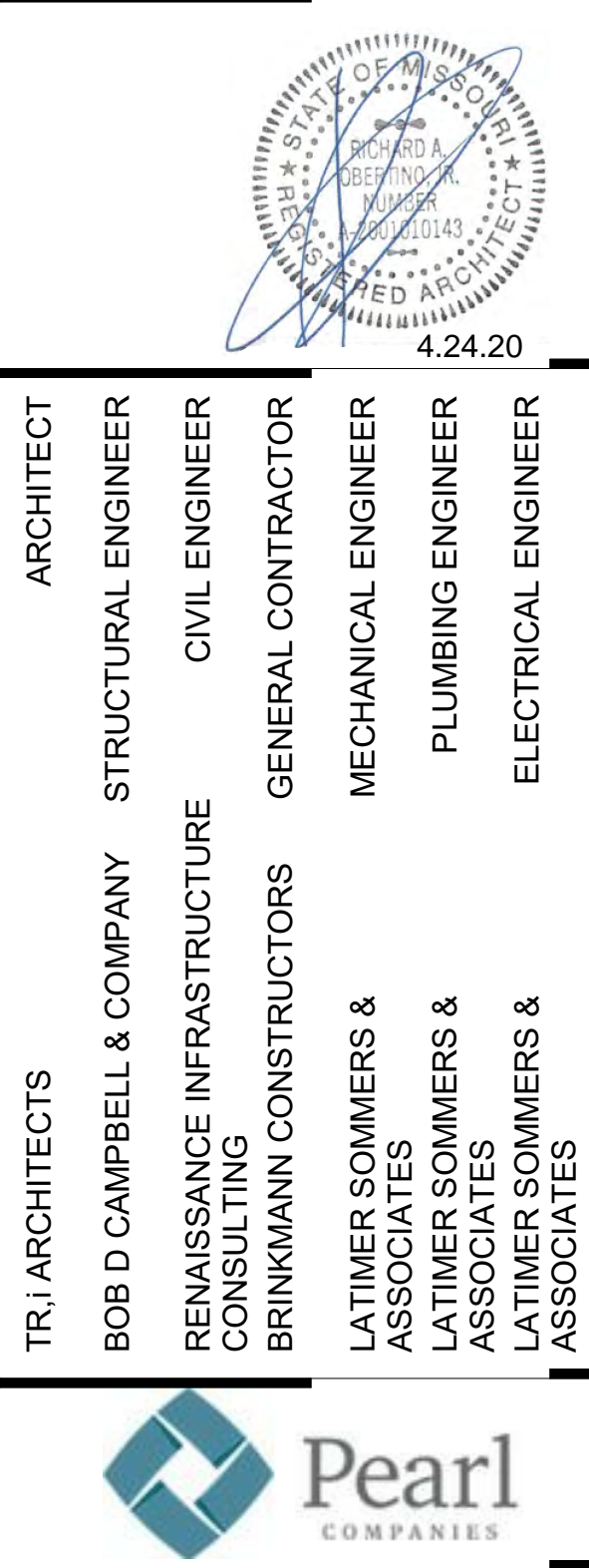
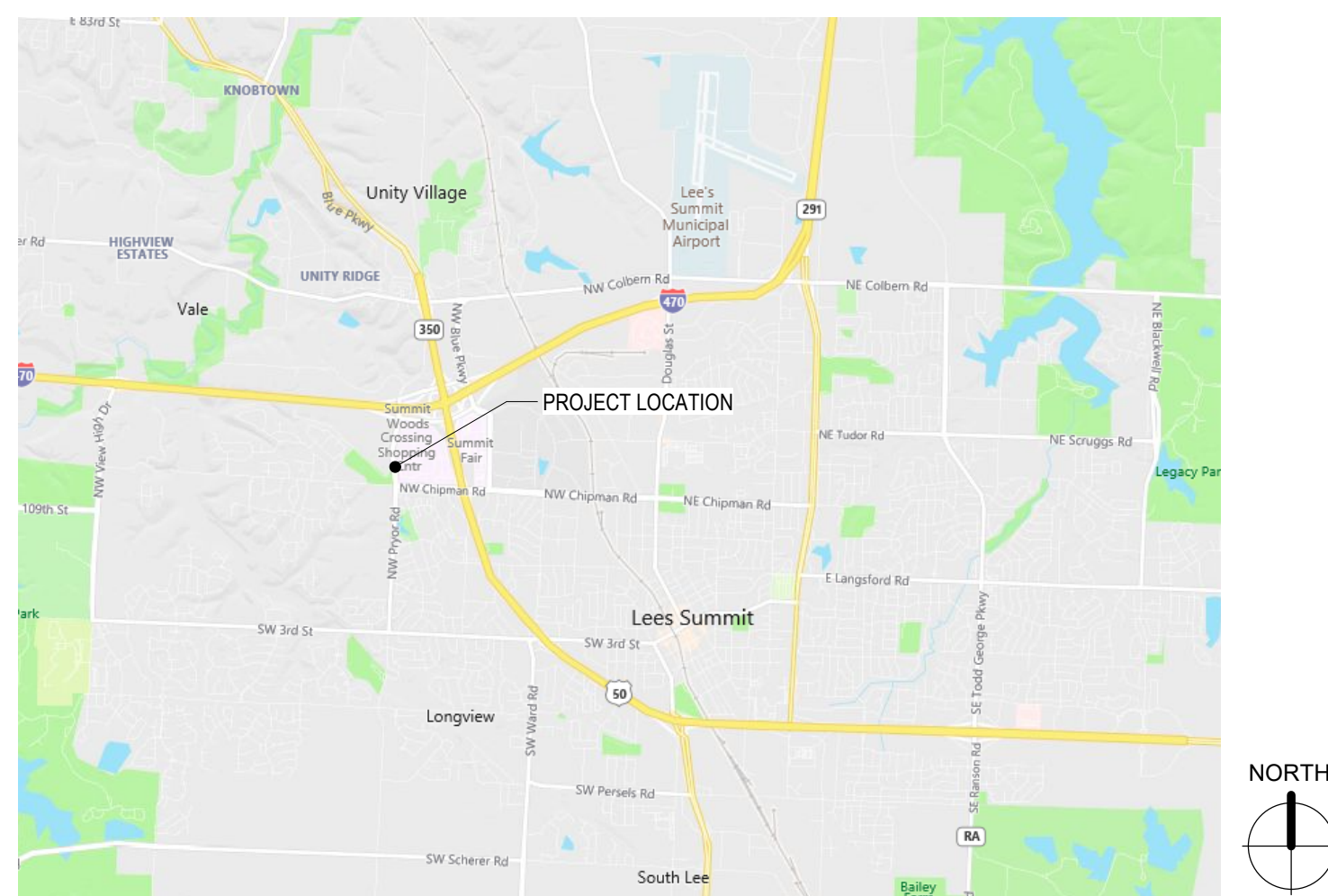
*FOR COMPLETE CODE ANALYSIS SEE LIFE SAFETY PLAN SHEET A006 - A010

PROJECT NAME:	Summit at West Pryor
PROJECT ADDRESS:	NWO NW Pryor Rd & NW Lowenstein Dr Lee's Summit, Missouri 64081
PROJECT DESCRIPTION:	237 Unit development
BUILDING CODES:	2018 International Building Code 2017 National Electrical Code 2018 International Mechanical Code 2018 International Plumbing Code 2018 International Energy Conservation Code
ACCESSIBILITY:	2010 ADA Guidelines & 2017 ICC/ANSI A117.1 Fair Housing Act
OCCUPANCY TYPE / USE GROUP:	SEE LIFE SAFETY PLANS.

SYMBOLS

CONCRETE	BUILDING SECTION	COL GRID
BRICK	WALL SECTION	ROOM
BLOCKING	DETAIL	TEMPERED GLASS
BATT INSULATION	PARTITION TYPE	NEW CONSTRUCTION
RIGID INSULATION		EXISTING CONSTR. TO REMAIN
CONCRETE BLOCK		EXISTING CONSTR. REMOVED

LOCATION MAP



Summit at West Pryor
940 NW Pryor Road
Lee's Summit, Missouri 64081



DATE: 7.29.19

REVISIONS		
1	SHELL PACKAGE	7.29.19
2	BUILDING PERMIT COMMENTS	9.6.19
3	FDP RESUBMITTAL	9.11.19
4	BUILDING PERMIT COMMENTS 2	9.12.19
5	STRUCTURAL REVISION	10.16.19
6	STRUCTURAL REVISION 2	11.7.19
7	REVISION 1	12.20.19
8	REVISION 2	1.24.20
9	REVISION 3	4.3.2020
10	REVISION 4	4.24.2020

DWG BY MKSS

TRi PROJECT NO. 18-046

SHEET NO.

A000
COVER SHEET

DRAWING INDEX

• = REVISED SHEET
◊ = REISSUED SHEET/NO REVISION
X = ISSUED AS 8.5x11

	• SHELL PACKAGE 07.25.19	◊ BUILDING PERMIT COMMENTS 9.6.19	◊ FDP RESUBMITTAL 9.11.19	◊ BUILDING PERMIT COMMENTS 9.12.19	◊ STRUCTURAL REVISION 10.16.19	◊ STRUCTURAL REVISION 2.11.17.19	◊ REVISION 1.12.20.19	◊ REVISION 2.12.4.20	◊ REVISION 3.4.3.2020	◊ REVISION 4.4.24.2020
ARCHITECTURAL										
A000	COVER SHEET	•	•							
A001	SHEET INDEX	•	•							
A003	ACCESSIBILITY REQUIREMENTS	•								
A004	ACCESSIBILITY REQUIREMENTS & ADA	•								
A005	SOUND TRANSMISSION ASSEMBLIES	•								
A006	LIFE SAFETY PLAN - GARAGE	•	•	•						
A007	LIFE SAFETY PLAN - FIRST FLOOR	•	•							
A008	LIFE SAFETY PLAN - SECOND/THIRD FLOOR	•	•							
A009	LIFE SAFETY PLAN - FOURTH FLOOR	•	•							
A010	LIFE SAFETY PLAN - UNITS	•	•							
A011	PARTITION TYPES	•								
A012	FLOORING ASSEMBLIES	•								
A013	DOOR SCHEDULE & TYPICAL DETAILS	•								
A014	WINDOW AND STOREFRONT SCHEDULE	•								
A015	STOREFRONT SCHEDULE	•								
A016	STOREFRONT SCHEDULE	•								
A017	UNIT SCHEDULES	•								
A020	WINDOW DETAILS	•								
A021	WINDOW DETAILS	•								
A030	DOOR DETAILS	•								
A031	DOOR DETAILS	•								
A032	DOOR DETAILS	•								
A050	ARCHITECTURAL SITE PLAN	•	•	•						•
A051	SITE DETAILS	•								
A052	ADDRESS PLAN - FIRST FLOOR									
A053	ADDRESS PLAN - SECOND FLOOR									
A054	ADDRESS PLAN - THIRD FLOOR									
A055	ADDRESS PLAN - FOURTH FLOOR									
A101A	GARAGE FLOOR PLAN	•	•							
A101B	GARAGE PARKING PLAN	•	•							
A102	FIRST FLOOR PLAN	•	•							
A102-B	FIRST FLOOR PLAN - BLDG. B	•	•							
A102-C/D	FIRST FLOOR PLAN - BLDG. C/D	•	•							
A102-E	FIRST FLOOR PLAN - BLDG. E	•	•							
A103	SECOND/THIRD FLOOR PLAN	•	•							
A103-B	SECOND / THIRD FLOOR PLAN - BLDG. B	•	•							
A103-C/D	SECOND / THIRD FLOOR PLAN - BLDG. C/D	•	•							
A103-E	SECOND / THIRD FLOOR PLAN - BLDG. E	•	•							
A104	FOURTH FLOOR PLAN	•	•							
A104-B	FOURTH FLOOR PLAN - BLDG. B	•	•							
A104-C/D	FOURTH FLOOR PLAN - BLDG. C/D	•	•							
A104-E	FOURTH FLOOR PLAN - BLDG. E	•	•							
A110	ROOF PLAN	•								
A150	UNIT 'A1' PLANS & ELEVATIONS	•								•
A151	UNIT 'A2' PLANS & ELEVATIONS	•								•
A152	UNIT 'A3' PLANS & ELEVATIONS	•								•
A153	UNIT 'A4' PLANS & ELEVATIONS	•								•
A154	UNIT 'B1' & 'B3' PLANS & ELEVATIONS	•								•
A155	UNIT 'B2' PLANS & ELEVATIONS	•								•
A156	UNIT 'B2'-TYPE 'A' PLANS & ELEVATIONS	•								•
A157	UNIT 'C1' & 'C2' PLANS & ELEVATIONS	•								•
A158	UNIT 'D1' PLANS & ELEVATIONS	•								•
A159	UNIT 'D2' PLANS & ELEVATIONS	•								•
A160	UNIT 'F1' PLANS & ELEVATIONS	•								•
A161	UNIT 'F1'-TYPE 'A' PLANS & ELEVATIONS	•								•
A162	UNIT 'G1' & 'G1.1' PLANS	•								•
A163	UNIT 'G1' & 'G1.1' ELEVATIONS	•								•
A164	UNIT 'H1' & 'H2' PLANS & ELEVATIONS	•								•
A170	UNIT DETAILS	•								•
A171	UNIT BATHROOM DETAILS	•								•
A201	OVERALL EXTERIOR ELEVATIONS	•								
A202	EAST ELEVATIONS	•								
A203	SOUTH ELEVATION	•								
A204	WEST ELEVATIONS	•								
A205	NORTH ELEVATION	•								
A206	SOUTH COURTYARD ELEVATIONS	•								
A207	CENTER COURTYARD ELEVATIONS	•								
A208	NORTH COURTYARD ELEVATIONS	•								
A210	ENLARGED ELEVATIONS	•								
A220	BALCONY DETAILS	•								
A301	BUILDING SECTIONS	•								
A302	BUILDING SECTIONS	•								
A303	WALL SECTIONS	•								
A304	WALL SECTIONS	•								
A305	WALL SECTIONS	•								
A306	WALL SECTIONS	•								
A307	WALL SECTIONS	•								
A308	WALL SECTIONS	•								
A309	WALL SECTIONS	•								
A310	WALL SECTIONS	•								
A311	WALL SECTIONS	•								
A312	WALL SECTIONS	•								
A313	CENTER COURTYARD WALL SECTIONS	•								
A314	CENTER COURTYARD WALL SECTIONS	•								
A315	NORTH & SOUTH COURTYARD WALL SECTIONS	•								
A316	NORTH & SOUTH COURTYARD WALL SECTIONS	•								
A320	SECTION DETAILS	•								
A321	SECTION DETAILS	•								
A322	SECTION DETAILS	•								
A323	SECTION DETAILS	•								
A325	PLAN DETAILS	•								
A350	STAIR A	•								
A351	STAIR B	•								
A352	STAIR C	•								
A353	ELEVATOR A/C	•	•							
A354	ELEVATOR B	•	•							
A355	TRASH CHUTE	•								
A401	ENLARGED COURTYARD PLANS	•								
A402	ENLARGED COURTYARD PLANS	•								
A403	ENLARGED COURTYARD PLANS	•								
A404	ENLARGED COURTYARD PLANS	•								
A405	ENLARGED COURTYARD PLANS	•								
A406	ENLARGED COURTYARD PLANS	•								
A407	ENLARGED COURTYARD DRAIN PLANS	•								
A408	PERGOLA PLANS	•								
A409	MECHANICAL SHAFTS	•								
A410	ENLARGED AMENITY SPACES	•								
A411	ENLARGED AMENITY SPACES	•								

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STRUCTURAL										
S001	GENERAL NOTES	•								
S002	SCHEDULES & CMU DETAILS	•								
S003	TYPICAL WOOD GRAVITY SCHEDULES & DETAILS	•								
S004	TYPICAL WOOD LATERAL SCHEDULES & DETAILS	•								
S005	TYPICAL WOOD DETAILS	•								
S006	TYPICAL WOOD DETAILS	•								
S007	TYPICAL WOOD DETAILS	•								
S110	FOUNDATION PLAN	•								
S110B	FOUNDATION PLAN - AREA B	•								
S110C/D	FOUNDATION PLAN - AREA C/D	•								
S110E	FOUNDATION - AREA E	•								
S111	COMMERCIAL FLOOR FRAMING PLAN	•								
S111B	COMMERCIAL FLOOR FRAMING PLAN - AREA B	•								
S111B-R	COMMERCIAL FLOOR REACTIONS PLAN - AREA B	•								
S111C/D	COMMERCIAL FLOOR FRAMING PLAN - AREA C/D	•								
S111C/D-R	COMMERCIAL FLOOR REACTIONS PLAN - AREA C/D	•								
S111E	COMMERCIAL FLOOR FRAMING PLAN - AREA E	•								
S111E-R	COMMERCIAL FLOOR REACTIONS PLAN - AREA E	•								
S112	FIRST FLOOR FRAMING PLAN	•								
S112B	FIRST FLOOR 1 FRAMING PLAN - AREA B	•								
S112B-TR	FIRST FLOOR 1 TENSION ROD & REACTIONS PLAN - AREA B	•								
S112C/D	FIRST FLOOR 1 FRAMING PLAN - AREA C/D	•								
S112C/D-TR	FIRST FLOOR 1 TENSION ROD & REACTIONS PLAN - AREA C/D	•								
S112E	FIRST FLOOR 1 FRAMING PLAN - AREA E	•								
S112E-TR	FIRST FLOOR 1 TENSION ROD & REACTIONS PLAN - AREA E	•								
S113	SECOND FLOOR FRAMING PLAN	•								
S113B	SECOND FLOOR FRAMING PLAN - AREA B	•								
S113B-TR	SECOND FLOOR TENSION ROD PLAN - AREA B	•								
S113C/D	SECOND FLOOR FRAMING PLAN - AREA C/D	•								
S113E	SECOND FLOOR FRAMING PLAN - AREA E	•								
S113E-TR	SECOND FLOOR TENSION ROD PLAN - AREA E	•								
S114	THIRD FLOOR FRAMING PLAN	•								
S114B	THIRD FLOOR FRAMING PLAN - AREA A	•								
S114C/D	THIRD FLOOR FRAMING PLAN - AREA C/D	•								
S114E	THIRD FLOOR FRAMING PLAN - AREA E	•								
S115	FOURTH FLOOR FRAMING PLAN	•								
S115B	FOURTH FLOOR FRAMING PLAN - AREA B	•								
S115C/D	FOURTH FLOOR FRAMING PLAN - AREA C/D	•								
S115E	FOURTH FLOOR FRAMING PLAN - AREA E	•								
S116	ROOF FRAMING PLAN	•								
S116B	ROOF FRAMING PLAN - AREA B	•								
S116C/D	ROOF FRAMING PLAN - AREA C/D	•								
S116E	ROOF FRAMING PLAN - AREA E	•								
S117	SHEARWALL AND BEARING WALL TYPE PLAN	•								
S117B	SHEARWALL AND BEARING WALL TYPE PLAN - B	•								
S117C/D	SHEARWALL AND BEARING WALL TYPE PLAN - C/D	•								
S117E	SHEARWALL AND BEARING WALL TYPE PLAN - E	•								
S120	STAIR FRAMING PLANS	•								
S121	STAIR FRAMING PLANS	•								
S122	STAIR FRAMING PLANS	•								
S200	FOUNDATION SECTIONS	•								
S201	FOUNDATION SECTIONS	•								
S300	STEEL FRAMING SECTIONS	•								
S301	STEEL FRAMING SECTIONS	•								
S302	STEEL FRAMING SECTIONS	•								
S303	STEEL FRAMING SECTIONS	•								
S304	STEEL FRAMING SECTIONS	•								
S305	STEEL FRAMING SECTIONS	•								
S306	STEEL FRAMING SECTIONS	•								
S307	STEEL FRAMING SECTIONS	•								
S320	WOOD ROOF FRAMING SECTIONS	•								
S330	WOOD FLOOR FRAMING SECTIONS	•								
S331	WOOD FLOOR FRAMING SECTIONS	•								
S332	WOOD FLOOR FRAMING SECTIONS	•								
S333	WOOD FLOOR FRAMING SECTIONS	•								
S340	WOOD ROOF FRAMING SECTIONS	•								
S341	WOOD ROOF FRAMING SECTIONS	•								
S342	WOOD ROOF FRAMING SECTIONS	•								
S400	ELEVATIONS	•								

		SHELL PACKAGE 07.25.19	BUILDING PERMIT COMMENTS 08.19	FDP RESUBMITTAL 9.11.19	BUILDING PERMIT COMMENTS 9.12.19	STRUCTURAL REVISION 10.16.19	STRUCTURAL REVISION 2.11.7.19	REVISION 1.12.20.19	REVISION 2.12.4.20	REVISION 3.4.3.2020	REVISION 4.4.24.2020
MEP											
ME101	SITE PLAN - MECHELEC										
P101	PARTIAL GARAGE PLAN - BELOW-GRADE PLUMBING	*	*	*							
P102	PARTIAL GARAGE PLAN - BELOW-GRADE PLUMBING	*	*	*					*	*	
P103	PARTIAL GARAGE PLAN - PLUMBING	*	*	*				*	*	*	*
P104	PARTIAL GARAGE PLAN - PLUMBING	*	*	*				*	*	*	*
P105	FIRST FLOOR PLAN AREA B - PLUMBING	*	*	*				*	*	*	*
P106	FIRST FLOOR PLAN AREAS C/D - PLUMBING	*	*	*				*	*	*	*
P107	FIRST FLOOR PLAN AREA E - PLUMBING	*	*	*				*	*	*	*
P108	SECOND FLOOR PLAN AREA B - PLUMBING	*	*	*							
P109	SECOND FLOOR PLAN AREAS C/D - PLUMBING	*	*	*				*	*		
P110	SECOND FLOOR PLAN AREA E - PLUMBING	*	*	*							
P111	FOURTH FLOOR PLAN AREA B - PLUMBING	*	*	*							
P112	FOURTH FLOOR PLAN AREAS C/D - PLUMBING	*	*	*				*	*		
P113	FOURTH FLOOR PLAN AREA E PLUMBING	*	*	*							
P114	PLUMBING RISERS				*						
P115	PLUMBING RISERS				*						
P116	PLUMBING RISERS				*						
P201	TYPICAL UNIT PLANS - PLUMBING	*	*	*				*			
P202	TYPICAL UNIT PLANS - PLUMBING	*	*	*							
M101	PARTIAL GARAGE PLAN - HVAC	*	*	*					*	*	
M102	PARTIAL GARAGE PLAN - HVAC	*	*	*				*	*	*	
M103	FIRST FLOOR PLAN AREA B - HVAC	*	*	*					*	*	
M104	FIRST FLOOR PLAN AREAS C/D - HVAC	*	*	*				*	*	*	
M104a	PARTIAL FIRST FLOOR PLAN AREA C - HVAC	*	*	*				*	*	*	
M105	FIRST FLOOR PLAN AREA E - HVAC	*	*	*				*	*	*	
M106	SECOND FLOOR PLAN AREA B - HVAC	*	*	*							
M107	SECOND FLOOR PLAN AREAS C/D - HVAC	*	*	*							
M108	SECOND FLOOR PLAN AREA E - HVAC	*	*	*							
M109	FOURTH FLOOR PLAN AREA B - HVAC	*	*	*							
M110	FOURTH FLOOR PLAN AREAS C/D - HVAC	*	*	*							
M111	FOURTH FLOOR PLAN AREA E HVAC	*	*	*							
M112	ROOF FLOOR PLAN AREA B - HVAC	*	*	*							
M113	ROOF FLOOR PLAN AREA D - HVAC	*	*	*							
M114	ROOF FLOOR PLAN AREA E - HVAC	*	*	*							
M201	TYPICAL UNIT PLANS - HVAC	*	*	*							
M202	TYPICAL UNIT PLANS - HVAC	*	*	*				*			
MP101	MECHANICAL DETAILS	*	*	*							
MP102	MECHANICAL DETAILS	*	*	*				*			
MP103	MECHANICAL DETAILS	*	*	*							
MP104	MECHANICAL SCHEDULES	*	*	*				*	*	*	
E001	SITE PHOTOMETRIC PLAN	*	*	*							
E101	PARTIAL GARAGE PLAN - ELECTRICAL	*	*	*				*	*	*	*
E102	PARTIAL GARAGE PLAN - ELECTRICAL	*	*	*				*	*	*	*
E103	FIRST FLOOR PLAN AREA B - ELECTRICAL	*	*	*				*	*	*	*
E104	FIRST FLOOR PLAN AREAS C/D - ELECTRICAL	*	*	*				*	*	*	*
E104a	PARTIAL FIRST FLOOR PLAN AREA D - LIGHTING	*	*	*				*	*	*	*
E104b	FIRST FLOOR PLAN AREA D - LIGHTING	*	*	*				*	*	*	*
E105	FIRST FLOOR PLAN AREA E - ELECTRICAL	*	*	*				*	*	*	*
E106	SECOND FLOOR PLAN AREA B - ELECTRICAL	*	*	*				*	*	*	*
E107	SECOND FLOOR PLAN AREAS C/D - ELECTRICAL	*	*	*				*	*	*	*
E108	SECOND FLOOR PLAN AREA E - ELECTRICAL	*	*	*				*	*	*	*
E109	FOURTH FLOOR PLAN AREA B - ELECTRICAL	*	*	*				*	*	*	*
E110	FOURTH FLOOR PLAN AREAS C/D - ELECTRICAL	*	*	*				*	*	*	*
E110a	PARTIAL FOURTH FLOOR PLAN - AREA C/D - LIGHTING	*	*	*				*	*	*	*
E111	FOURTH FLOOR PLAN AREA E ELECTRICAL	*	*	*				*	*	*	*
E112	ROOF FLOOR PLAN AREA B - ELECTRICAL	*	*	*				*	*	*	*
E113	ROOF FLOOR PLAN AREA D - ELECTRICAL	*	*	*				*	*	*	*
E114	ROOF FLOOR PLAN AREA E - ELECTRICAL	*	*	*				*	*	*	*
E201	TYPICAL UNIT PLANS - ELECTRICAL	*	*	*				*	*	*	*
E202	TYPICAL UNIT PLANS - ELECTRICAL	*	*	*				*	*	*	*
E203	TYPICAL UNIT PLANS - ELECTRICAL	*	*	*				*	*	*	*
E301	ELECTRICAL DETAILS	*	*	*							
E302	ELECTRICAL DETAILS	*	*	*							
E303	ELECTRICAL DETAILS	*	*	*							
E304	ELECTRICAL DISTRIBUTION RISER DIAGRAM	*	*	*				*	*	*	*
E305	ELECTRICAL SCHEDULES	*	*	*				*	*	*	*
E306	ELECTRICAL SCHEDULES	*	*	*				*	*	*	*
E307	ELECTRICAL SCHEDULES	*	*	*				*	*	*	*
T101	GARAGE PLAN TELECOM	*	*	*							
T102	FIRST FLOOR PLAN - TELECOM	*	*	*							
T103	SECOND FLOOR - TELECOM	*	*	*							
T104	FOURTH FLOOR - TELECOM	*	*	*							
T201	TELECOM DETAILS	*	*	*							



940 NW Plyor Road
Lee's Summit, Missouri 64081



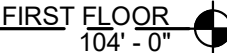
REVISIONS

PROJECT NO. 18-046

Λ032

A032

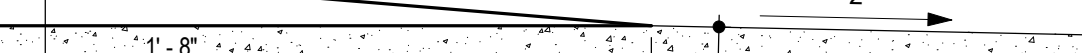
DOOR DETAILS



SCALE: 3" = 1'-0"



SCALE: 3" = 1'-0"



SCALE: 3" = 1'-0"

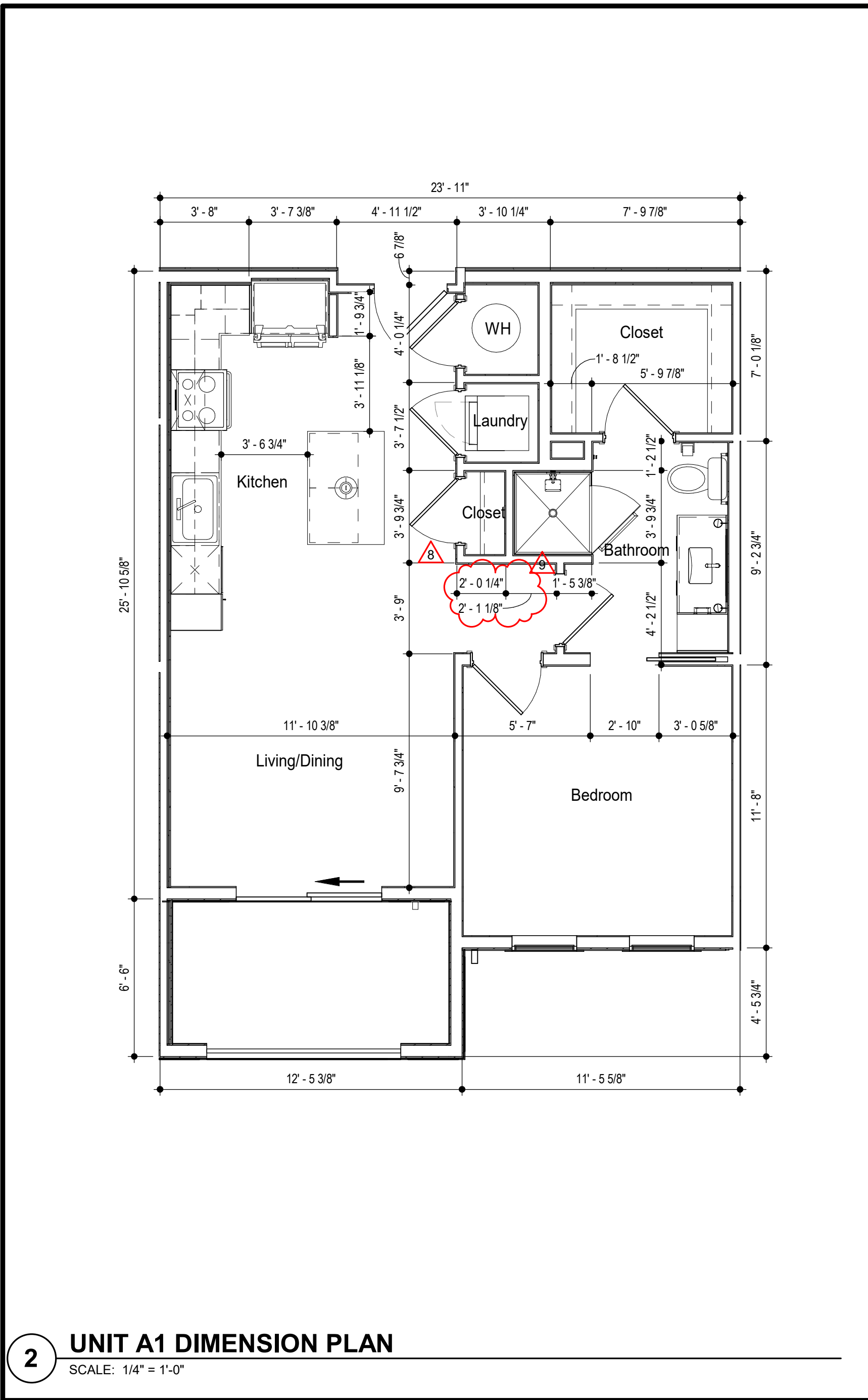


12 SCALE: 1

Λ032

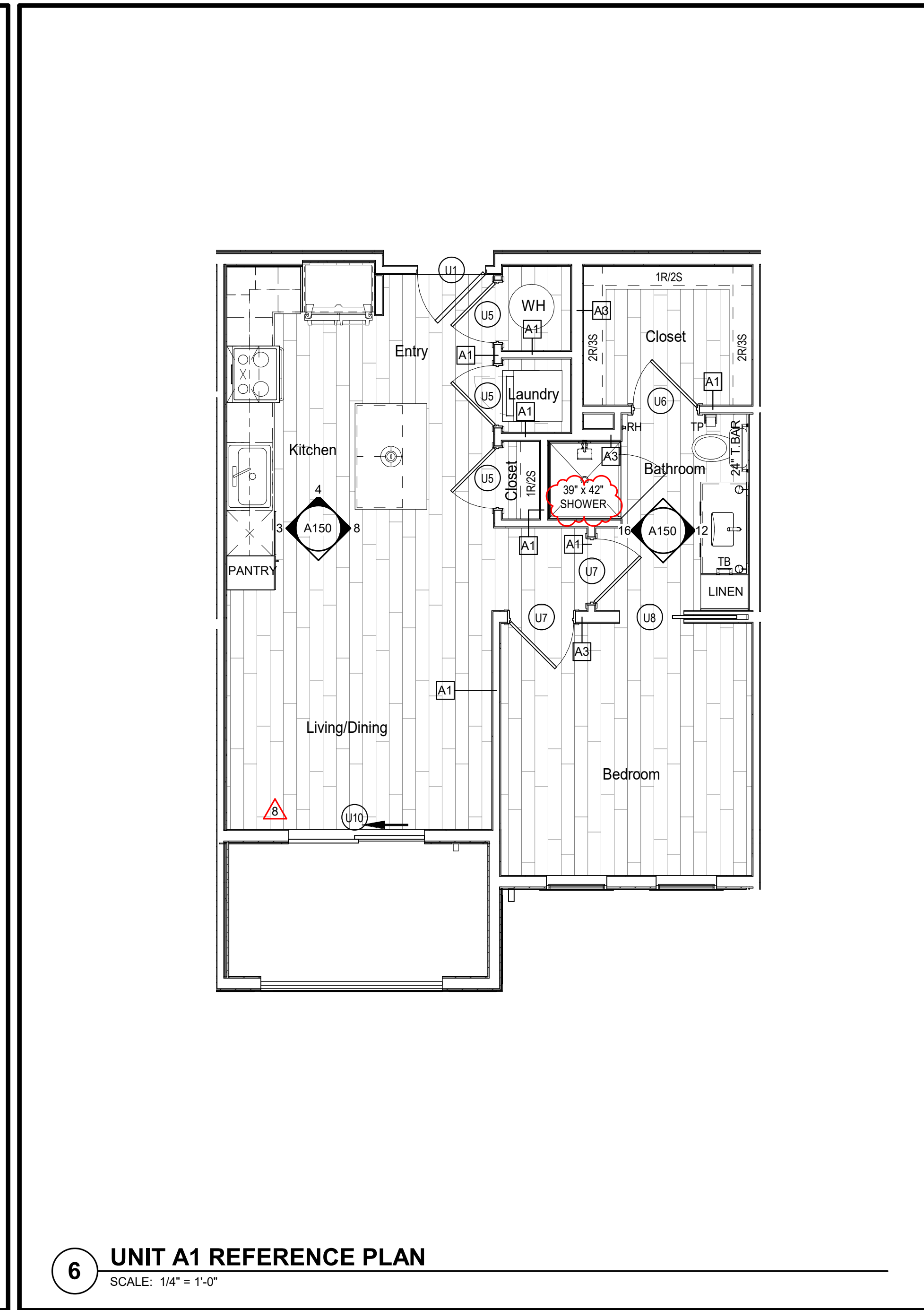
A032

DOOR DETAILS



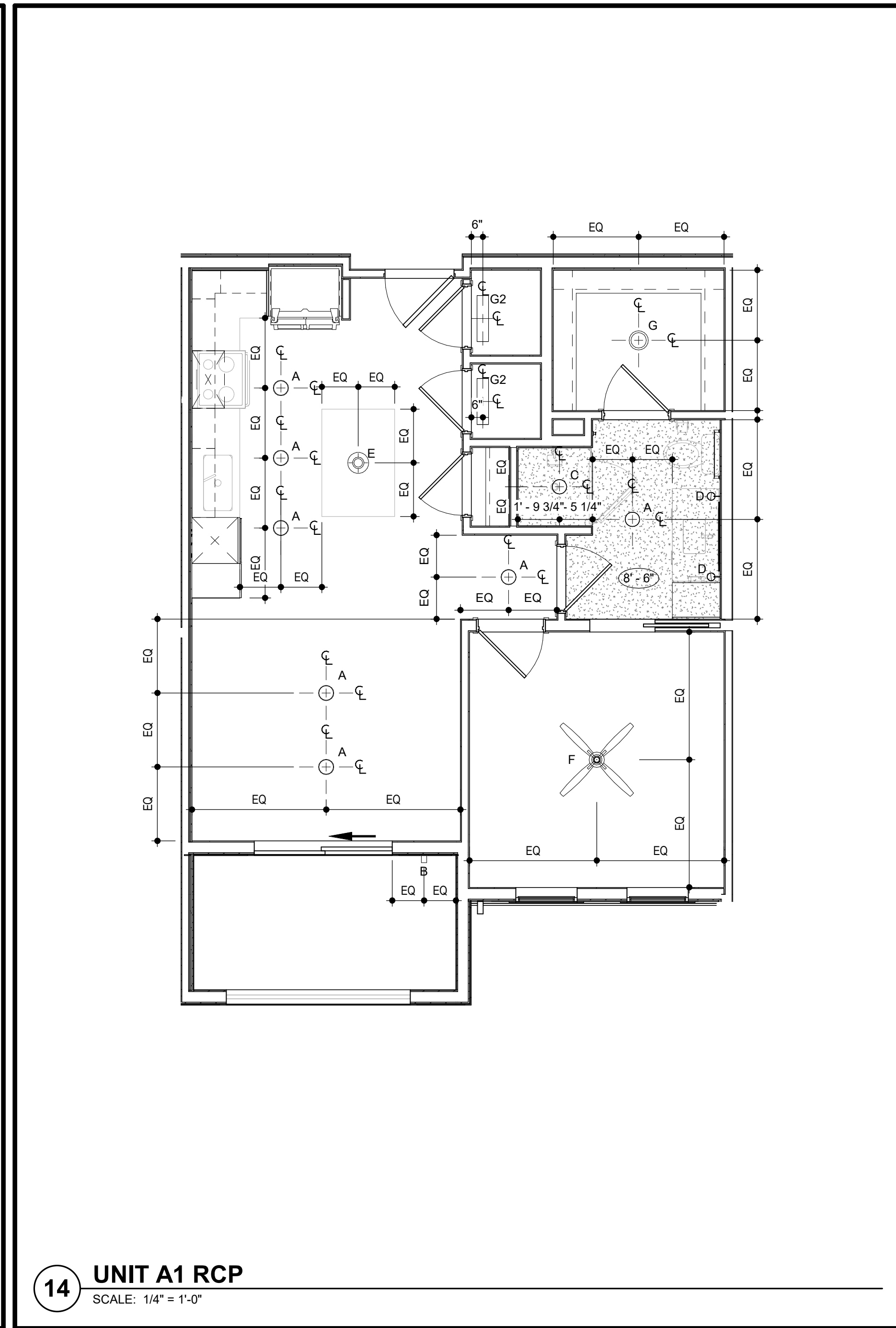
2 UNIT A1 DIMENSION PLAN

SCALE: 1/4" = 1'-0"



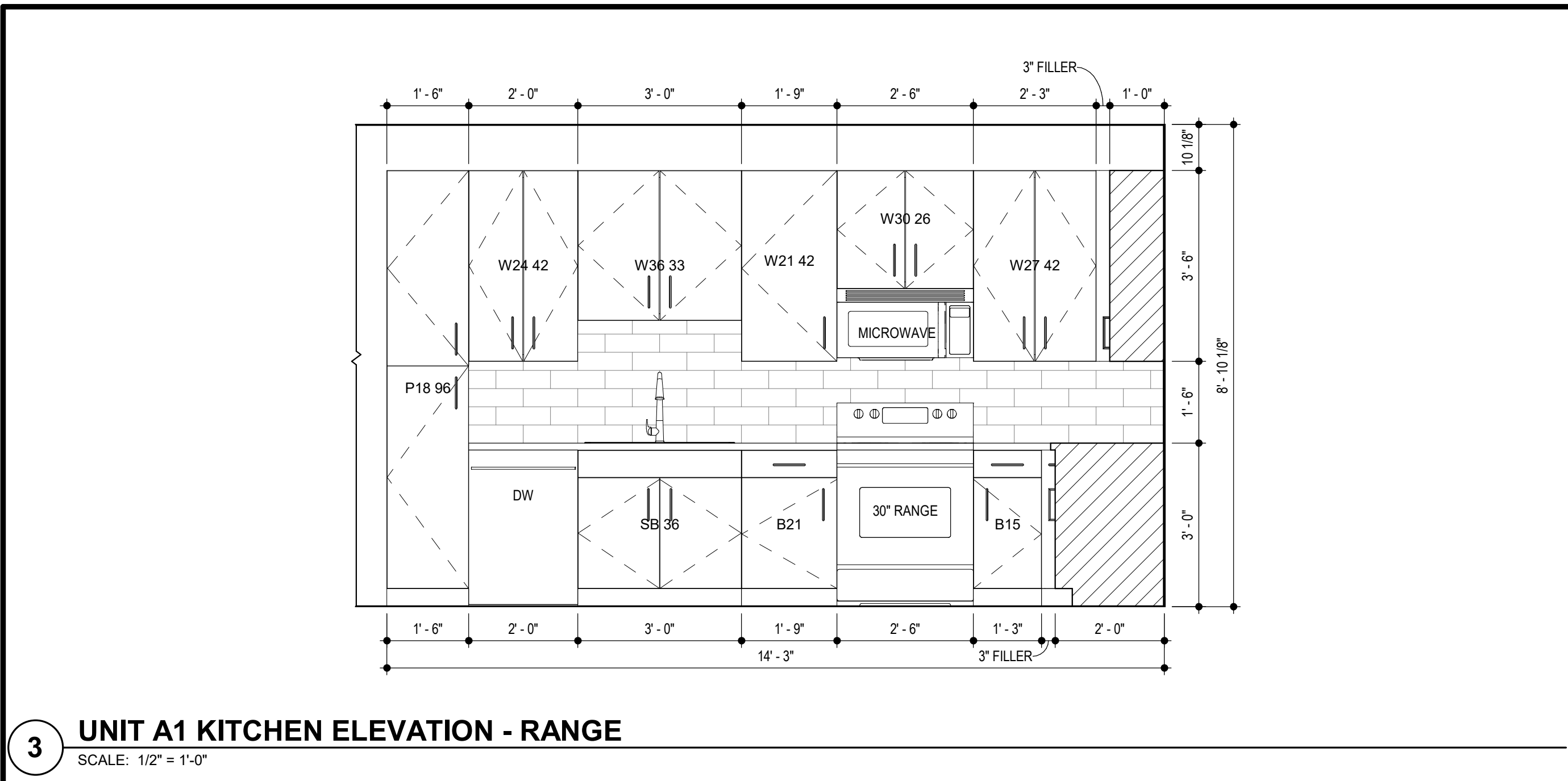
6 UNIT A1 REFERENCE PLAN

SCALE: 1/4" = 1'-0"



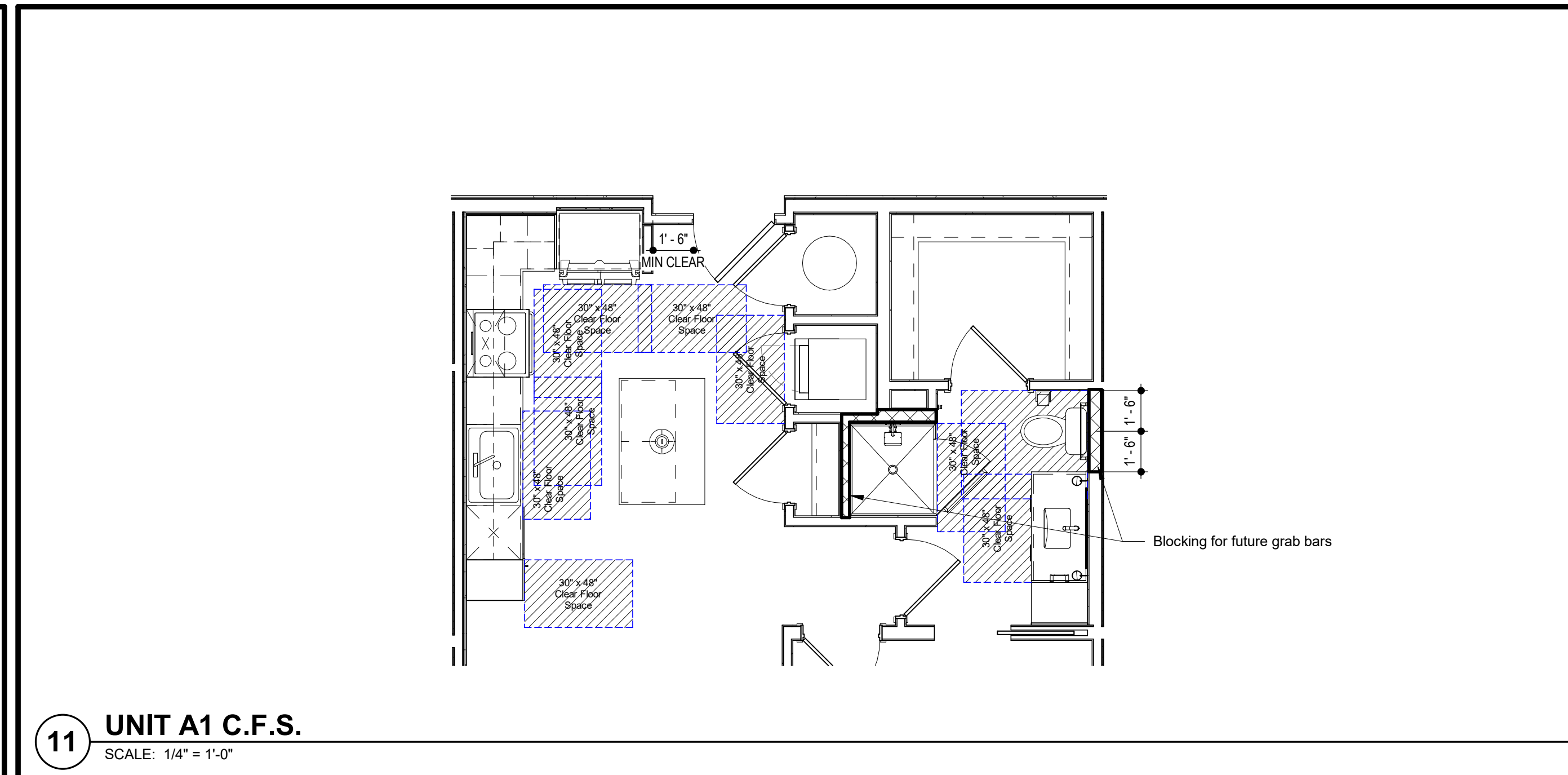
14 UNIT A1 RCP

SCALE: 1/4" = 1'-0"



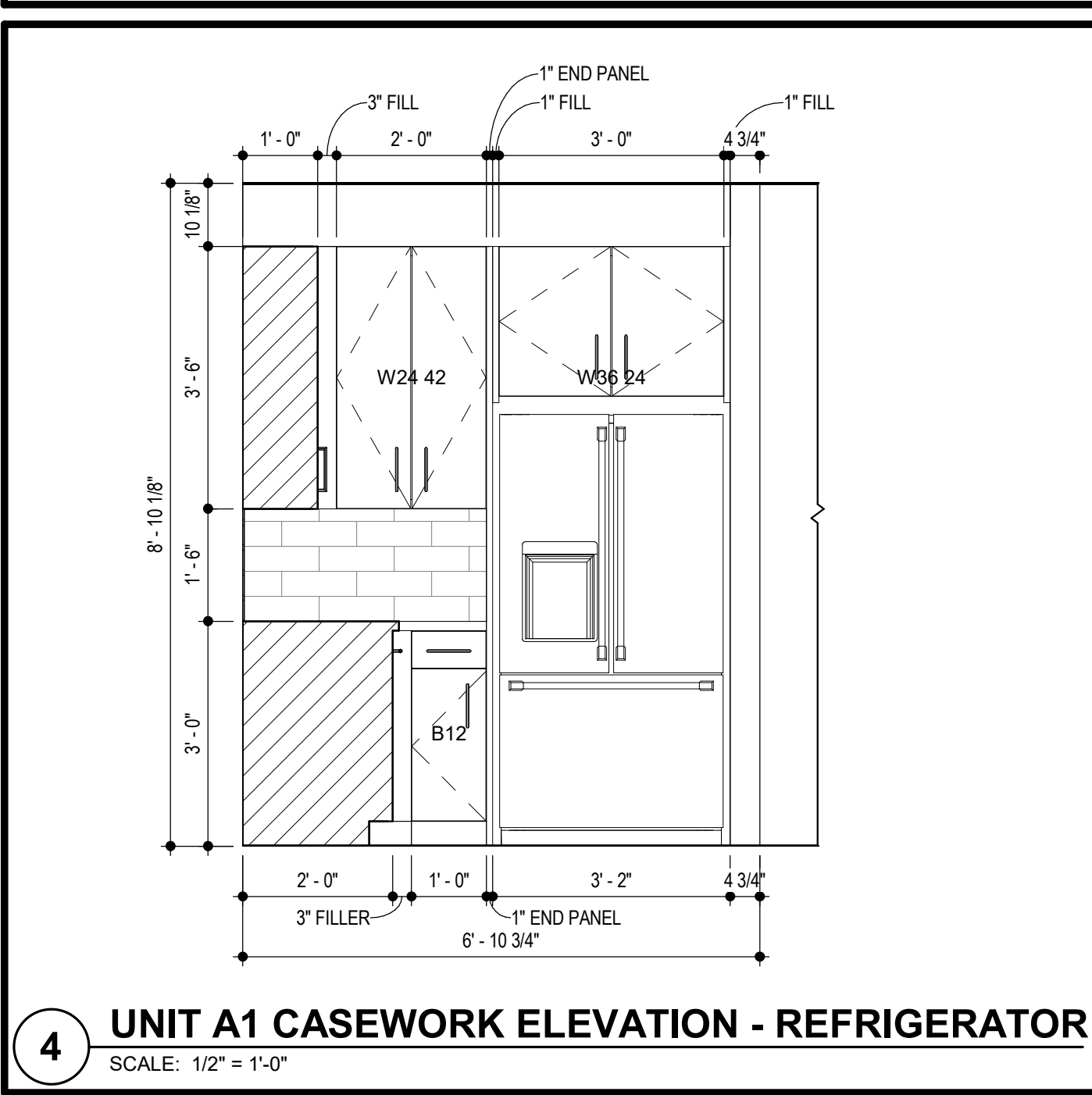
3 UNIT A1 KITCHEN ELEVATION - RANGE

SCALE: 1/2" = 1'-0"



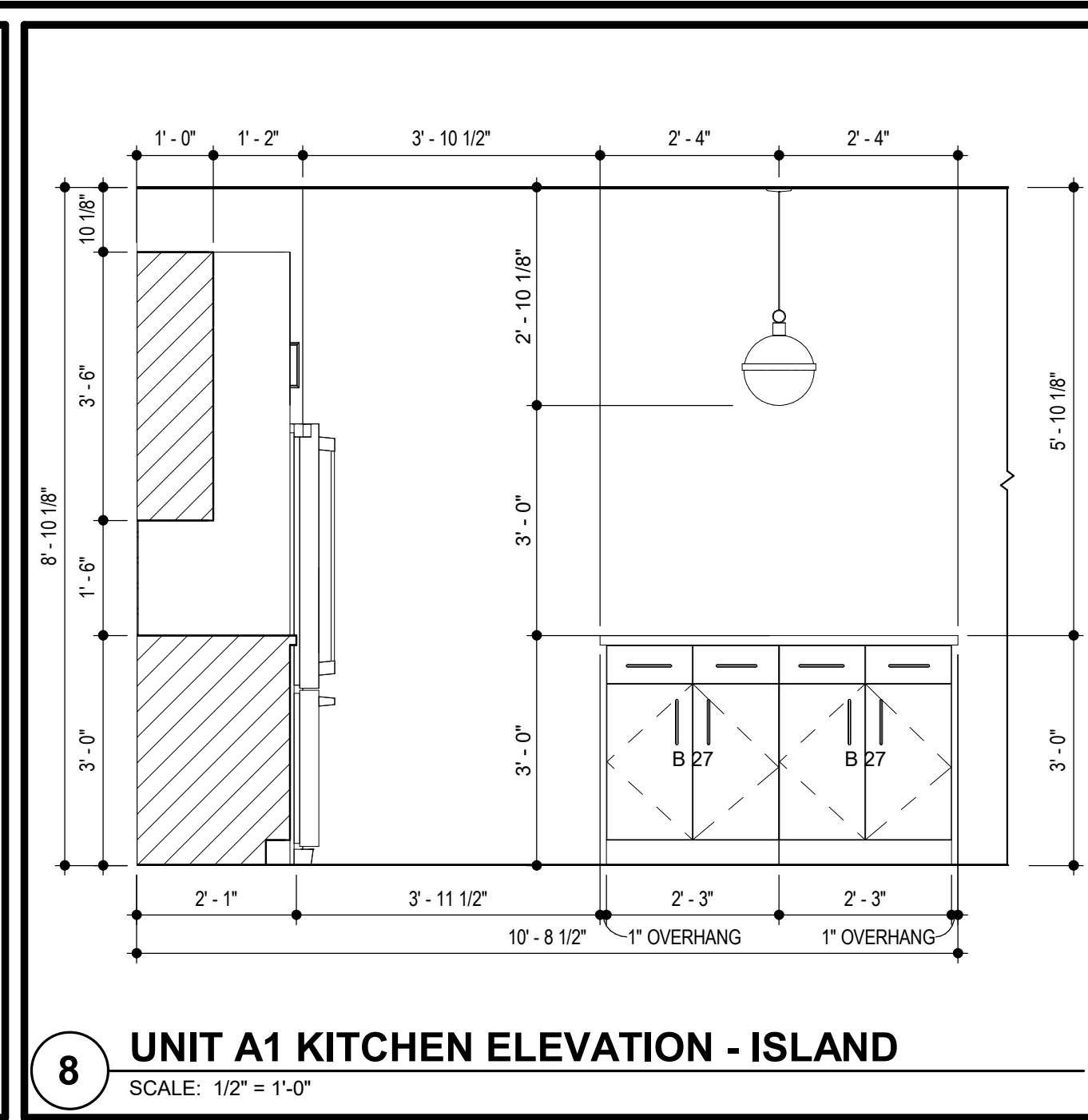
11 UNIT A1 C.F.S.

SCALE: 1/4" = 1'-0"



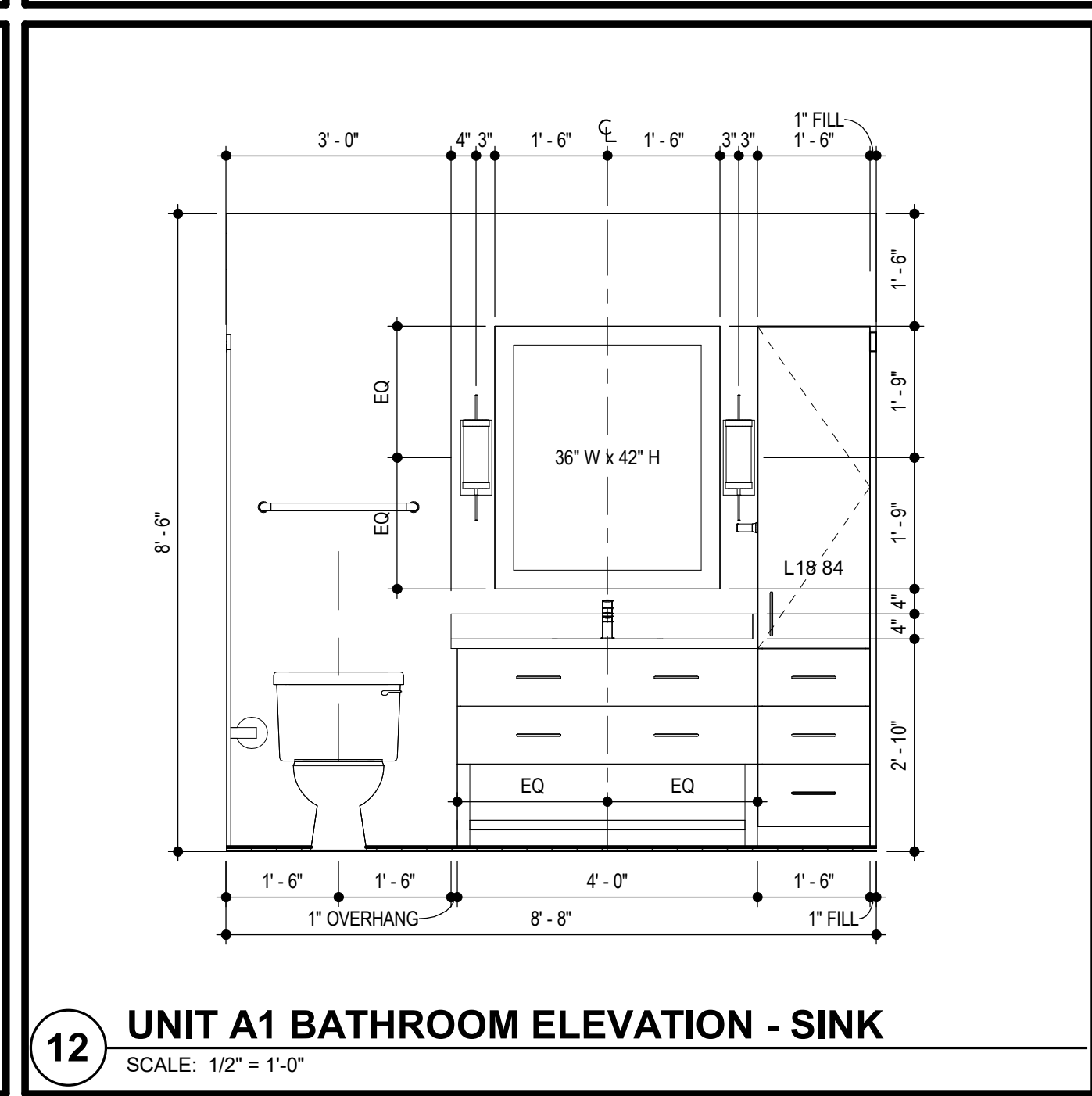
4 UNIT A1 CASEWORK ELEVATION - REFRIGERATOR

SCALE: 1/2" = 1'-0"



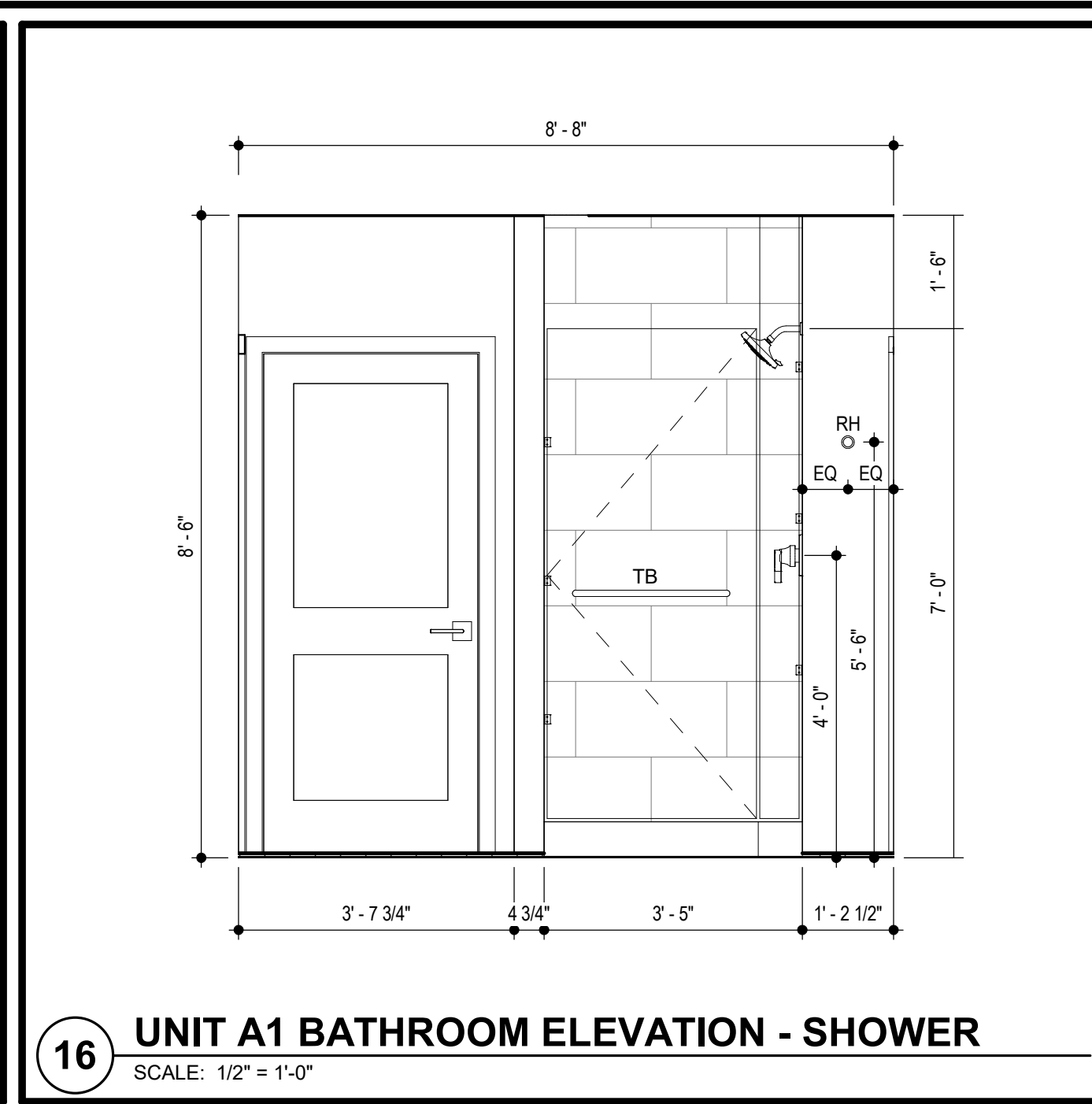
8 UNIT A1 KITCHEN ELEVATION - ISLAND

SCALE: 1/2" = 1'-0"



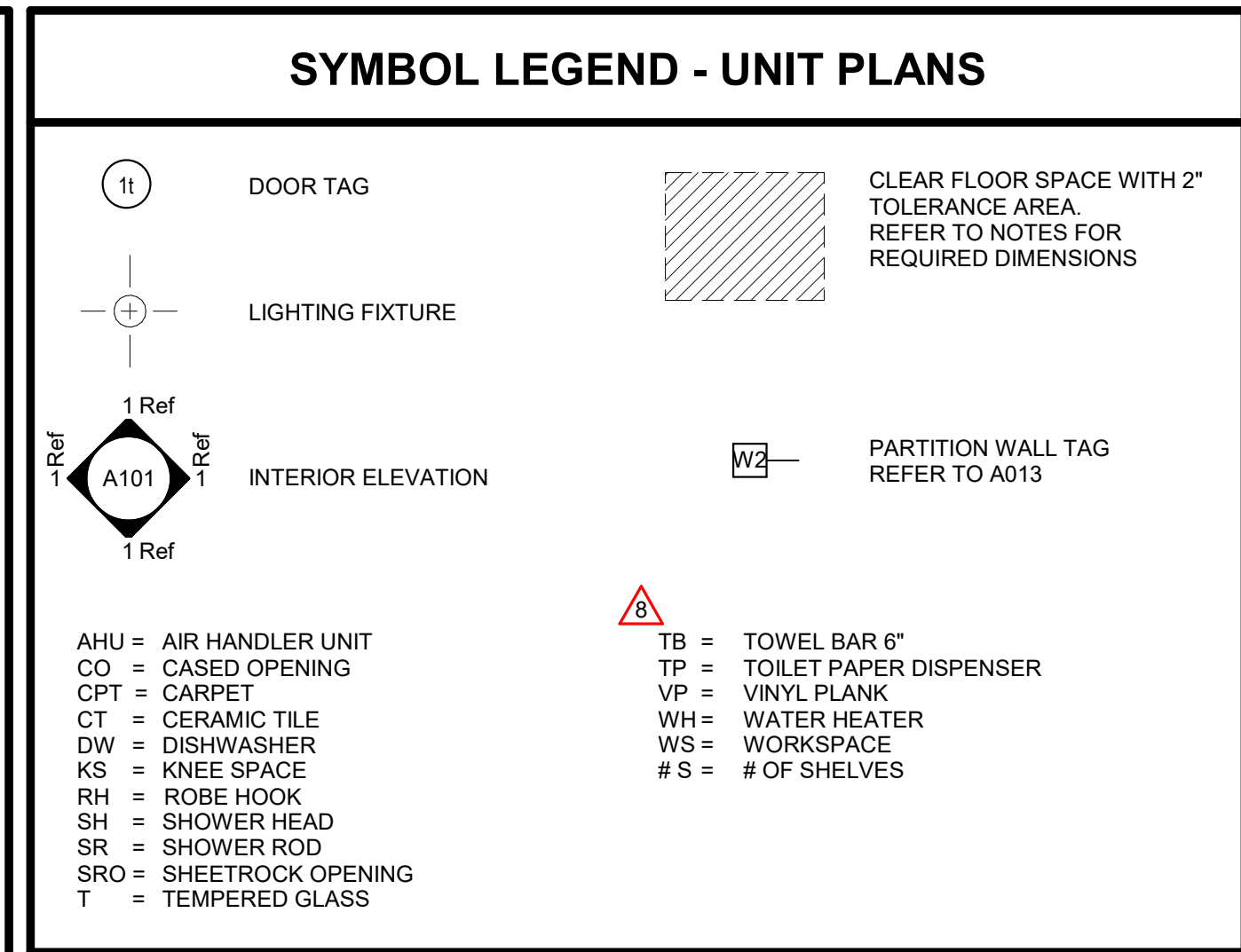
12 UNIT A1 BATHROOM ELEVATION - SINK

SCALE: 1/2" = 1'-0"



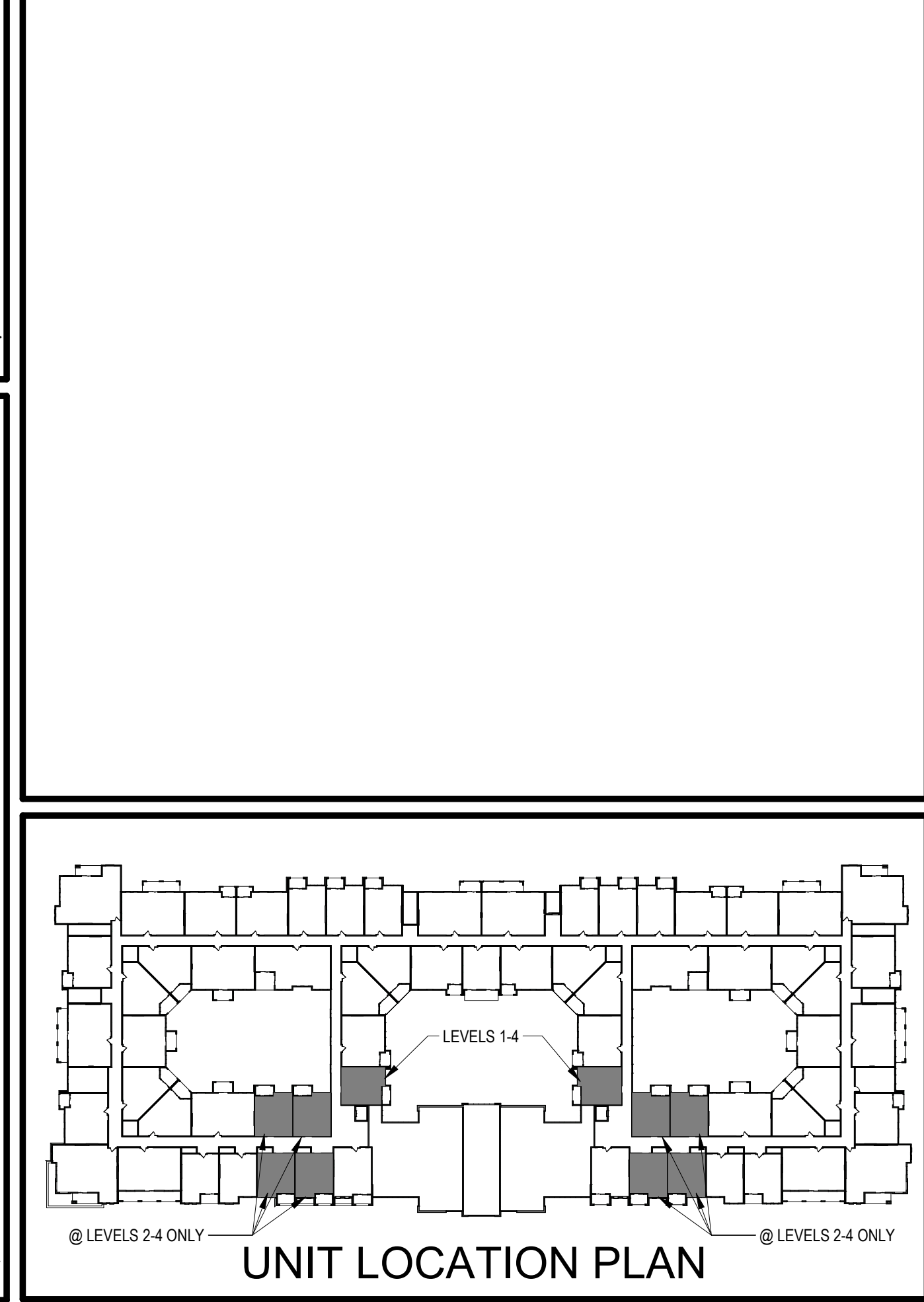
16 UNIT A1 BATHROOM ELEVATION - SHOWER

SCALE: 1/2" = 1'-0"



LIGHTING FIXTURE SCHEDULE			
LABEL	MANUFACTURER	DESCRIPTION/MODEL	FINISH
L1	NOT USED		
B	ASTRO	OSLO 100	TEXTURED BLACK
E	HUDSON VALLEY LIGHTING GROUP	LAMBERT, #612-08	OLD BRONZE
C	TBD	7 1/2" LED DISK FIXTURE	WHITE TRIM
A	TBD	7 1/2" LED DISK FIXTURE	WHITE TRIM
F	MINIKA AIRE	AVIATION LED CEILING FAN, #853L-BN/CL	COAL
G2	TBD	WALL MOUNTED LED UTILITY LIGHT	WHITE TRIM
G	TBD	11" SURFACE MOUNTED DOME FIXTURE	WHITE TRIM
D	CUSTOM	MATCH STEFAN OUTDOOR WALL SCONCE	AGED IRON

- ### GENERAL UNIT NOTES
- ALL WALL DIMENSIONS ARE TO STUD.
 - UNIT INTERIOR WALL TYPES ARE A1 (TYPICAL) UNLESS OTHERWISE NOTED.
 - REFER TO SHEET A011 FOR TYPICAL WALL ASSEMBLIES.
 - REFER TO SHEET A017 FOR UNIT DOOR SCHEDULE & A030 - A031 FOR DETAILS.
 - ALL INTERIOR DOORS SHALL ALLOW 3/4" AIRFLOW FOR RETURN AT BOTTOM OF DOOR.
 - REFER TO MEP DWGS FOR LOCATION OF SMOKE, CO & FIRE DETECTORS.
 - REFER TO SHEET A014 FOR WINDOW SCHEDULE AND A020 - A021 FOR DETAILS.
 - ALL EXTERIOR WINDOWS SHALL MEET ALL FEDERAL, STATE AND ANY LOCAL GLAZING STANDARDS.
 - ALL SLIDING GLASS DOORS SHALL HAVE PIN LOCKS.
 - BEDROOM SHALL HAVE A MINIMUM OF ONE OPENING WHICH MEETS EGRESS REQUIREMENTS: 20" NET CLEAR WIDTH, 24" NET CLEAR HEIGHT, 5/7 S.O.F. NET CLEAR OPENABLE AREA AND SHALL BE 44" MAXIMUM FROM FINISH FLOOR TO TOP OF SILL AS REQUIRED PER IBC-2009 SECTION 1002.
 - REFER TO BUILDING PLANS FOR CORRIDOR AND DIMISING WALL TYPES.
 - PROVIDE MOISTURE RESISTANT GYPSUM DRYWALL IN ALL UNIT BATHROOM WALLS AND OTHER UNIT WET WALLS.
 - PROVIDE SOUND BATTS IN ALL CORRIDOR AND TENANT SEPARATION WALLS.
 - PROVIDE SOUND INSULATION IN WALLS AROUND ALL LAUNDRY ROOMS, PLUMBING, AND ALL HVAC CLOSETS.
 - REFER TO STRUCTURAL DRAWINGS FOR SHEARWALL AND BEARING WALL LOCATIONS.
 - VERTICAL MECHANICAL CHASES WITHIN UNITS ARE TO BE FIRE STOPPED PER LOCAL REQUIREMENTS.
 - ALL ANGLES ARE 45° TO HORIZONTAL & VERTICAL DIRECTIONS, U.N.O. TYP. AT ALL UNITS.
 - ALL DIMENSIONS AND NOTES STATING "CLEAR" ARE FROM FACE OF FINISH.
 - REFER TO A003 & A004 FOR ALL INTERIOR FAIR HOUSING ACT AND OTHER ACCESSIBILITY REQUIREMENTS.
 - ALL TOWEL BARS ARE TO BE MOUNTED AT 54" A.F.F., ROBE HOOKS TO BE MOUNTED AT 66", TOWEL RINGS TO BE MOUNTED 1'-6" ABOVE COUNTER HEIGHT, AND TOILET PAPER DISPENSERS AT 18" A.F.F. UNLESS NOTED OTHERWISE. TOWEL BARS AND ROBE HOOKS IN TYPE A UNITS TO BE MOUNTED AT 48" HIGH MAX.
 - INTERIOR ELEVATIONS ARE FOR SCHEMATIC CABINET LAYOUT ONLY. CONTRACTOR TO VERIFY ALL DIMENSIONS. PROVIDE FILLERS AS REQUIRED. REFER TO CABINET SHOP DRAWINGS.
 - VANITY MIRRORS TO BE 42" HIGH AND TO BE MOUNTED WITH THE BOTTOM OF THE REFLECTING SURFACE NO MORE THAN 40" A.F.F. IN ANSI TYPE A UNITS.
 - PROVIDE MINIMUM RATED 2A-108.C FIRE EXTINGUISHER IN EACH KITCHEN UNDER THE SINK.
 - VERIFY ALL TUB WALL LENGTHS AND DIMENSIONS WITH ACTUAL TUB PROVIDED. CONTRACTOR TO COORDINATE FRAMING, TUB MANUFACTURER AND TUB DETAILS.
 - PROVIDE SOLID BLOCKING IN WALLS FOR FUTURE INSTALLATION OF GRAB BARS AS SHOWN ON A003, OR ALTERNATIVE MEANS OF REINFORCING THE CAVITY BETWEEN THE FIBERGLASS TUB AND THE WALL.
 - SEE ARCHITECTURAL ELEVATION, MEP AND STRUCTURAL DRAWINGS FOR EXTERIOR FEATURES THAT MAY REQUIRE BLOCKING OR OTHER CONSIDERATIONS SPECIFIC TO THE UNIT LOCATION IN THE BUILDING, SUCH AS ATTACHED SIGNAGE, LIGHTING, AWNINGS, CANOPIES, TRELLISES, SHUTTERS, FIXTURES, BUILDOUTS, CORNICES, RAILINGS, LANDSCAPE FEATURES AND ADJACENT ATTACHED STRUCTURES.
 - PROVIDE A HIGH OUTLET COVER SO THAT TV IN LIVING ROOM CAN BE MOUNTED AT 46" A.F.F. TO THE CENTER OF TV. REFER TO MEP AND TELECOM. PROVIDE 2x10 BLOCKING FOR TV MOUNTING.
 - ALL EXTERIOR SLABS TO SLOPE DOWN 1/8" TO EDGE OF SLAB. LIGHT BROOM FINISH AT SLOPED SURFACES. VERIFY WITH STRUCTURE.
 - REFER TO INTERIOR DESIGNER FINISH SCHEDULE FOR FINISHES, FOR ADDITIONAL ROOM FINISH NOTES AND SPECIFICATIONS. RE: 1006-1007
 - FLOOR FINISHES TO EXTEND UNDER SHELVEING, WASHER/DRYER, AND REFRIGERATOR. FLOOR FINISHES EXTEND UNDER ALL RAISED COUNTERS, AND CABINETS INDICATED WITH "REMOVABLE BASE CABINET".
 - ALL SINK BASES TO BE REMOVABLE IN TYPE A UNITS. REMOVABLE BASE AT KITCHEN WORK SURFACE IN TYPE A UNITS. EXTEND FLOOR FINISH UNDER THESE REMOVABLE CABINETS
 - BATHROOM CEILING HEIGHT 8'-8" AFF.
 - SHOWER HEAD HEIGHT 7'-0" AFF. SHOWER CONTROL HEIGHT 4'-0" AFF.
 - TUB/SHOWER COMBO SHOWER HEAD HEIGHT 7'-0" AFF. CONTROL 3'-0" AFF. TUB FAUCET 2'-0" AFF.
 - FOR UNIT DETAILS RE: A170-A171



4.24.20

ARCHITECT
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CIVIL ENGINEER
BRINKMAN CONSTRUCTORS

GENERAL CONTRACTOR
LATIMER SOMMERS & ASSOCIATES

MECHANICAL ENGINEER
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PLUMBING ENGINEER
LATIMER SOMMERS & ASSOCIATES

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DATE: 7.29.19

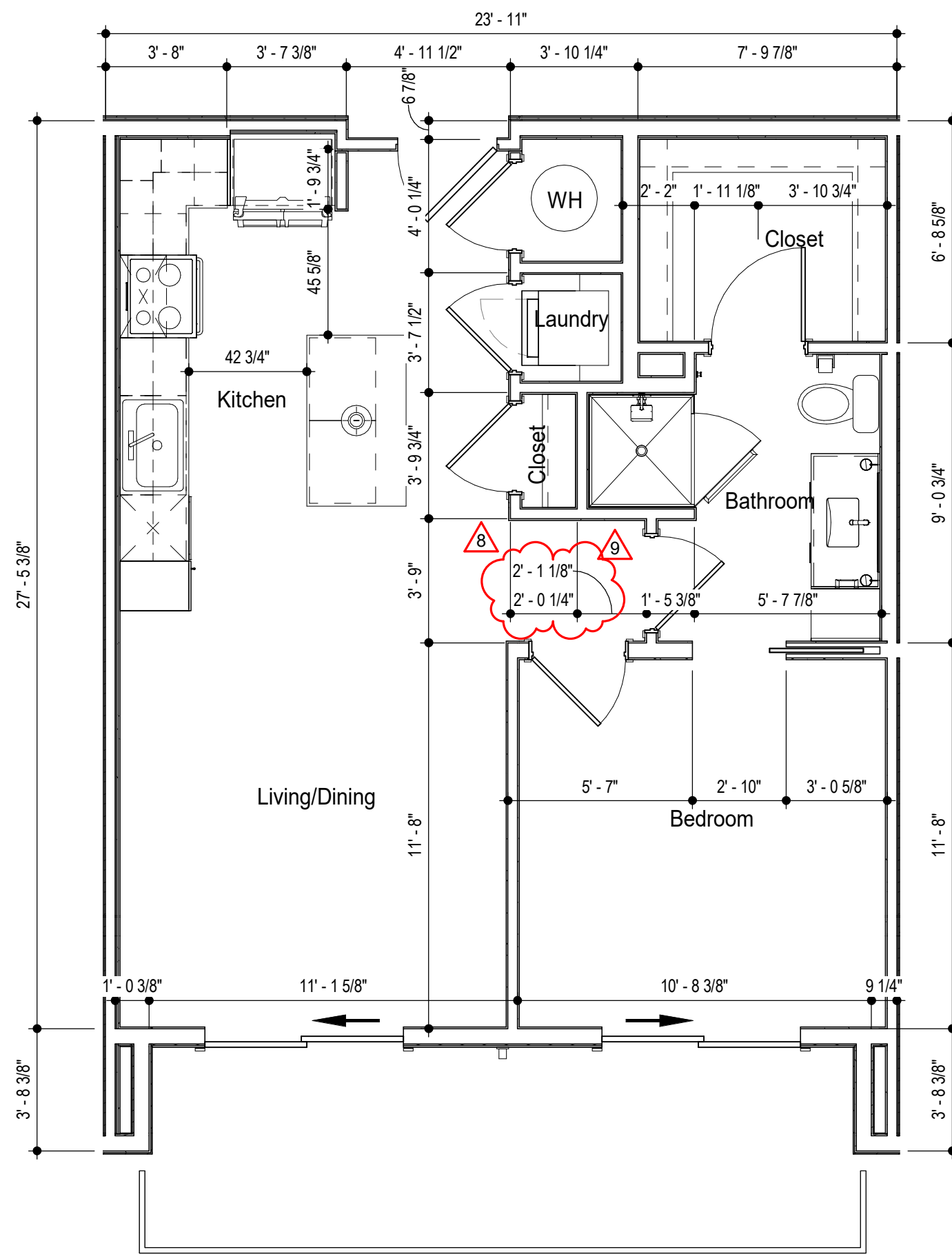
REVISIONS		
	SHELL PACKAGE	7.29.19
6	REVISION 1	12.20.19
8	REVISION 3	4.3.2020
9	REVISION 4	4.24.2020

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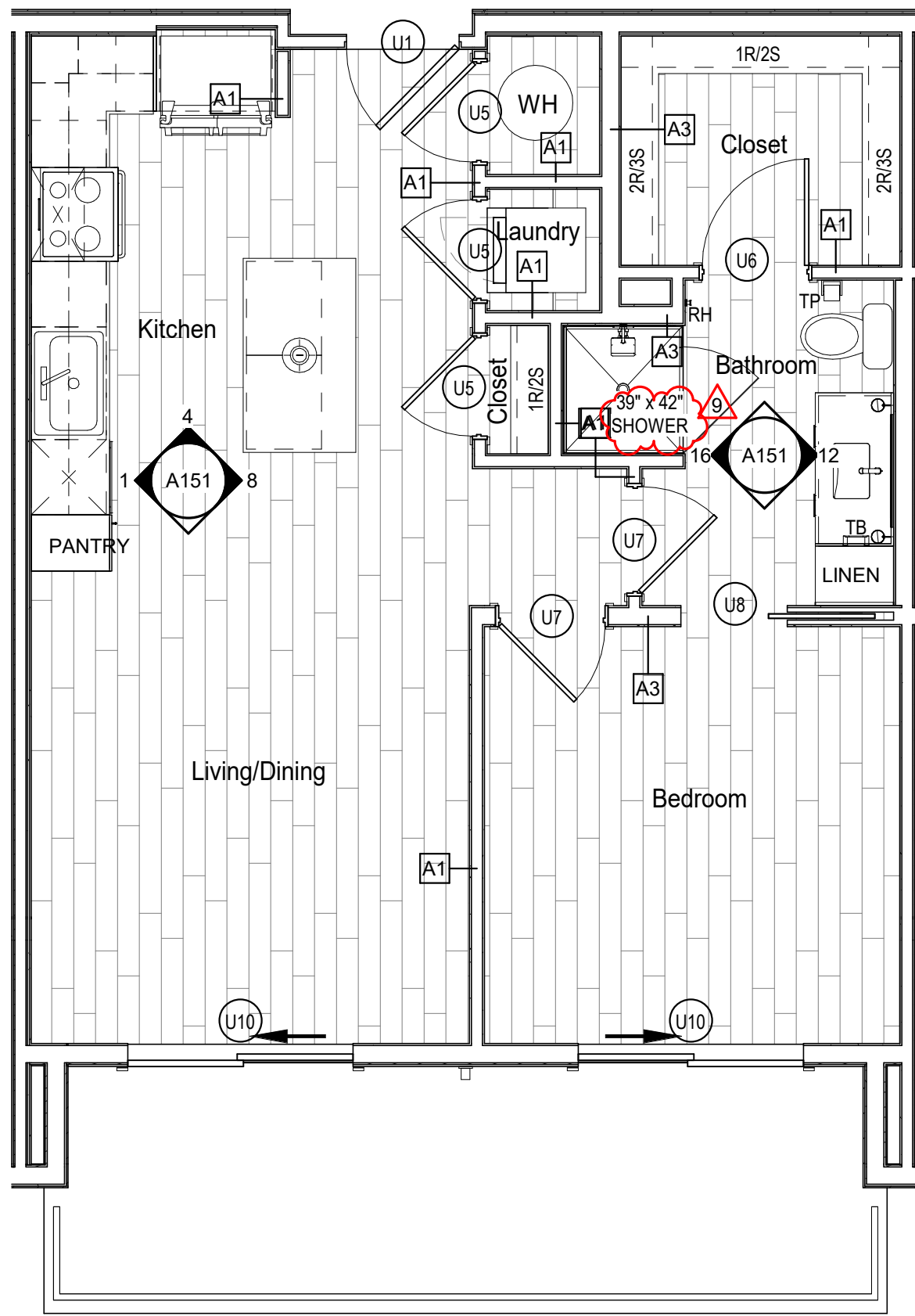
SHEET NO. A150

UNIT 'A1' PLANS & ELEVATIONS



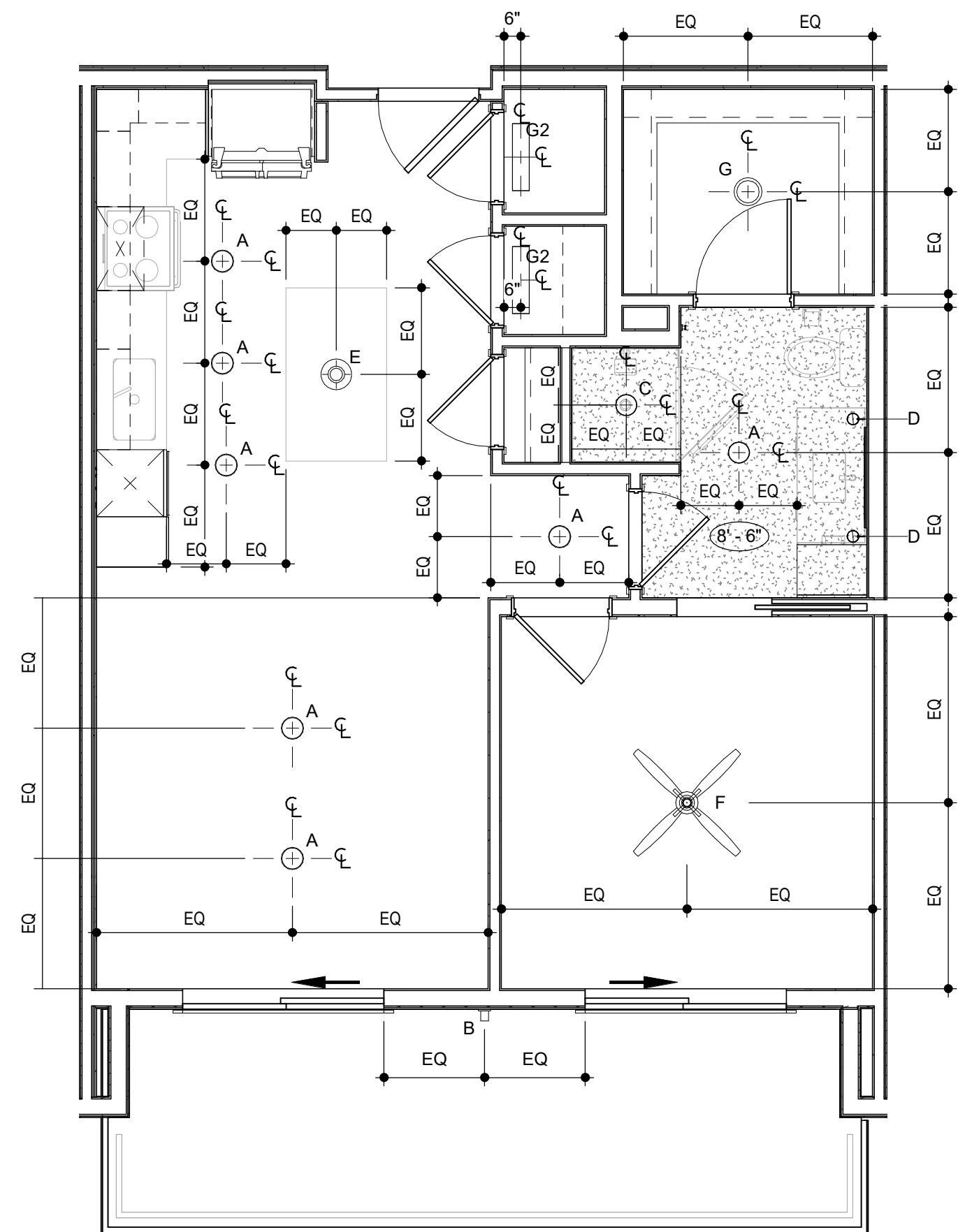
UNIT A2 DIMENSION PLAN

SCALE: 1/4" = 1'-0"



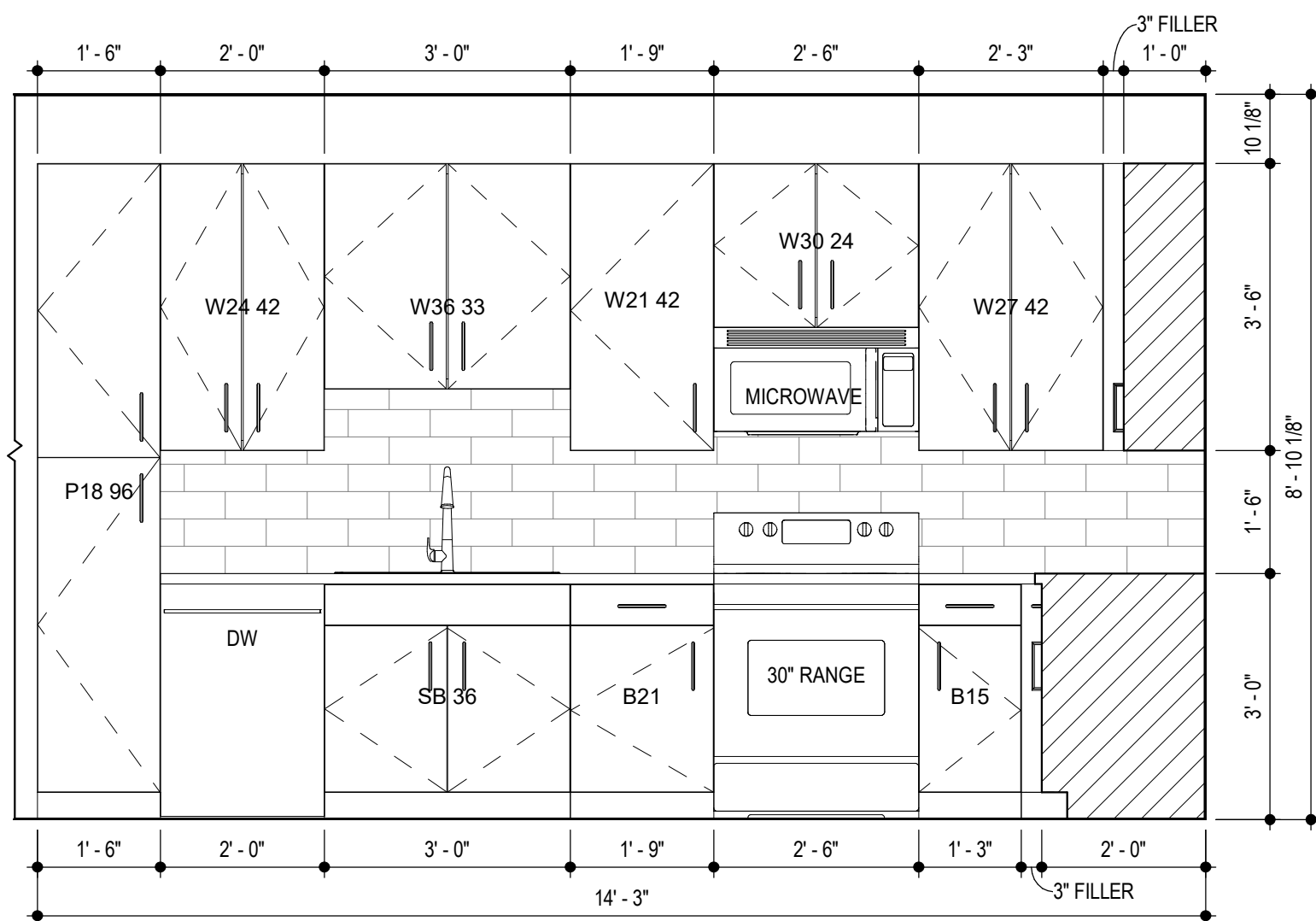
UNIT A2 REFERENCE PLAN

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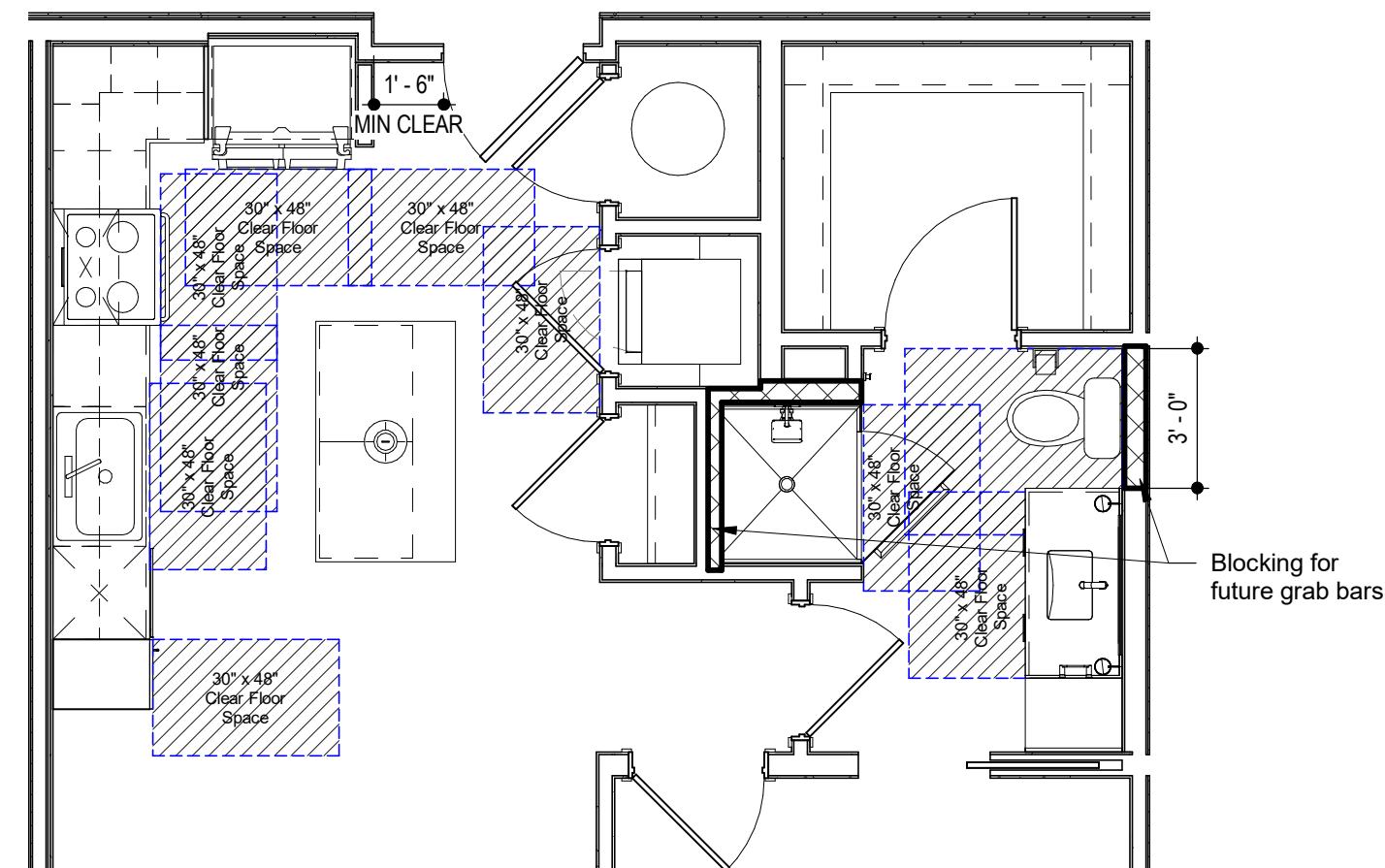
UNIT A2 RCP

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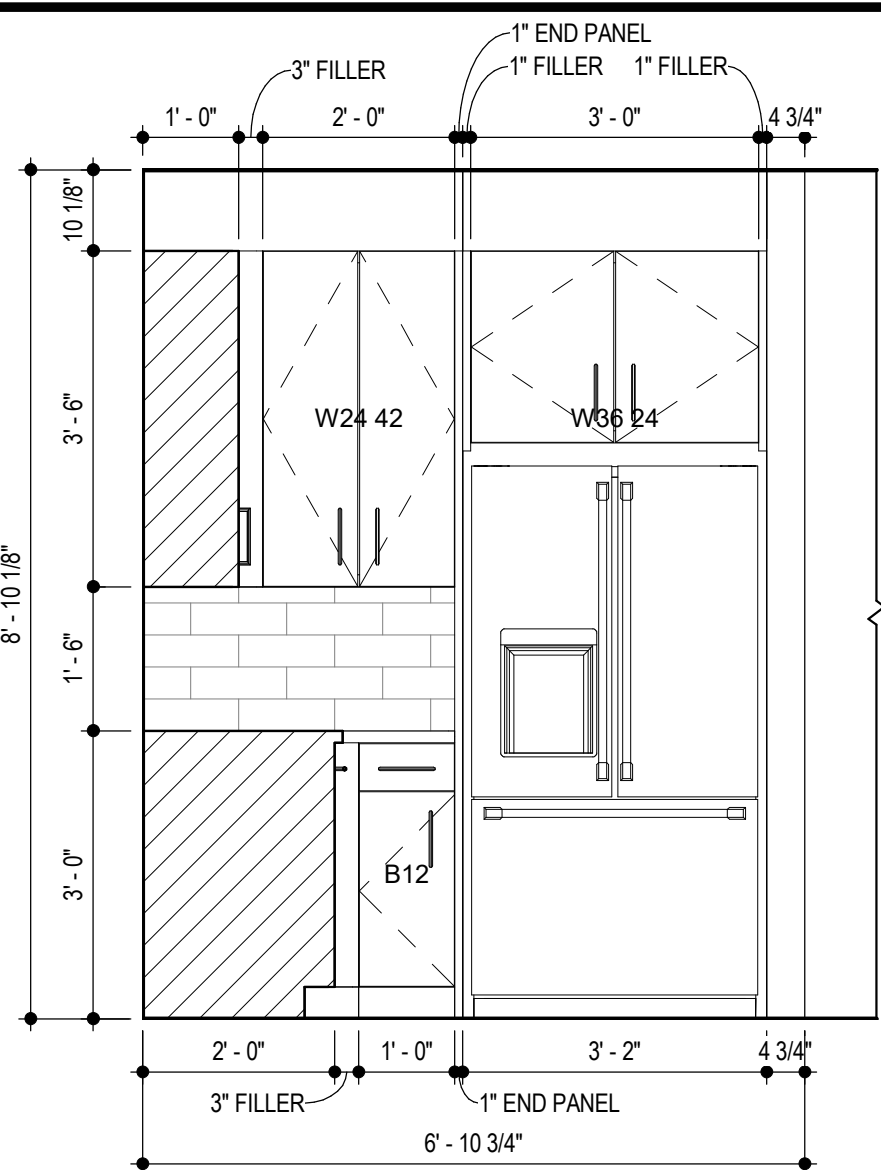
UNIT A2 KITCHEN ELEVATION - RANGE

SCALE: 1/2" = 1'-0"



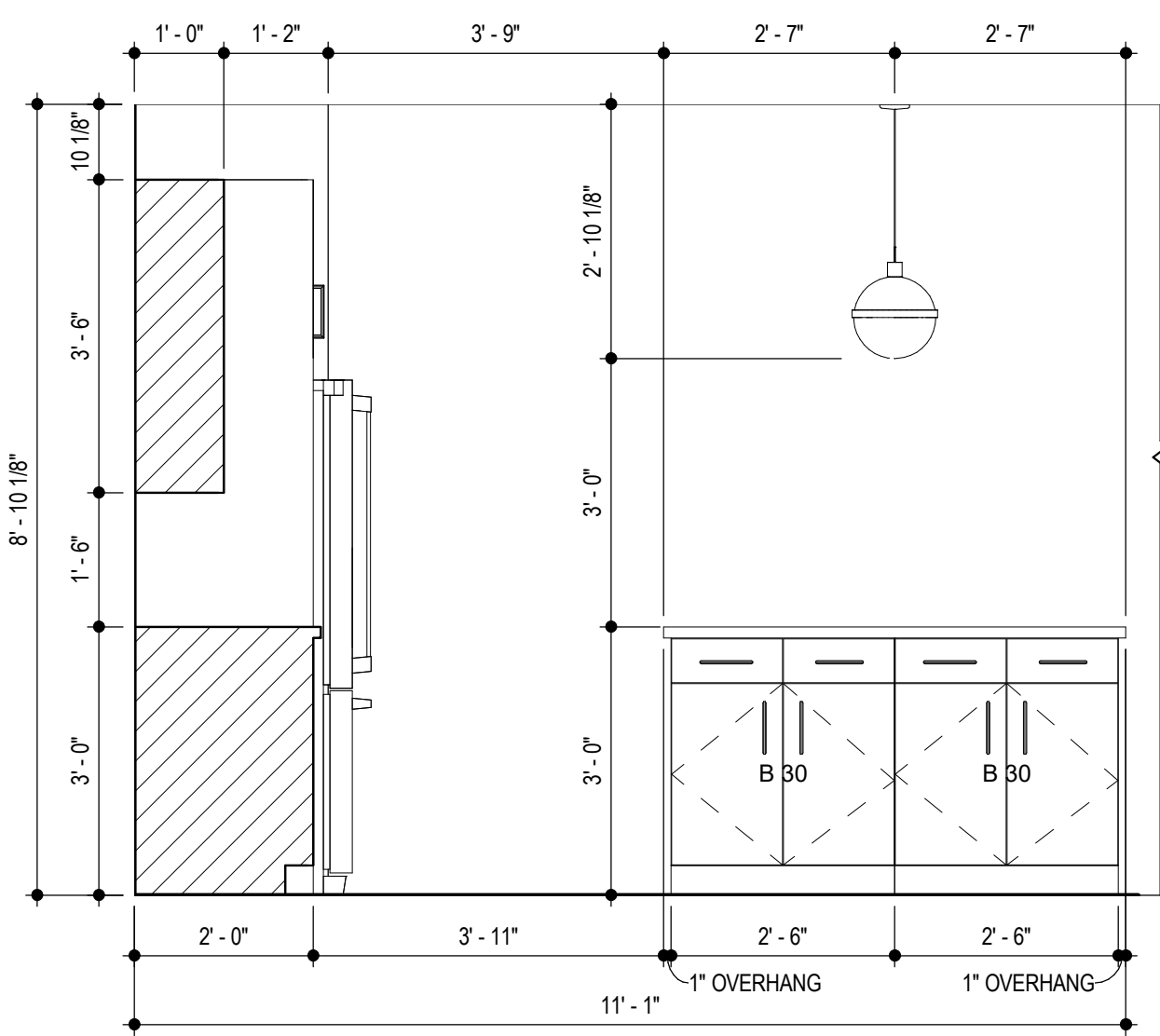
UNIT A2 C.F.S.

SCALE: 1/4" = 1'-0"



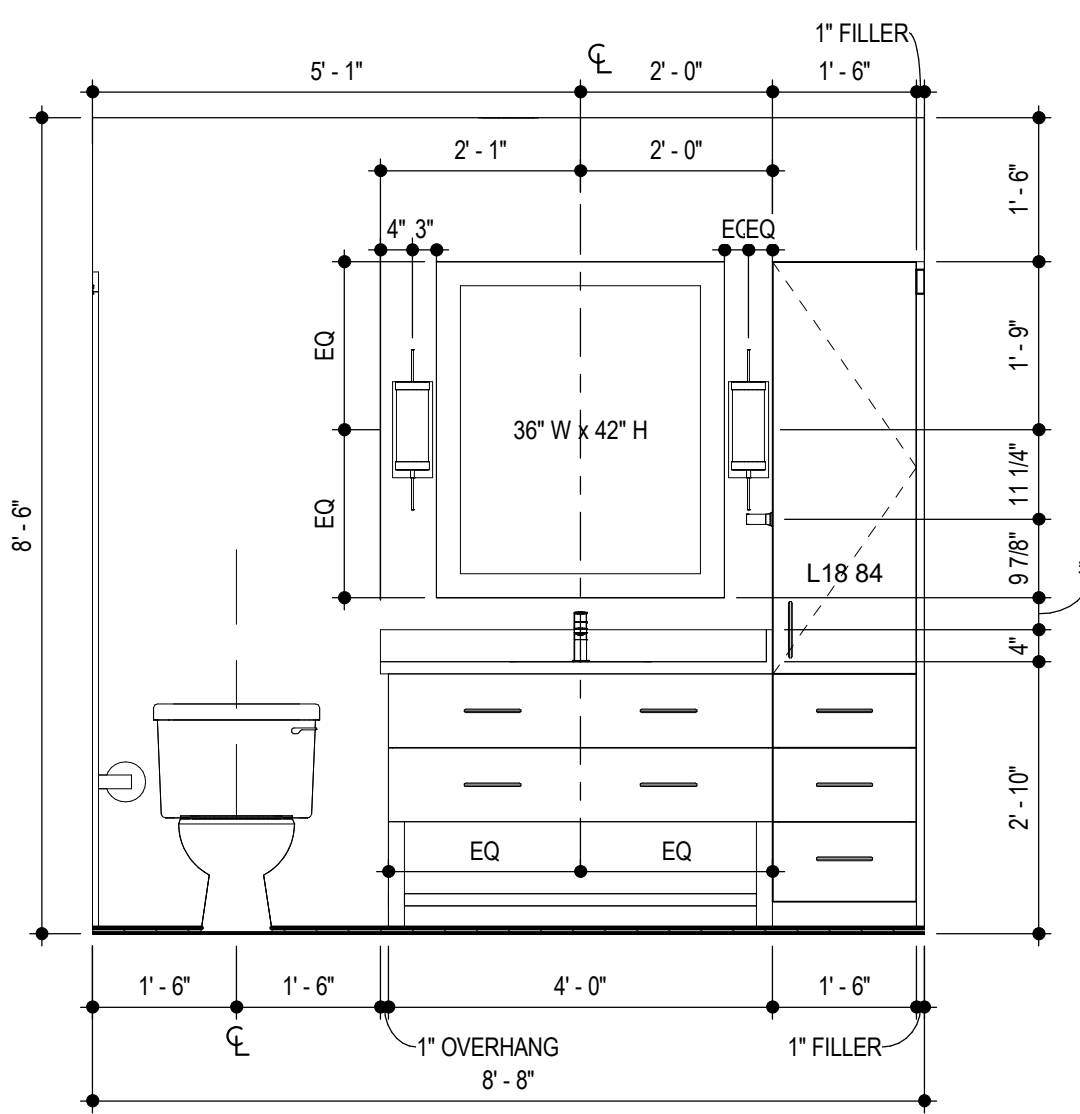
UNIT A2 CASEWORK ELEVATION - REFRIGERATOR

SCALE: 1/2" = 1'-0"



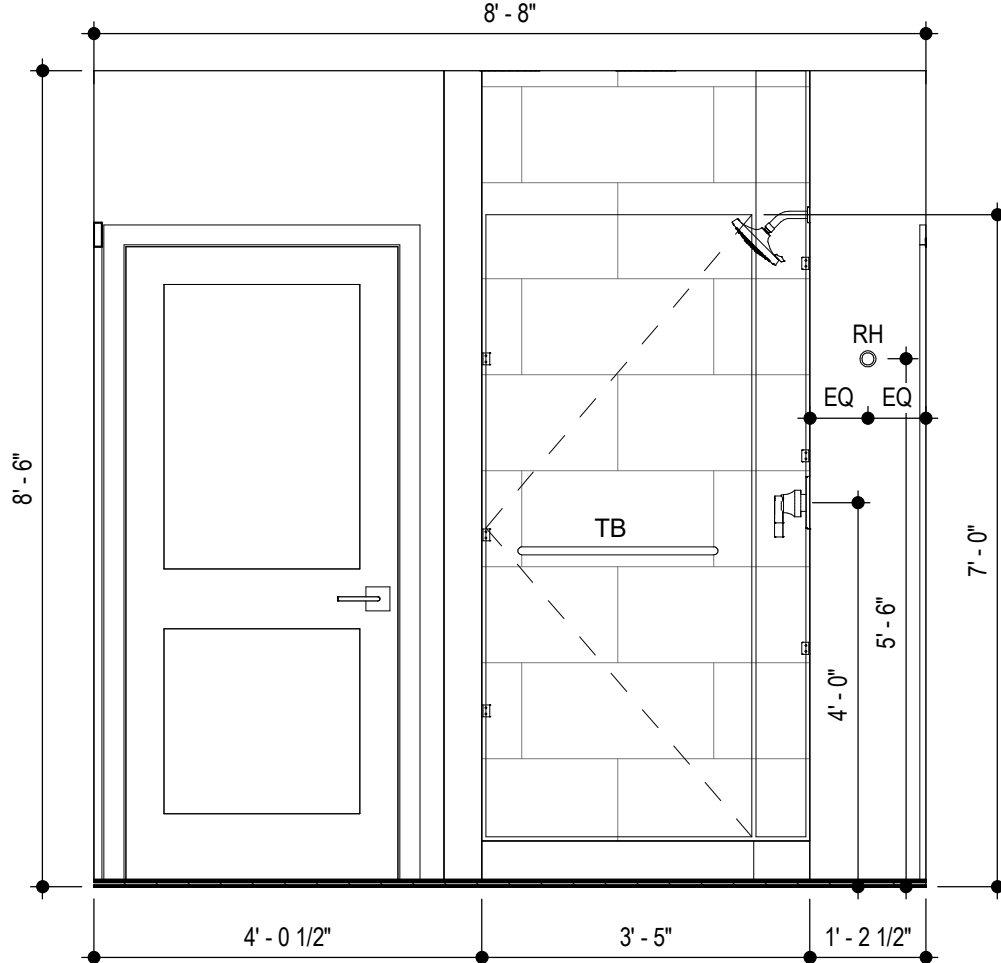
UNIT A2 KITCHEN ELEVATION - ISLAND

SCALE: 1/2" = 1'-0"



UNIT A2 BATHROOM ELEVATION - SINK

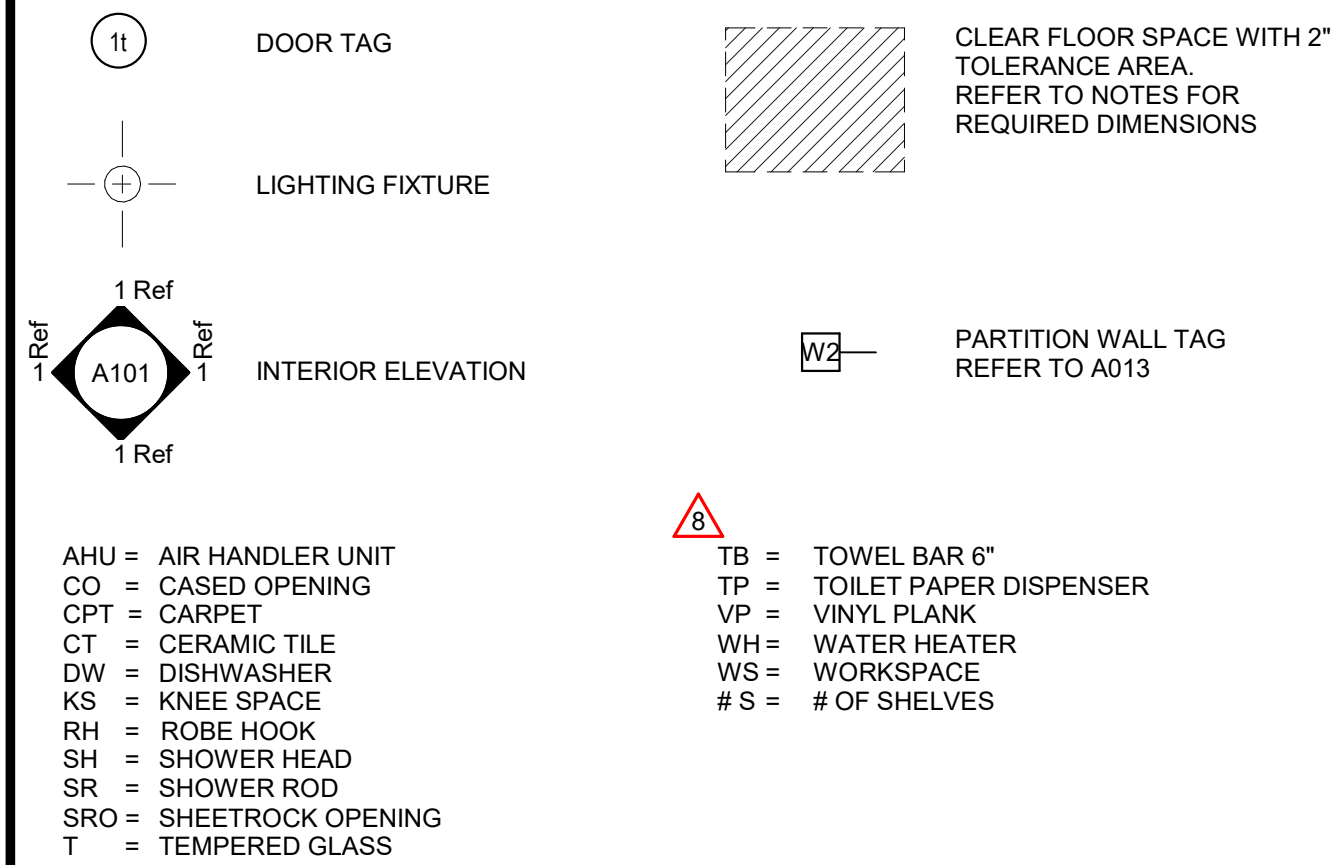
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UNIT A2 BATHROOM ELEVATION - SHOWER

SCALE: 1/2" = 1'-0"

SYMBOL LEGEND - UNIT PLANS

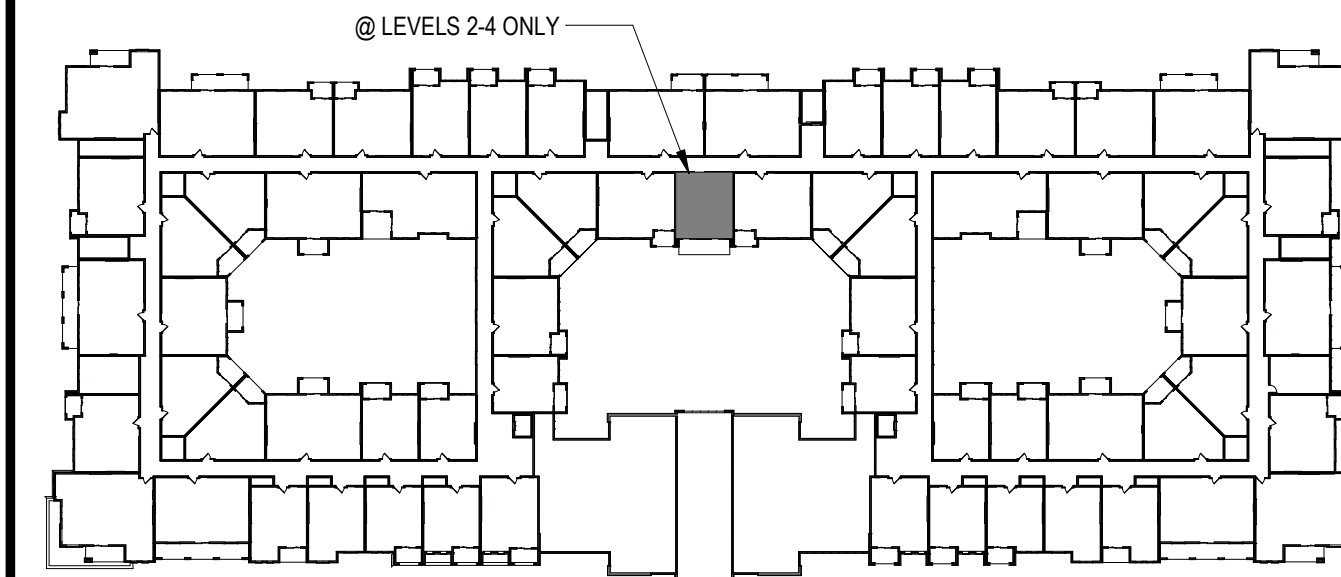


LIGHTING FIXTURE SCHEDULE

LABEL	MANUFACTURER	DESCRIPTION/MODEL	FINISH
L1	NOT USED		
B	ASTRO	OSLO 100	TEXTURED BLACK
E	HUDSON VALLEY LIGHTING GROUP	LAMBERT, #612-08	OLD BRONZE
C	TBD	7 1/2" LED DISK FIXTURE	WHITE TRIM
A	TBD	7 1/2" LED DISK FIXTURE	WHITE TRIM
F	MINKA AIRE	AVIATION LED CEILING FAN, #853L-BNCL	COAL
G2	TBD	WALL MOUNTED LED UTILITY LIGHT	WHITE TRIM
G	TBD	11" SURFACE MOUNTED DOME FIXTURE	WHITE TRIM
D	CUSTOM	MATCH STEFAN OUTDOOR WALL SCONCE	AGED IRON

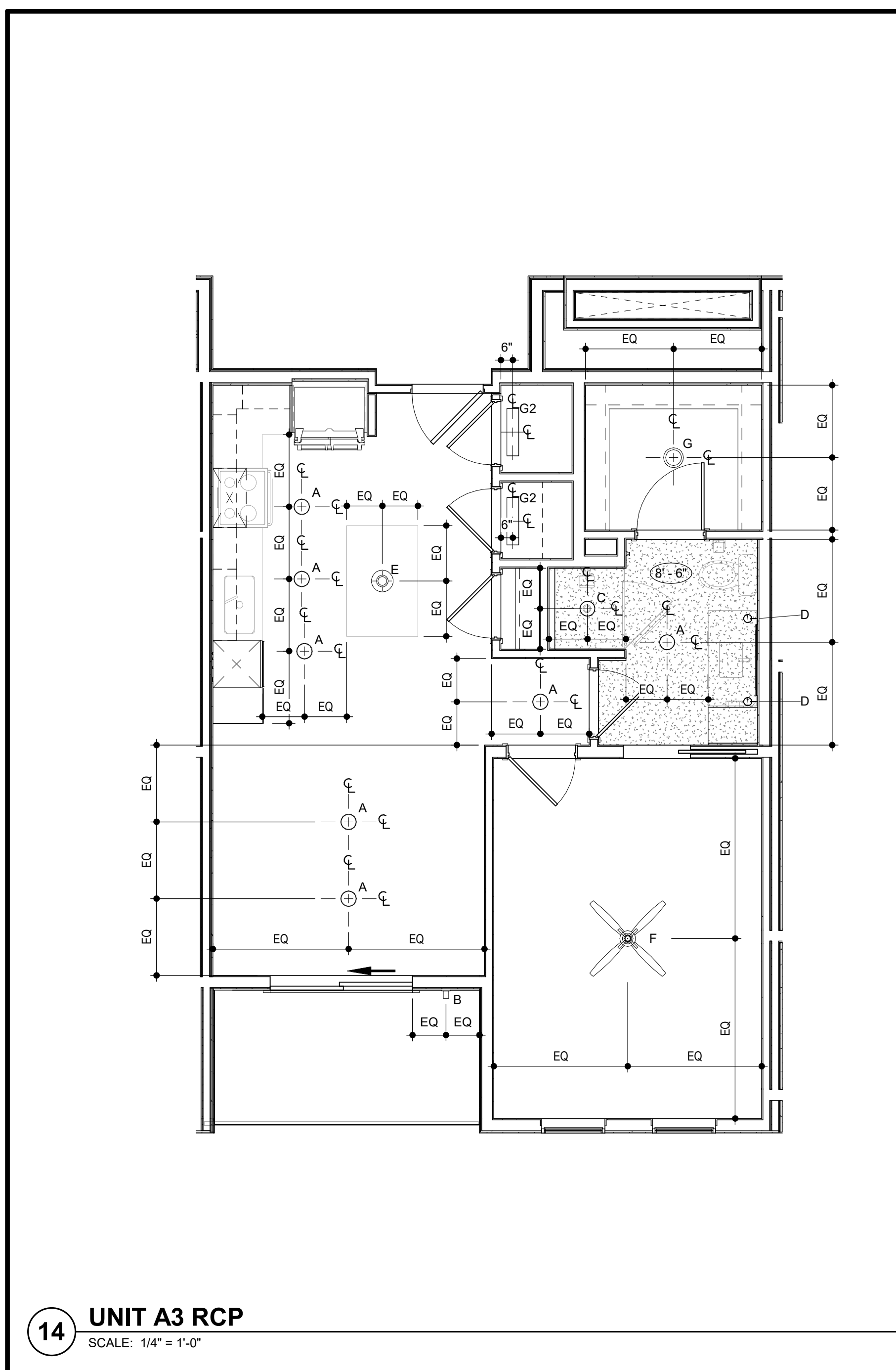
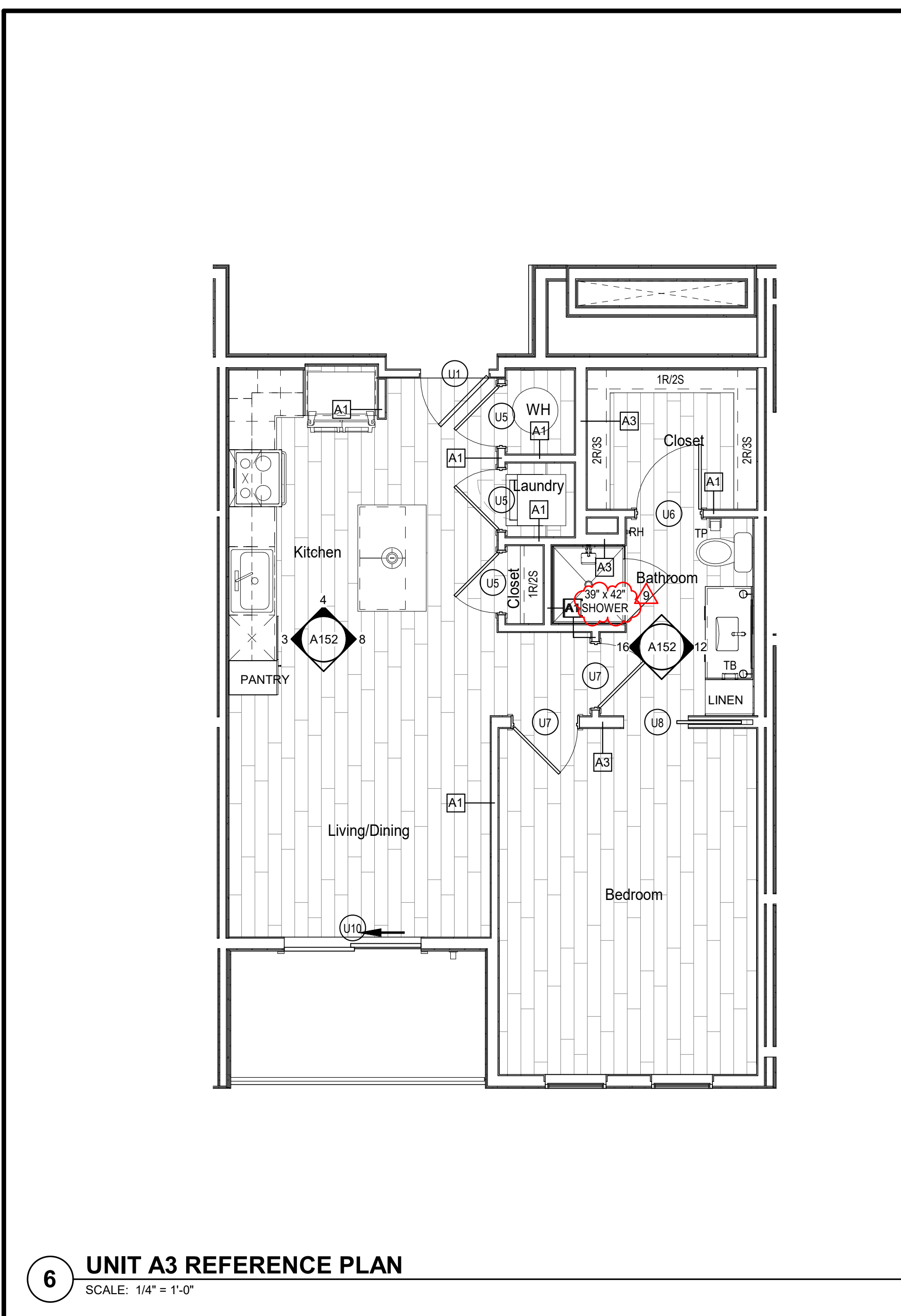
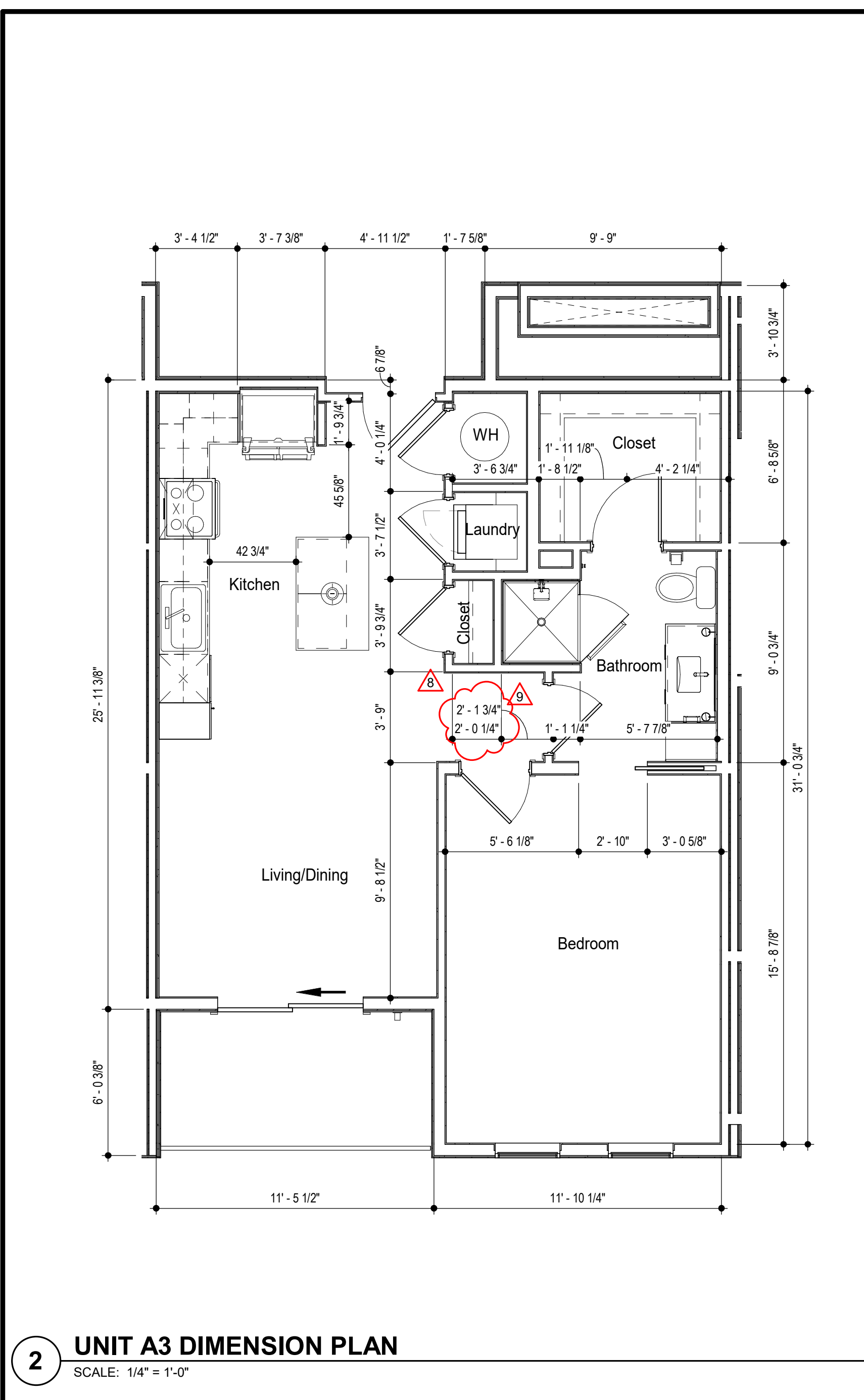
GENERAL UNIT NOTES

- ALL WALL DIMENSIONS ARE TO STUD.
- UNIT INTERIOR WALL TYPES ARE A1 (TYPICAL) UNLESS OTHERWISE NOTED.
- REFER TO SHEET A011 FOR TYPICAL WALL ASSEMBLIES.
- REFER TO SHEET A017 FOR UNIT DOOR SCHEDULE & A030 - A031 FOR DETAILS.
- ALL INTERIOR DOORS SHALL ALLOW 3/4" AIRFLOW FOR RETURN AT BOTTOM OF DOOR.
- REFER TO MEP DWGS FOR LOCATION OF SMOKE, CO & FIRE DETECTORS.
- REFER TO SHEET A014 FOR WINDOW SCHEDULE AND A020 - A021 FOR DETAILS.
- ALL EXTERIOR WINDOWS SHALL MEET ALL FEDERAL, STATE AND ANY LOCAL GLAZING STANDARDS. ALL SLIDING GLASS DOORS SHALL HAVE PIN LOCKS.
- BEDROOM SHALL HAVE A MINIMUM OF ONE OPENING WHICH MEETS EGRESS REQUIREMENTS. 20" NET CLEAR WIDTH, 24" NET CLEAR HEIGHT, 5.7 SQ.FT. NET CLEAR OPENABLE AREA AND SHALL BE 44" MAXIMUM FROM FINISH FLOOR TO TOP OF SILL AS REQUIRED PER IBC-2009 SECTION 1029.
- REFER TO BUILDING PLANS FOR CORRIDOR AND DIMINISH WALL TYPES.
- PROVIDE MOISTURE RESISTANT GYPSUM DRYWALL IN ALL UNIT BATHROOM WALLS AND OTHER UNIT WET WALLS.
- PROVIDE SOUND BATTS IN ALL CORRIDOR AND TENANT SEPARATION WALLS.
- PROVIDE SOUND INSULATION IN WALLS AROUND ALL LAUNDRY ROOMS, PLUMBING, AND ALL HVAC CLOSETS.
- REFER TO STRUCTURAL DRAWINGS FOR SHEARWALL AND BEARING WALL LOCATIONS.
- VERTICAL MECHANICAL CHASES WITHIN UNITS ARE TO BE FIRE STOPPED PER LOCAL REQUIREMENTS.
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- REFER TO A003 & A004 FOR ALL INTERIOR FAIR HOUSING ACT AND OTHER ACCESSIBILITY REQUIREMENTS.
- ALL TOWEL BARS ARE TO BE MOUNTED AT 54" A.F.F., ROBE HOOKS TO BE MOUNTED AT 66", TOWEL RINGS TO BE MOUNTED 1'-6" ABOVE COUNTER HEIGHT, AND TOILET PAPER DISPENSERS AT 18" A.F.F. UNLESS NOTED OTHERWISE. TOWEL BARS AND ROBE HOOKS IN TYPE A UNITS TO BE MOUNTED AT 48" HIGH MAX.
- INTERIOR ELEVATIONS ARE FOR SCHEMATIC CABINET LAYOUT ONLY. CONTRACTOR TO VERIFY ALL DIMENSIONS. PROVIDE FILLERS AS REQUIRED. REFER TO CABINET SHOP DRAWINGS.
- VANITY MIRRORS TO BE 42" HIGH AND TO BE MOUNTED WITH THE BOTTOM OF THE REFLECTING SURFACE NO MORE THAN 40" A.F.F. IN ANSI TYPE A UNITS.
- PROVIDE MINIMUM RATED 2A,10B,C FIRE EXTINGUISHER IN EACH KITCHEN UNDER THE SINK.
- VERIFY ALL TUB WALL LENGTHS AND DIMENSIONS WITH ACTUAL TUB PROVIDED. CONTRACTOR TO COORDINATE FRAMING, TUB MANUFACTURER AND TUB DETAILS.
- PROVIDE SOLID BLOCKING IN WALLS FOR FUTURE INSTALLATION OF GRAB BARS AS SHOWN ON A003, OR ALTERNATIVE MEANS OF REINFORCING THE CAVITY BETWEEN THE FIBERGLASS TUB AND THE WALL.
- SEE ARCHITECTURAL ELEVATION, MEP AND STRUCTURAL DRAWINGS FOR EXTERIOR FEATURES THAT MAY REQUIRE BLOCKING OR OTHER CONSIDERATIONS SPECIFIC TO THE UNIT LOCATION IN THE BUILDING, SUCH AS ATTACHED SIGNAGE, LIGHTING, AWNINGS, CANOPIES, TRELLISES, SHUTTERS, FIXTURES, BUILDINGS, CORNICES, RAILINGS, LANDSCAPE FEATURES AND ADJACENT ATTACHED STRUCTURES.
- PROVIDE A HIGH OUTLET COVER SO THAT TV IN LIVING ROOM CAN BE MOUNTED AT 46" A.F.F. TO THE CENTER OF TV. REFER TO MEP AND TELECOM. PROVIDE 2x10 BLOCKING FOR TV MOUNTING.
- ALL EXTERIOR GLASS TO SLOPE DOWN 1/8" TO EDGE OF SLAB. LIGHT BROOM FINISH AT SLOPED SURFACES. VERIFY WITH STRUCTURE.
- REFER TO INTERIOR DESIGNER FINISH SCHEDULE FOR FINISHES, FOR ADDITIONAL ROOM FINISH NOTES AND SPECIFICATIONS, RE: J-1008 - J-1007.
- FLOOR FINISHES TO EXTEND UNDER SHELVE, WASHER/DRYER, AND REFRIGERATOR. FLOOR FINISHES EXTEND UNDER ALL RAISED COUNTERS, AND CABINETS INDICATED WITH "REMOVABLE BASE CABINET".
- ALL SINK BASES TO BE REMOVABLE IN TYPE A UNITS. REMOVABLE BASE AT KITCHEN WORK SURFACE IN TYPE A UNITS. EXTEND FLOOR FINISH UNDER THESE REMOVABLE CABINETS.
- BATHROOM CEILING HEIGHT 8'-0" AFF.
- SHOWER HEAD HEIGHT 7'-0" AFF. SHOWER CONTROL HEIGHT 4'-0" AFF.
- TUB/SHOWER COMBO SHOWER HEAD HEIGHT 7'-0" AFF, CONTROL 3'-0" AFF, TUB FAUCET 2'-0" AFF.
- FOR UNIT DETAILS RE: A170-A171


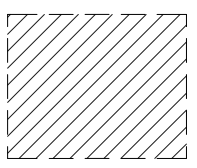

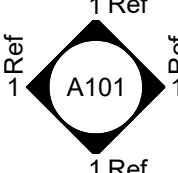





UNIT LOCATION PLAN

REVISION	DATE
6 SHELL PACKAGE	7.29.19
6 REVISION 1	12.20.19
8 REVISION 3	4.3.2020
9 REVISION 4	4.24.2020

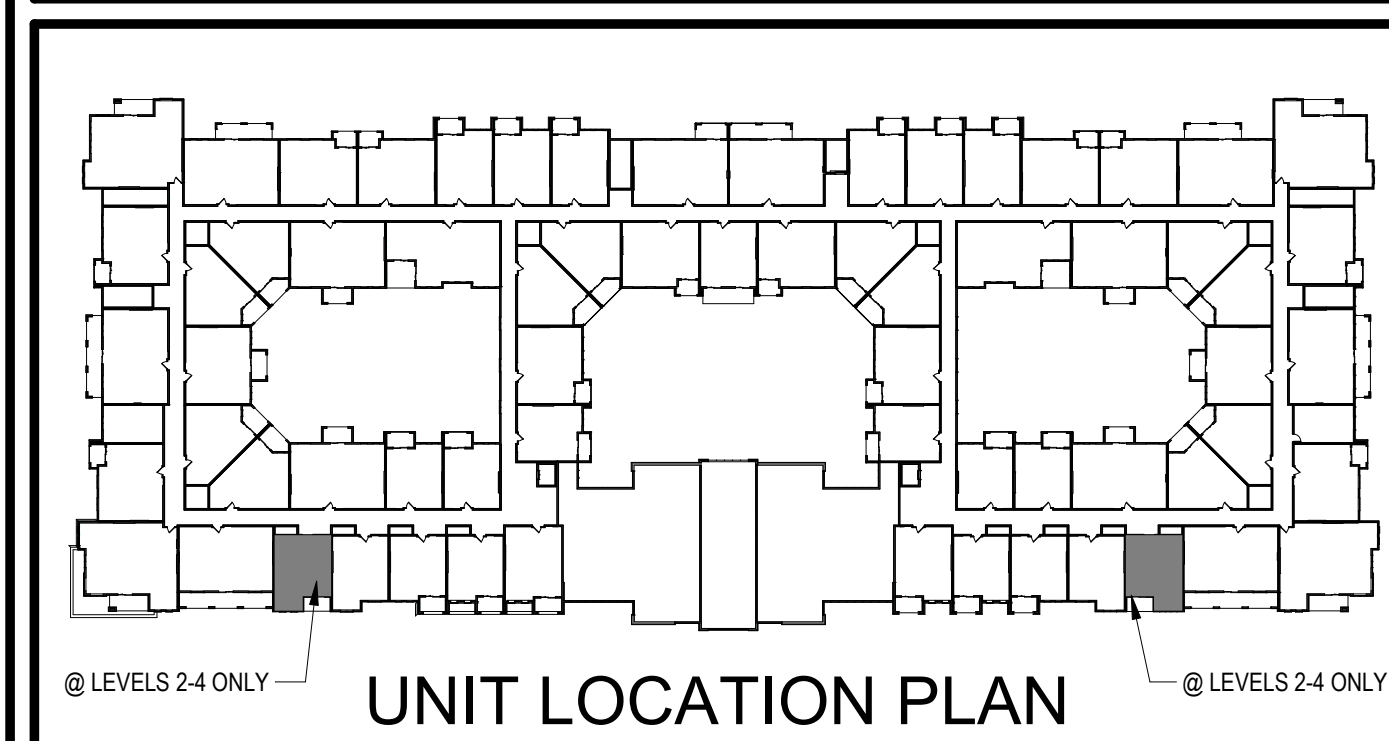
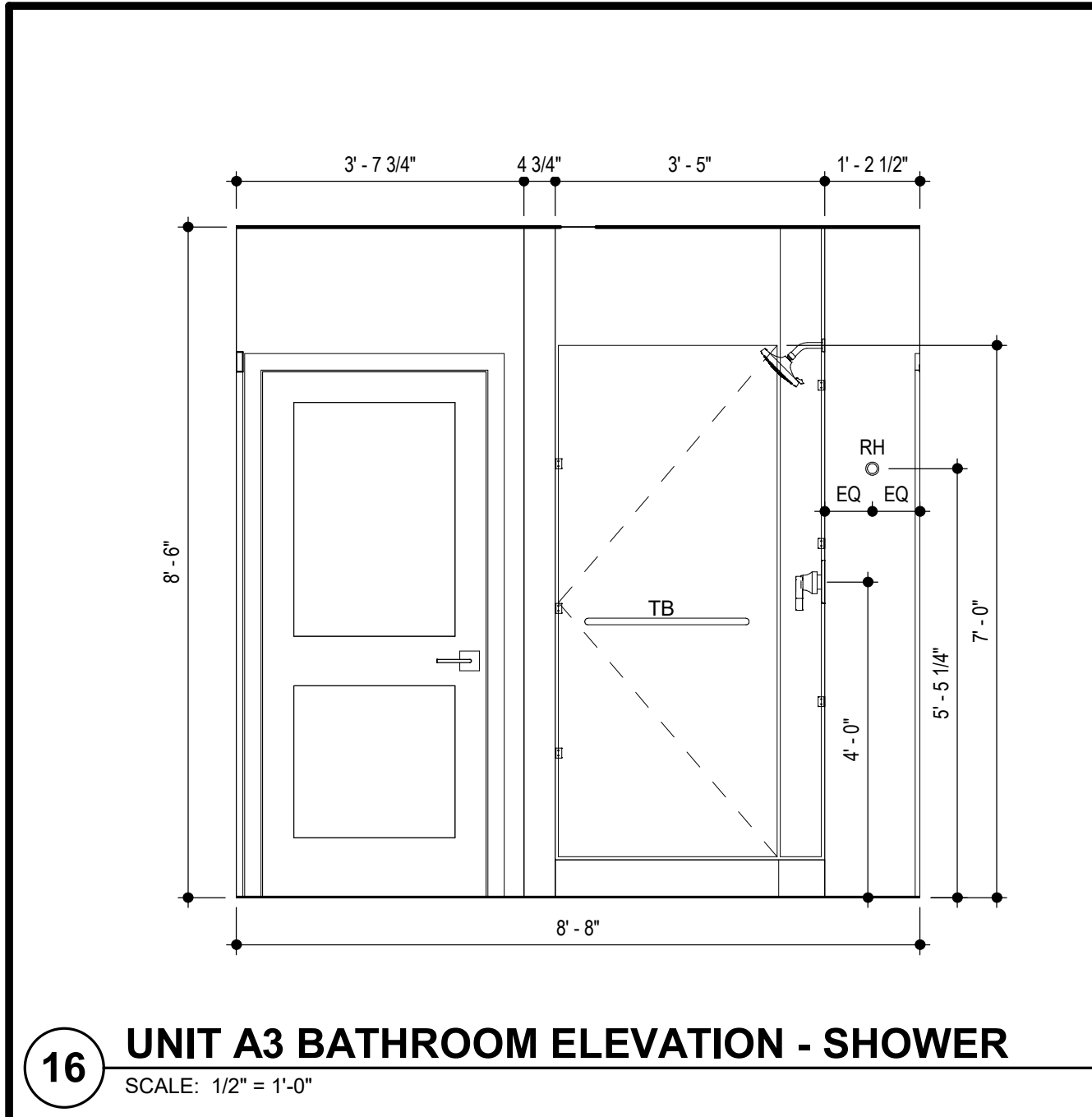
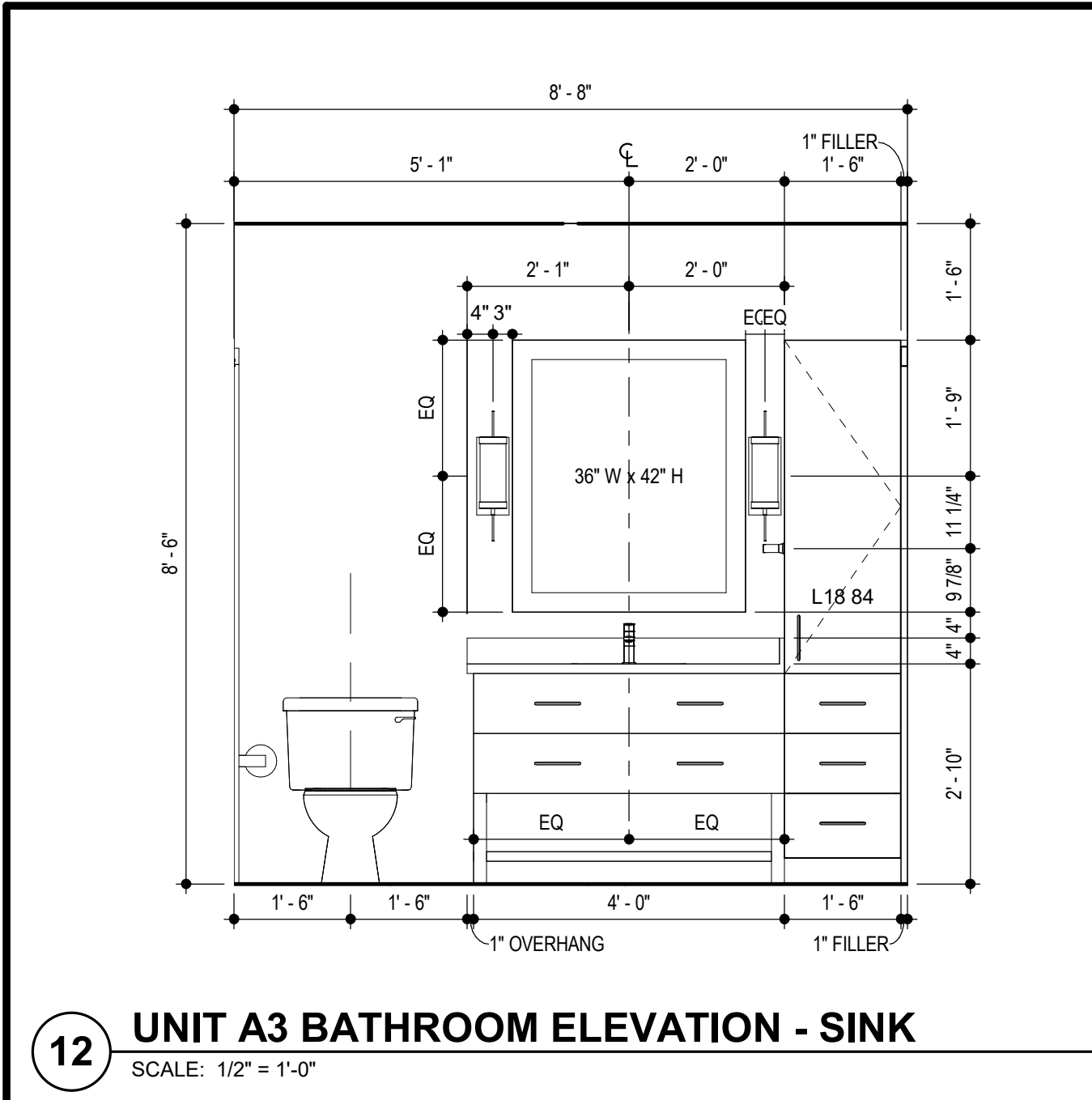
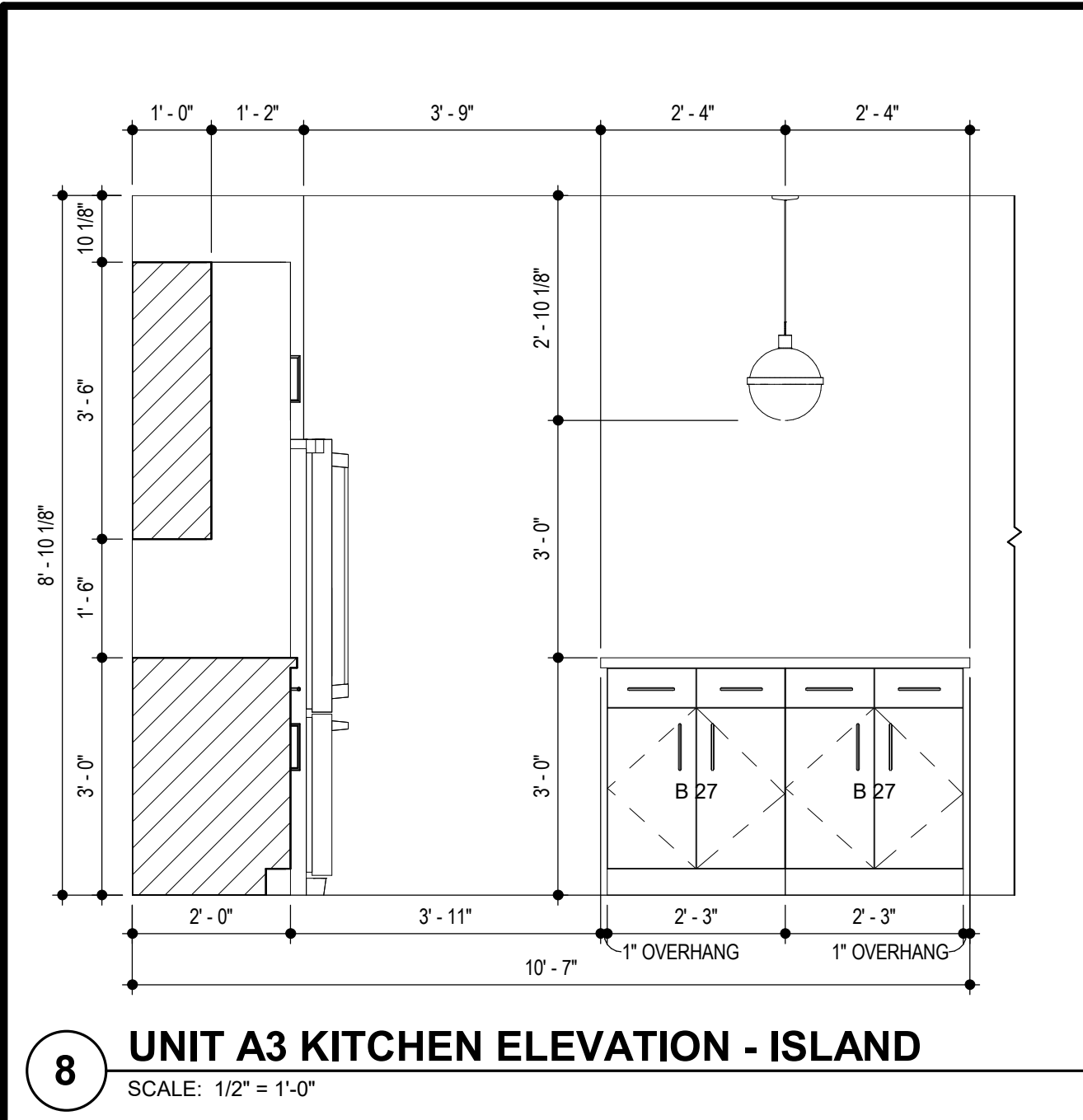
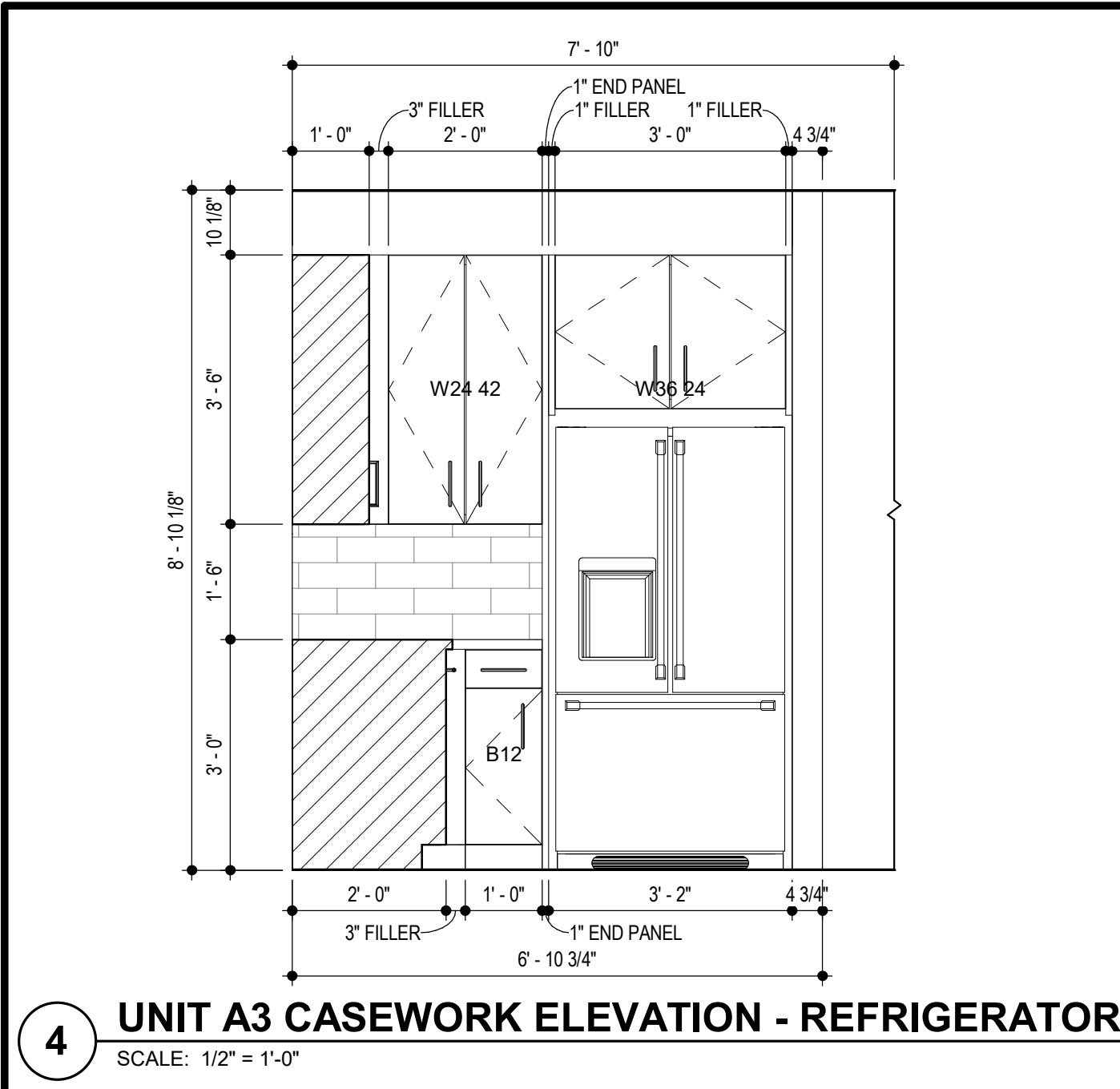
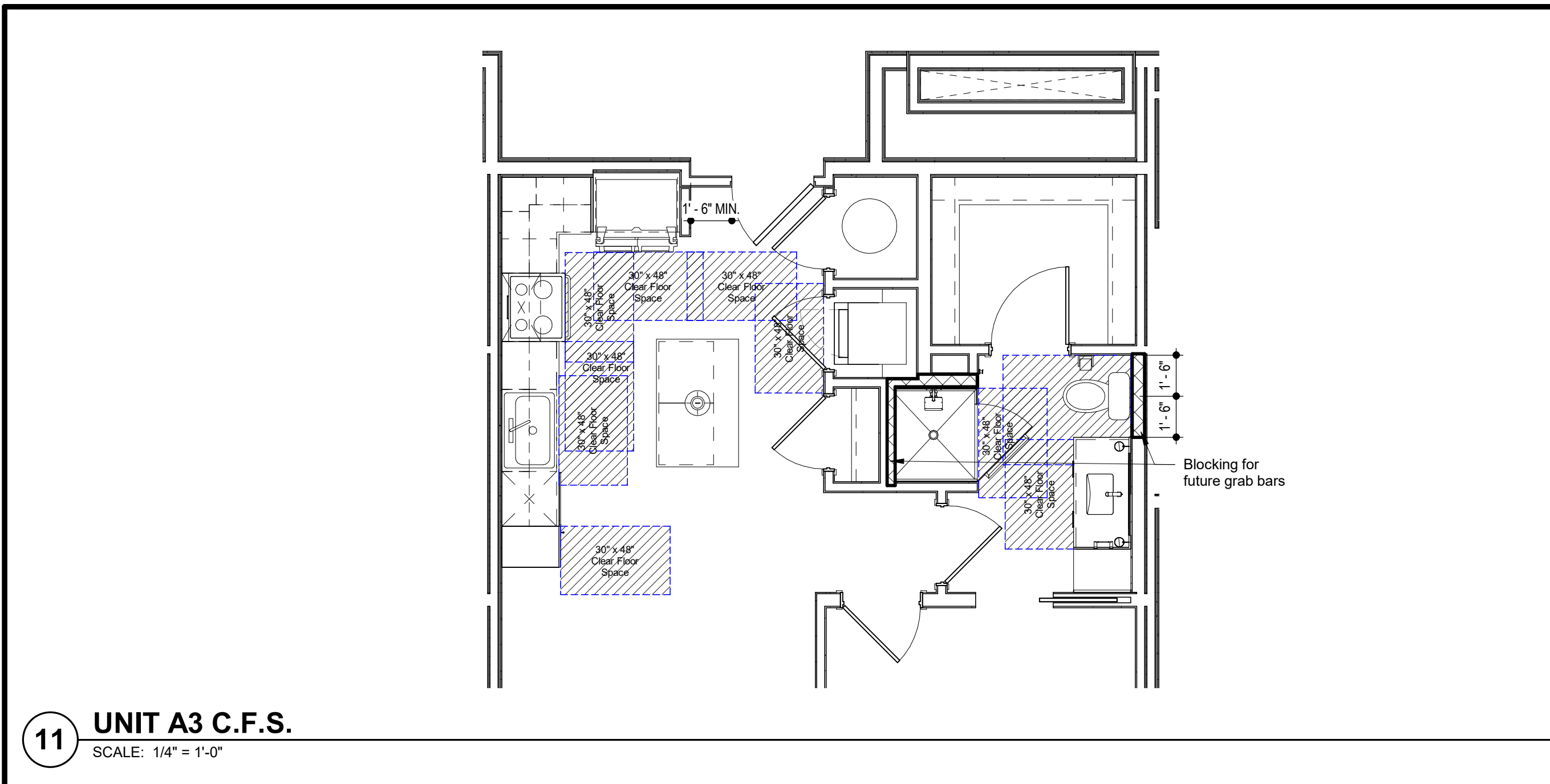
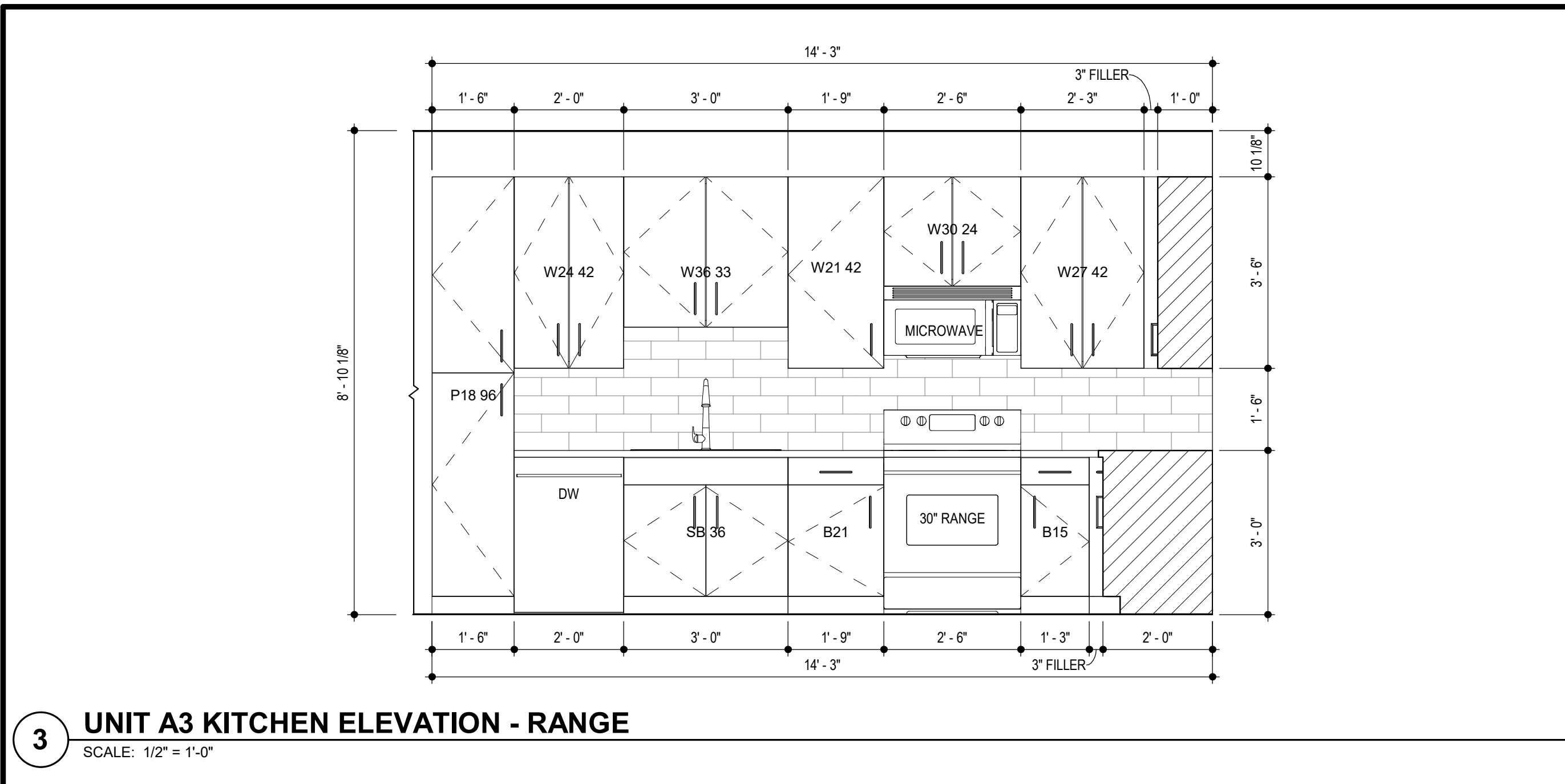


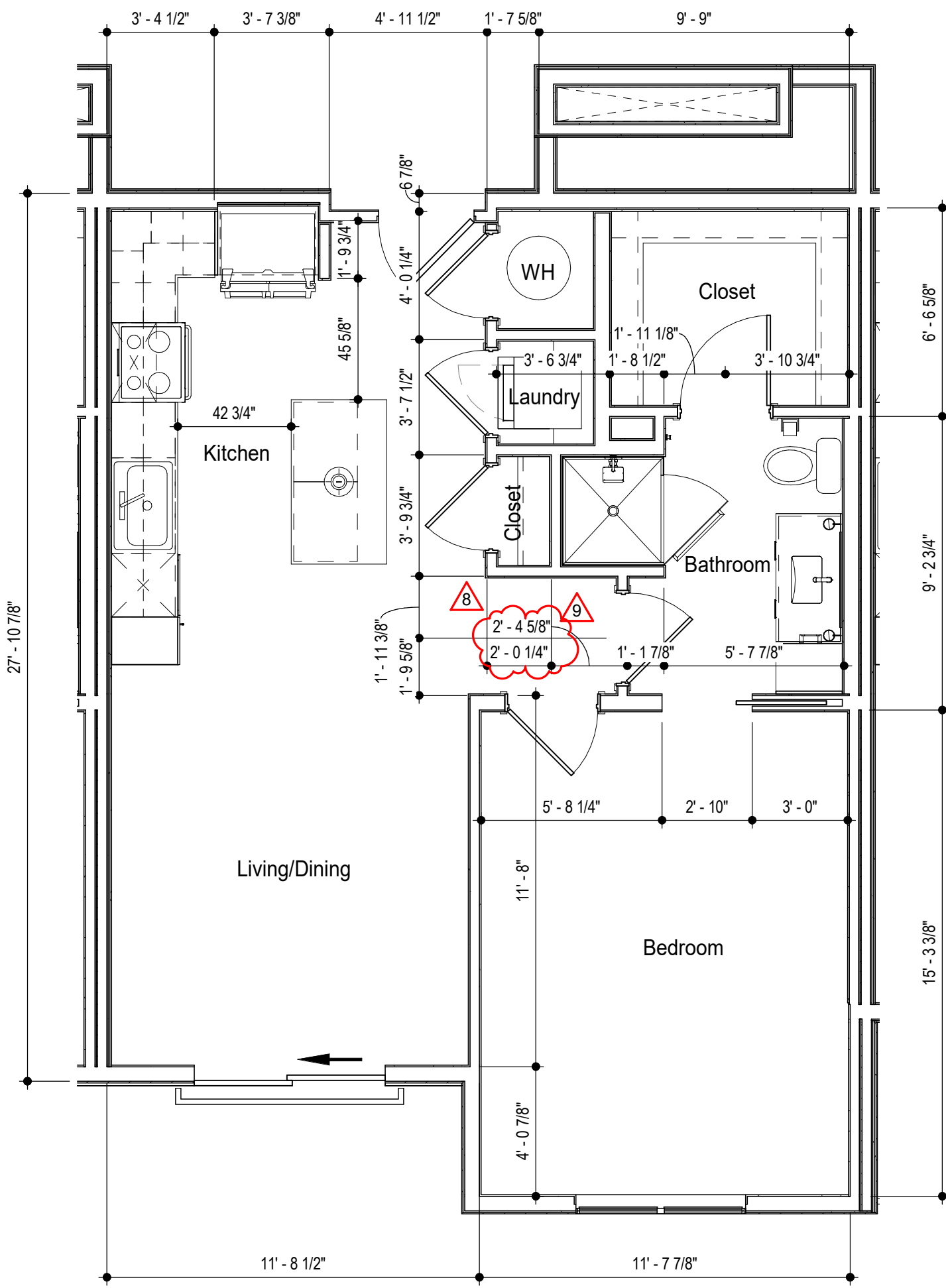
SYMBOL LEGEND - UNIT PLANS

	DOOR TAG		CLEAR FLOOR SPACE WITH 2" TOLERANCE AREA. REFER TO NOTES FOR REQUIRED DIMENSIONS
	LIGHTING FIXTURE		
	INTERIOR ELEVATION		PARTITION WALL TAG REFER TO A013
			
<p>AHU = AIR HANDLER UNIT CO = CASED OPENING CPT = CARPET CT = CERAMIC TILE DW = DISHWASHER KS = KNEE SPACE RH = ROBE HOOK SH = SHOWER HEAD SR = SHOWER ROD SRO = SHEETROCK OPENING T = TEMPERED GLASS</p>	<p>TB = TOWEL BAR "8" TP = TOILET PAPER DISPENSER VP = VINYL PLANK WH = WATER HEATER WS = WORKSPACE # S = # OF SHELVES</p>		

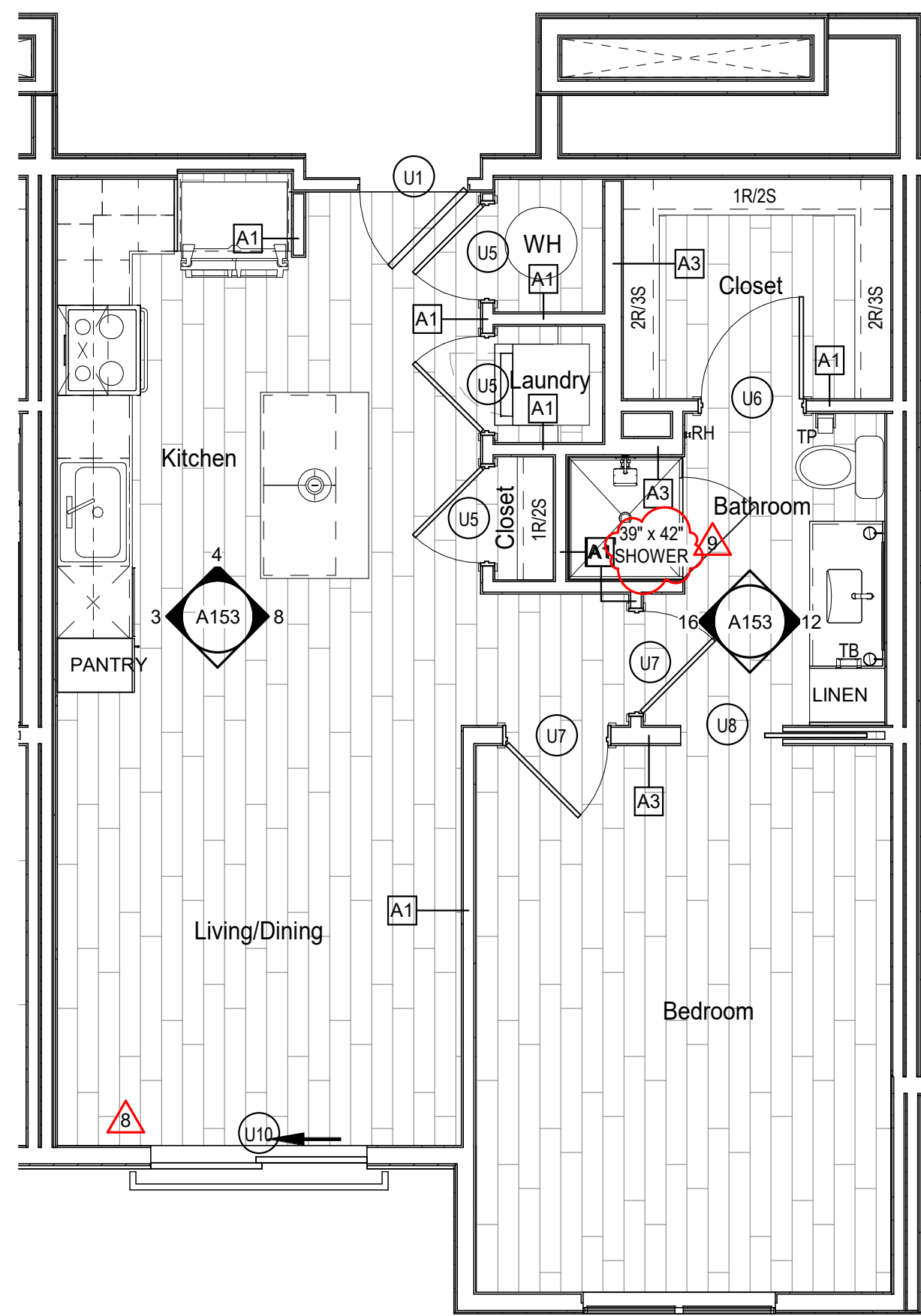
LIGHTING FIXTURE SCHEDULE			
LABEL	MANUFACTURER	DESCRIPTION/MODEL	FINISH
L1	NOT USED 		
B	ASTRO	OSLO 100	TEXTURED BLACK
E	HUDSON VALLEY LIGHTING GROUP	LAMBERT, #612-08	OLD BRONZE
C	TBD	7 1/2" LED DISK FIXTURE	WHITE TRIM
A	TBD	7 1/2" LED DISK FIXTURE	WHITE TRIM
F	MINKA AIRE	AVIATION LED CEILING FAN, #F853L-BN/CL	COAL
G2	TBD	WALL MOUNTED LED UTILITY LIGHT	WHITE TRIM
G	TBD	11" SURFACE MOUNTED DOME FIXTURE	WHITE TRIM
D	CUSTOM	MATCH STEFAN OUTDOOR WALL SCONCE	AGED IRON

- # GENERAL UNIT NOTES
1. ALL WALL DIMENSIONS ARE TO STUD.
 2. INTERIOR WALL TYPES ARE A1 (TYPICAL) UNLESS OTHERWISE NOTED.
 3. REFER TO SHEET A010 FOR TYPICAL WALL ASSEMBLIES.
 4. REFER TO SHEET A010 FOR UNIT DOOR SCHEDULE AND A000 - A003 FOR DETAILS.
 5. ALL INTERIOR DOORS SHALL ALLOW 3/4" AIRFLOW FOR RETURN AT BOTTOM OF DOOR.
 6. REFER TO MEP DWGS FOR LOCATION OF SMOKE, CO, AND FIRE DETECTORS.
 7. REFER TO SHEET A004 FOR WINDOW SCHEDULE AND A000 - A003 FOR DETAILS.
 8. ALL EXTERIOR WINDOWS SHALL MEET ALL FEDERAL, STATE AND ANY LOCAL GLazing STANDARDS.
 9. ALL GLazing GLASS DOORS SHALL HAVE PIN LOCKS.
 10. INTERIOR DOORS SHALL HAVE A MINIMUM OF ONE UNLESSING WHICH MEETS EGRESS REQUIREMENTS 20" NET CLEAR WIDTH, 24" NET CLEAR HEIGHT, 5' 0" SFT. NET CLEAR OPENABLE AREA AND SHALL BE 44" MAXIMUM FROM FINISH FLOOR TO TOP OF SILL, AS REQUIRED PER IBC-2009 SECTION 1029.
 11. PROVIDE MULTIPLE LOCKS FOR COMMON AREAS.
 12. PROVIDE MOISTURE RESISTANT GYPSUM DRYWALL IN ALL UNIT BATHROOM WALLS AND OTHER UNIT INTERIORS.
 13. PROVIDE SOUND BATT INSULATION IN ALL CORRIDOR AND TENANT SEPARATION WALLS.
 14. PROVIDE SOUND INSULATION IN WALLS AROUND ALL LAUNDRY ROOMS, PLUMBING, AND ALL HVAC CLOSETS.
 15. REFER TO STRUCTURAL DRAWINGS FOR SHEARWALL AND BEARING WALL LOCATIONS.
 16. VERTICAL MECHANICAL CHASING WITHIN UNITS ARE TO BE FIRE STOPPED PER LOCAL REQUIREMENTS.
 17. ALL ANGLES ARE 45° TO HORIZONTAL, & VERTICAL DIRECTIONS, U.N.O. TYP. AT ALL UNITS.
 18. ALL DIMENSIONS AND NOTES STATING "CLEAR" ARE FROM FACE OF FINISH.
 19. REFER TO A003 & A004 FOR ALL INTERIOR FAIR HOUSING ACT AND OTHER ACCESSIBILITY REQUIREMENTS.
 20. ALL TOWEL BARS ARE TO BE MOUNTED AT 54" A.F.F. . ROBE HOOKS TO BE MOUNTED AT 66". TOWEL RINGS TO BE MOUNTED 1'-6" ABOVE COUNTER HEIGHT, AND TOILET PAPER DISPENSERS AT 18" A.F.F. UNLESS NOTED OTHERWISE. TOWEL BARS AND ROBE HOOKS IN TYPE A UNITS TO BE MOUNTED AT 48" HIGH MAX.
 21. INTERIOR ELEVATIONS ARE FOR SCHEMATIC CABINET LAYOUT ONLY, CONTRACTOR TO VERIFY ALL DIMENSIONS, PERFORM FIELD MEASUREMENTS, AND ADJUST TO CABINET SHOP DRAWINGS.
 22. VANITY MIRRORS TO BE 42" HIGH AND TO BE MOUNTED WITH THE BOTTOM OF THE REFLECTING SURFACE NO MORE THAN 40" A.F.F. IN ANSI TYPE A UNITS.
 23. PROVIDE MINIMUM 108" CLEARANCE TO THE BOTTOM OF THE SINK IN EACH KITCHEN UNDER THE SINK.
 24. VERIFY ALL TUB WALL LENGTHS AND DIMENSIONS WITH ACTUAL TUB PROVIDED. CONTRACTOR TO COORDINATE FRAMING, TUB MANUFACTURER AND TUB DETAILS.
 25. PROVIDE 1/4" DIA. BOLT TO EACH END OF EACH 12' LONG TUB. 1/2" X 6" GRAB BARS AS SHOWN ON A003, OR ALTERNATIVE MEANS OF REINFORCING THE CAVITY BETWEEN THE FIBERGLASS TUB AND THE WALL.
 26. ALL ARCHITECTURAL ELEVATION, MEP AND STRUCTURAL DRAWINGS FOR EXTERIOR FEATURES THAT MAY REQUIRE BLOCKING OR OTHER CONSIDERATIONS SPECIFIC TO THE UNIT LOCATION IN THE BUILDING, SUCH AS ATTACHED SIGNAGE, LIGHTING, AWNINGS, CANOPIES, TRELLISES, TRELLIS STRUCTURES, FOUNTAINS, BOLDTOS, CORNICES, RAILINGS, LANDSCAPE FEATURES AND ADJACENT ATTACHED STRUCTURES.
 27. PROVIDE A HIGH OUTLET COVER SO THAT TV IN LIVING ROOM CAN BE MOUNTED AT 48" A.F.F. TO TOP OF TV. REFER TO MECHANICAL SCHEDULE FOR FINISHES, FOR ADDITIONAL ROOM FINISH NOTES AND SPECIFICATIONS. REF: I-1006 - I-1007
 28. ALL EXTERIOR SLABS TO SLOPE DOWN 1/8" TO EDGE OF SLAB. LIGHT BRIGHT FINISH AT SLOPED SURFACES. VERIFY WITH STRUCTURE.
 29. PROVIDE INTERIOR DESIGNER FINISH SCHEDULE FOR FINISHES, FOR ADDITIONAL ROOM FINISH NOTES AND SPECIFICATIONS. REF: I-1006 - I-1007
 30. FLOOR FINISHES TO EXTEND UNDER SHELVING, WASHER/DRYER, AND REFRIGERATOR. FLOOR TO BE EXTENDED UNDER ALL RAISED COUNTERS, AND CABINETS INDICATED WITH "REMOVABLE BASE CABINET".
 31. ALL SINK BINSK TO BE REMOVABLE IN TYPE A UNITS. REMOVABLE BASE AT KITCHEN WORK AREA AND TYPE A UNITS. EXTEND TO KITCHEN FLOOR UNDER THESE REMOVABLE CABINETS
 32. BATHROOM CEILING HEIGHT 8" - 6" AFF.
 33. SHOWER HEAD HEIGHT 7'-0" AFF. SHOWER COUNTER HEIGHT 4'-0" AFF.
 34. SHOWER COUNTER CAUCUS HEIGHT 7'-0" AFF. CONTROL 3'-0" AFF. TUB FAUCET 2'-0" AFF.
 35. REFER TO UNIT DETAILS RE: A170-A171

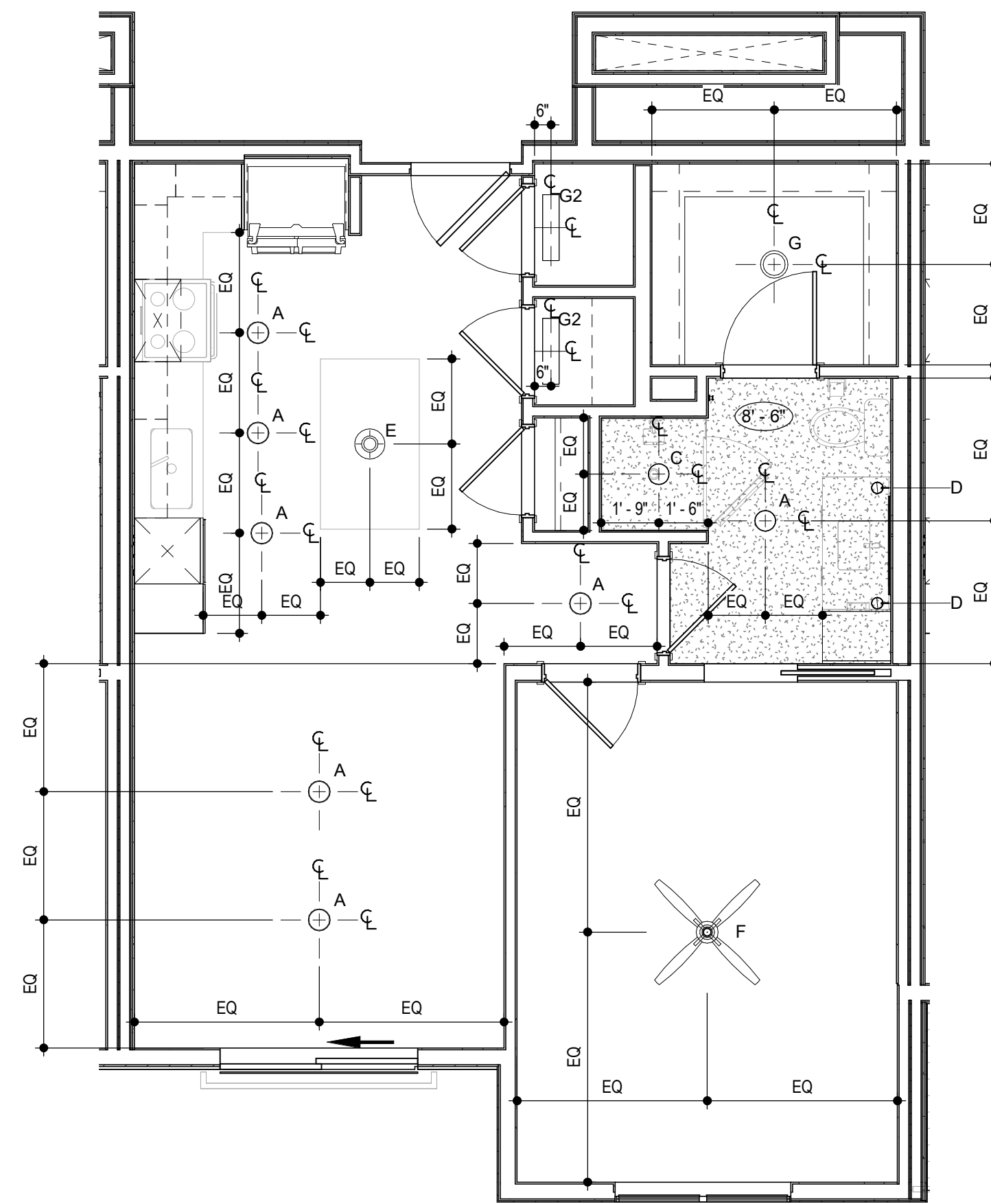




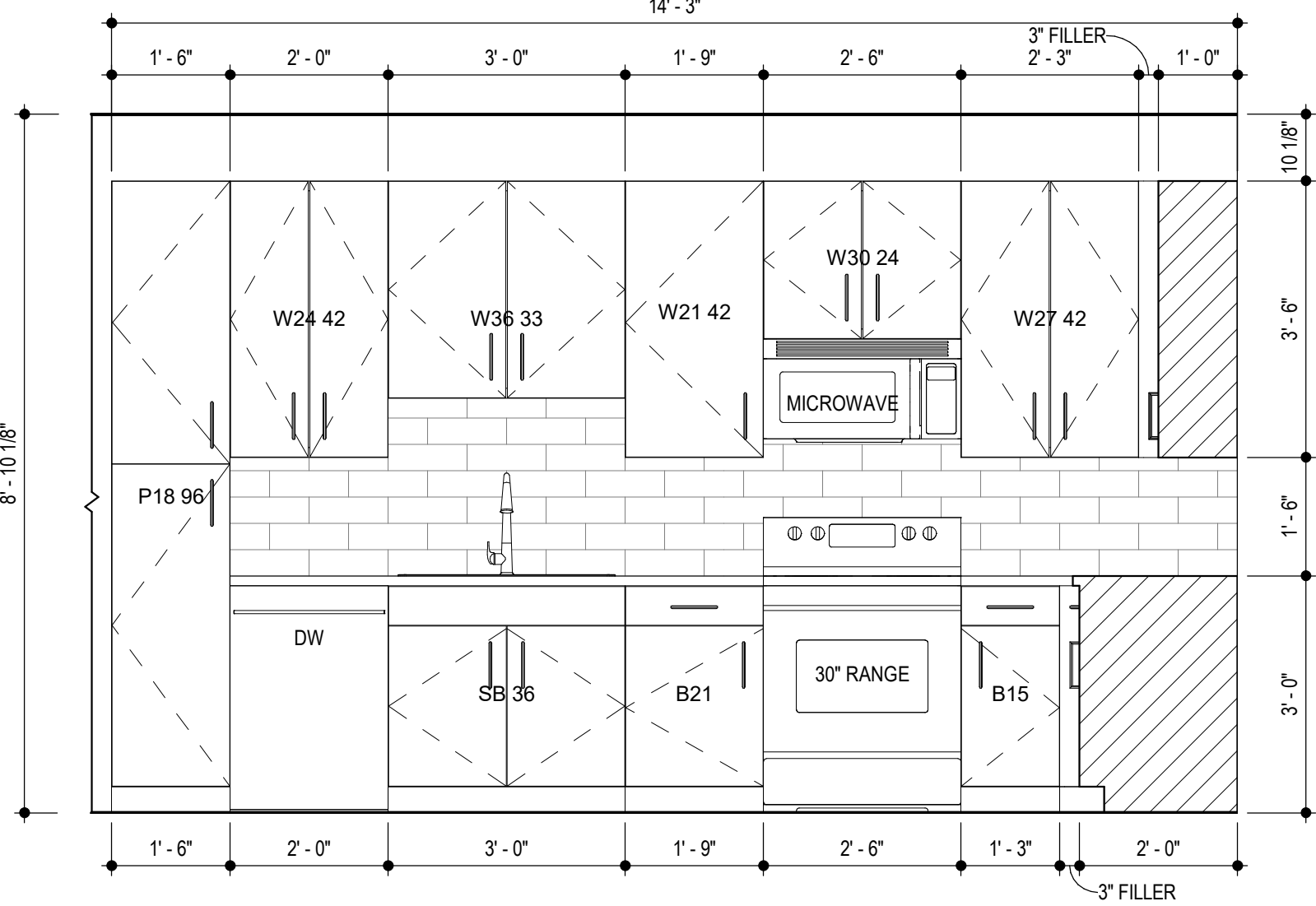
2 UNIT A4 DIMENSION PLAN
SCALE: 1/4" = 1'-0"



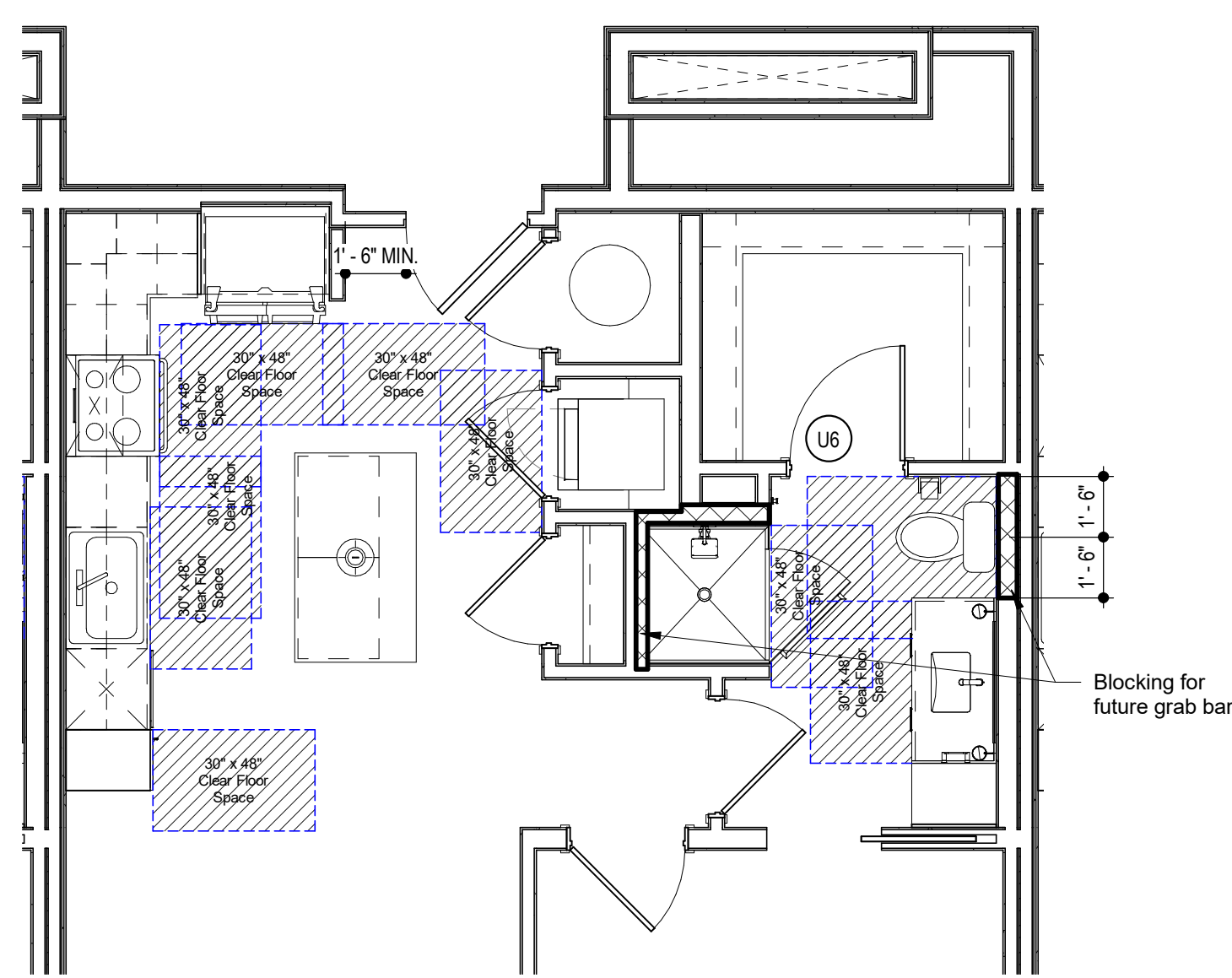
6 UNIT A4 REFERENCE PLAN
SCALE: 1/4" = 1'-0"



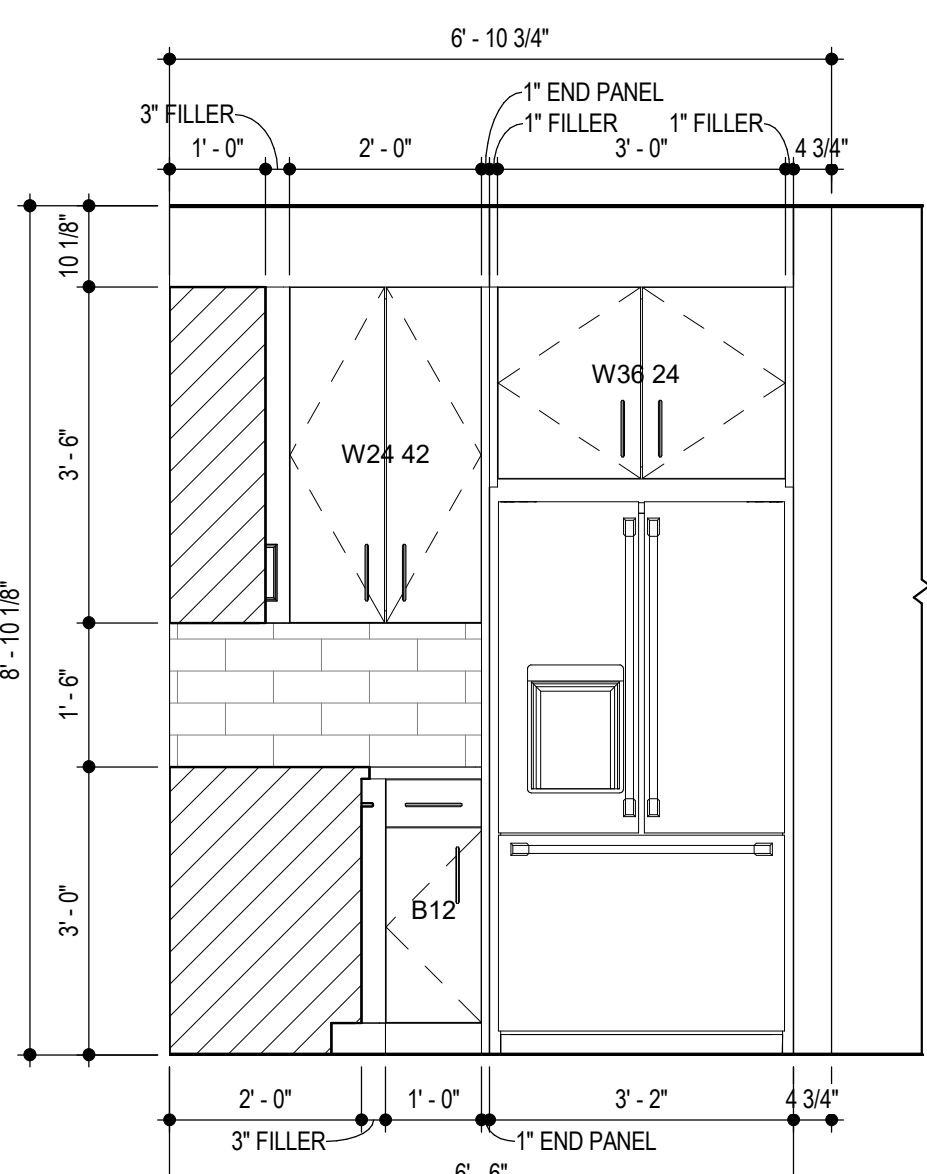
14 UNIT A4 RCP
SCALE: 1/4" = 1'-0"



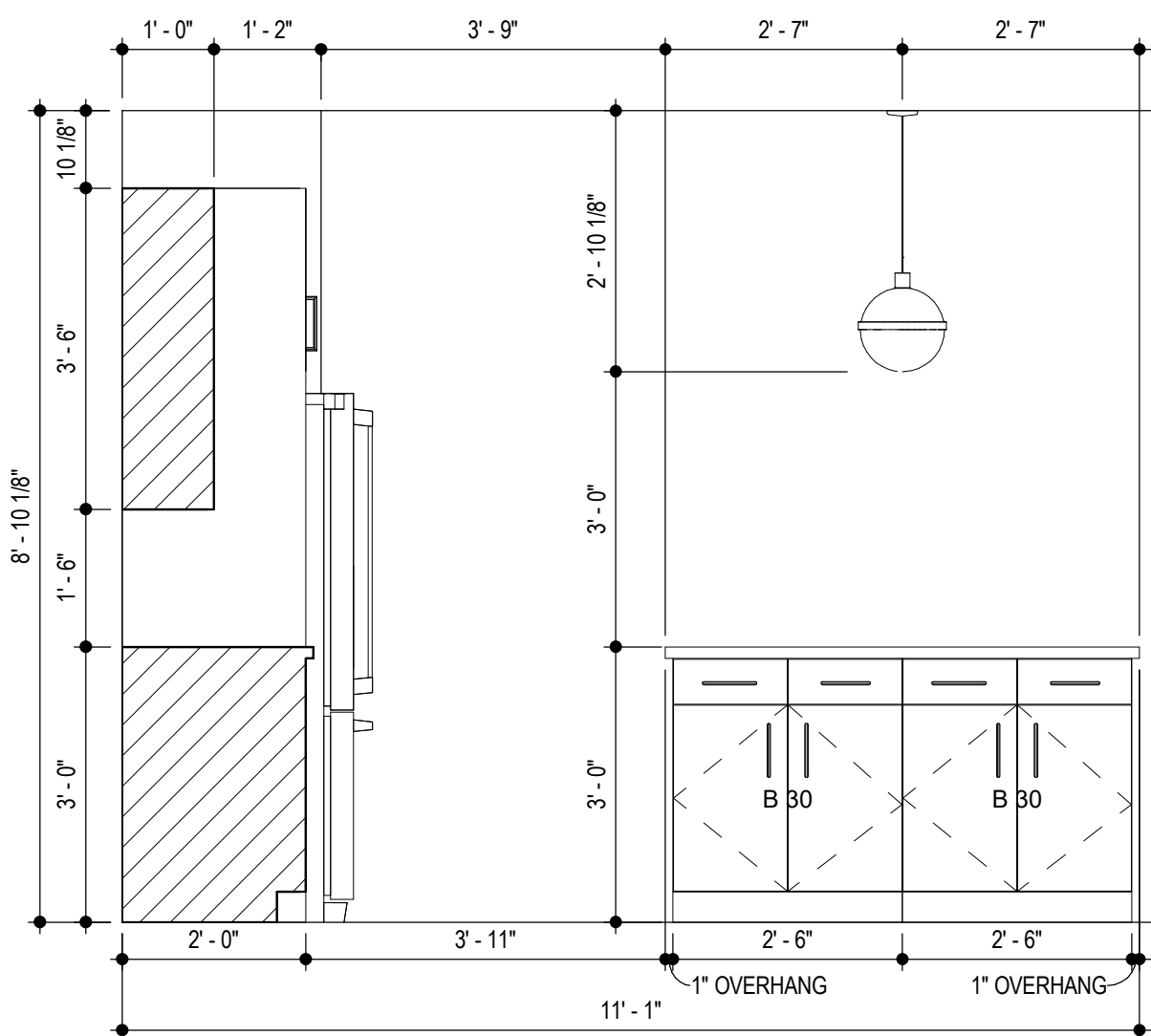
3 UNIT A4 KITCHEN ELEVATION - RANGE
SCALE: 1/2" = 1'-0"



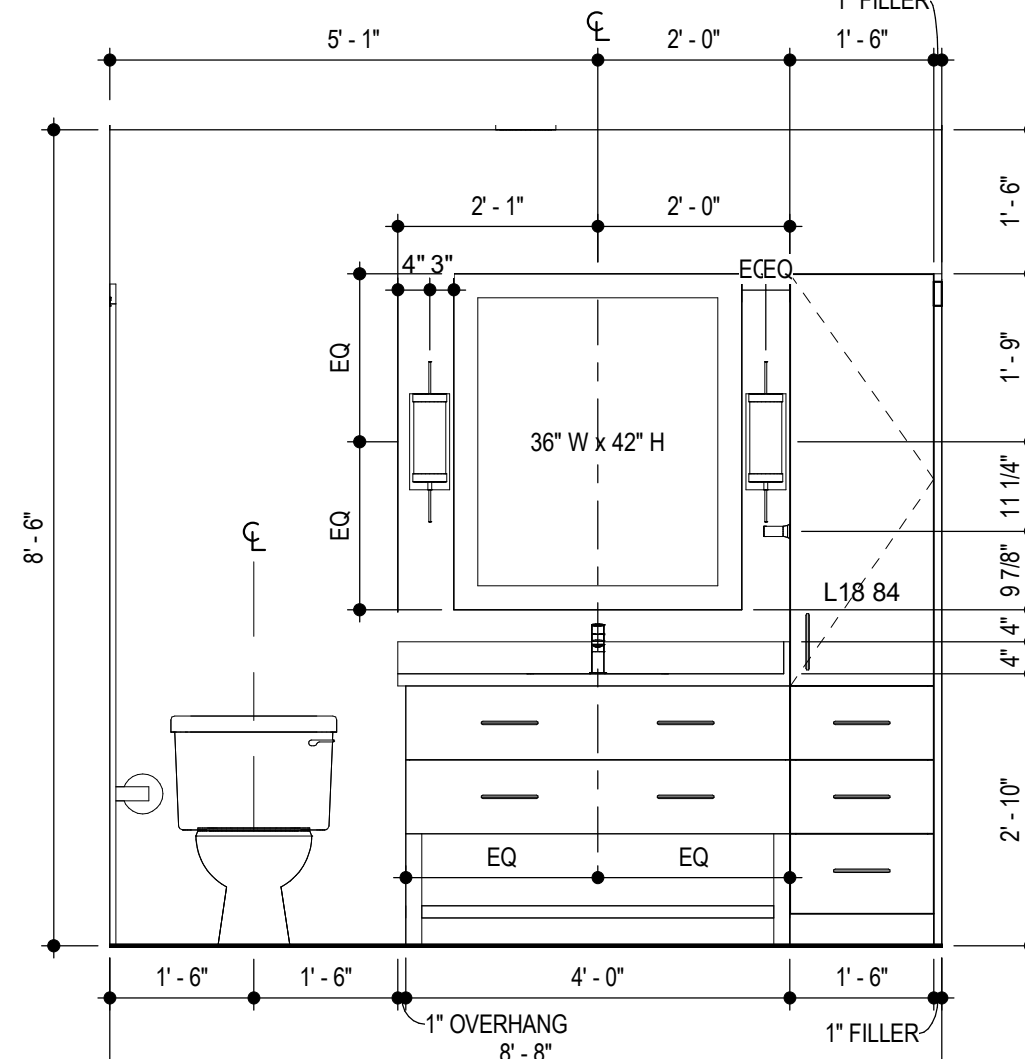
11 UNIT A4 C.F.S.
SCALE: 1/4" = 1'-0"



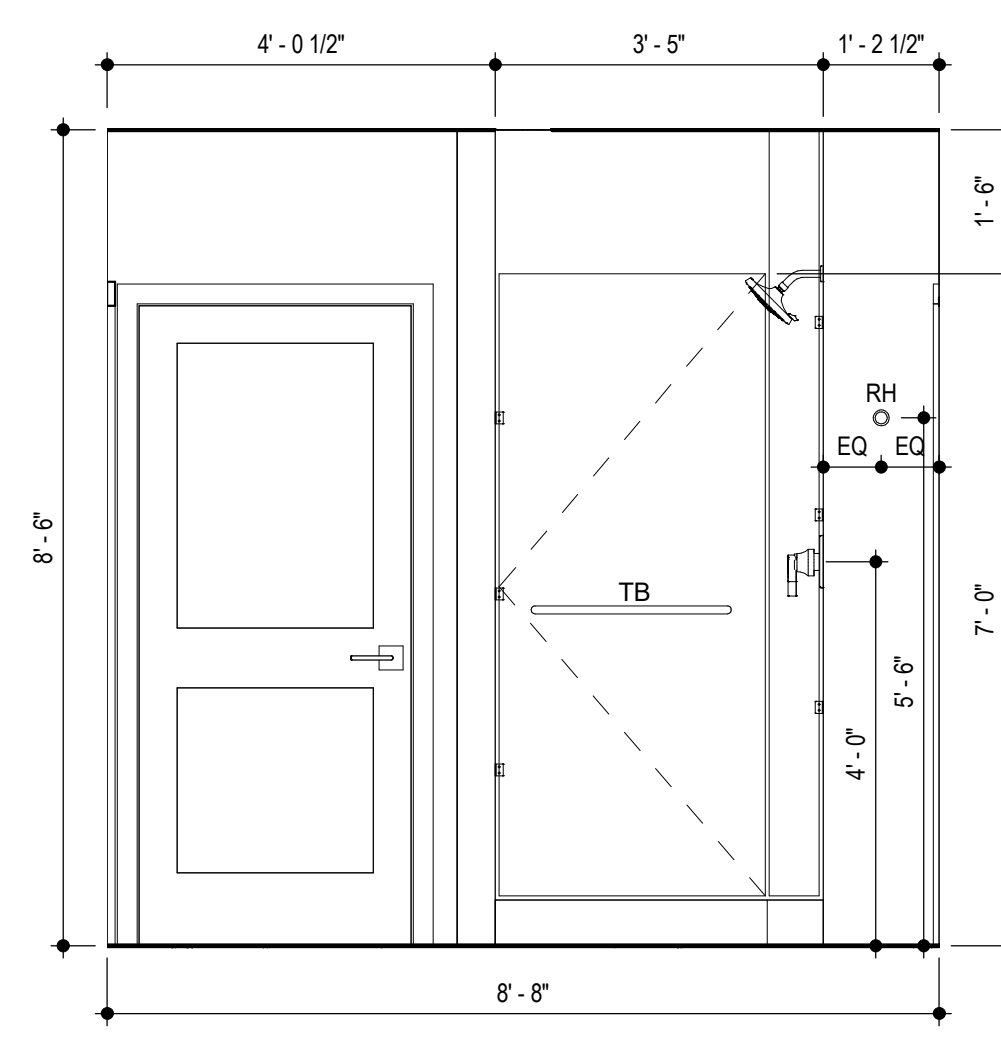
4 UNIT A4 KITCHEN ELEVATION - REFRIGERATOR
SCALE: 1/2" = 1'-0"



8 UNIT A4 KITCHEN ELEVATION - ISLAND
SCALE: 1/2" = 1'-0"



12 UNIT A4 BATHROOM ELEVATION - SINK
SCALE: 1/2" = 1'-0"

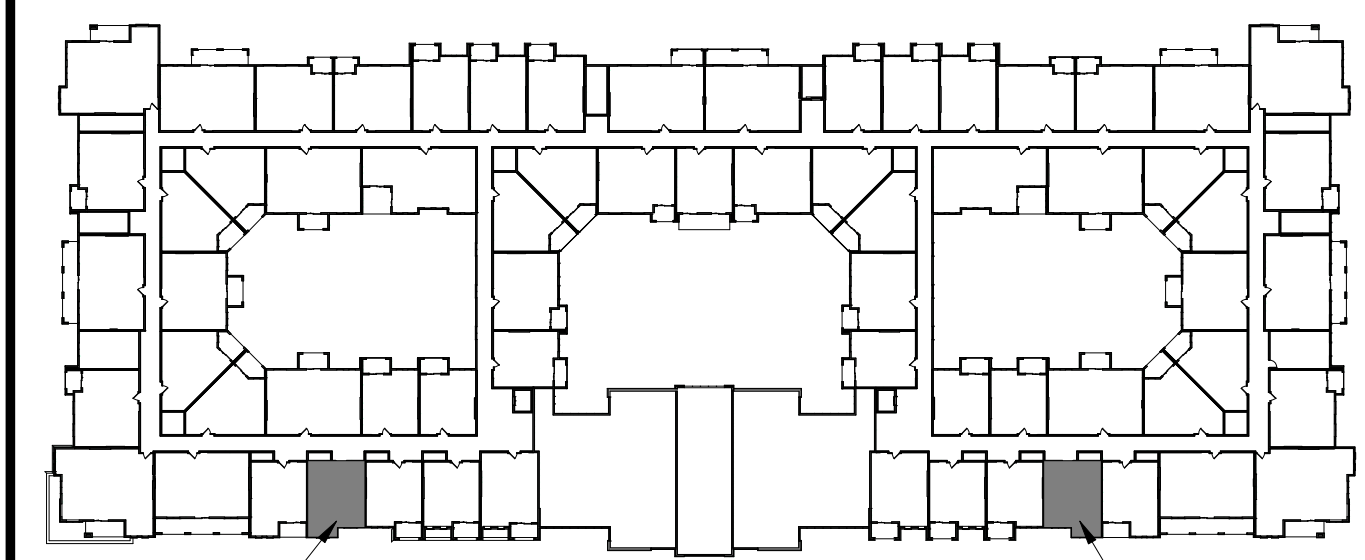


16 UNIT A4 BATHROOM ELEVATION - SHOWER
SCALE: 1/2" = 1'-0"

SYMBOL LEGEND - UNIT PLANS		
	DOOR TAG	CLEAR FLOOR SPACE WITH 2" TOLERANCE AREA. REFER TO NOTES FOR REQUIRED DIMENSIONS
	LIGHTING FIXTURE	
	INTERIOR ELEVATION	PARTITION WALL TAG REFER TO A013
AHU = AIR HANDLER UNIT CO = CASED OPENING CPT = CARPET CT = CERAMIC TILE DW = DISHWASHER KS = KNEE SPACE RH = ROBE HOOK SH = SHOWER HEAD SR = SHOWER ROD SRO = SHEETROCK OPENING T = TEMPERED GLASS		
TB = TOWEL BAR 6" TP = TOILET PAPER DISPENSER VP = VINYL PLANK WH = WATER HEATER WS = WORKSPACE #S = # OF SHELVES		

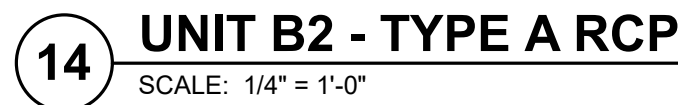
LIGHTING FIXTURE SCHEDULE			
LABEL	MANUFACTURER	DESCRIPTION/MODEL	FINISH
L1	NOT USED		
B	ASTRO	OSLO 100	TEXTURED BLACK
E	HUDSON VALLEY LIGHTING GROUP	LAMBERT, #612-08	OLD BRONZE
C	TBD	7 1/2" LED DISK FIXTURE	WHITE TRIM
A	TBD	7 1/2" LED DISK FIXTURE	WHITE TRIM
F	MINIKA AIRE	AVIATION LED CEILING FAN, #F853L-BN/CL	COAL
G2	TBD	WALL MOUNTED LED UTILITY LIGHT	WHITE TRIM
G	TBD	11" SURFACE MOUNTED DOME FIXTURE	WHITE TRIM
D	CUSTOM	MATCH STEFAN OUTDOOR WALL SCONCE	AGED IRON

- GENERAL UNIT NOTES**
- ALL WALL DIMENSIONS ARE TO STUD.
 - INTERIOR WALL TYPES ARE A1 (TYPICAL) UNLESS OTHERWISE NOTED.
 - REFER TO SHEET A011 FOR TYPICAL WALL ASSEMBLIES.
 - REFER TO SHEET A017 FOR UNIT DOOR SCHEDULE & A030 - A031 FOR DETAILS.
 - ALL INTERIOR DOORS SHALL ALLOW 3/4" AIRFLOW FOR RETURN AT BOTTOM OF DOOR.
 - REFER TO MEP DWGS FOR LOCATION OF SMOKE, CO & FIRE DETECTORS.
 - REFER TO SHEET A014 FOR WINDOW SCHEDULE AND A020 - A021 FOR DETAILS.
 - ALL EXTERIOR WINDOWS SHALL MEET ALL FEDERAL, STATE AND ANY LOCAL GLAZING STANDARDS.
 - ALL SLIDING GLASS DOORS SHALL HAVE PIN LOCKS.
 - BEDROOM SHALL HAVE A MINIMUM OF ONE OPENING WHICH MEETS EGRESS REQUIREMENTS. 20" NET CLEAR WIDTH, 24" NET CLEAR HEIGHT, 5.7 SQ.FT. NET CLEAR OPENABLE AREA AND SHALL BE 44" MAXIMUM FROM FINISH FLOOR TO TOP OF SILL, AS REQUIRED PER IBC-2009 SECTION 1029.
 - REFER TO BUILDING PLANS FOR CORRIDOR AND DIMISING WALL TYPES.
 - PROVIDE MOISTURE RESISTANT GYPSUM DRYWALL IN ALL UNIT BATHROOM WALLS AND OTHER UNIT WET WALLS.
 - PROVIDE SOUND BATTS IN ALL CORRIDOR AND TENANT SEPARATION WALLS.
 - PROVIDE SOUND INSULATION IN WALLS AROUND ALL LAUNDRY ROOMS, PLUMBING, AND ALL HVAC CLOSETS.
 - REFER TO STRUCTURAL DRAWINGS FOR SHEARWALL AND BEARING WALL LOCATIONS.
 - VERTICAL MECHANICAL CHASES WITHIN UNITS ARE TO BE FIRE STOPPED PER LOCAL REQUIREMENTS.
 - ALL ANGLES ARE 45° TO HORIZONTAL & VERTICAL DIRECTIONS, U.N.O. TYP. AT ALL UNITS.
 - ALL DIMENSIONS AND NOTES STATING "CLEAR" ARE FROM FACE OF FINISH.
 - REFER TO A003 & A004 FOR ALL INTERIOR FAIR HOUSING ACT AND OTHER ACCESSIBILITY REQUIREMENTS.
 - ALL TOWEL BARS ARE TO BE MOUNTED AT 54" A.F.F., ROBE HOOKS TO BE MOUNTED AT 66", TOWEL RINGS TO BE MOUNTED 1'-6" ABOVE COUNTER HEIGHT, AND TOILET PAPER DISPENSERS AT 18" A.F.F. UNLESS NOTED OTHERWISE. TOWEL BARS AND ROBE HOOKS IN TYPE A UNITS TO BE MOUNTED AT 48" HIGH MAX.
 - INTERIOR ELEVATIONS ARE FOR SCHEMATIC CABINET LAYOUT ONLY. CONTRACTOR TO VERIFY ALL DIMENSIONS. PROVIDE FILLERS AS REQUIRED. REFER TO CABINET SHOP DRAWINGS.
 - VANITY MIRRORS TO BE 42" HIGH AND TO BE MOUNTED WITH THE BOTTOM OF THE REFLECTING SURFACE NO MORE THAN 40" A.F.F. IN ANSI TYPE A UNITS.
 - PROVIDE MINIMUM RATED 2A-10B-C FIRE EXTINGUISHER IN EACH KITCHEN UNDER THE SINK.
 - VERIFY ALL TUB WALL LENGTHS AND DIMENSIONS WITH ACTUAL TUB PROVIDED. CONTRACTOR TO COORDINATE FRAMING, TUB MANUFACTURER AND TUB DETAILS.
 - PROVIDE SOLID BLOCKING IN WALLS FOR FUTURE INSTALLATION OF GRAB BARS AS SHOWN ON A003, OR ALTERNATIVE MEANS OF REINFORCING THE CAVITY BETWEEN THE FIBERGLASS TUB AND THE WALL.
 - SEE ARCHITECTURAL ELEVATION, MEP AND STRUCTURAL DRAWINGS FOR EXTERIOR FEATURES THAT MAY REQUIRE BLOCKING OR OTHER CONSIDERATIONS SPECIFIC TO THE UNIT LOCATION IN THE BUILDING, SUCH AS ATTACHED SIGNAGE, LIGHTING, AWNINGS, CANOPIES, TRELLISES, SHUTTERS, FIXTURES, BUILDOUTS, CORNICES, RAILINGS, LANDSCAPE FEATURES AND ADJACENT ATTACHED STRUCTURES.
 - PROVIDE A HIGH OUTLET COVER SO THAT TV IN LIVING ROOM CAN BE MOUNTED AT 46" A.F.F. TO THE CENTER OF TV. REFER TO MEP AND TELECOM. PROVIDE 2x10 BLOCKING FOR TV MOUNTING.
 - ALL EXTERIOR SLABS TO SLOPE DOWN 1/8" TO EDGE OF SLAB. LIGHT BROOM FINISH AT SLOPED SURFACES. VERIFY WITH STRUCTURE.
 - REFER TO INTERIOR DESIGNER FINISH SCHEDULE FOR FINISHES. FOR ADDITIONAL ROOM FINISH NOTES AND SPECIFICATIONS, RE: 1-006 - 1-007
 - FLOOR FINISHES TO EXTEND UNDER SHELVE, WASHER/DRYER, AND REFRIGERATOR. FLOOR FINISHES EXTEND UNDER ALL RAISED COUNTERS, AND CABINETS INDICATED WITH "REMOVABLE BASE CABINET".
 - ALL SINK BASES TO BE REMOVABLE IN TYPE A UNITS. REMOVABLE BASE AT KITCHEN WORK SURFACE IN TYPE A UNITS. EXTEND FLOOR FINISH UNDER THESE REMOVABLE CABINETS
 - BATHROOM CEILING HEIGHT 8'-6" AFF.
 - SHOWER HEAD HEIGHT 7'-0" AFF. SHOWER CONTROL HEIGHT 4'-0" AFF.
 - TUB/SHOWER COMBO SHOWER HEAD HEIGHT 7'-0" AFF. CONTROL 3'-0" AFF. TUB FAUCET 2'-0" AFF.
 - FOR UNIT DETAILS RE: A170-A171

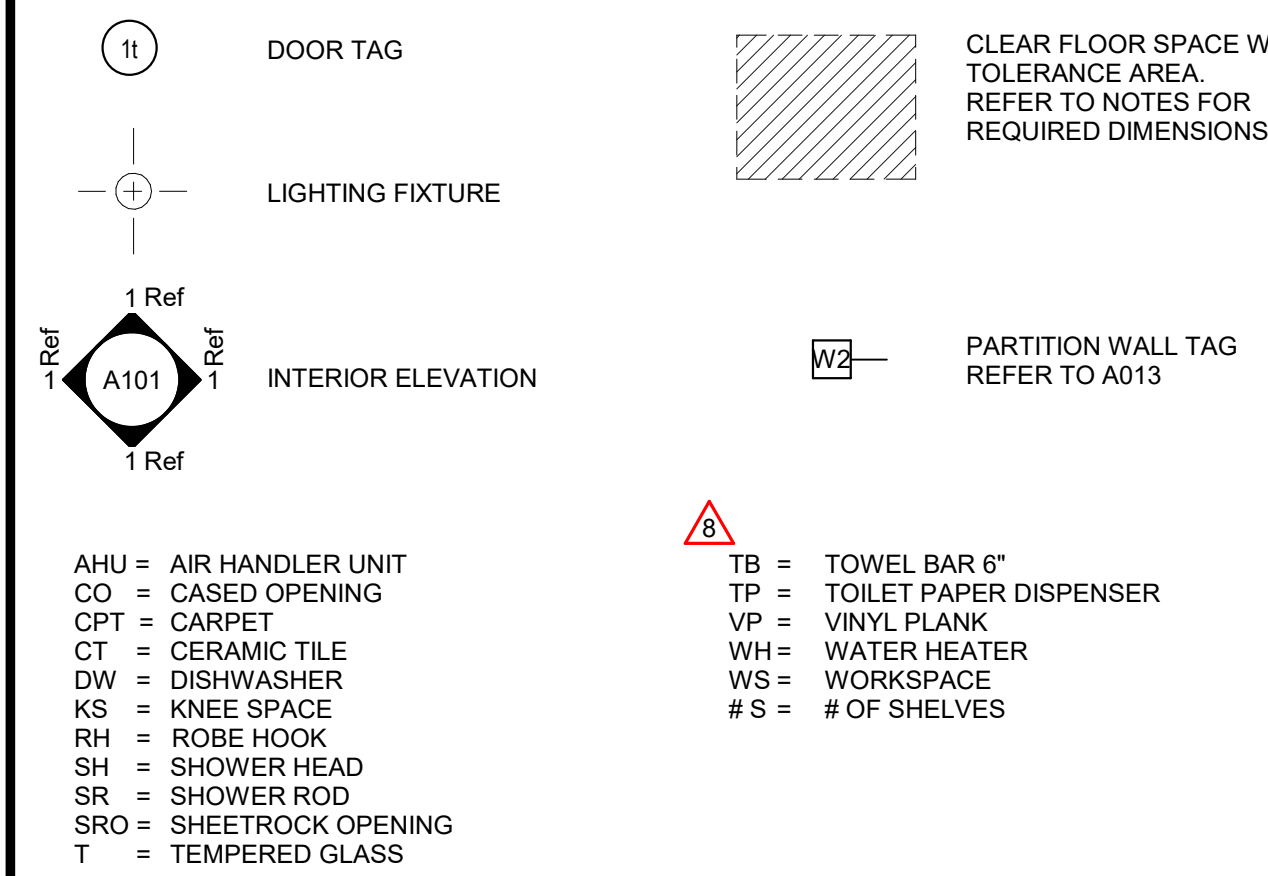


UNIT LOCATION PLAN


REVISIONS	
SHELL PACKAGE	7.29.19
6 REVISION 1	12.20.19
8 REVISION 3	4.3.2020
9 REVISION 4	4.24.2020



SYMBOL LEGEND - UNIT PLANS

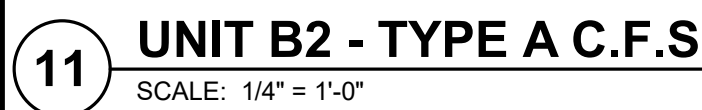


LIGHTING FIXTURE SCHEDULE

LABEL	MANUFACTURER	DESCRIPTION/MODEL	FINISH
L1	NOT USED 		
B	ASTRO	OSLO 100	TEXTURED BLACK
E	HUDSON VALLEY LIGHTING GROUP	LAMBERT, #612-08	OLD BRONZE
C	TBD	7 1/2" LED DISK FIXTURE	WHITE TRIM
A	TBD	7 1/2" LED DISK FIXTURE	WHITE TRIM
F	MINIKA AIRE	AVIATION LED CEILING FAN, #F853L-BN/CL	COAL
G2	TBD	WALL MOUNTED LED UTILITY LIGHT	WHITE TRIM
G	TBD	11" SURFACE MOUNTED DOME FIXTURE	WHITE TRIM
D	CUSTOM	MATCH STEPAN OUTDOOR WALL SCONCE	AGED IRON

GENERAL UNIT NOTES

1. ALL WALL DIMENSIONS ARE TO STUD.
2. INTERIOR WINDOW WALL TYPES ARE A1 (TYPICAL) UNLESS OTHERWISE NOTED.
3. REFER TO SHEET A011 FOR TYPICAL WALL ASSEMBLIES.
4. REFER TO SHEET A011 FOR UNIT DOOR AND SINK COUNTER - A0031 FOR DETAILS.
5. ALL INTERIOR DOORS SHALL ALLOW 3/4" AIRFLOW FOR RETURN AT BOTTOM OF DOOR.
6. PROVIDE MEP DWGS FOR LOCATION OF SMOKE, CO, & FIRE DETECTORS.
7. REFER TO SHEET A014 FOR WINDOW AND DOOR FINISHES AND DETAILS.
8. ALL EXTERIOR WINDOWS SHALL MEET A LEVEL, FEDERAL, STATE AND ANY LOCAL GLazing STANDARDS, ALL SLIDING GLASS DOORS SHALL HAVE PIN LOCKS.
9. PROVIDE 1/2" CHALK BOARD OR MINIMUM ONE LINE WITH WHICH MEETS EGRESS REQUIREMENTS, 20" NET CLEAR GLASS, 24" NET CLEAR HEIGHT, 5' SOFT NET CLEAR OPENABLE AREA AND SHALL BE 44" MAXIMUM FROM FINISH FLOOR TO TOP OF SILL AS REQUIRED PER IBC-2009 SECTION 1029.
10. PROVIDE MOISTURE RESISTANT GYPSUM DRYWALL IN ALL INTERIOR BATHROOM WALLS AND OTHER INTERIOR WET WALLS.
11. PROVIDE SOUND BATTS IN ALL CORRIDOR AND TENANT SEPARATION WALLS.
12. PROVIDE SOUND INSULATION IN WALLS AROUND ALL LAUNDRY ROOMS, PLUMBING, AND ALL HVAC CLOSES.
13. REFERENCE TO STRUCTURAL DRAWINGS FOR SHEARWALL AND BEARING WALL LOCATIONS.
14. VERTICAL MECHANICAL CHASING WITHIN UNITS ARE TO BE FIRE STOPPED PER LOCAL REQUIREMENTS.
15. ANGLES ARE 90° TO HORIZONTAL, & VERTICAL DIRECTIONS, U.O. N.Y. TO ALL UNITS.
16. ALL DIMENSIONS AND NOTES STATING "CLEAR" ARE FROM FACE OF FINISH.
17. REFER TO A003 & A004 FOR ALL INTERIOR FAIR HOUSING ACT AND OTHER ACCESSIBILITY REQUIREMENTS.
18. ALL TOWEL BARS ARE TO BE MOUNTED AT 54" A.F.F., ROBE HOOKS TO BE MOUNTED AT 66". TOWEL RINGS TO BE MOUNTED 1'-6" ABOVE COUNTER HEIGHT, AND TOILET PAPER DISPENSERS AT 18" A.F.F.
19. PROVIDE 1/2" CHALK BOARD, TOWELS AND ROBE HOOKS IN TYPE UNITS TO BE MOUNTED AT 48" HIGH MAX.
20. INTERIOR ELEVATIONS ARE FOR SCHEMATIC CONCEPT LAYOUT ONLY, CONTRACTOR TO VERIFY ALL INTERIOR WALLS FILLER, REPAIRS TO BE REFERRED TO CABINET SHOP DRAWINGS.
21. VANITY MIRRORS TO BE 42" HIGH AND TO BE MOUNTED WITH THE BOTTOM OF THE REFLECTING SURFACE NO MORE THAN 40" A.F.F. IN ANSI TYPE UNITS.
22. PROVIDE MINIMUM 24"-18" C.C. SPACING BETWEEN UNITS IN EACH KITCHEN UNDER THE SINK.
23. VERIFY ALL TUB WALL LENGTHS AND DIMENSIONS WITH ACTUAL TUB PROVIDED. CONTRACTOR TO COORDINATE FRAMING, TUB MANUFACTURER AND TUB DETAILS.
24. PROVIDE 1/2" CHALK BOARD IN ALL SINK AND SHOWER UNITS. PROVIDE GRAB BARS AS SHOWN ON A003, OR ALTERNATIVE MEANS OF REINFORCING THE CAVITY BETWEEN THE FIBERGLASS TUB AND THE WALL.
25. PROVIDE ARCHITECTURAL ELEVATION, MEP AND STRUCTURAL DRAWINGS FOR EXTERIOR FEATURES THAT MAY REQUIRE BLOCKING OR OTHER CONSIDERATIONS SPECIFIC TO THE UNIT LOCATION IN THE BUILDING, SUCH AS ATTACHED SIGNAGE, LIGHTING, AWNINGS, CANOPIES, TRELLISES.
26. PROVIDE EXTERIOR CURBLEDGES, CORNICES, RAILINGS, LANDSCAPE FEATURES AND ADJACENT ATTACHED STRUCTURES.
27. PROVIDE A HIGH OUTLET COVER SO THE TV IN LIVING ROOM CAN BE MOUNTED AT 48" A.F.F. TO VIEW TV UP TO 7'0" AFF. PROVIDE A HIGH OUTLET COVER FOR THESE REMOVABLE CABINETS.
28. ALL EXTERIOR SLABS TO SLOPE DOWN 1/8" TO EDGE OF SLAB, LIGHT BROOM FINISH AT SLOPED SURFACES. VERIFY WITH STRUCTURE.
29. REFER TO INTERIOR FINISHES SCHEDULE FOR FINISHES, FOR ADDITIONAL ROOM FINISH NOTES AND SPECIFICATIONS, RE-1006 -1007
30. FLOOR FINISHES TO EXTEND UNDER SHELVING, WASHER/DRYER, AND REFRIGERATOR, FLOOR FINISH TO EXTEND UNDER ALL RAISED COUNTERS, AND CABINETS INDICATED WITH "REMOVABLE BASE CABINET"
31. ALL SINK BASINS TO BE REMOVABLE IN THIS UNIT. REMOVABLE BASE AT KITCHEN WORK AREA, AND EXTEND TO END OF UNIT UNDER SINKS AND CABINETS INDICATED WITH "REMOVABLE CABINET"
32. BATHROOM CEILING HEIGHT = 8'- 0" AFF.
33. SHOWER HEAD HEIGHT 7'-0" AFF. SHOWER CONTROL HEIGHT 7'-0" AFF.
34. SHOWER HEAD COMBO SHOWER HEAD HEIGHT 7'-0" AFF. CONTROL 3'-0" AFF, TUB FAUCET 2'-0" AFF.
35. FOR UNIT DETAILS RE: A170-A171



4.24.20

TRJ ARCHITECTS	BOB D CAMPBELL & COMPANY	STRUCTURAL ENGINEER	ARCHITECT
RENAISSANCE INFRASTRUCTURE CONSULTING	CIVIL ENGINEER	GENERAL CONTRACTOR	
BRINKMANN CONSTRUCTORS		MECHANICAL ENGINEER	
LATIMER SOMMERS & ASSOCIATES		PLUMBING ENGINEER	
LATIMER SOMMERS & ASSOCIATES		ELECTRICAL ENGINEER	



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DATE: 7.29.19

REVIEWS

REVISIONS 		
	SHELL PACKAGE	7.29.1
6	REVISION 1	12.20.1
8	REVISION 3	4.3.202
9	REVISION 4	4.24.202

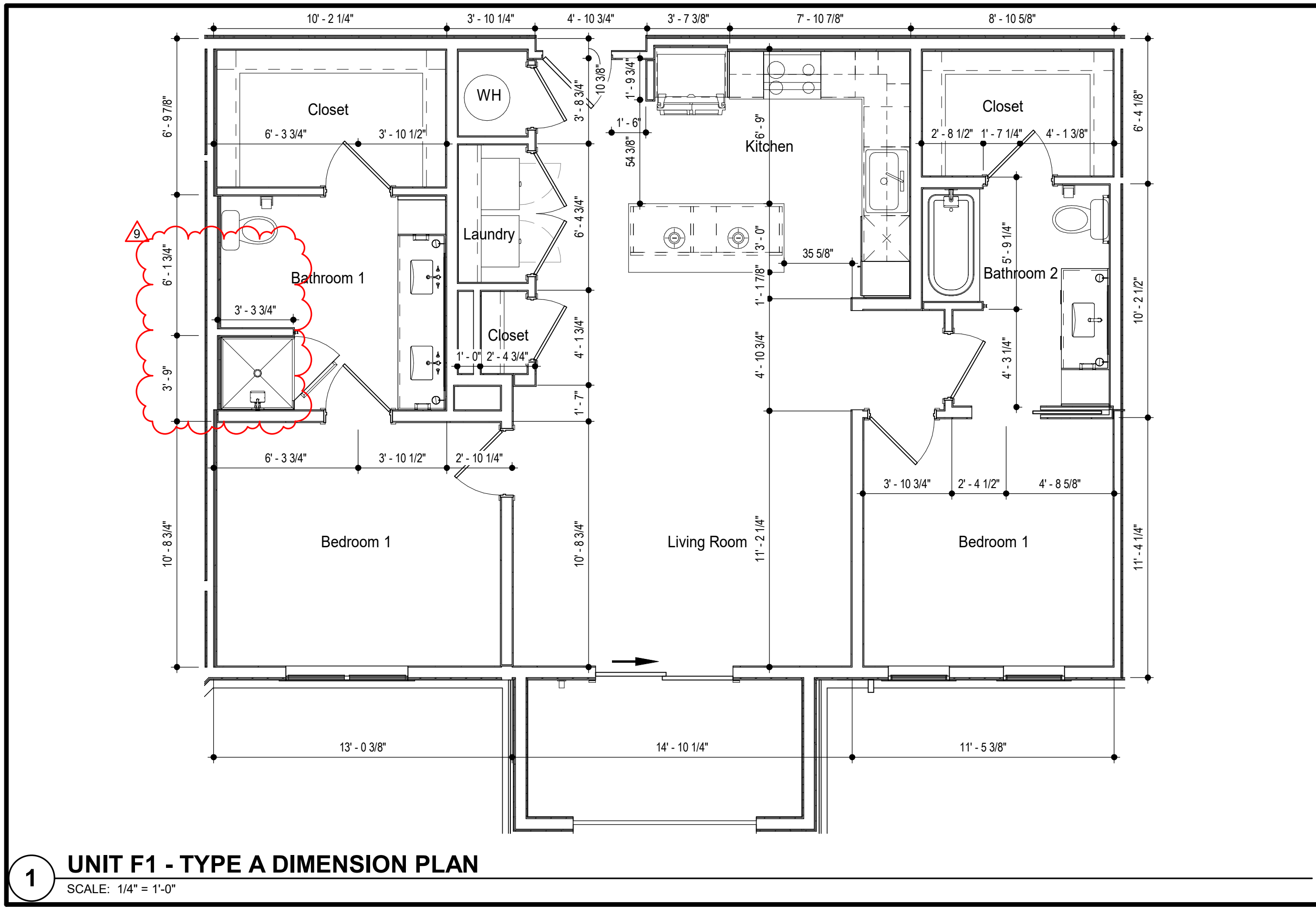
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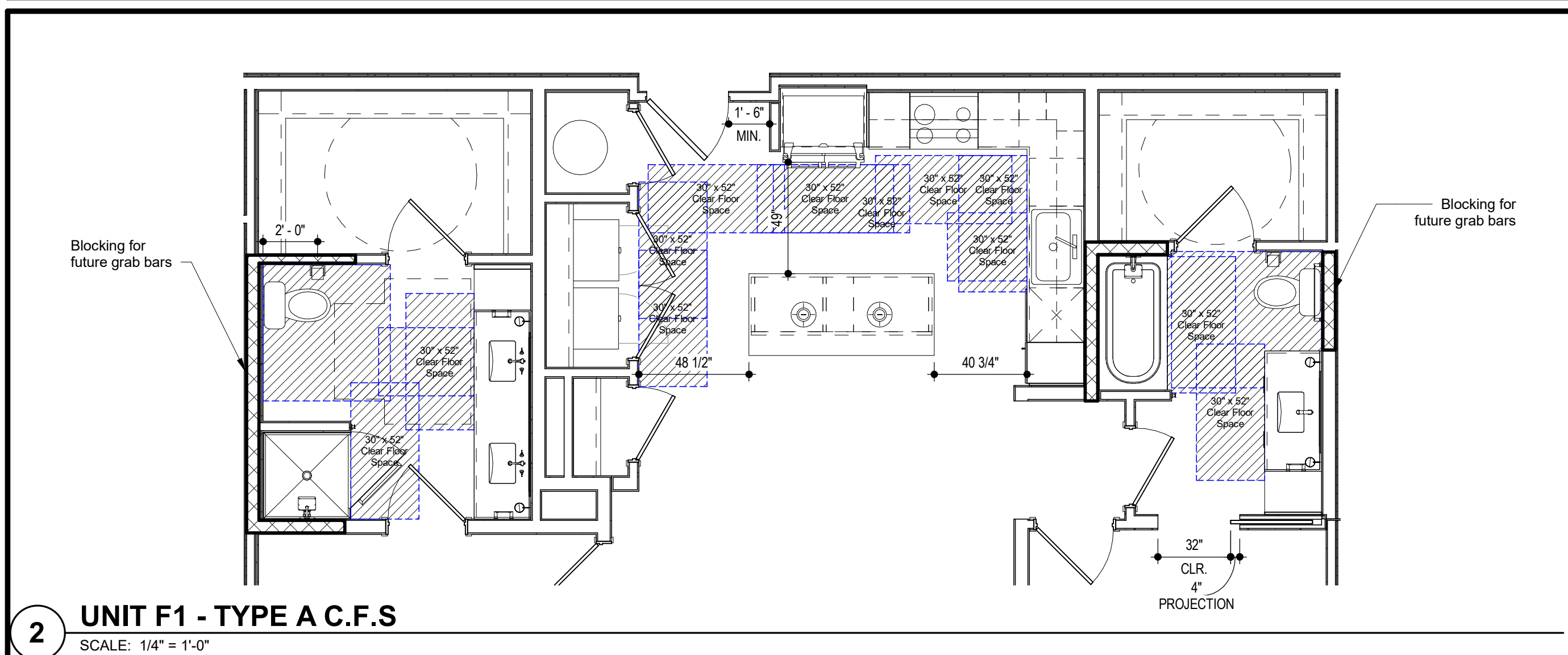
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A156

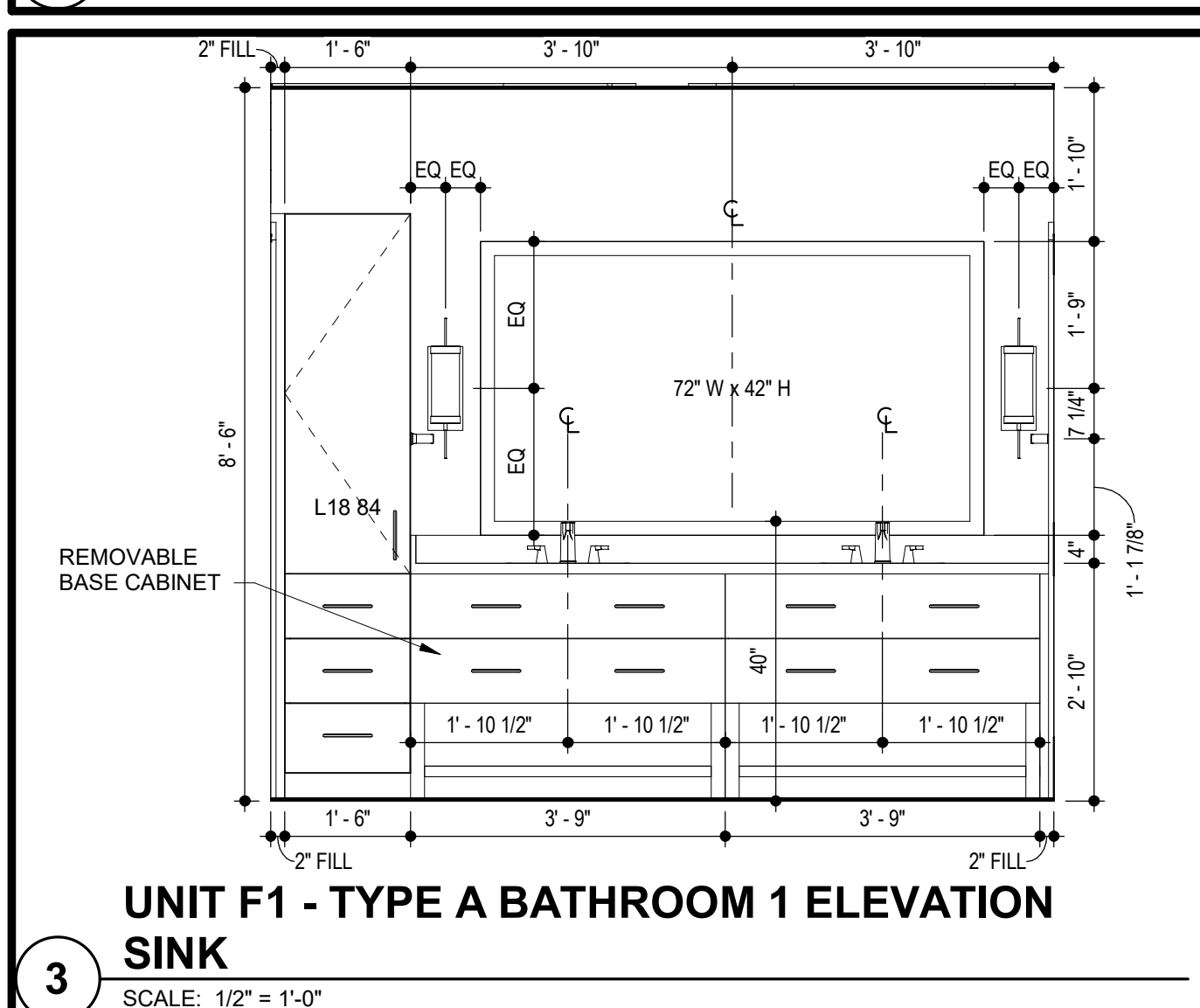
UNIT 'B2-TYPE A' PLANS & ELEVATIONS



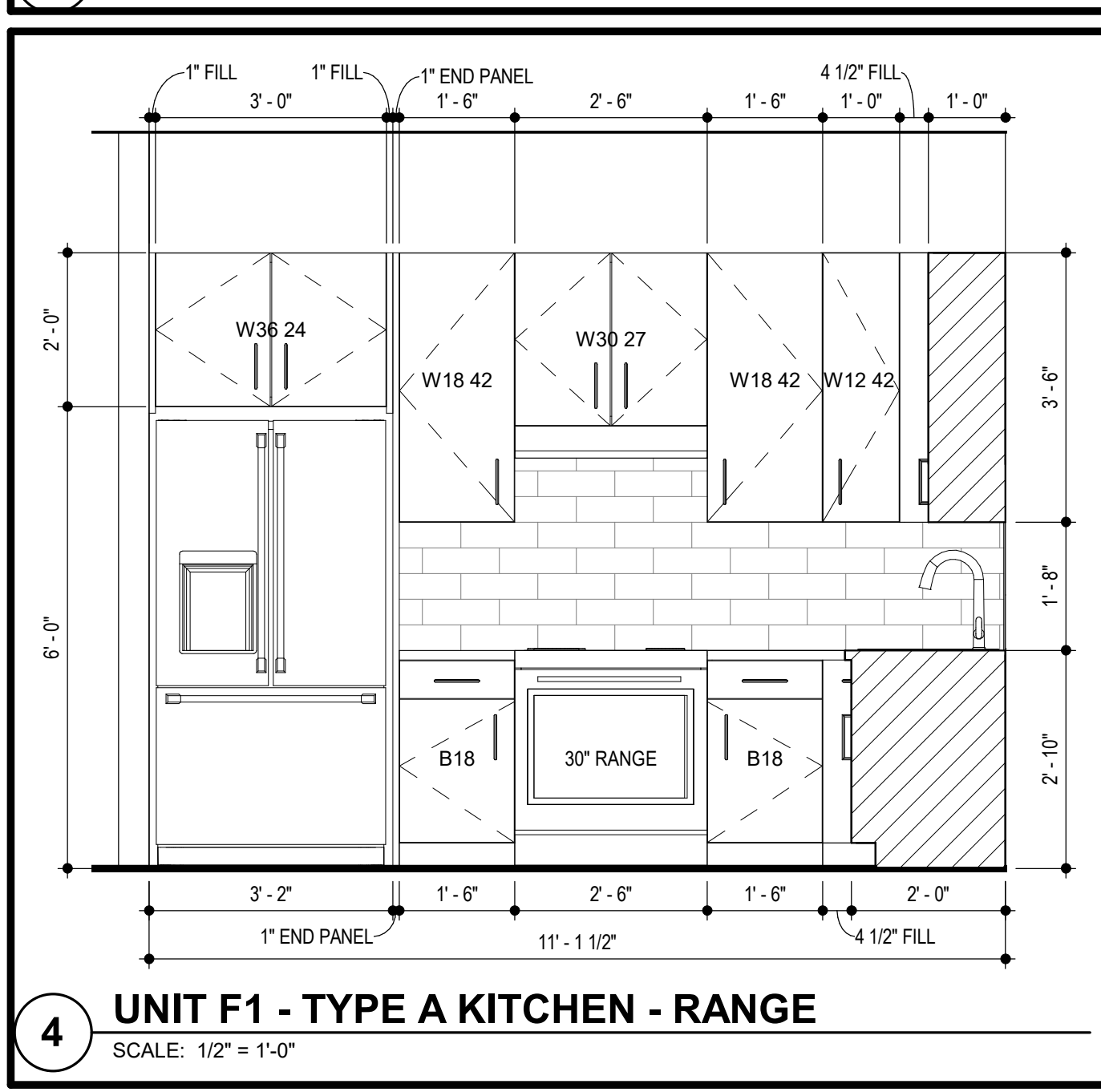
1 UNIT F1 - TYPE A DIMENSION PLAN
SCALE: 1/4" = 1'-0"



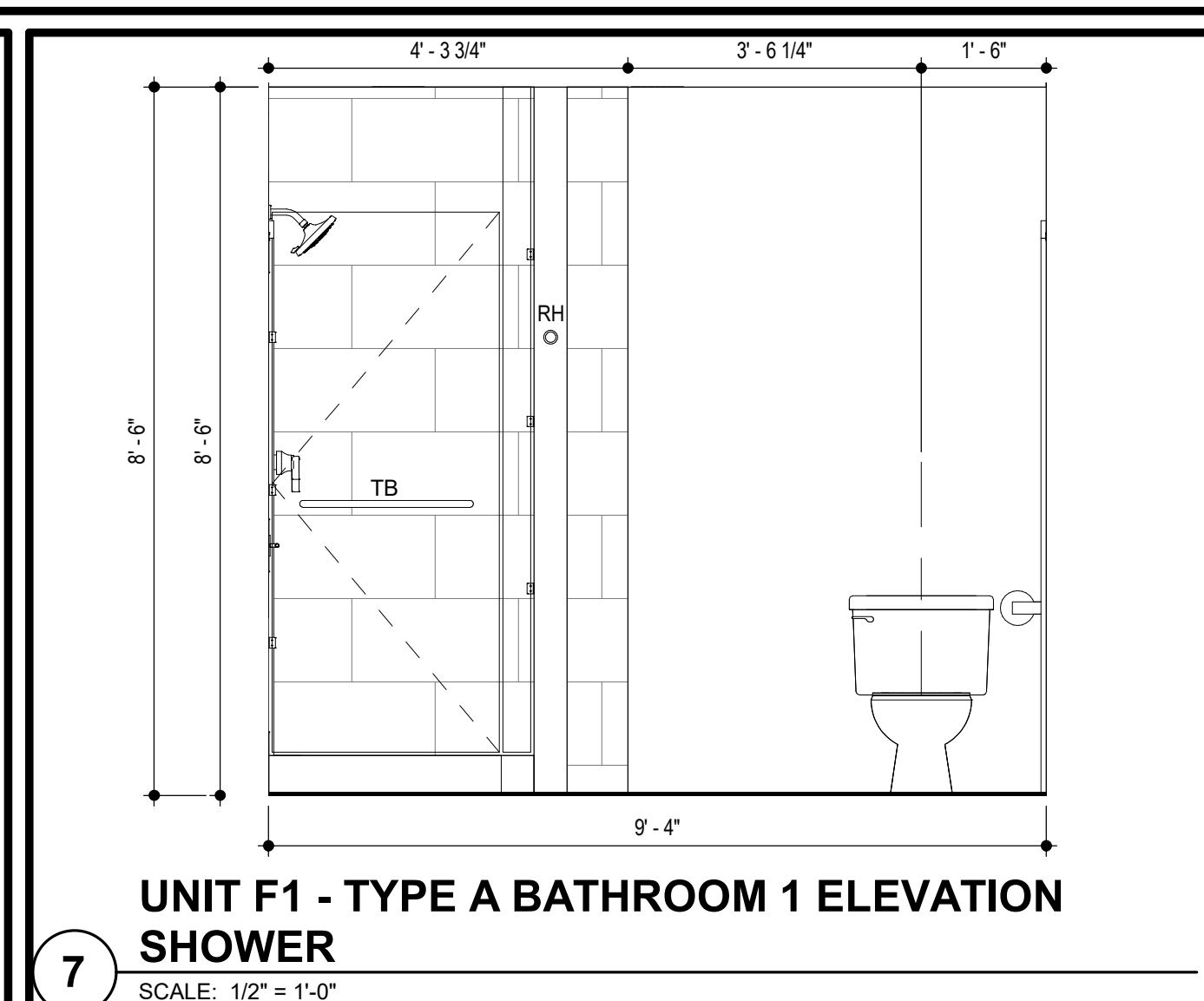
2 UNIT F1 - TYPE A C.F.S.
SCALE: 1/4" = 1'-0"



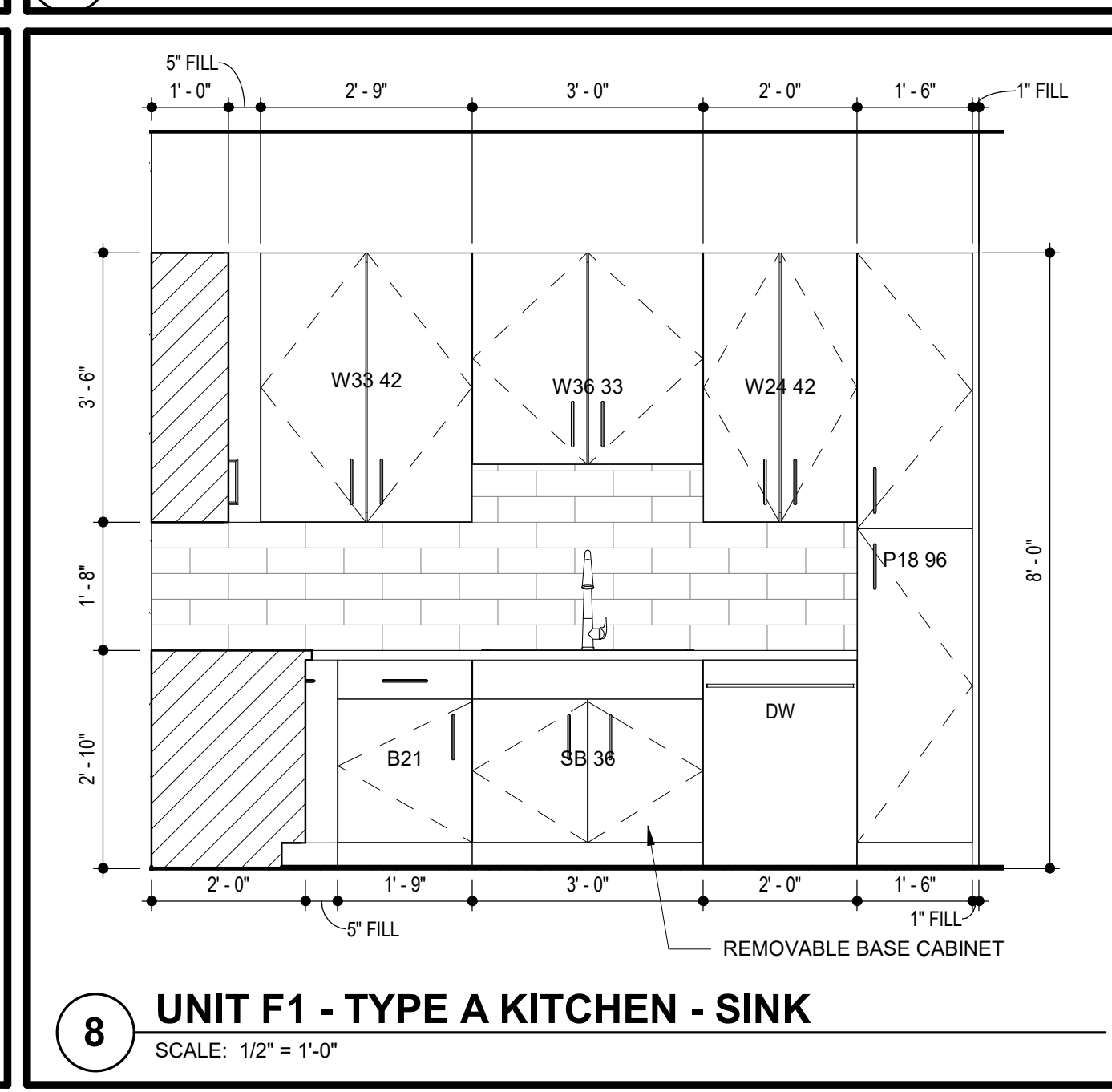
3 UNIT F1 - TYPE A BATHROOM 1 ELEVATION SINK
SCALE: 1/2" = 1'-0"



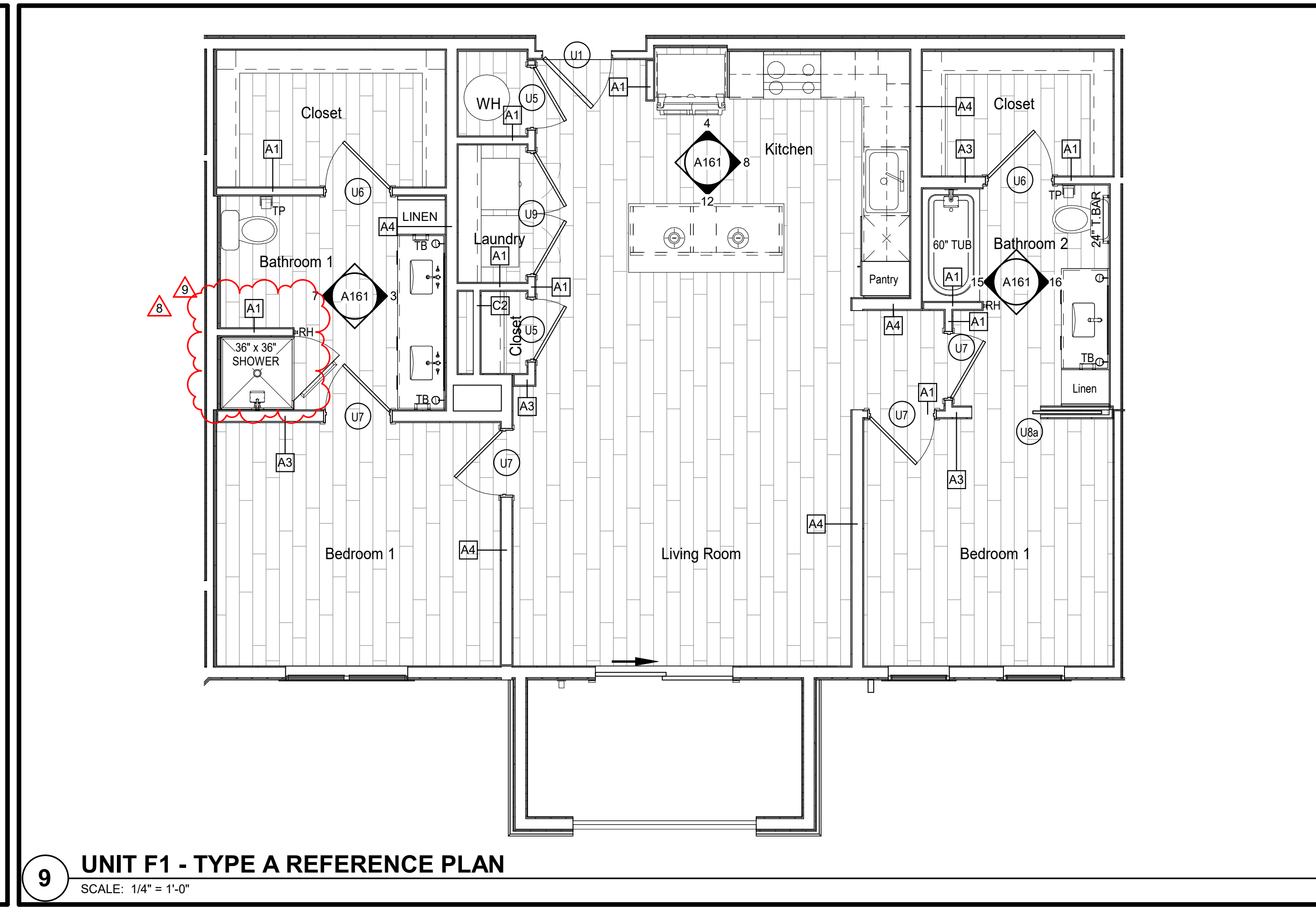
4 UNIT F1 - TYPE A KITCHEN - RANGE
SCALE: 1/2" = 1'-0"



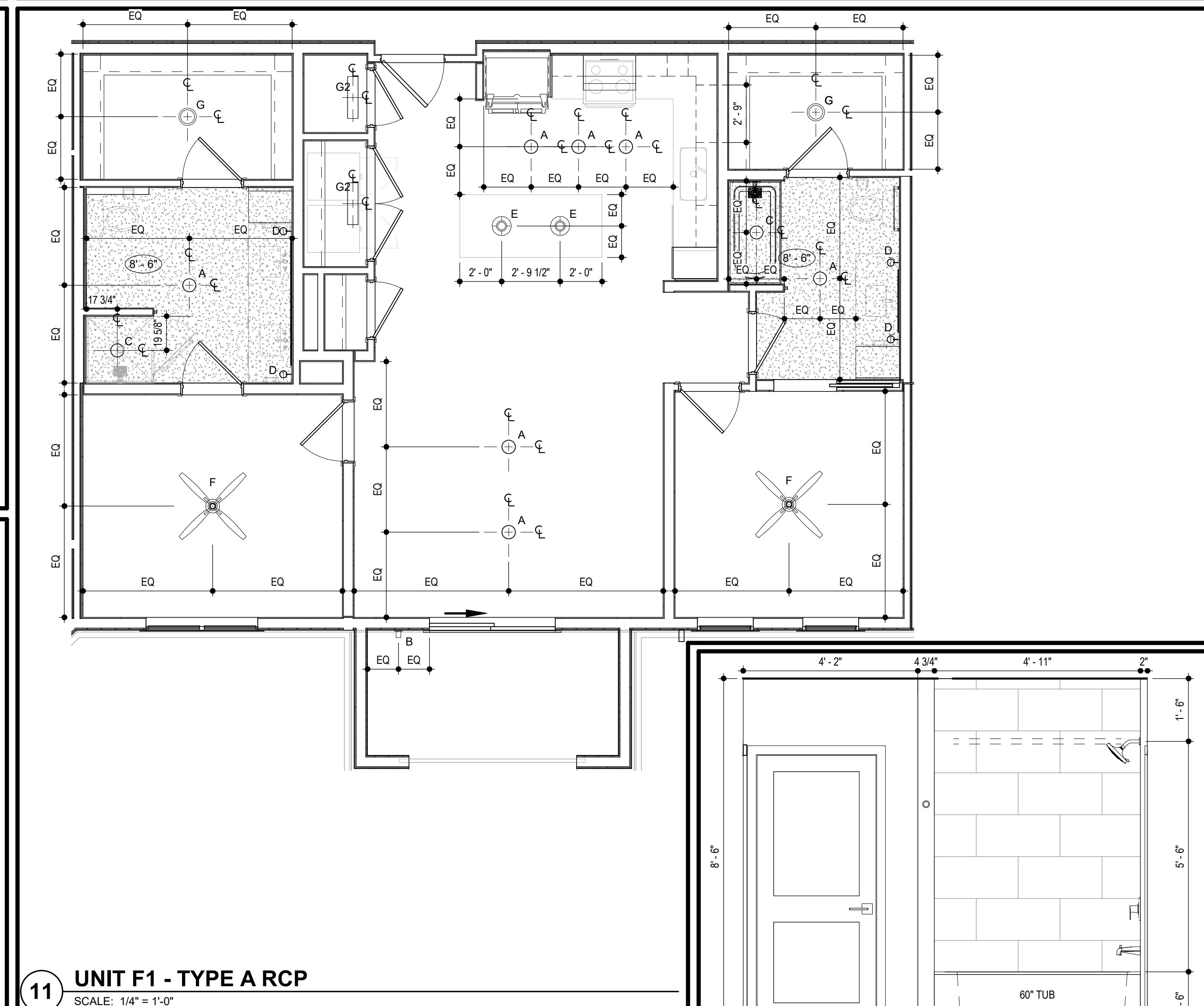
7 UNIT F1 - TYPE A BATHROOM 1 ELEVATION SHOWER
SCALE: 1/2" = 1'-0"



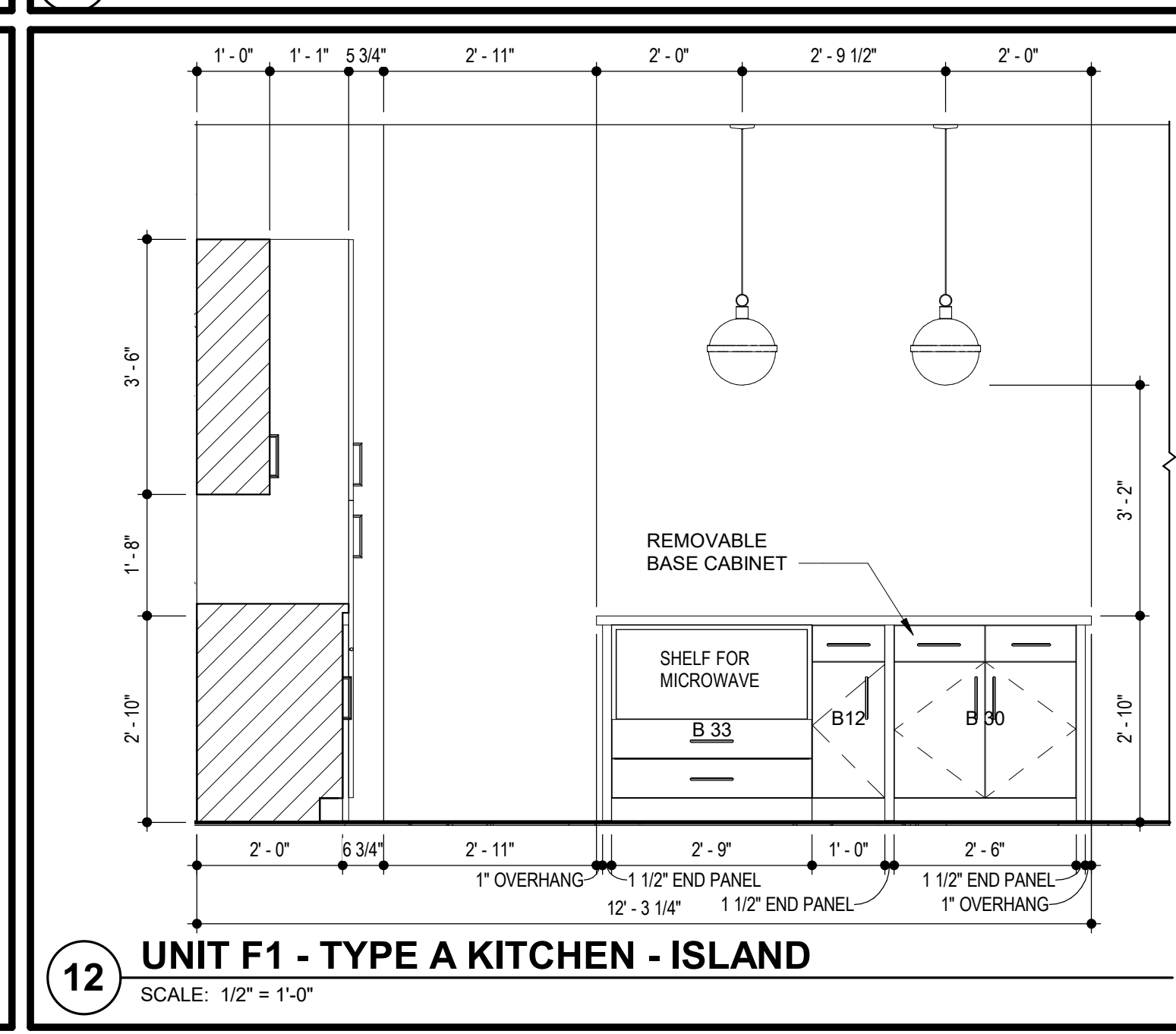
8 UNIT F1 - TYPE A KITCHEN - SINK
SCALE: 1/2" = 1'-0"



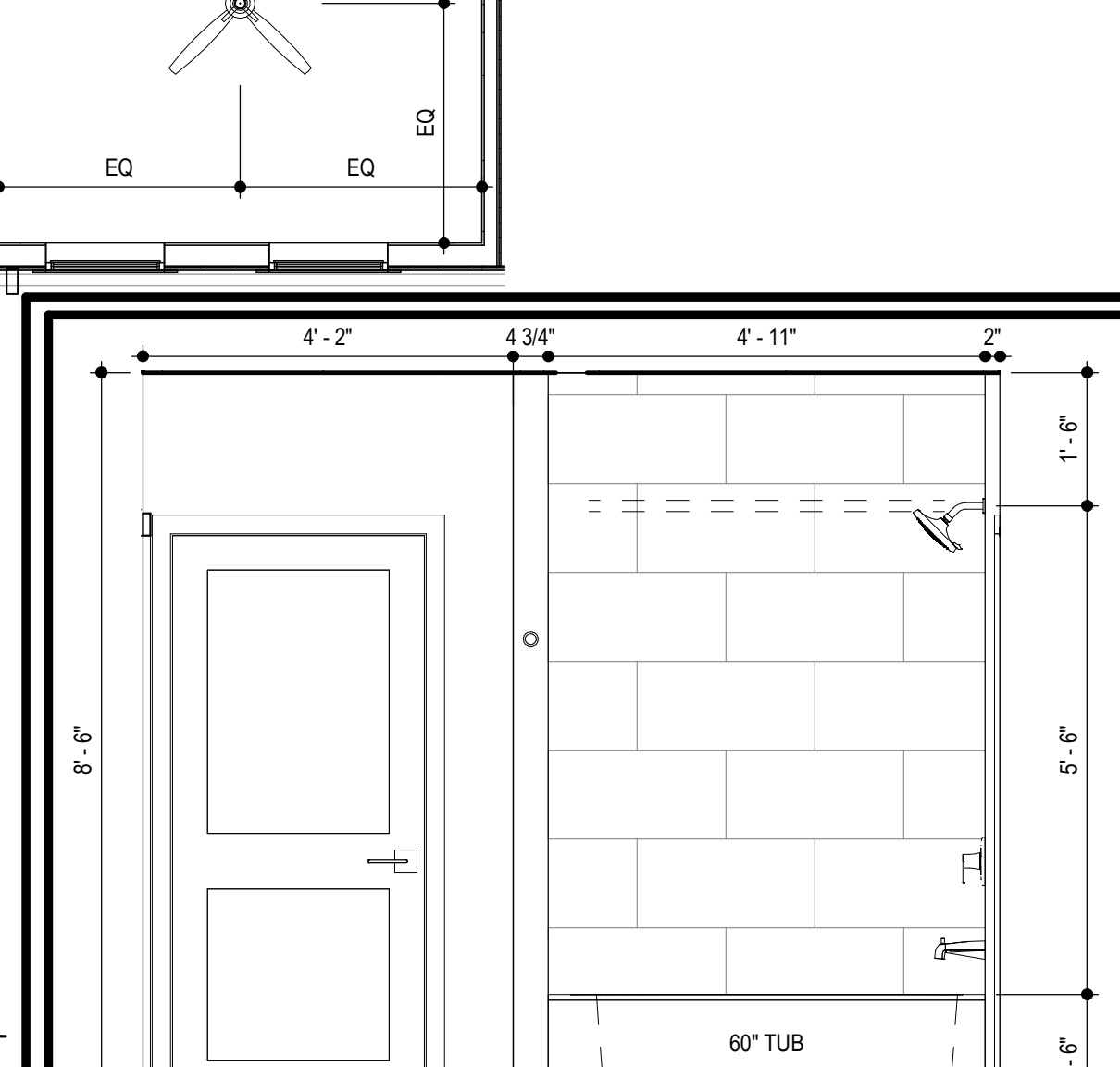
9 UNIT F1 - TYPE A REFERENCE PLAN
SCALE: 1/4" = 1'-0"



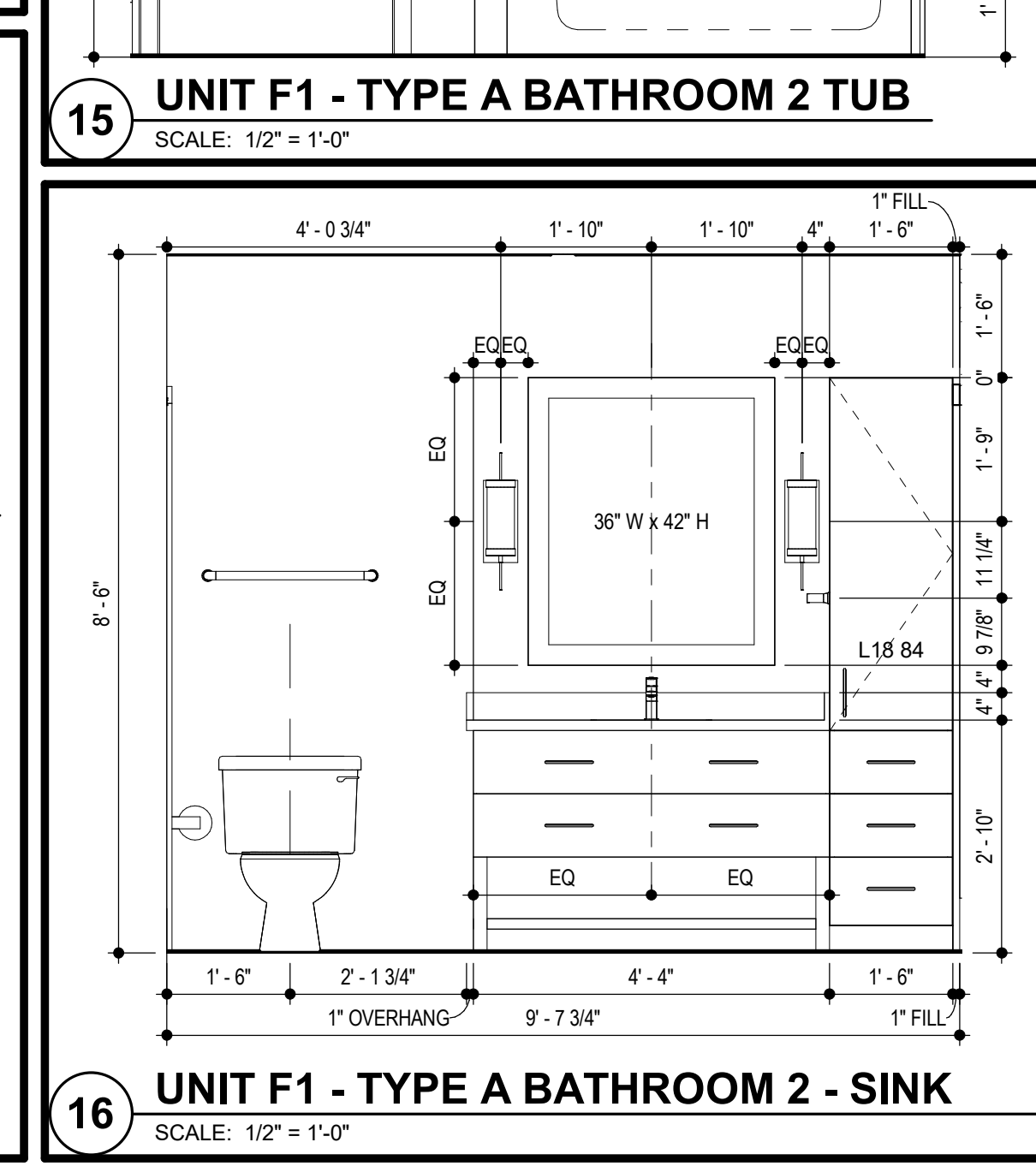
11 UNIT F1 - TYPE A RCP
SCALE: 1/4" = 1'-0"



12 UNIT F1 - TYPE A KITCHEN - ISLAND
SCALE: 1/2" = 1'-0"



15 UNIT F1 - TYPE A BATHROOM 2 TUB
SCALE: 1/2" = 1'-0"



16 UNIT F1 - TYPE A BATHROOM 2 - SINK
SCALE: 1/2" = 1'-0"

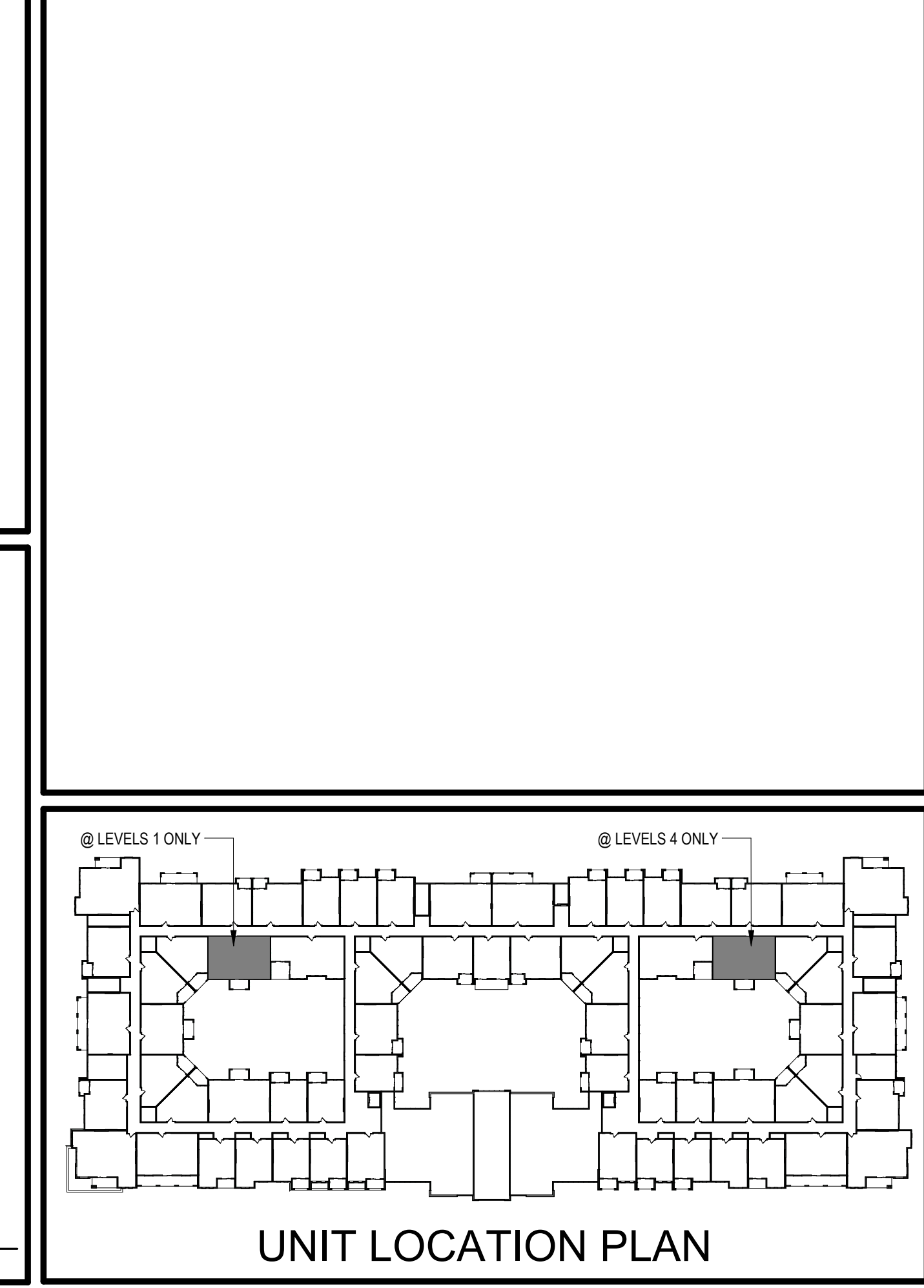
SYMBOL LEGEND - UNIT PLANS

11	DOOR TAG		CLEAR FLOOR SPACE WITH 2' TOLERANCE AREA. REFER TO NOTES FOR REQUIRED DIMENSIONS
	LIGHTING FIXTURE		
1 Ref	INTERIOR ELEVATION	W2	PARTITION WALL TAG REFER TO A013
AHU =	AIR HANDLER UNIT	8	TB = TOWEL BAR 6"
CO =	CASED OPENING	TP =	TOILET PAPER DISPENSER
CT =	CERAMIC TILE	VP =	VINYL PLANK
DW =	DISHWASHER	WH =	WATER HEATER
KS =	KNEE SPACE	WS =	WORKSPACE
RH =	ROBE HOOK	# S =	# OF SHELVES
SH =	SHOWER HEAD		
SR =	SHOWER ROD		
SRO =	SHEETROCK OPENING		
T =	TEMPERED GLASS		

LIGHTING FIXTURE SCHEDULE

LABEL	MANUFACTURER	DESCRIPTION/MODEL	FINISH
L1	NOT USED		
B	ASTRO	OSLO 100	TEXTURED BLACK
C	HUDSON VALLEY LIGHTING GROUP	LAMBERT, #612-08	OLD BRONZE
E	TBD	7 1/2" LED DISK FIXTURE	WHITE TRIM
A	TBD	7 1/2" LED DISK FIXTURE	WHITE TRIM
F	MINKA AIRE	AVIATION LED CEILING FAN, #F853L-BN/CL	COAL
G2	TBD	WALL MOUNTED LED UTILITY LIGHT	WHITE TRIM
G	TBD	11" SURFACE MOUNTED DOME FIXTURE	WHITE TRIM
D	CUSTOM	MATCH STEFAN OUTDOOR WALL SCONCE	AGED IRON

- GENERAL UNIT NOTES**
- ALL WALL DIMENSIONS ARE TO STUD.
 - UNIT INTERIOR WALL TYPES ARE A1 (TYPICAL) UNLESS OTHERWISE NOTED.
 - REFER TO SHEET A011 FOR TYPICAL WALL ASSEMBLIES.
 - REFER TO SHEET A017 FOR UNIT DOOR SCHEDULE & A030 - A031 FOR DETAILS.
 - ALL INTERIOR DOORS SHALL ALLOW 3/4" AIRFLOW FOR RETURN AT BOTTOM OF DOOR.
 - REFER TO MEP DWGS FOR LOCATION OF SMOKE, CO & FIRE DETECTORS.
 - REFER TO SHEET A014 FOR WINDOW SCHEDULE AND A020 - A021 FOR DETAILS.
 - ALL EXTERIOR WINDOWS SHALL MEET ALL FEDERAL, STATE AND ANY LOCAL GLAZING STANDARDS.
 - ALL SLIDING GLASS DOORS SHALL HAVE PIN LOCKS.
 - BEDROOM SHALL HAVE A MINIMUM OF ONE OPENING WHICH MEETS EGRESS REQUIREMENTS. 20" NET CLEAR WIDTH, 24" NET CLEAR HEIGHT. 5.7 SFT. NET CLEAR OPENABLE AREA AND SHALL BE 44" MAXIMUM FROM FINISH FLOOR TO TOP OF SILL AS REQUIRED PER IBC-2009 SECTION 1029.
 - REFER TO BUILDING PLANS FOR CORRIDOR AND DIMISING WALL TYPES.
 - PROVIDE MOISTURE RESISTANT GYPSUM DRYWALL IN ALL UNIT BATHROOM WALLS AND OTHER UNIT WET WALLS.
 - PROVIDE SOUND BATTS IN ALL CORRIDOR AND TENANT SEPARATION WALLS.
 - PROVIDE SOUND INSULATION IN WALLS AROUND ALL LAUNDRY ROOMS, PLUMBING, AND ALL HVAC CLOSETS.
 - REFER TO STRUCTURAL DRAWINGS FOR SHEARWALL AND BEARING WALL LOCATIONS.
 - VERTICAL MECHANICAL CHASES WITHIN UNITS ARE TO BE FIRE STOPPED PER LOCAL REQUIREMENTS.
 - ALL ANGLES ARE 45° TO HORIZONTAL & VERTICAL DIRECTIONS, U.N.O. TYP. AT ALL UNITS.
 - ALL DIMENSIONS AND NOTES STATING "CLEAR" ARE FROM FACE OF FINISH.
 - REFER TO A003 & A004 FOR ALL INTERIOR FAIR HOUSING ACT AND OTHER ACCESSIBILITY REQUIREMENTS.
 - ALL TOWEL BARS ARE TO BE MOUNTED AT 54" A.F.F., ROBE HOOKS TO BE MOUNTED AT 66", TOWEL RINGS TO BE MOUNTED 1'-6" ABOVE COUNTER HEIGHT, AND TOILET PAPER DISPENSERS AT 18" A.F.F. UNLESS NOTED OTHERWISE. TOWEL BARS AND ROBE HOOKS IN TYPE A UNITS TO BE MOUNTED AT 48" HIGH MAX.
 - INTERIOR ELEVATIONS ARE FOR SCHEMATIC CABINET LAYOUT ONLY. CONTRACTOR TO VERIFY ALL DIMENSIONS. PROVIDE FILLERS AS REQUIRED. REFER TO CABINET SHOP DRAWINGS.
 - VANITY MIRRORS TO BE 42" HIGH AND TO BE MOUNTED WITH THE BOTTOM OF THE REFLECTING SURFACE NO MORE THAN 40" A.F.F. IN ANSI TYPE A UNITS.
 - PROVIDE MINIMUM RATED 2A-105-C FIRE EXTINGUISHER IN EACH KITCHEN UNDER THE SINK.
 - VERIFY ALL TUB WALL LENGTHS AND DIMENSIONS WITH ACTUAL TUB PROVIDED. CONTRACTOR TO COORDINATE FRAMING, TUB MANUFACTURER AND TUB DETAILS.
 - PROVIDE SOLID BLOCKING IN WALLS FOR FUTURE INSTALLATION OF GRAB BARS AS SHOWN ON A003, OR ALTERNATIVE MEANS OF REINFORCING THE CAVITY BETWEEN THE FIBERGLASS TUB AND THE WALL.
 - SEE ARCHITECTURAL ELEVATION, MEP AND STRUCTURAL DRAWINGS FOR EXTERIOR FEATURES THAT MAY REQUIRE BLOCKING OR OTHER CONSIDERATIONS SPECIFIC TO THE UNIT LOCATION IN THE BUILDING, SUCH AS ATTACHED SIGNAGE, LIGHTING, AWNINGS, CANOPIES, TRELLISES, SHUTTERS, FIXTURES, BUILDOUTS, CORNICES, RAILINGS, LANDSCAPE FEATURES AND ADJACENT ATTACHED STRUCTURES.
 - PROVIDE A HIGH OUTLET COVER SO THAT TV IN LIVING ROOM CAN BE MOUNTED AT 48" A.F.F. TO THE CENTER OF TV. REFER TO MEP AND TELECOM. PROVIDE 2x10 BLOCKING FOR TV MOUNTING.
 - ALL EXTERIOR SLABS TO SLOPE DOWN 1/8" TO EDGE OF SLAB. LIGHT BROOM FINISH AT SLOPED SURFACES. VERIFY WITH STRUCTURE.
 - REFER TO INTERIOR DESIGNER FINISH SCHEDULE FOR FINISHES, FOR ADDITIONAL ROOM FINISH NOTES AND SPECIFICATIONS. RE: 1-006 - 1-007
 - FLOOR FINISHES TO EXTEND UNDER SHELVING, WASHER/DRYER, AND REFRIGERATOR. FLOOR FINISHES EXTEND UNDER ALL RAISED COUNTERS, AND CABINETS INDICATED WITH "REMOVABLE BASE CABINET".
 - ALL SINK BASES TO BE REMOVABLE IN TYPE A UNITS. REMOVABLE BASE AT KITCHEN WORK SURFACE IN TYPE A UNITS. EXTEND FLOOR FINISH UNDER THESE REMOVABLE CABINETS
 - BATHROOM CEILING HEIGHT 8' - 6" AFF
 - SHOWER HEAD HEIGHT 7'-0" AFF. SHOWER CONTROL HEIGHT 4'-0" AFF.
 - TUB/SHOWER COMBO SHOWER HEAD HEIGHT 7'-0" AFF, CONTROL 3'-0" AFF, TUB FAUCET 2'-0" AFF.
 - FOR UNIT DETAILS RE: A170-A171



UNIT LOCATION PLAN

4.24.20

ARCHITECT

STRUCTURAL ENGINEER

CIVIL ENGINEER

GENERAL CONTRACTOR

MECHANICAL ENGINEER

PLUMBING ENGINEER

ELECTRICAL ENGINEER

TRi ARCHITECTS

BOB D CAMPBELL & COMPANY

RENAISSANCE INFRASTRUCTURE CONSULTING

BRINKMANN CONSTRUCTORS

LATIMER SOMMERS & ASSOCIATES

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DATE: 7.29.19

REVISIONS

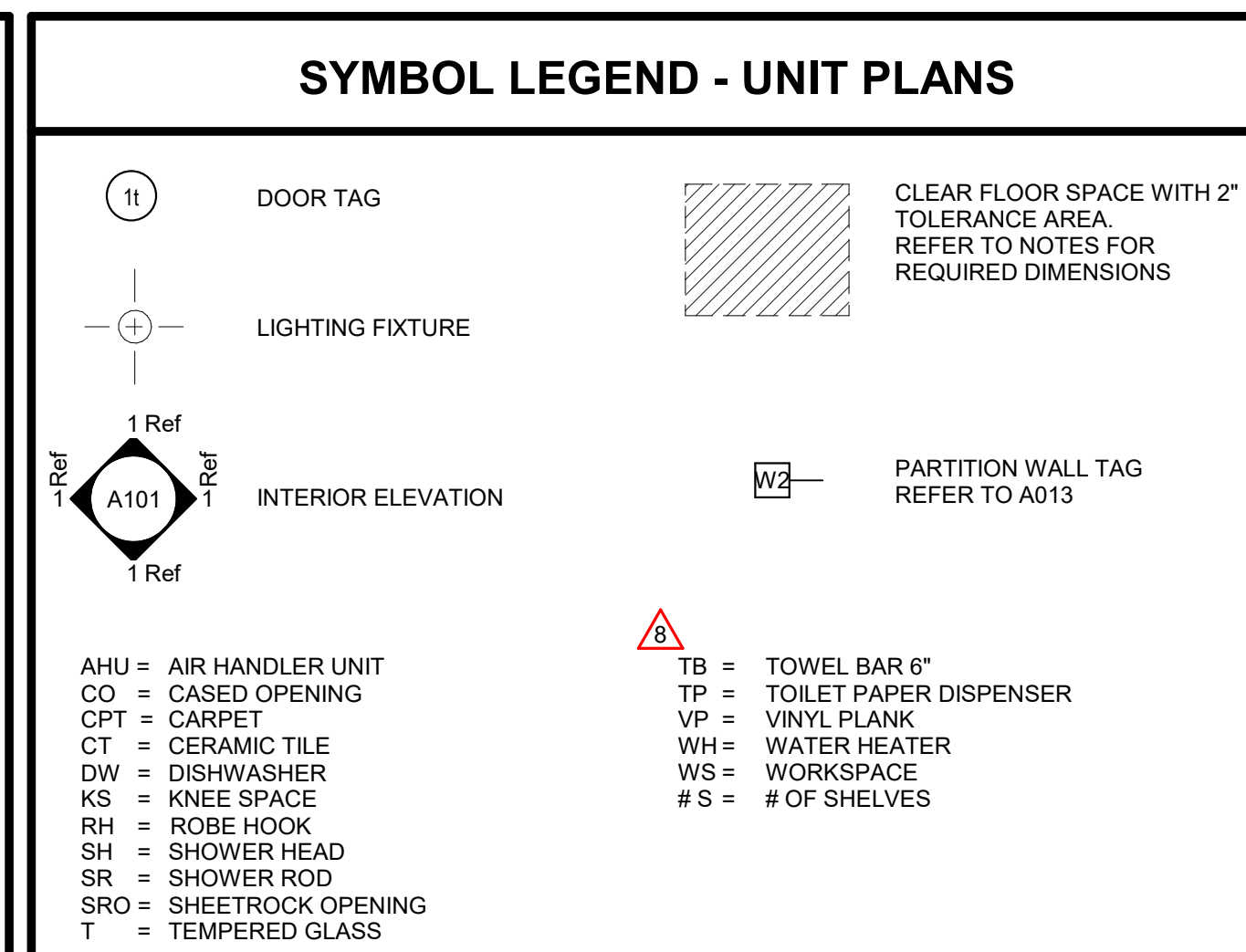
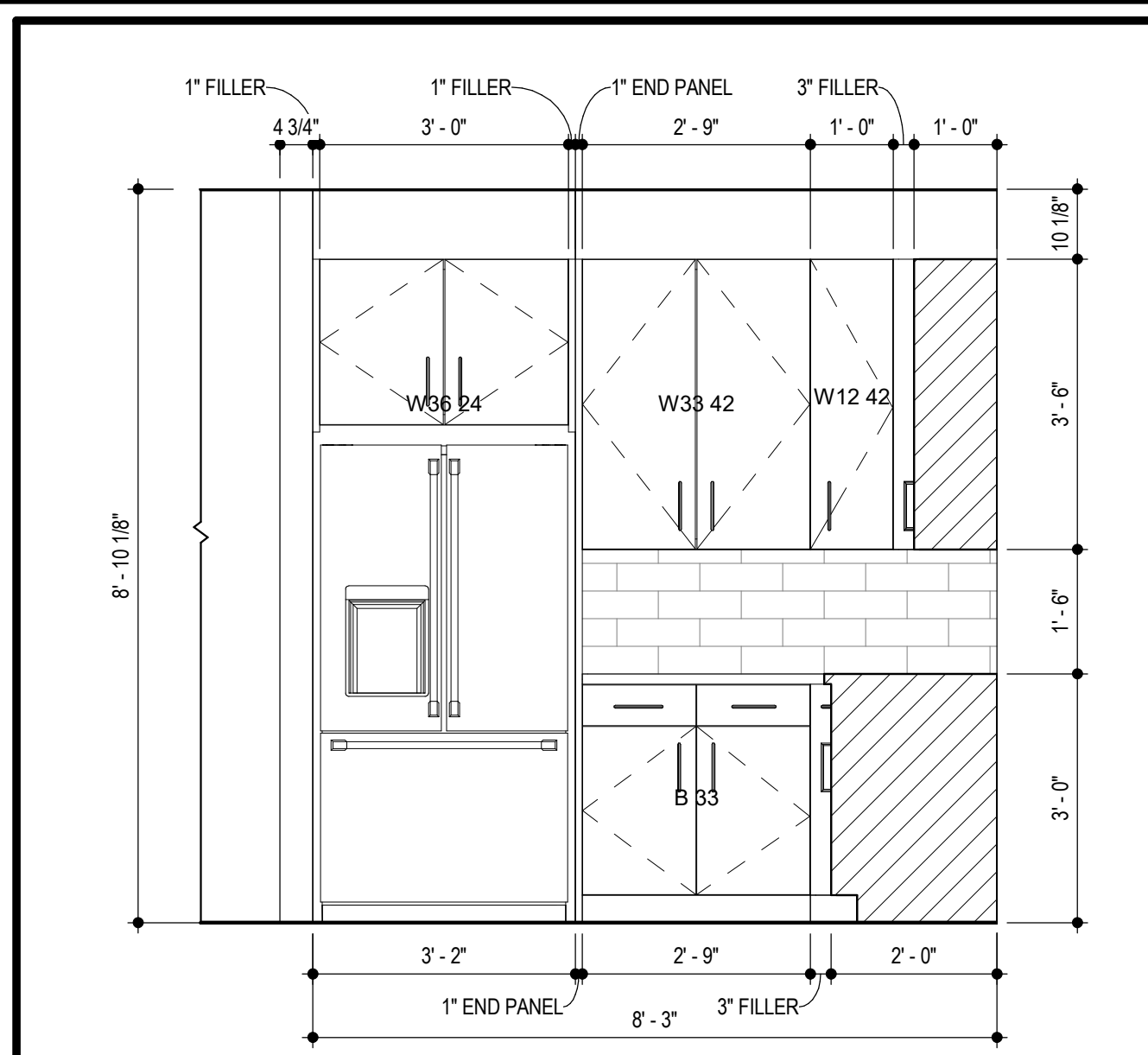
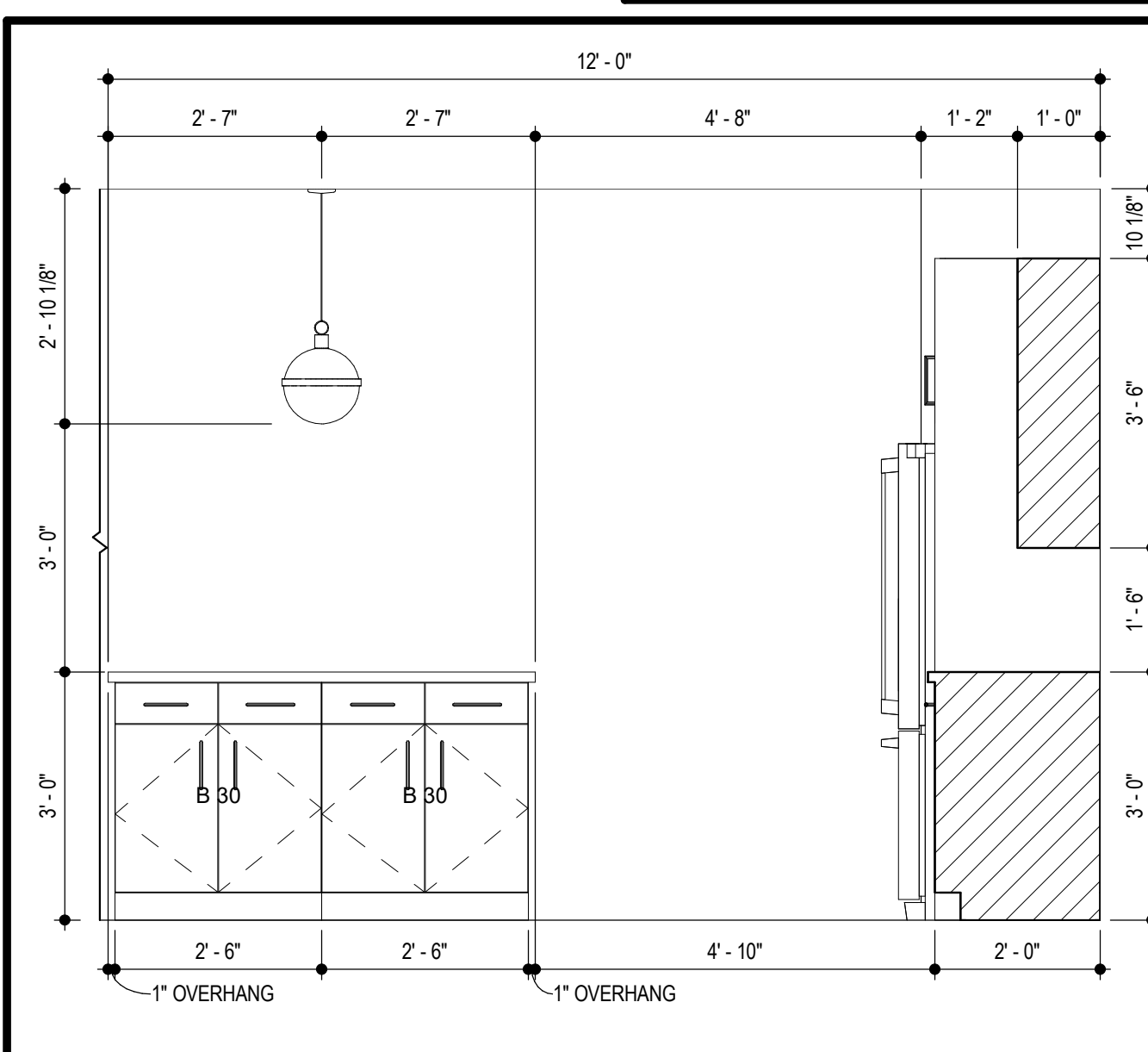
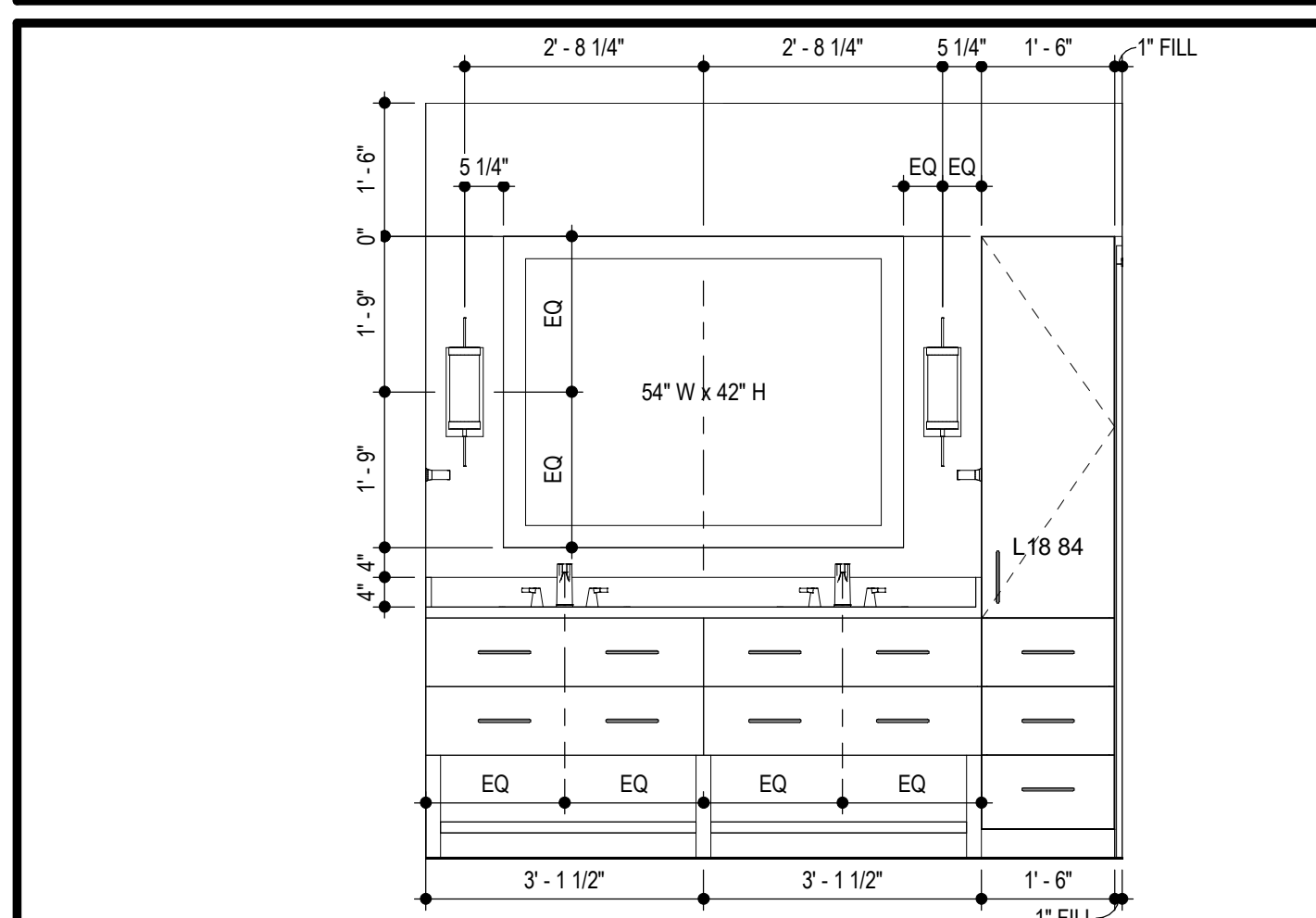
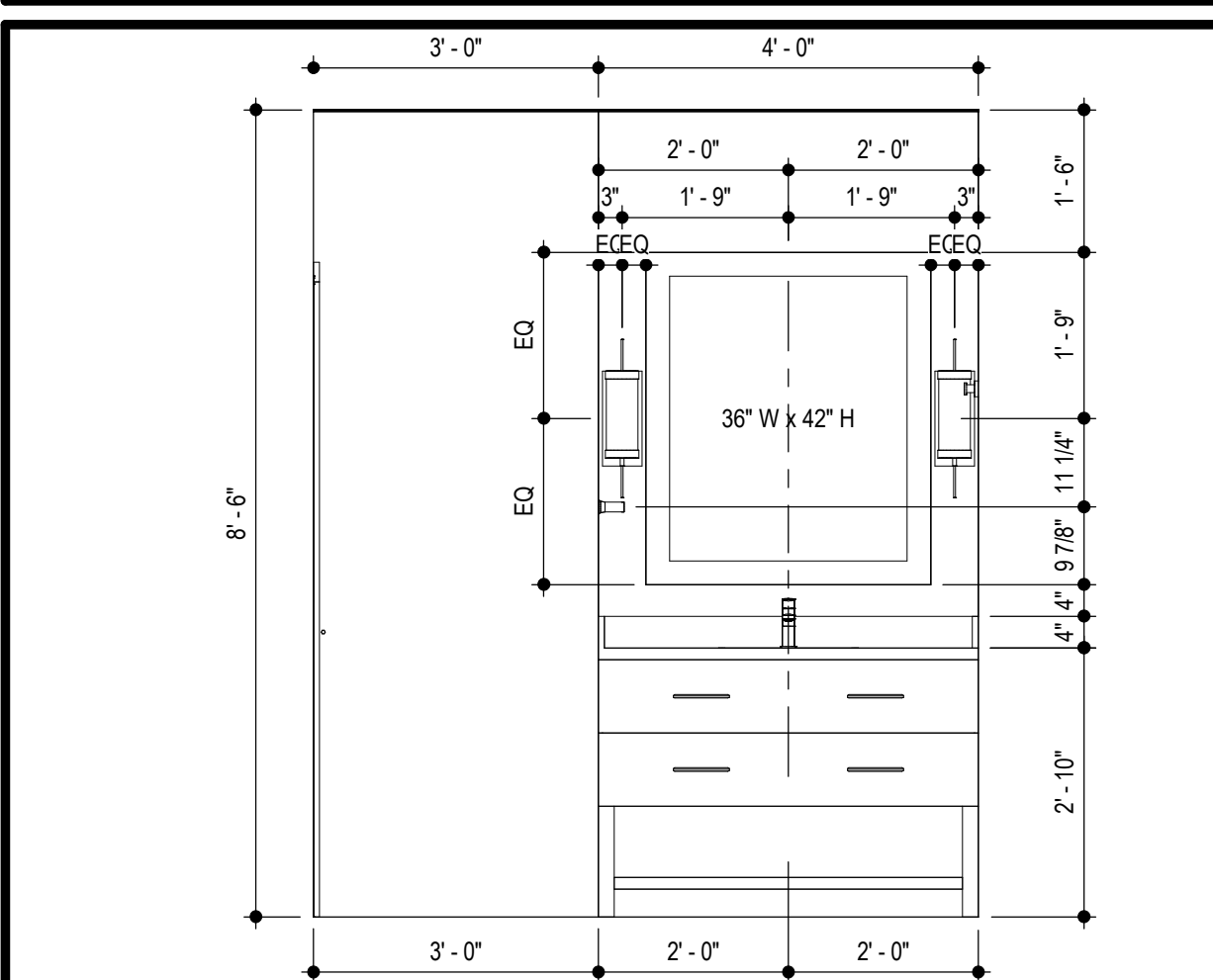
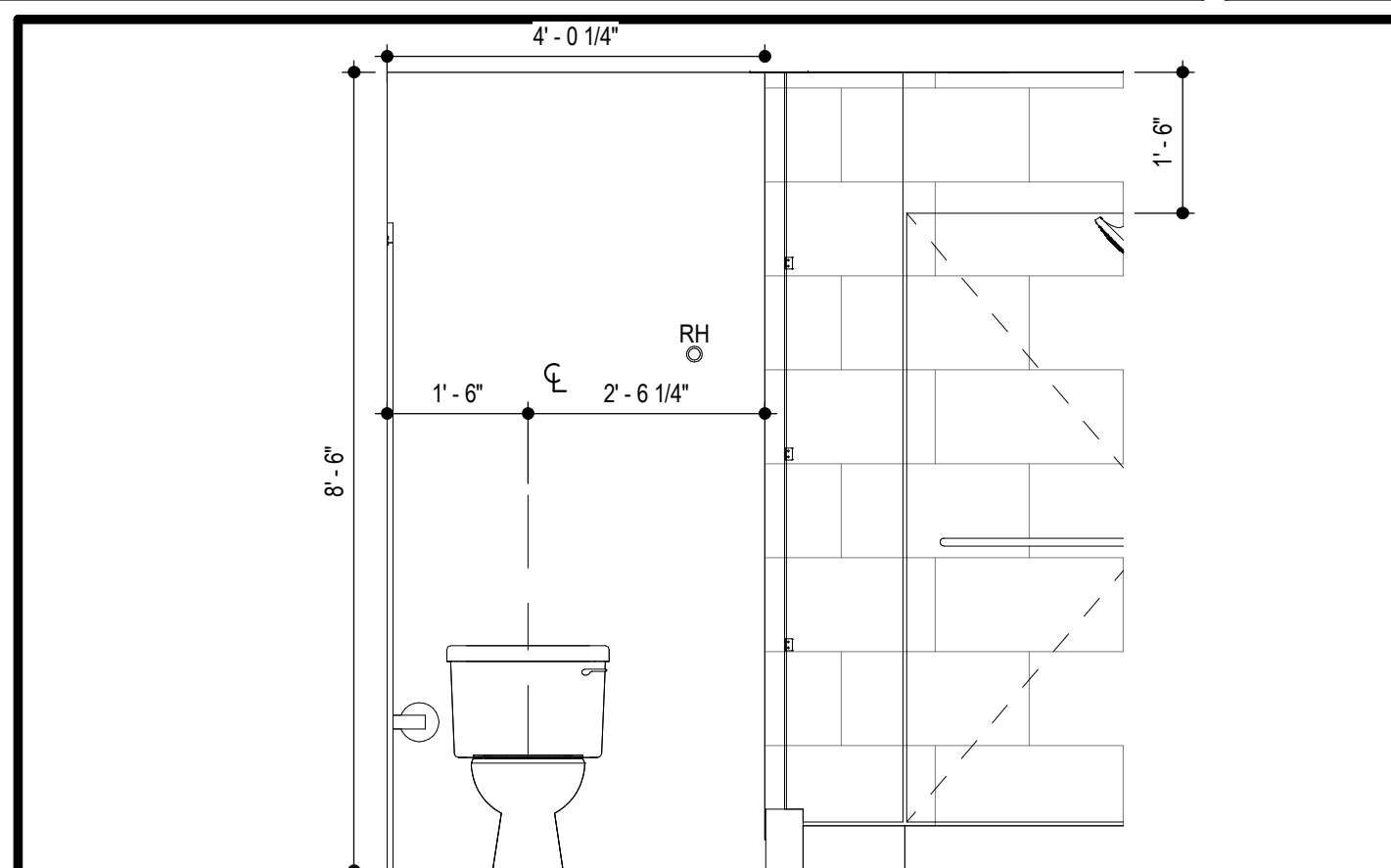
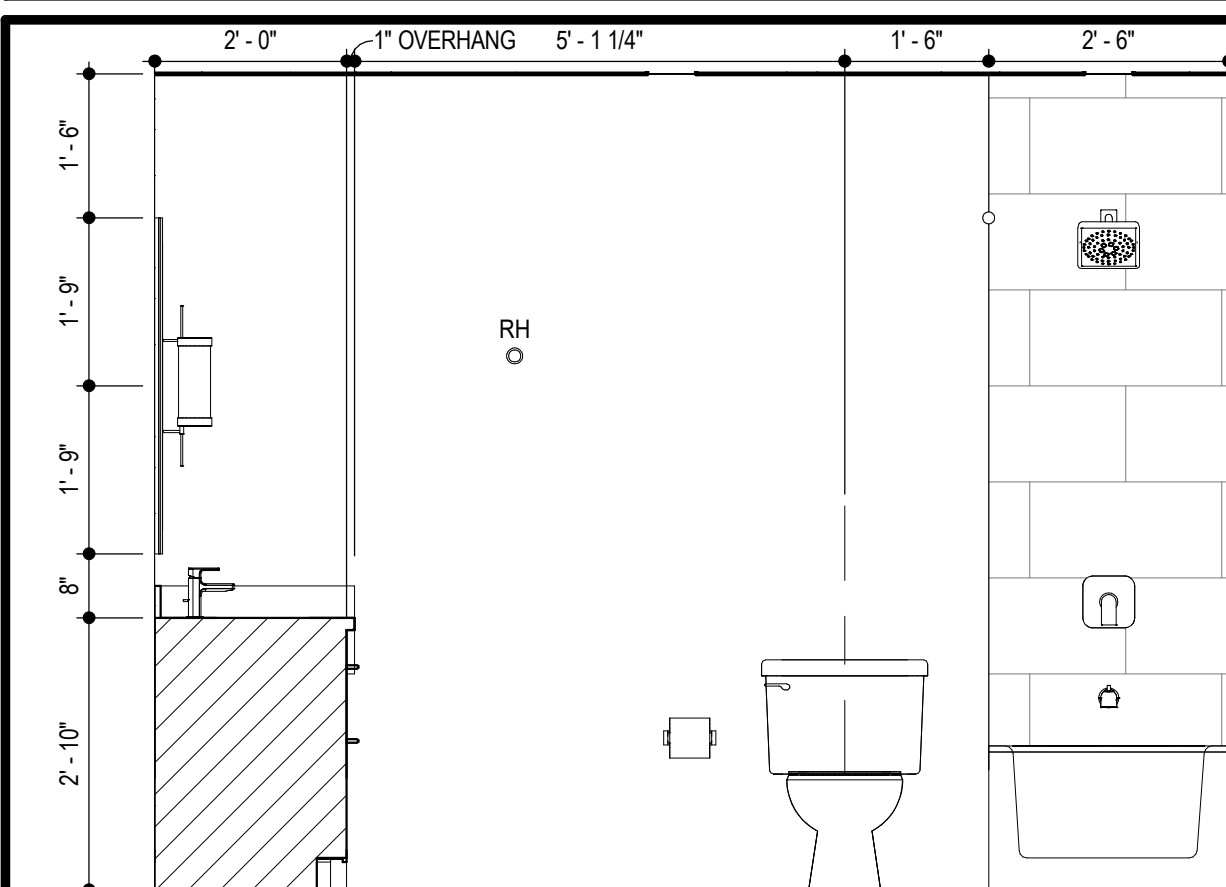
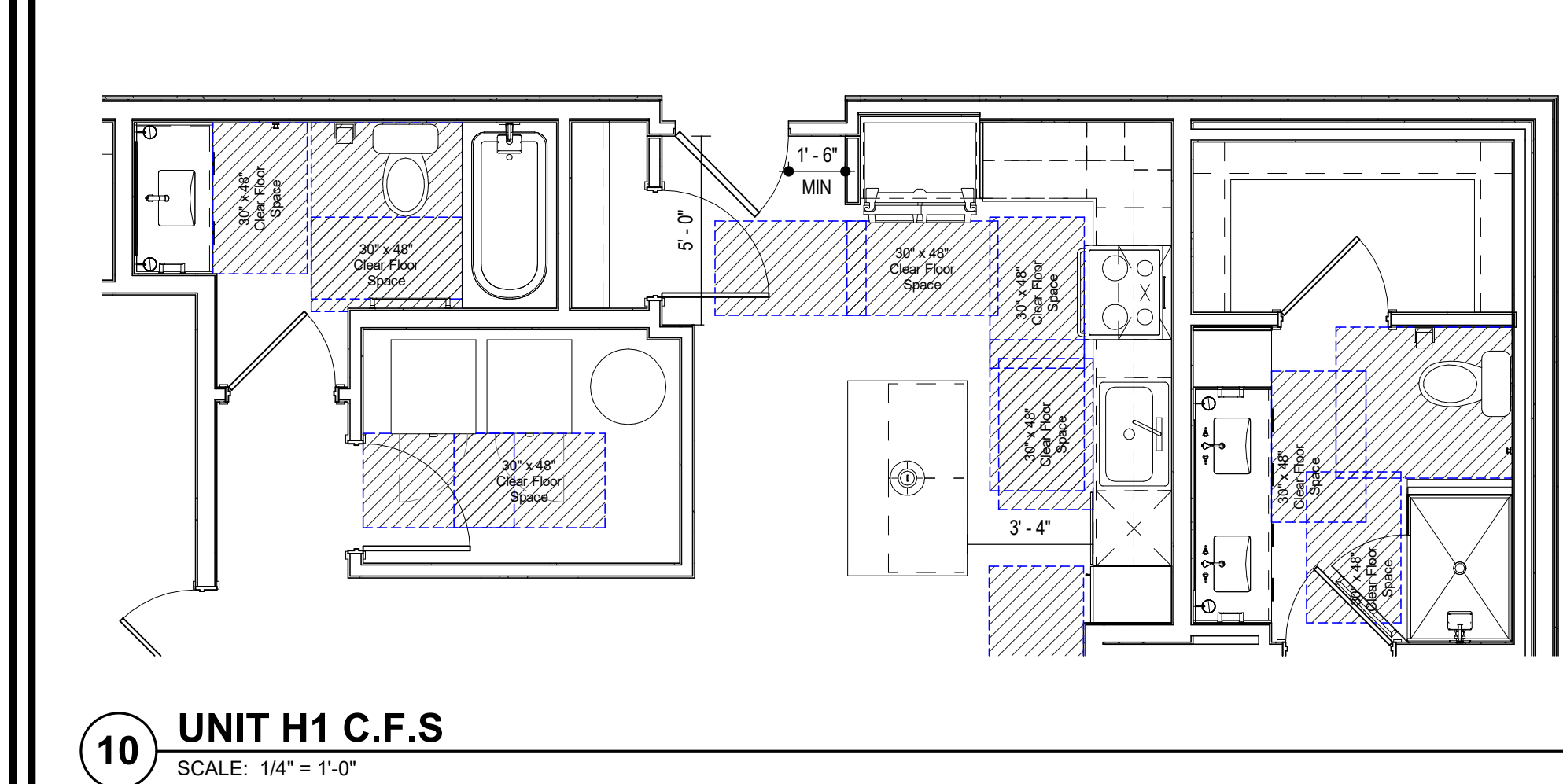
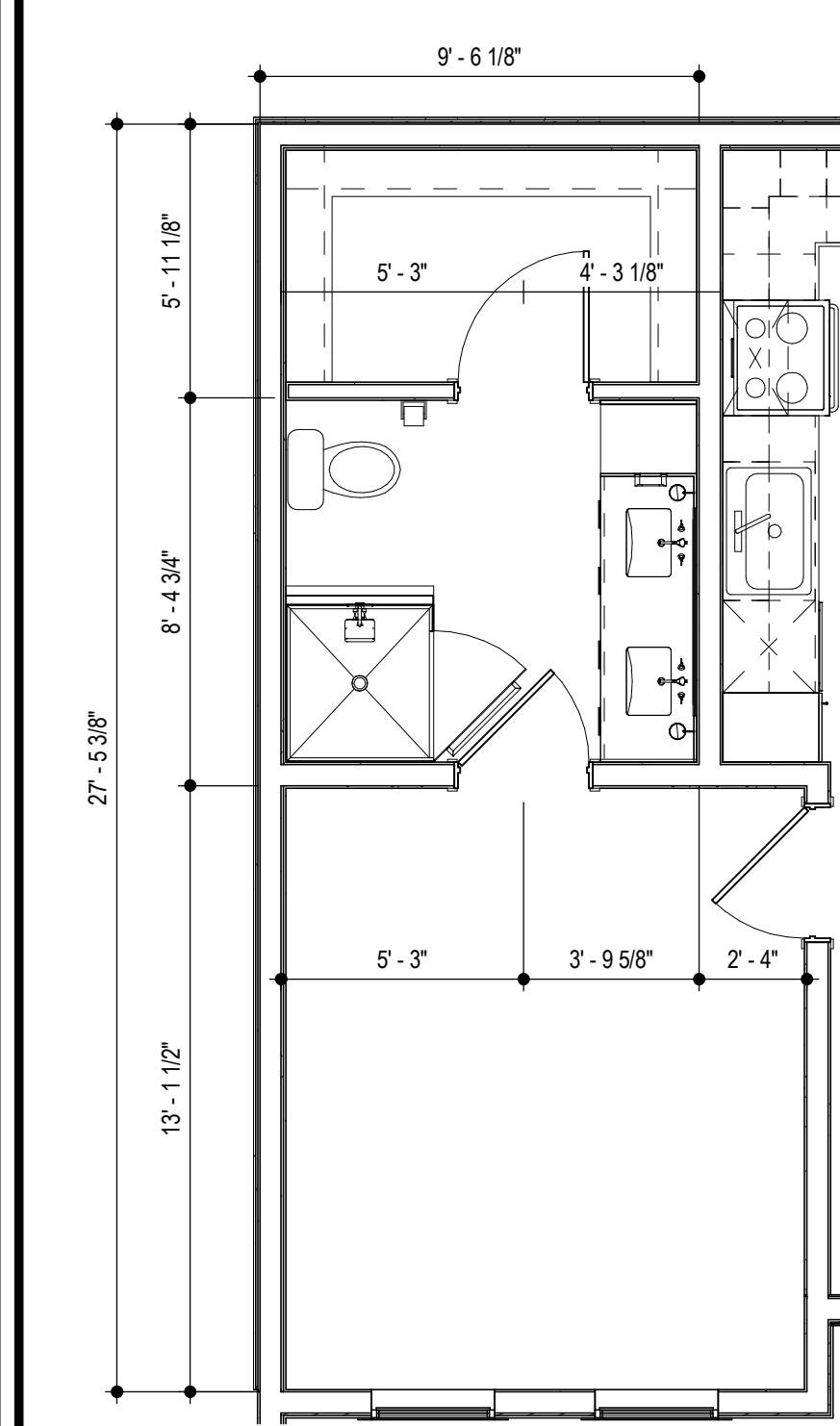
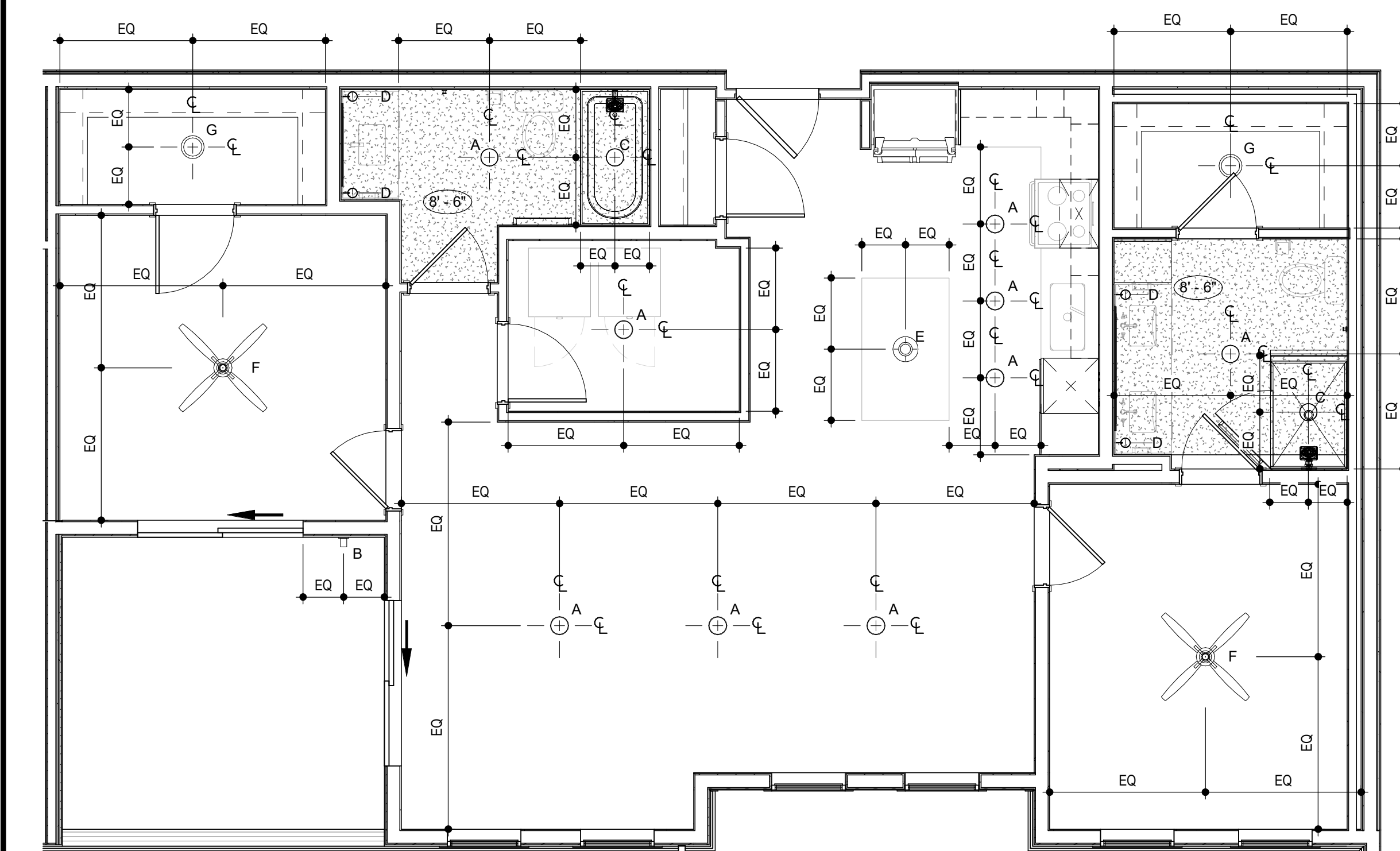
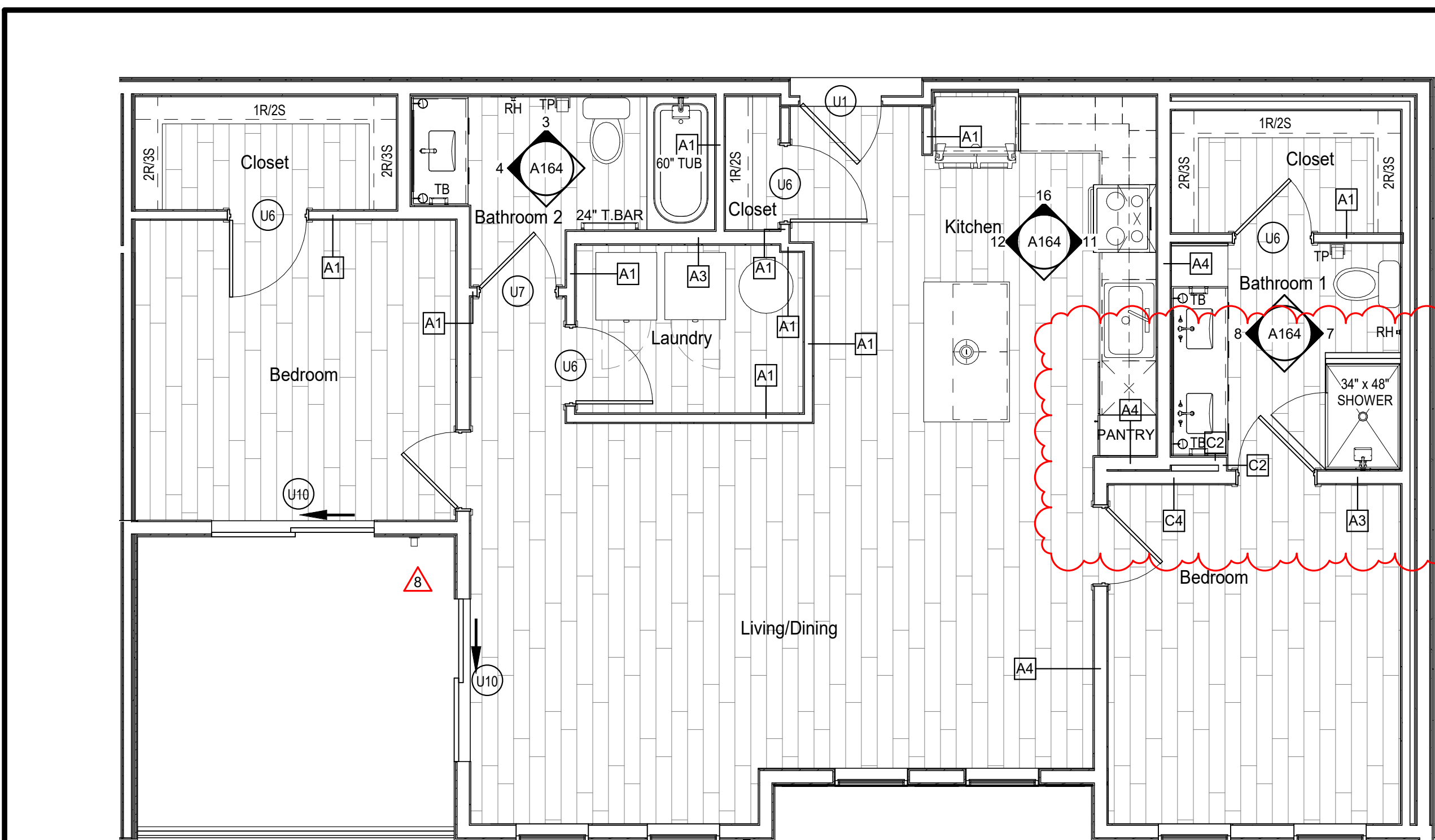
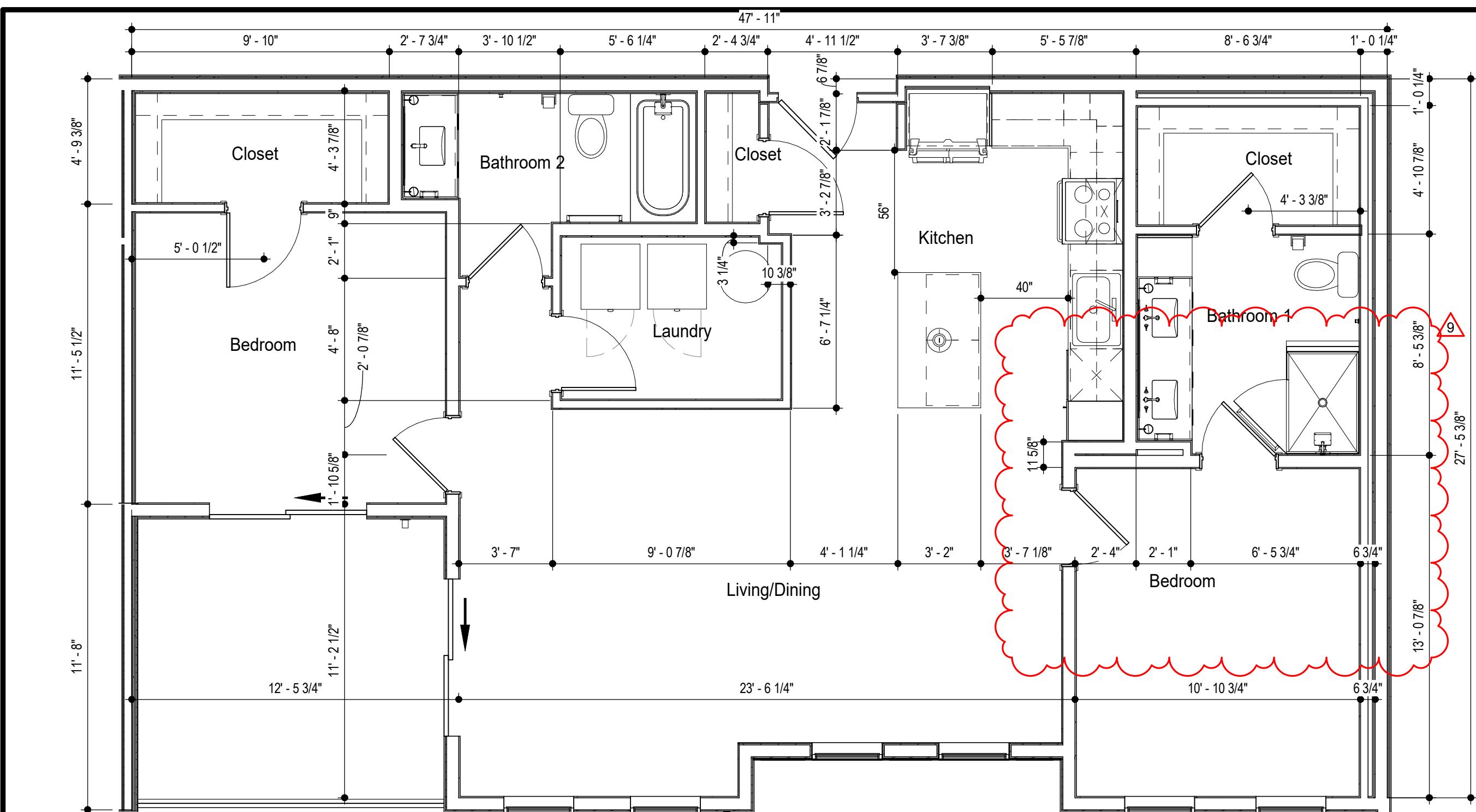
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7	REVISION 1	12.20.19
8	REVISION 3	4.3.2020
9	REVISION 4	4.24.2020


DWG BY: Author

TRi PROJECT NO.: 18-046

SHEET NO.: A161

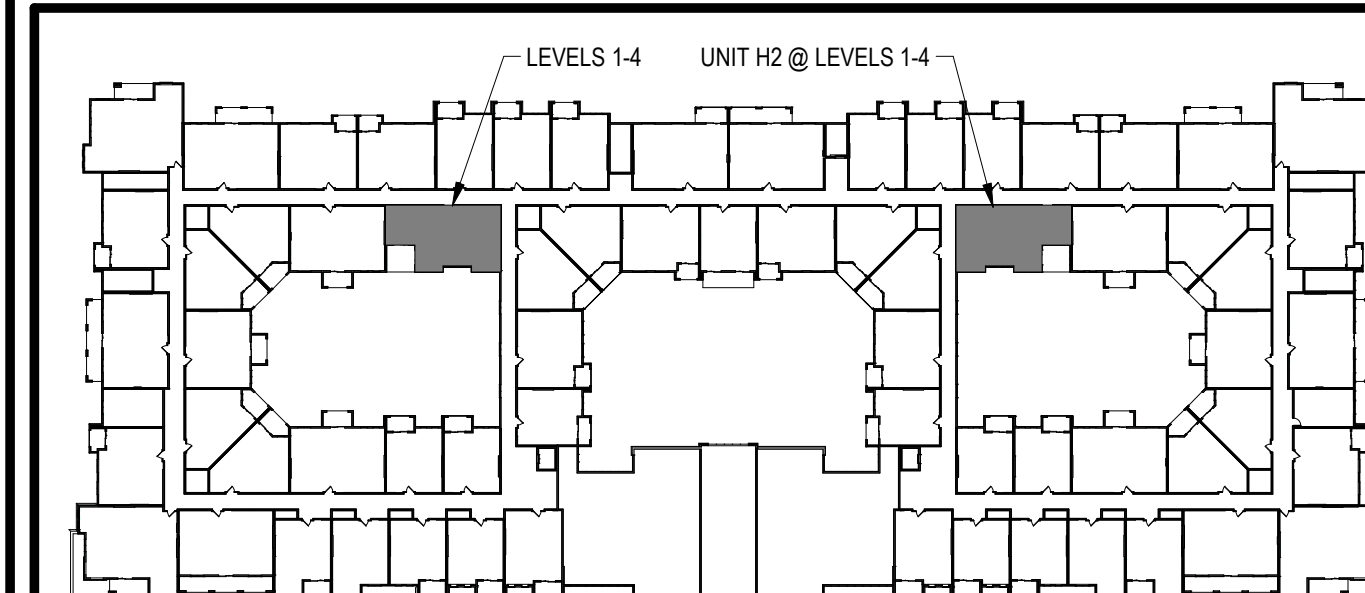
UNIT 'F1-TYPE A' PLANS & ELEVATIONS

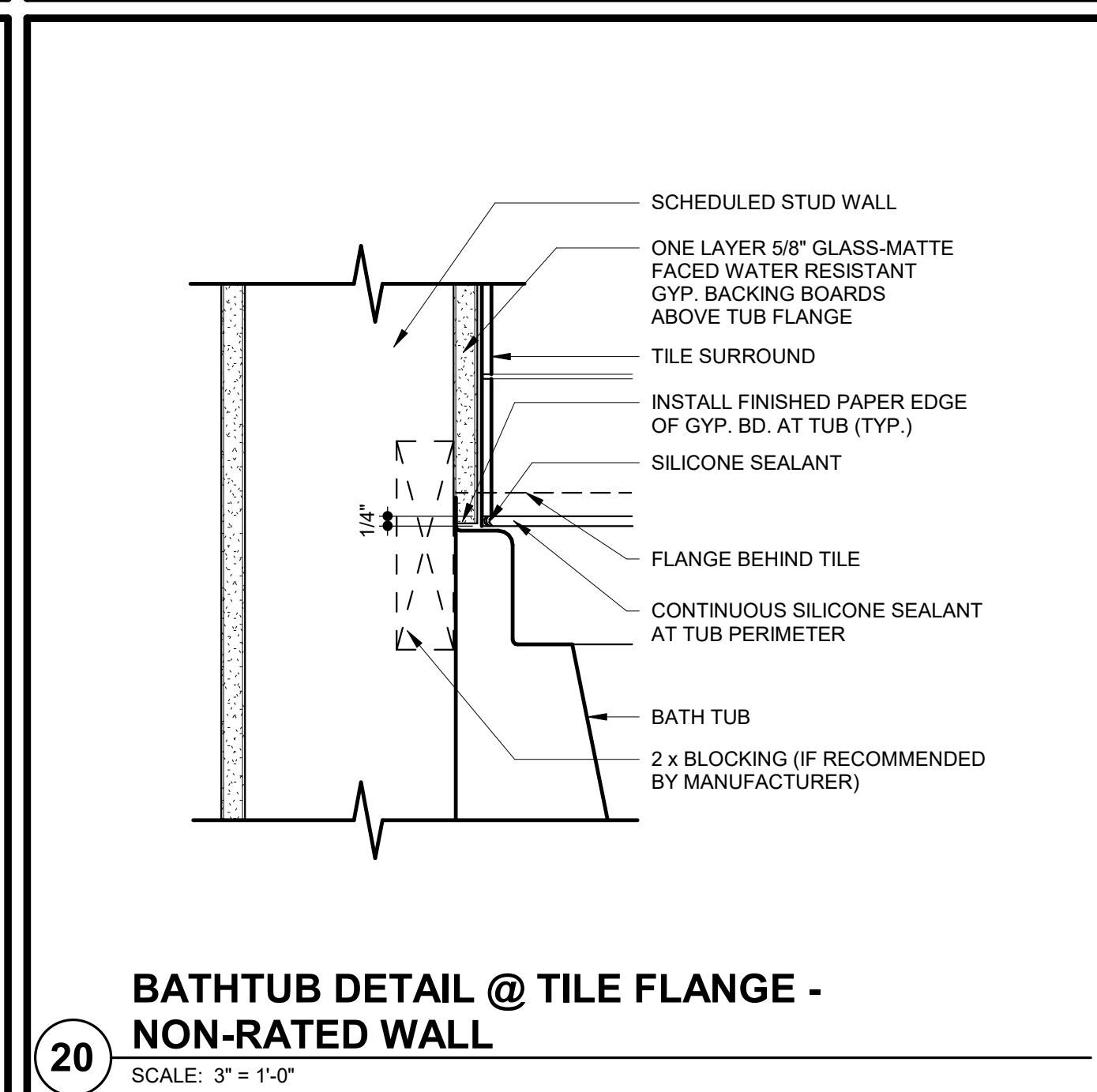
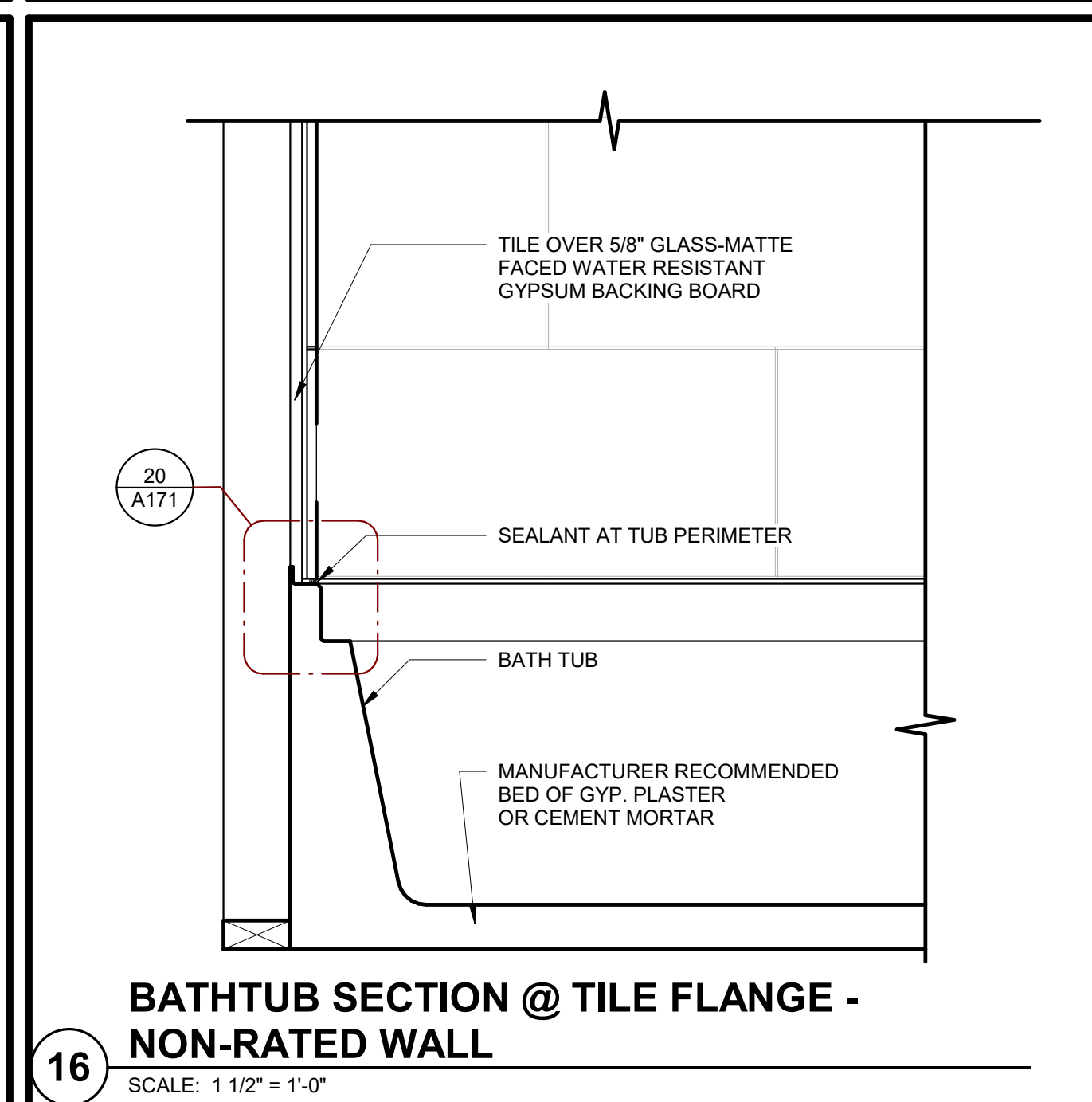
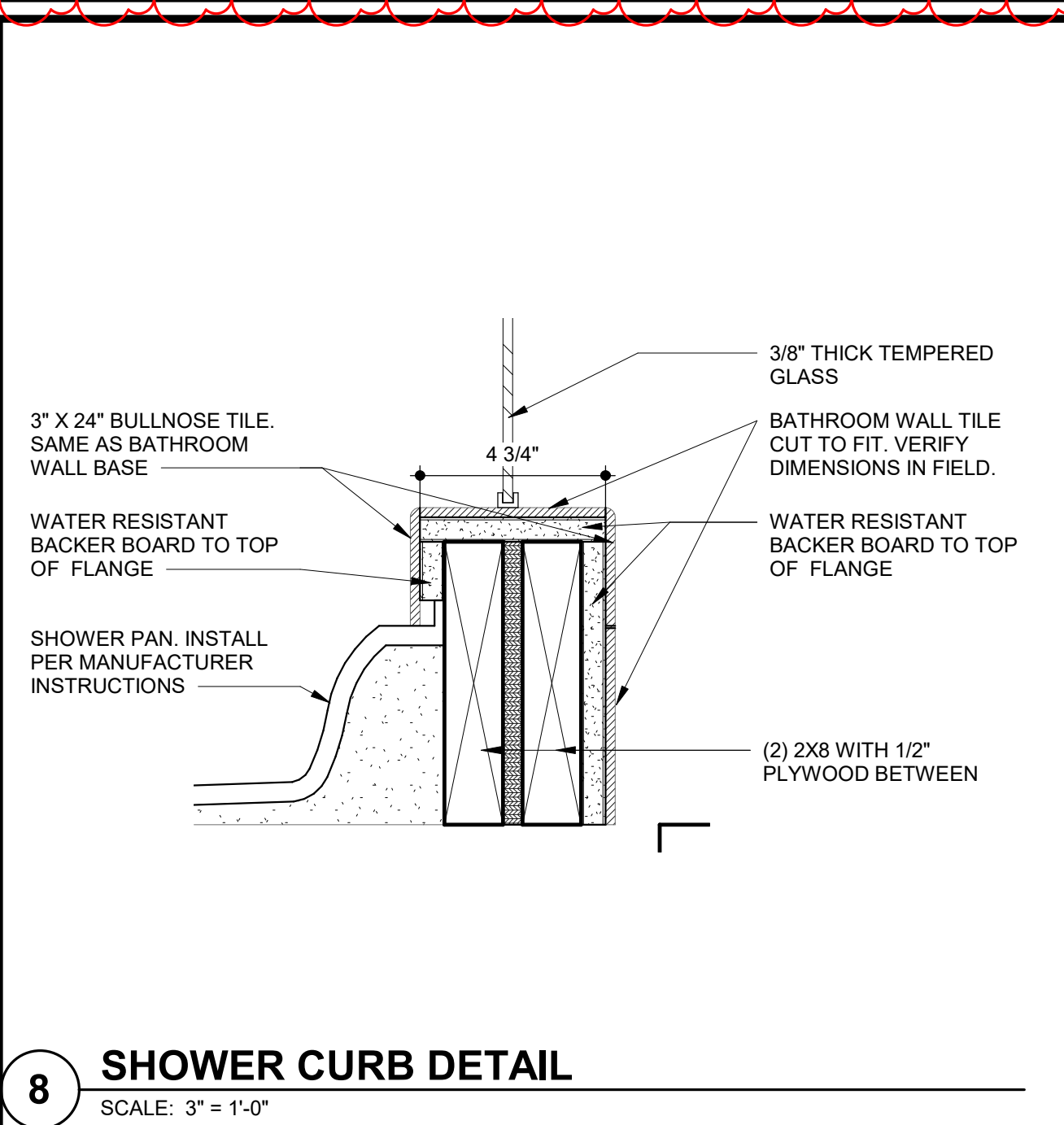
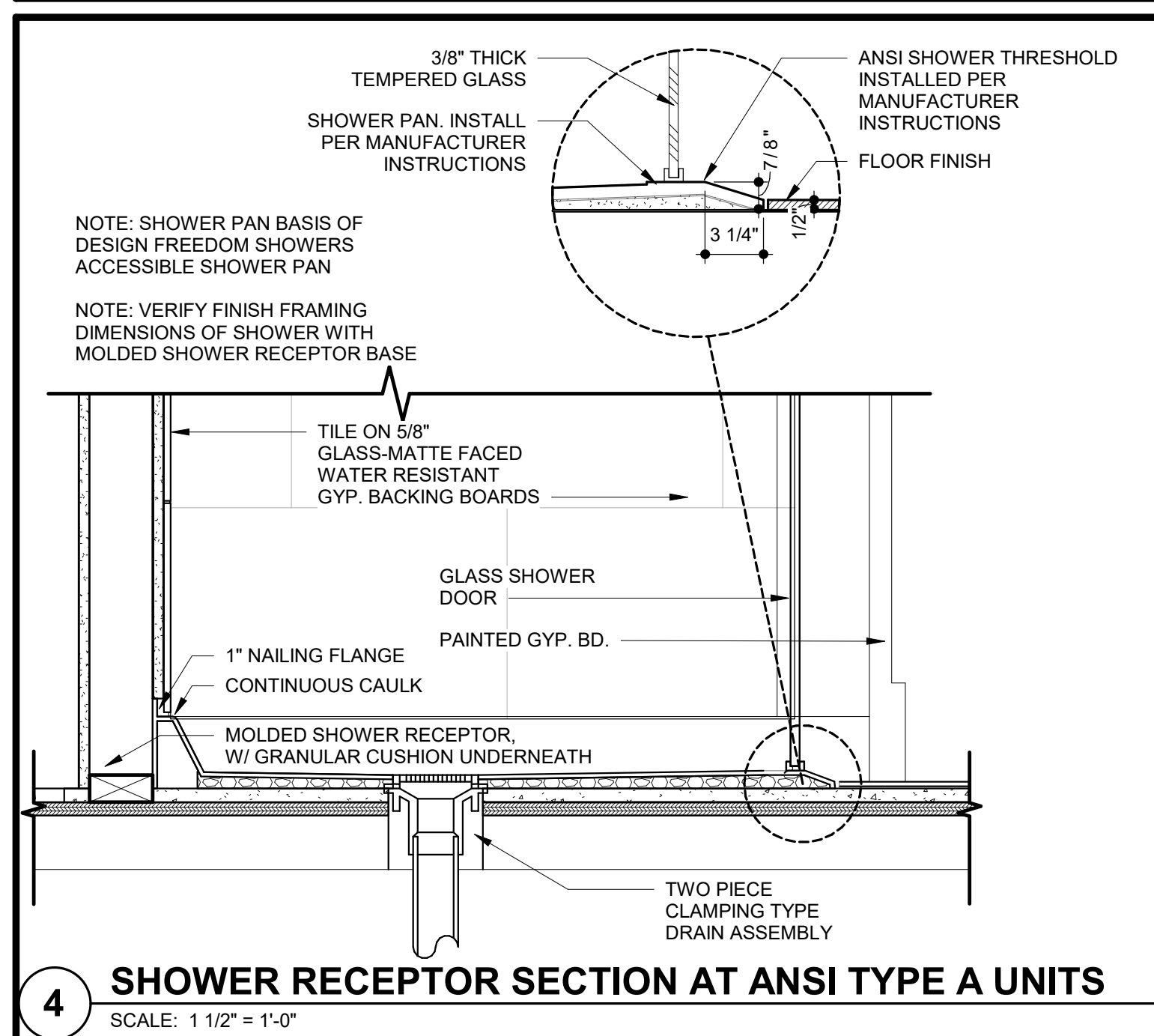
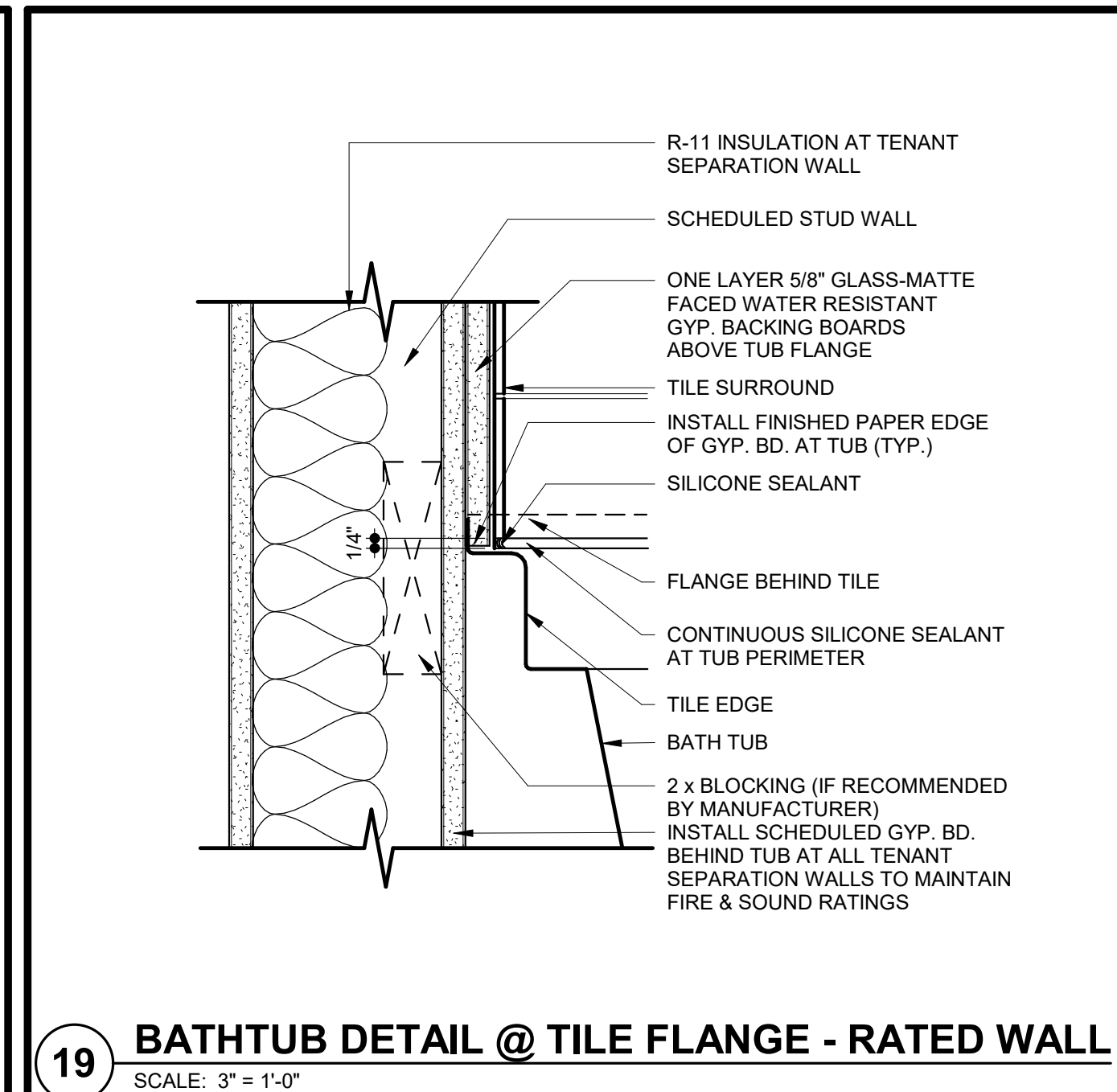
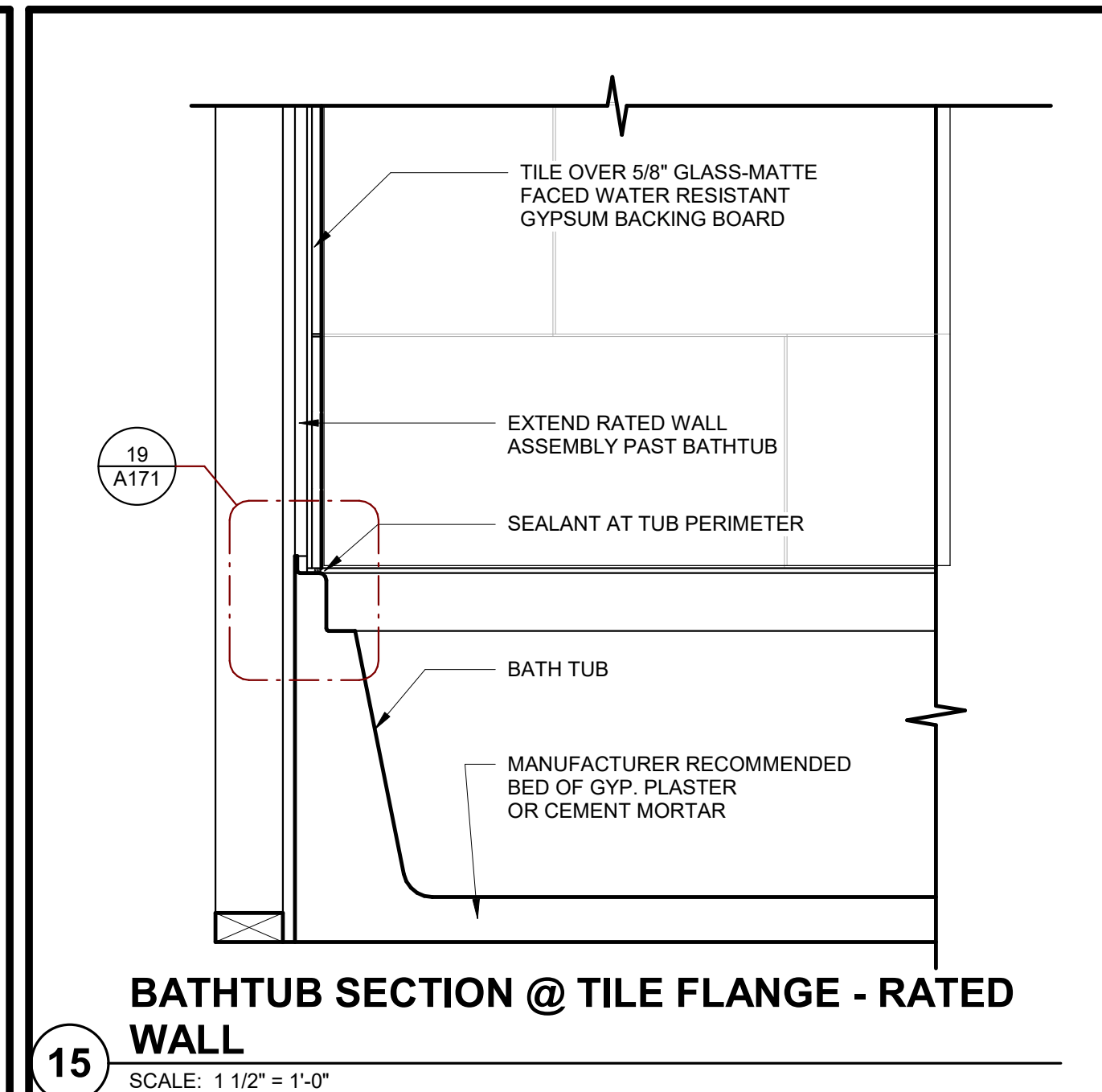
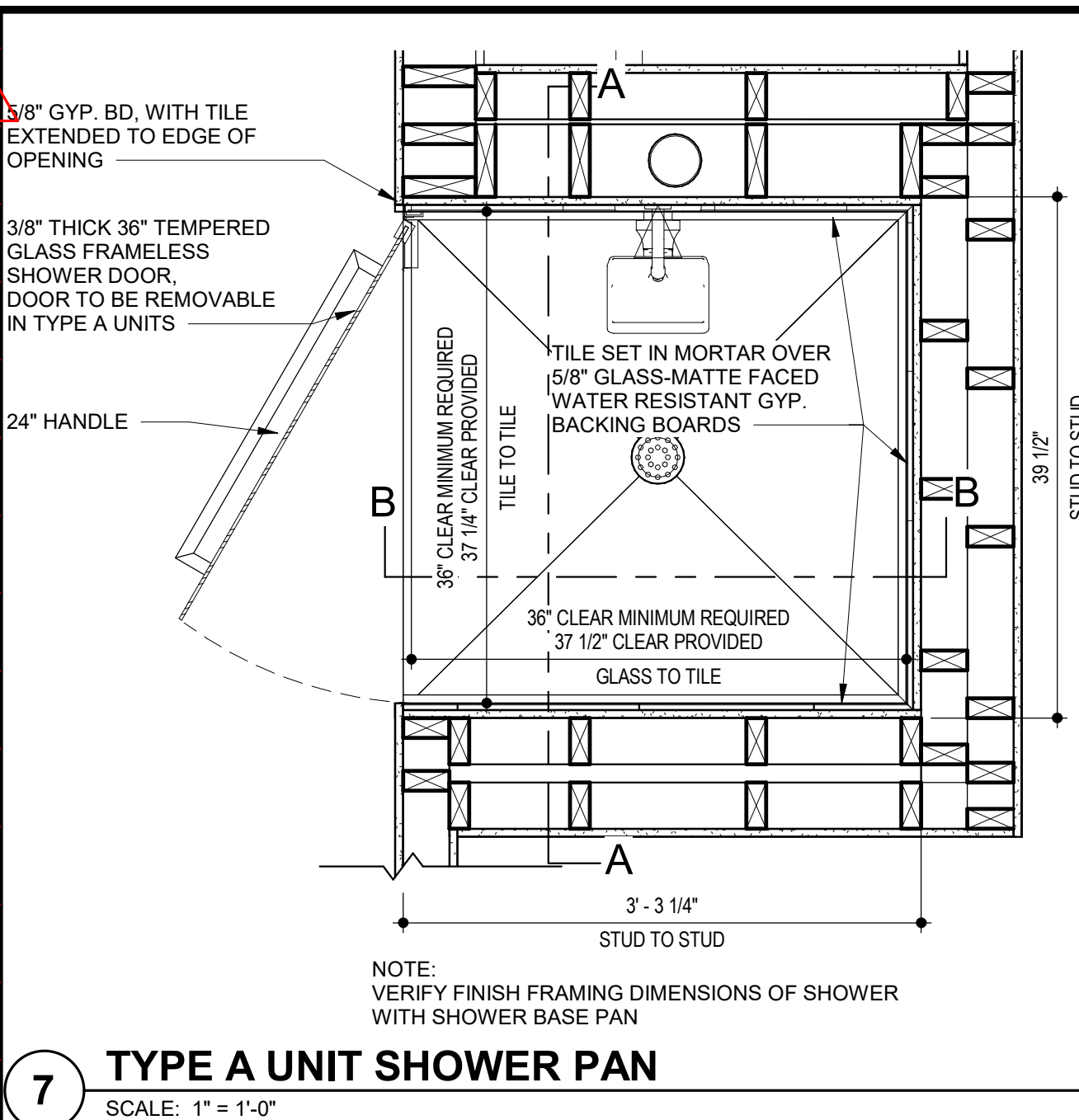
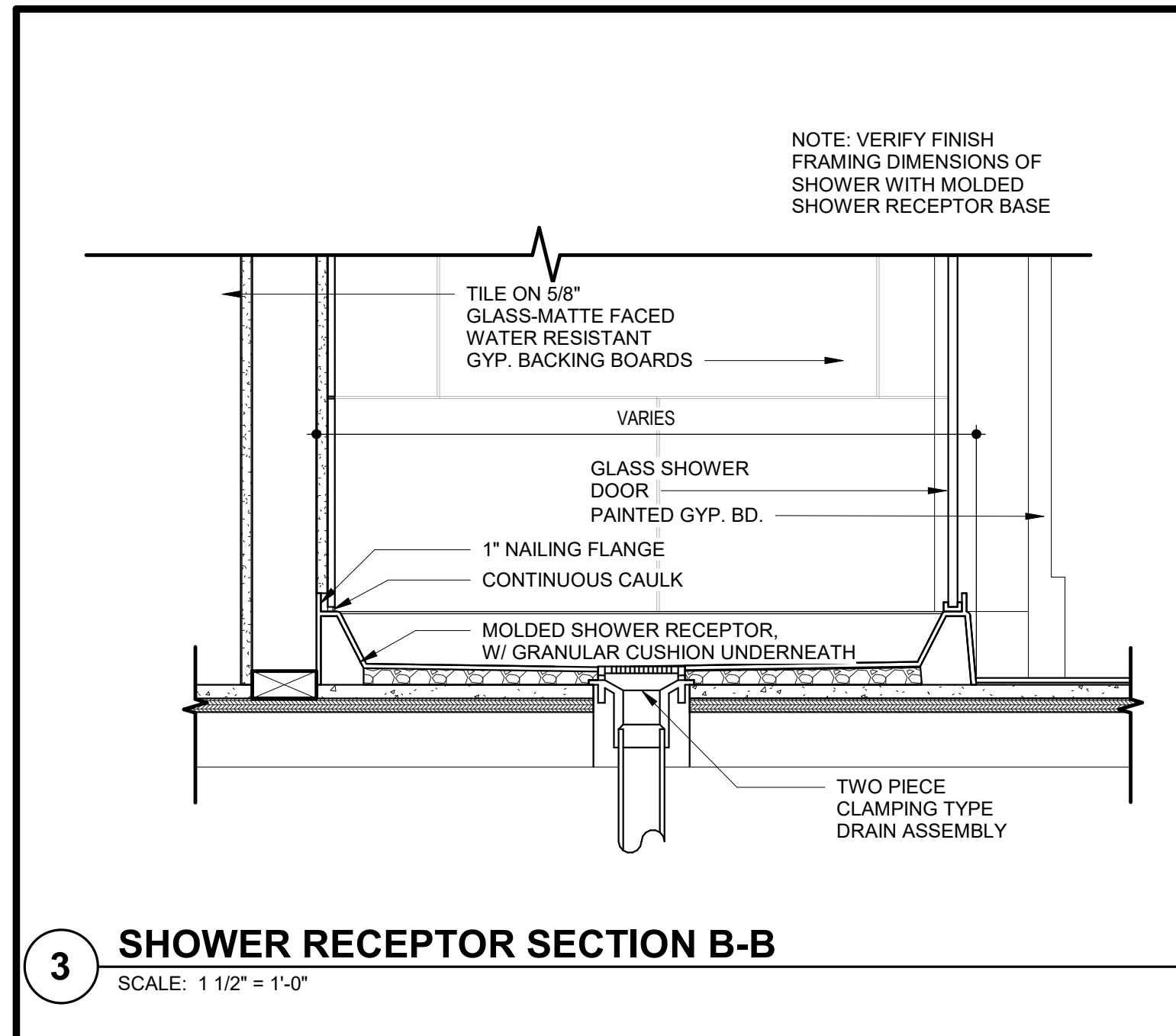
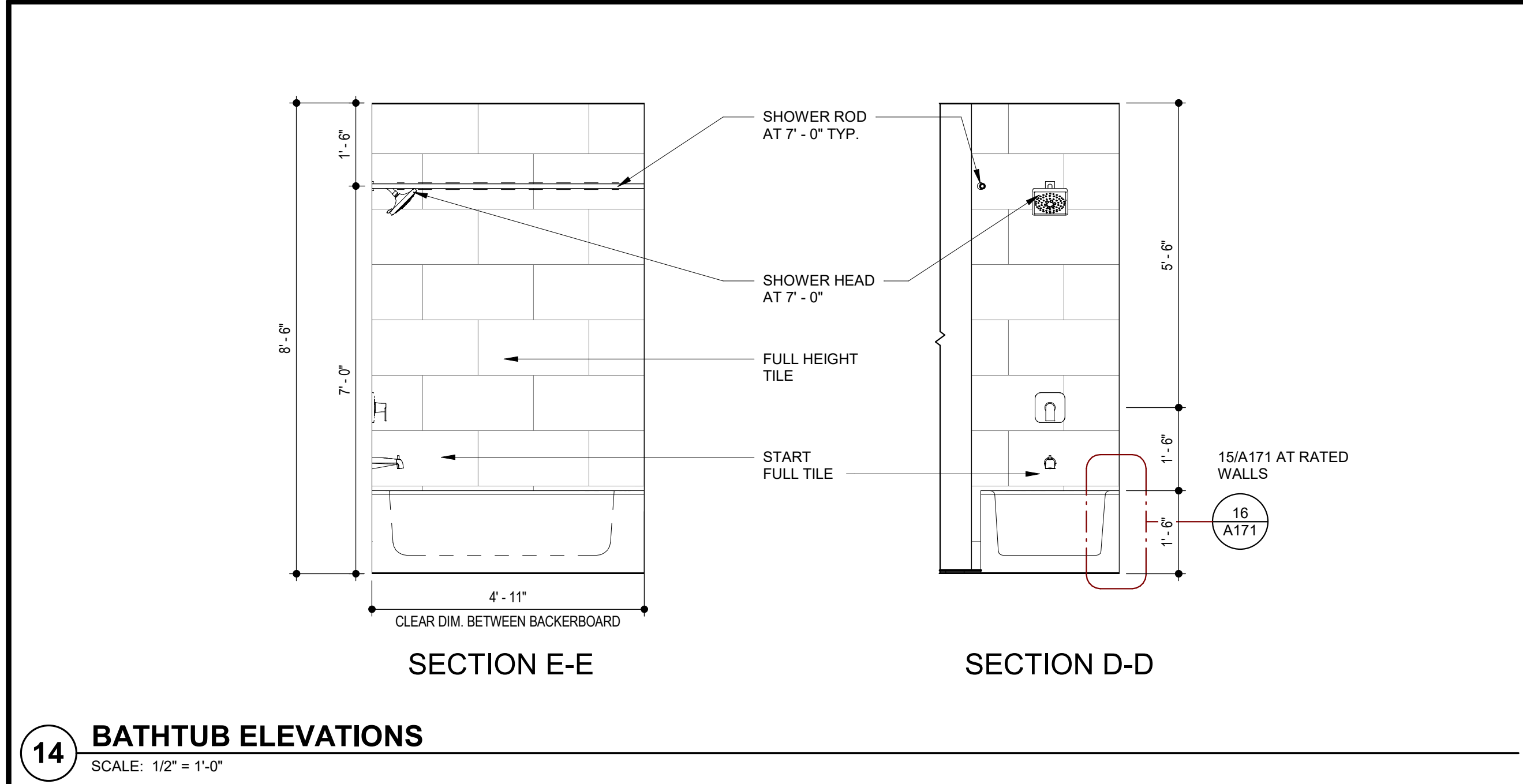
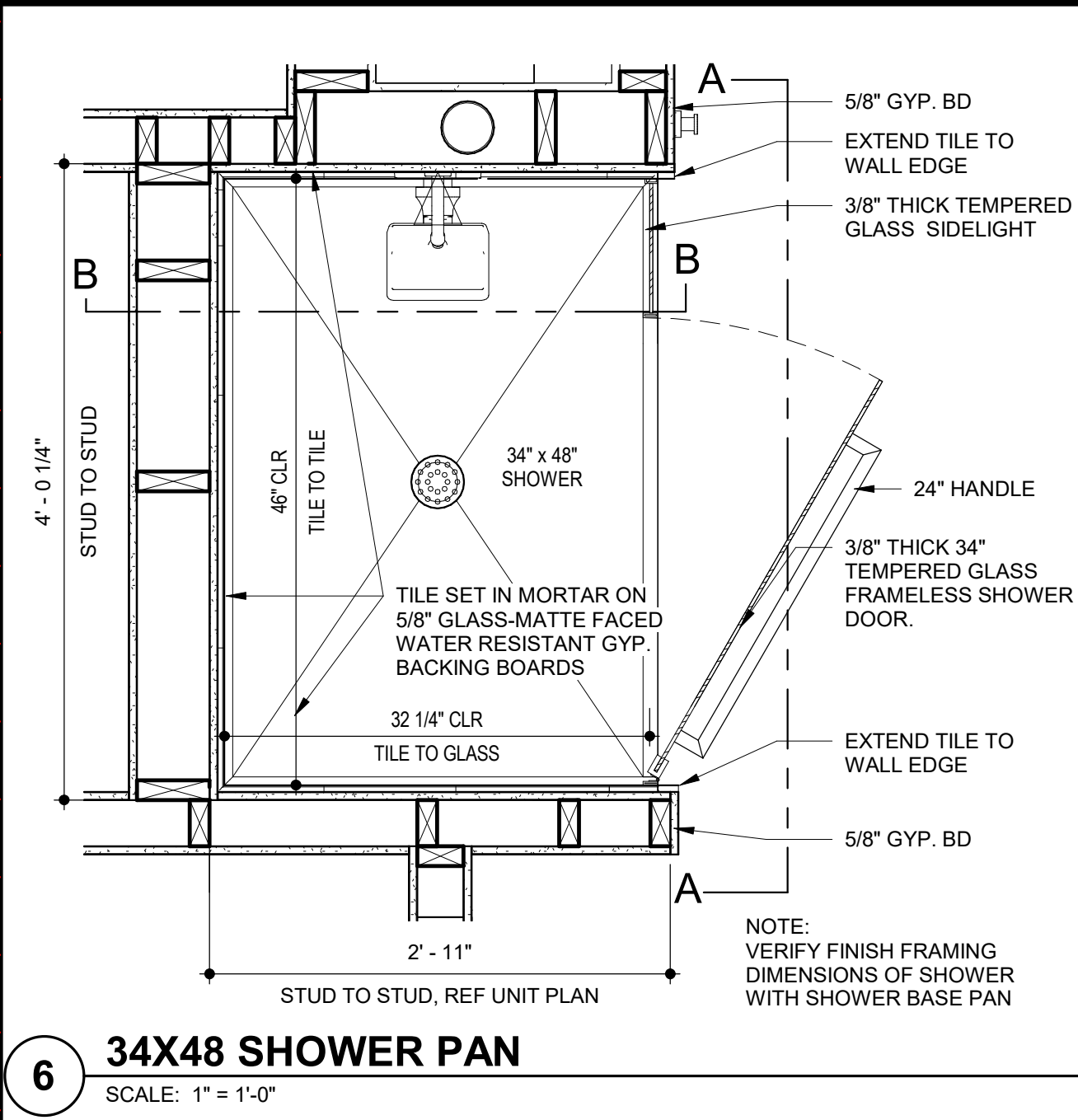
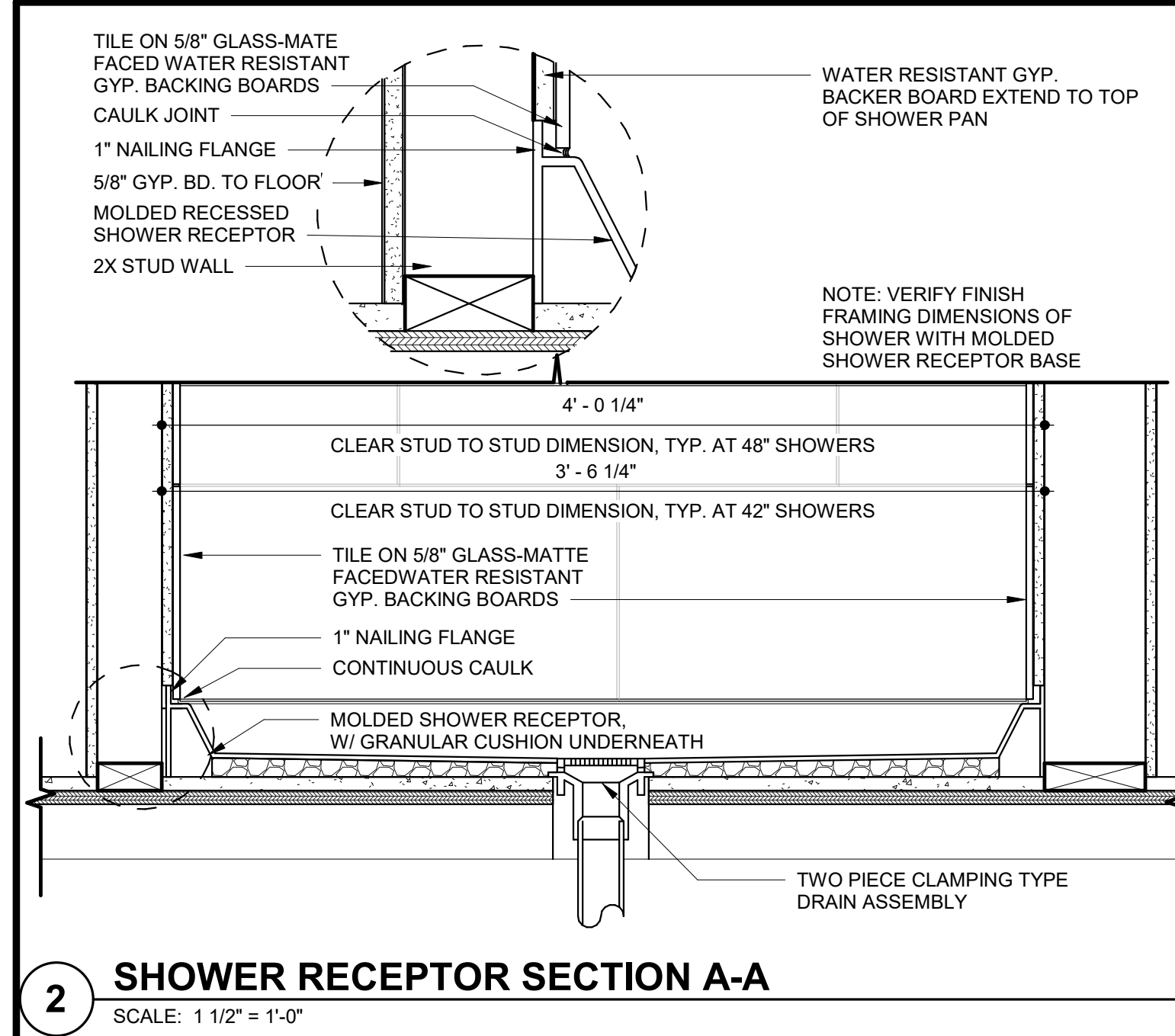
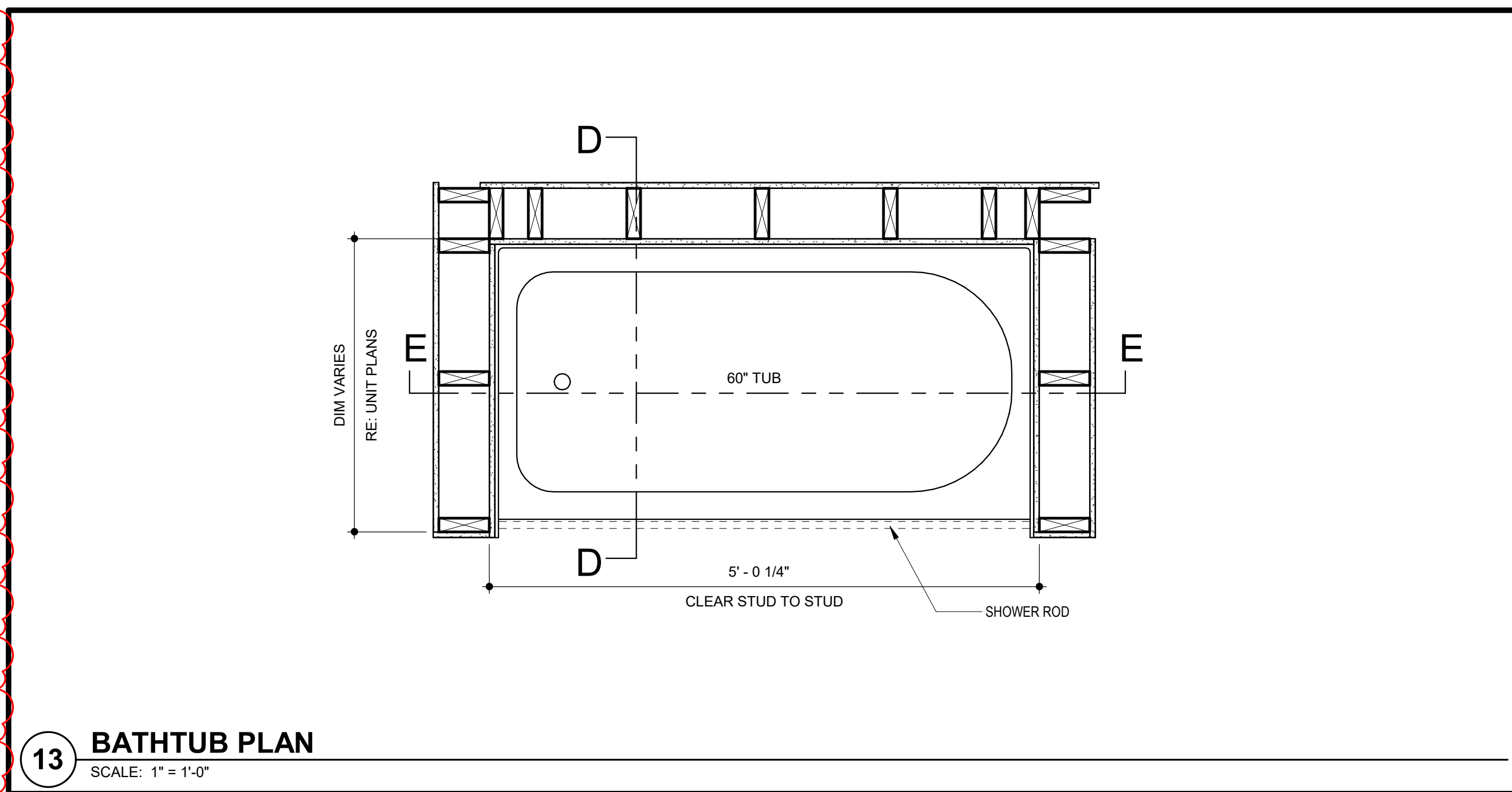
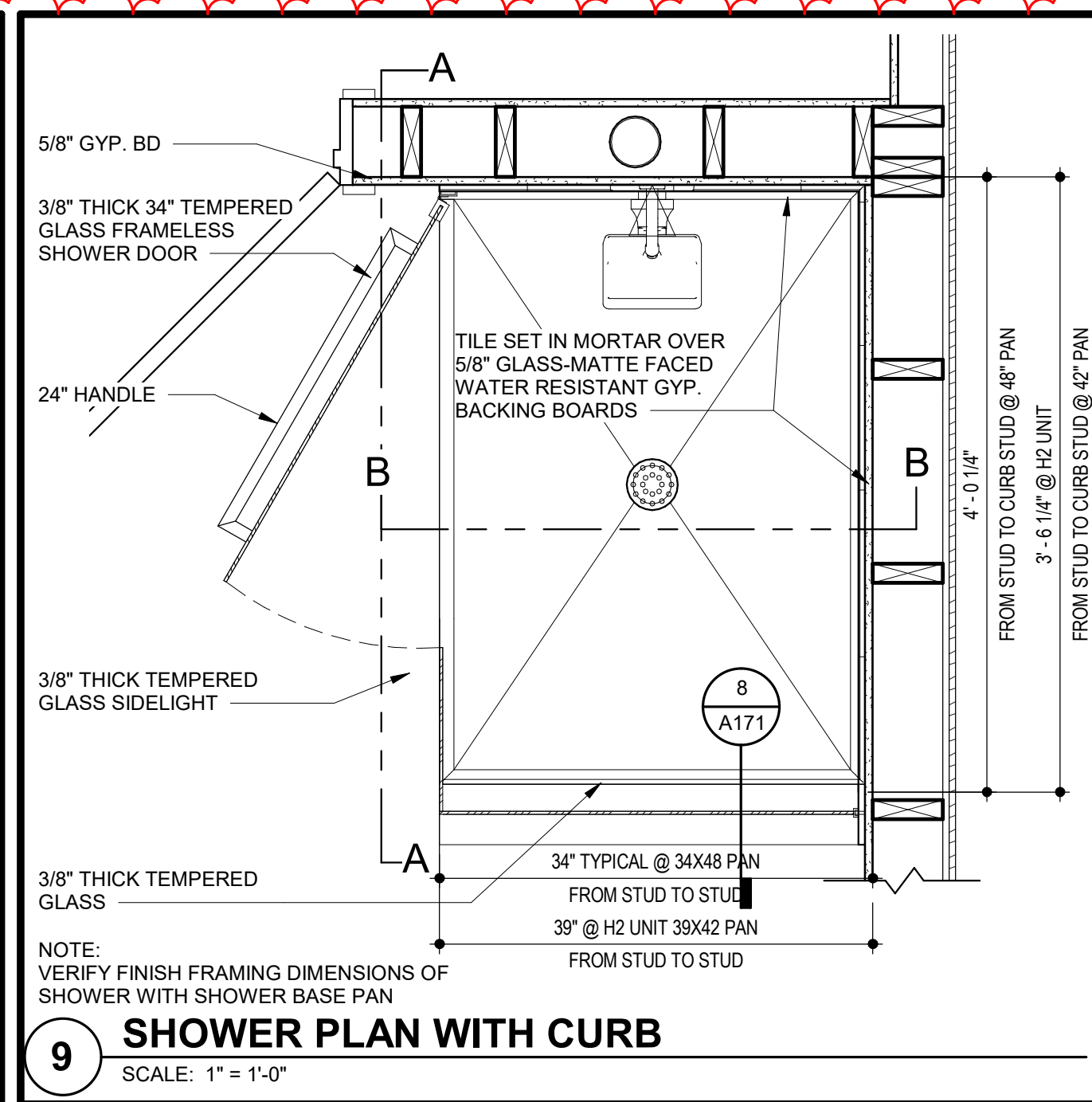
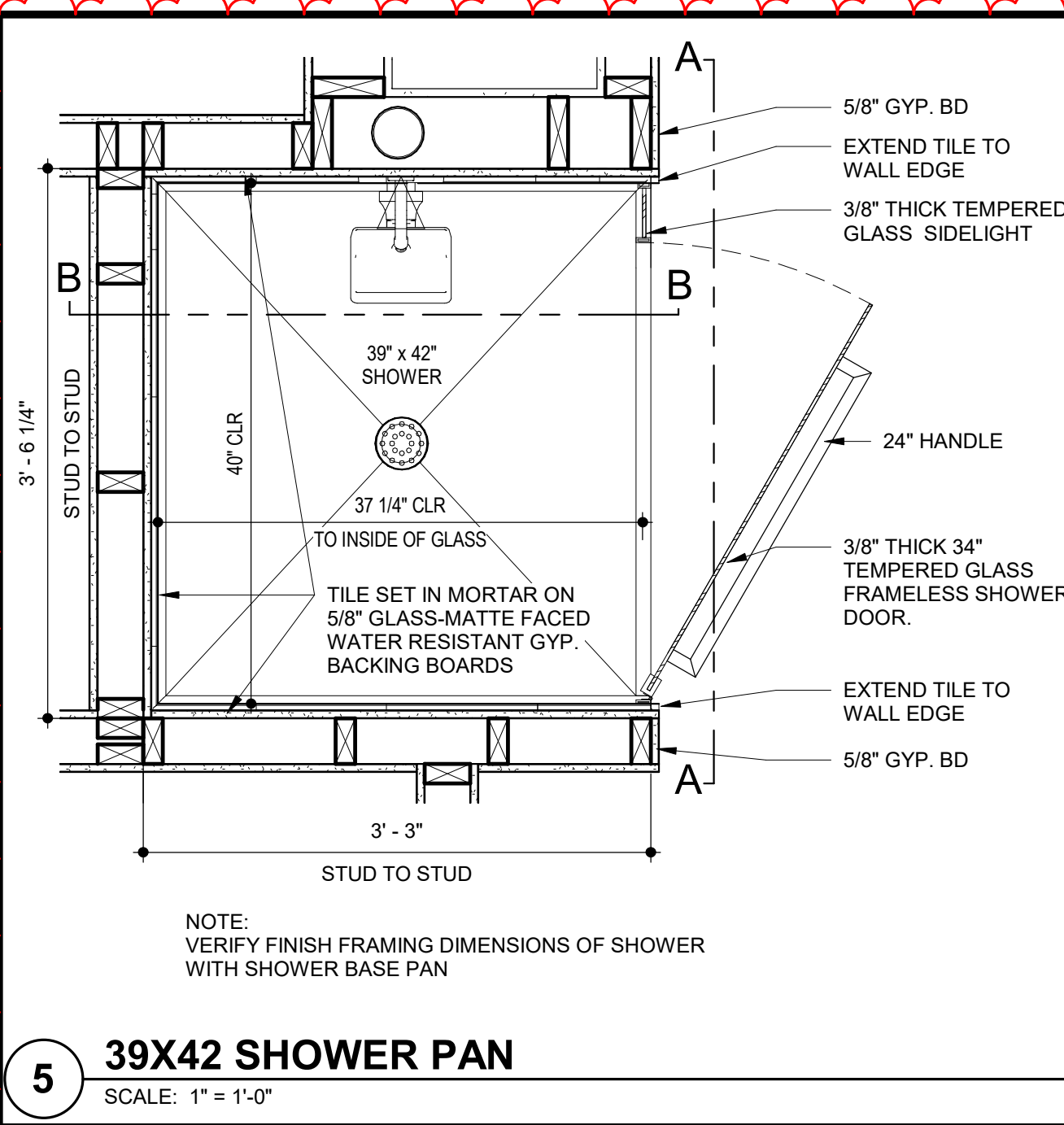
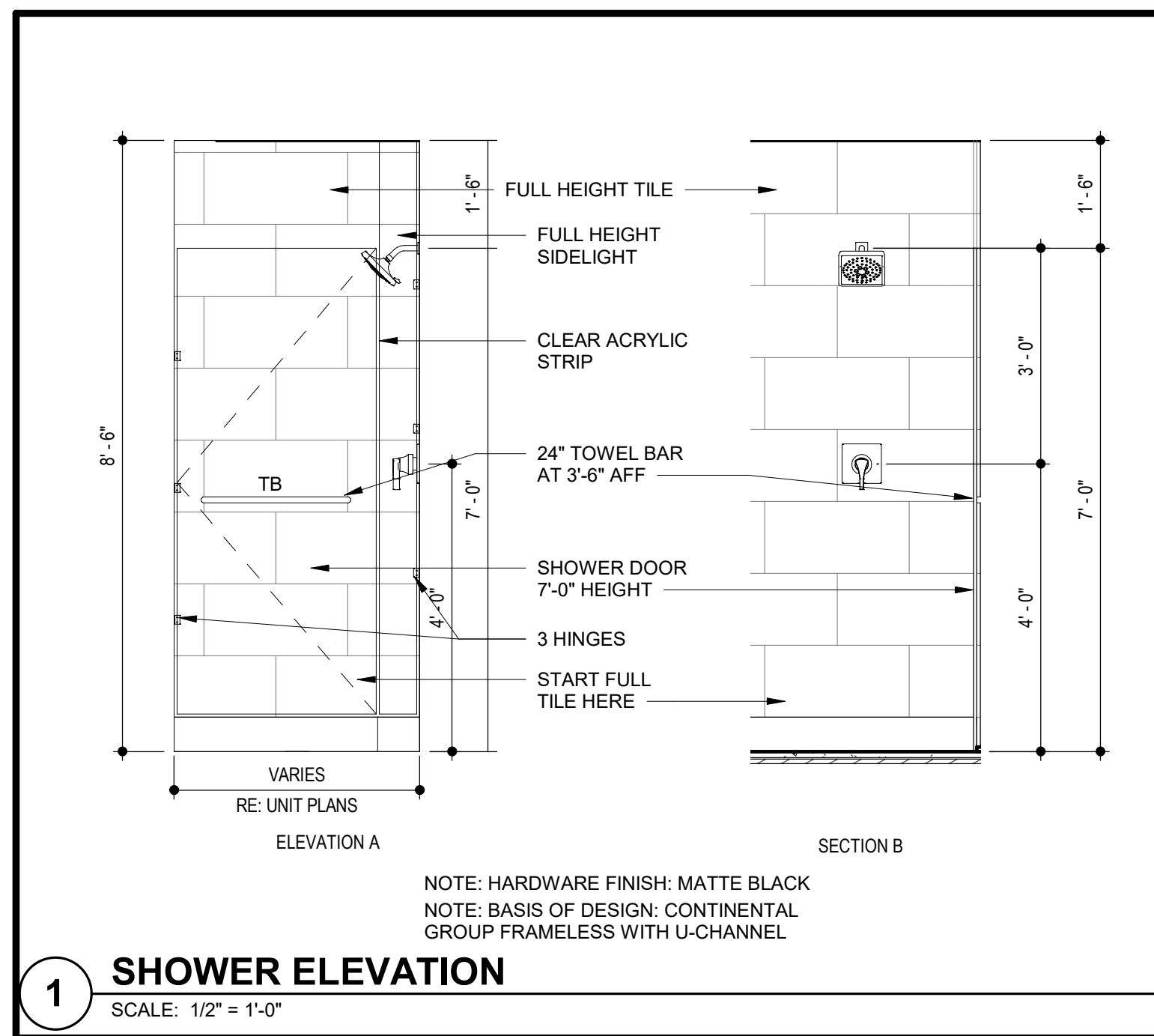


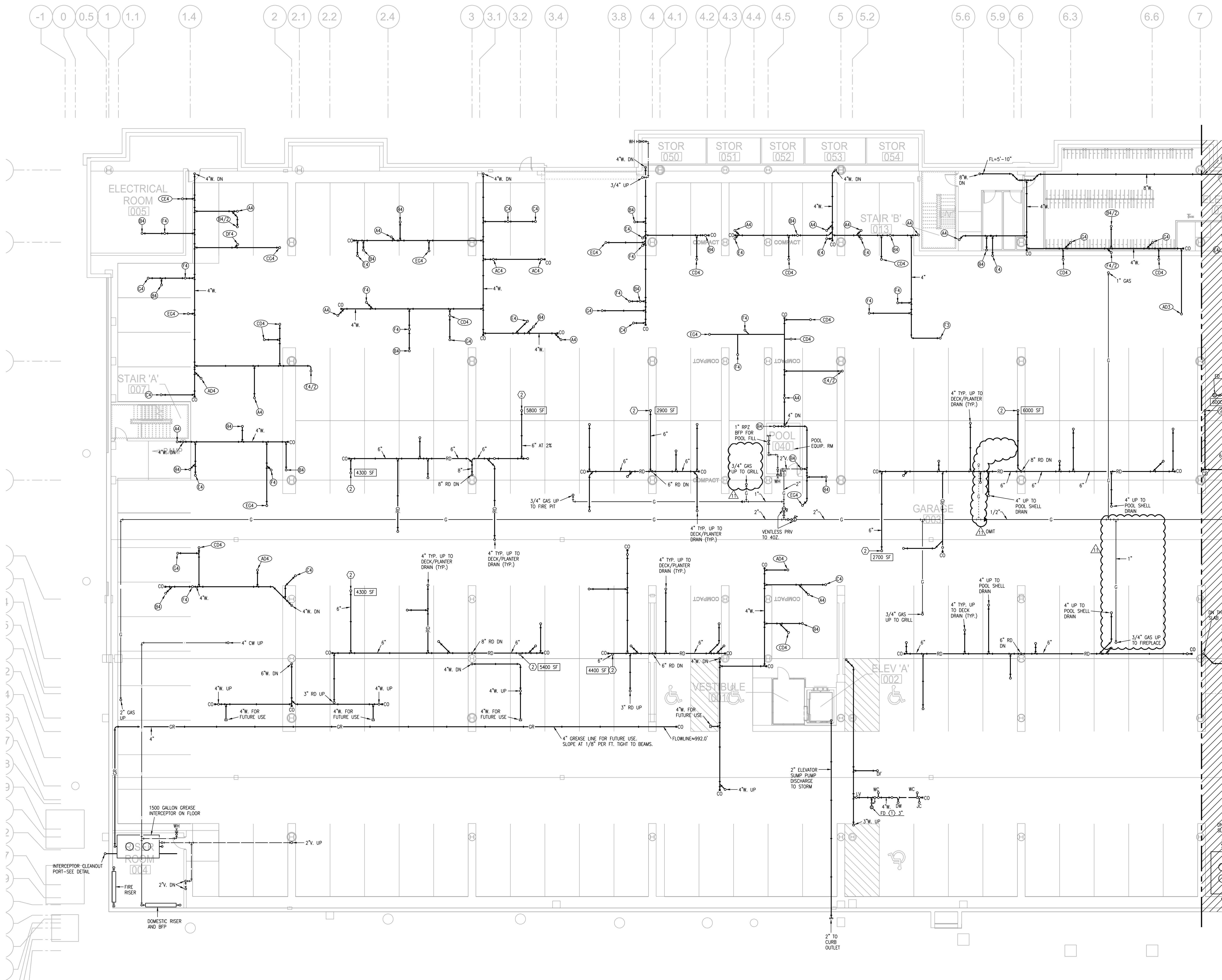
LIGHTING FIXTURE SCHEDULE			
LABEL	MANUFACTURER	DESCRIPTION/MODEL	FINISH
L1	NOT USED 		
B	ASTRO	OSLO 100	TEXTURED BLACK
E	HUDSON VALLEY LIGHTING GROUP	LAMBERT, #612-0B	OLD BRONZE
A	TBD	7 1/2" LED DISK FIXTURE	WHITE TRIM
C	TBD	7 1/2" LED DISK FIXTURE	WHITE TRIM
F	MINIKA AIRE	AVIATION LED CEILING FAN, #F853L-BN/C/L	COAL
G2	TBD	WALL MOUNTED LED UTILITY LIGHT	WHITE TRIM
G	TBD	11" SURFACE MOUNTED DOME FIXTURE	WHITE TRIM
D	CUSTOM	MATCH STEFFAN OUTDOOR WALL SCONCE	AGED IRON

GENERAL UNIT NOTES

1. ALL WALL DIMENSIONS ARE TO STUD.
2. UNIT INTERIOR WALL TYPES ARE A1 (TYPICAL) UNLESS OTHERWISE NOTED.
3. REFER TO SHEET A011 FOR TYPICAL WALL ASSEMBLIES.
4. SHEET A011 A017 FOR UNIT DETAILS, DIMENSIONS & A031 FOR DETAILS.
5. ALL INTERIOR DOORS SHALL ALLOW 3/4" AIRFLOW FOR RETURN AT BOTTOM OF DOOR.
6. REFER TO MEP DWGS FOR LOCATION OF SMOKE, CO, & FIRE DETECTORS.
7. SHEET A011 A017 FOR WINDOW DETAILS, DIMENSIONS & A031 FOR DETAILS.
8. ALL EXTERIOR WINDOWS SHALL MEET ALL FEDERAL, STATE AND ANY LOCAL GLAZING STANDARDS ALL SLIDING GLASS DOORS SHALL HAVE PIN LOCKS.
9. ALL EXTERIOR SHADES SHALL BE A MINIMUM ONE OPENING WHICH MEETS EGRESS REQUIREMENTS, 20" NET CLEAR HEIGHT, 24" NET CLEAR HEIGHT, 5' SOTF, NET CLEAR OPENABLE AREA AND SHALL BE 4' MAXIMUM FROM FINISH FLOOR TO TOP OF SILL AS REQUIRED PER IBC-2009 SECTION 1029.
10. ALL EXTERIOR WALLS SHALL BE CONCRETE OR CMU.
11. PROVIDE MOISTURE RESISTANT GYPSUM DRYWALL IN ALL UNIT BATHROOM WALLS AND OTHER UNIT WET WALLS.
12. PROVIDE SOUND BATT INS IN ALL CORRIDOR AND TENANT SEPARATION WALLS.
13. PROVIDE SOUND INSULATION IN WALLS AROUND ALL LAUNDRY ROOMS, PLUMBING, AND ALL HVAC CLOSETS.
14. REFER TO STRUCTURAL DRAWINGS FOR SHEARWALL AND BEARING WALL LOCATIONS.
15. VERTICAL MECHANICAL CHASING WITHIN UNITS ARE TO BE FIRE STOPPED PER LOCAL REQUIREMENTS.
16. WALL ANGLES ARE 15° TO HORIZONTAL & VERTICAL DIRECTIONS, UNO TYP AT ALL UNITS.
17. ALL DIMENSIONS AND NOTES STATING "CLEAR" ARE FROM FACE OF FINISH.
18. REFER TO A003 & A004 FOR ALL INTERIOR FAIR HOUSING ACCT AND OTHER ACCESSIBILITY REQUIREMENTS.
19. ALL TOWEL BARS ARE TO BE MOUNTED AT 54" A.F.F. ROBE HOOKS TO BE MOUNTED AT 66", TOWEL RINGS TO BE MOUNTED 1" ABOVE COUNTER HEIGHT, AND TOILET PAPER DISPENSERS AT 18" A.F.F. UNLESS NOTED OTHERWISE. TOWEL BARS AND ROBE HOOKS IN TYPE A UNITS TO BE MOUNTED 48" HIGH MAX.
20. INTERIOR ELEVATIONS ARE FOR SCHEMATIC CABINET LAYOUT ONLY. CONTRACTOR TO VERIFY ALL DIMENSIONS, MATERIALS, AND FINISHES TO FINISHER'S SHOP DRAWINGS.
21. VANITY MIRRORS TO BE 42" HIGH AND TO BE MOUNTED WITH THE BOTTOM OF THE REFLECTING SURFACE NO MORE THAN 4" A.F.F. IN ANY TYPE A UNITS.
22. PROVIDE FINISHING AND TRIM TO 105 C.M. TO 110 C.M. AT EACH KITCHEN UNDER THE SINK.
23. VERIFY ALL TUB WALL LENGTHS AND DIMENSIONS WITH ACTUAL TUB PROVIDED. CONTRACTOR TO COORDINATE FRAMING, TUB MANUFACTURER AND TUB DETAILS.
24. PROVIDE 1/2" RIGID POLYSTYRENE WALL INSULATION AT ALL PERIMETER OF GRAB BARS AS SHOWN ON A003, OR ALTERNATIVE MEANS OF REINFORCING THE CAVITY BETWEEN THE FIBERGLASS TUB AND THE WALL.
25. PROVIDE ARCHITECTURAL ELEVATION, MEP AND STRUCTURAL DRAWINGS FOR EXTERIOR FEATURES THAT MAY REQUIRE BLOCKING OR OTHER CONSIDERATIONS SPECIFIC TO THE UNIT LOCATION IN THE BUILDING, SUCH AS ATTACHED SIGNAGE, LIGHTING, AWNINGS, CANOPIES, TRELLISES, AND OTHER FIXED OR REMOVABLE STRUCTURES, RAILINGS, LANDSCAPE FEATURES AND ADJACENT ATTACHED STRUCTURES.
26. PROVIDE A HIGH OUTLET COVER SO THAT TV IN LIVING ROOM CAN BE MOUNTED AT 46" A.F.F. TO TOP OF COVER OR TOP OF TV.
27. PROVIDE 1/2" RIGID POLYSTYRENE WALL INSULATION AT ALL PERIMETER OF GRAB BARS FOR TV MOUNTING.
28. ALL EXTERIOR SLABS TO SLOPE DOWN 1/8" TO EDGE OF SLAB. LIGHT BROOM FINISH AT SLOPED SURFACES. VERIFY WITH STRUCTURE.
29. PROVIDE INTERIOR DESIGN FINISH SCHEDULE FOR FINISHERS. FOR ADDITIONAL ROOM FINISH NOTES AND SPECIFICATIONS, REF: 1-006 - 1-007.
30. FLOOR FINISHES TO EXTEND UNDER SHELVING, WASHER/DRYER, AND REFRIGERATOR, FLOOR SHALL EXTEND UNDER ALL RAISED COUNTERS, AND CABINETS INDICATED WITH "REMOVABLE BASE CABINET".
31. ALL SINK BASKETS TO BE REMOVABLE IN TYPE A UNITS. REMOVABLE BASE AT KITCHEN WORK AREA TO EXTEND UNDER SINK, EXTEND TO FLOOR UNDER THESE REMOVABLE CABINETS.
32. BATHROOM CEILING HEIGHT 8' - 6" AFF.
33. SHOWER HEAD HEIGHT 7'-0" AFF. SHOWER CONTROL HEIGHT 4'-0" AFF.
34. SHOWER DRAIN COVER HEIGHT 2'-0" AFF. SHOWER CONTROL 3'-0" AFF. TUB FAUCET 2'-0" AFF.
35. REFER TO UNIT DETAILS RE: A170-A171.

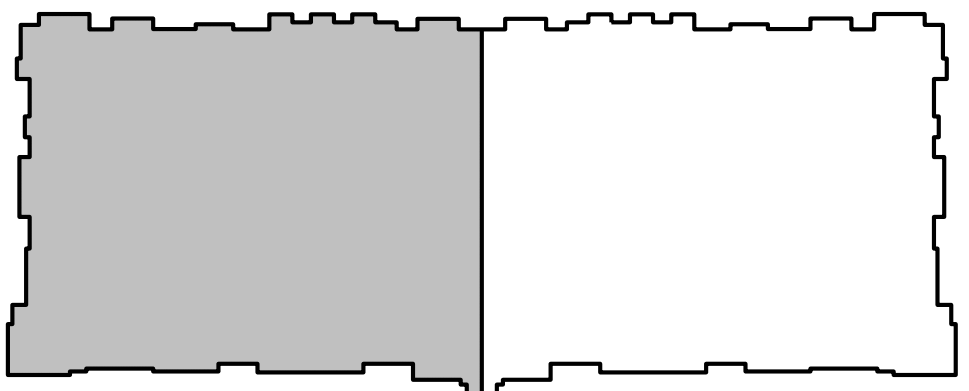






- NOTES:**
1. ALL DRAIN, WASTE AND VENT PIPING IS 2" UNLESS NOTED OTHERWISE.
 2. ALL BELOW SLAB SUPPLY PIPING SHALL BE PEX WITH NO JOINTS. DHW BELOW SLAB TO BE INSULATED TO R-3.
 3. DHW PIPING 3/4" AND LARGER TO BE INSULATED TO R-3 MINIMUM
 4. ALL SUPPLY PIPING IS 1/2" UNLESS NOTED OTHERWISE.
 5. CONNECT ALL APPLIANCES OR EQUIPMENT PER MANUFACTURERS INSTRUCTIONS.
 6. ALL PLUMBING VENTS SHALL BE 10 FEET FROM OPENINGS OR INTAKE.
 7. THERE SHALL BE NO PVC WITHIN RETURN AIR PLENUMS.
 8. ALL FIXTURES WITH QUICK CLOSING VALVES SHALL HAVE FIXTURE OR BLADDER TYPE SHOCK SUPPRESSORS FOR EACH CHASE.
 9. SEE ARCHITECTURAL DRAWINGS FOR ALL MOUNTING HEIGHTS.
 10. REFER TO THE ARCHITECTURAL DRAWINGS FOR FLOOR DRAIN LOCATIONS AND FLOOR SLOPES IF PRESENT.
 11. ROUTE DRAIN PIPING FROM WATER HEATERS, AIR HANDLERS OR EQUIPMENT TO FLOOR DRAINS. PROVIDE PROPER TRAPS.
 12. ROUTE NO PIPING OVER ELECTRICAL EQUIPMENT.
 13. ALL WASTE AND ROOF DRAIN STACKS SHALL HAVE CLEANOUTS AT THE BASE.

- LEGEND:**
- ① 3"V. UP TO RISER FOR FUTURE CONNECTION.
 - ② 6" UP TO DOWNSPOUT CONNECTION.
 - ③ DOWNSPOUT CONNECTION. 6" DOWN TO GARAGE.
 - ④ PENETRATE BEAM PER STRUCTURAL DETAIL.



KEY PLAN
NO SCALE



1 PARTIAL GARAGE PLAN
3/32"=1'-0"
PLUMBING
NORTH

STATE OF MISSOURI
REGISTERED PROFESSIONAL ENGINEER
4-24-20

ARCHITECT
BOB D CAMPBELL & COMPANY

STRUCTURAL ENGINEER
RENAISSANCE INFRASTRUCTURE CONSULTING

CIVIL ENGINEER
BRINKMAN CONSTRUCTORS

GENERAL CONTRACTOR
LATIMER SOMMERS & ASSOCIATES

MECHANICAL ENGINEER
LATIMER SOMMERS & ASSOCIATES

PLUMBING ENGINEER
LATIMER SOMMERS & ASSOCIATES

ELECTRICAL ENGINEER
LATIMER SOMMERS & ASSOCIATES



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DATE: 09.12.19

REVISIONS

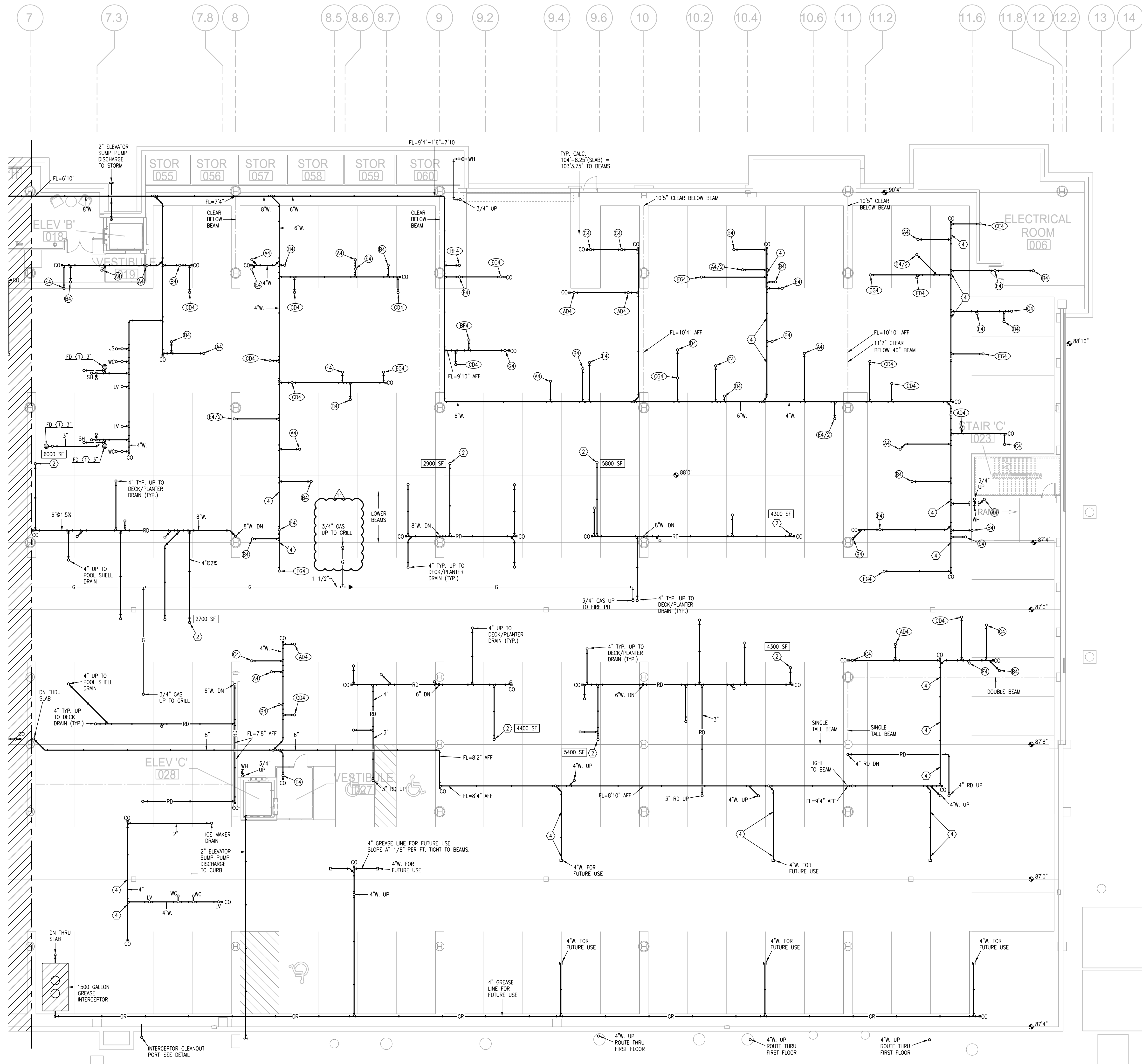
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3	REVISION 2	1.24.20
4	REVISION 3	04.03.20
5	REVISION 4	04.24.2020

DWG BY RRB

TR:1 PROJECT NO. 18-046

SHEET NO.

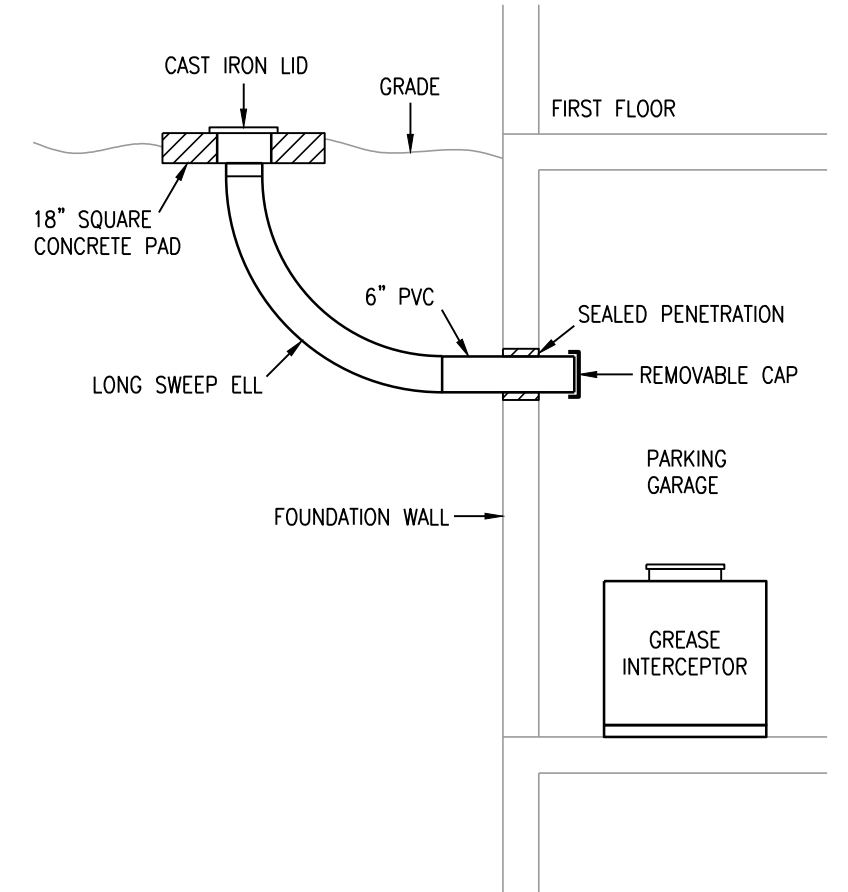
P103
PARTIAL GARAGE PLAN
- PLUMBING



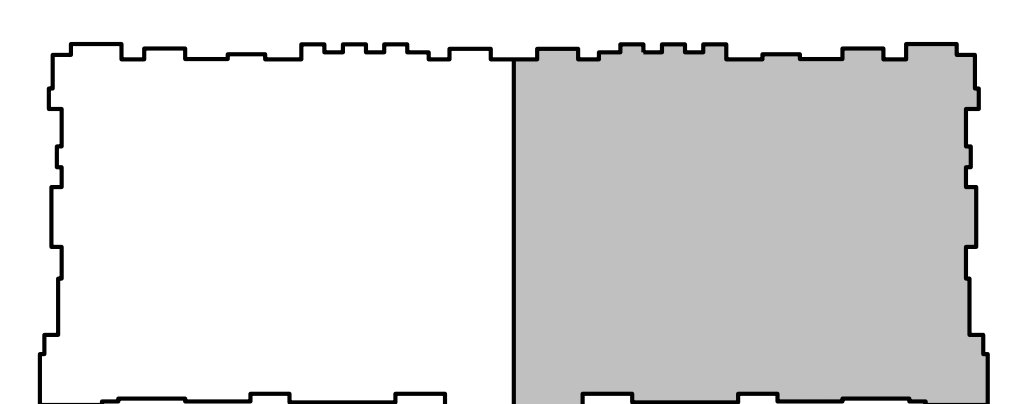
1 PARTIAL GARAGE PLAN
3/32"=1'-0"
PLUMBING
NORTH

- NOTES:**
1. ALL DRAIN, WASTE AND VENT PIPING IS 2" UNLESS NOTED OTHERWISE.
 2. ALL BELOW SLAB SUPPLY PIPING SHALL BE PEX WITH NO JOINTS. DHW BELOW SLAB TO BE INSULATED TO R-3.
 3. DHW PIPING 3/4" AND LARGER TO BE INSULATED TO R-3 MINIMUM.
 4. ALL SUPPLY PIPING IS 1/2" UNLESS NOTED OTHERWISE.
 5. CONNECT ALL APPLIANCES OR EQUIPMENT PER MANUFACTURERS INSTRUCTIONS.
 6. ALL PLUMBING VENTS SHALL BE 10 FEET FROM OPENINGS OR INTAKE.
 7. THERE SHALL BE NO PVC WITHIN RETURN AIR PLENUMS.
 8. ALL FIXTURES WITH QUICK CLOSING VALVES SHALL HAVE FIXTURE OR BLADDER TYPE SHOCK SUPPRESSORS FOR EACH CHASE.
 9. SEE ARCHITECTURAL DRAWINGS FOR ALL MOUNTING HEIGHTS.
 10. REFER TO THE ARCHITECTURAL DRAWINGS FOR FLOOR DRAIN LOCATIONS AND FLOOR SLOPES IF PRESENT.
 11. ROUTE DRAIN PIPING FROM WATER HEATERS, AIR HANDLERS OR EQUIPMENT TO FLOOR DRAINS. PROVIDE PROPER TRAPS.
 12. ROUTE NO PIPING OVER ELECTRICAL EQUIPMENT.
 13. ALL WASTE AND ROOF DRAIN STACKS SHALL HAVE CLEANOUTS AT THE BASE.

- LEGEND:**
- ① 3"V. UP TO RISER FOR FUTURE CONNECTION.
 - ② 6" UP TO DOWNSPOUT CONNECTION.
 - ③ DOWNSPOUT CONNECTION. 6" DOWN TO GARAGE.
 - ④ PENETRATE BEAM PER STRUCTURAL DETAIL.



2 SECTION DETAIL
NO SCALE



KEY PLAN
NO SCALE
NORTH

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REVISIONS	COMMENTS	DATE
1	PERMIT COMMENTS	09.06.19
2	REVISION 1	12.20.19
3	REVISION 2	1.24.20
4	REVISION 3	04.03.20
5	REVISION 4	04.24.2020

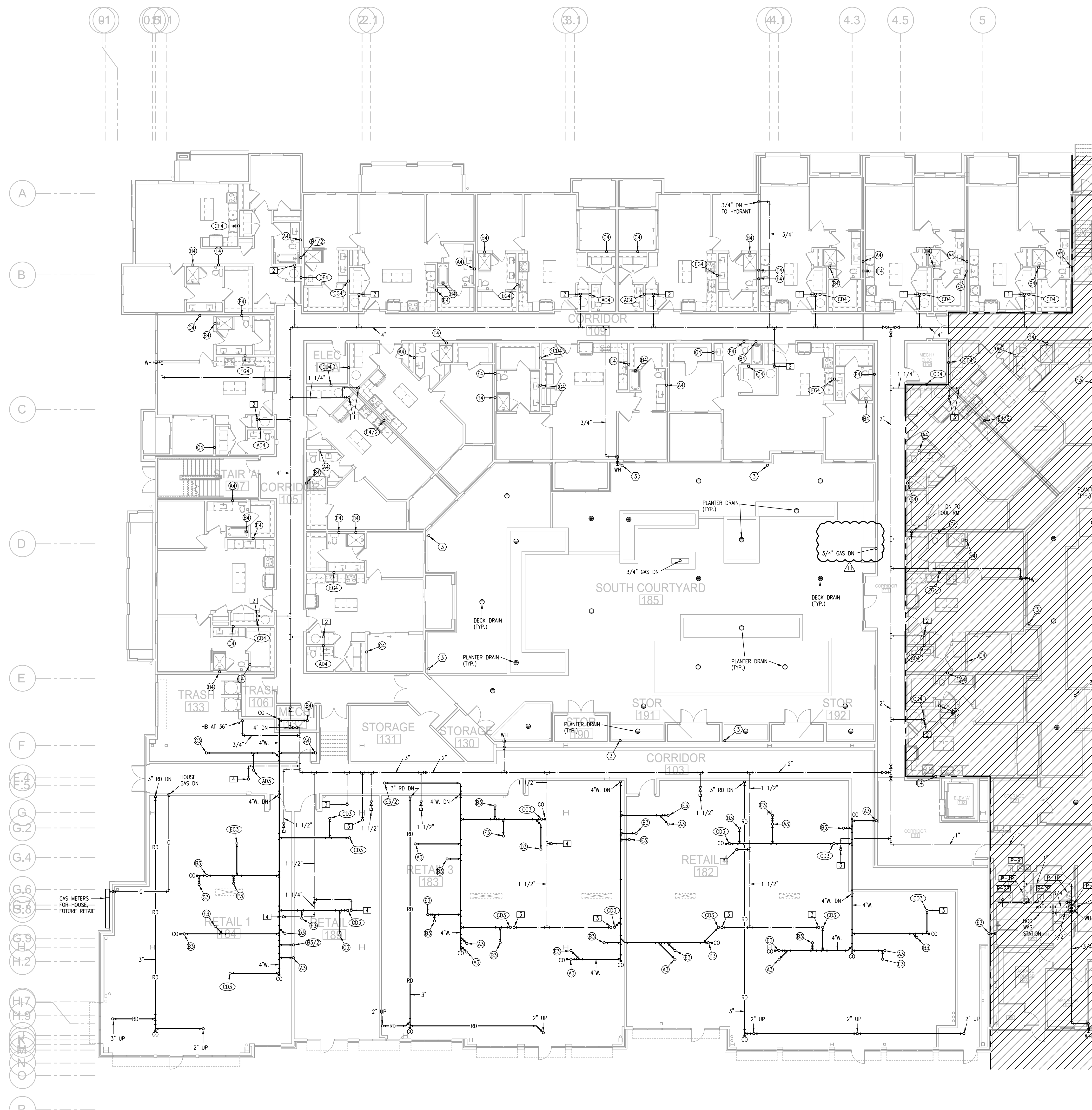
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SHEET NO.:

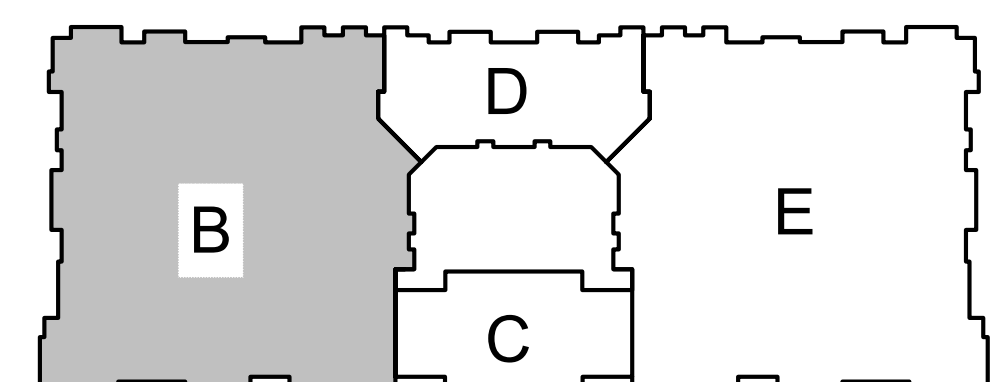
P104

PARTIAL GARAGE PLAN
- PLUMBING



- NOTES:
1. ALL DRAIN, WASTE AND VENT PIPING IS 2" UNLESS NOTED OTHERWISE.
 2. ALL BELOW SLAB SUPPLY PIPING SHALL BE PEX WITH NO JOINTS. DHW BELOW SLAB TO BE INSULATED TO R-3.
 3. DHW PIPING 3/4" AND LARGER TO BE INSULATED TO R-3 MINIMUM
 4. ALL SUPPLY PIPING IS 1/2" UNLESS NOTED OTHERWISE.
 5. CONNECT ALL APPLIANCES OR EQUIPMENT PER MANUFACTURERS INSTRUCTIONS.
 6. ALL PLUMBING VENTS SHALL BE 10 FEET FROM OPENINGS OR INTAKE.
 7. THERE SHALL BE NO PVC WITHIN RETURN AIR PLENUMS.
 8. ALL FIXTURES WITH QUICK CLOSING VALVES SHALL HAVE FIXTURE OR BLADDER TYPE SHOCK SUPPRESSORS FOR EACH CHASE.
 9. SEE ARCHITECTURAL DRAWINGS FOR ALL MOUNTING HEIGHTS.
 10. REFER TO THE ARCHITECTURAL DRAWINGS FOR FLOOR DRAIN LOCATIONS AND FLOOR SLOPES IF PRESENT.
 11. ROUTE DRAIN PIPING FROM WATER HEATERS, AIR HANDLERS OR EQUIPMENT TO FLOOR DRAINS. PROVIDE PROPER TRAPS.
 12. ROUTE NO PIPING OVER ELECTRICAL EQUIPMENT.
 13. ALL WASTE AND ROOF DRAIN STACKS SHALL HAVE CLEANOUTS AT THE BASE.

- LEGEND:
- ① 3"V. UP TO RISER FOR FUTURE CONNECTION.
 - ② 6" UP TO DOWNSPOUT CONNECTION.
 - ③ DOWNSPOUT CONNECTION. 6" DOWN TO GARAGE.
 - ④ PENETRATE BEAM PER STRUCTURAL DETAIL.



KEY PLAN
NO SCALE



1 FIRST FLOOR PLAN - AREA B
3/32"=1'-0" PLUMBING

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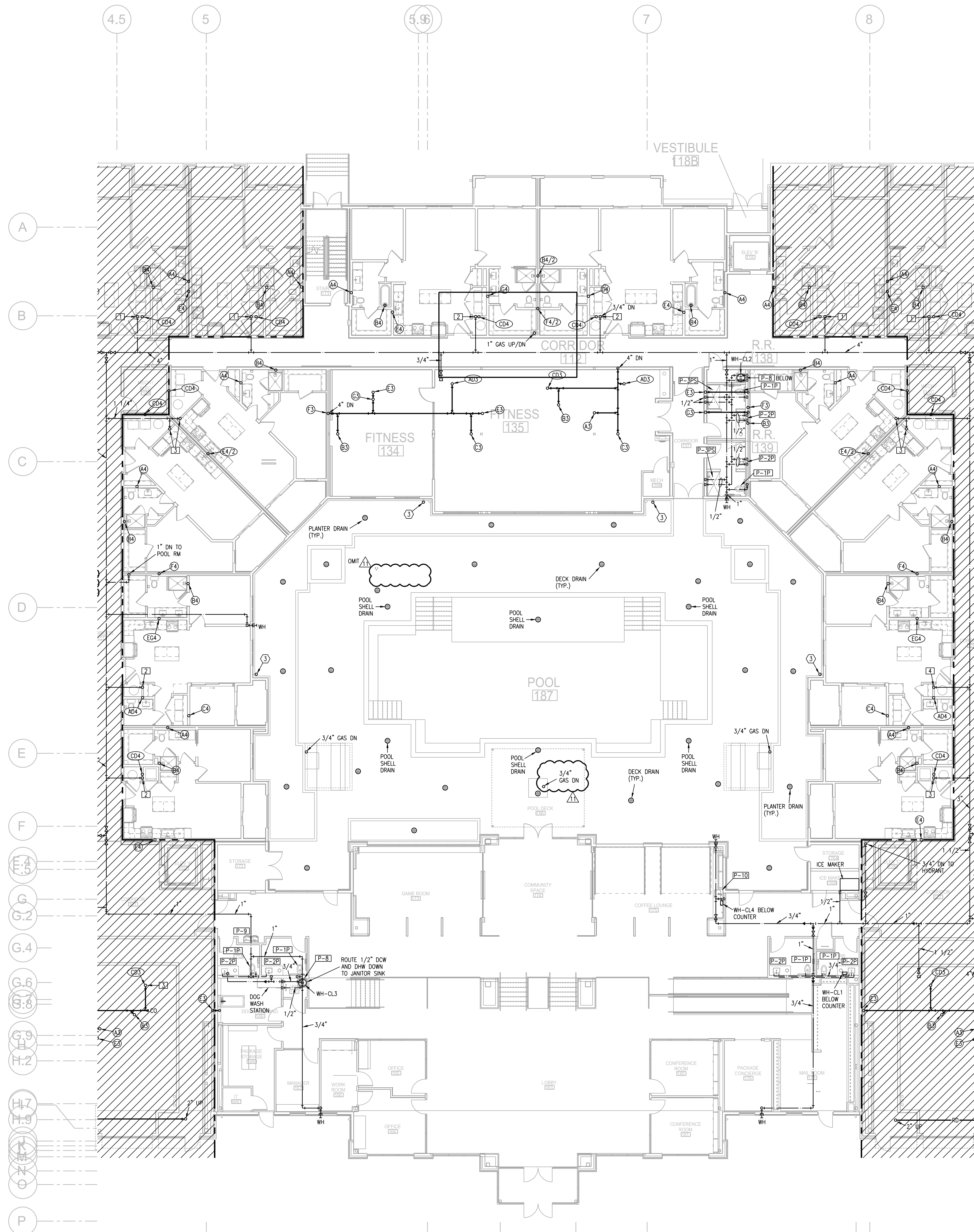
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REVISION 1	09.06.19
REVISION 2	1.24.20
REVISION 3	04.03.20
REVISION 4	04.24.2020

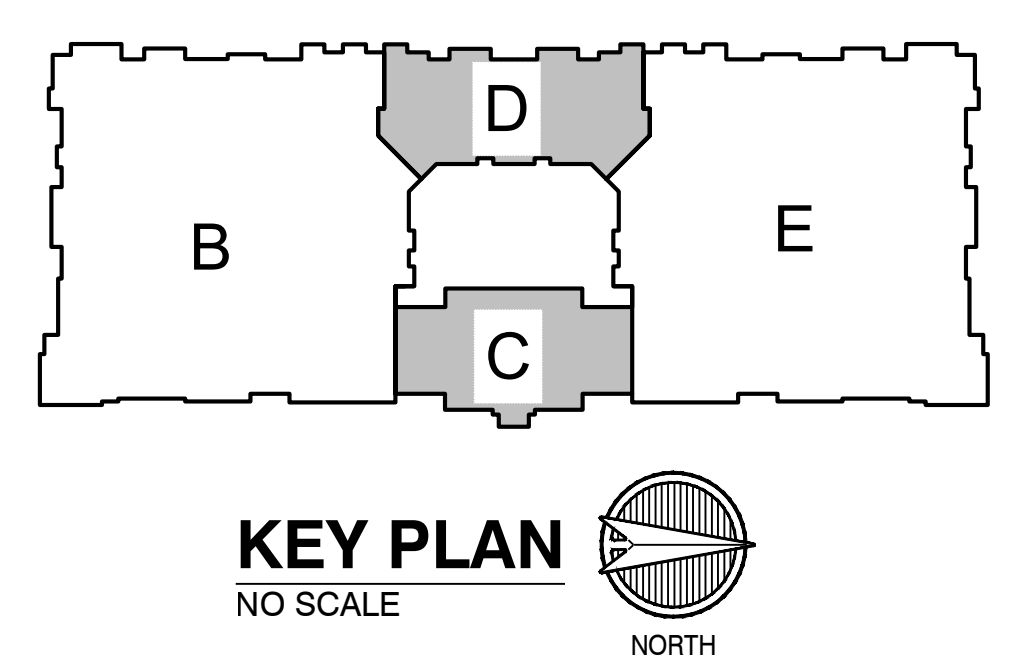
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TR,I PROJECT NO.: 18-046
SHEET NO.:

P105
FIRST FLOOR PLAN - AREA B
- PLUMBING



1 FIRST FLOOR PLAN - AREA C/D
3/32"=1'-0"
PLUMBING
NORTH

- NOTES:**
1. ALL DRAIN, WASTE AND VENT PIPING IS 2" UNLESS NOTED OTHERWISE.
 2. ALL BELOW SLAB SUPPLY PIPING SHALL BE PEX WITH NO JOINTS. DHW BELOW SLAB TO BE INSULATED TO R-3.
 3. DHW PIPING 3/4" AND LARGER TO BE INSULATED TO R-3 MINIMUM
 4. ALL SUPPLY PIPING IS 1/2" UNLESS NOTED OTHERWISE.
 5. CONNECT ALL APPLIANCES OR EQUIPMENT PER MANUFACTURERS INSTRUCTIONS.
 6. ALL PLUMBING VENTS SHALL BE 10 FEET FROM OPENINGS OR INTAKE.
 7. THERE SHALL BE NO PVC WITHIN RETURN AIR PLENUMS.
 8. ALL FIXTURES WITH QUICK CLOSING VALVES SHALL HAVE FIXTURE OR BLADDER TYPE SHOCK SUPPRESSORS FOR EACH CHASE.
 9. SEE ARCHITECTURAL DRAWINGS FOR ALL MOUNTING HEIGHTS.
 10. REFER TO THE ARCHITECTURAL DRAWINGS FOR FLOOR DRAIN LOCATIONS AND FLOOR SLOPES IF PRESENT.
 11. ROUTE DRAIN PIPING FROM WATER HEATERS, AIR HANDLERS OR EQUIPMENT TO FLOOR DRAINS. PROVIDE PROPER TRAPS.
 12. ROUTE NO PIPING OVER ELECTRICAL EQUIPMENT.
 13. ALL WASTE AND ROOF DRAIN STACKS SHALL HAVE CLEANOUTS AT THE BASE.
- LEGEND:**
- ① 3"V. UP TO RISER FOR FUTURE CONNECTION.
 - ② 6" UP TO DOWNSPOUT CONNECTION.
 - ③ DOWNSPOUT CONNECTION. 6" DOWN TO GARAGE.
 - ④ PENETRATE BEAM PER STRUCTURAL DETAIL.



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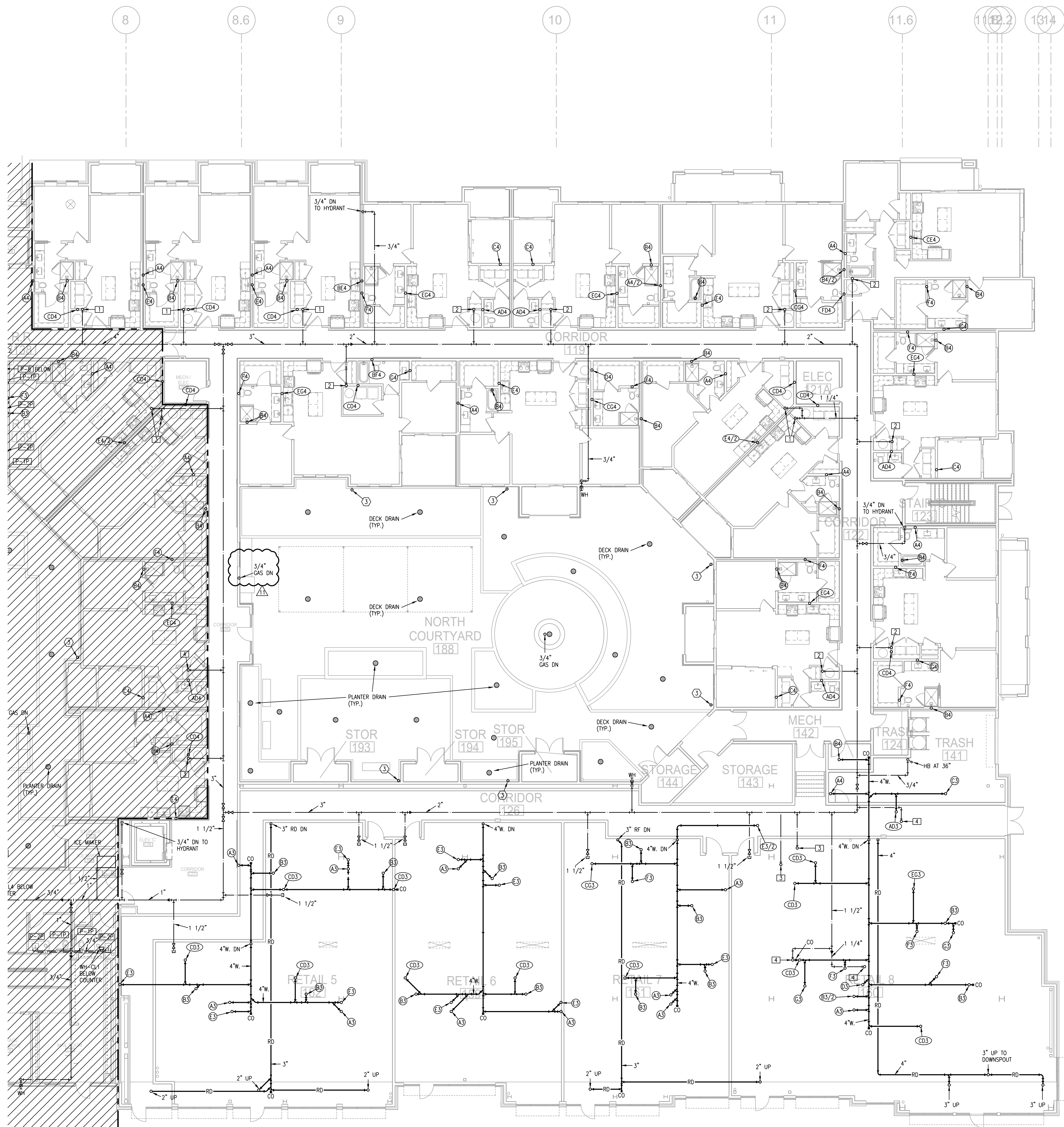
DATE: 09.12.19

REVISIONS	REVISION	DATE
PERMIT COMMENTS	09.06.19	
REVISION 1	12.20.19	
REVISION 2	1.24.20	
REVISION 3	04.03.20	
REVISION 4	04.24.2020	

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TRi PROJECT NO.: 18-046
SHEET NO.:

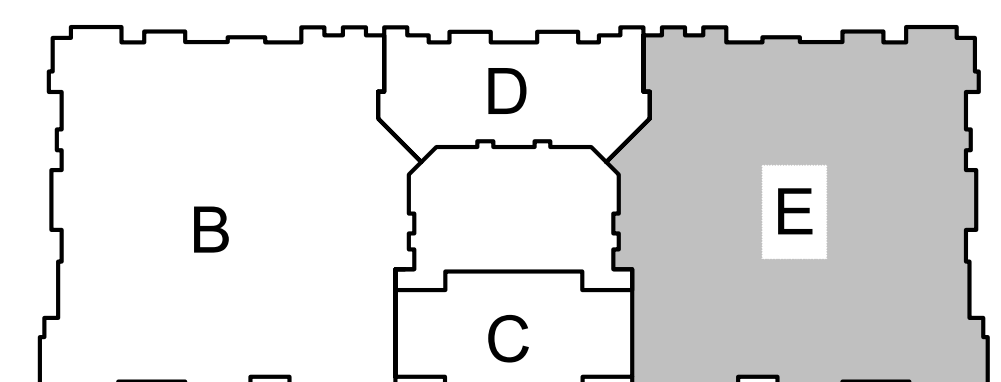
P106

**FIRST FLOOR PLAN - AREA C/D
- PLUMBING**



- NOTES:
1. ALL DRAIN, WASTE AND VENT PIPING IS 2" UNLESS NOTED OTHERWISE.
 2. ALL BELOW SLAB SUPPLY PIPING SHALL BE PEX WITH NO JOINTS. DHW BELOW SLAB TO BE INSULATED TO R-3.
 3. DHW PIPING 3/4" AND LARGER TO BE INSULATED TO R-3 MINIMUM.
 4. ALL SUPPLY PIPING IS 1/2" UNLESS NOTED OTHERWISE.
 5. CONNECT ALL APPLIANCES OR EQUIPMENT PER MANUFACTURERS INSTRUCTIONS.
 6. ALL PLUMBING VENTS SHALL BE 10 FEET FROM OPENINGS OR INTAKE.
 7. THERE SHALL BE NO PVC WITHIN RETURN AIR PLENUMS.
 8. ALL FIXTURES WITH QUICK CLOSING VALVES SHALL HAVE FIXTURE OR BLADDER TYPE SHOCK SUPPRESSORS FOR EACH CHASE.
 9. SEE ARCHITECTURAL DRAWINGS FOR ALL MOUNTING HEIGHTS.
 10. REFER TO THE ARCHITECTURAL DRAWINGS FOR FLOOR DRAIN LOCATIONS AND FLOOR SLOPES IF PRESENT.
 11. ROUTE DRAIN PIPING FROM WATER HEATERS, AIR HANDLERS OR EQUIPMENT TO FLOOR DRAINS. PROVIDE PROPER TRAPS.
 12. ROUTE NO PIPING OVER ELECTRICAL EQUIPMENT.
 13. ALL WASTE AND ROOF DRAIN STACKS SHALL HAVE CLEANOUTS AT THE BASE.

- LEGEND:
- ① 3"V. UP TO RISER FOR FUTURE CONNECTION.
 - ② 6" UP TO DOWNSPOUT CONNECTION.
 - ③ DOWNSPOUT CONNECTION. 6" DOWN TO GARAGE.
 - ④ PENETRATE BEAM PER STRUCTURAL DETAIL.



KEY PLAN
NO SCALE

1 FIRST FLOOR PLAN - AREA E
3/32"=1'-0"
PLUMBING

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PERMIT COMMENTS	09.06.19	
BUILDING PERMIT COMMENTS	09.12.19	
REVISION 3	04.03.20	
REVISION 4	04.24.2020	

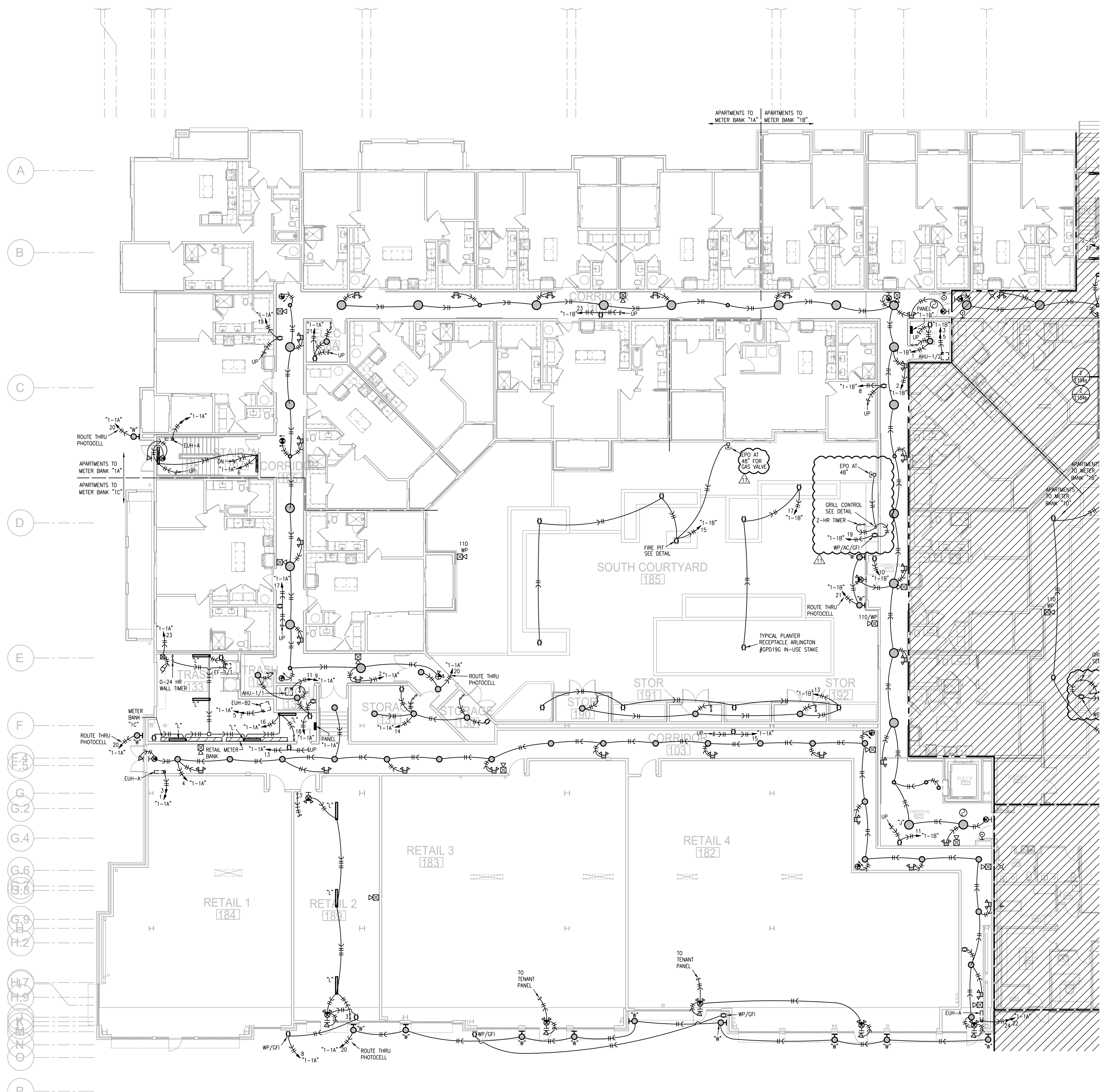
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SHEET NO.:

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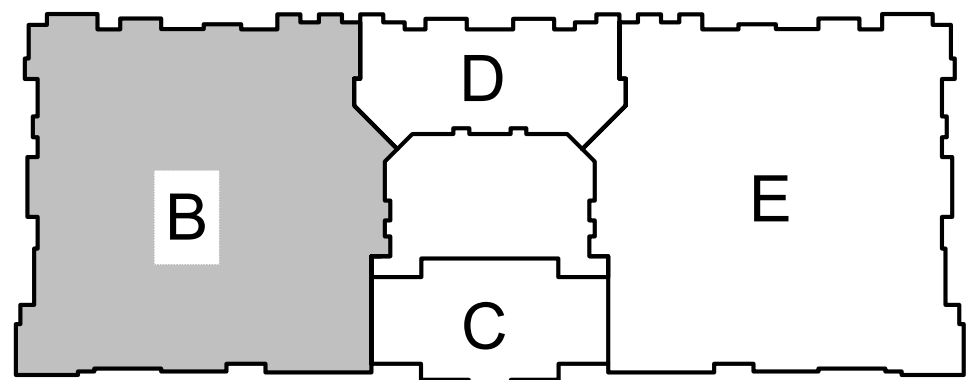
**FIRST FLOOR PLAN - AREA E
- PLUMBING**



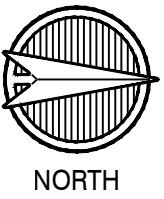
- NOTES:
1. ALL ARE TYPE "A" UNLESS NOTED OTHERWISE.
 2. ALL STAR LIGHTS ARE TYPE "11" UNLESS NOTED OTHERWISE.
 3. ALL ARE TYPE "11" UNLESS NOTED OTHERWISE.
 4. ALL ARE TYPE "12" UNLESS NOTED OTHERWISE.
 5. ALL ARE TYPE "XS" UNLESS NOTED OTHERWISE.
 6. CONNECT FIRE/SMOKE DAMPERS SHOWN ON MECHANICAL PLANS TO 120V. AND FIRE ALARM RELAY TO SHUT UPON SMOKE DETECTION IN CORRIDORS.
 7. SEE UNIT PLANS FOR FURTHER WORK.
 8. LIGHTS AT APT. ENTRY DOORS CONNECT TO APT. HOT CIRCUIT.
 9. ALL AHU'S HAVE AUTO DAMPER/THERMOSTAT SYSTEM TO WIRE. SEE HVAC PLANS.
 10. EXIT SIGNS SHALL BE READILY VISIBLE TO OCCUPANTS.
 11. EXTERIOR LIGHTING TO BE ROUTED THRU PHOTOCELL.
 12. DENOTES DISTRIBUTION PANEL.

LEGEND:

TO LIGHTING CONTROL PANEL.



KEY PLAN
NO SCALE



1 FIRST FLOOR PLAN - AREA B
3/32"=1'-0"
ELECTRICAL
NORTH

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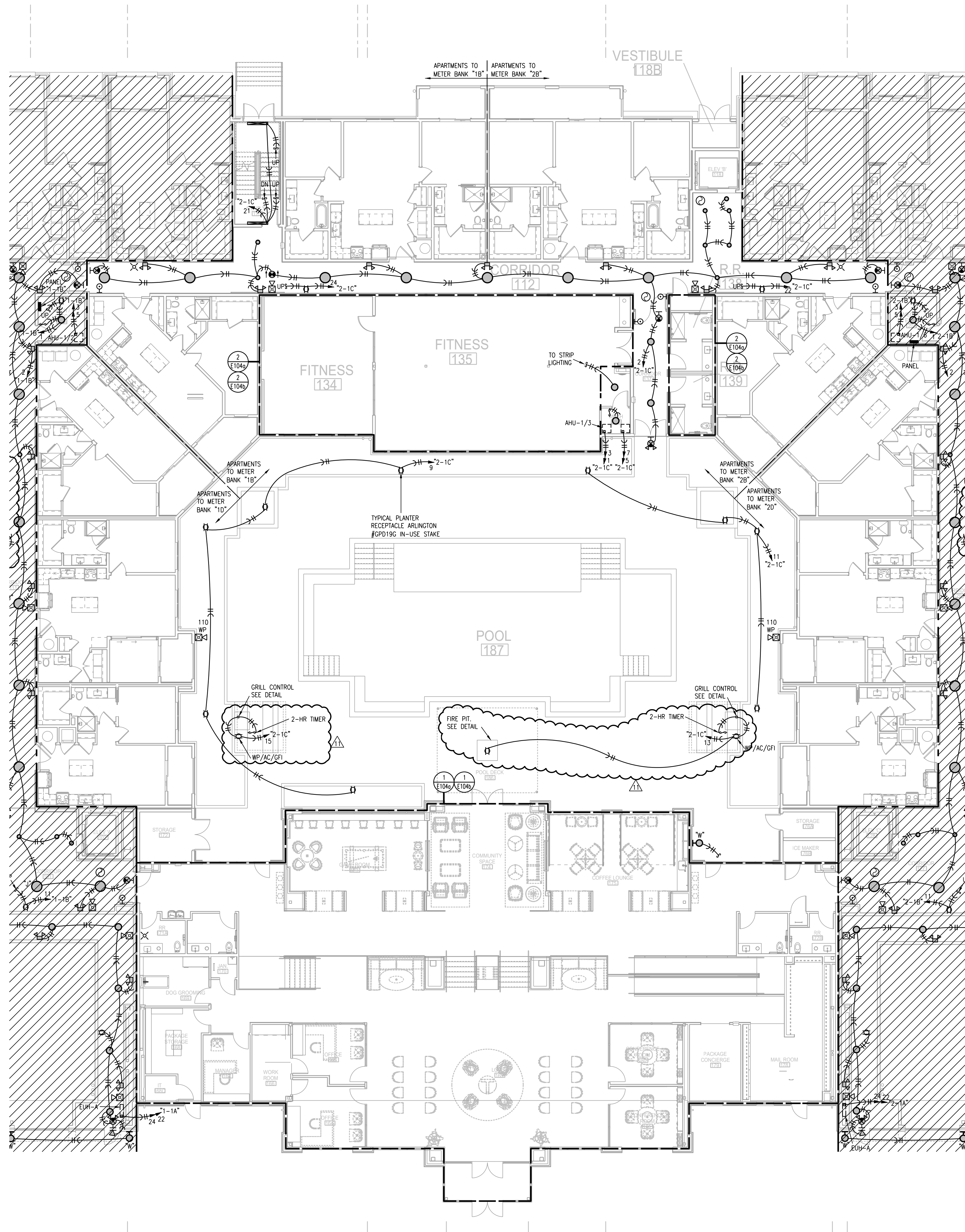
REVISION	DATE
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2	3.20.2020
4	04.24.2020

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SHEET NO.: E103

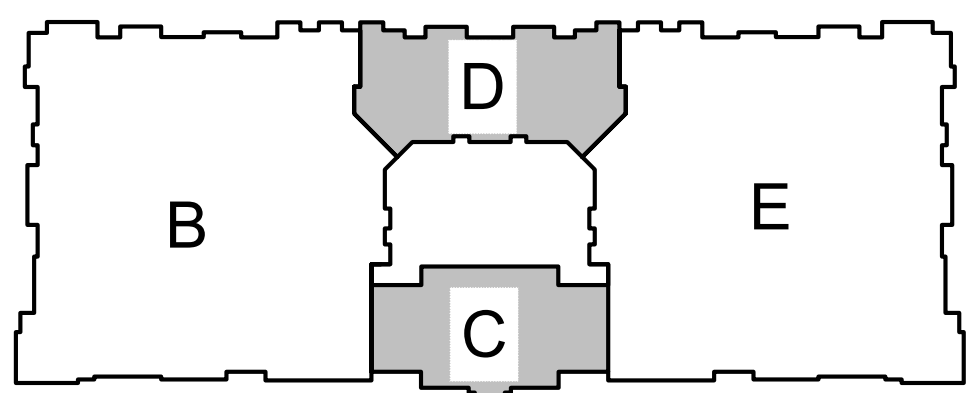
FIRST FLOOR PLAN - AREA B
- ELECTRICAL



1 FIRST FLOOR PLAN - AREA C/D
3/32"=1'-0" POWER NORTH

- NOTES:
1. ALL ARE TYPE "A" UNLESS NOTED OTHERWISE.
 2. ALL STAR LIGHTS ARE TYPE "L1" UNLESS NOTED OTHERWISE.
 3. ALL ARE TYPE "X1" UNLESS NOTED OTHERWISE.
 4. ALL ARE TYPE "X2" UNLESS NOTED OTHERWISE.
 5. ALL ARE TYPE "XS" UNLESS NOTED OTHERWISE.
 6. CONNECT FIRE/SMOKE DAMPERS SHOWN ON MECHANICAL PLANS TO 120V. AND FIRE ALARM RELAY TO SHUT UPON SMOKE DETECTION IN CORRIDORS.
 7. SEE UNIT PLANS FOR FURTHER WORK.
 8. LIGHTS AT APT. ENTRY DOORS CONNECT TO APT. HOT CIRCUIT.
 9. ALL AHU'S HAVE AUTO DAMPER/THERMOSTAT SYSTEM TO WIRE. SEE HVAC PLANS.
 10. EXIT SIGNS SHALL BE READILY VISIBLE TO OCCUPANTS.
 11. EXTERIOR LIGHTING TO BE ROUTED THRU PHOTOCELL.
 12. DENOTES DISTRIBUTION PANEL.

LEGEND:
 TO LIGHTING CONTROL PANEL.



KEY PLAN
NO SCALE NORTH

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	REVISION 4	04.24.2020

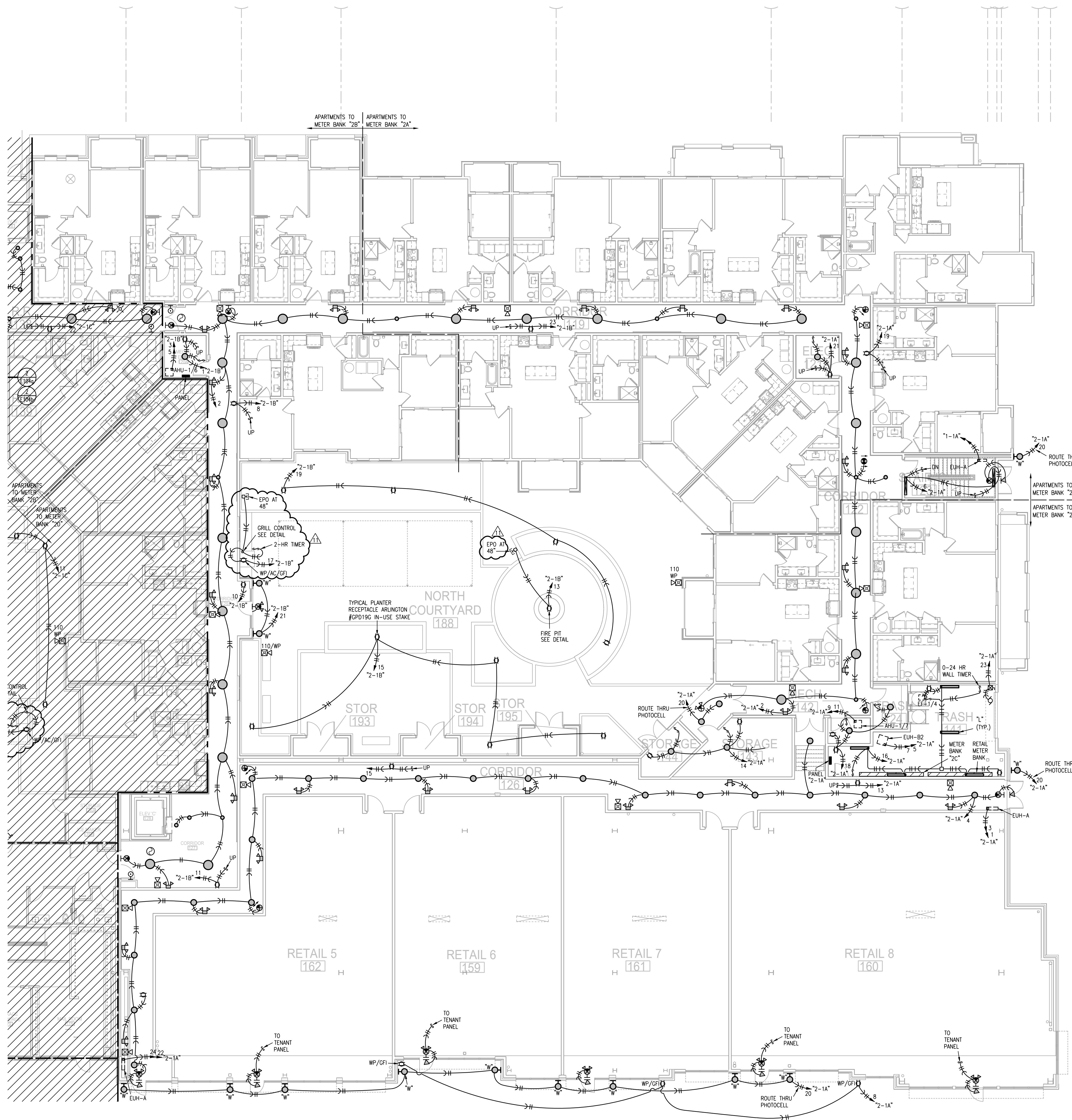
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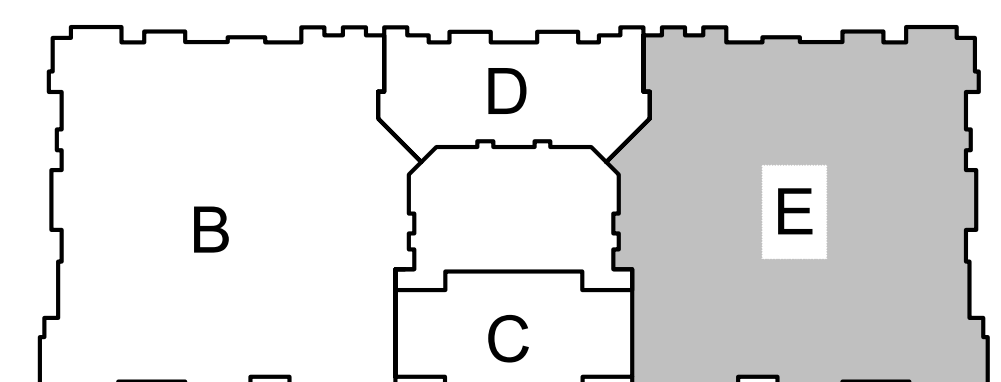
FIRST FLOOR PLAN - AREA C/D
- ELECTRICAL



- NOTES:
1. ALL ARE TYPE "A" UNLESS NOTED OTHERWISE.
 2. ALL STAR LIGHTS ARE TYPE "11" UNLESS NOTED OTHERWISE.
 3. ALL ARE TYPE "X1" UNLESS NOTED OTHERWISE.
 4. ALL ARE TYPE "X2" UNLESS NOTED OTHERWISE.
 5. ALL ARE TYPE "XS" UNLESS NOTED OTHERWISE.
 6. CONNECT FIRE/SMOKE DAMPERS SHOWN ON MECHANICAL PLANS TO 120V. AND FIRE ALARM RELAY TO SHUT UPON SMOKE DETECTION IN CORRIDORS.
 7. SEE UNIT PLANS FOR FURTHER WORK.
 8. LIGHTS AT APT. ENTRY DOORS CONNECT TO APT. HOT CIRCUIT.
 9. ALL AHU'S HAVE AUTO DAMPER/THERMOSTAT SYSTEM TO WIRE. SEE HVAC PLANS.
 10. EXIT SIGNS SHALL BE READILY VISIBLE TO OCCUPANTS.
 11. EXTERIOR LIGHTING TO BE ROUTED THRU PHOTOCELL.
 12. DENOTES DISTRIBUTION PANEL.

LEGEND:

TO LIGHTING CONTROL PANEL.



KEY PLAN
NO SCALE

NORTH

1 FIRST FLOOR PLAN - AREA E
3/32"=1'-0"
ELECTRICAL

NORTH

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	REVISION 4	04.24.2020

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E105
FIRST FLOOR PLAN - AREA E
- ELECTRICAL