

1631 SW BLACKSTONE PLACE
LEES SUMMIT MO
LOT 143 NAPA VALLEY

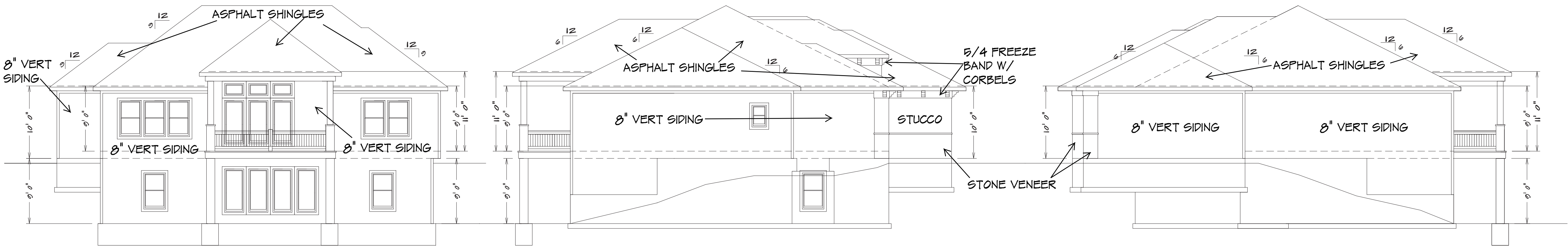
BUILDER/CONTRACTOR IS RESPONSIBLE TO CHECK ALL DIMENSIONS FOR ACCURACY BETWEEN FLOORS, FOUNDATION, AND ELEVATIONS. ALSO VERIFY ALL BEAM, HEADERS, PAD LOCATIONS, AND COLUMN SIZES.

FRONT ELEVATION
1/4" = 1'0"

NOTE:
ACTUAL ELEVATIONS MAY VARY FROM ARCHITECTURAL DRAWINGS, DUE TO TERRAIN/BACKFILL PROCESS. FRONT ELEVATION IS ARCHITECTURAL DRAWING AND MAY VARY DUE TO MATERIALS AVAILABILITY.

ALL NOTES, SECTIONS, AND DRAWINGS
ARE IN ACCORDANCE WITH THE 2018 IRC

THE "CYPRESS"



REAR ELEVATION
1/8" = 1'0"

LEFT ELEVATION
1/8" = 1'0"

RIGHT ELEVATION
1/8" = 1'0"

KH-6105 (THE CYPRESS) LOT 143



SQUARE FOOTAGE
LIVING AREA
FIRST FLOOR = 1800
BASEMENT = 1100
COVERED DECK = 106
UNFINISHED AREA
STORAGE BASEMENT = 280
GARAGE = 600
UNDER STOOP = 52

HOME BUYER:	PHONE:	DATE DRAWN:	PLAN NO.	SHEET NO.
BUILDER:	PHONE:	DATE REVISED:	KH-6105	1-A
SUB-DIVISION:	LOT NO.	DESIGNER:	FILE NAME:	APPROX. SQ.FT.
			6105 ELEV	

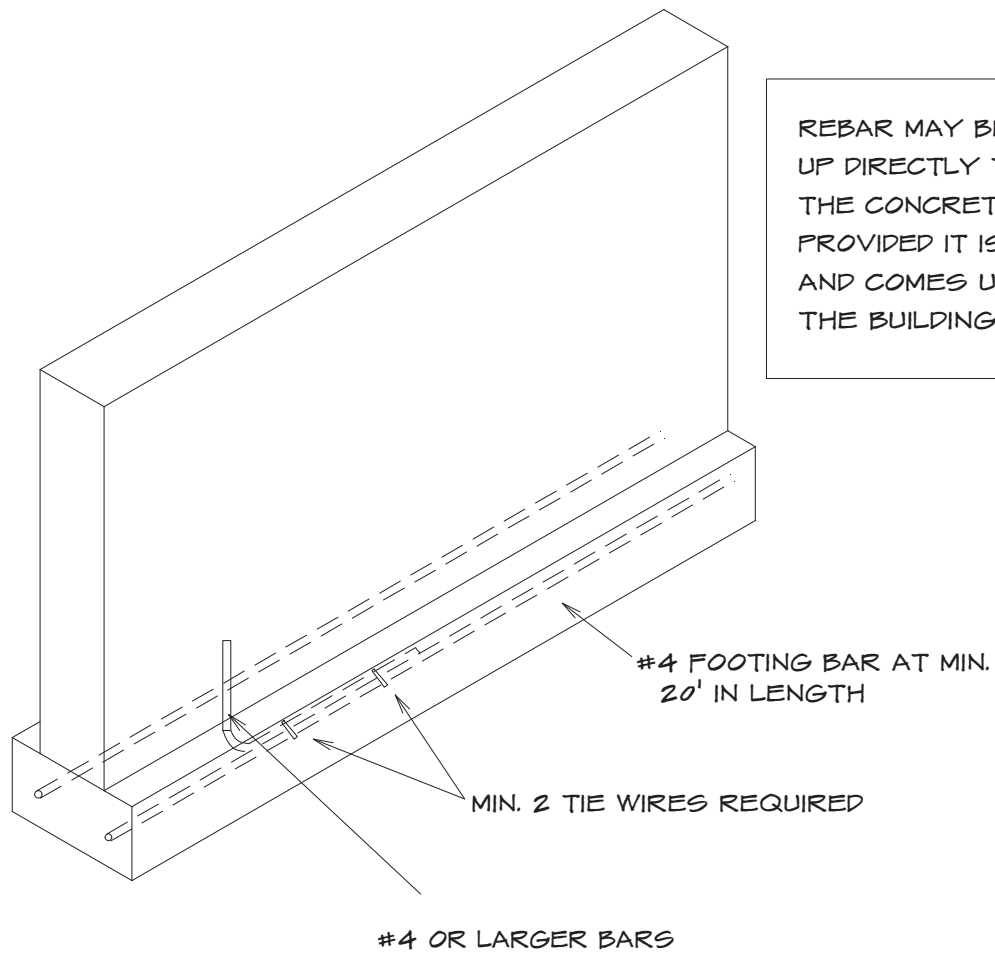
BUILDER/CONTRACTOR IS RESPONSIBLE TO CHECK ALL DIMENSIONS FOR ACCURACY BETWEEN FLOORS, FOUNDATION, AND ELEVATIONS. ALSO VERIFY ALL BEAM, HEADERS, PAD LOCATIONS, AND COLUMN SIZES. BUILDER/CONTRACTOR TO CHECK FOR CONFLICTS WITH EXISTING UTILITIES AND STRUCTURES. BUILDER/CONTRACTOR ACCEPTS ALL RESPONSIBILITY FOR LOT PLACEMENT, SETBACKS, AND PLANS. BUILDER/CONTRACTOR AND HOME OWNER ACCEPTS RESPONSIBILITY FOR ANY AND ALL COPYRIGHT INFRINGEMENTS OR RESEMBLANCES TO OTHER COPYRIGHTED PLANS. BUILDER/CONTRACTOR ACCEPTS RESPONSIBILITY FOR ANY ON-SITE CHANGES MADE TO STRUCTURE.

SEE ELEVATION FOR
WALL HEIGHTS

NOTE... ELECTRICAL SERVICE
TO BE 200 AMP.

NOTE... DOUBLE JOIST UNDER
ALL PARALLEL WALLS
ABOVE UNLESS NOTED

S.D.
= SMOKE DETECTOR

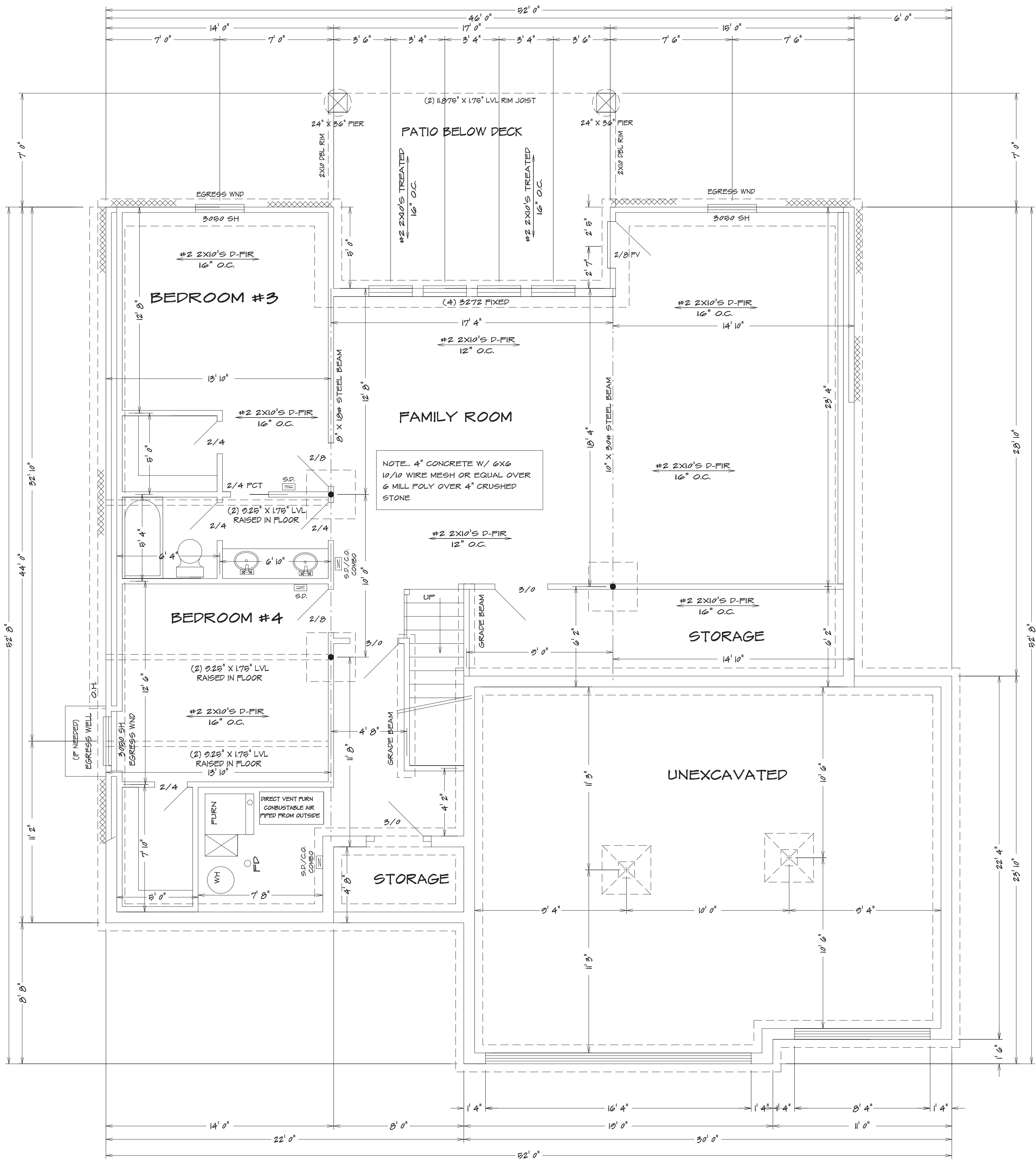


1. Section 250.52 of the National Electrical Code requires that the concrete encased reinforcing steel be included in the grounding electrode system. This means that you must have "an electrode encased by at least 50 mm (2 in.) of concrete, located horizontally near the bottom or vertically, and within that portion of a concrete foundation or footing that is in direct contact with the earth, consisting of at least 6.0 m (20 ft) of one or more bare or zinc galvanized or other electrically conductive coated steel reinforcing bars or rods of not less than 13 mm (1/2 in.) in diameter, or consisting of at least 6.0 m (20 ft) of bare copper conductor not smaller than 4 AWG.

2. Reinforcing bars shall be permitted to be bonded together by the steel tie wires or other effective means. Where multiple concrete-encased electrodes are present at a building or structure, it shall be permissible to bond only one into the grounding electrode system." Proper lap splice are required

UFER GROUNDING SECTION

Note...Bridging. Joists exceeding a nominal 2 inches by 12 inches shall be supported laterally by solid blocking, diagonal bridging (wood or metal), or a continuous 1-inch-by-3-inch strip nailed across the bottom of joists perpendicular to joists at intervals not exceeding 8 feet. (R502.7.1)



BASEMENT PLAN

1/4" = 1'0"

ALL NOTES, SECTIONS, AND DRAWINGS
ARE IN ACCORDANCE WITH THE 2018 IRC

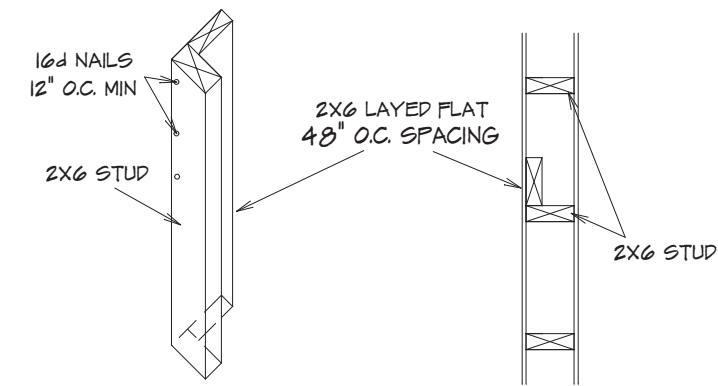
KH-6105 (THE CYPRESS) LOT 143

HOME BUYER:	PHONE:	DATE DRAWN:	PLAN NO.	SHEET NO.
	PHONE:	DATE REVISED:	KH-6105	2
	SUB-DIVISION:	DESIGNER:	FILE NAME:	APPROX. SQ.FT.
			6105 BSMT	

BUILDER/CONTRACTOR IS RESPONSIBLE TO CHECK ALL DIMENSIONS FOR ACCURACY BETWEEN FLOORS, FOUNDATION, AND ELEVATIONS. ALSO VERIFY ALL BEAM, HEADERS, AND COLUMN SIZES. BUILDER/CONTRACTOR TO CHECK FOR CONFLICTS WITH EXISTING UTILITIES AND STRUCTURES. BUILDER/CONTRACTOR ACCEPTS ALL RESPONSIBILITY FOR LOT PLACEMENT, SETBACKS, AND FLOOR PLANS. BUILDER/CONTRACTOR AND HOME OWNER ACCEPTS RESPONSIBILITY FOR ANY AND ALL COPYRIGHT INFRINGEMENTS OR RESEMBLANCES TO OTHER COPYRIGHTED PLANS. BUILDER/CONTRACTOR ACCEPTS RESPONSIBILITY FOR ANY ON-SITE CHANGES MADE TO STRUCTURE.



S.D.
 = SMOKE DETECTOR



(IRC SECTION 602.3.1 AND TABLE 602.3(5) & 602.3.1)

REQUIRED AREAS NEEDING HEADERS:	HEADER DESCRIPTIONS:
WINDOWS/DOORS UP TO 36" R.O.	(2) #2 P-FIR 2X10'S
WINDOWS/DOORS 36" UP TO 72" R.O.	(2) #2 P-FIR 2X10'S W/1/2"
WINDOWS/DOORS 72" UP TO 96" R.O.	(2) 2 1/2" LVL
8'0" GARAGE DOORS W/CEILING & ROOF LOAD	(2) 2 1/2" LVL
8'0" GARAGE DOORS W/CEILING & ROOF LOAD	(2) 2 1/2" LVL
16'0" GARAGE DOORS W/SECOND FLOOR	(2) 1 1/2" LVL
16'0" GARAGE DOORS W/SECOND FLOOR	(2) 11 7/8" LVL
16'0" GARAGE DOOR W/NO SECOND FLOOR	(2) 11 7/8" LVL
16'0" GARAGE DOORS W/SECOND FLOOR	(2) 14" LVL

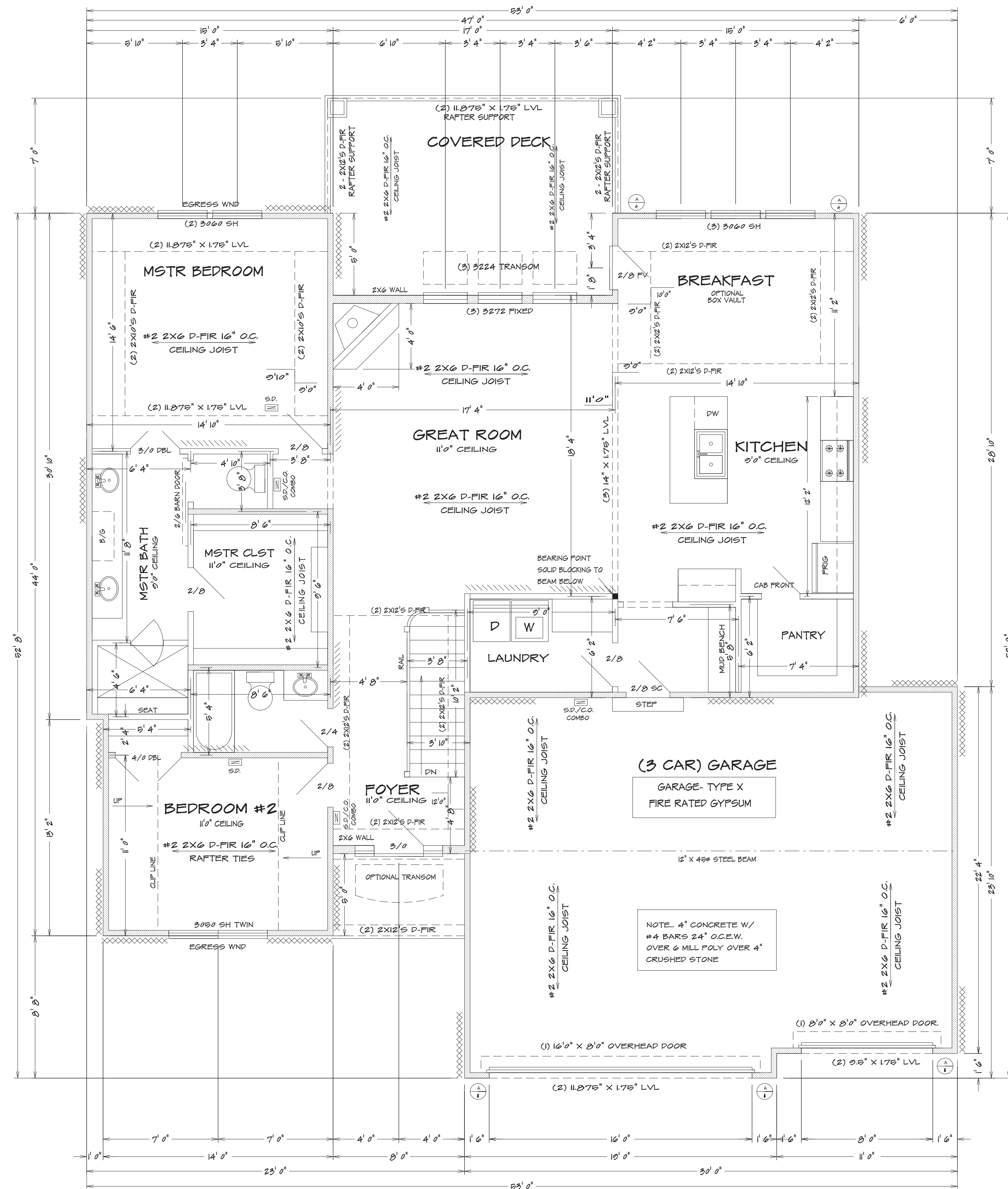
USE HEADERS FOR OPENINGS ABOVE UNLESS SPECIFIED OTHERWISE.

In dwelling units, where the opening of an operable window is located more than 72 inches (1829 mm) above the finished grade or surface below, the lowest part of the clear opening of the window shall be a minimum of 24 inches (610 mm) above the finished floor of the room in which the window is located. Operable sections of windows shall not permit openings that allow passage of a 4-inch-diameter (102 mm) sphere where such openings are located within 24 inches (610 mm) of the finished floor.

1. Windows whose openings will not allow a 4-inch-diameter (102 mm) sphere to pass through the opening when the opening is in its largest opened position.
2. Openings that are provided with window fall prevention devices that comply with ASTM F 2090.
3. Windows that are provided with window opening control devices that comply with Section R312.2.2.

Window opening control devices shall comply with ASTM F 2090. The window opening control device, after operation to release the control device allowing the window to fully open, shall not reduce the minimum net clear opening area of the window unit to less than the area required by Section R310.11.

Exhaust air from the space shall be exhausted directly to the outdoors.

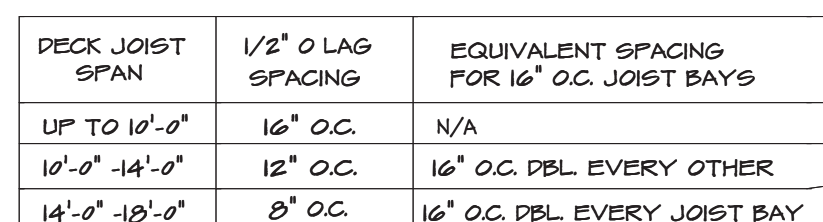

$$1/4'' = 1'0''$$

A circular red seal for the State of Missouri Professional Engineer. The outer ring contains the text "STATE OF MISSOURI" at the top and "PROFESSIONAL ENGINEER" at the bottom, separated by two red stars. The center of the seal contains the name "AARON DELANEY OBERMEYER" and the license number "NUMBER PE-008019580". A handwritten signature "Aaron D. Obermeyer" in blue ink is written across the seal, and the date "06-20" is handwritten in blue ink next to the license number.

HOME BUYER:

BUILDER:

BETWEEN FLOORS, FOUNDATION, AND ELEVATIONS, ALSO VERIFY ALL BEAM, HEADERS, AND LOCATIONS. BUILDER/CONTRACTOR TO CHECK FOR COMPLIANCE WITH CONTRACTS, CITY, AND NATIONAL CODES. BUILDER/CONTRACTOR ACCEPTS ALL RESPONSIBILITY FOR LOT PLACEMENT, SET BACKS, AND FLOOD PLANS. BUILDER/CONTRACTOR AND HOME OWNER ACCEPTS RESPONSIBILITY FOR ANY AND ALL COPYRIGHT INFRINGEMENTS OR RESSEMBLANCES TO OTHER COPYRIGHTED PLANS. BUILDER/CONTRACTOR ACCEPTS RESPONSIBILITY FOR ANY ON SITE CHANGES MADE TO STRUCTURE.



TYPICAL CANTILEVER FRAMING W/ DECK ATTACHMENT



1. PROVIDE ONE WINDOW FROM EACH BEDROOM THAT HAS A MIN. OPENABLE AREA OF 5.7 SQ. FT. WITH A MIN. OPENABLE HEIGHT OF 24" AND WIDTH OF 21"

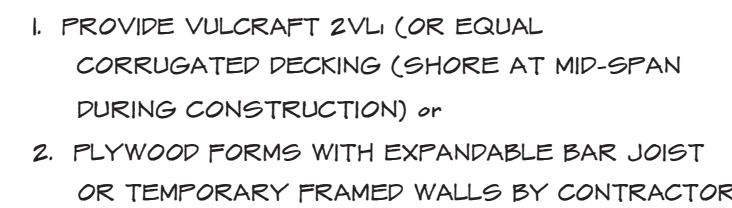
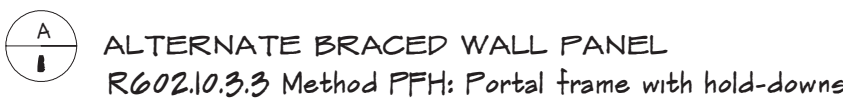
EXCEPT. REFRIGERATOR. SINGLE OUTLET FOR SUMP PUMP
AND SINGLE OUTLET IN GARAGE FOR A FREEZER

2. ALL RECEPT. TO BE TAMPER RESISTANT

1. THE GARAGE FLOOR SHALL BE SLOPED TOWARD GARAGE DOORS.
2. DOORS BETWEEN GARAGE AND DWELLING - MIN 1 5/8" SOLID CORE OR HONEY COMBED STEEL DOOR OR 20 MIN. RATED
3. GARAGE TO HAVE 5/8" TYPE X GYPSUM THROUGHOUT
4. THE H-FRAM SHALL CONSIST OF 2X6 FRAMING

GLAZING IN HAZARDOUS LOCATIONS AS IDENTIFIED IN IRC SECTION R909.4 SHALL BE APPROVED SAFETY GLAZING MATERIALS; GLASS IN STORM DOORS, INDIVIDUAL FIXED OR OPENABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN CLOSED POSITION AND WHOSE BOTTOM EDGE IS WITHIN 60" OF THE FLOOR; WALLS ENCLOSED STAIRWAYS AND LANDINGS WHERE THE GLAZING IS WITHIN 60" OF THE TOP OR BOTTOM OF THE STAIR ENCLOSURES FOR SPAS, TUBS, SHOWERS, AND WHIRLPools; GLAZING IN FIXED OR OPENABLE PANELS EXCEEDING 9 SQ. FT. AND WHOSE BOTTOM EDGE IS LESS THAN 10' ABOVE THE FLOOR OR WALKING SURFACE WITHIN 36"

TYPICAL FRAMING DETAILS (Not to Scale)



SUSPENDED PORCH STOOP DETAIL

OPTIONAL

1. MAXIMUM SPAN = 6'
2. MINIMUM 6" THICKNESS
3. #4 REBARS AT 12" O.C. EACH WAY
4. MIN. 1-1/2" OF CONTINUOUS BEARING AT THE EDGES OF SLAB
5. PORCH SLAB GREATER THEN 6' SHALL BE TREATED AS AN ELEVATED GARAGE SLAB

ALARMS SHALL BE INTERCONNECTED
IN SUCH A MANNER THAT THE
ACTIVATION OF ONE ALARM WILL

1. ALL LUMBER SIZES ARE FOR #2 D-FIR-LARCH
2. ALL HEADERS TO BE MIN. (2) #2-2X10
3. BLOCK CANTILEVERS, DOOR JAMBS, AND OVER
4. ALL HEADS TO BEAR ON MIN. OF (2) 2X4 STUDS
5. JOIST UNDER BEARING PARTITIONS SHALL BE
AND COMPLY WITH IRC SEC. R502.4

Required guards on open sides of stairways, raised floor areas, balconies, and porches shall have intermediate rails or ornamental closures that do not allow passage of a sphere 4" or more in diameter.

Openings from a private garage directly into a room used for sleeping purposes shall not be permitted.

Other openings between the garage and residence shall be equipped with solid wood doors not less than 1 3/8 inches in thickness, solid or honeycomb-core steel doors not less than 1 3/8 inches thick, or 20-minute fire-rated doors, equipped with a self-closing device.

HOME BUYER:

BUILDER:

SUB-DIVISION:

PHONE:

PHONE:

LOT NO.

PLAN NO.	
----------	--

KH-6105

6/05 SEC

SHEET NO.

BUILDER/CONTRACTOR IS RESPONSIBLE TO CHECK ALL DIMENSIONS FOR ACCURACY BETWEEN FLOORS, FOUNDATION, ELEVATIONS, ALSO VERIFY ALL BEAM, HEADERS, PAO LOCATIONS, AND COLUMN SIZES. BUILDER/CONTRACTOR TO CHECK FOR COMPLIANCE WITH CONTRACTS, CITY, AND NATIONAL CODES. BUILDER/CONTRACTOR ACCEPTS ALL RESPONSIBILITY FOR LOT PLACEMENT, SET-BACKS, AND FLOOD PLANS. BUILDER/CONTRACTOR AND HOME OWNER ACCEPTS RESPONSIBILITY FOR ANY AND ALL COPYRIGHT INFRINGEMENTS OR RESEMBLANCES TO OTHER COPYRIGHTED PLANS. BUILDER/CONTRACTOR ACCEPTS RESPONSIBILITY FOR ANY ON SITE CHANGES MADE TO STRUCTURE.

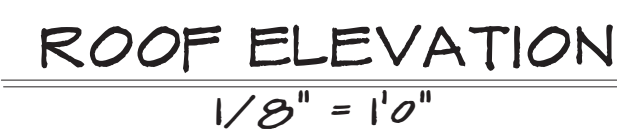


TYPICAL DETAILS



FIND WALL REINFORCEMENT (CLASS 80 SOIL,
 EXCEPT FOR RARE CIRCUMSTANCES)
 (ALL REBARS TO BE GRADE 40)
 1" WALL 1/4" Ø BACKFILL VERT. +4 REBARS @ 12" O.C.
 1" WALL 1/4" Ø BACKFILL VERT. +4 REBARS @ 18" O.C.
 SET ON A 16" X 24" CONCRETE FOOTER WITH (2) #4
 REBARS CONTINUOUS.
 11" WALL 1/4" Ø BACKFILL VERT. +4 REBARS @ 8" O.C.
 11" WALL 1/4" Ø BACKFILL VERT. +4 REBARS @ 18" O.C.
 SET ON A 20" X 16" CONCRETE FOOTER WITH (2) #4
 REBARS CONTINUOUS.
 HORIZ. #4 REBARS @ 24" O.C.
 8" X 40" CONCRETE WALL WITH (3) #4 REBARS
 HORIZ. AND WITH #4 REBARS - 24" O.C. VERTICALLY
 CONCRETE FLOOR - 4" CONCRETE ON 4" CRUSHED
 ROCK
 CONCRETE GRADE FLOOR - 4"
 CONCRETE ON 4" CRUSHED ROCK WITH
 6X6 10/10 WIRE MESH.
 (SUFFICIENT GRADE FLOORS TO BE
 DESIGNED BY LICENCED ENGINEER)
 COLUMN FOOTING FOR MIN. SOIL
 LOAD OF 1800 LBS
 42" X 42" X 15" CONCRETE PADS WITH (6)
 #4 REBARS (SEE DRAWING FOR UNLESS NOTED)
 CONCRETE GRADE PADS - 16" X 16" X 15" WITH (2)
 #4 REBARS CONTINUOUS.
 ALL FOOTINGS SHALL EXCEED A MINIMUM FOOT
 DEPTH OF 6 INCHES BELOW GRADE.
 MAXIMUM DEPTH OF UNBALANCED FILL IS 17 FEET
 (FOR 8 INCH WALL AND 3 FEET) FOR TENSURE WALL.
 WATERPROOF CONCRETE WALL FROM FOOTING TO
 GRADE LINE.
 OPTIONAL WALL-OUT WALL
 1" X 6" CONCRETE FOOT FOOTING 1/4" (3) #4
 REBARS PARALLEL 12" O.C. CONTINUOUS.
 #4 REBAR VERT. BENT INTO FOOTING 7"Ø @ 24" O.C.
 BELOW GRADE USE 4" Ø CONCRETE ON 4"
 CRUSHED ROCK WITH 6 MIL-PLY OVER CRUSHED
 ROCK BELOW GRADE.
 DRAINAGE TILES, GRAVEL OR CRUSHED STONE
 DRAINS, PERFORATED PIPE OR OTHER APPROVED
 SYSTEMS OR MATERIALS SHALL BE INSTALLED AT
 OR BELOW THE AREA TO BE PROTECTED AND SHALL
 DISCHARGE BY GRAVITY OR MECHANICAL MEANS
 INTO AN APPROVED DRAINAGE SYSTEM.
 GRAVEL DRAINAGE SLOPE DRAINS SHALL EXTEND
 AT LEAST 1 FOOT BEYOND THE OUTSIDE EDGE OF THE
 FOOTING AND 6 INCHES ABOVE THE TOP OF THE
 FOOTING AND BE COVERED WITH AN APPROVED
 TIE-EMBRACE MATERIAL. THE TOP OF THE OPEN
 JOINTS OF DRAIN TILES SHALL BE PROTECTED WITH
 STRIPS OF BUILDING PAPER, AND DRAINAGE TILES OR
 PERFORATED PIPE SHALL BE COVERED ON A MINIMUM
 OF 2 INCHES OF WASHED GRAVEL, OR CRUSHED
 ROCK AT LEAST ONE SIZE LARGER THAN THE
 TILE, JOINT OPENING OR PERFORATION AND
 COVERED WITH NOT LESS THAN 6 INCHES OF THE
 SAME MATERIAL.

TYPE OR LOCATION OF CONCRETE CONSTRUCTION	SPECIFIED COMPRESSIVE STRENGTH (1")		
	WEATHERING POTENTIAL		
	Highly Severe	Moderate	Severe
Reinforced walls and foundations not exposed to the weather	2,500 ^a	3,000 ^a	2,500 ^a
Reinforced slabs and interior masonry grade, except garage floor slabs	2,500 ^a	3,000 ^a	2,500 ^a
Reinforced walls, foundations, walls, exterior masonry, and other vertical concrete work exposed to the weather	2,500 ^a	3,000 ^a	3,000 ^a
Porches, support slabs and steps exposed to the weather, and garage floor slabs	2,500 ^a	3,000 ^a	3,000 ^a



NOTE: HIP RIDGE FOR THE MAIN ROOF AS:
 2X8 #2 D-FIR FOR UNBRACED LENGTH UP TO 9'0"
 2X10 #2 D-FIR FOR UNBRACED LENGTH UP TO 10'0"
 2X12 #2 D-FIR FOR UNBRACED LENGTH UP TO 12'0"



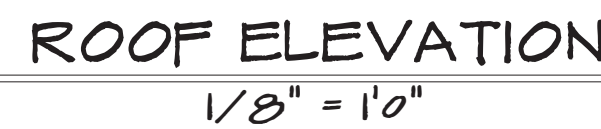
BUILDER/CONTRACTOR IS RESPONSIBLE TO CHECK ALL DIMENSIONS FOR ACCURACY BETWEEN FLOORS, POSITION, AND ELEVATIONS, ALSO VERIFY ALL BEAM, HENKERS, AND LOCATIONS, AND COLUMN SIZES. BUILDER/CONTRACTOR TO CHECK FOR COMPLIANCE WITH CONTRACTS, CITY, AND NATIONAL CODES. BUILDER/CONTRACTOR ACCEPTS ALL RESPONSIBILITY FOR LOT PLACEMENT, SET-BACKS, AND FLOOD PLAINS. BUILDER/CONTRACTOR AND HOME OWNER ACCEPTS RESPONSIBILITY FOR ANY AND ALL BUILDING-CODE VIOLATIONS AND INFRINGEMENTS OR OTHERWISE TO OTHER COMPLICATED PLANS. BUILDER/CONTRACTOR ACCEPTS RESPONSIBILITY FOR ANY ON SITE CHANGES MADE TO STRUCTURE.

HOME BUYER:	PHONE:	DATE DRAWN:	PLAN NO. KH-6109	SHEET NO. 5
BUILDER:	PHONE:	DATE REVISED:	FILE NAME: 6109 SEC2	APPROX. SQ.FT.
SUB-DIVISION:	LOT NO.	DESIGNER:		



F.W. WALL REINFORCEMENT (CLASS 60 SOIL,
 EXCEPT FOR RARE CIRCUMSTANCES)
 (ALL REBARS TO BE GRADE 40)
 0' WALL W/ 0' BACKFILL VERT. #4 REBARS @ 12" O.C.
 0' WALL W/ 0' BACKFILL VERT. #4 REBARS @ 18" O.C.
 SET ON A 16" X 4" CONCRETE FOOTER WITH (3) #4
 REBARS CONTINUOUS.
 10' WALL W/ 0' BACKFILL VERT. #4 REBARS @ 0' O.C.
 0' WALL W/ 0' BACKFILL VERT. #4 REBARS @ 12" O.C.
 SET ON A 24" X 4" CONCRETE FOOTER WITH (2) #4
 REBARS CONTINUOUS.
 HORIZ. #4 REBARS @ 24" O.C.
 0' X 40' CONCRETE WALL WITH (3) #4 REBARS
 HORIZ. AND WITH #4 REBARS @ 24" O.C. VERTICALLY
 CONCRETE FLOOR - 4" CONCRETE ON 4"
 CRUSHED ROCK
 CONCRETE GARAGE FLOOR - 4"
 CONCRETE ON 4" CRUSHED ROCK WITH
 6X6 10/10 WIRE MESH.
 (SUFFICIENT GARAGE FLOORS TO BE
 DESIGNED BY LICENCED ENGINEER)
 COLUMN FOOTING FOR MIN. SOIL
 LOAD OF 1000 PPS
 42" X 42" X 4" CONCRETE PADS WITH (6)
 #4 REBARS W/ 10' (UNLESS NOTED)
 CONCRETE GRADE PADS - 16" X 16" WITH (2)
 #4 REBARS CONTINUOUS.
 ALL FOOTINGS SHALL EXCEED A MINIMUM FROST
 DEPTH OF 36 INCHES BELOW GRADE.
 MAXIMUM DEPTH OF UNBALANCED FILL IS 17 (FEET)
 FOR 8-INCH WALL AND (8 FEET) FOR TENCH WALL
 WATERPROOF CONCRETE WALL FROM FOOTING TO
 GRADE LINE.
 OPTIONAL WALL-OUT WALK
 1' X 8" CONCRETE FOOT FOOTING 1/1" (3) #4
 REBARS PARALLEL 1/2" O.C. CONTINUOUS.
 #4 REBAR VERT. BENT INTO FOOTING 7" @ 24" O.C.
 BELOW GRADE USE 4" OF CONCRETE ON 4"
 CRUSHED ROCK WITH 6-MIL-PLY OVER CRUSHED
 ROCK BELOW GRADE
 DRAINAGE TILES, GRAVEL OR CRUSHED STONE
 DRAINS, PERFORATED PIPE OR OTHER APPROVED
 SYSTEMS OR MATERIAL SHALL BE INSTALLED AT
 OR BELOW THE AREA TO BE PROTECTED AND SHALL
 DISCHARGE BY GRAVITY OR MECHANICAL MEANS
 INTO AN APPROVED DRAINAGE SYSTEM.
 GRAVEL OR CRUSHED STONE DRAINS SHALL EXTEND
 AT LEAST 1 FOOT BEYOND THE OUTSIDE EDGE OF THE
 FOOTING AND 6 INCHES ABOVE THE TOP OF THE
 FOOTING OR SHALL BE INSTALLED WITH AN APPROVED
 FILTER MEMBRANE MATERIAL. THE TOP OF OPEN
 JOINTS OF DRAIN TILES SHALL BE PROTECTED WITH
 STRIPS OF BUILDING PAPER, AND CONCRETE TILES OR
 PERFORATED PIPE SHALL BE SET ON A MINIMUM
 OF 2 INCHES OF WASHED GRAVEL, OR CRUSHED
 ROCK AT LEAST ONE SIXTH SIZE LARGER THAN THE
 TILE. JOINT OPENING OR PERFORATION AND
 CONCRETE SHALL NOT LESS THAN 6 INCHES OF THE
 SAME MATERIAL.

TYPE OR LOCATION OF CONCRETE CONSTRUCTION	SPECIFIED COMPRESSIVE STRENGTH (1")		
	WEATHERING POTENTIAL (2")		
	Highly Severe	Moderate	Severe
Basement walls and foundation not exposed to the weather	2,500 ^a	2,500 ^a	2,500 ^a
Basement slabs and exterior foundation grade, except garage floor slabs	2,500 ^a	2,500 ^a	2,500 ^a
Basement walls, foundation walls, exterior walls and other vertical concrete work, exposed to the weather	2,500 ^a	2,500 ^a	2,500 ^a
Porches, carport slabs and steps exposed to the weather, and garage floor slabs	2,500 ^a	2,500 ^a	2,500 ^a



NOTE.. HIP RIDGE FOR THE MAIN ROOF AS:
2X8 #2 D-FIR FOR UNBRACED LENGTH UP TO 9'0"
2X10 #2 D-FIR FOR UNBRACED LENGTH UP TO 10'0"
2X12 #2 D-FIR FOR UNBRACED LENGTH UP TO 12'0"



BUILDER/CONTRACTOR IS RESPONSIBLE TO CHECK ALL DIMENSIONS FOR ACCURACY BETWEEN FLOORS, FOUNDATION, AND ELEVATIONS. ALSO VERIFY ALL BEAM, HEADERS, AND JOIST LOCATIONS. BUILDER/CONTRACTOR TO CHECK FOR COMPLIANCE WITH CONTRACTS, CITY, AND NATIONAL CODES. BUILDER/CONTRACTOR ACCEPTS ALL RESPONSIBILITY FOR LOT PLACEMENT, SET-BACKS, AND FLOOD PLAINS. BUILDER/CONTRACTOR AND HOME OWNER ACCEPTS RESPONSIBILITY FOR ANY AND ALL COPYRIGHT INFRINGEMENTS OR RESSEMBLANCES TO OTHER COPYRIGHTED PLANS. BUILDER/CONTRACTOR ACCEPTS RESPONSIBILITY FOR ANY ON SITE CHANGES MADE TO STRUCTURE.

HOME BUYER:	PHONE:	DATE DRAWN:	PLAN NO. KH-6109	SHEET NO. B
BUILDER:	PHONE:	DATE REVISED:	FILE NAME: 6109 SEC2	APPROX. SQFT.
SUB-DIVISION:	LOT NO.	DESIGNER:		