



1631 SW BLACKSTONE PLACE  
LEES SUMMIT MO  
LOT 143 NAPA VALLEY

BUILDER/CONTRACTOR IS RESPONSIBLE TO  
CHECK ALL DIMENSIONS FOR ACCURACY  
BETWEEN FLOORS, FOUNDATION, AND ELEVATIONS.  
ALSO VERIFY ALL BEAM, HEADERS, PAD LOCATIONS,  
AND COLUMN SIZES.

**FRONT ELEVATION**  
1/4" = 1'0"

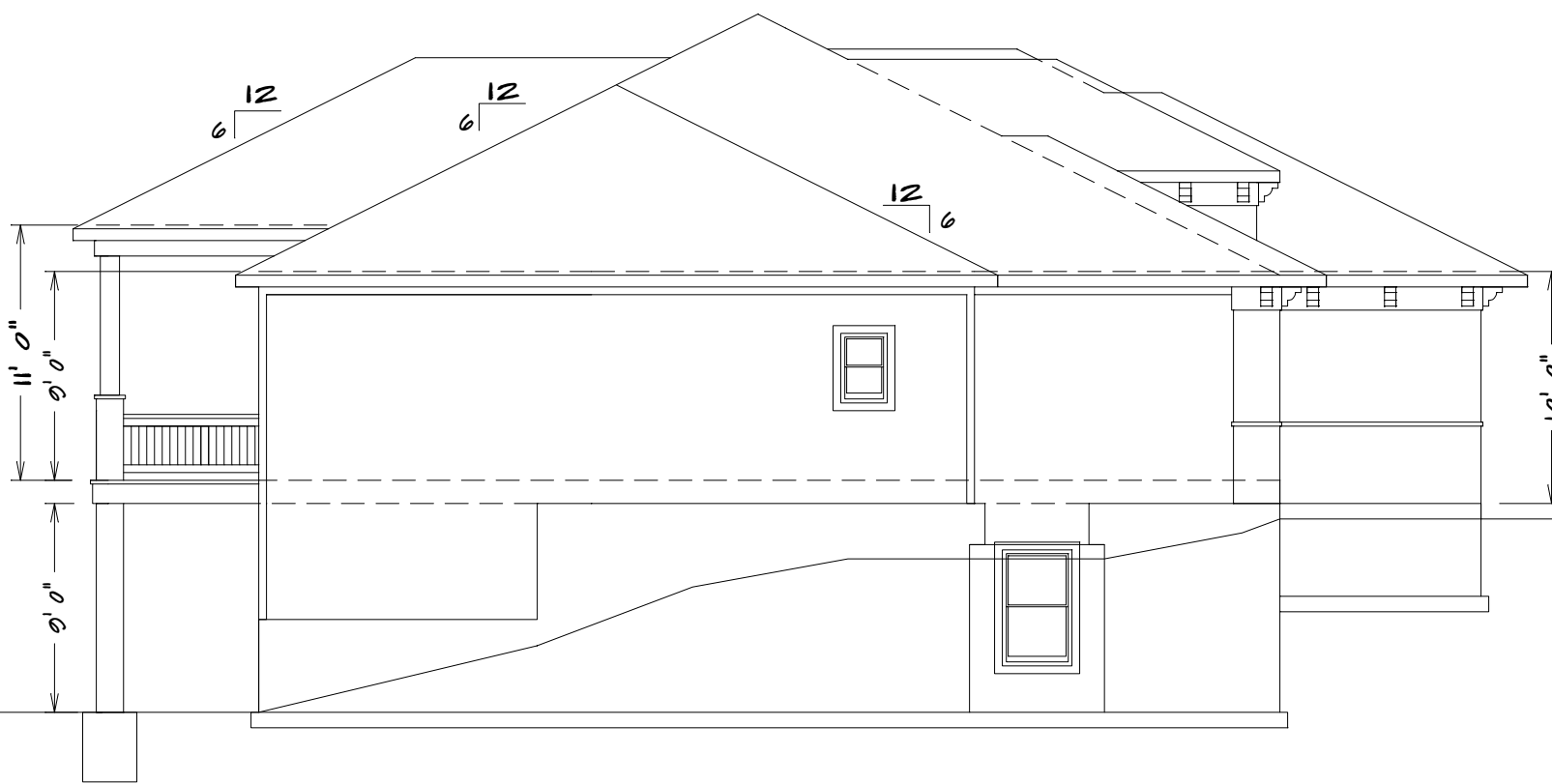
NOTE:  
ACTUAL ELEVATIONS MAY VARY FROM ARCHITECTURAL  
DRAWINGS, DUE TO TERRAIN/BACKFILL PROCESS.  
FRONT ELEVATION IS ARCHITECTURAL DRAWING AND  
MAY VARY DUE TO MATERIALS AVAILABILITY.

ALL NOTES, SECTIONS, AND DRAWINGS  
ARE IN ACCORDANCE WITH THE 2018 IRC

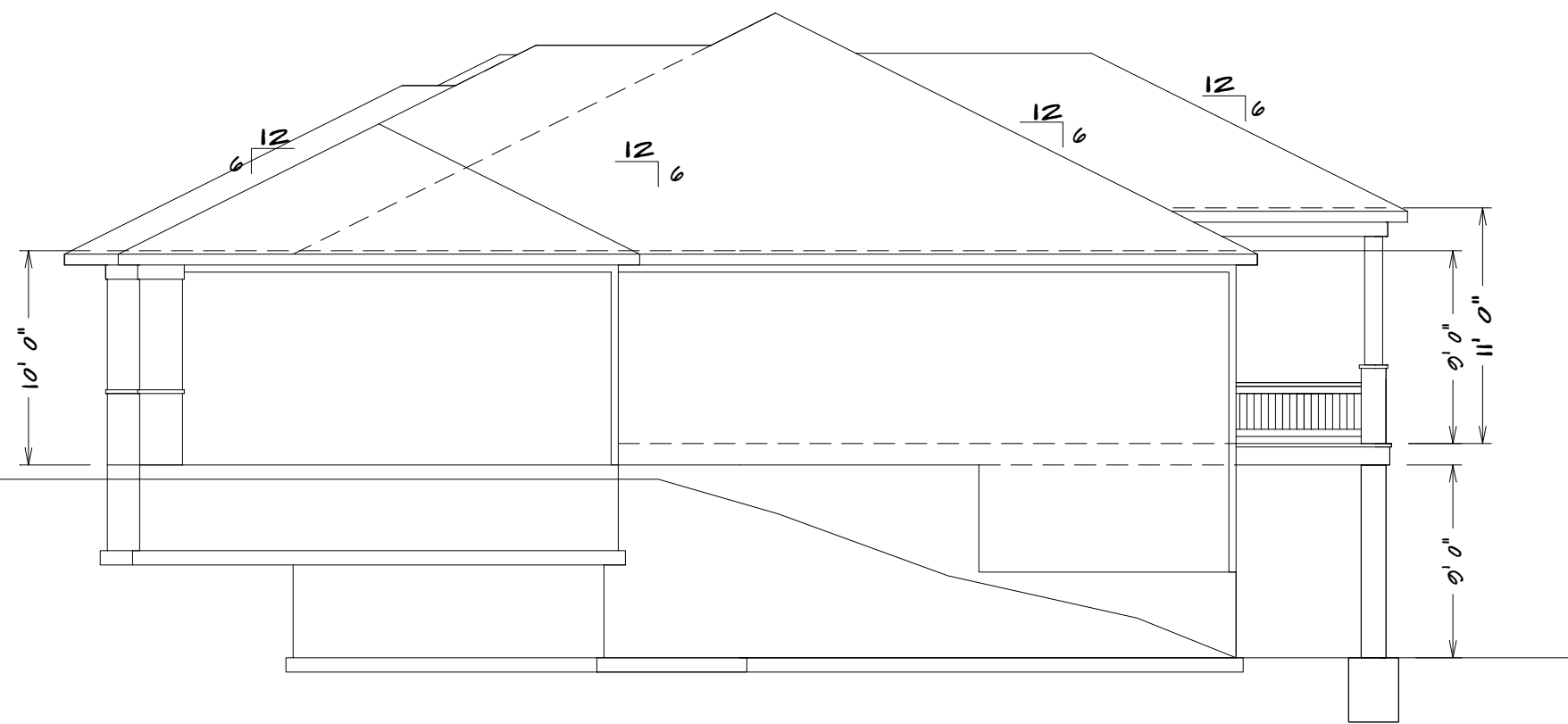
# THE "CYPRESS"



**REAR ELEVATION**  
1/8" = 1'0"



**LEFT ELEVATION**  
1/8" = 1'0"



**RIGHT ELEVATION**  
1/8" = 1'0"

KH-6105 (THE CYPRESS) LOT 143



HOME BUYER:	PHONE:	DATE DRAWN:	PLAN NO.	SHEET NO.
BUILDER:	PHONE:	DATE REVISED:	KH-6105	1-A
SUB-DIVISION:	LOT NO.	DESIGNER:	FILE NAME:	APPROX. SQ.FT.
			6105 ELEV	

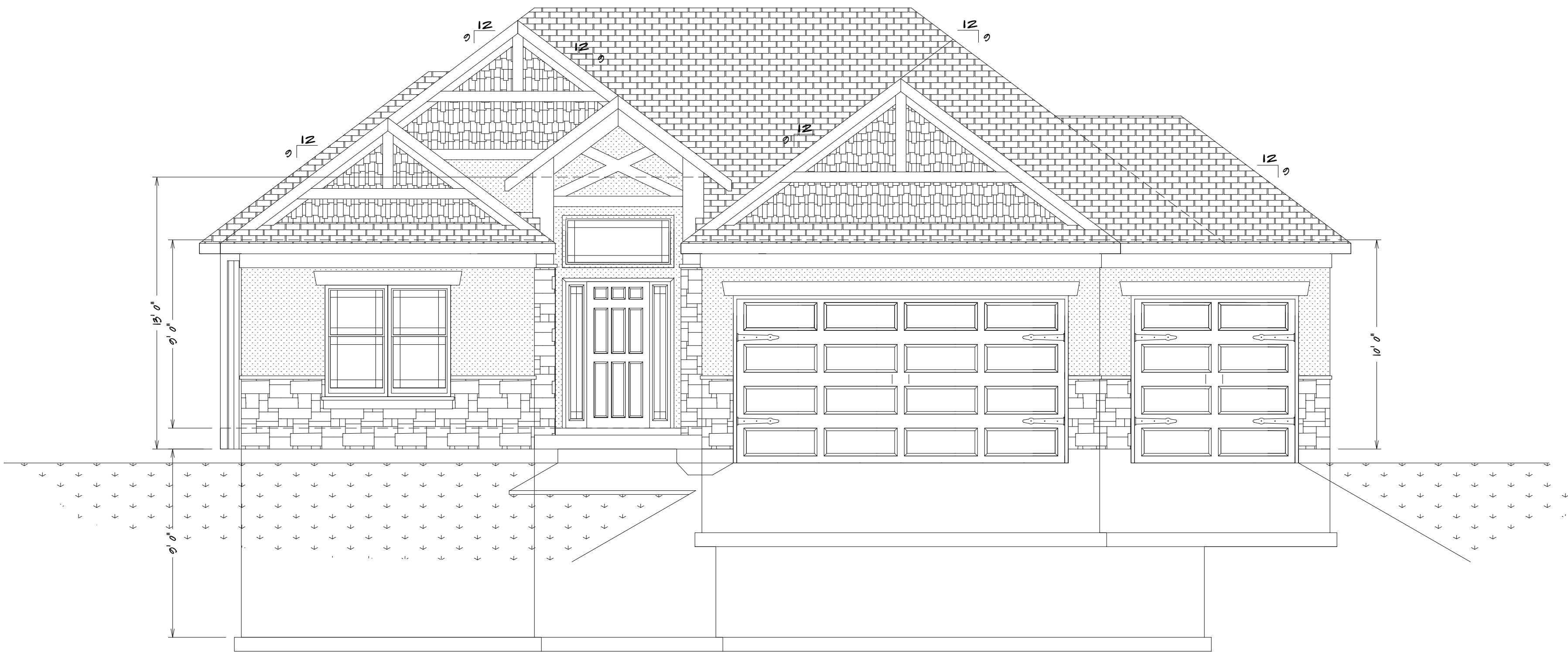
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CONCRETE CURB, CURB, AND CURB. BUILDER/CONTRACTOR IS TO CHECK FOR  
ACCEPTS ALL RESPONSIBILITY FOR LOT PLACEMENT, SETBACKS, AND PLANS.  
BUILDER/CONTRACTOR AND HOME OWNER ACCEPTS RESPONSIBILITY FOR ANY AND ALL  
COPYRIGHT INFRINGEMENTS OR RESUBMISSIONS TO OTHER COPYRIGHTED PLANS.  
BUILDER/CONTRACTOR ACCEPTS RESPONSIBILITY FOR ANY ON SITE CHANGES MADE  
TO STRUCTURE.

## SQUARE FOOTAGE

LIVING AREA  
FIRST FLOOR = 1800  
BASEMENT = 1100  
COVERED DECK = 106

UNFINISHED AREA  
STORAGE BASEMENT = 280  
GARAGE = 600  
UNDER STOOP = 52





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FRONT ELEVATION

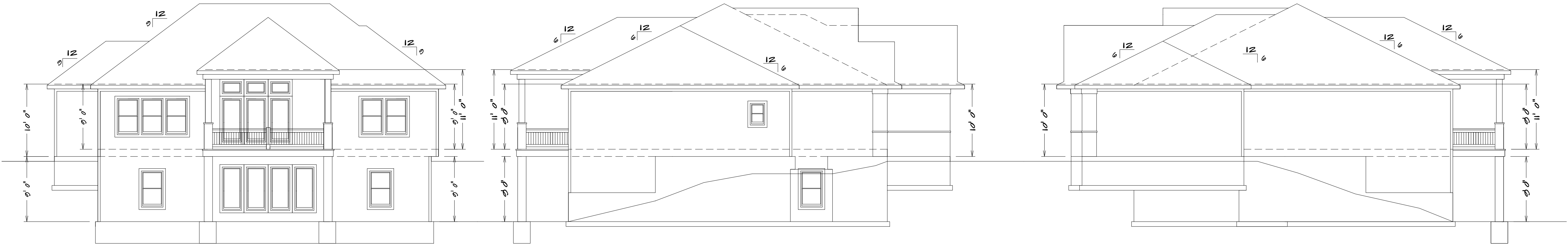
1/4" = 1'0"

NOTE:  
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1631 SW BLACKSTONE PLACE  
LEES SUMMIT MO  
LOT 143 NAPA VALLEY

THE "CYPRESS"

ALL NOTES, SECTIONS, AND DRAWINGS ARE IN ACCORDANCE WITH THE 2018 IRC



REAR ELEVATION

1/8" = 1'0"

LEFT ELEVATION

1/8" = 1'0"

RIGHT ELEVATION

1/8" = 1'0"

KH-6105 (THE CYPRESS) LOT 143



SQUARE FOOTAGE

LIVING AREA  
FIRST FLOOR = 1850  
BASEMENT = 1120  
COVERED DECK = 106  
  
UNFINISHED AREA  
STORAGE BASEMENT = 280  
GARAGE = 600  
UNDER STOOP = 52

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SUB-DIVISION:	LOT NO.	DESIGNER:	FILE NAME:	APPROX. SQ.FT.
			6105 ELEV	

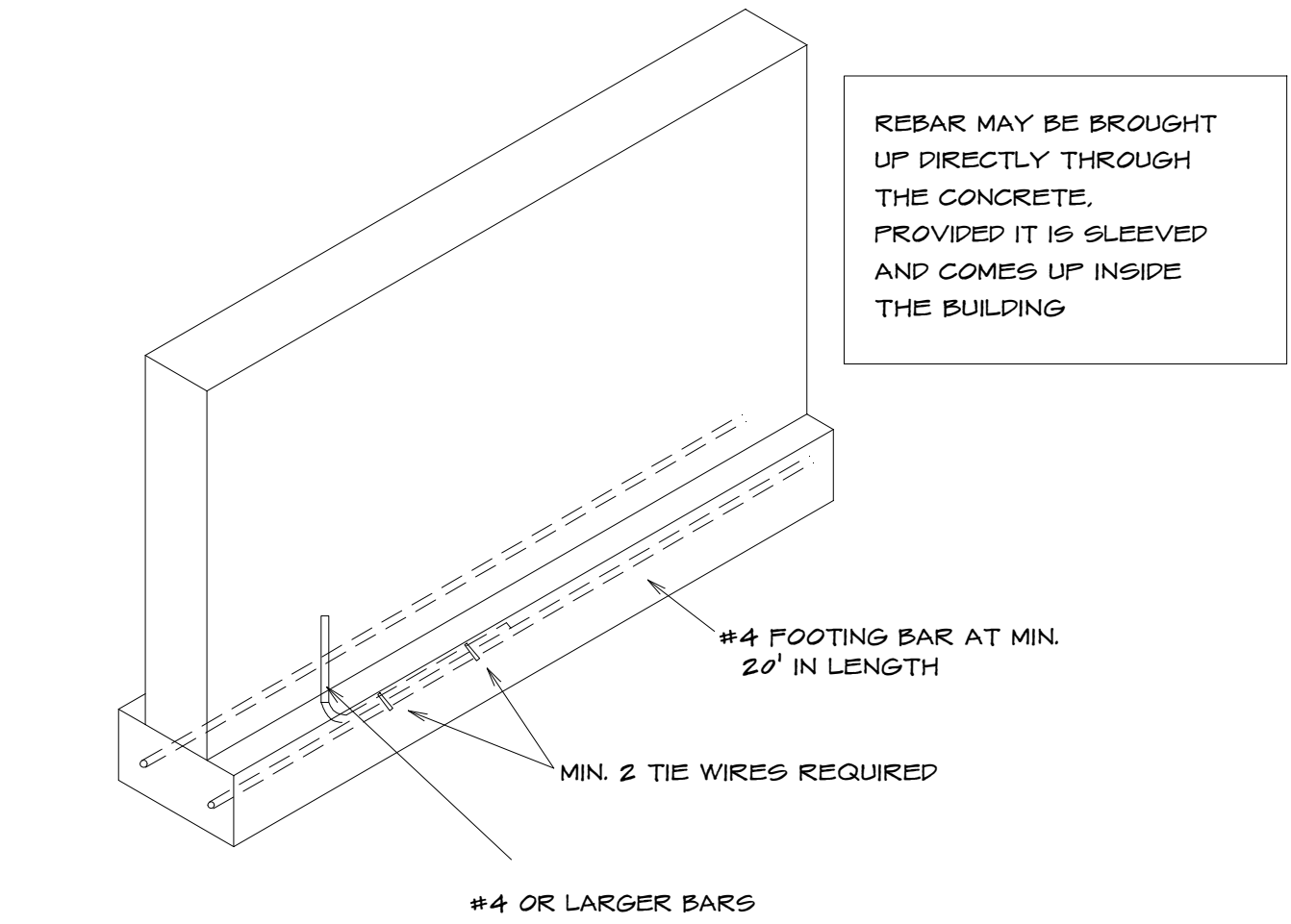


SEE ELEVATION FOR  
WALL HEIGHTS

NOTE... ELECTRICAL SERVICE  
TO BE 200 AMP.

NOTE... DOUBLE JOIST UNDER  
ALL PARALLEL WALLS  
ABOVE UNLESS NOTED

S.D.  
= SMOKE DETECTOR

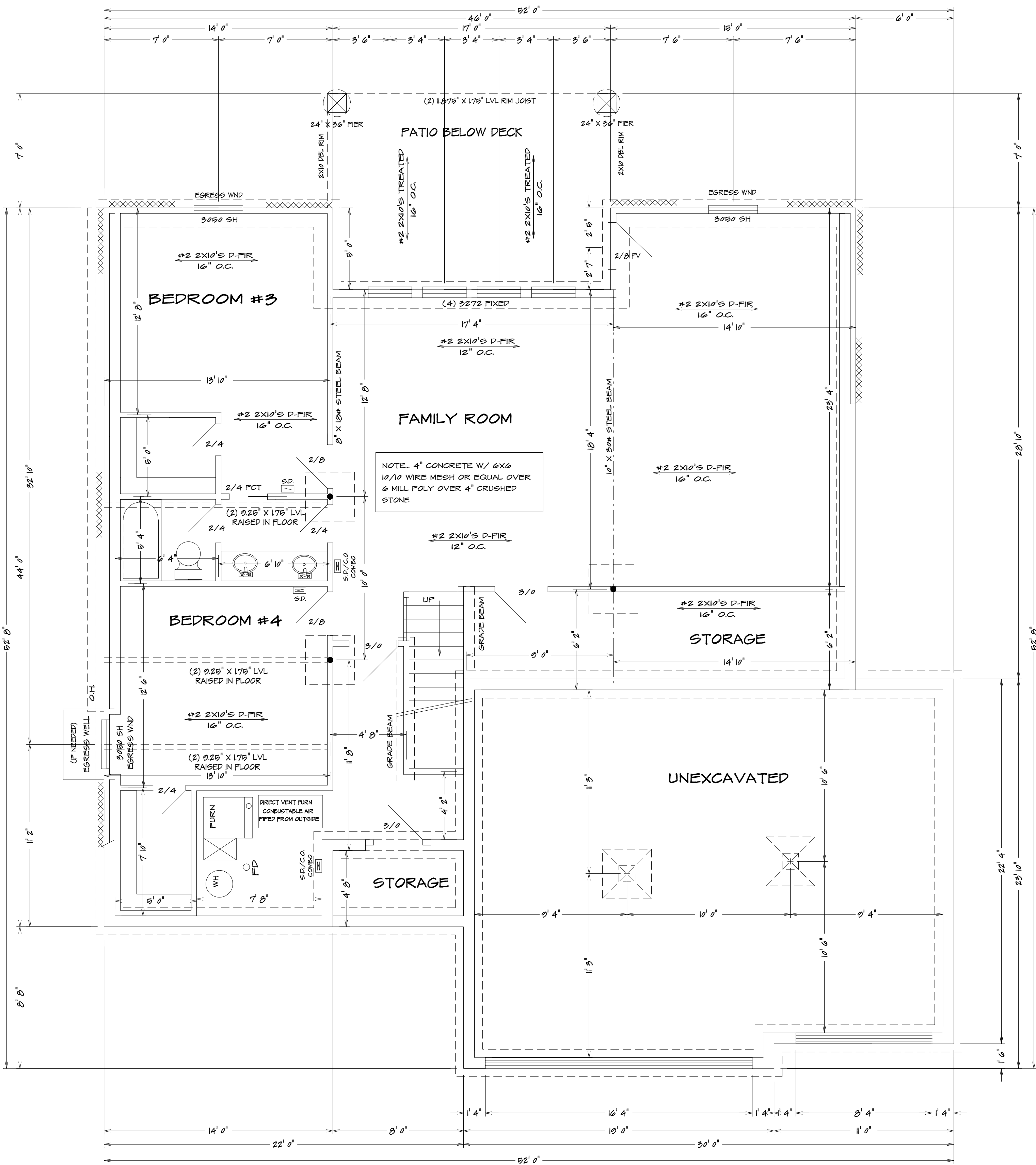


1. Section 250.52 of the National Electrical Code requires that the concrete encased reinforcing steel be included in the grounding electrode system. This means that you must have "an electrode encased by at least 50 mm (2 in.) of concrete, located horizontally near the bottom or vertically, and within that portion of a concrete foundation or footing that is in direct contact with the earth, consisting of at least 6.0 m (20 ft) of one or more bars or zinc galvanized or other electrically conductive coated steel reinforcing bars or rods of not less than 13 mm (1/2 in.) in diameter, or consisting of at least 6.0 m (20 ft) of bare copper conductor not smaller than 4 AWG.

2. Reinforcing bars shall be permitted to be bonded together by the steel tie wires or other effective means. Where multiple concrete-encased electrodes are present at a building or structure, it shall be permissible to bond only one into the grounding electrode system." Proper lap splice are required

UFER GROUNDING SECTION

Note...Bridging. Joists exceeding a nominal 2 inches by 12 inches shall be supported laterally by solid blocking, diagonal bridging (wood or metal), or a continuous 1-inch-by-3-inch strip nailed across the bottom of joists perpendicular to joists at intervals not exceeding 8 feet. (R502.7.1)



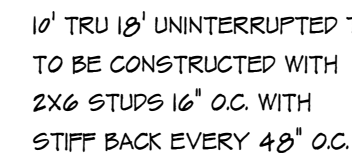
BASEMENT PLAN  
1/4" = 1'0"

ALL NOTES, SECTIONS, AND DRAWINGS  
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HOME BUYER:	PHONE:	DATE DRAWN:	PLAN NO.	SHEET NO.
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	SUB-DIVISION:	DESIGNER:	FILE NAME:	APPROX. SQ.FT.
			6105 BSMT	

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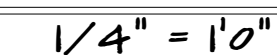
S.D.  
 = SMOKE DETECTOR



USE HEADERS FOR OPENINGS ABOVE UNLESS SPECIFIED OTHERWISE

Window opening control devices shall comply with ASTM F 2090. The window opening control device, after operation to release the control device allowing the window to fully open, shall not reduce the minimum net clear opening area of the window unit to less than the area required by Section R310.11.

Exhaust air from the space shall be exhausted directly to the outdoors.



A circular red seal for the State of Missouri Professional Engineer. The outer ring contains the text "STATE OF MISSOURI" at the top and "PROFESSIONAL ENGINEER" at the bottom, separated by two red stars. The center of the seal contains the name "AARON DELANEY OBERMILLER" and the license number "PE008019580". A blue ink signature "Aaron D. Obermiller" and the date "05-20" are written across the seal.

COMPLIANCE WITH CONTRACTS, CITY, AND NATIONAL CODES. BUILDER/CONTRACTOR ACCEPTS ALL RESPONSIBILITY FOR LOT PLACEMENT, SET-BACKS, AND FLOOD PLAINS. BUILDER/CONTRACTOR AND HOME OWNER ACCEPTS RESPONSIBILITY FOR ANY AND ALL COPYRIGHT INFRINGEMENTS OR RESSEMBLANCES TO OTHER COPYRIGHTED PLANS. BUILDER/CONTRACTOR ACCEPTS RESPONSIBILITY FOR ANY ON SITE CHANGES MADE TO STRUCTURE.









FINO WALL REINFORCEMENT (CLASS 60 SOL.  
EXP. FOR RARE CIRCUMSTANCES)  
(ALL REBARS TO BE GRADE 40)

0' WALL / 0' BACKFILL VERT. #4 REBARS @ 12" O.C.  
0' WALL / 0' BACKFILL VERT. #4 REBARS @ 18" O.C.  
SET ON A 16" X 16" CONCRETE FOOTER WITH (3) #4  
REBARS CONTINUOUS

10' WALL / 0' BACKFILL VERT. #4 REBARS @ 12" O.C.  
10' WALL / 0' BACKFILL VERT. #4 REBARS @ 18" O.C.  
SET ON A 20" X 16" CONCRETE FOOTER WITH (3) #4  
REBARS CONTINUOUS

HORE #4 REBARS @ 24" O.C.

0' X 4' CONCRETE WALL WITH (3) #4 REBARS  
HORE AND WITH #4 REBARS @ 24" O.C. VERTICALLY  
CONCRETE FLOOR - 4" CONCRETE ON 4"  
CRUSHED ROCK

CONCRETE GARAGE FLOOR - 4"  
CONCRETE ON 4" CRUSHED ROCK WITH  
6/62 16/10 WIRE MESH.

EXPANDED GARAGE FLOORS TO BE  
DESIGNED BY LICENCED ENGINEER

COLUMN FOOTING FOR MIN. SOL.  
102' OF 18" REBARS

12" X 4" X 16" CONCRETE PADS WITH (6)  
#4 REBARS 4" WAY (UNLESS NOTED)

CONCRETE GARAGE PADS - 16" X 16" WITH (2)  
#4 REBARS CONTINUOUS

ALL FOOTINGS SHALL EXCEED A MINIMUM FOOTING  
DEPTH OF 36" BELOW BELOW GRADE

MANHOLE DEPT. OF UNBURNED H.W. (5 FEET)  
FOR 6" INCH WALL (8 FEET) FOR TEN INCH  
WALL

WATERPROOF CONCRETE WALL FROM FOOTING TO  
GRADE LINE

OPTIONAL, WALL-OUT FLOOR

0' X 4' CONCRETE WALL WITH (3) #4  
REBARS PARALLEL 12" O.C. CONTINUOUS.

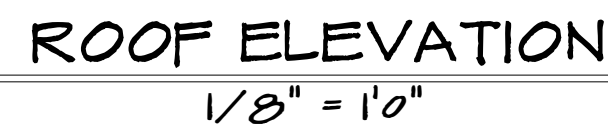
#4 REBAR VERT. BENT UP FLOOR 7'0" @ 24" O.C.

BELOW GRADE USE 4" OF CONCRETE ON 4"  
CRUSHED ROCK WITH 6-MIL. PL. OVER CRUSHED  
ROCK BELOW GRADE

DRAINAGE TILES, GRAVEL OR CRUSHED STONE  
PERMANENT DRAINAGE OR APPROVED  
SYSTEMS OR MATERIALS SHALL BE INSTALLED AT  
OR BELOW THE AREA TO BE PROTECTED AND SHALL  
DISCHARGE BY GRAVITY OR MECHANICAL MEANS  
TO A DRAINAGE OR COLLECTION SYSTEM.

GRAVEL OR CRUSHED STONE DRAINS SHALL EXTEND  
AT LEAST 1 FOOT BEYOND THE OUTSIDE EDGE OF THE  
FOOTING AND 6 INCHES ABOVE THE TOP OF THE  
FOOTING AND SHALL BE COVERED WITH APPROVED  
FILTER MEMBRANE MATERIAL. THE TOP OF OPEN  
JOINTS OF DRAIN TILES SHALL BE PROTECTED WITH  
STRIPS OF BUILDING PAPER, AND DRAINAGE TILES OR  
PERFORATED PIPE SHALL BE PLACED ON A MINIMUM  
OF 2 INCHES OF WASHED GRAVEL OR CRUSHED  
ROCK AT LEAST ONE SIEVE SIZE LARGER THAN THE  
TILE JOINT OPENING OR PERFORATION AND  
CONCRETE SHALL BE NOT LESS THAN 6 INCHES OF  
THE SAME MATERIAL.

REQUIRED FOOTING:			
BUILDING HEIGHT	MINIMUM FOOTING	HORIZONTAL REBAR	LOCATION OF REBAR
1 OR 2 STY.	8" T x 16" W	2-#4	3" FROM BTM.
3 STORY	8" T x 24" W	2-#4	3" FROM BTM.
ACC. STR.	8" T x 12" W	2-#4	3" FROM BTM.



NOTE: HIP RIDGE FOR THE MAIN ROOF AS:  
2X8 #2 D-FIR FOR UNBRACED LENGTH UP TO 9'0"  
2X10 #2 D-FIR FOR UNBRACED LENGTH UP TO 10'0"  
2X12 #2 D-FIR FOR UNBRACED LENGTH UP TO 12'0"



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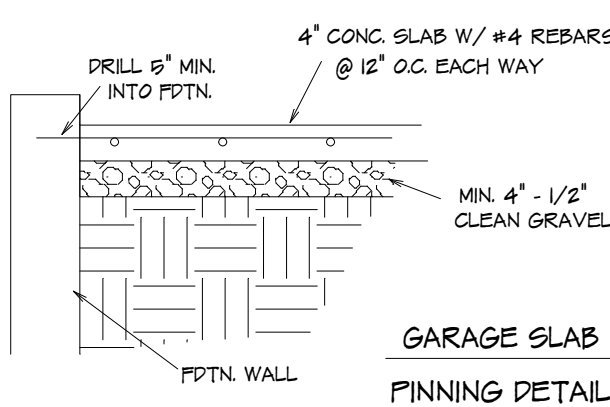
HOME BUYER:	PHONE:	DATE DRAWN:	PLAN NO.	SHEET NO.
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SUB-DIVISION:	LOT NO.	DESIGNER:	FILE NAME:	APPROX. SQ.FT.
			6103 SFT?	







TYPE OR LOCATION OF CONCRETE CONSTRUCTION	SPECIFIED COMPRESSIVE STRENGTH (f' <sub>c</sub> )		
	Weathering Potential <sup>a</sup>		Severe
	Negligible	Moderate	
Foundation walls and footings not exposed to weather	2,500	2,000	2,500
Foundation walls and interior slabs; grade, except garage floor slabs	2,500	2,000	2,500
Basement walls, foundation walls, exterior walls, and other exterior concrete work, exposed to the weather	3,000	2,500 <sup>b</sup>	3,000 <sup>b</sup>
Porches, carport slabs and steps exposed to the weather, and garage floor slabs	2,500	2,000 <sup>b,c</sup>	2,500 <sup>b,c</sup>



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2X8 #2 D-FIR FOR UNBRACED LENGTH UP TO 9'0"  
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