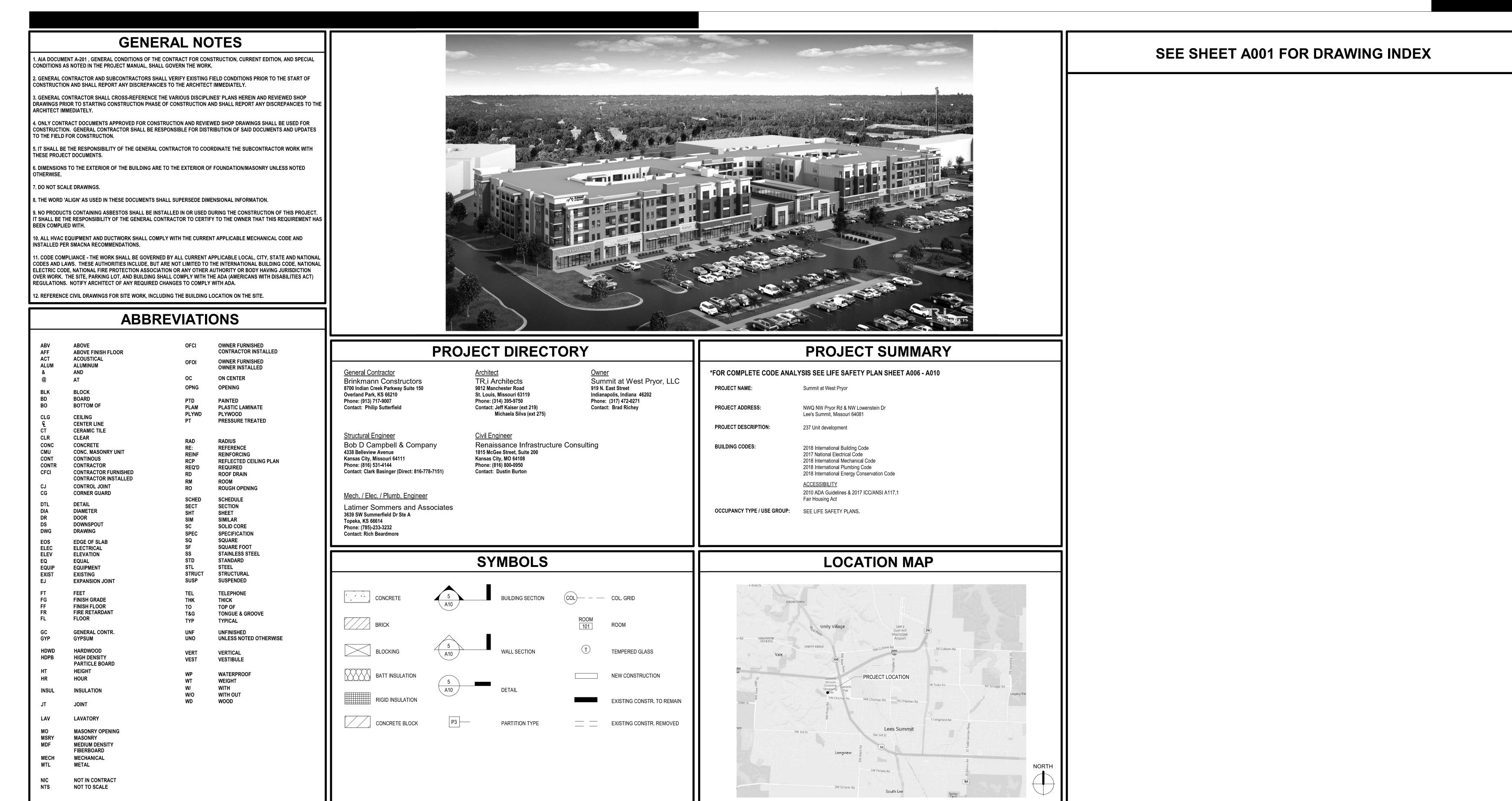
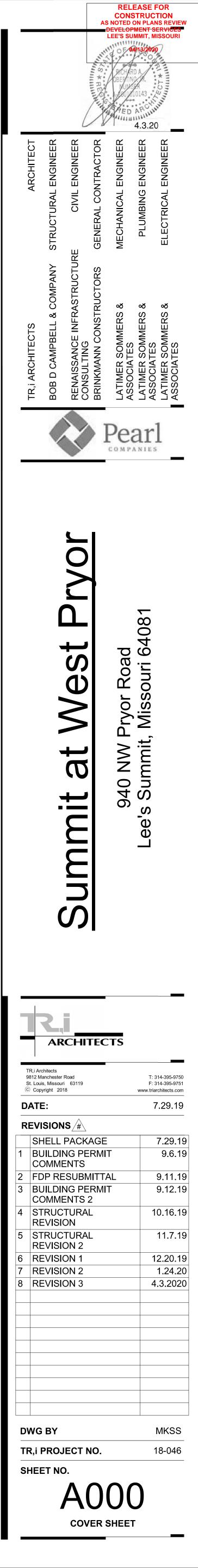


940 NW Pryor Road Lee's Summit, Missouri 64081 **PROJECT NO.: 18-046**

ISSUE DATE: 4.3.2020 (REVISION 3)



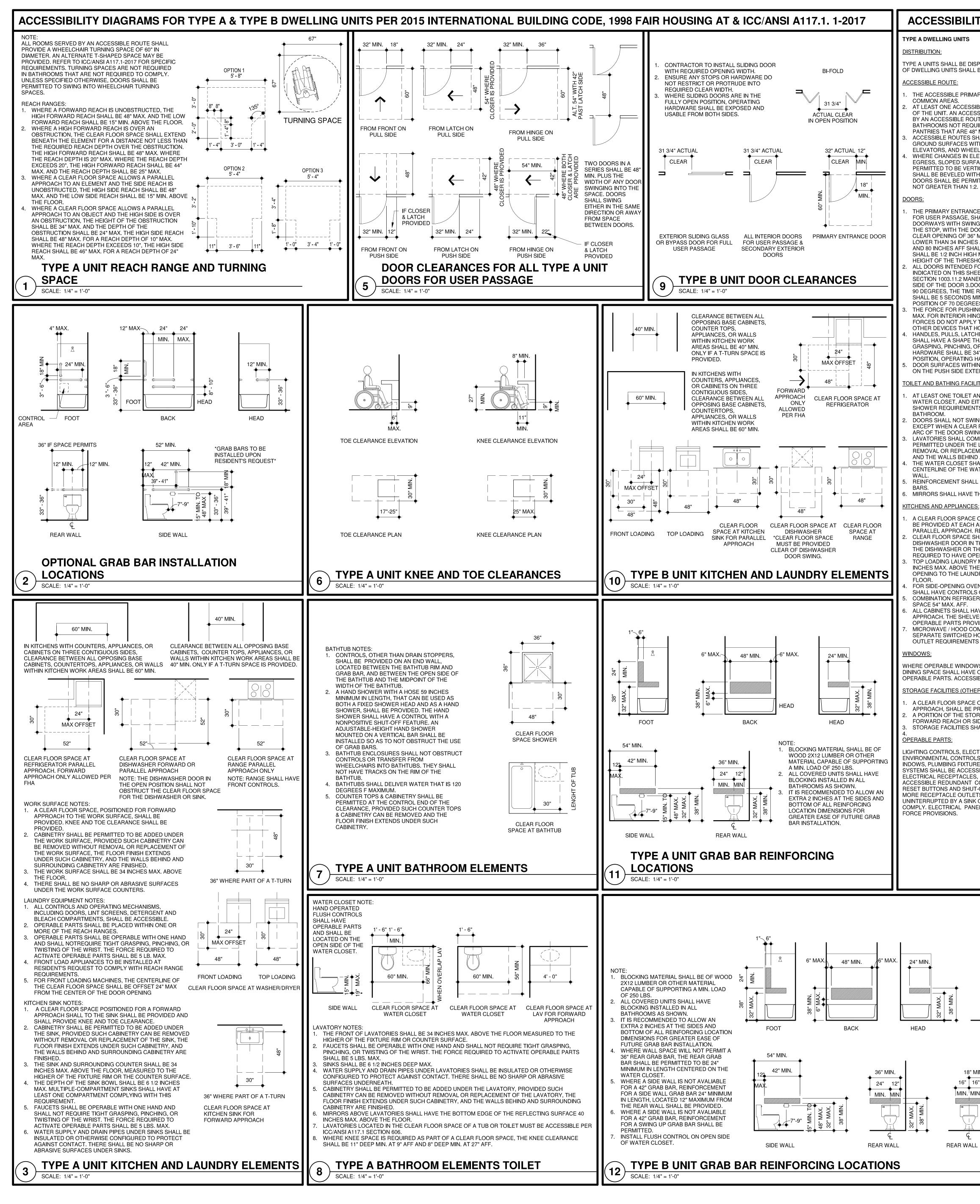


	DRAWING	INDEX								
• = REVISE • = REISSI X = ISSUEI	JED SHEET/NO REVISION									
			9.6.19		9.12.19		6			
						10.16.19	11 7 19			
		.19	COMMENTS	9.11.19	BUILDING PERMIT COMMENTS	N 10.	2			
		07.29.19	CON	L 9.1		REVISION	REVISION	19	_	50
		AGE	PERMIT	ATT	RMIT		RE	12.20.19	1.24.20	4.3.2020
		PACKAGE		RESUBMITTAL	G PE	STRUCTURAL	STRUCTURAL	~	2	3
			BUILDING		DIN	UCTI	UCTI	REVISION	REVISION	REVISION
	ARCHITECTURAL	SHELL	BUII	FDP	BUII	STR	STR	REV	REV	REV
A000 A001	COVER SHEET SHEET INDEX	•	•	•	•	•	•	•	•	•
A003 A004	ACCESSIBILITY REQUIREMENTS ACCESSIBILITY REQUIREMENTS & ADA	•								
A005	SOUND TRANSMISSION ASSEMBLIES	•						•		
A006 A007	LIFE SAFETY PLAN - GARAGE LIFE SAFETY PLAN - FIRST FLOOR	•	•	•				•	•	
A008	LIFE SAFETY PLAN - SECOND/THIRD FLOOR	•						•	•	
A009 A010	LIFE SAFETY PLAN - FOURTH FLOOR LIFE SAFETY PLAN - UNITS	•						•	•	
4011 4012	PARTITION TYPES FLOORING ASSEMBLIES	•						•	•	•
A013	DOOR SCHEDULE & TYPICAL DETAILS	•						•	•	•
4014 4015	WINDOW AND STOREFRONT SCHEDULE STOREFRONT SCHEDULE	•						•	•	•
A016 A017	STOREFRONT SCHEDULE UNIT SCHEDULES	•						•	•	•
A017 A020	WINDOW DETAILS	•						•	•	•
A021 A030	WINDOW DETAILS DOOR DETAILS	•								•
A031	DOOR DETAILS	•						•	•	
4032 4050	DOOR DETAILS ARCHITECTURAL SITE PLAN	•	•	•						•
A051	SITE DETAILS	•								-
A052 A053	ADDRESS PLAN - FIRST FLOOR ADDRESS PLAN - SECOND FLOOR								•	<u> </u>
A054 A055	ADDRESS PLAN - THIRD FLOOR ADDRESS PLAN - FOURTH FLOOR								•	-
A101A	GARAGE FLOOR PLAN	•	•					•	•	•
A101B A102	GARAGE PARKING PLAN FIRST FLOOR PLAN	•						•	•	•
A102-B A102-C/D	FIRST FLOOR PLAN - BLDG. B FIRST FLOOR PLAN - BLDG. C/D	•	•					•	•	
A102-C/D A102-E	FIRST FLOOR PLAN - BLDG. C/D FIRST FLOOR PLAN - BLDG. E	•	•					•	•	•
А103 А103-В	SECOND/THIRD FLOOR PLAN SECOND / THIRD FLOOR PLAN - BLDG. B	•	•					•	•	•
A103-C/D	SECOND / THIRD FLOOR PLAN - BLDG. B SECOND / THIRD FLOOR PLAN - BLDG. C/D	•						•	•	•
4103-Е 4104	SECOND / THIRD FLOOR PLAN - BLDG. E FOURTH FLOOR PLAN	•						•	•	•
A104 - B	FOURTH FLOOR PLAN - BLDG. B	•						•	•	
A104-C/D A104-E	FOURTH FLOOR PLAN - BLDG. C/D FOURTH FLOOR PLAN - BLDG. E	•						•	•	•
A110		•								
A150 A151	UNIT 'A1' PLANS & ELEVATIONS UNIT 'A2' PLANS & ELEVATIONS	•						•		•
A152 A153	UNIT 'A3' PLANS & ELEVATIONS UNIT 'A4' PLANS & ELEVATIONS	•						•		•
A154	UNIT 'B1' & 'B3' PLANS & ELEVATIONS	•						•		•
A155 A156	UNIT 'B2' PLANS & ELEVATIONS UNIT 'B2-TYPE A' PLANS & ELEVATIONS	•						•		•
A157 A158	UNIT 'C1' & 'C2' PLANS & ELEVATIONS UNIT 'D1' PLANS & ELEVATIONS	•						•		•
A159	UNIT 'D2' PLANS & ELEVATIONS	•						•		•
4160 4161	UNIT 'F1' PLANS & ELEVATIONS UNIT 'F1-TYPE A' PLANS & ELEVATIONS	•						•		•
A162	UNIT 'G1' & 'G1.1' PLANS	•						•		•
4163 4164	UNIT 'G1' & 'G1.1' ELEVATIONS UNIT 'H1' & 'H2' PLANS & ELEVATIONS	•						•		•
4170 4171	UNIT DETAILS UNIT BATHROOM DETAILS							•		•
A201	OVERALL EXTERIOR ELEVATIONS	•						•	•	
4202 4203	EAST ELEVATIONS SOUTH ELEVATION	•						•	•	•
4204	WEST ELEVATIONS	•						•	•	•
4205 4206	NORTH ELEVATION SOUTH COURTYARD ELEVATIONS	•						•	•	•
4207 4208	CENTER COURTYARD ELEVATIONS NORTH COURTYARD ELEVATIONS	•						•	•	•
4210	ENLARGED ELEVATIONS	¥						•		
4220 4301	BALCONY DETAILS BUILDING SECTIONS	•						•		
4302	BUILDING SECTIONS	•								
4303 4304	WALL SECTIONS WALL SECTIONS	•								•
4305 4306	WALL SECTIONS WALL SECTIONS	•								•
4307	WALL SECTIONS	•								•
4308 4309	WALL SECTIONS WALL SECTIONS	•								•
4310	WALL SECTIONS	•								•
4311 4312	WALL SECTIONS WALL SECTIONS	•								•
4313 4314	CENTER COURTYARD WALL SECTIONS CENTER COURTYARD WALL SECTIONS	•								•
A315	NORTH & SOUTH COURTYARD WALL SECTIONS	•								•
4316 4320	NORTH & SOUTH COURTYARD WALL SECTIONS SECTION DETAILS	•							•	
\321	SECTION DETAILS	•						-	•	•
4322 4323	SECTION DETAILS SECTION DETAILS	•						•	•	
4325 4350	PLAN DETAILS STAIR A	•						•	•	
4351	STAIR B	•							•	
4352 4353	STAIR C ELEVATOR A/C	•	•					•	•	<u> </u>
A354 A355	ELEVATOR B TRASH CHUTE	•	•					•	•	•
4401	ENLARGED COURTYARD PLANS							•	•	
\402 \403	ENLARGED COURTYARD PLANS ENLARGED COURTYARD PLANS	•						•		
404	ENLARGED COURTYARD PLANS	•						•		
4405 4406	ENLARGED COURTYARD PLANS ENLARGED COURTYARD PLANS	•						•		
4407	ENLARGED COURTYARD DRAIN PLANS	•						-		•
A408 A409	PERGOLA PLANS MECHANICAL SHAFTS	•						•	•	-
A410	ENLARGED AMENITY SPACES								•	•
A411	ENLARGED AMENITY SPACES		1				1			•

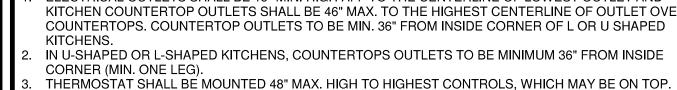
0004	STRUCTURAL	SHELL PACKAGE 07.29.19	BUILDING PERMIT COMMENTS 9.6.19	FDP RESUBMITTAL 9.11.19	BUILDING PERMIT COMMENTS 9.12.19	STRUCTURAL REVISION 10.16.19	STRUCTURAL REVISION 2 11.7.19	REVISION 1 12.20.19	REVISION 2 1.24.20	REVISION 3 4.3.2020
S001 S002	GENERAL NOTES SCHEDULES & CMU DETAILS	•								•
S003	TYPICAL WOOD GRAVITY SCHEDULES & DETAILS	•								
S004	TYPICAL WOOD LATERAL SCHEDULES & DETAILS	•								•
S005	TYPICAL WOOD DETAILS	•							ļ!	<u> </u>
S006 S007	TYPICAL WOOD DETAILS TYPICAL WOOD DETAILS	•							<u> </u>	<u> </u>
S110	FOUNDATION PLAN	•								<u> </u>
S110B	FOUNDATION PLAN - AREA B	•				•				
S110C/D	FOUNDATION PLAN - AREA C/D	•								
S110E	FOUNDATION- AREA E	•				•		<u> </u>	<u> </u>	<u> </u>
S111 S111B	COMMERCIAL FLOOR FRAMING PLAN COMMERCIAL FLOOR FRAMING PLAN- AREA B	•				-	•		<u> </u>	<u> </u>
S111B-R	COMMERCIAL FLOOR FRAMING PLAN- AREA B COMMERCIAL FLOOR REACTIONS PLAN - AREA B	•				•				<u> </u>
S111D-IX S111C/D	COMMERCIAL FLOOR FRAMING PLAN- AREA C/D	•				•			+	
S111C/D-R	COMMERCIAL FLOOR REACTIONS PLAN - AREA C/D	•								
S111E		•				•			ļ!	<u> </u>
S111E-R S112	COMMERCIAL FLOOR REACTIONS PLAN - AREA E FIRST FLOOR FRAMING PLAN	•								<u> </u>
S112 S112B	FIRST FLOOR 1 FRAMING PLAN- AREA B	•				•	•			<u> </u>
S112B-TR	FIRST FLOOR 1 TENSION ROD & REACTIONS PLAN - AREA B	•								
S112C/D	FIRST FLOOR 1 FRAMING PLAN- AREA C/D	•				•	•		<u> </u>	<u> </u>
S112C/D-TR S112E	FIRST FLOOR 1 TENSION ROD & REACTIONS PLAN - AREA C/D FIRST FLOOR 1 FRAMING PLAN- AREA E	•				•	•		<u> </u>	<u> </u>
S112E-TR	FIRST FLOOR 1 TENSION ROD & REACTIONS PLAN - AREA E	•				-				<u> </u>
S113	SECOND FLOOR FRAMING PLAN	•								
S113B	SECOND FLOOR FRAMING PLAN- AREA B	•				•		•	ļ!	<u> </u>
S113B-TR S113C/D	SECOND FLOOR TENSION ROD PLAN - AREA B SECOND FLOOR FRAMING PLAN- AREA C/D	•							<u> </u>	<u> </u>
S113C/D S113E	SECOND FLOOR FRAMING PLAN- AREA E	•				•		•	<u> </u>	•
S113E-TR	SECOND FLOOR TENSION ROD PLAN - AREA E	•								
S114		•							ļ!	<u> </u>
S114B S114C/D	THIRD FLOOR FRAMING PLAN- AREA A THIRD FLOOR FRAMING PLAN- AREA C/D	•				•			•	
S114E	THIRD FLOOR FRAMING PLAN- AREA E	•				-			•	<u> </u>
S115	FOURTH FLOOR FRAMING PLAN	•								
S115B	FOURTH FLOOR FRAMING PLAN- AREA B	•							•	<u> </u>
S115C/D S115E	FOURTH FLOOR FRAMING PLAN- AREA C/D FOURTH FLOOR FRAMING PLAN- AREA E	•							•	<u> </u>
S115E	ROOF FRAMING PLAN	•								
S116B	ROOF FRAMING PLAN- AREA B	•								
S116C/D	ROOF FRAMING PLAN- AREA C/D	•								
S116E	ROOF FRAMING PLAN- AREA E	•							ļ!	<u> </u>
S117 S117B	SHEARWALL AND BEARING WALL TYPE PLAN SHEARWALL AND BEARING WALL TYPE PLAN - B	•								<u> </u>
S117C/D	SHEARWALL AND BEARING WALL TYPE PLAN - D	•								-
S117E	SHEARWALL AND BEARING WALL TYPE PLAN - E	•								
S120	STAIR FRAMING PLANS	•							<u> </u>	
S121 S122	STAIR FRAMING PLANS STAIR FRAMING PLANS	•							<u> </u> '	
S122 S200	FOUNDATION SECTIONS	•								•
S201	FOUNDATION SECTIONS	•				•				
S300	STEEL FRAMING SECTIONS	•				•				
S301 S302	STEEL FRAMING SECTIONS	•					•			•
S302 S303	STEEL FRAMING SECTIONS STEEL FRAMING SECTIONS	•							+!	•
S304	STEEL FRAMING SECTIONS	•				•				
S305	STEEL FRAMING SECTIONS	•				•				
S306	STEEL FRAMING SECTIONS	•				•			ļ!	
S307 S320	STEEL FRAMING SECTIONS STEEL ROOF FRAMING SECTIONS	•			-				<u> </u>	•
S330	WOOD FLOOR FRAMING SECTIONS	•							+	<u> </u>
S331	WOOD FLOOR FRAMING SECTIONS	•								
S332	WOOD FLOOR FRAMING SECTIONS	•							<u> </u>	
S333	WOOD FLOOR FRAMING SECTIONS	•							ļ!	
S340 S341	WOOD ROOF FRAMING SECTIONS WOOD ROOF FRAMING SECTIONS	•			-				<u> </u>	
5342 5342	WOOD ROOF FRAMING SECTIONS	•					<u> </u>		+	
	ELEVATIONS	•		1	1		<u> </u>			

		1			_			1	1	
	MEP	SHELL PACKAGE 07.29.19	BUILDING PERMIT COMMENTS 9.6.19	FDP RESUBMITTAL 9.11.19	BUILDING PERMIT COMMENTS 9.12.19	STRUCTURAL REVISION 10.16.19	STRUCTURAL REVISION 2 11.7.19	REVISION 1 12.20.19	REVISION 2 1.24.20	REVISION 3 4.3.2020
ME101	SITE PLAN - MECH/ELEC	•		•						
P101	PARTIAL GARAGE PLAN - BELOW-GRADE PLUMBING	•	•						•	
P102	PARTIAL GARAGE PLAN - BELOW-GRADE PLUMBING	•	•							•
P103	PARTIAL GARAGE PLAN - PLUMBING	•	•					•	•	•
P104 P105	PARTIAL GARAGE PLAN - PLUMBING FIRST FLOOR PLAN AREA B - PLUMBING	•	•					•	•	•
P105	FIRST FLOOR PLAN AREAS C/D - PLUMBING	•	•					•	•	•
P107	FIRST FLOOR PLAN AREA E - PLUMBING	•	•							•
P108	SECOND FLOOR PLAN AREA B - PLUMBING	•								
P109	SECOND FLOOR PLAN AREAS C/D - PLUMBING	•						•	•	
P110	SECOND FLOOR PLAN AREA E - PLUMBING	•								\perp
P111	FOURTH FLOOR PLAN AREA B - PLUMBING	•							<u> </u>	<u> </u>
P112 P113	FOURTH FLOOR PLAN AREAS C/D - PLUMBING	•						•	•	<u> </u>
P113 P114	FOURTH FLOOR PLAN AREA E PLUMBING PLUMBING RISERS	•			•					<u> </u>
P114	PLUMBING RISERS				•					
P116	PLUMBING RISERS				•			1		1
P201	TYPICAL UNIT PLANS - PLUMBING	•						•		
P202	TYPICAL UNIT PLANS - PLUMBING	•						•		<u> </u>
M101	PARTIAL GARAGE PLAN - HVAC	•						•		•
M102 M103	PARTIAL GARAGE PLAN - HVAC FIRST FLOOR PLAN AREA B - HVAC	•						•	•	•
M103	FIRST FLOOR PLAN AREAS C/D - HVAC	•						•		•
M104a	PARTIAL FIRST FLOOR PLAN AREA C - HVAC	•						•		
M105	FIRST FLOOR PLAN AREA E - HVAC	•						•		
M106	SECOND FLOOR PLAN AREA B - HVAC	•								<u> </u>
M107 M108	SECOND FLOOR PLAN AREAS C/D - HVAC SECOND FLOOR PLAN AREA E - HVAC	•								<u> </u>
M109	FOURTH FLOOR PLAN AREA B - HVAC	•								<u> </u>
M110	FOURTH FLOOR PLAN AREAS C/D - HVAC	•						•		
M111	FOURTH FLOOR PLAN AREA E HVAC	•								
M112	ROOF FLOOR PLAN AREA B - HVAC	•								<u> </u>
M113 M114	ROOF FLOOR PLAN AREA D - HVAC ROOF FLOOR PLAN AREA E - HVAC	•								
M114 M201	TYPICAL UNIT PLANS - HVAC	•								<u> </u>
M202	TYPICAL UNIT PLANS - HVAC	•						•		
MP101	MECHANICAL DETAILS	•								
MP102	MECHANICAL DETAILS	•								<u> </u>
MP103 MP104	MECHANICAL DETAILS MECHANICAL SCHEDULES	•								
E001	SITE PHOTOMETRIC PLAN	•		•				•		•
E101	PARTIAL GARAGE PLAN - ELECTRICAL	•	•					•	•	•
E102	PARTIAL GARAGE PLAN - ELECTRICAL	•	•					•	٠	•
E103	FIRST FLOOR PLAN AREA B - ELECTRICAL	•						•		•
E104 E104a	FIRST FLOOR PLAN AREAS C/D - ELECTRICAL PARTIAL FIRST FLOOR PLAN AREA D - LIGHTING	•						•		•
E104a	PARTIAL FIRST FLOOR PLAN AREA D - LIGHTING	•						•		•
E105	FIRST FLOOR PLAN AREA E - ELECTRICAL	•	•					•		•
E106	SECOND FLOOR PLAN AREA B - ELECTRICAL	•	•							•
E107	SECOND FLOOR PLAN AREAS C/D - ELECTRICAL	•	•							•
E108 E109	SECOND FLOOR PLAN AREA E - ELECTRICAL FOURTH FLOOR PLAN AREA B - ELECTRICAL	•	•							•
E109 E110	FOURTH FLOOR PLAN AREAS C/D - ELECTRICAL	•	•					•		•
E110a	PARTIAL FOURTH FLOOR PLAN - AREA C/D - LIGHTING							•		•
E111	FOURTH FLOOR PLAN AREA E ELECTRICAL	•	•							•
E112	ROOF FLOOR PLAN AREA B - ELECTRICAL	•	•							<u> </u>
E113 E114	ROOF FLOOR PLAN AREA D - ELECTRICAL ROOF FLOOR PLAN AREA E - ELECTRICAL	•	•							•
E114 E201	TYPICAL UNIT PLANS - ELECTRICAL	•	•					•		•
E202	TYPICAL UNIT PLANS - ELECTRICAL	•	•					•		•
E203	TYPICAL UNIT PLANS - ELECTRICAL	•	•					•		•
E301	ELECTRICAL DETAILS	•								<u> </u>
E302 E303		•	•							
E303 E304	ELECTRICAL DETAILS ELECTRICAL DISTRIBUTION RISER DIAGRAM	•	•							•
E305	ELECTRICAL SCHEDULES	•								•
E306	ELECTRICAL SCHEDULES	•	•					•		•
E307	ELECTRICAL SCHEDULES	•	•					•		•
T101		•								<u> </u>
T102 T103	FIRST FLOOR PLAN - TELECOM SECOND FLOOR - TELECOM	•								
T103	FOURTH FLOOR - TELECOM	•								
1101								1	1	t





ILITY NOTES	NOTE: COVERED DWELLING UNITS SHALL COMPLY WITH THE 2009 INTERNATIONAL BUILDING CODE, THE 1998 FAIR HOUSING ACT AND ICC/ANSI A117.1-2003, WHICHEVER IS MORE STRINGENT.
ITS	TYPE B DWELLING UNITSDIMENSIONS NOTED AS MINIMUM OR MAXIMUM OR CLEAR DIMENSIONS ARE TO FINISH MATERIALS.
BE DISPERSED AMONG THE VARIOUS UNIT CLASSES. 2% OF THE TOTAL NUMBER SHALL BE DESIGNED AS TYPE A UNITS.	 ACCESSIBLE ROUTE: THE ACCESSIBLE PRIMARY ENTRANCE SHALL BE ON AN ACCESSIBLE ROUTE FROM PUBLIC AND COMMON AREAS. AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ALL SPACES & ELEMENTS WHICH ARE PART OF THE DWELLING UNIT. AN ACCESSIBLE ROUTE SHALL HAVE A CLEAR WIDTH OF 36" MIN.
PRIMARY ENTRANCE SHALL BE ON AN ACCESSIBLE ROUTE FROM PUBLIC AND	3. ACCESSIBLE ROUTES SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING ELEMENTS: WALKING SURFACES WITH A SLOPE NOT STEEPER THAN 1:20, DOORS AND DOORWAYS, RAMPS, ELEVATORS, AND WHEELCHAIR (PLATFORM) LIFTS. WHERE EXTERIOR PATIO/BALCONY SURFACES ARE
CESSIBLE ROUTE SHALL CONNECT ALL SPACES AND ELEMENTS THAT ARE A PART ACCESSIBLE ROUTE SHALL HAVE A CLEAR WIDTH OF 36" MIN. ALL ROOMS SERVED E ROUTE SHALL PROVIDE A 60" WHEELCHAIR TURNING SPACE EXCEPT FOR REQUIRED TO COMPLY. A TURNING SPACE IS NOT REQUIRED WITHIN CLOSETS OR	IMPERVIOUS, THE FINISHED IMPERVIOUS SURFACE SHALL BE 4" MAX. BELOW THE FLOOR LEVEL OF THE ADJACENT INTERIOR SPACES OF THE UNIT. DOORS:
RE 48" MAXIMUM IN DEPTH. TES SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING ELEMENTS: FLOOR OR ES WITH A SLOPE NOT STEEPER THAN 1:20, DOORS / DOORWAYS, RAMPS, WHEELCHAIR (PLATFORM) LIFTS. IN ELEVATION OF GREATER THAN 1/2" BUT LESS THAN 12" EXIST IN THE MEANS OF	1. THE PRIMARY ENTRANCE DOOR TO THE DWELLING UNIT SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32". CLEAR OPENINGS OF DOORWAYS WITH SWINGING DOORS SHALL BE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES. MANEUVERING CLEARANCES SHALL BE PROVIDED ON BOTH SIDES OF THE PRIMARY ENTRANCE
SURFACES SHALL BE USED. CHANGES IN LEVEL OF 1/4" HIGH MAX. SHALL BE VERTICAL. CHANGES IN LEVEL BETWEEN 1/4" HIGH MIN. AND 1/2" HIGH MAX. D WITH A SLOPE NOT STEEPER THAN 1:2. THRESHOLDS AT EXTERIOR SLIDING PERMITTED TO BE 3/4" HIGH MAX. PROVIDED THEY ARE BEVELED WITH A SLOPE AN 1:2.	 DOOR. ALL DOORWAYS INTENDED FOR USER PASSAGE WITHIN THE DWELLING UNIT SHALL HAVE A CLEAR OPENING OF 31 3/4" MIN., MEASURED BETWEEN THE FACE OF THE DOOR AND STOP, WITH THE DOOR OPEN 90 DEGREES. THRESHOLDS AT ALL EXTERIOR DOORS SHALL NOT EXCEED 1/2", EXCEPT SLIDING DOORS SHALL NOT EXCEED 3/4". CHANGES IN LEVEL OF 1/4" HIGH MAX. SHALL BE PERMITTED TO BE VERTICAL. CHANGES IN LEVEL BETWEEN 1/4" HIGH MIN. AND 1/2" HIGH MAX. SHALL BE BEVELED WITH A SLOPE
RANCE DOOR TO THE DWELLING UNIT, AND ALL OTHER DOORWAYS INTENDED GE, SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32". CLEAR OPENINGS OF SWINGING DOORS SHALL BE MEASURED BETWEEN THE FACE OF THE DOOR AND HE DOOR OPEN 90 DEGREES. OPENINGS MORE THAN 24" DEEP SHALL PROVIDE A DF 36" MIN. THERE SHALL BE NO PROJECTIONS INTO THE CLEAR OPENING WIDTH NCHES AFF. PROJECTIONS INTO THE CLEAR OPENING WIDTH BETWEEN 34 INCHES F SHALL NOT EXCEED 4 INCHES. THRESHOLDS, IF PROVIDED, AT DOORWAYS	 NOT STEEPER THAN 1:2. WHERE AN INACTIVE LEAF OF DOUBLE LEAF DOORWAYS WITH OPERABLE PARTS MORE THAN 48 INCHES OR LESS THAN 15" ABOVE THE FLOOR IS PROVIDED, THE ACTIVE LEAF SHALL PROVIDE A CLEAR OPENING OF 31 3/4 INCHES MIN. THE MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 8 1/2 LBS. FOR EXTERIOR DOORS AND 5 LBS. FOR INTERIOR DOORS. HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS ON THE PRIMARY ENTRY DOOR SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT
I HIGH MAX. WHERE A THRESHOLD IS OVER 1/4 INCH HIGH, AT LEAST HALF OF THE IRESHOLD SHOULD BE BEVELED. DED FOR USER PASSAGE SHALL HAVE MANEUVERING CLEARANCES AS IS SHEET. IN TOILET ROOMS AND BATHROOMS NOT REQUIRED TO COMPLY WITH	GRASPING, PINCHING OR TWISTING OF THE WRIST. SUCH HARDWARE SHALL BE 34" MIN. AND 48" MAX. AFF. TOILET AND BATHING FACILITIES:
MANEUVERING CLEARANCES ARE NOT REQUIRED ON THE TOILET OR BATHROOM R 3.DOOR CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF TIME REQUIRED TO MOVE THE DOOR TO AN OPEN POSITION OF 12 DEGREES NDS MIN. DOOR SPRING HINGES SHALL BE ADJUSTED SO THAT FROM THE OPEN EGREES, THE DOOR SHALL MOVE TO THE CLOSED POSITION IN 1.5 SEC. MIN. PUSHING OR PULLING OPEN DOORS, OTHER THAN FIRE DOORS, SHALL BE 5.0 LBS. OR HINGED DOORS AND 5.0 LBS. MAX. FOR SLIDING OR FOLDING DOORS. THESE	 DOORS SHALL NOT SWING INTO THE CLEAR FLOOR SPACE OR CLEARANCE FOR ANY FIXTURE EXCEPT WHEN A CLEAR FLOOR SPACE OF 30" BY 48" IS PROVIDED, BEYOND THE ARC OF THE DOOR SWING. PROVIDE A CLEAR FLOOR SPACE OF 30" BY 48" BEYOND THE SWING OF ALL DOORS INTO THE ROOM. REINFORCEMENT SHALL BE PROVIDED FOR FUTURE INSTALLATION OF GRAB BARS AND SHOWER SEATS AT WATER CLOSETS, BATHTUBS, AND SHOWER COMPARTMENTS. REINFORCEMENT IS NOT
APPLY TO THE FORCE REQUIRED TO RETRACT LATCH BOLTS OR DISENGAGE HAT HOLD THE DOOR IN A CLOSED POSITION. LATCHES, LOCKS, AND OTHER OPERABLE PARTS ON ALL ACCESSIBLE DOORS APE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT ING, OR TWISTING OF THE WRIST TO OPERATE. OPERABLE PARTS OF SUCH L BE 34" MIN. AND 48" MAX. AFF. WHERE SLIDING DOORS ARE IN THE FULLY OPEN TING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES.	 REQUIRED IN A ROOM CONTAINING ONLY A LAVATORY AND A WATER CLOSET, PROVIDED THAT THE ROOM DOES NOT CONTAIN THE ONLY LAVATORY OR WATER CLOSET ON THE ACCESSIBLE LEVEL OF THE DWELLING UNIT. 3. EITHER ALL TOILET AND BATHING AREAS SHALL COMPLY WITH "OPTION A" REQUIREMENTS, OR ONE TOILET AND BATHING AREA SHALL COMPLY WITH "OPTION B" REQUIREMENTS. OPTION A:
WITHIN 10" OF THE FLOOR MEASURED VERTICALLY SHALL BE A SMOOTH SURFACE E EXTENDING THE FULL WIDTH OF THE DOOR EXCEPT SLIDING DOORS. FACILITIES:	 ALL FIXTURES WITHIN THE DWELLING UNIT SHALL COMPLY. A CLEAR FLOOR SPACE POSITIONED FOR A PARALLEL APPROACH SHALL BE PROVIDED AND CENTERED AT THE LAVATORY.
ILET AND BATHING FACILITY MUST COMPLY HAVING AT LEAST ONE LAVATORY, ND EITHER A BATHTUB OR SHOWER. REFER TO ICC/ANSI A117.1-2003 FOR EMENTS WHEN A SHOWER IS THE ONLY BATHING FACILITY IN THE ACCESSIBLE T SWING INTO THE CLEAR FLOOR SPACE OR CLEARANCE FOR ANY FIXTURE	 THE WATER CLOSET SHALL BE POSITIONED TO ALLOW FOR FUTURE INSTALLATION OF A GRAB BAR ON THE SIDE WITH 18" CLEARANCE. IF A SHOWER COMPARTMENT IS THE ONLY BATHING FACILITY THE SHOWER COMPARTMENT SHALL HAVE MINIMUM DIMENSIONS OF 36" MIN. BY 36" MIN. REINFORCING FOR SHOWER SEAT IS NOT REQUIRED IN SHOWER COMPARTMENTS LARGER THAN 36" BY 36". CLEARANCE 30" MIN, MEASURED FROM THE FACE OF THE SHOWER COMPARTMENT, BY 48" MIN., MEASURED FROM THE SHOWER
CLEAR FLOOR SPACE OF 30" BY 48" IS PROVIDED WITHIN THE ROOM BEYOND THE R SWING. LL COMPLY WITH SECTION 606 OF ICC/ANSI A117.1. CABINETRY SHALL BE	HEAD WALL SHALL BE PROVIDED.
R THE LAVATORY PROVIDED THE CABINETRY CAN BE REMOVED WITHOUT LACEMENT OF THE LAV, THE FLOOR FINISH EXTENDS UNDER THE CABINETRY, EHIND AND SURROUNDING THE CABINETRY ARE FINISHED. ET SHALL BE POSITIONED WITH A WALL TO THE REAR AND TO ONE SIDE. THE HE WATER CLOSET SHALL BE 16" MINIMUM AND 18" MAXIMUM FROM THE SIDE	 ONE OF EACH TYPE OF FIXTURE PROVIDED AND SHALL BE IN A SINGLE TOILET/BATHING AREA, SUCH THAT TRAVEL BETWEEN FIXTURES DOES NOT REQUIRE TRAVEL THROUGH OTHER PARTS OF THE UNIT. THE FRONT OF THE LAVATORY SHALL BE 34" MAX. ABOVE THE FLOOR, MEASURED TO THE HIGHER OF THE FIXTURE RIM OR COUNTER SURFACE.
SHALL BE PROVIDED IN WALLS TO PERMIT THE FUTURE INSTALLATION OF GRAB IAVE THE BOTTOM EDGE OF THE REFLECTING SURFACE 40" MAXIMUM AFF. ANCES:	 THE WATER CLOSET SHALL BE POSITIONED TO ALLOW FOR FUTURE INSTALLATION OF A GRAB BAR ON THE SIDE WITH 18" CLEARANCE. A CLEARANCE 48" MIN IN LENGTH MEASURED PERPENDICULAR FROM THE CONTROL END OF THE BATHTUB, AND 30" MIN IN WIDTH SHALL BE PROVIDED IN FRONT OF BATHTUBS. IF A SHOWER COMPARTMENT IS THE ONLY BATHING FACILITY THE SHOWER COMPARTMENT SHALL HAVE MINIMUM DIMENSIONS OF 36" MIN. BY 36" MIN. REINFORCING FOR SHOWER SEAT IS NOT
PACE OF 30" X 48" POSITIONED FOR PARALLEL OR FORWARD APPROACH SHALL EACH APPLIANCE. HOWEVER, A RANGE AND REFRIGERATOR MUST PROVIDE A ACH. REFER TO DIAGRAMS. ACE SHALL BE POSITIONED ADJACENT TO THE DISHWASHER DOOR. THE DR IN THE OPEN POSITION SHALL NOT OBSTRUCT THE CLEAR FLOOR SPACE FOR A OR THE SINK. BOTTOM-HINGED, WHEN IN THE OPEN POSITION, SHALL NOT BE	REQUIRED IN SHOWER COMPARTMENTS LARGER THAN 36" BY 36". CLEARANCE 30" MIN, MEASURED FROM THE FACE OF THE SHOWER COMPARTMENT, BY 48" MIN., MEASURED FROM THE SHOWER HEAD WALL SHALL BE PROVIDED. <u>KITCHEN AND APPLIANCES:</u>
VE OPERABLE PARTS WITHIN THE REQUIRED REACH RANGES. INDRY MACHINES SHALL HAVE THE DOOR TO THE LAUNDRY COMPARTMENT 36 VE THE FLOOR. FRONT LOADING MACHINES SHALL HAVE THE BOTTOM OF THE LAUNDRY COMPARTMENT 15 INCHES MIN. AND 34 INCHES MAX. ABOVE THE G OVENS, THE DOOR LATCH SIDE SHALL BE NEXT TO A COUNTERTOP. OVENS	 A CLEAR FLOOR SPACE OF 30" BY 48" POSITIONED FOR PARALLEL OR FORWARD APPROACH SHALL BE PROVIDED AT EACH KITCHEN APPLIANCE AND KITCHEN SINK. A CLEAR FLOOR SPACE, POSITIONED FOR FORWARD OR PARALLEL APPROACH, SHALL BE POSITIONED BEYOND THE SWING OF THE DISHWASHER DOOR. OPERABLE PARTS:
FROLS ON FRONT PANELS. FRIGERATORS AND FREEZERS SHALL HAVE AT LEAST 50% OF THE FREEZER FF. ALL HAVE A CLEAR FLOOR SPACE POSITIONED FOR PARALLEL OR FORWARD SHELVES NEED NOT BE LOCATED WITHIN REACH RANGES OR THE HANDLES MEET	LIGHTING CONTROLS, ELECTRICAL PANELBOARDS, ELECTRICAL SWITCHES AND RECEPTACLE OUTLETS, ENVIRONMENTAL CONTROLS, AND USER CONTROLS FOR SECURITY OR INTERCOM SYSTEMS SHALL COMPLY WITH CLEAR FLOOR SPACE AND HEIGHT REQUIRMENTS EXCEPT RECEPTACLES SERVING A DEDICATED USE, FLOOR ELECTRICAL RECEPTACLES, HVAC DIFFUSERS, CONTROLS OR SWITCHES
PROVISIONS. DD COMBOS ARE NOT ACCESSIBLE DUE TO REACH RANGES. PROVIDE A HED HOOD VENT AND COUNTERTOP MICROWAVE. SWITCH MUST COMPLY WITH MENTS AND HAVE A 30" BY 48" CLEAR FLOOR SPACE CENTERED ON THE SWITCH.	MOUNTED ON APPLIANCES, CONTROLS MOUNTED ON CEILING FANS, AND RESET BUTTONS AND SHUT- OFFS SERVING APPLIANCES, PIPING AND PLUMBING FIXTURES. WHERE TWO OR MORE RECEPTACLE OUTLETS ARE PROVIDED IN A KITCHEN ABOVE A LENGTH OF COUNTER TOP THAT IS UNINTERRUPTED BY A SINK OR APPLIANCE, ONE RECEPTACLE OUTLET SHALL NOT BE REQUIRED TO COMPLY. WITHIN KITCHENS AND BATHROOMS, LIGHTING CONTROLS, ELECTRICAL SWITCHES AND RECEPTACLE OUTLETS ARE PERMITTED TO BE LOCATED OVER CABINETS WITH COUNTER TOPS 36" MAX IN HEIGHT AND 25 1/2"
INDOWS ARE PROVIDED, AT LEAST ONE WINDOW IN EACH SLEEPING, LIVING, OR HAVE OPERABLE PARTS. EACH REQUIRED OPERABLE WINDOW SHALL HAVE CESSIBLE CONTROLS SHALL BE AT MAX. 48" HIGH. (OTHER THAN KITCHEN CABINETS):	MAX IN DEPTH. ALL COVERED DWELLING UNITS OPERABLE PARTS:
PACE OF 30" BY 48", POSITIONED FOR EITHER PARALLEL OR FORWARD L BE PROVIDED AT EACH STORAGE FACILITY. E STORAGE AREA OF EACH STORAGE FACILITY SHALL ACCOMMODATE A OR SIDE REACH WITH THE REQUIRED REACH RANGES (48" AFF). IES SHALL HAVE OPERABLE PARTS.	 OPERABLE PARTS SHALL BE PLACED WITHIN ONE OR MORE OF THE REACH RANGES AND SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 LB. MAX. ALL UNITS WITH COMM. FEATURES AS REQUIRED BY CODE. <u>ACCESSIBLE COMMUNICATION FEATURES:</u>
ELECTRICAL PANELBOARDS, ELECTRICAL SWITCHES / RECEPTACLE OUTLETS,	 WHERE PROVIDED, UNIT SMOKE DETECTION SHALL INCLUDE AUDIBLE NOTIFICATION COMPLYING WITH NFPA 72. WHERE A BUILDING FIRE ALARM SYSTEM IS PROVIDED, THE SYSTEM WIRING SHALL BE EXTENDED TO A DOMESTIC AND THE HART METHOD WITH CONTRACT OF THE UNIT ON OUT OUT ON OUT OUT ON OUT OUT OUT OUT OUT OUT OUT OUT OUT OUT
ITROLS, APPLIANCE CONTROLS, OPERATING HARDWARE FOR OPERABLE IXTURE CONTROLS, AND USER CONTROLS FOR SECURITY OR INTERCOM CCESSIBLE EXCEPT RECEPTACLES SERVING A DEDICATED USE, FLOOR ACLES, HVAC DIFFUSERS, CONTROLS MOUNTED ON RANGE HOODS ONLY IF ANT CONTROLS ARE PROVIDED, CONTROLS MOUNTED ON CEILING FANS, AND	 TO A POINT WITHIN THE UNIT IN THE VICINITY OF THE UNIT SMOKE DETECTION SYSTEM. 3. VISIBLE NOTIFICATION APPLIANCES, WHERE PROVIDED WITHIN THE UNIT AS PART OF THE UNIT SMOKE DETECTION SYSTEM OR THE BUILDING FIRE ALARM SYSTEM, SHALL COMPLY WITH NFPA 72, BE POWERED BY A COMMERCIAL LIGHT AND POWER SOURCE, BE PERMANENTLY CONNECTED TO THE WIRING OF THE PREMISES ELECTRIC SYSTEM, AND BE PERMANENTLY INSTALLED.
SHUT-OFFS SERVING APPLIANCES, PIPING / PLUMBING FIXTURES. WHERE 2 OR OUTLETS ARE PROVIDED IN A KITCHEN ABOVE A LENGTH OF COUNTER TOP THAT IS A SINK OR APPLIANCE, ONE RECEPTACLE OUTLET SHALL NOT BE REQUIRED TO . PANELBOARDS SHALL NOT BE REQUIRED TO COMPLY WITH GRASPING AND	APPLIANCES PROVIDED WITHIN THE UNIT FOR BUILDING FIRE ALARM NOTIFICATION SHALL BE ACTIVATED UPON ACTIVATION OF THE BUILDING FIRE ALARM IN THE PORTION OF THE BUILDING CONTAINING THE UNIT. THE SAME VISIBLE NOTIFICATION APPLIANCES SHALL BE PERMITTED TO PROVIDE NOTIFICATION OF UNIT SMOKE DETECTION AND BUILDING FIRE ALARM ACTIVATION BUT
	 SHALL NOT BE USED FOR ANY OTHER PURPOSES WITHIN THE UNIT. A HARD-WIRED ELECTRIC DOORBELL SHALL BE PROVIDED. A BUTTON / SWITCH SHALL BE PROVIDED ON THE PUBLIC SIDE OF THE UNIT PRIMARY ENTRANCE. ACTIVATION OF THE BUTTON OR SWITCH SHALL INITIATE AN AUDIBLE TONE WITHIN THE UNIT. A MEANS FOR VISUALLY IDENTIFYING A VISITOR WITHOUT OPENING THE UNIT ENTRY DOOR SHALL BE
	 PROVIDED. PEEPHOLES, WHERE USED, SHALL PROVIDE A MIN. 180-DEGREE RANGE OF VIEW. 7. WHERE A SYSTEM PERMITTING VOICE COMMUNICATION BETWEEN A VISITOR AND THE OCCUPANT OF THE UNIT IS PROVIDED AT A LOCATION OTHER THAN THE UNIT ENTRY DOOR, THE PUBLIC OR COMMON-USE SYSTEM INTERFACE SHALL INCLUDE THE CAPABILITY OF SUPPORTING VOICE AND TTY COMMUNICATION WITH THE UNIT INTERFACE. THE UNIT SYSTEM INTERFACE SHALL INCLUDE A TELEPHONE JACK CAPABLE OF SUPPORTING THE SAME FUNCTIONS. WHERE A CLOSED-CIRCUIT
	COMMUNICATION SYSTEM IS PROVIDED, THE PUBLIC OR COMMON-USE SYSTEM INTERFACE SHALL PROVIDE THE SAME CAPABILITIES AS THE VOICE COMMUNICATION SYSTEM AND THE UNIT SYSTEM INTERFACE IN UNITS REQUIRED TO HAVE ACCESSIBLE COMMUNICATION FEATURES SHALL BE THE SAME AS THE VOICE COMMUNICATION SYSTEM REQUIRED IN UNITS.
	<u>CONTROLS:</u> 1. ELECTRICAL OUTLETS SHALL BE 15" MIN. HIGH AFF TO THE CENTERLINE OF LOWEST OUTLET AND
	1. ELECTRICAL OUTLETS SHALL BE 15" MIN. HIGH AFF TO THE CENTERLINE OF LOWEST OUTLET AND KITCHEN COUNTERTOP OUTLETS SHALL BE 46" MAX. TO THE HIGHEST CENTERLINE OF OUTLET OVEF COUNTERTOPS. COUNTERTOP OUTLETS TO BE MIN. 36" FROM INSIDE CORNER OF L OR U SHAPED



SIDE

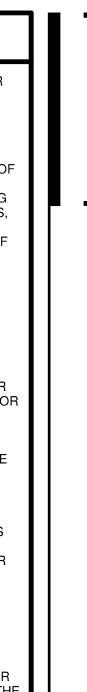
—

BACK

SIDE

4. ANY OTHER ENVIRONMENTAL CONTROLS SUCH AS PULL-CORDS AT CEILING FANS SHALL BE LOCATED WITHIN 48" MAX. HIGH REACH RANGE.
 <u>GRAB BARS:</u>

 WHEN INSTALLED, GRAB BARS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF 1 1/4" MIN. AND 2" MAX.
 WHEN USING PRE-MANUFACTURED SHOWER OR TUB ENCLOSURES, ENSURE SURFACE MODULATIONS (SOAP LEDGES, MOLDED CONTOURS, ETC.) DO NOT INTERFERE WITH THE REQUIRED 1 1/2" CLEARANCE FROM THE FACE OF THE GRAB BAR.



-IE OF

R L D

R L

L

гs, <u>-</u> вү

13 2"

2,

ED . BE

ГТҮ L Л

/ER

ED

TR,I ARCHITECTS BOB D CAMPBELL & COMPANY RENAISSANCE INFRASTRUCTURAL ENGINEER RENAISSANCE INFRASTRUCTURAL ENGINEER RENAISSANCE INFRASTRUCTURE RENAISSANCE INFRASTRUCTURE CONSULTING BRINKMANN CONSTRUCTORS CONSULTING BRINKMANN CONSTRUCTORS BRINK B

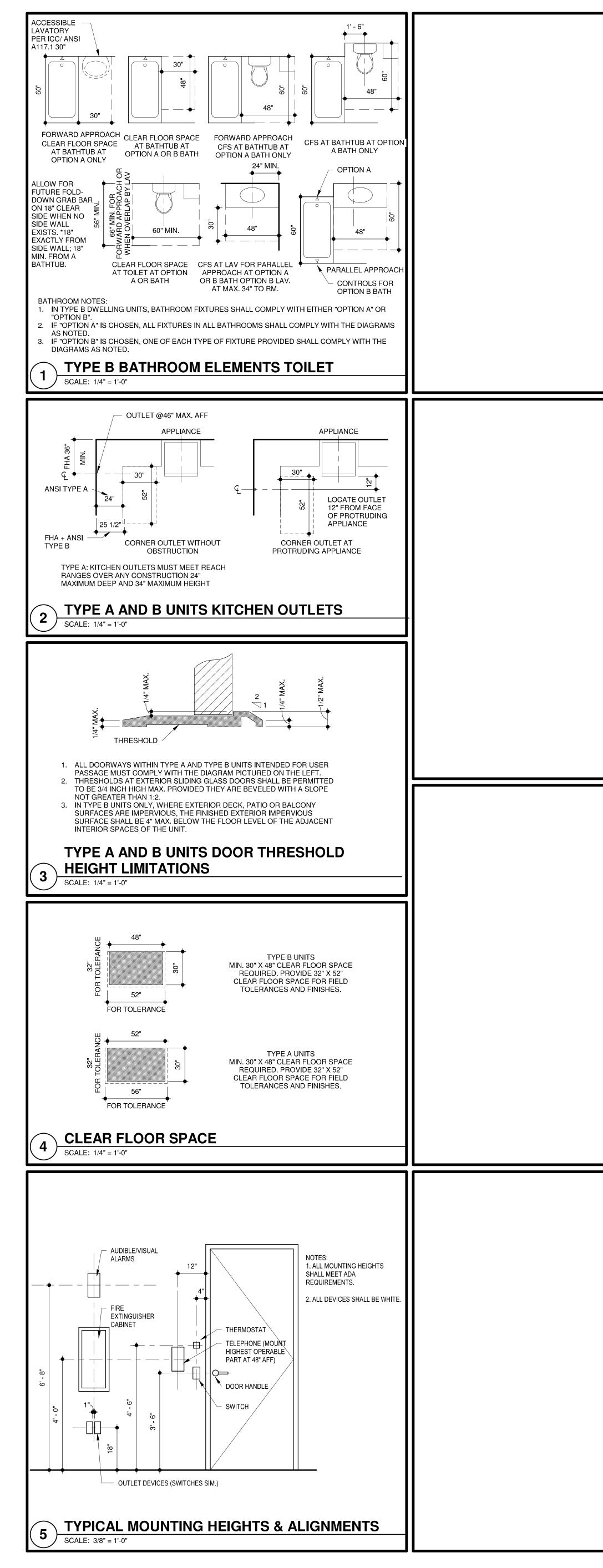
COMPANIES

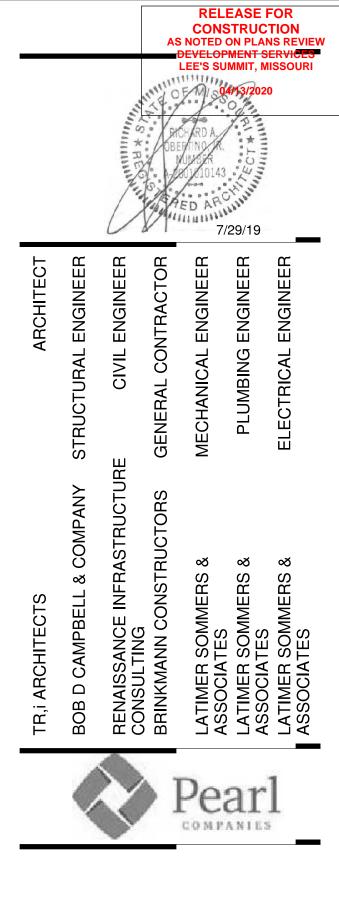
RELEASE FOR CONSTRUCTION AS NOTED ON PLANS REVIEW

Summit at West Pryor

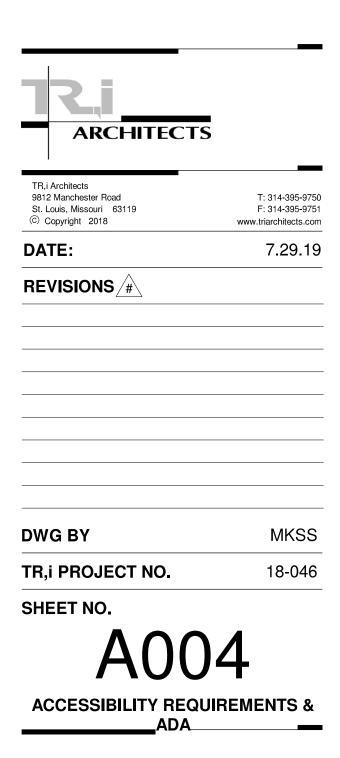
ARCHITECTS TR i Architects T: 314-395-9750 9812 Manchester Road F: 314-395-9751 St. Louis, Missouri 63119 C Copyright 2018 www.triarchitects.com DATE: 7.29.19 **REVISIONS** # MKSS DWG BY TR, i PROJECT NO. 18-046 SHEET NO.

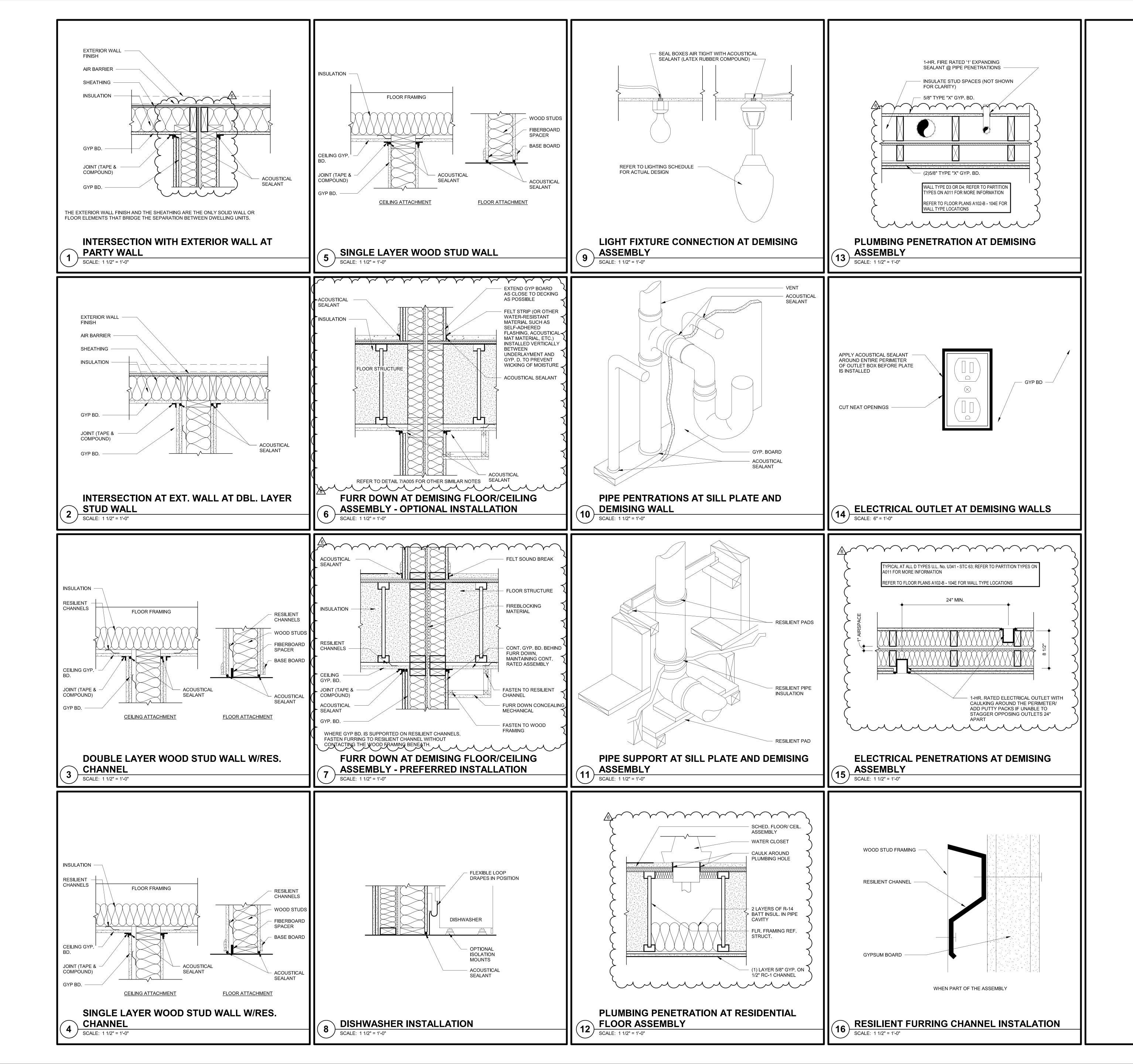
ACCESSIBILITY REQUIREMENTS



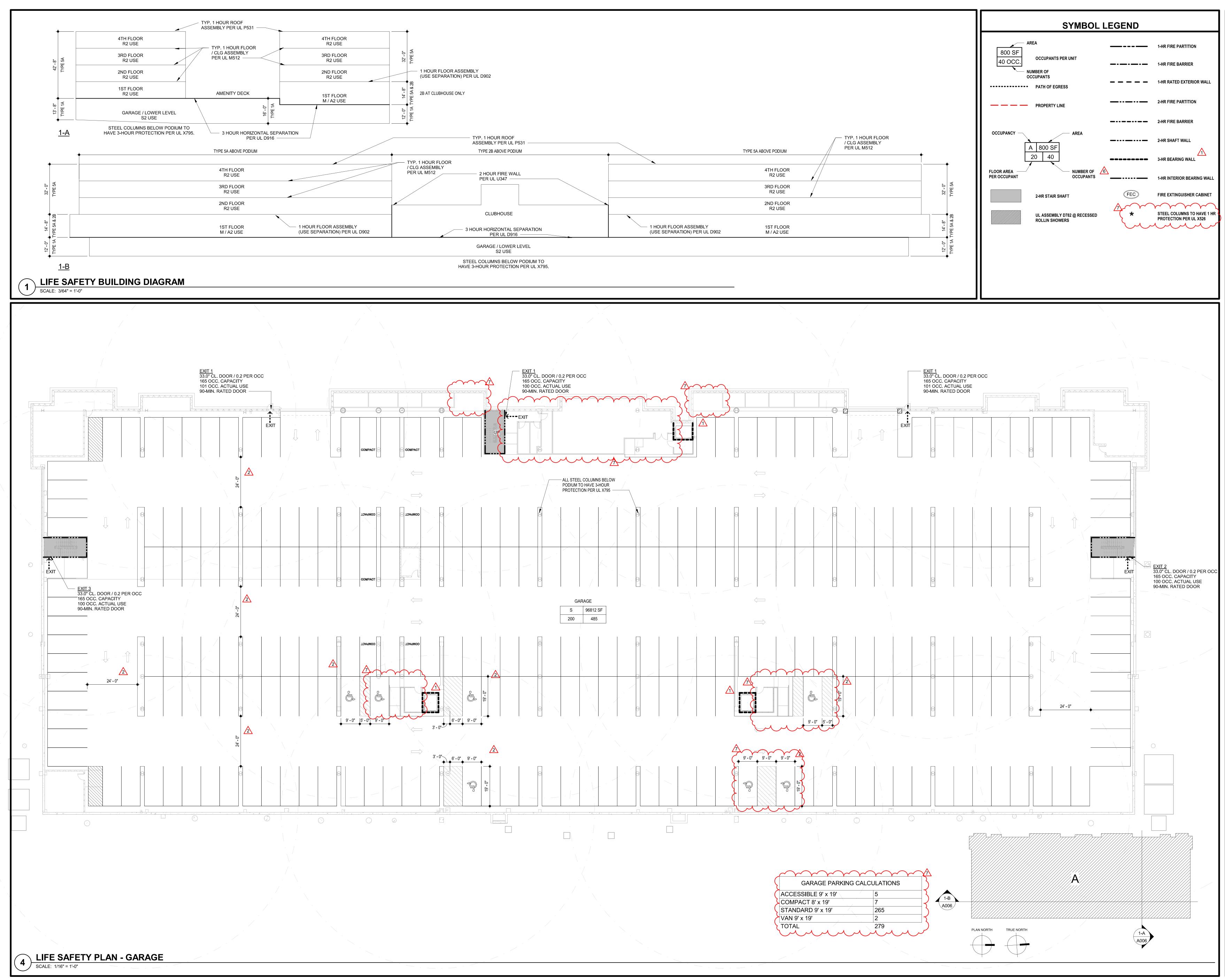


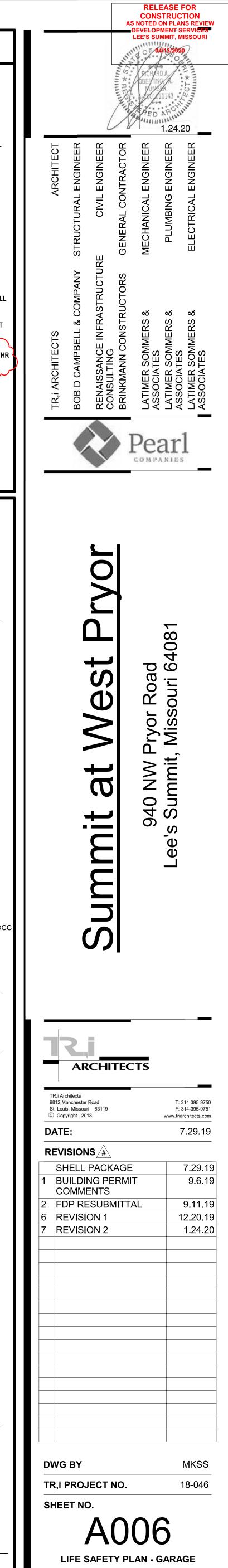
0 est at Summit

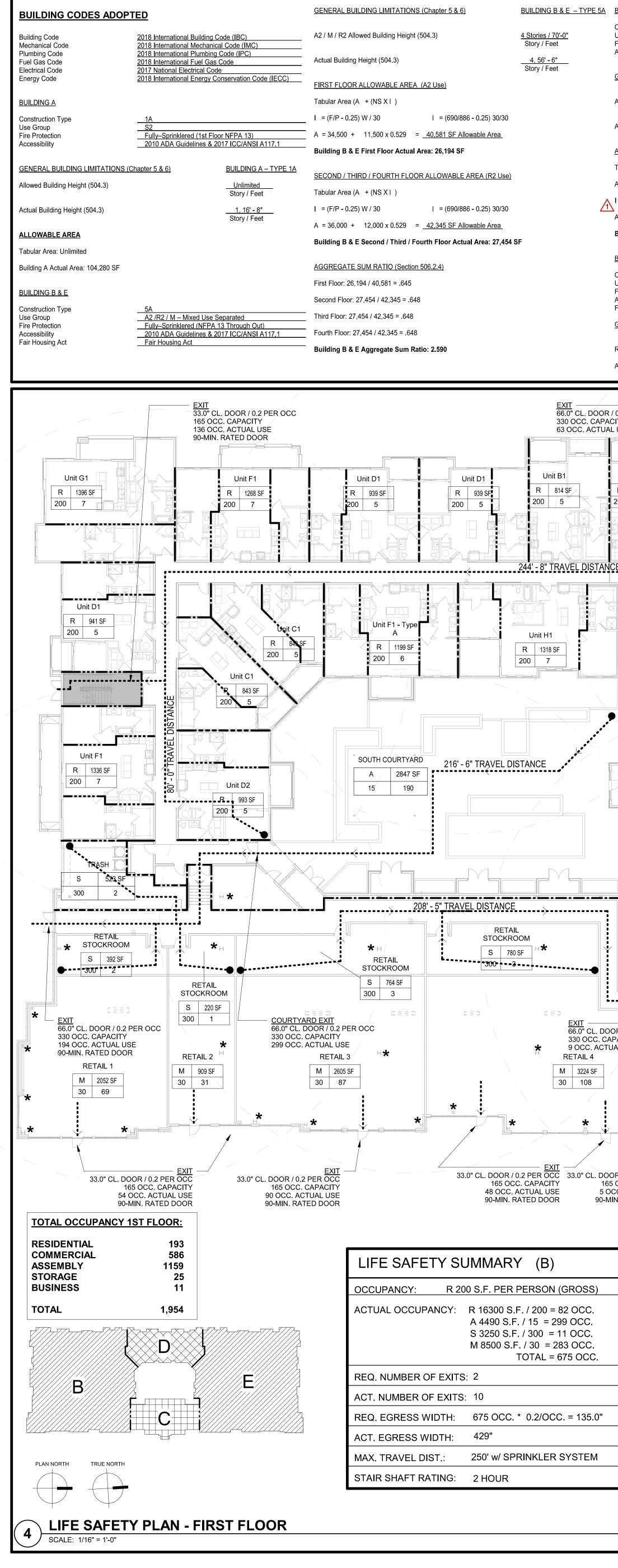




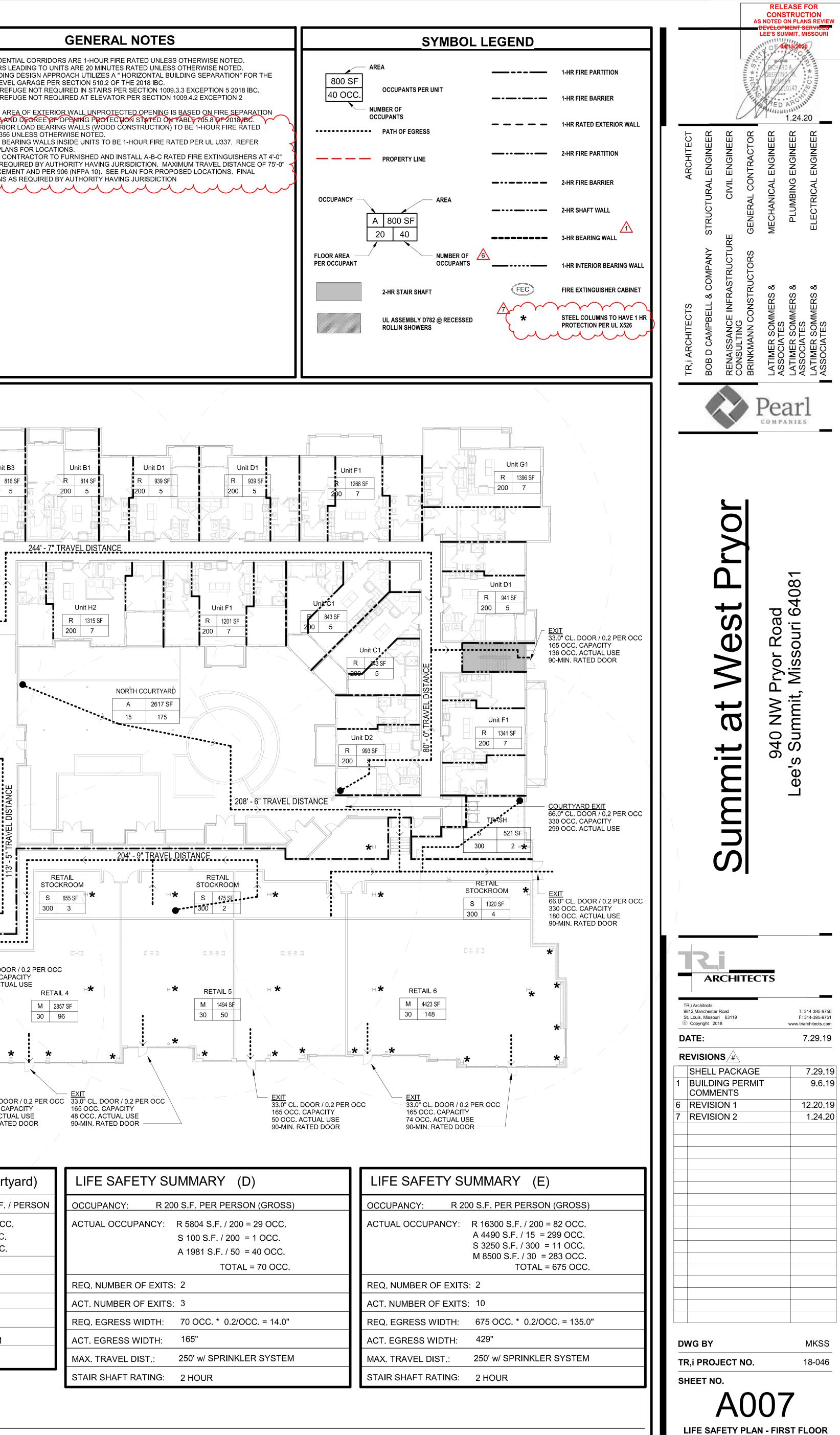






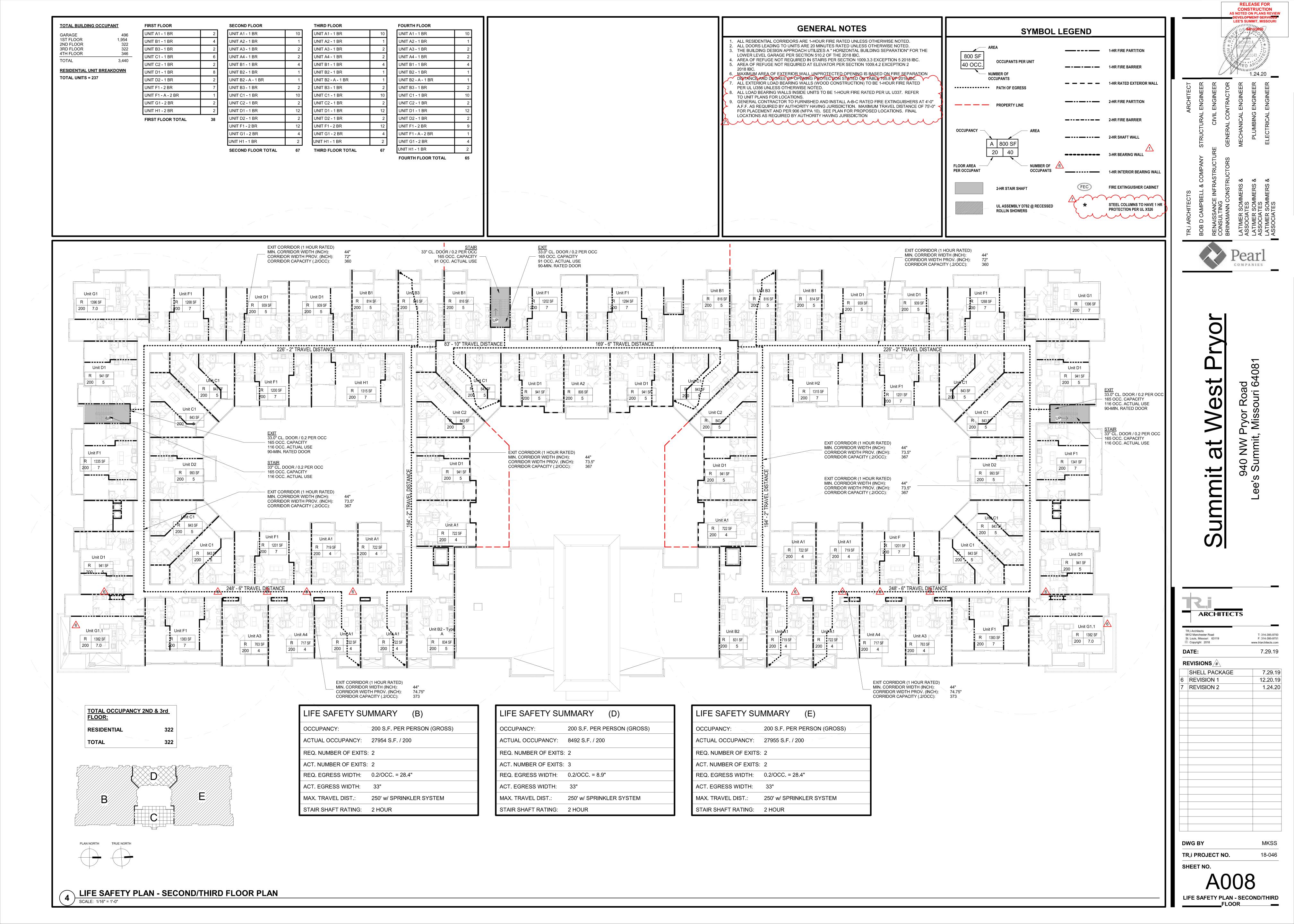


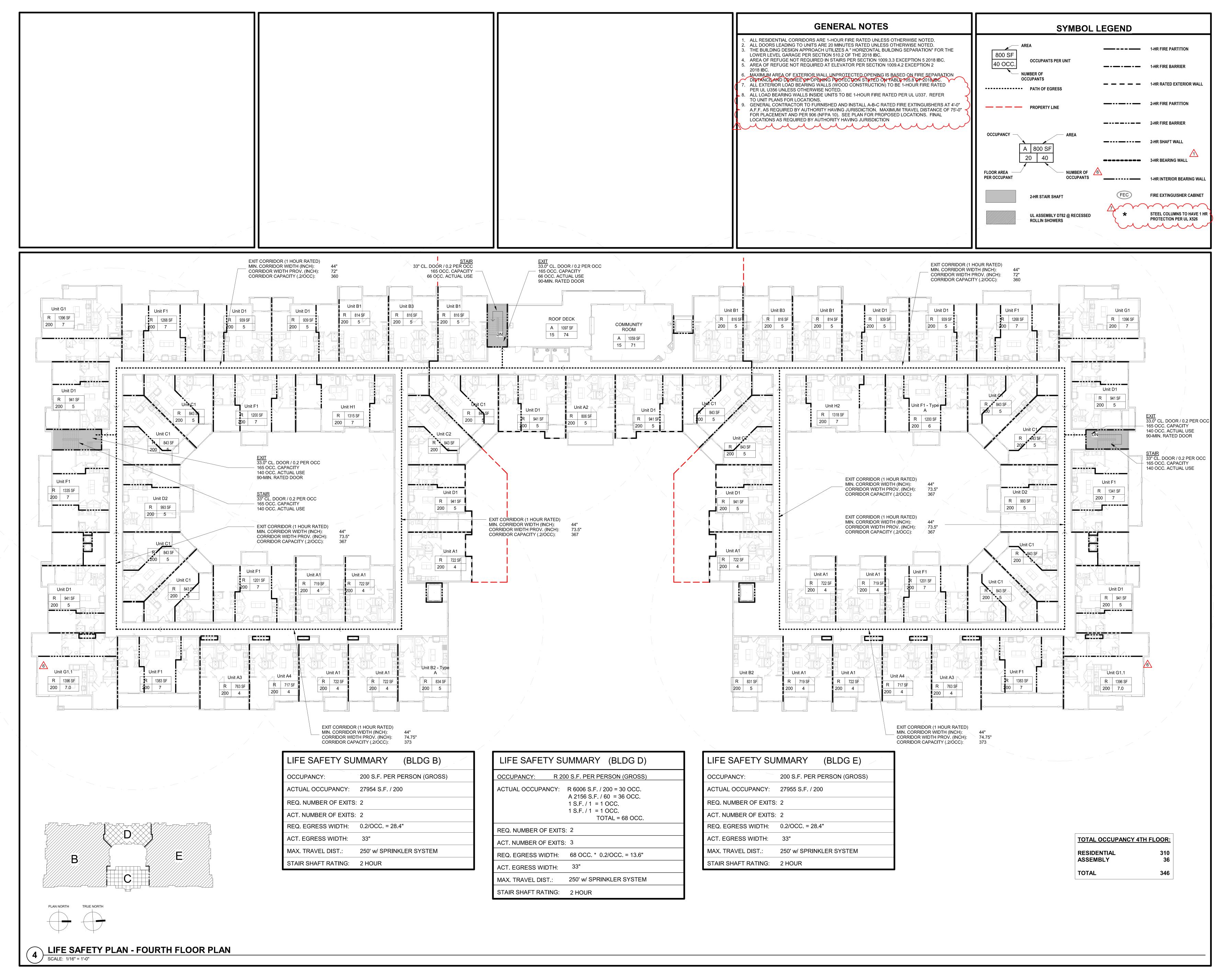
<u>5A</u>	BUILDING C			FIRST FLOOR ALLOWA	ABLE AREA (A2 Use)	
	Construction Type	2B		Tabular Area (A): 34,5	00 SF with sprinkler increase for A2 use	
	Use Group Fire Protection	A2 / B / S Fully–Sprinklered (NFP	A 13 Through Out)	A = A + (NS x I)		1. ALL RESIDENTIAL 2. ALL DOORS LEAD
	Accessibility	2010 ADA Guidelines &				3. THE BUILDING DE
				I = (F/P - 0.25) W / 30	I = (149 / 464 - 0.25) 30/30	LOWER LEVEL GA 4. AREA OF REFUGE
	GENERAL BUILDING LIMITATIONS (C	<u> Chapter 5 & 6)</u>	BUILDING C – TYPE 2B	A = 34,500 + 11,500	x 0.071 = <u>35,318 SF Allowable Area</u>	5. AREA OF REFUGE 2018 IBC.
				Building D Actual Area	a: 4,081 SF	6. MAXIMUM AREA O
	A2 Allowed Building Height (504.3)		<u>3 Stories / 70'-0"</u> Story / Feet			7. ALL EXTERIOR LO
				SECOND / THIRD FLOO	OR ALLOWABLE AREA (R2 Use)	PER UL U356 UNLE
	Actual Building Height (504.3)		<u>1, 32'-0"</u> Story / Feet	Tabular Area (A + (NS	X)	8. ALL LOAD BEARIN TO UNIT PLANS FO
			Story / Teet			9. GENERAL CONTRA
	ALLOWABLE AREA			I = (F/P - 0.25) W / 30	$I = (149/464 - 0.25) \ 30/30$	A.F.F. AS REQUIRE
	Tabular Area (A): 34,500 SF with spri	nkler increase for A2 use		A = 36,000 + 12,000	x 0.071 = <u>36,853 SF Allowable Area</u>	LOCATIONS AS RE
	$\Lambda = \Lambda + (NS \times I)$			Building D Second / Th	aird Elaar Actual Aroa: 4 745 SE	
	$A = A + (NS \times I)$			Building D Second / Tr	nird Floor Actual Area: 4,745 SF	
	I = (F/P - 0.25) W / 30	l = (174 / 476 - 0.25) 30/3	30			
<u></u>	A = 38,000 + 9,500 x 0.115 = <u>3</u>	9.092 SF Allowable Area		FOURTH FLOOR ALLO	WABLE AREA (A2 Use)	
				Tabular Area (A + (NS	XI)	
	Building C Actual Area: 8,601 SF			I = (F/P - 0.25) W / 30	I = (149/464 - 0.25) 30/30	
				· · · ·		
	<u>BUILDING D</u>			A = 34,500 + 11,500	x 0.071 = <u>35,318 SF Allowable Area</u>	
	Construction Type	5A		Building D Fourth Floo	or Actual Area: 6,617 SF	
	Use Group	A2 / R2				
	Fire Protection Accessibility	Fully–Sprinklered (NFP, 2010 ADA Guidelines &	A 13 Through Out) 2017 ICC/ANSI A117.1			
	Fair Housing Act	Fair Housing Act				
	GENERAL BUILDING LIMITATIONS (Chapter 5 & 6)	BUILDING A – TYPE 5A	AGGREGATE SUM RAT	TIO (Section 506.2.4)	
			BOILDING A THE GA	First Floor: 4,081 / 35,31	18 - 116	
	R2 Allowed Building Height (504.3)		<u>4 Stories / 70'-0"</u>	Second Floor: 4,745 / 36		
	NZ Allowed Building Height (304.3)		Story / Feet	Third Floor: 4,745 / 36,8		
	Actual Building Height (504.3)		<u>4, 56' - 6"</u> Story / Feet	Fourth Floor: 6,617 / 35, Building D Aggregate \$		
			Slory / Feel			
/						
			EXIT 2 33.0" CL_DOOR / 0.2 PER C		66.0" CL. DOOR / 0.2 PE	
APA	/ 0.2 PER OCC CITY		33.0" CL. DOOR / 0.2 PER C 165 OCC. CAPACITY		330 OCC. CAF	PACITY
	LUSE		165 OCC. ACTUAL USE 90-MIN. RATED DOOR		63 OCC. ACTUA	
Í						
			· · ·	ļ		
i	Unit B3 Unit B1		Unit F1		Unit F1	Unit B1 Unit B3
	R 816 SF R 816		R 1202 SF			R 816 SF
	200 5 200 5		200 7			
g				e XIX et		
		₹Щ ́́́́́́		ŢŹĿŢĬĔŦŹŢĬĹ		
				<u> </u>		
TAN	CE	• •		190' - 2" TRAVEL DI	STANCE	······································
			×			
					SEMBLY D782	
				ROLLI	CESSED	
			FITNESS	FITNESS		
		Unit C1	A 572 SF 🖈	A 1428 SF		
		R 843 SF	50 12	50 29	848 SF	
		200 5			200 5	
	Unit 62					Unit C2
	R 843 SF					R 843 SF
			POOL DECK			200 5
				_246' - 2" TRAVEL DI	STANCE	
•••			A _ 3832 SF	,		
. /			•15 256			
			•• <u>COL</u>			
)" CL. DOOR / 0.2 PER O OCC. CAPACITY		
l	Unit D1			OCC. ACTUAL USE		Unit 🗗
ľ	R 941 SF			POOL		R 941 SF
	200 5			A 2042 SF		200 5
Ŀ						
				50 41		
	DISTANCE					
			COURTYARD EXIT		OURTYARD EXIT	
	Unit A1	33.	0" CL. DOOR / 0.2 PER OCC	33	3.0" CL. DOOR / 0.2 PER OCC	
	Unit A1		165 OCC. CAPACITY 38 OCC. ACTUAL USE		65 OCC. CAPACITY 3 OCC. ACTUAL USE	Unit A1 R 722 SF 200 4
	200 4		90-MIN. RATED DOOR		D-MIN. RATED DOOR	200 4
ן ה						
			GAME ROOM	COMMUNITY SPACE		
			A 510 SF	A 462 SF	COFFEE LOUNGE	
		FE.				
	· · · · · · · · · · · · · · · · · · ·		15 35	15 31 IT		······································
		¥		E	15 34	
		150'	- 5" TRAVEL DISTANCE	Li .		
					÷ €	
	///// II					
	OR / 0.2 PER OCC					66.0" CL. DOOR / 0. 5 - 0" 330 OCC. CAPACIT
	JAL USE			LOBBY	- · ·	
	5' - 2"			A 3972 SF		
:				15 265		
-			OFFIC			
:			В	156 SF A	165 SF	
			150	2 15	12	*
Ý						
		DRAGE				
			ROOM			364 SF
P -	<u>EXIT</u> —	B	110 SF	1		
	OR / 0.2 PER OCC 200 5 OCC. CAPACITY				A 171 SF PACKAGE CC	33.0" CL. DOOR / 0 NCIERGE 165 OCC. CAPACI
5 O	CC. ACTUAL USE			1		4 OCC. ACTUAL U
90-M		MANAGER	OFFICE	_ `		152 SF 90-MIN. RATED DC
		B 120 SF	B 191 SF	F、 イ	66.0" CL. DOOR / 0.2 PER OCC 150	2
		150 1	150 2	\neg \checkmark	330 OCC. ACTUAL USE	
						, , , <u> </u>
	LIFE SA	AFETY SUM	MARY (C)	``````````````````````````````````````	LIFE SAFETY SUMMAR	Y (Pool Courtyar
			× /			
)	OCCUPANO	CY:A 15 S.F.	PER PERSON (GROS	SS)	OCCUPANCY: DECK 15 S.F. / PER	SON POOL 50 S.F. / PEI
					· · · · · · · · · · · · · · · · · · ·	
	ACTUAL OC	CCUPANCY: A 33	360 S.F. / 15 = 224 OC	C.		40 S.F. / 15 = 256 OCC.
	11	B 1	700 S.F. / 150 = 11 OC	CC.	POOL 20	42 S.F. /50 = 41 OCC.
	11		96 S.F. / 200 = 2 OCC			TOTAL = 297 OCC.
	11	33				
			TOTAL = 237 O	DCC.	REQ. NUMBER OF EXITS: 2	
		BER OF EXITS: 2			ACT. NUMBER OF EXITS: 3	
		CALLOF EALLS: 2			AUT. NUMBER OF EAHS: 3	
	ACT. NUMB	ER OF EXITS: 3			REQ. EGRESS WIDTH: 297 OCC	. * 0.2 / OCC. = 59"
0"	REQ. EGRE	SS WIDTH: 237	7 OCC. * 0.2/OCC. = 4	7.5"	ACT. EGRESS WIDTH: 132"	
		SS WIDTH 198	3"			
	ACT. EGRE	33 WIDTH: 198			MAX. TRAVEL DIST.: 250' w/ S	PRINKLER SYSTEM
1	MAX. TRAV	EL DIST.: 250	' w/ SPRINKLER SYST	ГЕМ	STAIR SHAFT RATING: 2 HOUR	
	STAIR SHA	FT RATING: 2 H	IOUR			
					I	

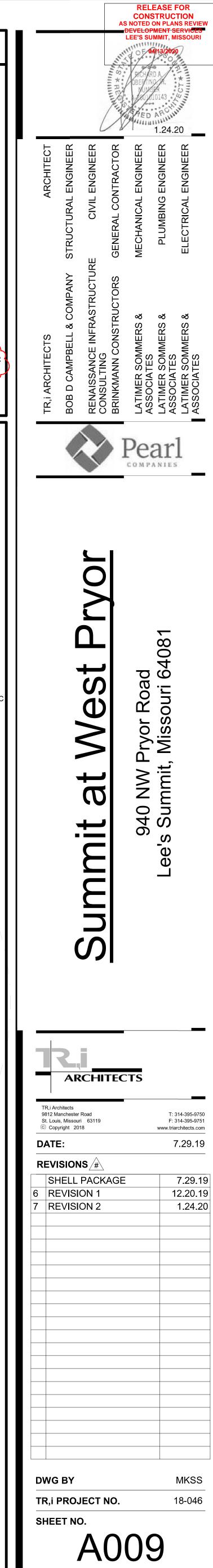


rd)	LIFE SAFETY SUMMARY (D)
RSON	OCCUPANCY: R 200 S.F. PER PERSON (GROSS)
	ACTUAL OCCUPANCY: R 5804 S.F. / 200 = 29 OCC. S 100 S.F. / 200 = 1 OCC. A 1981 S.F. / 50 = 40 OCC.
	TOTAL = 70 OCC.
	REQ. NUMBER OF EXITS: 2
	ACT. NUMBER OF EXITS: 3
	REQ. EGRESS WIDTH: 70 OCC. * 0.2/OCC. = 14.0"
	ACT. EGRESS WIDTH: 165"
	MAX. TRAVEL DIST.: 250' w/ SPRINKLER SYSTEM
	STAIR SHAFT RATING: 2 HOUR

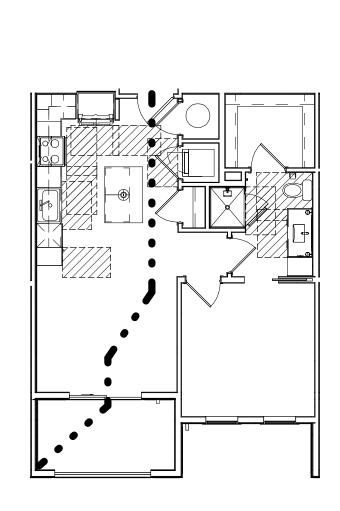
LIFE SAFETY SUM	IMARY (E)
OCCUPANCY: R 200 S	.F. PER PERSON (GROSS)
S	16300 S.F. / 200 = 82 OCC. 4490 S.F. / 15 = 299 OCC. 3250 S.F. / 300 = 11 OCC. 8500 S.F. / 30 = 283 OCC. TOTAL = 675 OCC.
REQ. NUMBER OF EXITS: 2	
ACT. NUMBER OF EXITS: 1	0
REQ. EGRESS WIDTH: 6	75 OCC. * 0.2/OCC. = 135.0"
ACT. EGRESS WIDTH: 4	29"
MAX. TRAVEL DIST.: 25	50' w/ SPRINKLER SYSTEM
STAIR SHAFT RATING: 2	HOUR



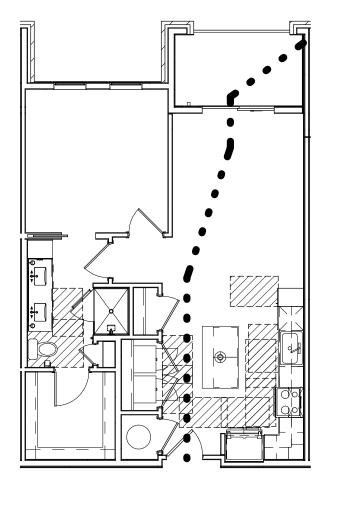


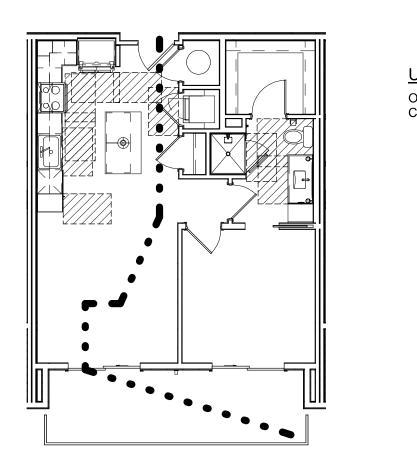


LIFE SAFETY PLAN - FOURTH FLOOR

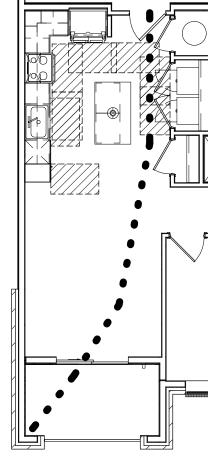


<u>UNIT A1</u> OCCUPANCY PER UNIT: 3.6 COMMON PATH OF EXIT (IN UNIT): 34'-10"



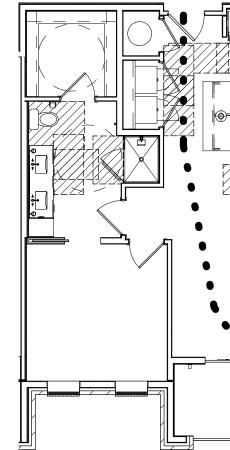


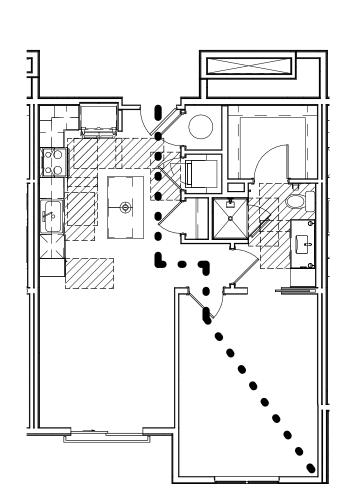
<u>UNIT A2</u> OCCUPANCY PER UNIT: 4.0 COMMON PATH OF EXIT (IN UNIT): 49'-2"



• •

<u>UNIT A3</u> OCCUPANCY PER UNIT: 3.8 COMMON PATH OF EXIT (IN UNIT): 34'-4"

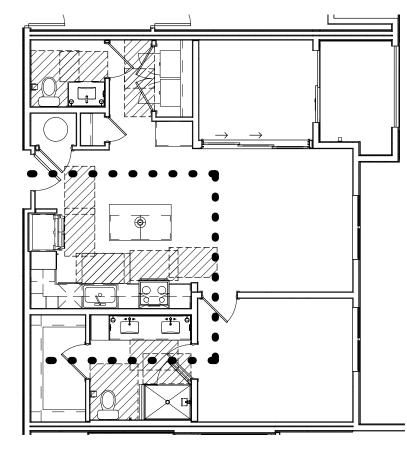




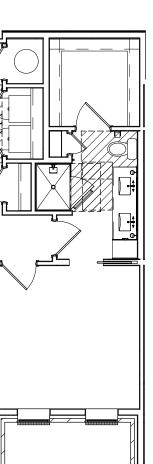
<u>UNIT A4</u> OCCUPANCY PER UNIT: 3.6 COMMON PATH OF EXIT (IN UNIT): 36'-10"

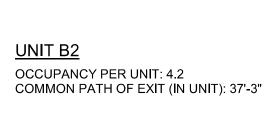
• • •

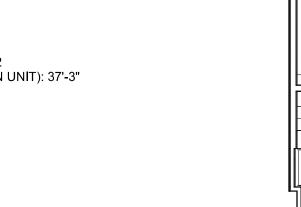
<u>UNIT B1 & UNIT B3</u> OCCUPANCY PER UNIT: 4.1 COMMON PATH OF EXIT (IN UNIT): 38'-4"

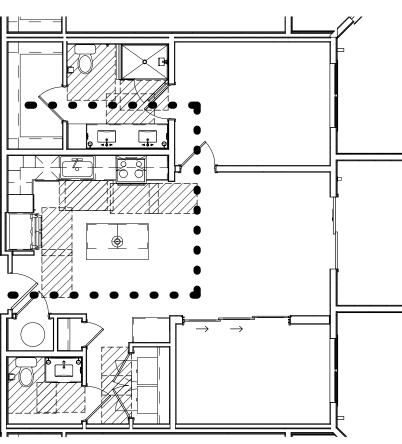


<u>UNIT D1</u>



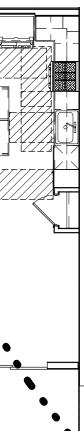








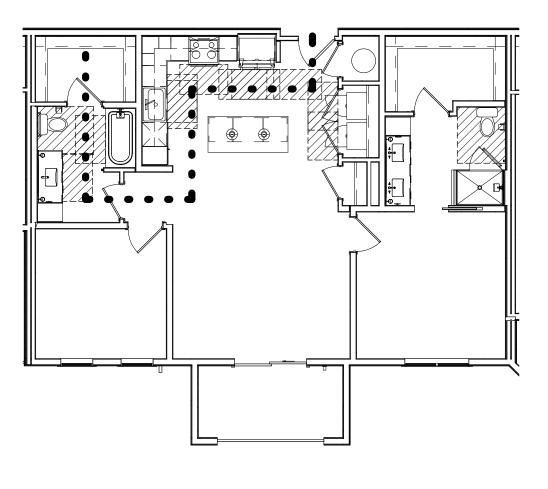


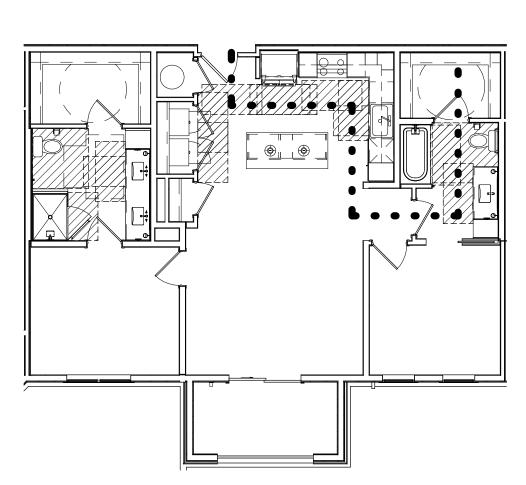


<u>UNIT B2 - TYPE A</u> OCCUPANCY PER UNIT: 4.2 COMMON PATH OF EXIT (IN UNIT): 37'-3"



<u>UNIT C1 & UNIT C2</u> OCCUPANCY PER UNIT: 4.2 COMMON PATH OF EXIT (IN UNIT): 40'-3"





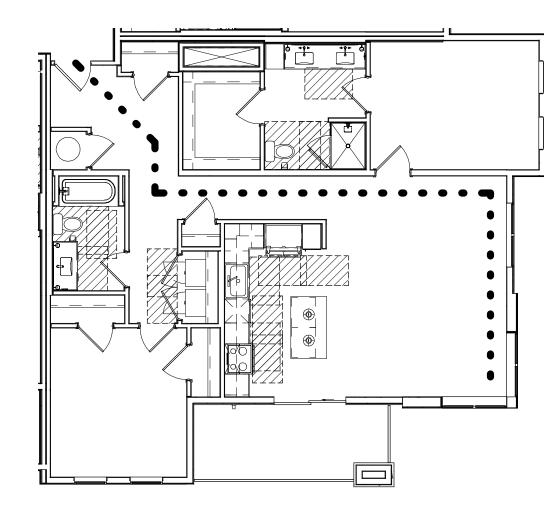
OCCUPANCY PER UNIT: 4.7 COMMON PATH OF EXIT (IN UNIT): 44'-10"

GENERAL NOTES

1. ALL RESIDENTIAL CORRIDORS ARE 1-HOUR FIRE RATED UNLESS OTERWISE NOTED. 2. THE BUILDING DESIGN APPROACH UTILIZES A "HORIZONTAL BUILDING SEPARATION" FOR THE LOWER LEVEL GARAGE PER SECTION 510.2 OF THE 2018 IBC.

<u>UNIT D2</u>

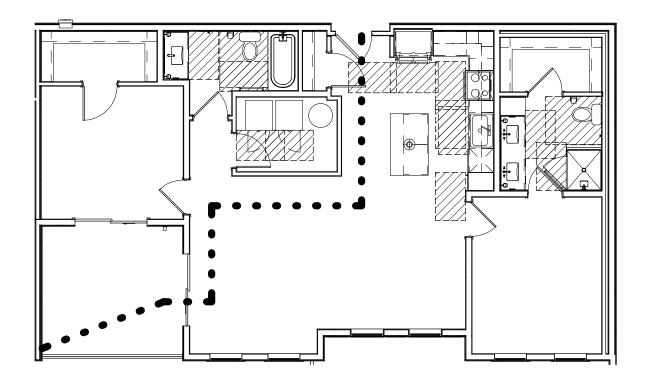
OCCUPANCY PER UNIT: 5.0 COMMON PATH OF EXIT (IN UNIT): 44'-5"



<u>UNIT G1</u> OCCUPANCY PER UNIT: 7.0 COMMON PATH OF EXIT (IN UNIT): 56'-10"

<u>UNIT F1</u>

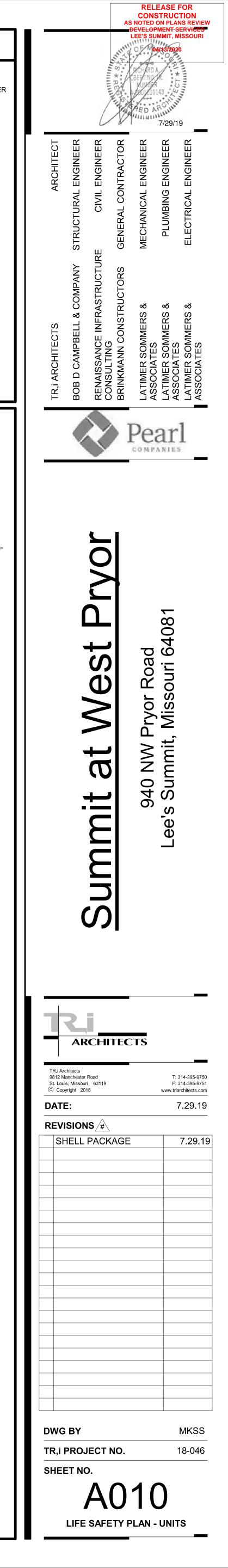
OCCUPANCY PER UNIT: 6.7 COMMON PATH OF EXIT (IN UNIT): 44'-7"

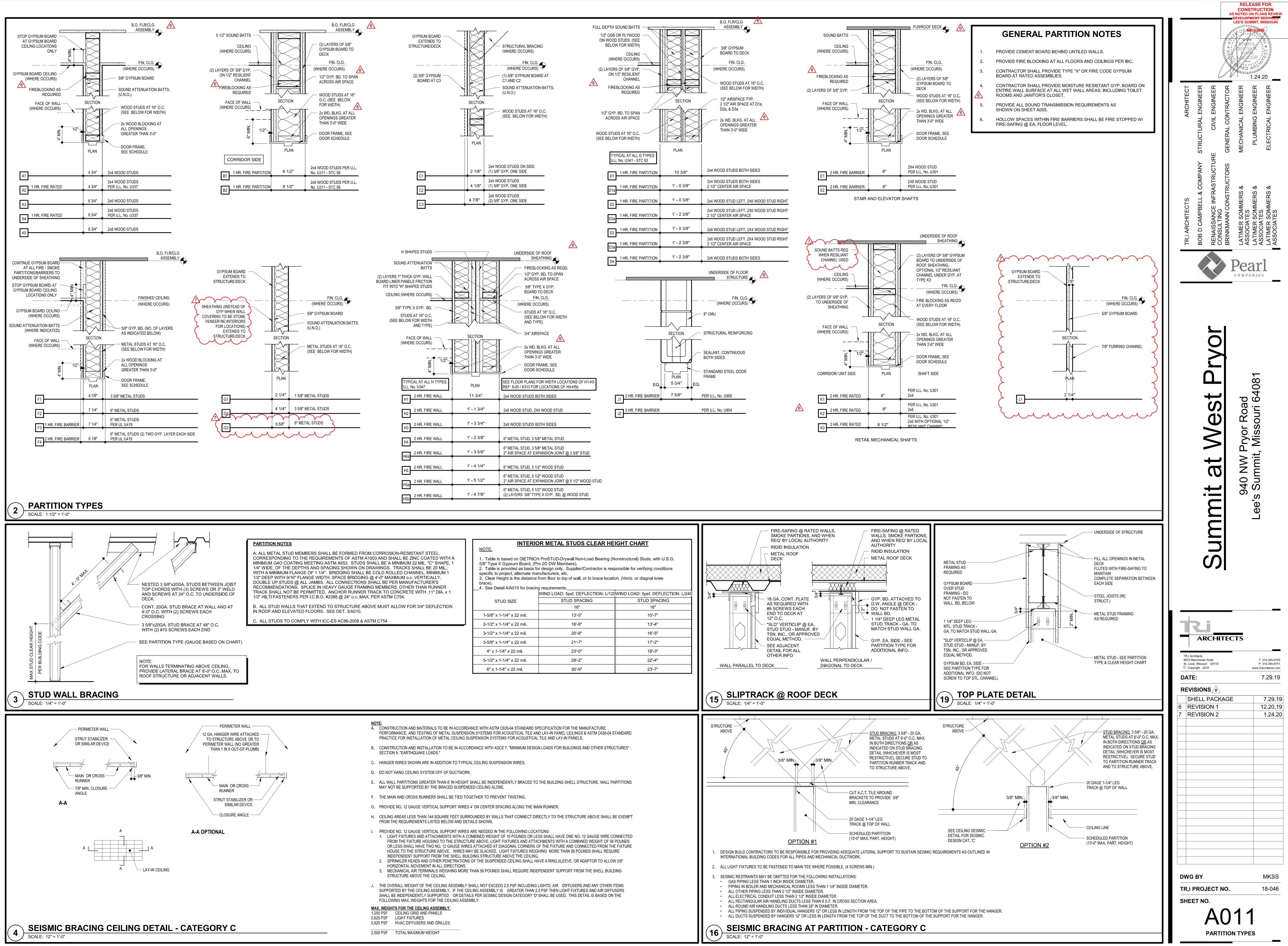


<u>UNIT H1 & H2</u> OCCUPANCY PER UNIT: 6.6 COMMON PATH OF EXIT (IN UNIT): 49'-6"

<u>UNIT F1 - TYPE A</u>

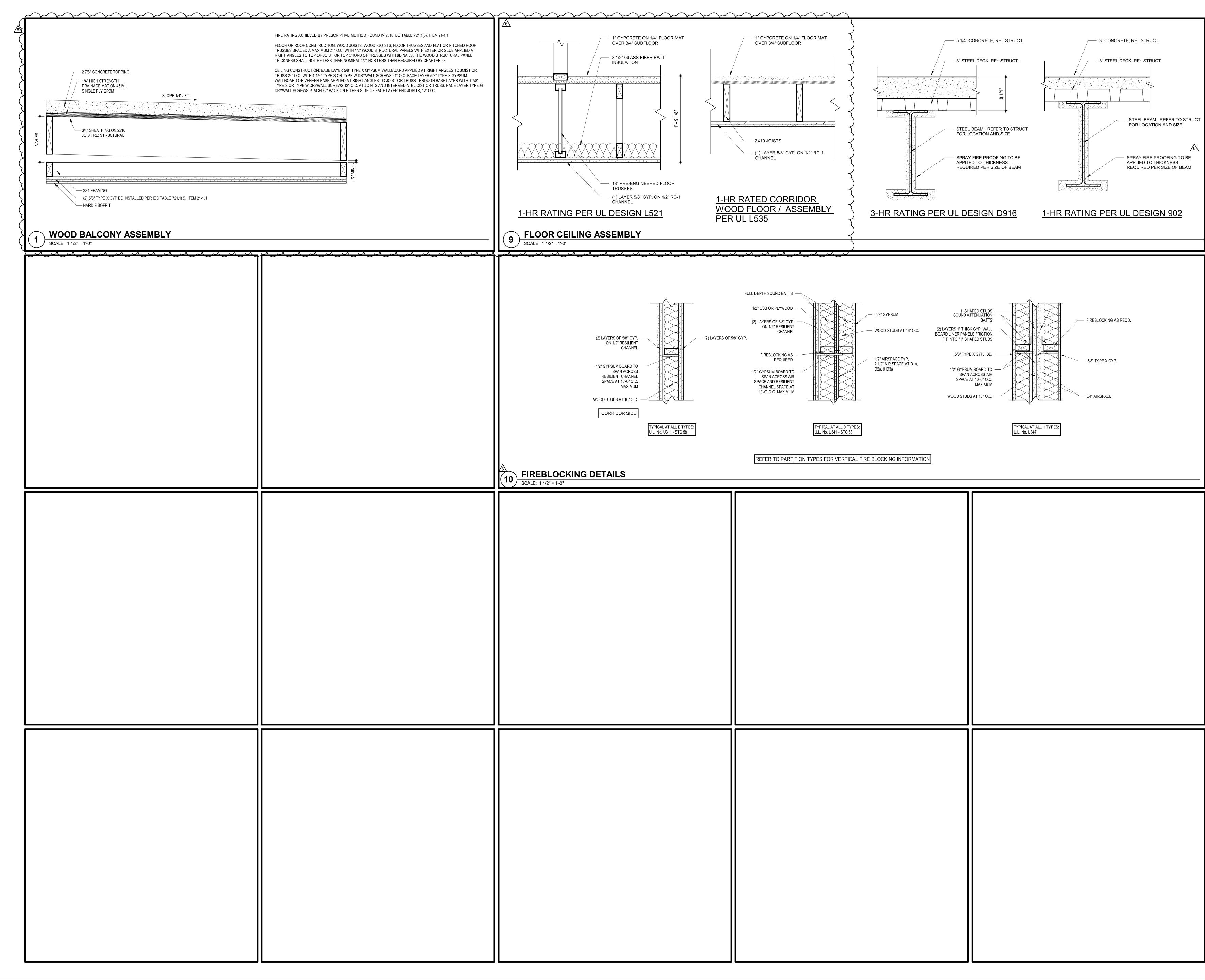
OCCUPANCY PER UNIT: 6.7 COMMON PATH OF EXIT (IN UNIT): 44'-7"



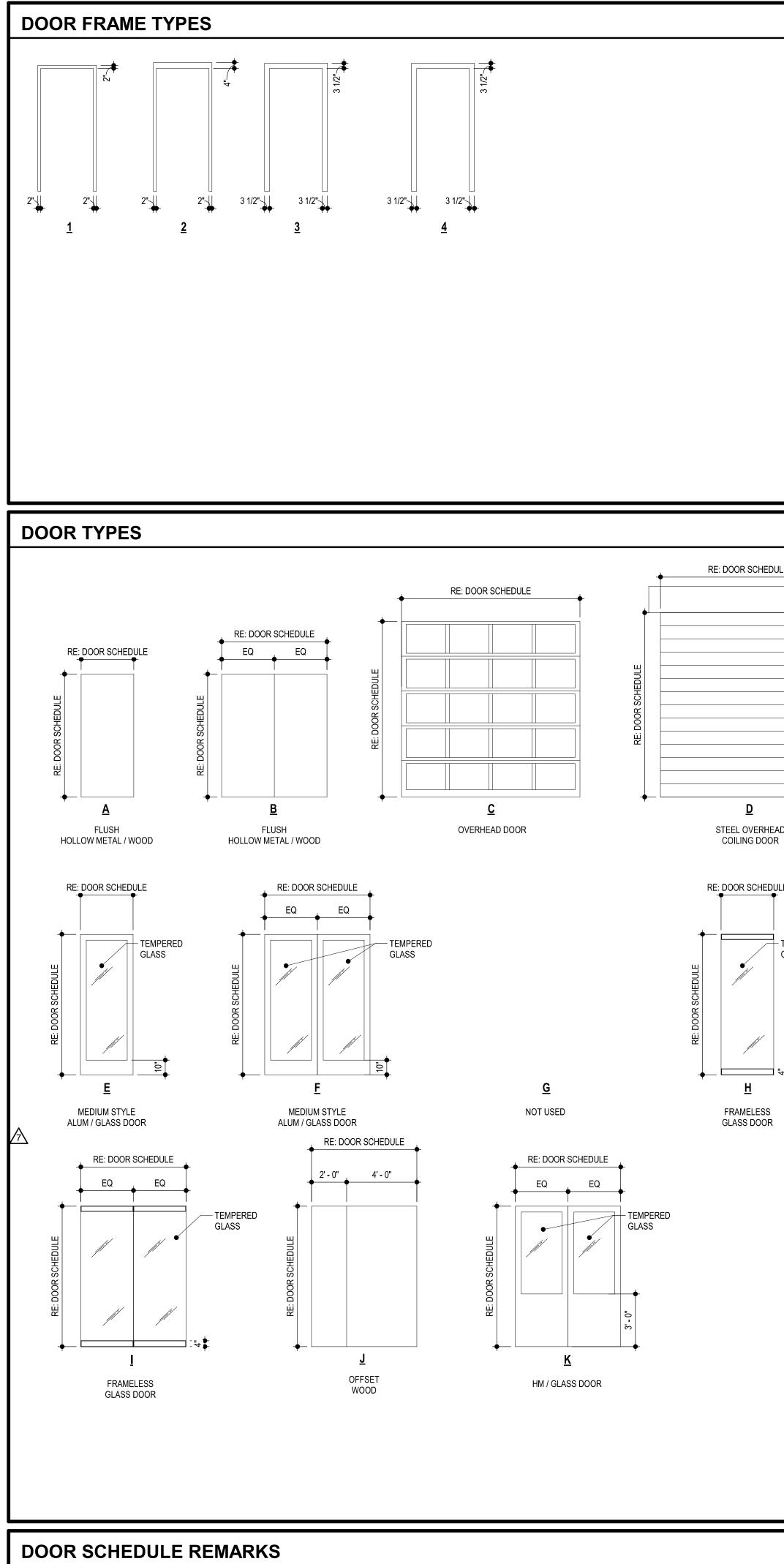


	WIND LOAD: 5psf, DEFLECTION: L/120WIND LOAD: 5psf, DEFLECTION: L/240								
STUD SIZE	STUD SPACING	STUD SPACING							
	16"	16"							
1-5/8" x 1-1/4" x 22 mil.	13'-5"	10'-7"							
2-1/2" x 1-1/4" x 22 mil.	16'-9"	13'-4"							
3-1/2" x 1-1/4" x 22 mil.	20'-8"	16'-5"							
3-5/8" x 1-1/4" x 22 mil.	21'-7"	17'-2"							
4" x 1-1/4" x 22 mil.	23'-0"	18'-3"							
5-1/2" x 1-1/4" x 22 mil.	28'-2"	22'-4"							
6" x 1-1/4" x 22 mil.	30'-9"	23'-7"							

NO	TE:
A.	
В.	CONSTRUCTION AND INSTALLATION TO BE IN ACCORDANCE WITH ASCE 7, "MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES"







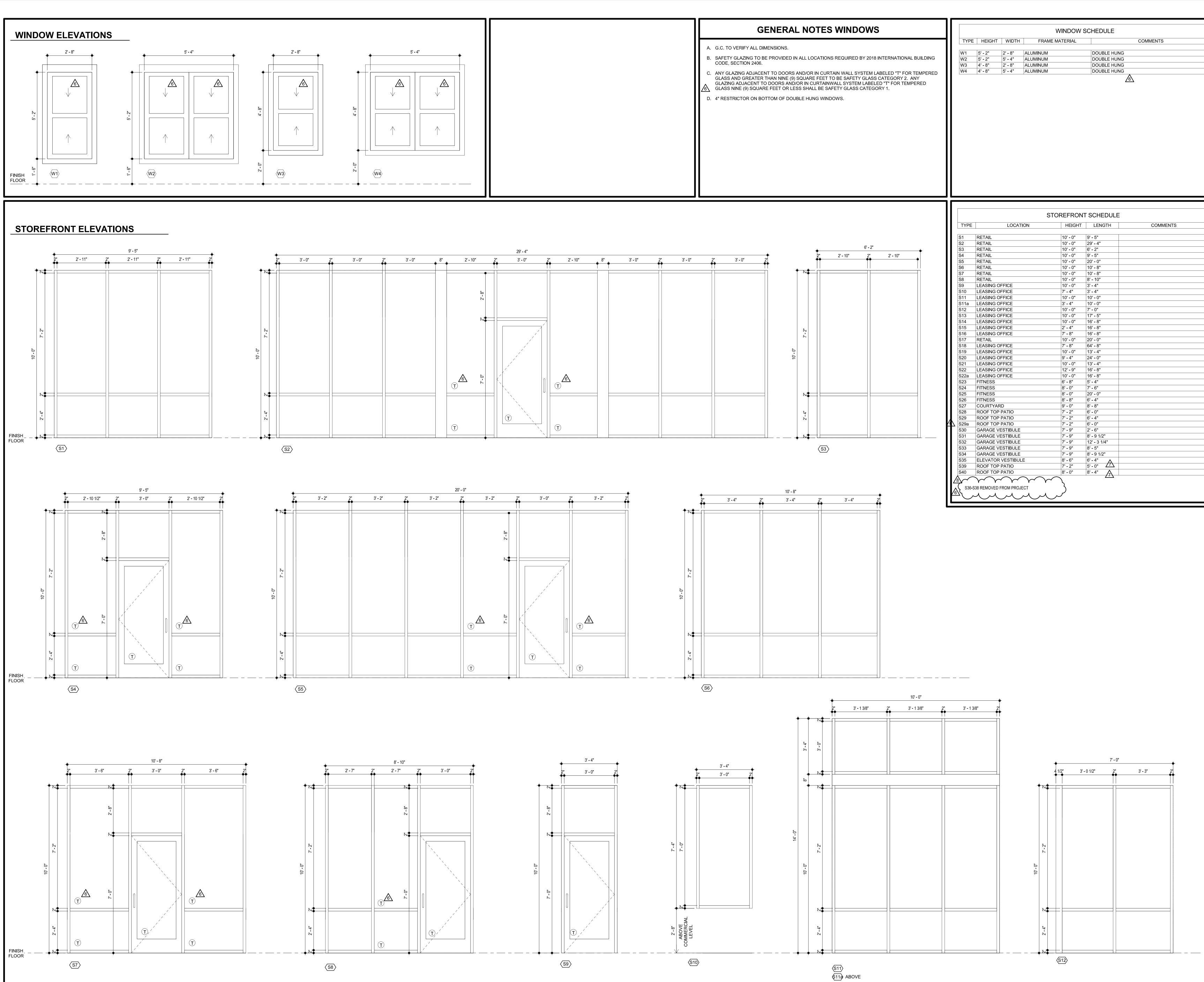
1. (1) 3'-0" AND (1) 2'-4" DOOR.

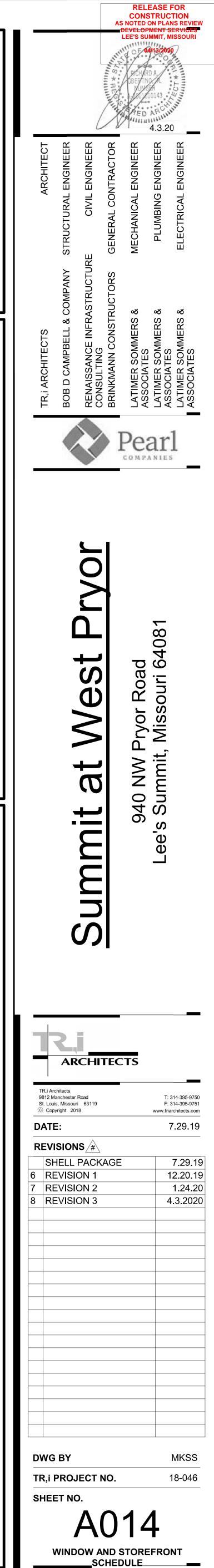
- 2. CREATE CORRIDOR ALCOVE. RE: 4/A031
- 3. CREATE DOOR ALCOVE. RE: 8/A031
- 4. DOOR TO HAVE ACCESS CONTROL, G.C. TO COORD. W/ OWNER'S VENDOR.
- 5. DOOR TO BE SMOKE AND DRAFT CONTROL RATED.

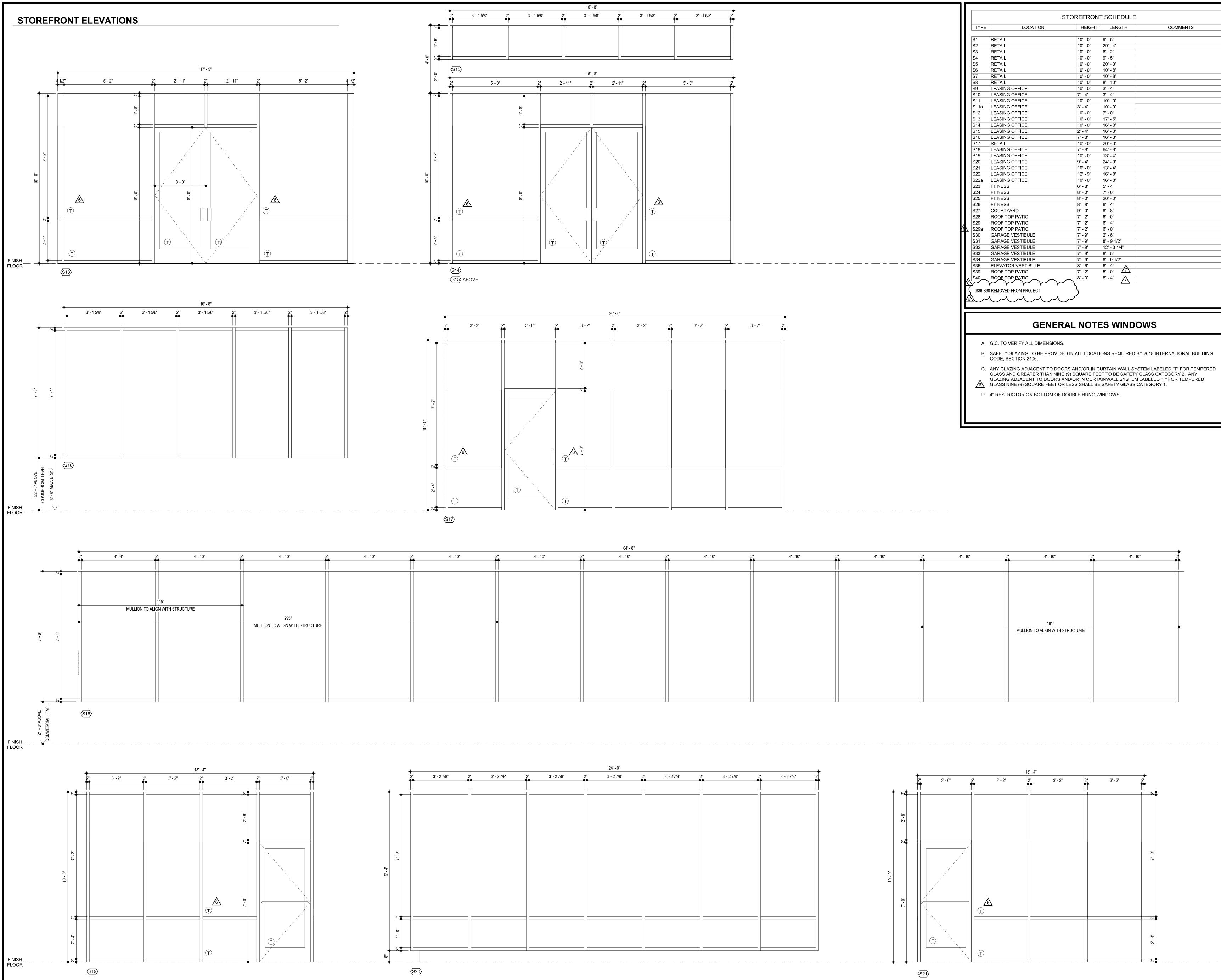
	DOOR SCHEDULE GARAGE	DOOR SCHEDULE SECOND FLOOR
	DORS FRAMES NO. TYPE MAT'L. WIDTH HEIGHT HROWRE SET LABEL REMARKS TYPE MAT'L. HEAD JAMBS SILL LABEL 001A E AL/GL 3'-0" 7'-0" A3 - - AL MANF MANF 3/A031 - 003A A HM 3'-0" 7'-0" E2 - - 2 HM 1/A031 2/A031 3/A030 - 003B M STL 24'-0" 8'-6" G1 - - STL 18/A030 19/A030 16/A030 - 003C D STL 24'-0" 8'-0" G1 - - STL 18/A030 19/A030 16/A030 - 003C D STL 24'-0" 8'-0" G1 - - 2 HM 1/A031 3/A031 - 004A A HM 3'-0" 7'-0" E2 </th <th>DORS FRAMES FRAMES SIL LABEL 204A A WD 3'.0" 7'.0" F2 20 MIN 5 1 HM 6/031 6/031 - 20 MIN 206A A WD 3'.0" 7'.0" L1 45 MIN 5 1 HM 6/031 6/031 - 45 MIN 206A A WD 3'.0" 7'.0" L1 45 MIN - 1 HM 6/031 6/031 - 45 MIN 206A A WD 3'.0" 7'.0" F2 20 MIN 5 1 HM 6/031 6/031 - 45 MIN 207A A WD 3'.0" 7'.0" F2 20 MIN 5 1 HM 6/031 6/031 - 20 MIN 210A A WD 3'.0" 7'.0" H2 90 MIN 1, 2, 5 1 HM 6/031 6/031 - 20 MIN</th>	DORS FRAMES FRAMES SIL LABEL 204A A WD 3'.0" 7'.0" F2 20 MIN 5 1 HM 6/031 6/031 - 20 MIN 206A A WD 3'.0" 7'.0" L1 45 MIN 5 1 HM 6/031 6/031 - 45 MIN 206A A WD 3'.0" 7'.0" L1 45 MIN - 1 HM 6/031 6/031 - 45 MIN 206A A WD 3'.0" 7'.0" F2 20 MIN 5 1 HM 6/031 6/031 - 45 MIN 207A A WD 3'.0" 7'.0" F2 20 MIN 5 1 HM 6/031 6/031 - 20 MIN 210A A WD 3'.0" 7'.0" H2 90 MIN 1, 2, 5 1 HM 6/031 6/031 - 20 MIN
HEDULE	DOOR SCHEDULE FIRST FLOOR FAMES TOOR SCHEDULE FIRST FLOOR	DOR SCHEDULE THRO PLOOR FRAMES 10 <td< th=""></td<>

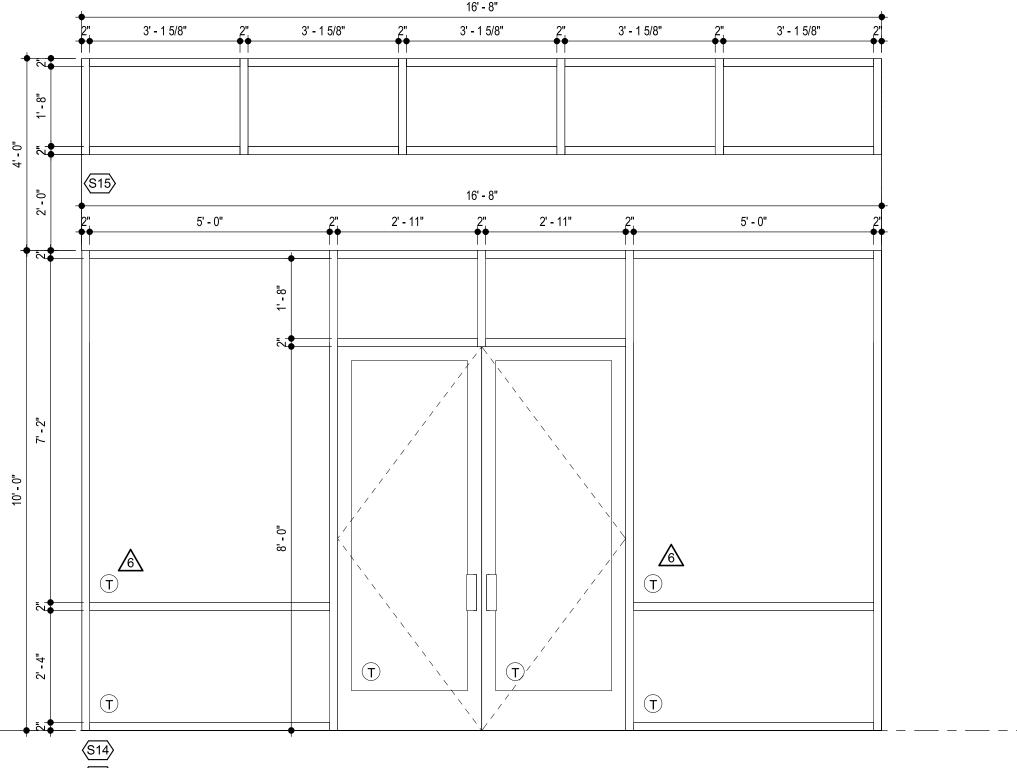
SHADED DOORS HAVE BEEN ADDED OR UPDATED. THEY ARE SHADED INSTEAD OF CLOUDED FOR CLARITY.

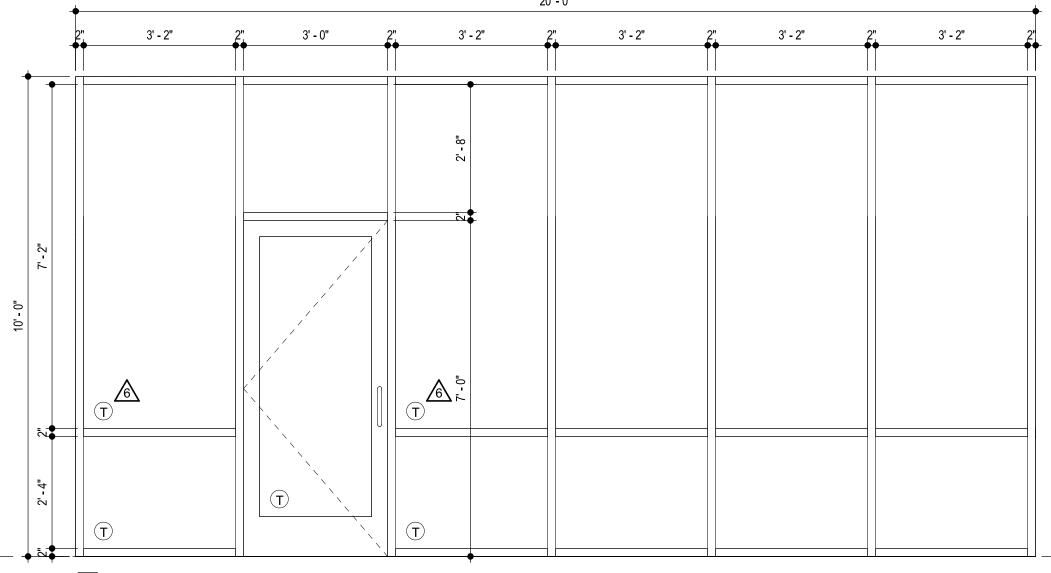
RELEASE FOR CONSTRUCTION AS NOTED ON PLANS REVIEW DEVELOPMENT SERVICES LEE'S SUMMIT, MISSOURI F 04/13/20 4.3.20 ٦) Ō ۰ð <u>مە</u> AS AS Pearl COMPANIES 0 4081 West τ Ò 940 NW Pryor Road Lee's Summit, Missouri (at Summit ARCHITECTS TR,i Architects T: 314-395-9750 F: 314-395-9751 9812 Manchester Road St. Louis, Missouri 63119 ⓒ Copyright 2018 www.triarchitects.com 7.29.19 DATE: REVISIONS SHELL PACKAGE 7.29.19 12.20.19 6 REVISION 1 7 REVISION 2 1.24.20 8 REVISION 3 4.3.2020 DWG BY MKSS TR,i PROJECT NO. 18-046 SHEET NO. A013 DOOR SCHEDULE & TYPICAL DETAILS







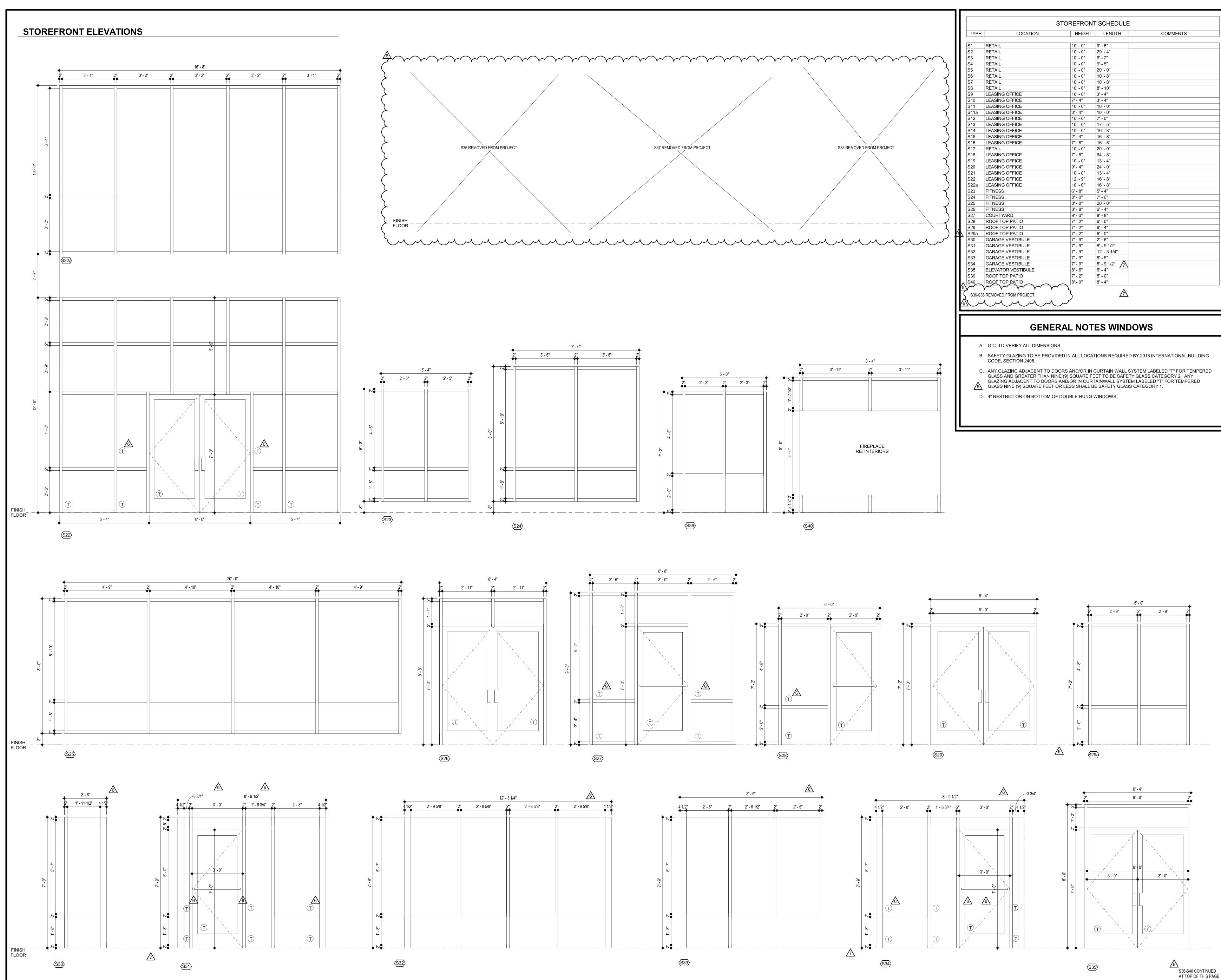




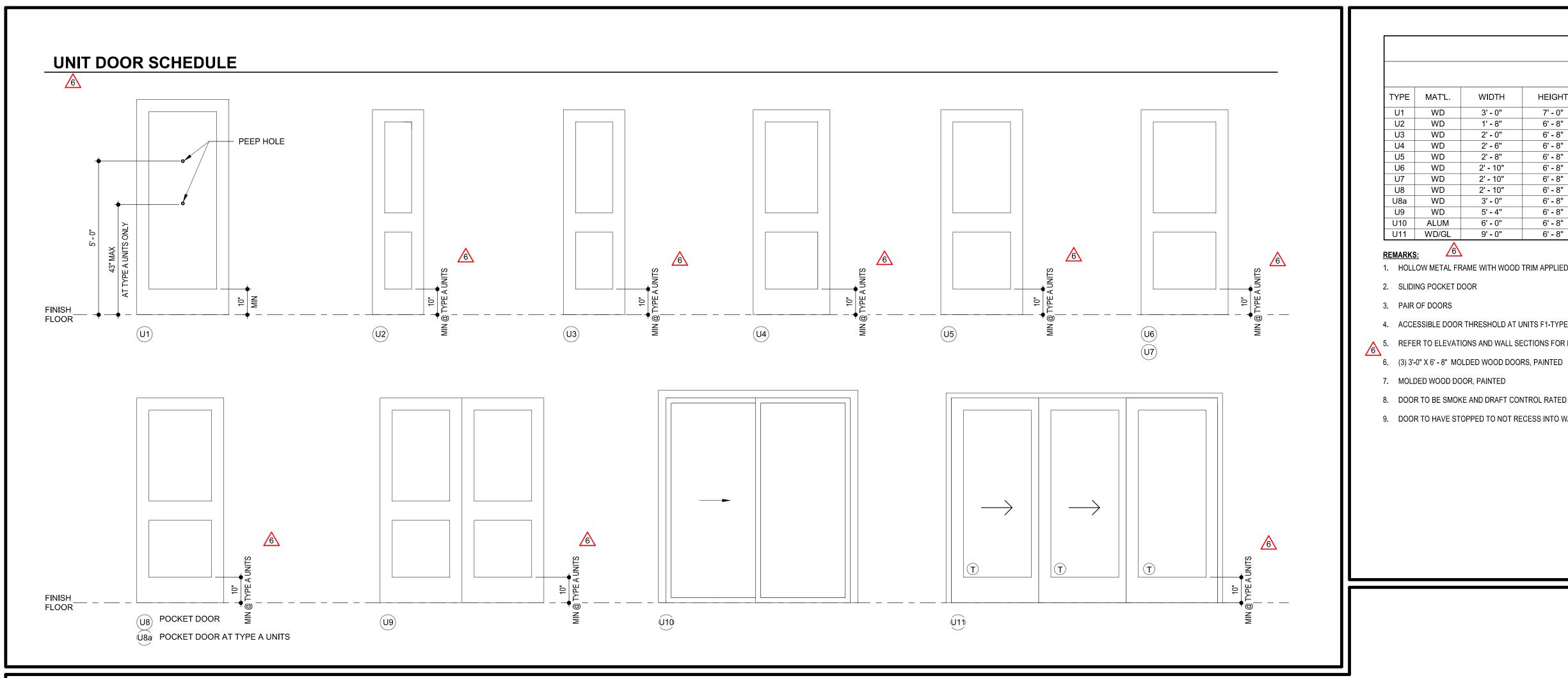
	<u>(\$17</u>)							
			64' - 8"					
4' - 10"		2", 4' - 10"	2". 4' - 10" 2"	4' - 10" 2"	4' - 10" 2	<u> </u>	 2"4' - 10"	" 4' - 10" 2"
	Ĭ		TT TI	Í				T T
		•					181"	
							MULLION TO ALIGN WITH STRUCTURE	

TYPE LOCATION HEIGHT LENGTH COMMENTS S1 RETAIL 10 - 0" 9' - 9"			STOREFRON	T SCHEDULE	
S2 RETAL 10 - 0" 29 - 4" S3 RETAL 10 - 0" 6" - 2" S4 RETAL 10 - 0" 20' - 0" S5 RETAL 10 - 0" 10' - 8" S6 RETAL 10 - 0" 10' - 8" S7 RETAL 10 - 0" 10' - 8" S8 RETAL 10 - 0" 5' - 4" S10 LEASING OFFICE 10' - 0" 5' - 4" S11 LEASING OFFICE 10' - 0" 5' - 4" S11 LEASING OFFICE 10' - 0" 1' - 4" S11 LEASING OFFICE 10' - 0" 1' - 4" S12 LEASING OFFICE 10' - 0" 1' - 5" S13 LEASING OFFICE 10' - 0" 16' - 8" S14 LEASING OFFICE 7' - 8" 16' - 8" S15 LEASING OFFICE 7' - 4" 16' - 8" S20 LEASING OFFICE 10' - 0" 13' - 4" S21 LEASING OFFICE 10' - 0" 13' - 4" S22 LEASING OFFICE 10' - 0" 13' - 4" S21	TYPE	LOCATION	HEIGHT	LENGTH	COMMENTS
S2 RETAL 10 · 0" 29 · 4" S3 RETAL 10 · 0" 6" - 2" S4 RETAL 10 · 0" 20' - 0" S5 RETAL 10 · 0" 20' - 0" S6 RETAL 10 · 0" 10 · 3" S7 RETAL 10 · 0" 10 · 3" S8 RETAL 10 · 0" 9' - 4" S10 LEASING OFFICE 10 · 0" 9' - 4" S11 LEASING OFFICE 10 · 0" 9' - 4" S11 LEASING OFFICE 10 · 0" 17' - 5' S12 LEASING OFFICE 10 · 0" 17' - 5' S13 LEASING OFFICE 10 · 0" 17' - 5' S14 LEASING OFFICE 10 · 0" 13' - 4" S2 LEASING OFFICE 10 · 0" 13' - 4" S2 LEASING OFFICE 10 · 0" 13' - 4" S2 LEASING OFFICE 10 · 0" 13' - 4" S2 LEASING OFFICE 10 · 0" 13' - 4" S2 LEASING OFFICE 10 · 0" 13' - 4" 24' - 0" S2	S1	RETAIL	10' - 0"	9' - 5"	
S3 RETAL 10 · 0" 6 · 2" S4 RETAL 10 · 0" 9 · 5" S6 RETAL 10 · 0" 10" · 6" S6 RETAL 10 · 0" 10" · 6" S6 RETAL 10 · 0" 10" · 6" S7 RETAL 10 · 0" 8" · 10" S8 RETAL 10 · 0" 9 · 4" S9 LEASING OFFICE 10 · 0" 9 · 4" S11 LEASING OFFICE 10 · 0" 10" · 6" S13 LEASING OFFICE 10 · 0" 10" · 6" S14 LEASING OFFICE 10 · 0" 16" · 8" S15 LEASING OFFICE 10 · 0" 13" · 4" S2 LEASING OFFICE 10 · 0" 13" · 4" S2 LEASING OFFICE 10 · 0" 13" · 4" S2 LEASING OFFICE 10 · 0" 13" · 4" S2 LEASING OFFICE 10 · 0" 13" · 4" S2 LEASING OFFICE 10 · 0" 13" · 4" S2 LEASING OFFICE 10 · 0" 13" · 4" S2 LEASING OFF					
S4 RETAL 10 · 0" 9 · 5" S5 RETAL 10 · 0" 20 · 0" S6 RETAL 10 · 0" 20 · 0" S7 RETAL 10 · 0" 10 · 8" S7 RETAL 10 · 0" 3 · 4" S8 RETAL 10 · 0" 3 · 4" S10 LEASING OFFICE 10 · 0" 10 · 0" S11 LEASING OFFICE 10 · 0" 10 · 0" S11 LEASING OFFICE 10 · 0" 10 · 0" S11 LEASING OFFICE 10 · 0" 10 · 0" S12 LEASING OFFICE 10 · 0" 17 · 0" S13 LEASING OFFICE 10 · 0" 17 · 0" S14 LEASING OFFICE 10 · 0" 13 · 4" S15 LEASING OFFICE 10 · 0" 13 · 4" S20 LEASING OFFICE 10 · 0" 13 · 4" S21 LEASING OFFICE 10 · 0" 13 · 4" S22 LEASING OFFICE 10 · 0" 13 · 4" S21 LEASING OFFICE 10 · 0" 13 · 4" S22 LEASING					
S6 RETAIL 10 · 0" 20 · 0" S6 RETAIL 10 · 0" 10 · 8" S7 RETAIL 10 · 0" 8' · 4" S8 RETAIL 10 · 0" 8' · 4" S9 LEASING OFFICE 7' · 4" 3' - 4" S10 LEASING OFFICE 7' · 4" 3' - 4" S11 LEASING OFFICE 10 · 0" 10 · 0" S11 LEASING OFFICE 10 · 0" 10 · 0" S11 LEASING OFFICE 10 · 0" 10 · 0" S11 LEASING OFFICE 10 · 0" 17 · 5" S14 LEASING OFFICE 10 · 0" 16' · 8" S15 LEASING OFFICE 10 · 0" 13' · 4" S20 LEASING OFFICE 10 · 0" 13' · 4" S21 LEASING OFFICE 10 · 0" 13' · 4" S22 LEASING OFFICE 10 · 0" 13' · 4" S22 LEASING OFFICE 10 · 0" 13' · 4" S22 LEASING OFFICE 10 · 0" 13' · 4" S21 LEASING OFFICE 10 · 0" 13' · 4"					
S6 RETAIL 10° · 0° 10° · 8° S7 RETAIL 10° · 0° 10° · 8° S8 RETAIL 10° · 0° 10° · 8° S9 LEASING OFFICE 10° · 0° 3° · 4° S10 LEASING OFFICE 10° · 0° 3° · 4° S11 LEASING OFFICE 10° · 0° 10° · 0° S11a LEASING OFFICE 10° · 0° 10° · 0° S11a LEASING OFFICE 10° · 0° 17° · 5° S12 LEASING OFFICE 10° · 0° 17° · 5° S13 LEASING OFFICE 10° · 0° 16° · 8° S14 LEASING OFFICE 7° · 8° 64° · 8° S15 LEASING OFFICE 7° · 8° 64′ · 8° S21 LEASING OFFICE 10° · 0° 13° · 4° S22 LEASING OFFICE 10° · 0° 13° · 4° S22 LEASING OFFICE 10° · 0° 16° · 8° S22 LEASING OFFICE 10° · 0° 16° · 8° S22 LEASING OFFICE 10° · 0° 16° · 8° S22 LEASING OFFICE 10° · 0° <td< td=""><td></td><td>RETAIL</td><td></td><td></td><td></td></td<>		RETAIL			
88 RETAIL 10 ¹ - 0 ⁿ 8' - 10 ⁿ 89 LEASING OFFICE 10 ¹ - 0 ⁿ 3' - 4 ⁿ 510 LEASING OFFICE 10 ¹ - 0 ⁿ 3' - 4 ⁿ 511 LEASING OFFICE 10 ¹ - 0 ⁿ 10' - 0 ⁿ 511 LEASING OFFICE 10 ¹ - 0 ⁿ 10' - 0 ⁿ 512 LEASING OFFICE 10 ¹ - 0 ⁿ 17' - 5 ⁿ 513 LEASING OFFICE 10 ¹ - 0 ⁿ 17' - 5 ⁿ 514 LEASING OFFICE 2' - 4 ⁿ 16' - 8 ⁿ 515 LEASING OFFICE 7' - 8 ⁿ 16' - 8 ⁿ 517 RETAIL 10 ¹ - 0 ⁿ 13' - 4 ⁿ 520 LEASING OFFICE 10 ¹ - 0 ⁿ 13' - 4 ⁿ 521 LEASING OFFICE 10 ¹ - 0 ⁿ 13' - 4 ⁿ 522 LEASING OFFICE 10 ¹ - 0 ⁿ 13' - 4 ⁿ 521 LEASING OFFICE 10 ¹ - 0 ⁿ 13' - 4 ⁿ 522 LEASING OFFICE 10' - 0 ⁿ 13' - 4 ⁿ 521 LEASING OFFICE 10' - 0 ⁿ 13' - 4 ⁿ 522 LEASING OFFICE 10' - 0 ⁿ 13' - 4 ⁿ		RETAIL			
S9 LEASING OFFICE 10 • 0° 3' • 4" S10 LEASING OFFICE 7' • 4" 3' • 4" S11 LEASING OFFICE 10 • 0° 10 • 0° S111 LEASING OFFICE 10 • 0° 10 • 0° S11 LEASING OFFICE 10 • 0° 10 • 0° S12 LEASING OFFICE 10 • 0° 17 • 5" S14 LEASING OFFICE 10 • 0° 17 • 5" S15 LEASING OFFICE 2' • 4' 16' • 8" S16 LEASING OFFICE 7' • 8' 16' • 8" S17 RETAIL 0' • 0' • 13' • 4" 5' S20 LEASING OFFICE 10' • 0' • 13' • 4" 5' S21 <leasing office<="" td=""> 10' • 0' • 13' • 4" 5' S22 LEASING OFFICE 10' • 0' • 13' • 4" 5' S22 LEASING OFFICE 10' • 0' • 13' • 4" 5' S22 LEASING OFFICE 10' • 0' • 13' • 4" 5' S21 LENSING OFFICE 10' • 0' • 16' • 8" 5' S22 LEASING OFFICE 10' • 0' • 16' • 8" 5' S23 FITNESS</leasing>	S7	RETAIL	10' - 0"	10' - 8"	
\$10 LEASING OFFICE 17 - 4" 3' - 4" \$11 LEASING OFFICE 10' - 0" 10' - 0" \$12 LEASING OFFICE 10' - 0" 10' - 0" \$12 LEASING OFFICE 10' - 0" 17' - 0" \$13 LEASING OFFICE 10' - 0" 17' - 5" \$14 LEASING OFFICE 10' - 0" 16' - 8" \$15 LEASING OFFICE 7' - 8" 16' - 8" \$16 LEASING OFFICE 7' - 8" 16' - 8" \$17 RETAIL 10' - 0" 12' - 4" \$18 LEASING OFFICE 7' - 8" 16' - 8" \$18 LEASING OFFICE 17' - 9" 16' - 8" \$20 LEASING OFFICE 10' - 0" 13' - 4" \$21 LEASING OFFICE 10' - 0" 13' - 4" \$22 LEASING OFFICE 10' - 0" 13' - 4" \$22 LEASING OFFICE 10' - 0" 13' - 4" \$22 LEASING OFFICE 10' - 0" 13' - 4" \$22 LEASING OFFICE 10' - 0" 13' - 4" \$22 LEASING OFFICE 10' -	S8	RETAIL	10' - 0"	8' - 10"	
S11 LEASING OFFICE 10' - 0" 10' - 0" S11a LEASING OFFICE 10' - 0" 7' - 0" S12 LEASING OFFICE 10' - 0" 7' - 0" S13 LEASING OFFICE 10' - 0" 17' - 5" S14 LEASING OFFICE 10' - 0" 17' - 5" S15 LEASING OFFICE 10' - 0" 16' - 8" S16 LEASING OFFICE 7' - 8" 16' - 8" S17 RETAIL 10' - 0" 13' - 4" S18 LEASING OFFICE 7' - 8" 64' - 8" S19 LEASING OFFICE 10' - 0" 13' - 4" S20 LEASING OFFICE 10' - 0" 13' - 4" S21 LEASING OFFICE 12' - 9" 16' - 8" S22 LEASING OFFICE 12' - 0" 16' - 8" S22 LEASING OFFICE 10' - 0" 16' - 8" S22 LEASING OFFICE 10' - 0" 16' - 8" S22 LEASING OFFICE 10' - 0" 16' - 8" S22 LEASING OFFICE 12' - 0" 15' - 4" S24 FITNESS 8' - 0' - 0	S9	LEASING OFFICE	10' - 0"	3' - 4"	
S11a LEASING OFFICE 9'.4" 10'.0" S12 LEASING OFFICE 10'.0" 17'.0" S13 LEASING OFFICE 10'.0" 17'.0" S14 LEASING OFFICE 10'.0" 17'.6" S14 LEASING OFFICE 10'.0" 16'.8" S15 LEASING OFFICE 2'.4" 16'.6" S16 LEASING OFFICE 7'.8" 14'.4" S20 10'.0" 13'.4" 20.0" S18 LEASING OFFICE 10'.0" 13'.4" S21 LEASING OFFICE 10'.0" 13'.4" S21 LEASING OFFICE 10'.0" 16'.8" S22a LEASING OFFICE 10'.0" 16'.8" S23 FITNESS 8'.0" 7'.6" S24 FITNESS 8'.0" 16'.4" S25 FIT	S10	LEASING OFFICE		3' - 4"	
S12 LEASING OFFICE 10° - 0" 7' - 0" S13 LEASING OFFICE 10° - 0" 17' - 5" S14 LEASING OFFICE 10° - 0" 16° - 8" S15 LEASING OFFICE 2' - 4" 16° - 8" S16 LEASING OFFICE 7' - 8" 16° - 8" S17 RETAIL 10° - 0" 20' - 0" S18 LEASING OFFICE 10° - 0" 13' - 4" S20 LEASING OFFICE 10° - 0" 13' - 4" S21 LEASING OFFICE 10° - 0" 13' - 4" S21 LEASING OFFICE 10° - 0" 13' - 4" S21 LEASING OFFICE 10° - 0" 16' - 8" S22 LEASING OFFICE 10° - 0" 16' - 8" S22 LEASING OFFICE 10° - 0" 16' - 8" S23 FITNESS 6' - 4" 22 S24 FITNESS 8' - 0" 20' - 0" S25 FITNESS 8' - 8" 6' - 4" S26 FITNESS 8' - 8" 6' - 4" S25 ROOF TOP PATIO 7' - 2" 6' - 0" <td>S11</td> <td>LEASING OFFICE</td> <td>10' - 0"</td> <td>10' - 0"</td> <td></td>	S11	LEASING OFFICE	10' - 0"	10' - 0"	
S13 LEASING OFFICE 10' - 0" 17' - 5" S14 LEASING OFFICE 10' - 0" 16' - 8" S15 LEASING OFFICE 2' - 4" 16' - 8" S16 LEASING OFFICE 7' - 8" 16' - 8" S17 RETAIL 10' - 0" 20' - 0" S18 LEASING OFFICE 7' - 8" 64' - 8" S19 LEASING OFFICE 10' - 0" 13' - 4" S20 LEASING OFFICE 10' - 0" 13' - 4" S21 LEASING OFFICE 10' - 0" 13' - 4" S22 LEASING OFFICE 10' - 0" 13' - 4" S21 LEASING OFFICE 10' - 0" 13' - 4" S22 LEASING OFFICE 10' - 0" 13' - 4" S22 LEASING OFFICE 10' - 0" 13' - 4" S22 LEASING OFFICE 10' - 0" 13' - 4" S22 LEASING OFFICE 10' - 0" 13' - 4" S22 LEASING OFFICE 10' - 0" 13' - 4" S24 FITNESS 6' - 8" 5' - 4" S25 FITNESS 8' - 8" <t< td=""><td></td><td>LEASING OFFICE</td><td></td><td></td><td></td></t<>		LEASING OFFICE			
S14 LEASING OFFICE 10' - 0" 16' - 8" S15 LEASING OFFICE 2' - 4" 16' - 8" S16 LEASING OFFICE 7' - 8" 16' - 8" S17 RETAIL 10' - 0" 20' - 0" S18 LEASING OFFICE 10' - 0" 13' - 4" S20 LEASING OFFICE 10' - 0" 13' - 4" S21 LEASING OFFICE 10' - 0" 13' - 4" S22 LEASING OFFICE 10' - 0" 13' - 4" S22 LEASING OFFICE 10' - 0" 13' - 4" S22 LEASING OFFICE 10' - 0" 13' - 4" S23 FITNESS 6' - 6" 5' - 4" S24 FITNESS 6' - 0" 7' - 6" S25 FITNESS 8' - 8" 6' - 4" S26 FITNESS 8' - 8" 6' - 4" S27 COURTYARD 9' - 0" 8' - 6" S28 ROOF TOP PATIO 7' - 2" 6' - 0" S29 ROOF TOP PATIO 7' - 2" 6' - 10" S30 GARAGE VESTIBULE 7' - 9" 8' - 6"					
S15 LEASING OFFICE 2' -4'' 16' -8'' S16 LEASING OFFICE 7' -8'' 16' -8'' S17 RETAIL 10' -0'' 20' -0'' S18 LEASING OFFICE 7' -8'' 64' -8'' S20 LEASING OFFICE 10' -0'' 13' -4'' S21 LEASING OFFICE 10' -0'' 13' -4'' S22 LEASING OFFICE 10' -0'' 16' -8'' S224 LEASING OFFICE 10' -0'' 16' -8'' S224 LEASING OFFICE 10' -0'' 16' -8'' S23 FITNESS 6' -8'' 5' -4'' S24 FITNESS 6' -8'' 5' -4'' S25 FITNESS 8' -0'' 7' -6'' S26 FITNESS 8' -0'' 7' -2'' S27 COURTYARD 9' -0'' 8' -0'' S28 ROOF TOP PATIO 7' -2'' 6' -0'' S29 ROOF TOP PATIO 7' -2'' 6' -0'' S29 ROOF TOP PATIO 7' -9'' 12' -3 1/4'' S30 GARAGE VESTIBULE 7' -9'' 8' -9''' <td></td> <td></td> <td></td> <td></td> <td></td>					
S16 LEASING OFFICE 7'-8" 16'-8" S17 RETAIL 10'-0" 20'-0" S18 LEASING OFFICE 7'-8" 64'-8" S19 LEASING OFFICE 10'-0" 13'-4" S20 LEASING OFFICE 10'-0" 13'-4" S21 LEASING OFFICE 10'-0" 13'-4" S22 LEASING OFFICE 10'-0" 16'-8" S21 LEASING OFFICE 10'-0" 16'-8" S22 LEASING OFFICE 10'-0" 16'-8" S22 LEASING OFFICE 10'-0" 16'-8" S22 LEASING OFFICE 10'-0" 16'-8" S23 FITNESS 6'-0" 2'-4" S24 FITNESS 8'-0" 2'-0" S25 FITNESS 8'-0" 2'-0" S26 FITNESS 8'-6" 6'-4" S27 COURTYARD 7'-2" 6'-0" S28 ROOF TOP PATIO 7'-2" 6'-0" S30 GARAGE VESTIBULE 7'-9" 8'-9'12" S33 GARAGE VESTIBULE <td< td=""><td></td><td></td><td></td><td></td><td></td></td<>					
S17 RETAIL 10' - 0" 20' - 0" S18 LEASING OFFICE 7' - 8" 64' - 8" S20 LEASING OFFICE 10' - 0" 13' - 4" S21 LEASING OFFICE 10' - 0" 13' - 4" S21 LEASING OFFICE 12' - 9" 16' - 8" S22 LEASING OFFICE 12' - 9" 16' - 8" S22 LEASING OFFICE 10' - 0" 16' - 8" S22 LEASING OFFICE 10' - 0" 16' - 8" S22 LEASING OFFICE 12' - 9" 16' - 8" S22 LEASING OFFICE 12' - 9" 16' - 8" S23 FITNESS 6' - 4" 10' - 0" S24 FITNESS 8' - 0" 20' - 0" S25 FITNESS 8' - 6" 6' - 4" S26 ROOF TOP PATIO 7' - 2" 6' - 4" S28 ROOF TOP PATIO 7' - 2" 6' - 0" S30 GARAGE VESTIBULE 7' - 9" 8' - 9' 12" S31 GARAGE VESTIBULE 7' - 9" 8' - 6' 12" S33 GARAGE VESTIBULE 7' - 9" <td< td=""><td></td><td></td><td></td><td></td><td></td></td<>					
S18 LEASING OFFICE 7'-8" 64'-8" S19 LEASING OFFICE 10'-0" 13'-4" S20 LEASING OFFICE 9'-4" 24'-0" S21 LEASING OFFICE 10'-0" 13'-4" S22 LEASING OFFICE 10'-0" 13'-4" S22 LEASING OFFICE 10'-0" 16'-8" S22 LEASING OFFICE 10'-0" 16'-8" S23 FITNESS 6'-8" 5'-4" S24 FITNESS 8'-0" 20'-0" S25 FITNESS 8'-0" 20'-0" S26 FITNESS 8'-0" 20'-0" S27 COURTYARD 9'-0" 8'-8" S28 ROOF TOP PATIO 7'-2" 6'-0" S29 ROOF TOP PATIO 7'-2" 6'-0" S29 ROOF TOP PATIO 7'-9" 12'-3'14" S30 GARAGE VESTIBULE 7'-9" 8'-9'12" S33 GARAGE VESTIBULE 7'-9" 8'-9'12" S34 GARAGE VESTIBULE 7'-9" 8'-9'12" S35 ELEVATOR VESTIB					
S19 LEASING OFFICE 10' - 0" 13' - 4" S20 LEASING OFFICE 9' - 4" 24' - 0" S21 LEASING OFFICE 10' - 0" 13' - 4" S22 LEASING OFFICE 10' - 0" 13' - 4" S22 LEASING OFFICE 10' - 0" 16' - 8" S23 FITNESS 6' - 8" 5' - 4" S24 FITNESS 8' - 0" 7' - 6" S25 FITNESS 8' - 0" 20' - 0" S26 FITNESS 8' - 0" 20' - 0" S27 COURTVARD 9' - 0" 8' - 8" S28 ROOF TOP PATIO 7' - 2" 6' - 0" S29 ROOF TOP PATIO 7' - 2" 6' - 0" S20 GARAGE VESTIBULE 7' - 9" 8' - 9' 12" S31 GARAGE VESTIBULE 7' - 9" 8' - 9' 12" S33 GARAGE VESTIBULE 7' - 9" 8' - 9' 12" S34 GARAGE VESTIBULE 7' - 9" 8' - 9' 12" S35 ELEVATOR VESTIBULE 7' - 9" 8' - 9' 12" S34 GARAGE VESTIBULE 7' - 9"					
S20 LEASING OFFICE 9' -4'' 24' - 0'' S21 LEASING OFFICE 10' -0'' 13' -4'' S22 LEASING OFFICE 12' - 9'' 16' - 8'' S22a LEASING OFFICE 10' - 0'' 16' - 8'' S23 FITNESS 6' - 8'' 5' - 4'' S24 FITNESS 8' - 0'' 7' - 6' S25 FITNESS 8' - 0'' 20' - 0'' S26 FITNESS 8' - 8'' 6' - 4'' S27 COURTYARD 9' - 0'' 8' - 8'' S28 ROOF TOP PATIO 7' - 2'' 6' - 4'' S29 ROOF TOP PATIO 7' - 2'' 6' - 4'' S29 ROOF TOP PATIO 7' - 2'' 6' - 4'' S29 ROOF TOP PATIO 7' - 2'' 6' - 4'' S20 GARAGE VESTIBULE 7' - 9'' 2' - 6'' S30 GARAGE VESTIBULE 7' - 9'' 2' - 6'' S31 GARAGE VESTIBULE 7' - 9'' 8' - 9'' 12'' S34 GARAGE VESTIBULE 7' - 9'' 8' - 9'' 2'' S35 ELEVATOR VESTIBULE					
S21 LEASING OFFICE 10' - 0" 13' - 4" S22 LEASING OFFICE 12' - 9" 16' - 8" S22a LEASING OFFICE 10' - 0" 16' - 8" S23 FITNESS 6' - 8" 5' - 4" S24 FITNESS 8' - 0" 7' - 6" S25 FITNESS 8' - 0" 20' - 0" S26 FITNESS 8' - 8" 6' - 4" S27 COURTYARD 9' - 0" 8' - 8" S28 ROOF TOP PATIO 7' - 2" 6' - 0" S29 ROOF TOP PATIO 7' - 2" 6' - 0" S30 GARAGE VESTIBULE 7' - 9" 8' - 9 1/2" S31 GARAGE VESTIBULE 7' - 9" 8' - 9 1/2" S32 GARAGE VESTIBULE 7' - 9" 8' - 5" S33 GARAGE VESTIBULE 7' - 9" 8' - 6" S34 GARAGE VESTIBULE 7' - 9" 8' - 9' 1/2" S35 ELEVATOR VESTIBULE 8' - 6" 6' - 4" S36 ROOF TOP PATIO 7' - 2" 5' - 0" S36 ROOF TOP PATIO 7' - 2" 5'					
S22 LEASING OFFICE 12' - 9" 16' - 8" S23 LEASING OFFICE 10' - 0" 16' - 8" S23 FITNESS 6' - 8" 5' - 4" S24 FITNESS 8' - 0" 20' - 0" S25 FITNESS 8' - 0" 20' - 0" S26 FITNESS 8' - 0" 20' - 0" S27 COURTYARD 9' - 0" 8' - 8" S28 ROOF TOP PATIO 7' - 2" 6' - 4" S29a ROOF TOP PATIO 7' - 2" 6' - 0" S30 GARAGE VESTIBULE 7' - 9" 8' - 9 1/2" S31 GARAGE VESTIBULE 7' - 9" 8' - 9 1/2" S32 GARAGE VESTIBULE 7' - 9" 8' - 9 1/2" S33 GARAGE VESTIBULE 7' - 9" 8' - 9 1/2" S34 GARAGE VESTIBULE 7' - 9" 8' - 9' S34 GARAGE VESTIBULE 8' - 6" 6' - 4" S39 ROOF TOP PATIO 7' - 2" 5' - 0" S34 GARAGE VESTIBULE 8' - 6" 6' - 4" S39 ROOF TOP PATIO 7' - 2"					
S22a LEASING OFFICE 10' - 0" 16' - 8" S23 FITNESS 6' - 8" 5' - 4" S24 FITNESS 8' - 0" 7' - 6" S25 FITNESS 8' - 0" 20' - 0" S26 FITNESS 8' - 0" 20' - 0" S27 COURTYARD 9' - 0" 8' - 8" S28 ROOF TOP PATIO 7' - 2" 6' - 0" S29 ROOF TOP PATIO 7' - 2" 6' - 0" S29 ROOF TOP PATIO 7' - 2" 6' - 0" S29 ROOF TOP PATIO 7' - 9" 2' - 6" S30 GARAGE VESTIBULE 7' - 9" 8' - 9 1/2" S31 GARAGE VESTIBULE 7' - 9" 8' - 5" S33 GARAGE VESTIBULE 7' - 9" 8' - 5" S34 GARAGE VESTIBULE 7' - 9" 8' - 6" S35 ELEVATOR VESTIBULE 7' - 9" 8' - 6" S36 ROOF TOP PATIO 7' - 2'' 5' - 0" S36 ROOF TOP PATIO 7' - 2'' 5' - 0" S37 GLASAGE VESTIBULE 7' - 9" 8' - 4"					
S23 FITNESS 6' - 8'' 5' - 4'' S24 FITNESS 8' - 0'' 7' - 6'' S25 FITNESS 8' - 0'' 20' - 0'' S26 FITNESS 8' - 0'' 20' - 0'' S27 COURTYARD 9' - 0'' 8' - 8'' S27 COURTYARD 9' - 0'' 8' - 8'' S28 ROOF TOP PATIO 7' - 2'' 6' - 4'' S29 ROOF TOP PATIO 7' - 2'' 6' - 0'' S29 ROOF TOP PATIO 7' - 2'' 6' - 0'' S30 GARAGE VESTIBULE 7' - 9'' 8' - 9' 1/2'' S31 GARAGE VESTIBULE 7' - 9'' 8' - 5'' S32 GARAGE VESTIBULE 7' - 9'' 8' - 5'' S33 GARAGE VESTIBULE 7' - 9'' 8' - 5'' S34 GARAGE VESTIBULE 7' - 9'' 8' - 9' 1/2'' S35 ELEVATOR VESTIBULE 7' - 9'' 8' - 9' 1/2'' S35 ELEVATOR VESTIBULE 8' - 0'' 6' - 4'' S39 ROOF TOP PATIO 7' - 2'' 5' - 0'' S40 ROOE TOP PATIO <					
S24 FITNESS 8' - 0" 7' - 6" S25 FITNESS 8' - 0" 20' - 0" S26 FITNESS 8' - 8" 6' - 4" S27 COURTYARD 9' - 0" 8' - 8" S28 ROOF TOP PATIO 7' - 2" 6' - 4" S29 ROOF TOP PATIO 7' - 2" 6' - 4" S29a ROOF TOP PATIO 7' - 2" 6' - 4" S30 GARAGE VESTIBULE 7' - 9" 8' - 9 1/2" S31 GARAGE VESTIBULE 7' - 9" 8' - 9 1/2" S32 GARAGE VESTIBULE 7' - 9" 8' - 9 1/2" S33 GARAGE VESTIBULE 7' - 9" 8' - 9 1/2" S34 GARAGE VESTIBULE 7' - 9" 8' - 9 1/2" S35 ELEVATOR VESTIBULE 8' - 6" 6' - 4" S39 ROOF TOP PATIO 7' - 2" 5' - 0" S40 ROOF TOP PATIO 8' - 0" 8' - 4" S40 ROOF TOP PATIO 8' - 0" 8' - 0" S40 ROOF TOP PATIO 8' - 4" A S40 ROOF TOP PATIO 8' - 0" 8					
S25 FITNESS 8' - 0" 20' - 0" S26 FITNESS 8' - 8" 6' - 4" S27 COURTYARD 9' - 0" 8' - 8" S28 ROOF TOP PATIO 7' - 2" 6' - 0" S29a ROOF TOP PATIO 7' - 2" 6' - 0" S29a ROOF TOP PATIO 7' - 2" 6' - 0" S30 GARAGE VESTIBULE 7' - 9" 2' - 6" S31 GARAGE VESTIBULE 7' - 9" 12' - 3' 14" S32 GARAGE VESTIBULE 7' - 9" 8' - 9 1/2" S33 GARAGE VESTIBULE 7' - 9" 8' - 9 1/2" S34 GARAGE VESTIBULE 7' - 9" 8' - 9 1/2" S35 ELEVATOR VESTIBULE 7' - 9" 8' - 6" S39 ROOF TOP PATIO 7' - 2" 5' - 0" S40 ROOF TOP PATIO 7' - 2" 5' - 0" S36-S38 REMOVED FROM PROJECT 8' - 4" A					
S26 FITNESS 8' - 8" 6' - 4" S27 COURTYARD 9' - 0" 8' - 8" S28 ROOF TOP PATIO 7' - 2" 6' - 0" S29 ROOF TOP PATIO 7' - 2" 6' - 0" S29 ROOF TOP PATIO 7' - 2" 6' - 0" S20 GARAGE VESTIBULE 7' - 9" 2' - 6" S31 GARAGE VESTIBULE 7' - 9" 8' - 9 1/2" S32 GARAGE VESTIBULE 7' - 9" 8' - 9 1/2" S33 GARAGE VESTIBULE 7' - 9" 8' - 9" S34 GARAGE VESTIBULE 7' - 9" 8' - 9 1/2" S35 ELEVATOR VESTIBULE 7' - 9" 8' - 9 1/2" S35 ELEVATOR VESTIBULE 8' - 6" 6' - 4" S39 ROOF TOP PATIO 7' - 2" 5' - 0" S40 ROOF TOP PATIO 7' - 2" 5' - 0" S36-S38 REMOVED FROM PROJECT 8' - 4" SAFETY GLAZING TO BE PROVIDED IN ALL LOCATIONS REQUIRED BY 2018 INTERNATIONAL BUILD CODE, SECTION 2406. A GAFETY GLAZING ADJACENT TO DOORS AND/OR IN CURTAIN WALL SYSTEM LABELED "T" FOR TEMPERED GLAZING ADJACENT TO DOORS AND/OR IN CURTAIN					
S27 COURTYARD 9' - 0" 8' - 8" S28 ROOF TOP PATIO 7' - 2" 6' - 0" S29 ROOF TOP PATIO 7' - 2" 6' - 0" S29a ROOF TOP PATIO 7' - 2" 6' - 0" S29a ROOF TOP PATIO 7' - 2" 6' - 0" S29a ROOF TOP PATIO 7' - 2" 6' - 0" S30 GARAGE VESTIBULE 7' - 9" 8' - 9 1/2" S31 GARAGE VESTIBULE 7' - 9" 8' - 9 1/2" S32 GARAGE VESTIBULE 7' - 9" 8' - 9 1/2" S34 GARAGE VESTIBULE 7' - 9" 8' - 10" S35 ELEVATOR VESTIBULE 8' - 6" 6' - 4" S38 ROOF TOP PATIO 7' - 2" 5' - 0" S40 ROOF TOP PATIO 7' - 2" 5' - 0" S40 ROOF TOP PATIO 8' - 0" 8' - 4" S36-S38 REMOVED FROM PROJECT *' - 0" 8' - 4" S36-S38 REMOVED FROM PROJECT *' - 0" A' - 0" S40 ROOF TOP PATIO 8' - 0" B' - 4" S40 RODE TOP PATIO 8' - 0"					
S28 ROOF TOP PATIO 7' - 2" 6' - 0" S29 ROOF TOP PATIO 7' - 2" 6' - 0" S29 ROOF TOP PATIO 7' - 2" 6' - 0" S30 GARAGE VESTIBULE 7' - 9" 2' - 6" S31 GARAGE VESTIBULE 7' - 9" 8' - 9 1/2" S32 GARAGE VESTIBULE 7' - 9" 8' - 9 1/2" S33 GARAGE VESTIBULE 7' - 9" 8' - 9 1/2" S34 GARAGE VESTIBULE 7' - 9" 8' - 9 1/2" S35 ELEVATOR VESTIBULE 7' - 9" 8' - 0" S35 ELEVATOR VESTIBULE 8' - 0" 6' - 4" S39 ROOF TOP PATIO 7' - 2" 5' - 0" S40 ROOF TOP PATIO 8' - 0" 8' - 4" S36-S38 REMOVED FROM PROJECT 8' - 0" 8' - 4" S36-S38 REMOVED FROM PROJECT 8' - 0" 8' - 4" S36-S38 REMOVED FROM PROJECT 8' - 0" 8' - 4" S36-S38 REMOVED FROM PROJECT 8' - 0" 8' - 4" S36-S38 REMOVED FROM PROJECT 8' - 0" 8' - 4" S36-S38 REMOVED FROM PROJECT 8' - 0" 8					
S29 ROOF TOP PATIO 7' - 2" 6' - 4" S29a ROOF TOP PATIO 7' - 2" 6' - 0" S30 GARAGE VESTIBULE 7' - 9" 2' - 6" S31 GARAGE VESTIBULE 7' - 9" 8' - 9 1/2" S32 GARAGE VESTIBULE 7' - 9" 8' - 9 1/2" S33 GARAGE VESTIBULE 7' - 9" 8' - 9 1/2" S34 GARAGE VESTIBULE 7' - 9" 8' - 9 1/2" S35 ELEVATOR VESTIBULE 7' - 9" 8' - 9 1/2" S35 ELEVATOR VESTIBULE 8' - 6" 6' - 4" S39 ROOF TOP PATIO 7' - 2" 5' - 0" S40 ROOE TOP PATIO 8' - 0" 8' - 4" S36-S38 REMOVED FROM PROJECT 8' - 0" 8' - 4" S36-S38 REMOVED FROM PROJECT 8' - 4" A GEERERAL NOTES WINDOWS A. G.C. TO VERIFY ALL DIMENSIONS. B. SAFETY GLAZING TO BE PROVIDED IN ALL LOCATIONS REQUIRED BY 2018 INTERNATIONAL BUILD CODE, SECTION 2406. C. ANY GLAZING ADJACENT TO DOORS AND/OR IN CURTAIN WALL SYSTEM LABELED "T" FOR TEMPER GLASS AND GREATER THAN NINE (9) SQUARE FEET TO BE SAFETY GLASS CATEGORY 2. ANY GLAZING ADJACENT TO DOORS AND/OR IN CURTAIN WALL SYSTEM					
S29a ROOF TOP PATIO T' - 2" 6' - 0" S30 GARAGE VESTIBULE T' - 9" 2' - 6" S31 GARAGE VESTIBULE T' - 9" 8' - 9 1/2" S32 GARAGE VESTIBULE T' - 9" 12' - 3 1/4" S33 GARAGE VESTIBULE T' - 9" 8' - 5" S34 GARAGE VESTIBULE T' - 9" 8' - 9 1/2" S35 ELEVATOR VESTIBULE 8' - 6" 6' - 4" S39 ROOF TOP PATIO T' - 2" 5' - 0" S40 ROOE TOP PATIO 8' - 0" 8' - 4" S36-S38 REMOVED FROM PROJECT 8' - 0" A'' S36-S38 REMOVED FROM PROJECT 8' - 0" A'' GENERAL NOTES WINDOWS A G.C. TO VERIFY ALL DIMENSIONS. B. SAFETY GLAZING TO BE PROVIDED IN ALL LOCATIONS REQUIRED BY 2018 INTERNATIONAL BUILD CODE, SECTION 2406. C CURTAIN WALL SYSTEM LABELED "T" FOR TEMPER GLASS AND GREATER THAN NINE (9) SQUARE FEET TO BE SAFETY GLASS CATEGORY 2. ANY GLAZING ADJACENT TO DOORS AND/OR IN CURTAINWALL SYSTEM LABELED "T" FOR TEMPERED					
S30 GARAGE VESTIBULE 7' - 9" 2' - 6" S31 GARAGE VESTIBULE 7' - 9" 8' - 9 1/2" S32 GARAGE VESTIBULE 7' - 9" 12' - 3 1/4" S33 GARAGE VESTIBULE 7' - 9" 8' - 9 1/2" S34 GARAGE VESTIBULE 7' - 9" 8' - 9 1/2" S34 GARAGE VESTIBULE 7' - 9" 8' - 9 1/2" S35 ELEVATOR VESTIBULE 8' - 6" 6' - 4" S39 ROOF TOP PATIO 7' - 2" 5' - 0" S40 ROOE TOP PATIO 8' - 0" 8' - 4" S36-S38 REMOVED FROM PROJECT 8' - 0" 8' - 4" S36-S38 REMOVED FROM PROJECT 8' - 0" 8' - 4" S36-S38 REMOVED FROM PROJECT 8' - 4" A Sa6-S38 REMOVED FROM PROJECT Sa6-S38 REMOVED FROM PROJECT Sa6-S38 REMOVED FROM PROJECT Sa6-S38 REMOVED FROM PROJECT Sa6-S38 REMOVED FROM PROJECT Sa6-S38 REMOVED FROM PROJECT <td></td> <td></td> <td></td> <td></td> <td></td>					
S31 GARAGE VESTIBULE 7' - 9" 8' - 9 1/2" S32 GARAGE VESTIBULE 7' - 9" 12' - 3 1/4" S33 GARAGE VESTIBULE 7' - 9" 8' - 5" S34 GARAGE VESTIBULE 7' - 9" 8' - 5" S35 ELEVATOR VESTIBULE 8' - 6" 6' - 4" S39 ROOF TOP PATIO 7' - 2" 5' - 0" S40 ROOF TOP PATIO 8' - 0" 8' - 4" S36-S38 REMOVED FROM PROJECT 8' - 0" 8' - 4" S36-S38 REMOVED FROM PROJECT 8' - 0" 8' - 4" S36-S38 REMOVED FROM PROJECT 8' - 0" 8' - 4" S36-S38 REMOVED FROM PROJECT 8' - 0" 7 S36-S38 REMOVED FROM PROJECT 8' - 0" 8' - 4" S36-S38 REMOVED FROM PROJECT 8' - 0" 7 S45-S30 Concept Additional Statement Additional Statemen					
S32 GARAGE VESTIBULE 7' - 9" 12' - 3 1/4" S33 GARAGE VESTIBULE 7' - 9" 8' - 5" S34 GARAGE VESTIBULE 7' - 9" 8' - 9 1/2" S35 ELEVATOR VESTIBULE 8' - 6" 6' - 4" S39 ROOF TOP PATIO 7' - 2" 5' - 0" S40 ROOE TOP PATIO 8' - 0" 8' - 4" S36-S38 REMOVED FROM PROJECT 8' - 0" 8' - 4" S36-S38 REMOVED FROM PROJECT 8' - 4" A GENERAL NOTES WINDOWS					
S33 GARAGE VESTIBULE 7' - 9" 8' - 5" S34 GARAGE VESTIBULE 7' - 9" 8' - 9 1/2" S35 ELEVATOR VESTIBULE 8' - 6" 6' - 4" S39 ROOF TOP PATIO 7' - 2" 5' - 0" S40 ROOE TOP PATIO 8' - 0" 8' - 4" S36-S38 REMOVED FROM PROJECT 8' - 0" 8' - 4" S36-S38 REMOVED FROM PROJECT 8' - 0" 8' - 4" S36-S38 REMOVED FROM PROJECT 8' - 0" 8' - 4" S36-S38 REMOVED FROM PROJECT 8' - 0" 8' - 4" S36-S38 REMOVED FROM PROJECT 8' - 0" 8' - 4" S36-S38 REMOVED FROM PROJECT 8' - 0" 8' - 4" S36-S38 REMOVED FROM PROJECT 8' - 0" 8' - 4" S36-S38 REMOVED FROM PROJECT 8' - 0" 8' - 4" S36-S38 REMOVED FROM PROJECT 8' - 0" 8' - 4" S36-S38 REMOVED FROM PROJECT 8' - 4" 9 S36-S38 REMOVED FROM PROJECT 8' - 4" 9 S36-S38 REMOVED FROM PROJECT 9 9 S36-S38 REMOVED FROM PROJECT 9 9 S36-S38 REMOVED FROM PROJECT 9					
S34 GARAGE VESTIBULE 7' - 9" 8' - 9 1/2" S35 ELEVATOR VESTIBULE 8' - 6" 6' - 4" S39 ROOF TOP PATIO 7' - 2" 5' - 0" S40 ROOE TOP PATIO 8' - 0" 8' - 4" S36-S38 REMOVED FROM PROJECT 8' - 0" 8' - 4" S36-S38 REMOVED FROM PROJECT 8' - 0" 8' - 4" S36-S38 REMOVED FROM PROJECT 8' - 0" 8' - 4" S36-S38 REMOVED FROM PROJECT 8' - 0" 8' - 4" S36-S38 REMOVED FROM PROJECT 8' - 0" 8' - 4" S36-S38 REMOVED FROM PROJECT 8' - 0" 9' - 4" S36-S38 REMOVED FROM PROJECT 8' - 0" 8' - 4" S36-S38 REMOVED FROM PROJECT 8' - 0" 8' - 4" S36-S38 REMOVED FROM PROJECT 8' - 0" 8' - 4" S36-S38 REMOVED FROM PROJECT 9' - 0" 9' - 0" S40 GLASING ADJACENT TO DOORS AND/OR IN CURTAIN WALL SYSTEM LABELED "T" FOR TEMPERED S40 GLAZING ADJACENT TO DOORS AND/OR IN CURTAIN WALL SYSTEM LABELED "T" FOR TEMPERED					
S35 ELEVATOR VESTIBULE 8' - 6" 6' - 4" S39 ROOF TOP PATIO 7' - 2" 5' - 0" S40 ROOE TOP PATIO 8' - 0" 8' - 4" S36-S38 REMOVED FROM PROJECT 8' - 0" 8' - 4" S36-S38 REMOVED FROM PROJECT 8' - 4" A GENERAL NOTES WINDOWS A GENERAL NOTES WINDOWS					
S39 ROOF TOP PATIO 7' - 2" 5' - 0" A S40 ROOF TOP PATIO 8' - 0" A'' A S36-S38 REMOVED FROM PROJECT S36-S38 REMOVED FROM PROJECT A'' A GENERAL NOTES WINDOWS A A A A A A A A A A A				6'-4"	
A. G.C. TO VERIFY ALL DIMENSIONS. B. SAFETY GLAZING ADJACENT TO DOORS AND/OR IN CURTAIN WALL SYSTEM LABELED "T" FOR TEMPERED GLAZING ADJACENT TO DOORS AND/OR IN CURTAINWALL SYSTEM LABELED "T" FOR TEMPERED				/¬\	
 A. G.C. TO VERIFY ALL DIMENSIONS. B. SAFETY GLAZING TO BE PROVIDED IN ALL LOCATIONS REQUIRED BY 2018 INTERNATIONAL BUILD CODE, SECTION 2406. C. ANY GLAZING ADJACENT TO DOORS AND/OR IN CURTAIN WALL SYSTEM LABELED "T" FOR TEMPERED GLASS AND GREATER THAN NINE (9) SQUARE FEET TO BE SAFETY GLASS CATEGORY 2. ANY GLAZING ADJACENT TO DOORS AND/OR IN CURTAINWALL SYSTEM LABELED "T" FOR TEMPERED 					
 A. G.C. TO VERIFY ALL DIMENSIONS. B. SAFETY GLAZING TO BE PROVIDED IN ALL LOCATIONS REQUIRED BY 2018 INTERNATIONAL BUILD CODE, SECTION 2406. C. ANY GLAZING ADJACENT TO DOORS AND/OR IN CURTAIN WALL SYSTEM LABELED "T" FOR TEMPER GLASS AND GREATER THAN NINE (9) SQUARE FEET TO BE SAFETY GLASS CATEGORY 2. ANY GLAZING ADJACENT TO DOORS AND/OR IN CURTAINWALL SYSTEM LABELED "T" FOR TEMPERED 					
 A. G.C. TO VERIFY ALL DIMENSIONS. B. SAFETY GLAZING TO BE PROVIDED IN ALL LOCATIONS REQUIRED BY 2018 INTERNATIONAL BUILD CODE, SECTION 2406. C. ANY GLAZING ADJACENT TO DOORS AND/OR IN CURTAIN WALL SYSTEM LABELED "T" FOR TEMPER GLASS AND GREATER THAN NINE (9) SQUARE FEET TO BE SAFETY GLASS CATEGORY 2. ANY GLAZING ADJACENT TO DOORS AND/OR IN CURTAINWALL SYSTEM LABELED "T" FOR TEMPERED 	638-630		λ		
 A. G.C. TO VERIFY ALL DIMENSIONS. B. SAFETY GLAZING TO BE PROVIDED IN ALL LOCATIONS REQUIRED BY 2018 INTERNATIONAL BUILD CODE, SECTION 2406. C. ANY GLAZING ADJACENT TO DOORS AND/OR IN CURTAIN WALL SYSTEM LABELED "T" FOR TEMPE GLASS AND GREATER THAN NINE (9) SQUARE FEET TO BE SAFETY GLASS CATEGORY 2. ANY GLAZING ADJACENT TO DOORS AND/OR IN CURTAINWALL SYSTEM LABELED "T" FOR TEMPERED 	000-000 1		(بر		
 A. G.C. TO VERIFY ALL DIMENSIONS. B. SAFETY GLAZING TO BE PROVIDED IN ALL LOCATIONS REQUIRED BY 2018 INTERNATIONAL BUILD CODE, SECTION 2406. C. ANY GLAZING ADJACENT TO DOORS AND/OR IN CURTAIN WALL SYSTEM LABELED "T" FOR TEMPE GLASS AND GREATER THAN NINE (9) SQUARE FEET TO BE SAFETY GLASS CATEGORY 2. ANY GLAZING ADJACENT TO DOORS AND/OR IN CURTAINWALL SYSTEM LABELED "T" FOR TEMPERED 					
 A. G.C. TO VERIFY ALL DIMENSIONS. B. SAFETY GLAZING TO BE PROVIDED IN ALL LOCATIONS REQUIRED BY 2018 INTERNATIONAL BUILD CODE, SECTION 2406. C. ANY GLAZING ADJACENT TO DOORS AND/OR IN CURTAIN WALL SYSTEM LABELED "T" FOR TEMPE GLASS AND GREATER THAN NINE (9) SQUARE FEET TO BE SAFETY GLASS CATEGORY 2. ANY GLAZING ADJACENT TO DOORS AND/OR IN CURTAINWALL SYSTEM LABELED "T" FOR TEMPERED 					
 A. G.C. TO VERIFY ALL DIMENSIONS. B. SAFETY GLAZING TO BE PROVIDED IN ALL LOCATIONS REQUIRED BY 2018 INTERNATIONAL BUILD CODE, SECTION 2406. C. ANY GLAZING ADJACENT TO DOORS AND/OR IN CURTAIN WALL SYSTEM LABELED "T" FOR TEMPE GLASS AND GREATER THAN NINE (9) SQUARE FEET TO BE SAFETY GLASS CATEGORY 2. ANY GLAZING ADJACENT TO DOORS AND/OR IN CURTAINWALL SYSTEM LABELED "T" FOR TEMPERED 					
 A. G.C. TO VERIFY ALL DIMENSIONS. B. SAFETY GLAZING TO BE PROVIDED IN ALL LOCATIONS REQUIRED BY 2018 INTERNATIONAL BUILD CODE, SECTION 2406. C. ANY GLAZING ADJACENT TO DOORS AND/OR IN CURTAIN WALL SYSTEM LABELED "T" FOR TEMPE GLASS AND GREATER THAN NINE (9) SQUARE FEET TO BE SAFETY GLASS CATEGORY 2. ANY GLAZING ADJACENT TO DOORS AND/OR IN CURTAINWALL SYSTEM LABELED "T" FOR TEMPERED 					
 B. SAFETY GLAZING TO BE PROVIDED IN ALL LOCATIONS REQUIRED BY 2018 INTERNATIONAL BUILD CODE, SECTION 2406. C. ANY GLAZING ADJACENT TO DOORS AND/OR IN CURTAIN WALL SYSTEM LABELED "T" FOR TEMPE GLASS AND GREATER THAN NINE (9) SQUARE FEET TO BE SAFETY GLASS CATEGORY 2. ANY GLAZING ADJACENT TO DOORS AND/OR IN CURTAINWALL SYSTEM LABELED "T" FOR TEMPERED 		GENE		22 MINDOM	V D
 B. SAFETY GLAZING TO BE PROVIDED IN ALL LOCATIONS REQUIRED BY 2018 INTERNATIONAL BUILD CODE, SECTION 2406. C. ANY GLAZING ADJACENT TO DOORS AND/OR IN CURTAIN WALL SYSTEM LABELED "T" FOR TEMPE GLASS AND GREATER THAN NINE (9) SQUARE FEET TO BE SAFETY GLASS CATEGORY 2. ANY GLAZING ADJACENT TO DOORS AND/OR IN CURTAINWALL SYSTEM LABELED "T" FOR TEMPERED 					
 CODE, SECTION 2406. C. ANY GLAZING ADJACENT TO DOORS AND/OR IN CURTAIN WALL SYSTEM LABELED "T" FOR TEMPER GLASS AND GREATER THAN NINE (9) SQUARE FEET TO BE SAFETY GLASS CATEGORY 2. ANY GLAZING ADJACENT TO DOORS AND/OR IN CURTAINWALL SYSTEM LABELED "T" FOR TEMPERED 	Α.	G.C. TO VERIFY ALL DIMENSION	S.		
GLASS AND GREATER THAN NINE (9) SQUARE FEET TO BE SAFETY GLASS CATEGORY 2. ANY GLAZING ADJACENT TO DOORS AND/OR IN CURTAINWALL SYSTEM LABELED "T" FOR TEMPERED	В.		DED IN ALL LOCAT	ONS REQUIRED BY 20	18 INTERNATIONAL BUILDIN
	C.	GLASS AND GREATER THAN NIN	NE (9) SQUARE FE	ET TO BE SAFETY GLA	SS CATEGORY 2. ANY
	\bigwedge^{6}				









	UNIT DOOR SCHEDULE										
	DOORS				FRAMES						
AT'L.	WIDTH	HEIGHT	THICKNESS	HARDWARE SET	LAB.	REMARKS	TYPE	MAT'L.	HEAD	JAMBS	LAB.
ND	3' - 0"	7' - 0"	1 3/4"	R01	20 MIN	1, 7, 8	3	HM	5 / A031	5 / A031	20 MIN
VD	1' - 8"	6' - 8"	1 3/8"	R05		7	3	WD	7 / A031	7 / A031	
ND	2' - 0"	6' - 8"	1 3/8"	R05		7	3	WD	7 / A031	7 / A031	
ND	2' - 6"	6' - 8"	1 3/8"	R05		7	3	WD	7 / A031	7 / A031	
ND	2' - 8"	6' - 8"	1 3/8"	R05		7	3	WD	7 / A031	7 / A031	
VD	2' - 10"	6' - 8"	1 3/8"	R05		7	3	WD	7 / A031	7 / A031	
٧D	2' - 10"	6' - 8"	1 3/8"	R04		7	3	WD	7 / A031	7 / A031	
WD	2' - 10"	6' - 8"	1 3/8"	R06		2, 7	3	WD	9 / A031	10 / A031	
ND	3' - 0"	6' - 8"	1 3/8"	R013		2, 7 9 7	3	WD	9 / A031	10 / A031	
WD	5' - 4"	6' - 8"	1 3/8"	R08		3, 7	3	WD	7 / A031	7 / A031	
LUM	6' - 0"	6' - 8"	1 3/8"	R02		4, 5	-	ALUM	2,3,6,&7 / A030	2,3,6,&7 / A030	
D/GL	9' - 0"	6' - 8"	1 3/8"	R10		6, 7	3	WD	7 / A031	7 / A031	

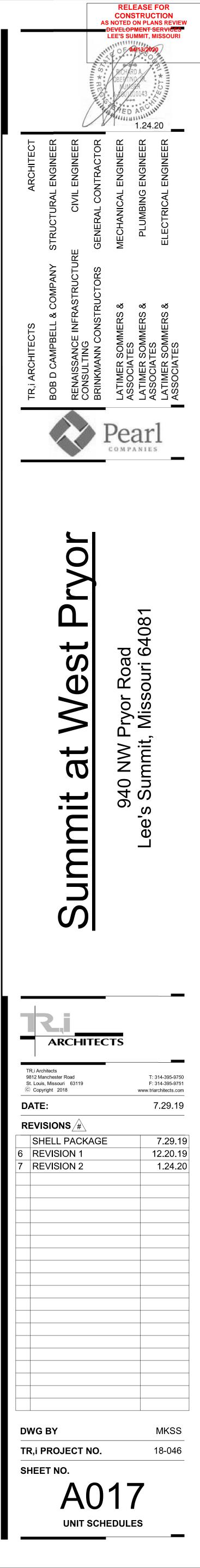
1. HOLLOW METAL FRAME WITH WOOD TRIM APPLIED

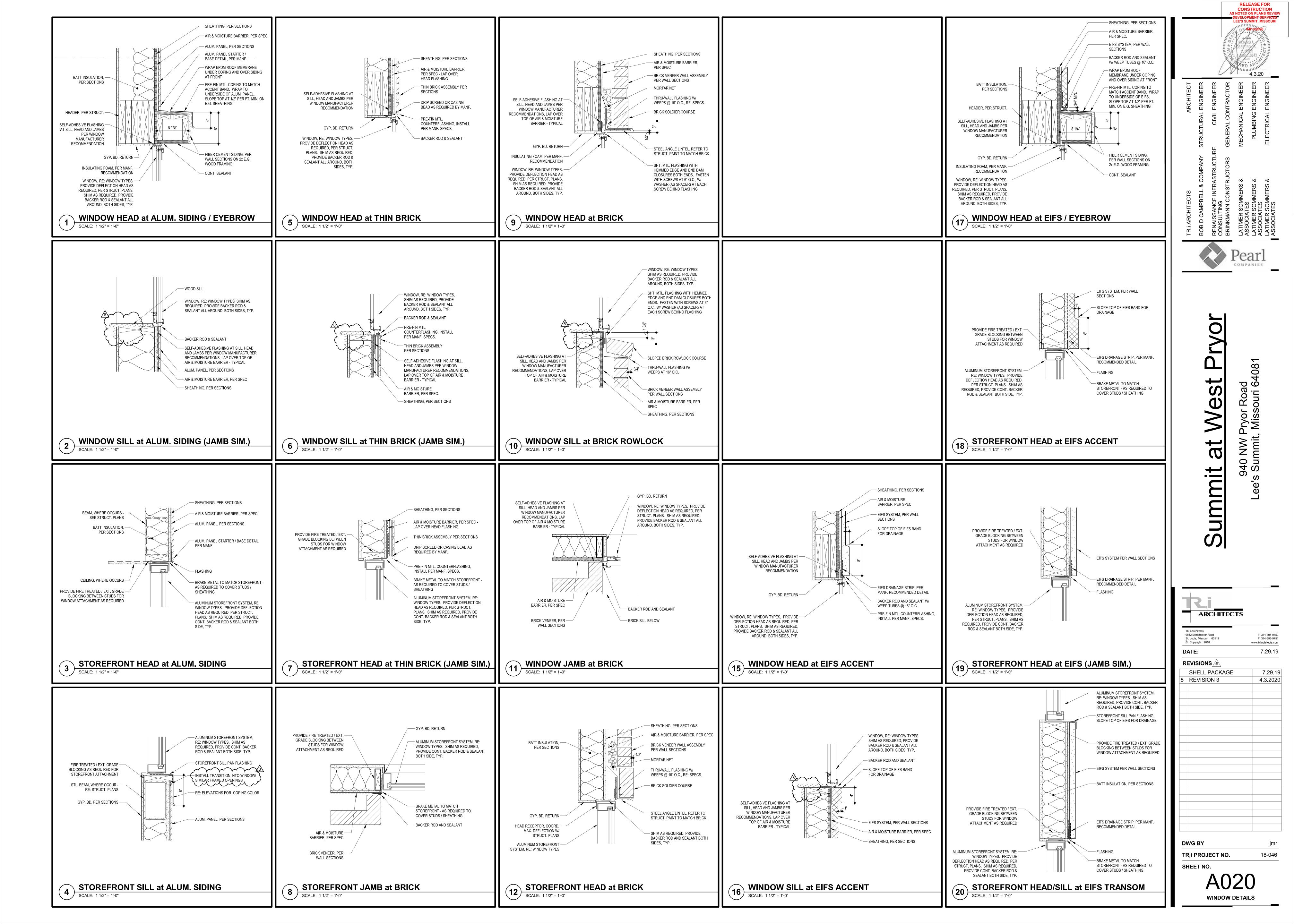
4. ACCESSIBLE DOOR THRESHOLD AT UNITS F1-TYPE A AND B2-TYPE A

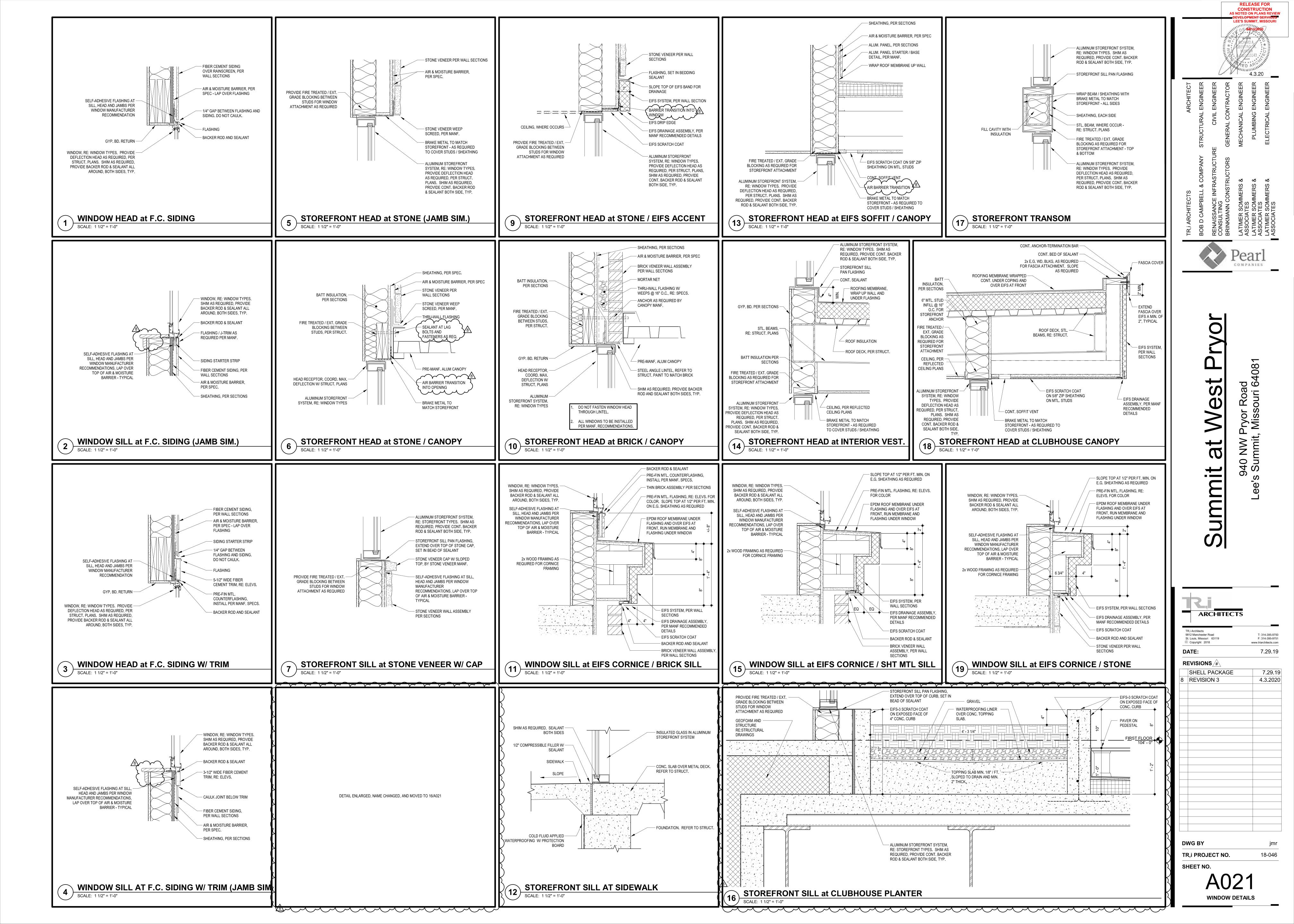
5. REFER TO ELEVATIONS AND WALL SECTIONS FOR MATERIAL AT BALCONY DOOR U10

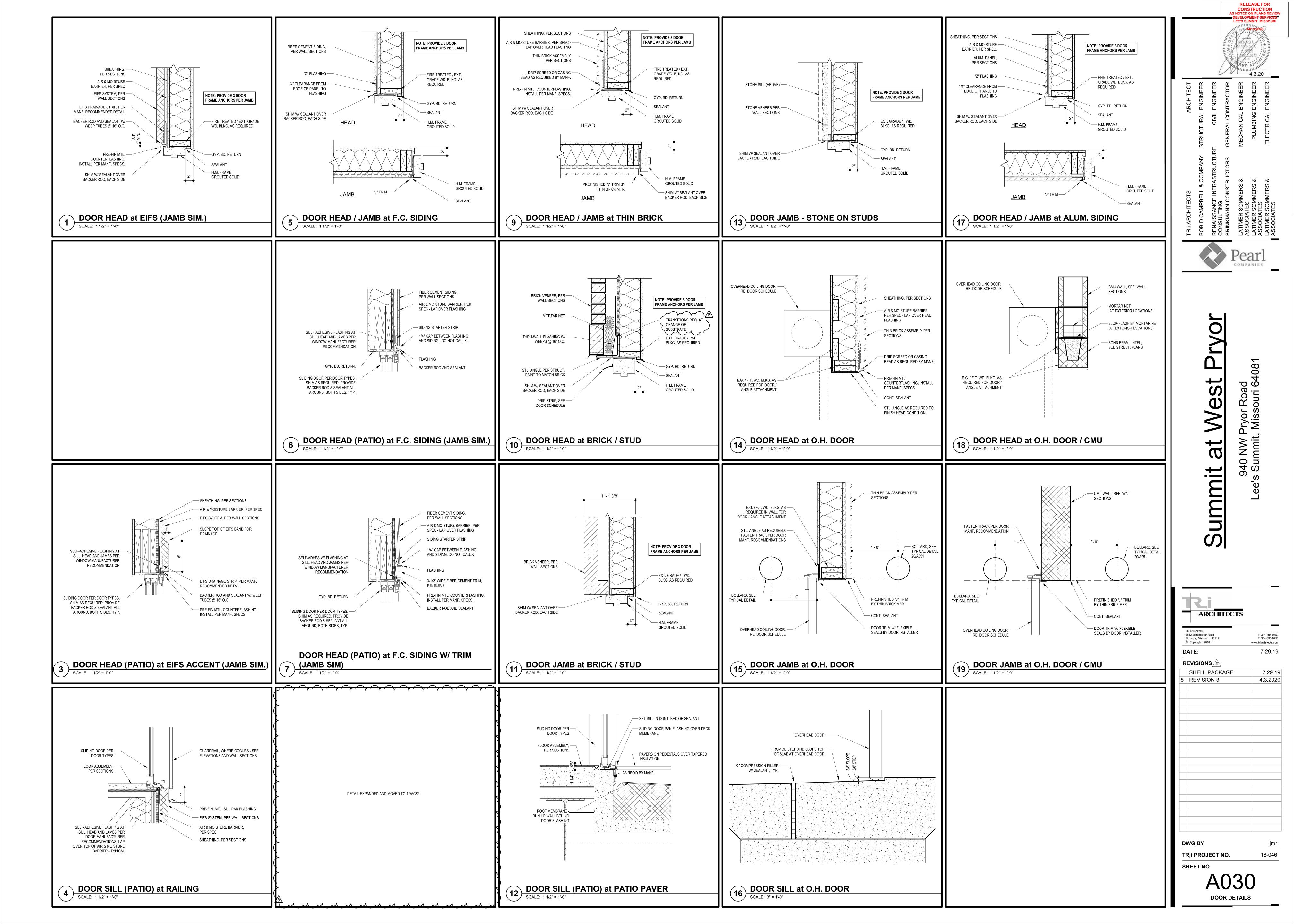
8. DOOR TO BE SMOKE AND DRAFT CONTROL RATED

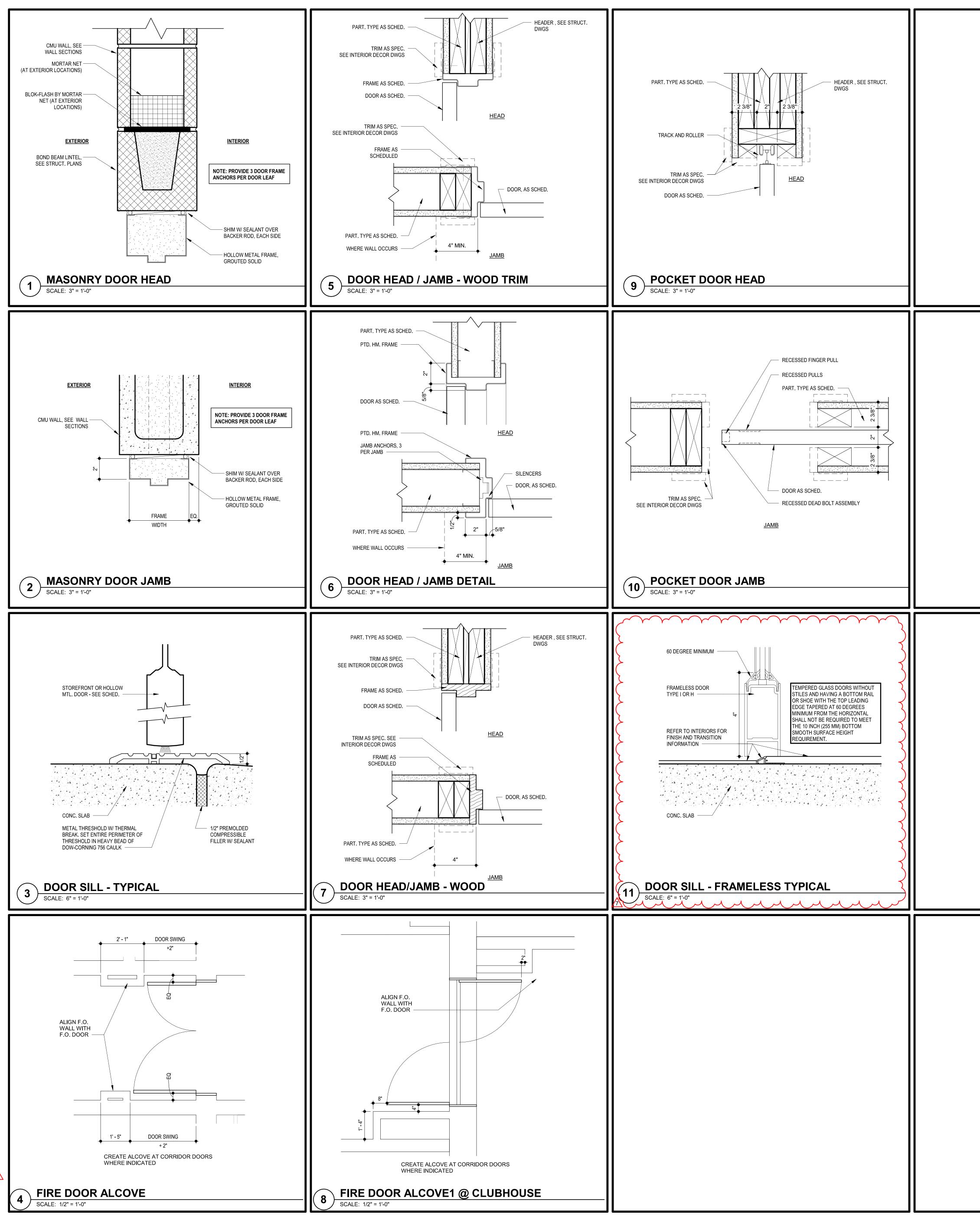
9. DOOR TO HAVE STOPPED TO NOT RECESS INTO WALL FULLY. CLEAR OPENING TO BE 32" MIN.



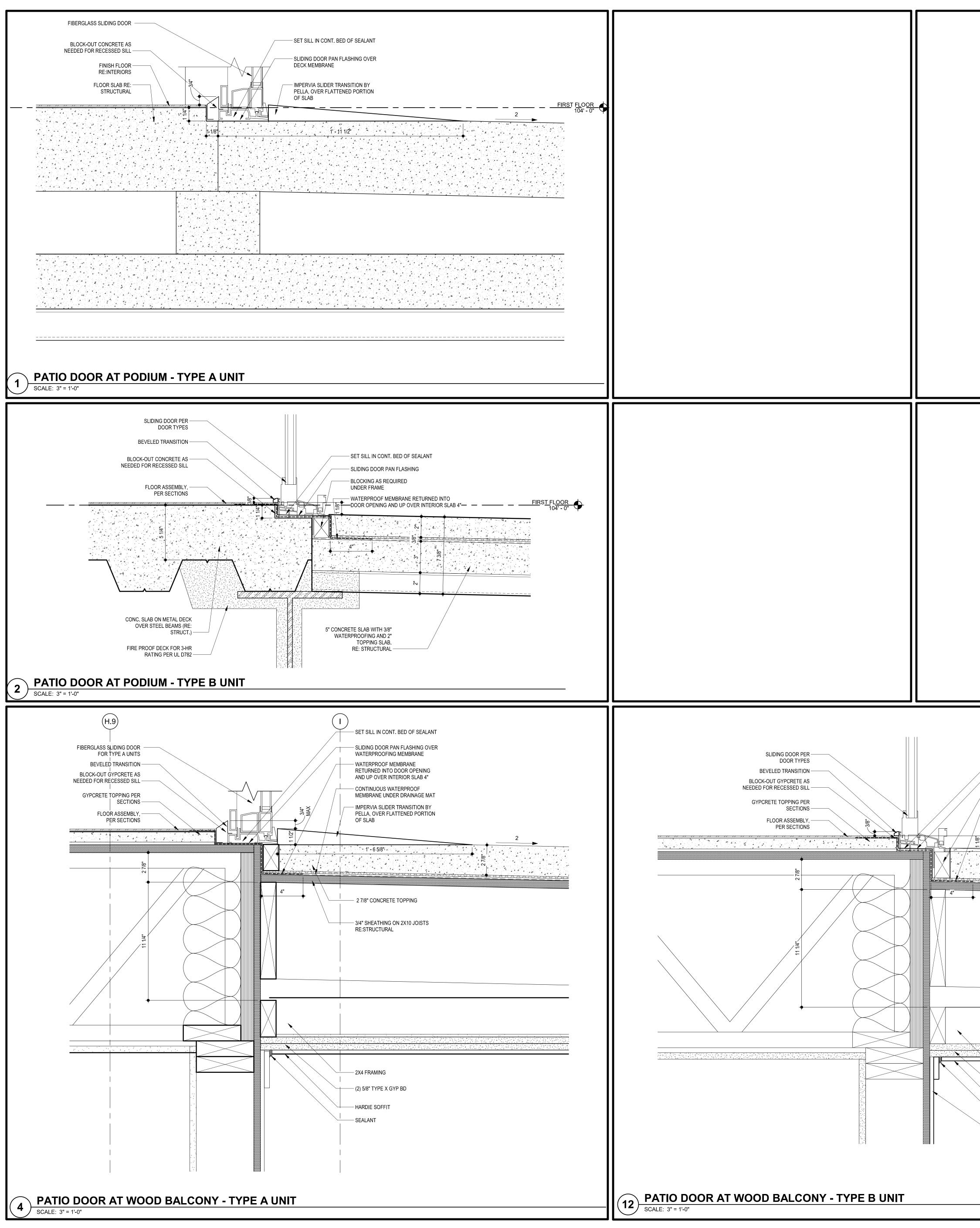






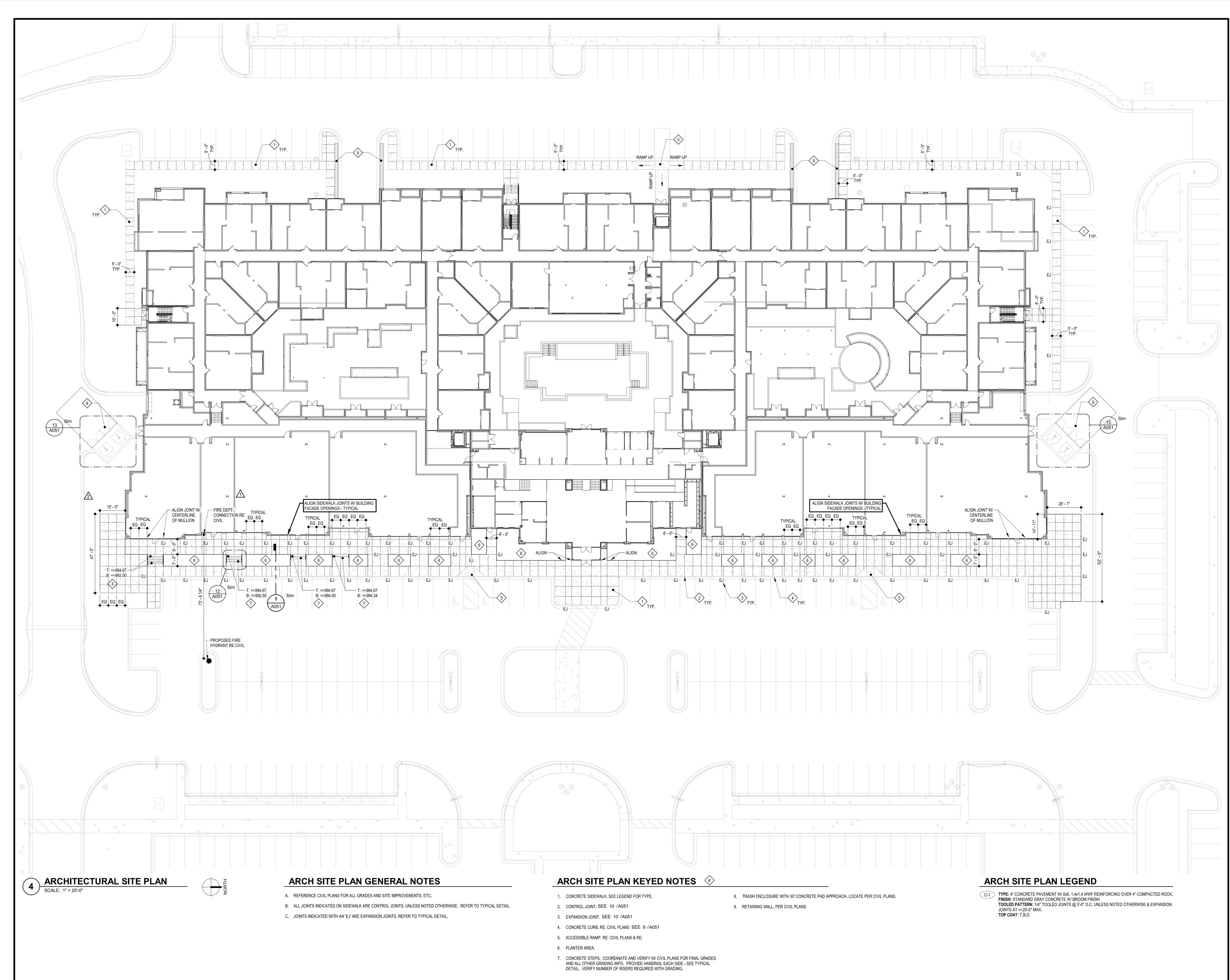






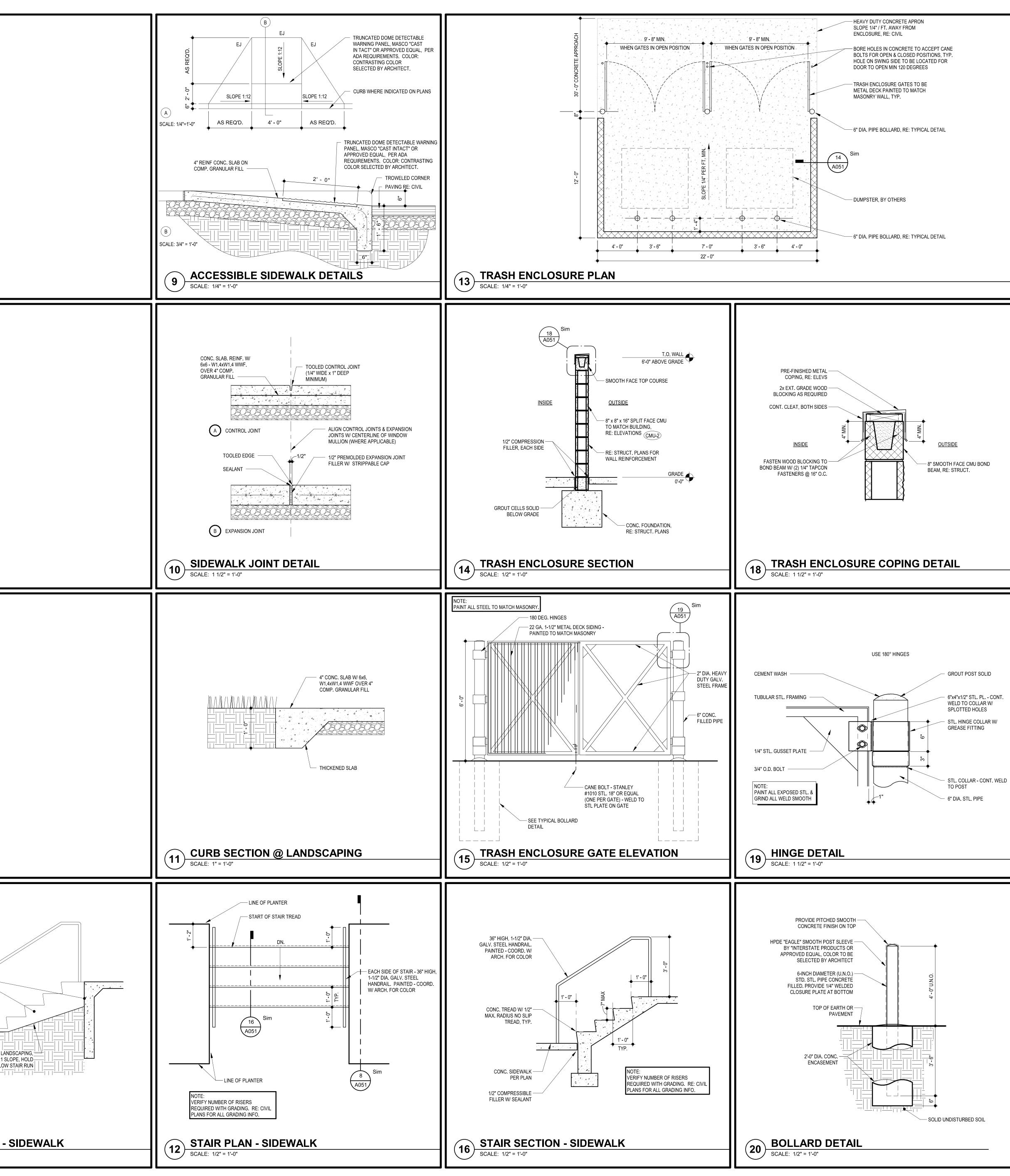
SET SILL IN CONT. BED OF SEALANT	
SLIDING DOOR PAN FLASHING OVER WATERPROOFING MEMBRANE 1X3 BLOCKING AS NEEDED UNDER FRAME	
WATERPROOF MEMBRANE RETURNED INTO DOOR OPENING AND UP OVER INTERIOR SLAB 4"	
CONTINUOUS WATERPROOF MEMBRANE UNDER DRAINAGE MAT 2 7/8" CONCRETE TOPPING	
3/4" SHEATHING ON 2x10	
JOIST RE: STRUCTURAL	
2X4 FRAMING	
(2) 5/8" TYPE X GYP BD	
HARDIE SOFFIT	
EXTERIOR FINISH, RE: SECTIONS AND	
SECTIONS AND ELEVATIONS	

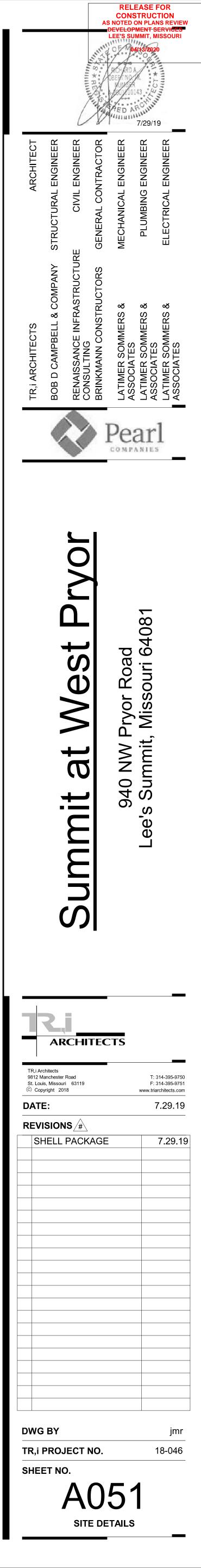


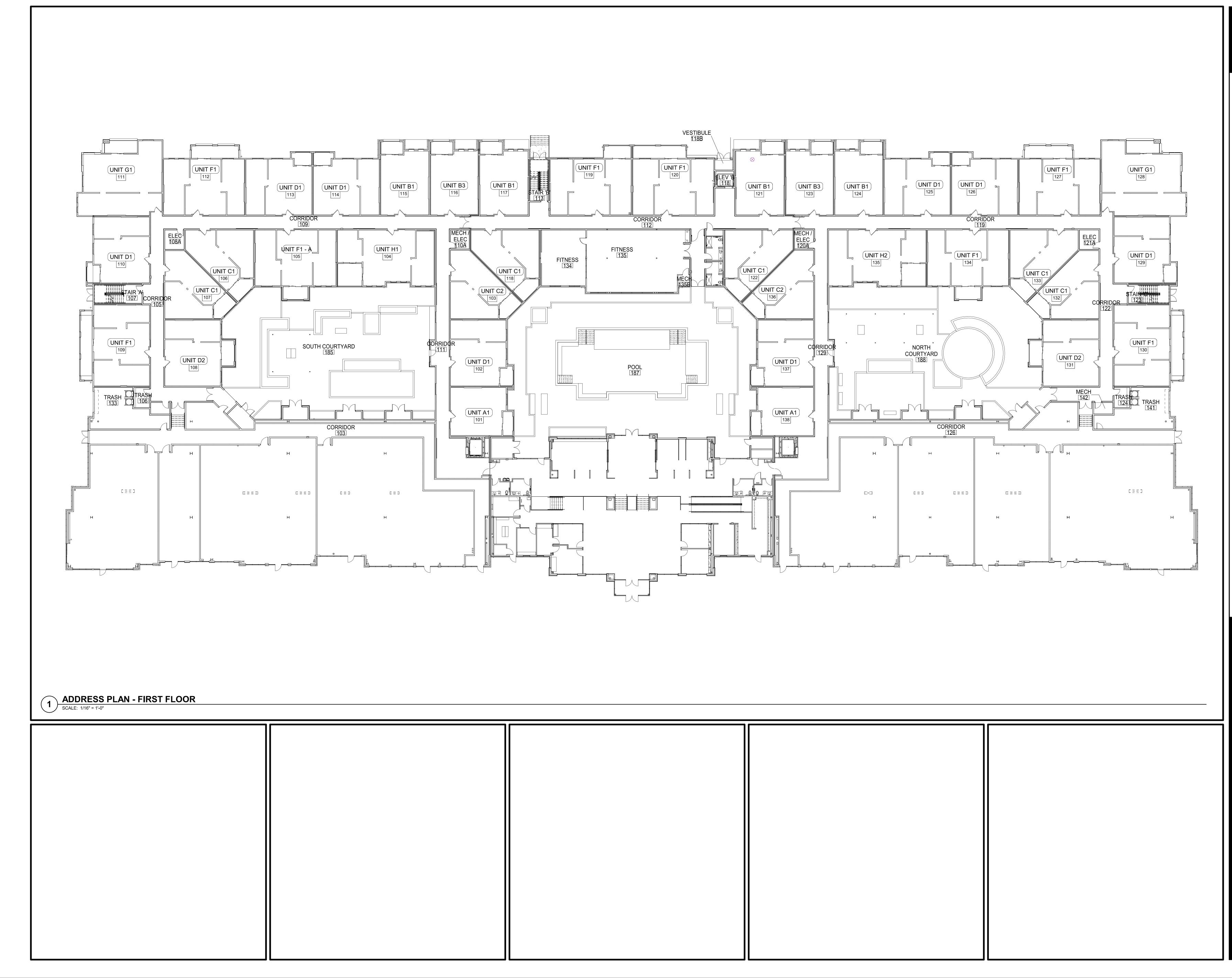




STAIR & HANDRAIL — BEYOND
RUBBED FINISH AT EXPOSED SIDEWALK AND STAIR ENDS CONC. SIDEWALK
B PLANTER SECTION - SCALE: 1/2" = 1'-0"

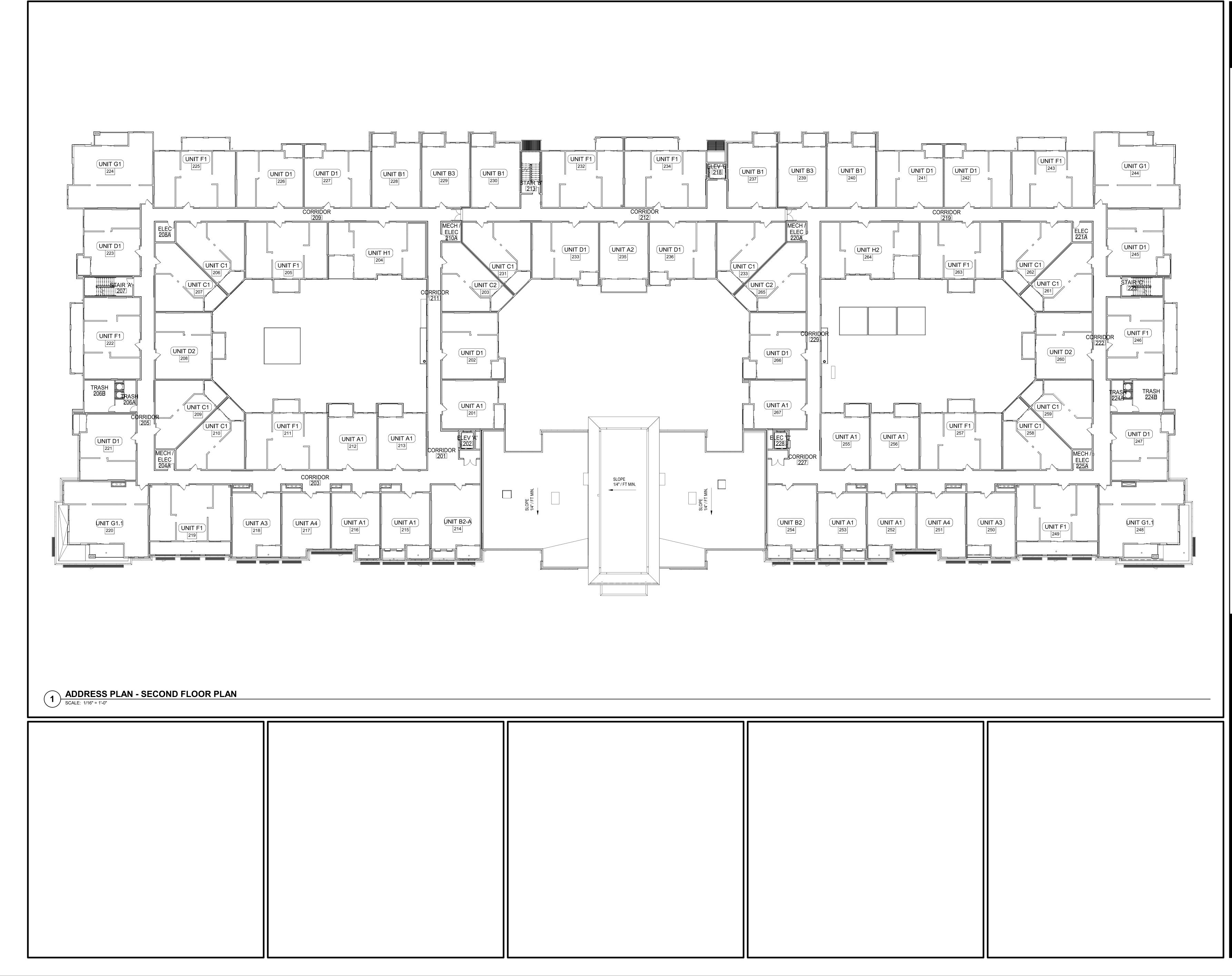


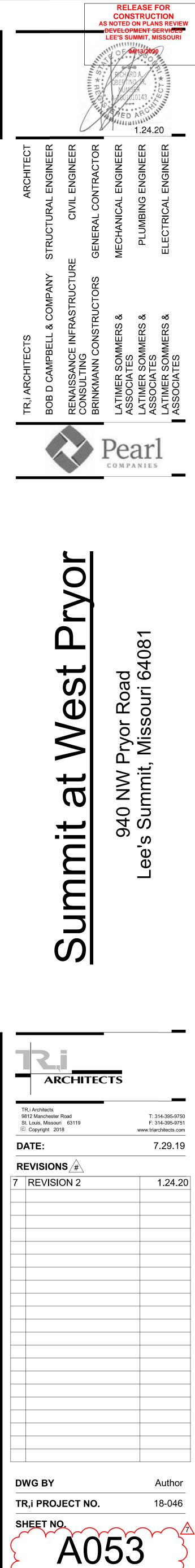




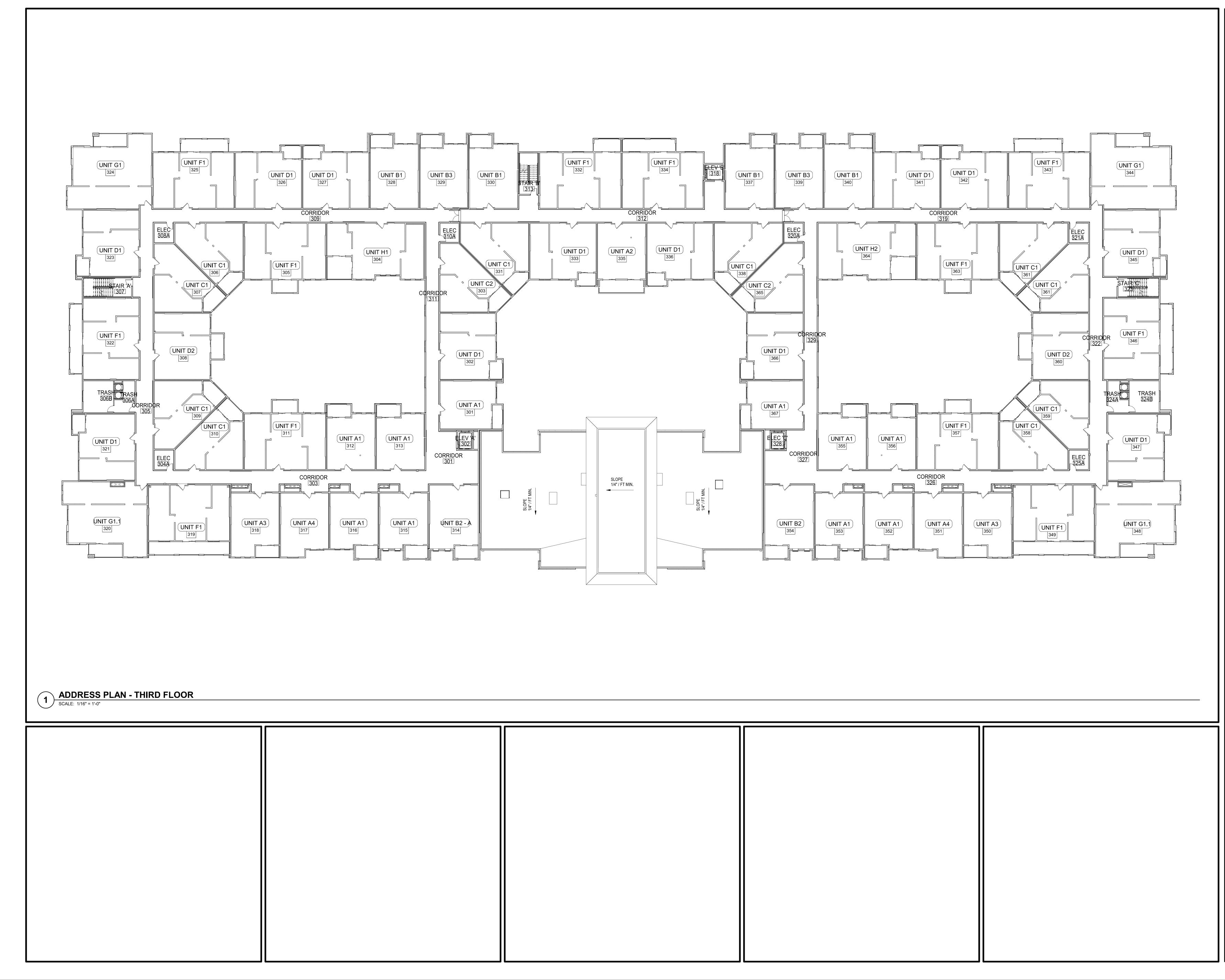


AUDZ ADDRESS PLAN - FIRST FLOOR



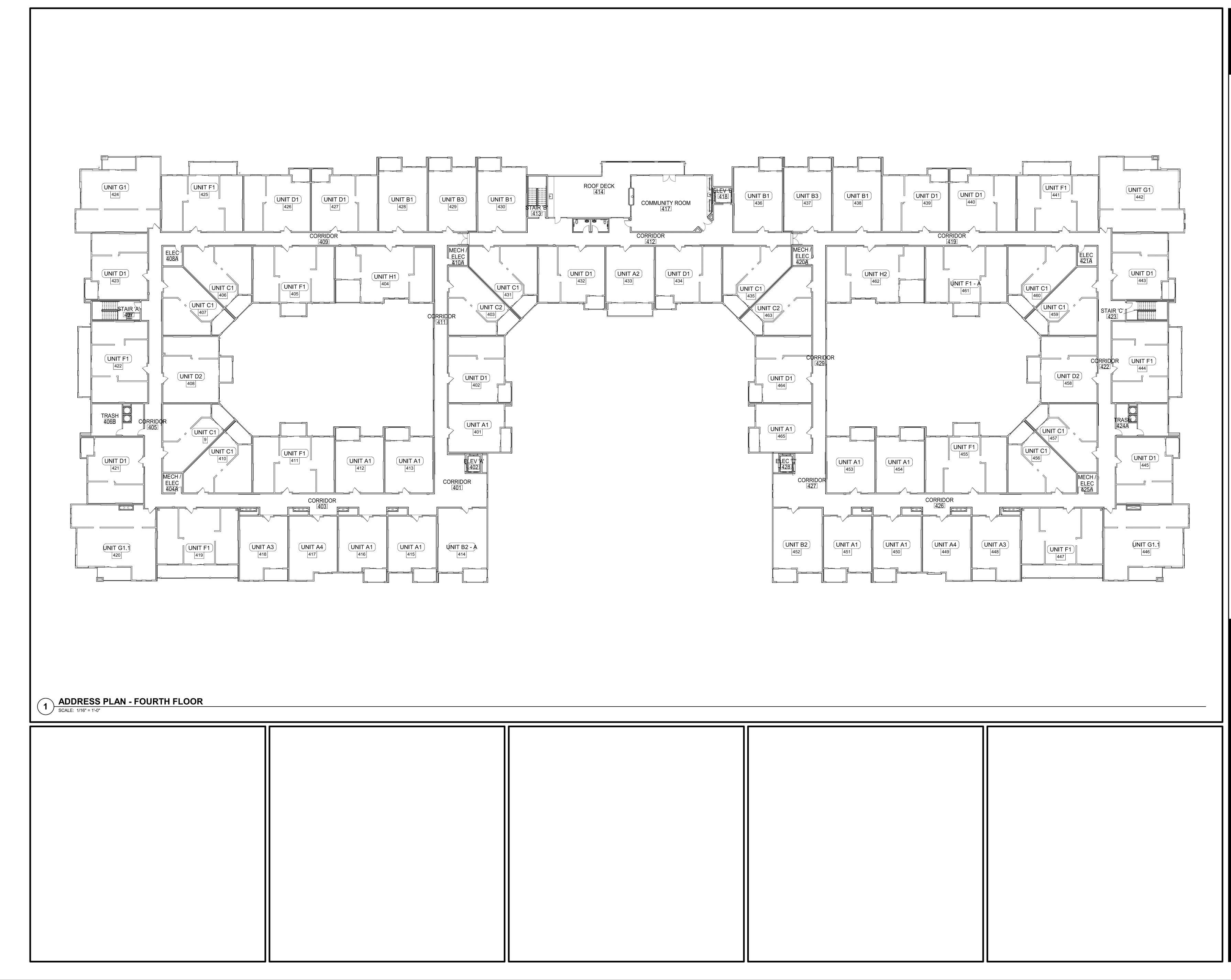


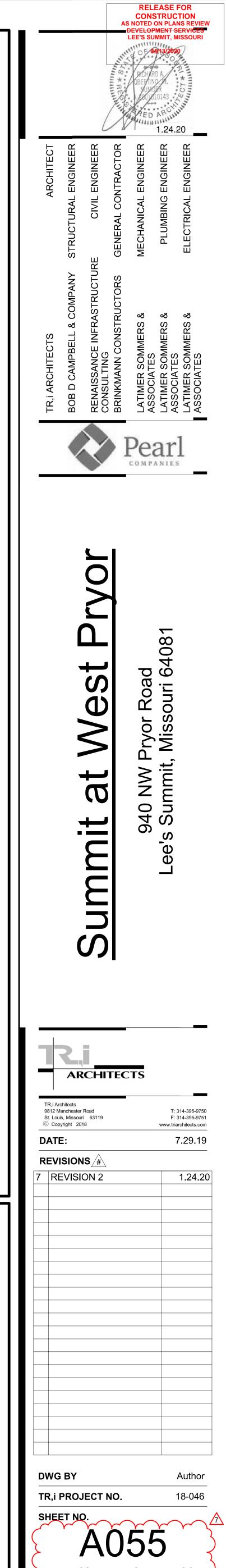
ADDRESS PLAN - SECOND FLOOR



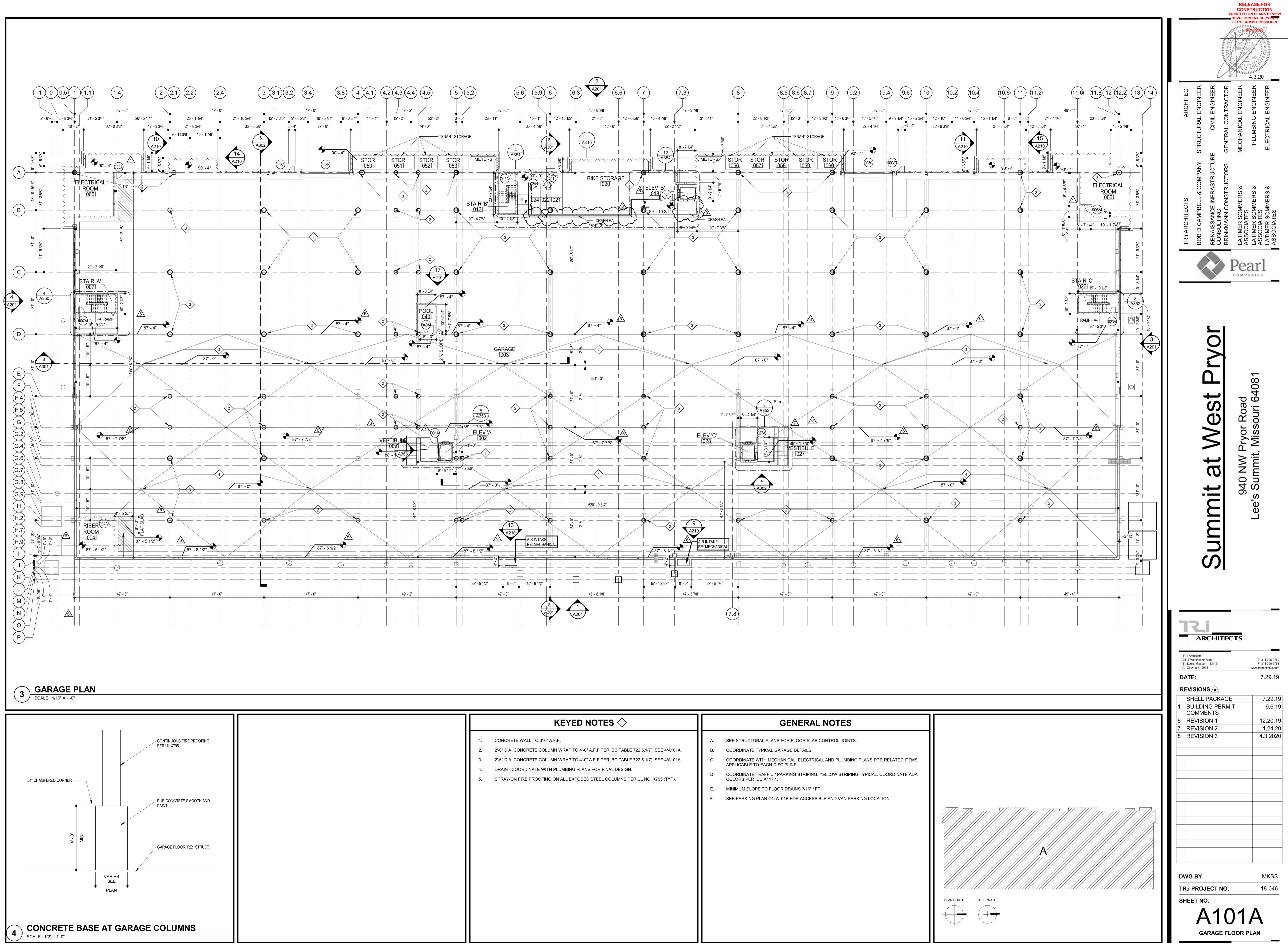


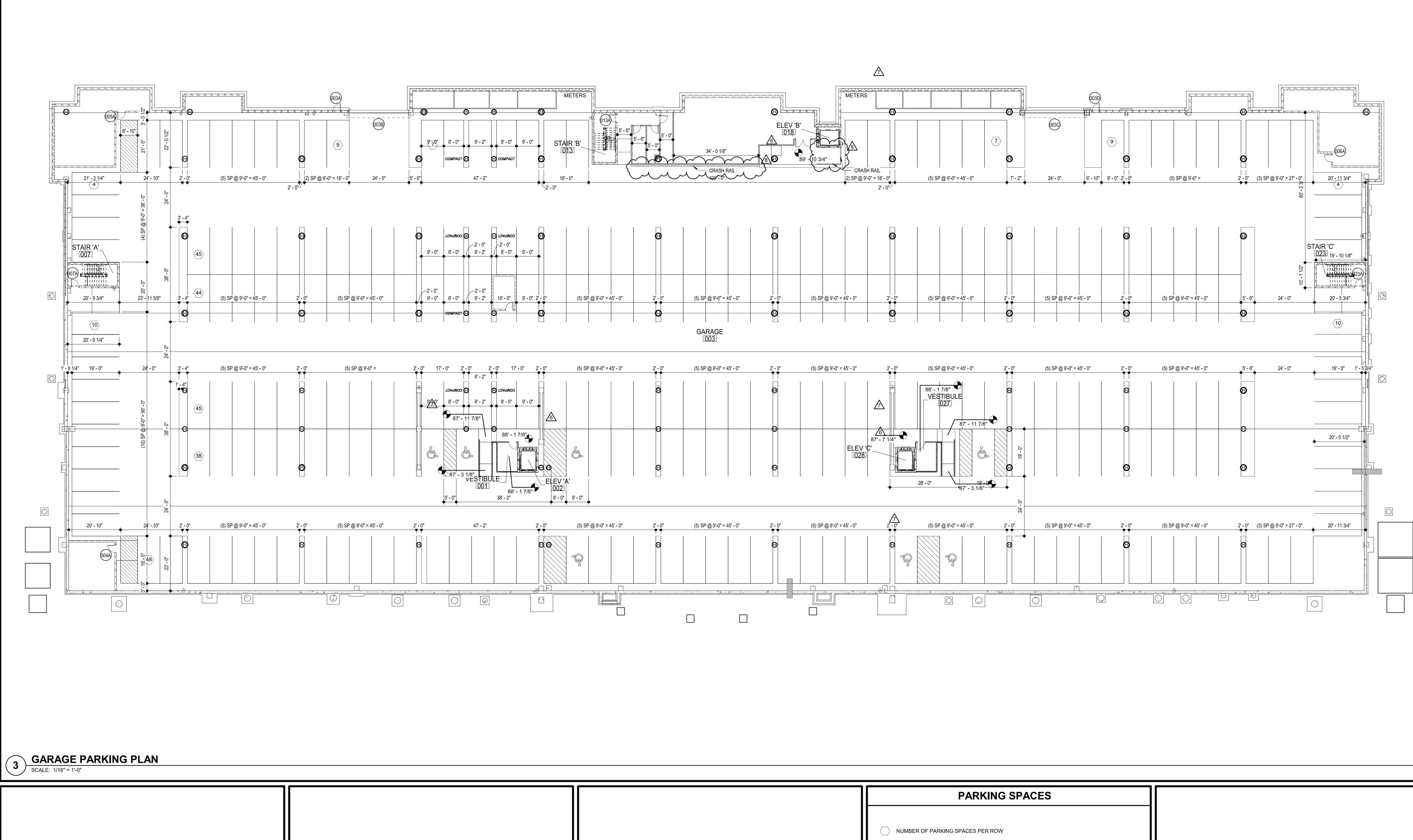
ADDRESS PLAN - THIRD FLOOR

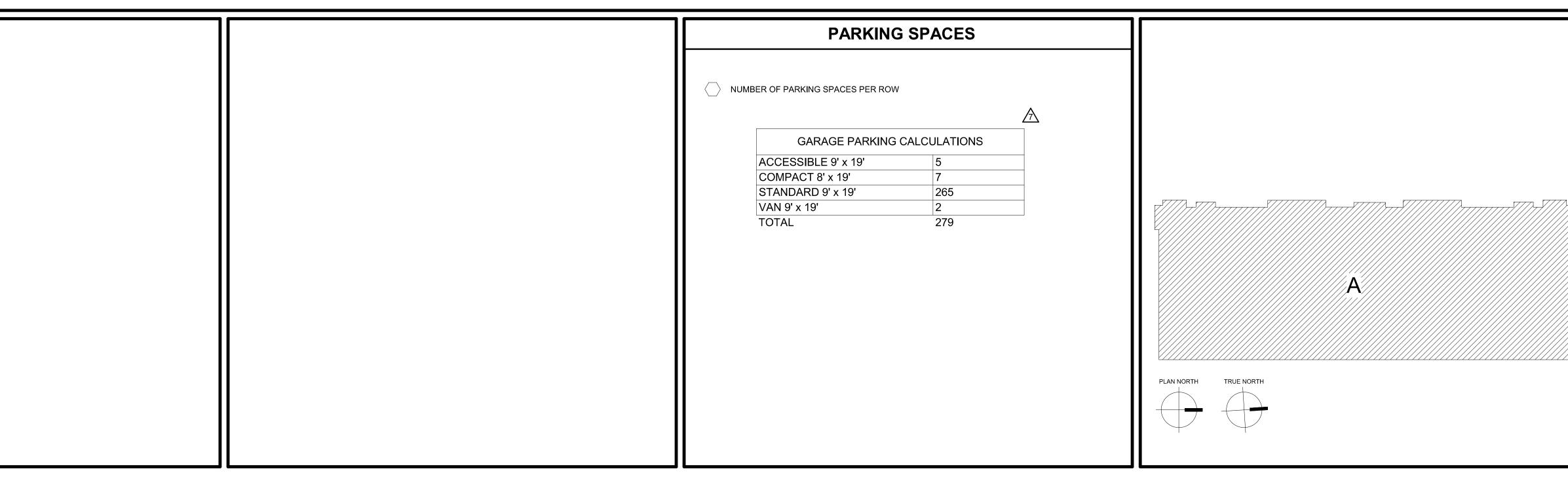


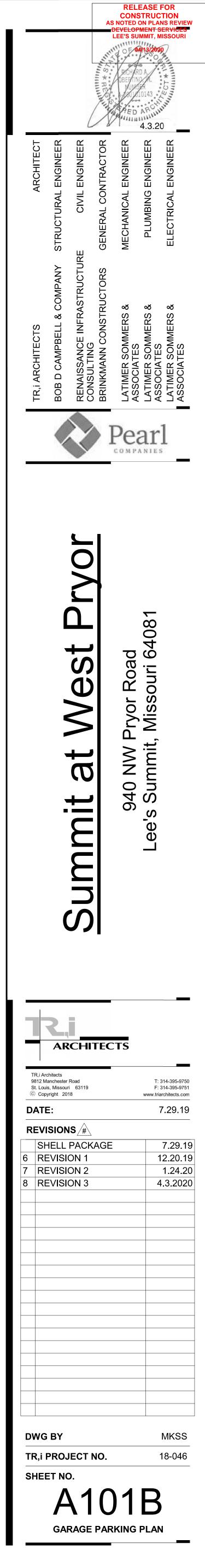


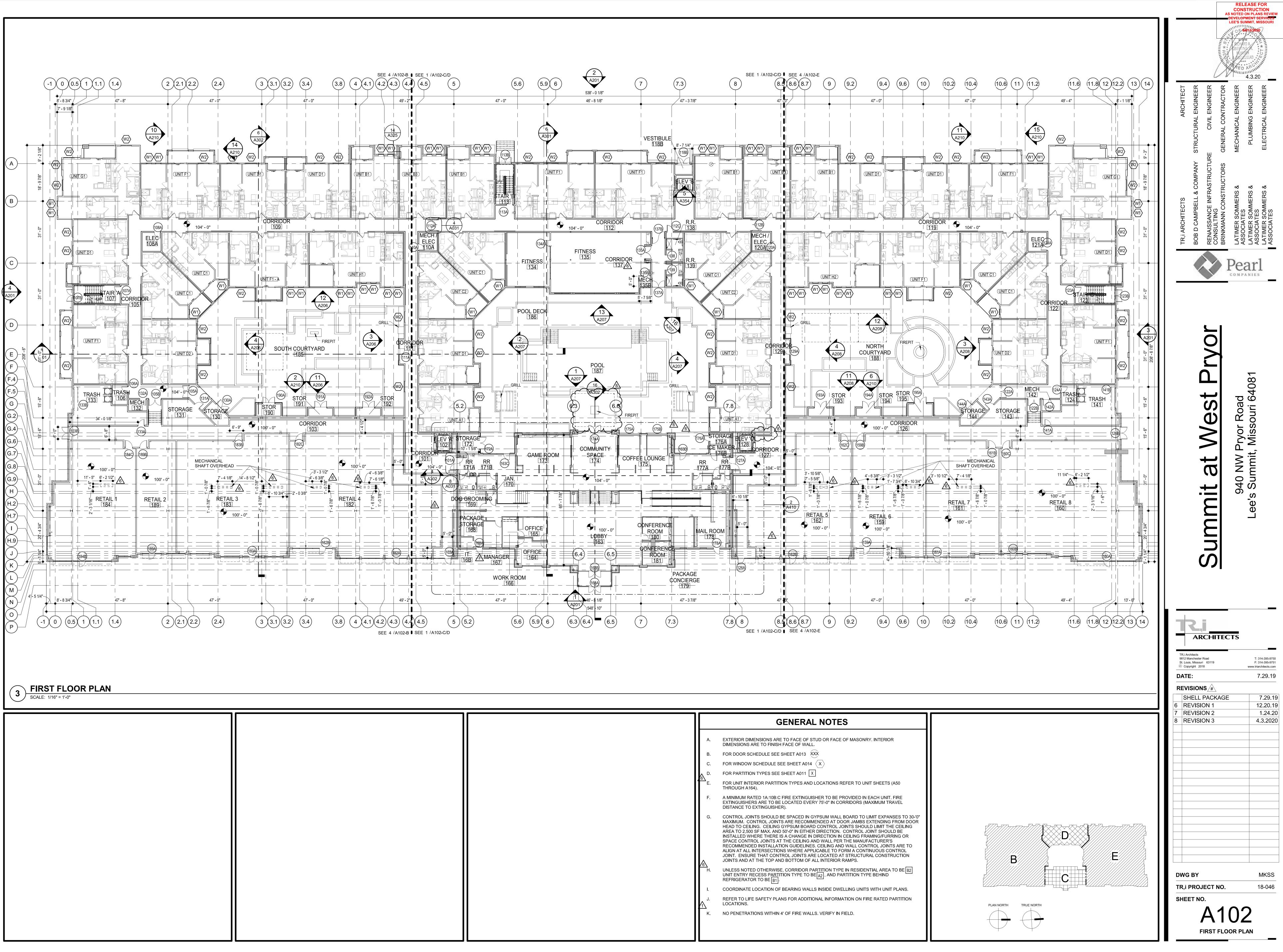
ADDRESS PLAN - FOURTH FLOOR

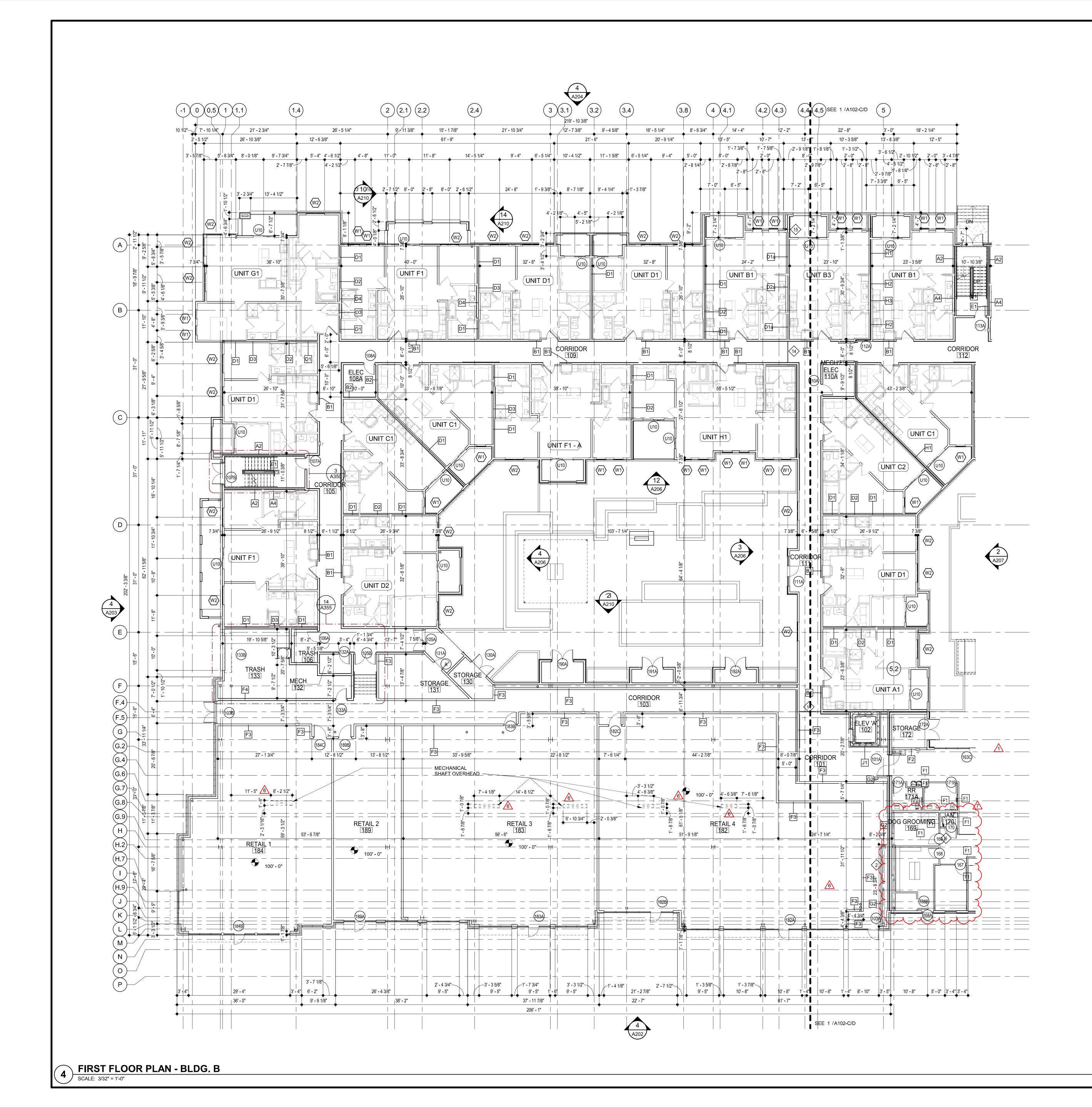












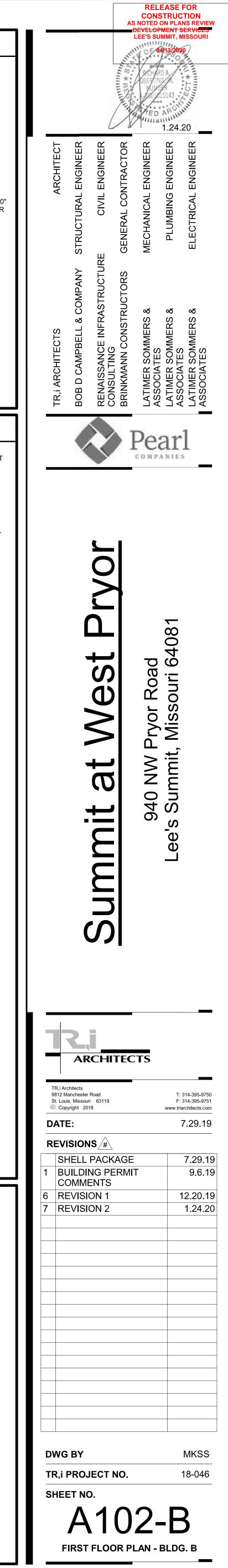
GENERAL NOTES

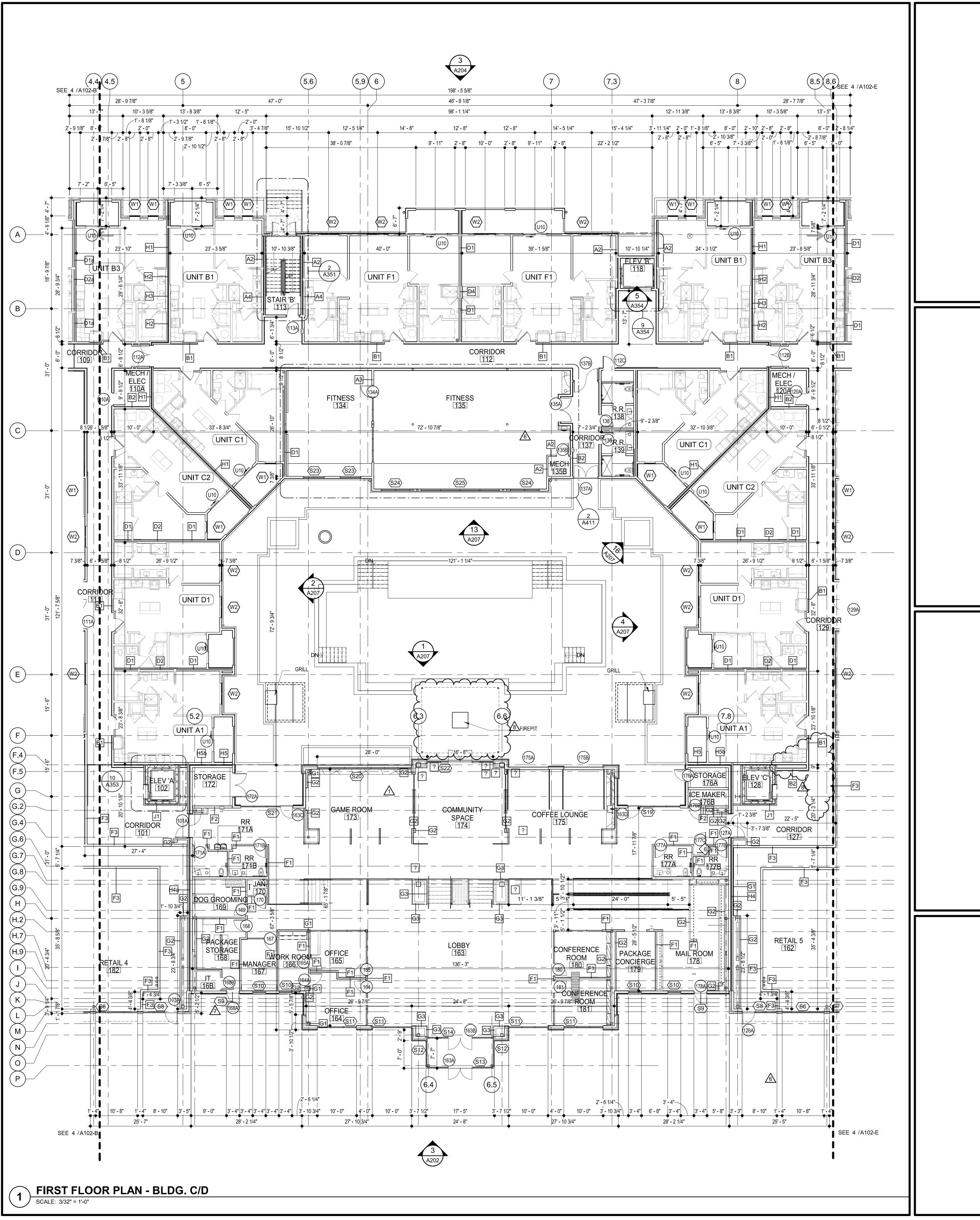
- EXTERIOR DIMENSIONS ARE TO FACE OF STUD OR FACE OF MASONRY. INTERIOR DIMENSIONS ARE TO FINISH FACE OF WALL.
- B. FOR DOOR SCHEDULE SEE SHEET A013 XXX
- FOR WINDOW SCHEDULE SEE SHEET A014 $\langle X \rangle$
- D. FOR PARTITION TYPES SEE SHEET A011 X
- FOR UNIT INTERIOR PARTITION TYPES AND LOCATIONS REFER TO UNIT SHEETS (A50 THROUGH A164).
- F. A MINIMUM RATED 1A:10B:C FIRE EXTINGUISHER TO BE PROVIDED IN EACH UNIT. FIRE EXTINGUISHERS ARE TO BE LOCATED EVERY 75'-0" IN CORRIDORS (MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER).
- 5. CONTROL JOINTS SHOULD BE SPACED IN GYPSUM WALL BOARD TO LIMIT EXPANSES TO 30-'0" MAXIMUM. CONTROL JOINTS ARE RECOMMENDED AT DOOR JAMBS EXTENDING FROM DOOR HEAD TO CEILING. CEILING GYPSUM BOARD CONTROL JOINTS SHOULD LIMIT THE CEILING AREA TO 2,500 SF MAX. AND 50'-0" IN EITHER DIRECTION. CONTROL JOINT SHOULD BE INSTALLED WHERE THERE IS A CHANGE IN DIRECTION IN CEILING FRAMING/FURRING OR SPACE CONTROL JOINTS AT THE CEILING AND WALL PER THE MANUFACTURER'S RECOMMENDED INSTALLATION GUIDELINES. CEILING AND WALL CONTROL JOINTS ARE TO
- ALIGN AT ALL INTERSECTIONS WHERE APPLICABLE TO FORM A CONTINUOUS CONTROL JOINT. ENSURE THAT CONTROL JOINTS ARE LOCATED AT STRUCTURAL CONSTRUCTION JOINTS AND AT THE TOP AND BOTTOM OF ALL INTERIOR RAMPS.
- UNLESS NOTED OTHERWISE, CORRIDOR PARTITION TYPE IN RESIDENTIAL AREA TO BE B2 UNIT ENTRY RECESS PARTITION TYPE TO BE_{A2} , AND PARTITION TYPE BEHIND REFRIGERATOR TO BE B1. COORDINATE LOCATION OF BEARING WALLS INSIDE DWELLING UNITS WITH UNIT PLANS.
- REFER TO LIFE SAFETY PLANS FOR ADDITIONAL INFORMATION ON FIRE RATED PARTITION LOCATIONS.
- NO PENETRATIONS WITHIN 4' OF FIRE WALLS. VERIFY IN FIELD.

KEYED NOTES 🔿

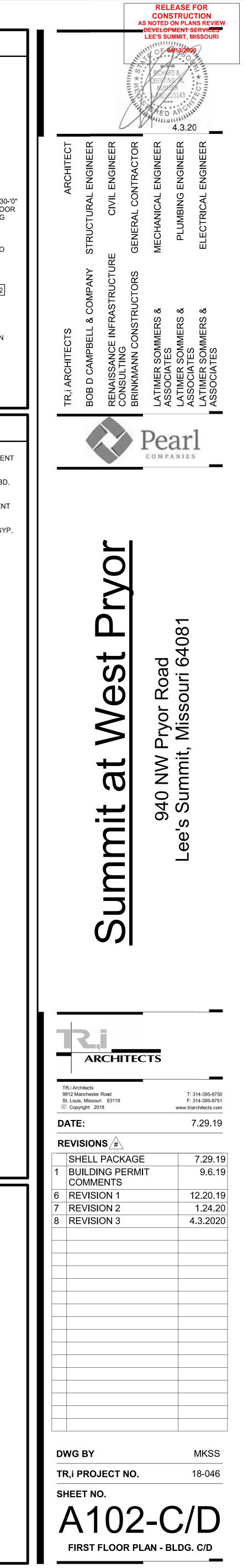
- ADDITIONAL LAYER OF GYP. BD. (NOT SHOWN IN PARTITION TYPE) TO ALIGN WITH ADJACENT PARTITION'S GYP. BD.
- 2. ENCLOSED COLUMN AND CROSS BRACE TO SMALLEST SIZE POSSIBLE WITH STUD/GYP. BD. FURRING.
- . EXTERIOR 1-HR FIRE RATED PARTITION PER UL U356. SEE LIFE SAFETY PLANS FOR EXTENT
- OF RATING. 4. TYPICAL ALL STEEL COLUMNS AND STEEL BRACES ON 1ST AND 2ND FLOORS: WRAP IN GYP. BD. FOR 1-HOUR PROTECTION PER UL X526.
- 5. EXTERIOR 2-HR FIRE RATED PARTITION PER UL U302.
- 6. LADDER TO ROOF HATCH.
- 7. TAPERED CRICKETS AS REQUIRED. SLOPE 1/2" PER FOOT MINIMUM.
- 8. FULLY ADHERED T.P.O. ROOF MEMBRANE.
- PRIMARY AND OVERFLOW ROOF DRAINS. SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- 10. REFER TO INTERIOR DECOR DRAWINGS FOR ADDITIONAL INFORMATION IN THIS AREA.
- 11. ENCLOSE EXHAUST VENT FROM CLUB ROOM FIRE PLACE WITH STUDS/GYP. BD. TO SMALLEST SIZE POSSIBLE.
- 2. TAPERED INSULATION TO THRU WALL SCUPPER SEE 19/A312.
- 13. PAVERS ON PEDESTALS OVER TAPERED INSULATION AND FLOOR DRAINS. KEYED NOTES
- 14. EXPANSION JOINT RE: 10/A323
- 15. EXPANSION JOINT RE: 14/A325

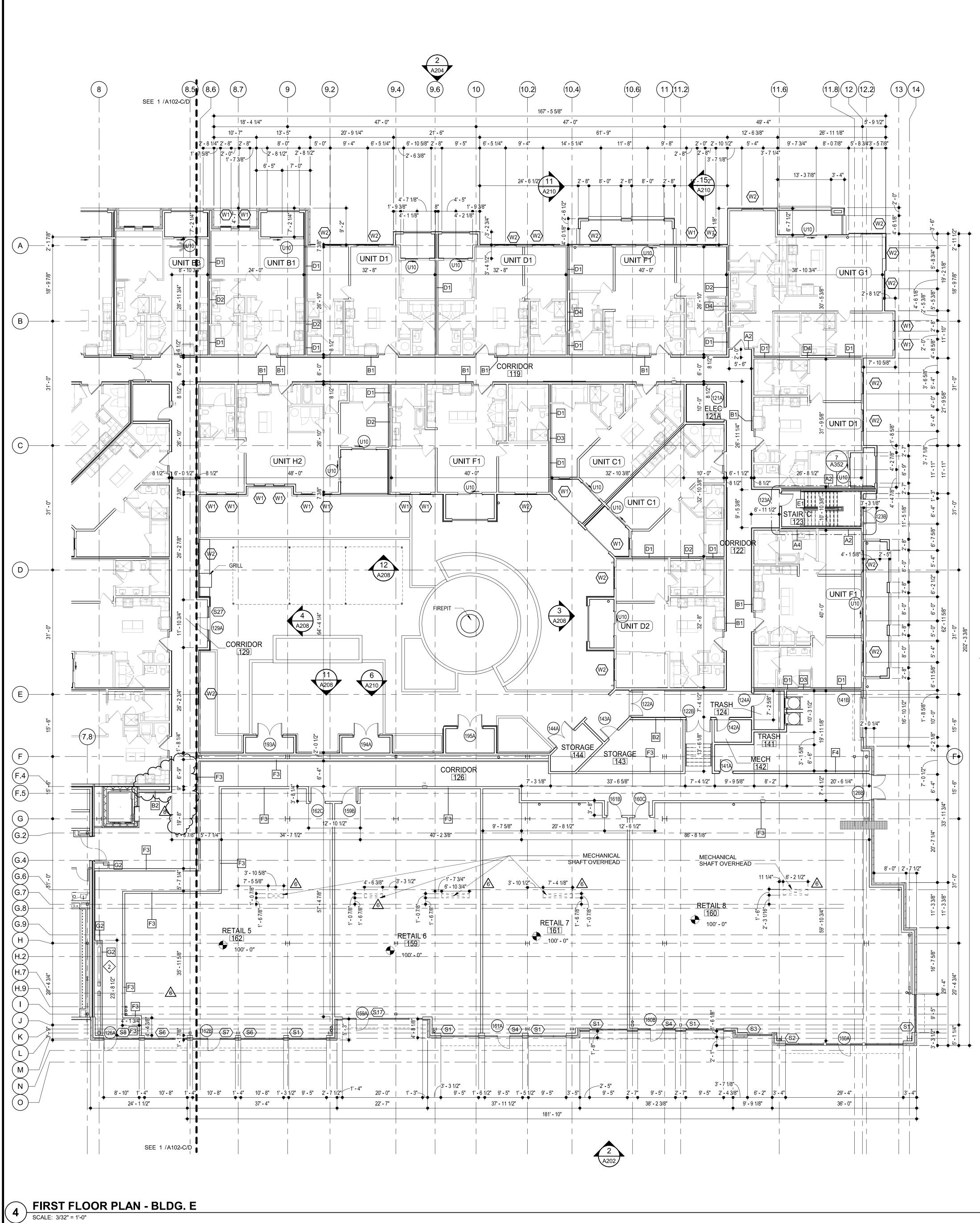
PLAN NORTH TRUE NORTH





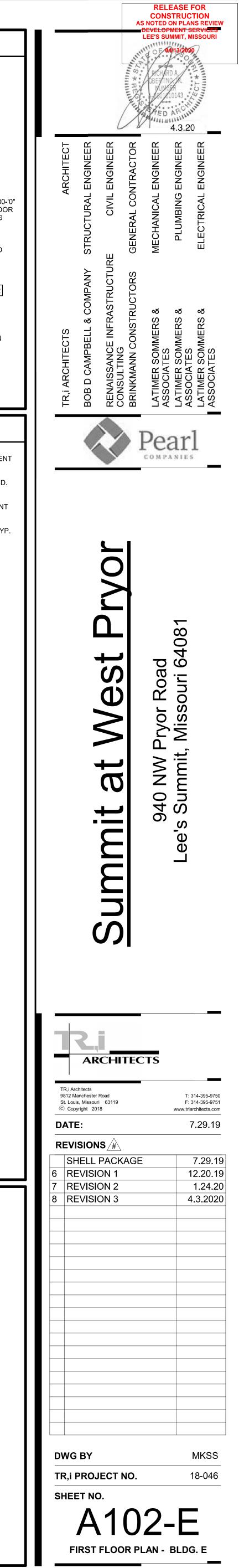
 GENERAL NOTES A. EXTERIOR DIMENSIONS ARE TO FACE OF STUD OR FACE OF MASONRY. INTERIOR DIMENSIONS ARE TO FINISH FACE OF WALL. B. FOR DOOR SCHEDULE SEE SHEET A013
 KEYED NOTES ADDITIONAL LAYER OF GYP. BD. (NOT SHOWN IN PARTITION TYPE) TO ALISN WITH ADJACE ADDITIONS (JP. BD.) ENCLOSED COLUMN AND CROSS BRACE TO SMALLEST SIZE POSSIBLE WITH STUDIGYP. BD. OF ANTING. EXTERIOR 1-HR FIRE RATED PARTITION PER UL USS. SEE LIFE SAFETY PLANS FOR EXTEN OF FATTING. TYPECAL ALL STEEL COLUMNS AND STEEL BRACES ON 1ST AND 2ND FLOORS: WRAP IN GY BD. FOR 1-HOUR PROTECTION PER UL USS2. EXTERIOR 2-HR FIRE RATED PARTITION PER UL USS2. LADDER TO ROOF HATCH. TAPERED CRICKES AS REQUIRED. SLOPE 1/2* PER FOOT MINIMUM. FULLY ADHERED T.P.O. ROOF MEMBRANE. PRIMARY AND OVERFLOW ROOF DRAINS. SEE PLUMEING DRAWINGS FOR ADDITIONAL INFORMATION IN THIS AREA. REFER TO INTERIOR DECOR DRAWINGS FOR ADDITIONAL INFORMATION IN THIS AREA. ENCLOSE EDHAUST VENT FROM CLUB ROOM FIRE PLACE WITH STUDISKYP. BD. TO SMALLEST SEE POSSIBILE. TAPERED INSULATION TO THRU WALL SCUPPER SEE 19/3312. PAVERS ON PEDESTALS OVER TAPERED INSULATION AND FLOOR DRAINS. KEYEN NOTES EXPANSION JOINT RE: 10/323 EXPANSION JOINT RE: 10/323 EXPANSION JOINT RE: 10/323

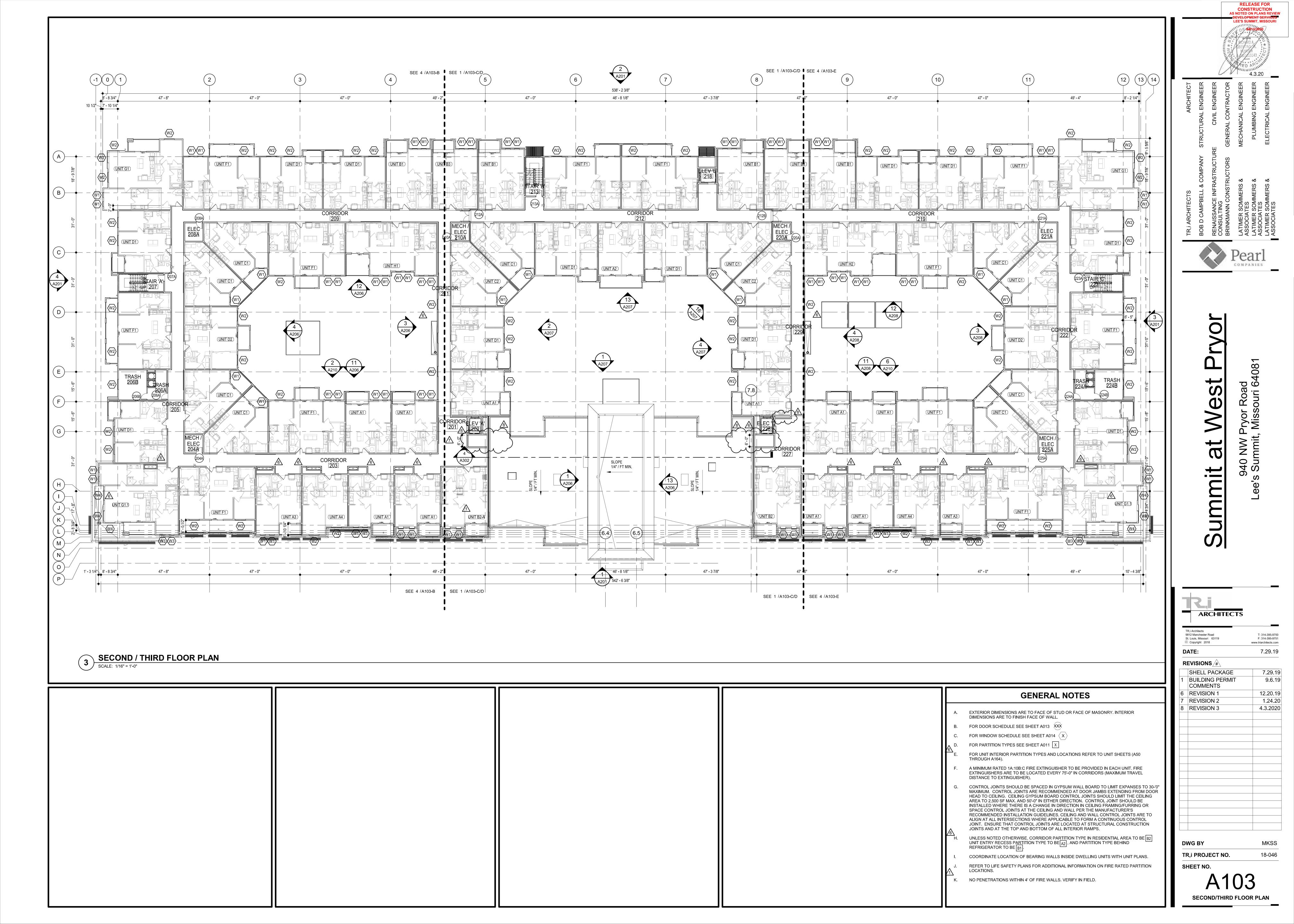


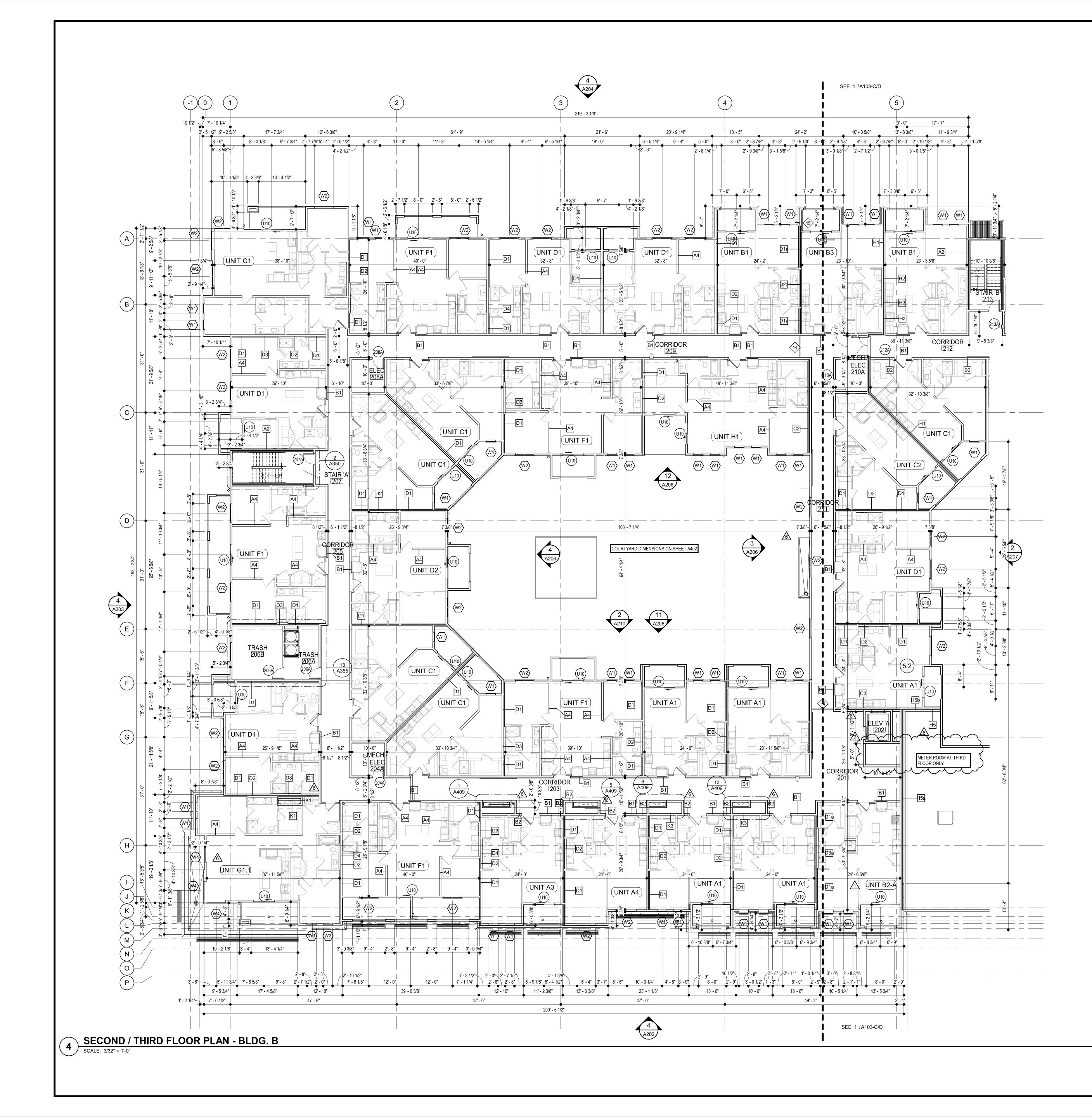


A205

A. EXTERIOR DIMENSIONS ARE TO FACE OF STUD OR FACE OF MASONRY. INTERIOR DIMENSIONS ARE TO FINISH FACE OF WALL. B. FOR DOOR SCHEDULE SEE SHEET A013 XX C. FOR WINDOW SCHEDULE SEE SHEET A011 X D. FOR PARTITION TYPES SEE SHEET A011 X E. FOR UNIT INTERIOR PARTITION TYPES AND LOCATIONS REFER TO UNIT SHEETS (A50 THROUGH A164). F. A MINIMUM RATED 1A:10B:C FIRE EXTINGUISHER TO BE PROVIDED IN EACH UNIT. FIRE EXTINGUISHERS ARE TO BE LOCATED EVERY 75-0" IN CORRIDORS (MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER). G. CONTROL JOINTS SHOULD BE SPACED IN GYPSUM WALL BOARD TO LIMIT EXPANSES TO 3 MAXIMUM. CONTROL JOINTS ARE RECOMMENDED AT DOOR JAMBS EXTENDING FROM DOC HEAD TO CELLING. CEILING GYPSUM WALL BOARD TO LIMIT FREE ELING GYPSUM BOARD CONTROL JOINTS SHOULD BE INSTALLED WHERE THERE IS A CHANGE IN DIRECTION. CONTROL JOINTS SHOULD BE SPACE CONTROL JOINTS AT THE CEILING AND WALL PER THE MANUFACTURERS RECOMMENDED DISTALLED WHERE THAT CONTROL JOINTS ARE TO ALION AT ALL INTERSECTIONS WHERE APPLICABLE TO FORM A CONTROL JOINTS ARE TO ALION AT ALL INTERSECTIONS WHERE APPLICABLE TO FORM A CONTROL JOINTS ARE TO ALION AT THE TOP AND BOTTOM OF ALL INTERIOR RAMPS. M. UNLESS NOTED OTHERWISE, CORRIDOR PARTITION TYPE IN RESIDENTIAL AREA TO BE B1. INTERNITY RECESS PARTITION TYPE TO BE AD. M. UNLESS NOTED OTHERWISE, CORRIDOR PARTITION TYPE IN RESIDENTIAL AREA TO BE B1. INTERNITY RECESS PARTITION TYPE TO BE AD. M. UNLESS NOTED OTHERWISE, CORRIDOR PARTITION TYPE IN RESIDENTIAL AREA TO BE B1. <
KEYED NOTES 🔷
 ADDITIONAL LAVER OF GYP. BD. (NOT SHOWN IN PARTITION TYPE) TO ALIGN WITH ADJACE PARTITIONS GYP. BD. ENCLOSED COLLINN AND CROSS BRACE TO SMALLEST SIZE POSSIBLE WITH STUDIOYP. B FURKING. EXTENDS 1-HE FIRE RATED PARTITION PER UL USS. SEE LIPE SAFETY PLANS FOR EXTEND OF FAITING. EXTENDS 1-HE FIRE RATED PARTITION PER UL USS. EXTENDS 1-HOUR MROTECTION PER UL USS. EXTENDS 1-HOUR MROTECTION PER UL USS. EXTENDS 1-HOUR MROTECTION PER UL USS. EXTENDS 2-HE FIRE RATED PARTITION PER UL USS. EXTENDS 2-HOUR MROTECTION PER UL USS. EXTENDS 2-HE FIRE RATED PARTITION PER UL USS. EXTENDS 2-HE FIRE RATED PARTITION PER UL USS. I. LADDER TO FOO'T MINIMAR. FULLY ADHERED TP.O. ROO'F MEMBRANE. PRIMARY AND OVERFLOW ROOF DRAINS. SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION IN THIS AREA. REFUE TO INTERIOR DECOR DRAWINGS FOR ADDITIONAL INFORMATION IN THIS AREA. ENCLOSE ENAUGT VENT FROM CLUB ROOM FIRE PLACE WITH STUDIGGYP. BD. TO SIMULES TO PEDESTALS OVER TAPERED INSULATION AND FLOOR DRAINS. KEYED NOTES EXPANSION JOINT TRE: 10/4235 EXPANSION JOINT RE: 10/4235





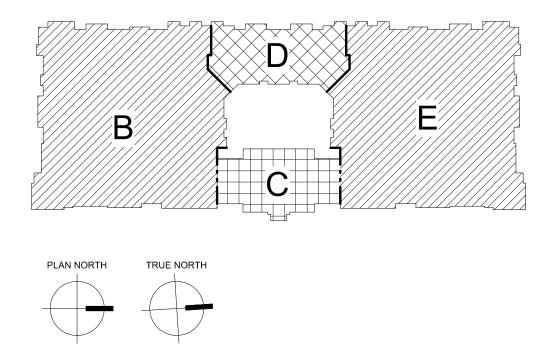


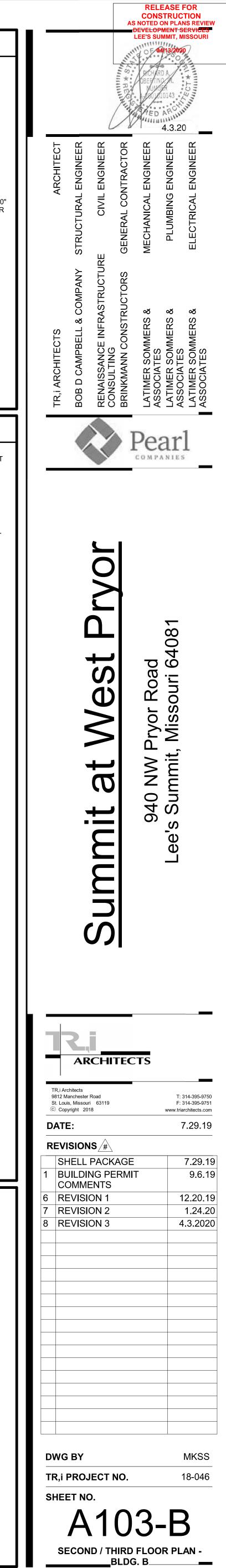
GENERAL NOTES

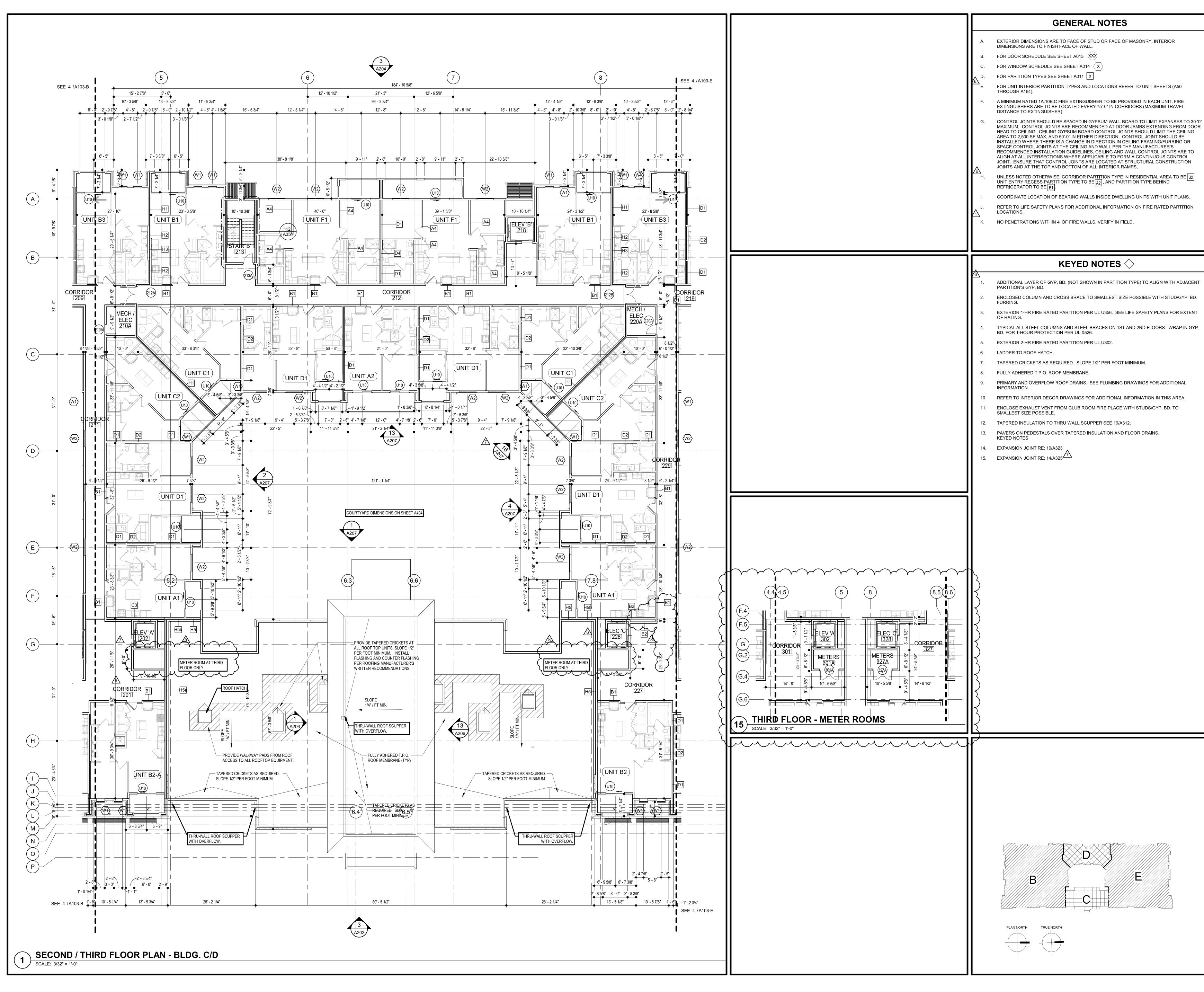
- EXTERIOR DIMENSIONS ARE TO FACE OF STUD OR FACE OF MASONRY. INTERIOR DIMENSIONS ARE TO FINISH FACE OF WALL.
- B. FOR DOOR SCHEDULE SEE SHEET A013 XXX
- . FOR WINDOW SCHEDULE SEE SHEET A014 $\langle X \rangle$
- D. FOR PARTITION TYPES SEE SHEET A011 X
- FOR UNIT INTERIOR PARTITION TYPES AND LOCATIONS REFER TO UNIT SHEETS (A50 THROUGH A164).
- F. A MINIMUM RATED 1A:10B:C FIRE EXTINGUISHER TO BE PROVIDED IN EACH UNIT. FIRE EXTINGUISHERS ARE TO BE LOCATED EVERY 75'-0" IN CORRIDORS (MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER).
- 6. CONTROL JOINTS SHOULD BE SPACED IN GYPSUM WALL BOARD TO LIMIT EXPANSES TO 30-'0" MAXIMUM. CONTROL JOINTS ARE RECOMMENDED AT DOOR JAMBS EXTENDING FROM DOOR HEAD TO CEILING. CEILING GYPSUM BOARD CONTROL JOINTS SHOULD LIMIT THE CEILING AREA TO 2,500 SF MAX. AND 50'-0" IN EITHER DIRECTION. CONTROL JOINT SHOULD BE INSTALLED WHERE THERE IS A CHANGE IN DIRECTION IN CEILING FRAMING/FURRING OR SPACE CONTROL JOINTS AT THE CEILING AND WALL PER THE MANUFACTURER'S RECOMMENDED INSTALLATION GUIDELINES. CEILING AND WALL CONTROL JOINTS ARE TO ALIGN AT ALL INTERSECTIONS WHERE APPLICABLE TO FORM A CONTINUOUS CONTROL
- JOINT. ENSURE THAT CONTROL JOINTS ARE LOCATED AT STRUCTURAL CONSTRUCTION JOINTS AND AT THE TOP AND BOTTOM OF ALL INTERIOR RAMPS. UNLESS NOTED OTHERWISE, CORRIDOR PARTITION TYPE IN RESIDENTIAL AREA TO BE B2
- UNLESS NOTED OTHERWISE, CORRIDOR PARTITION TYPE IN RESIDENTIAL AREA TO BE B2 UNIT ENTRY RECESS PARTITION TYPE TO BE_{A2} , AND PARTITION TYPE BEHIND REFRIGERATOR TO BE B1.
- COORDINATE LOCATION OF BEARING WALLS INSIDE DWELLING UNITS WITH UNIT PLANS. REFER TO LIFE SAFETY PLANS FOR ADDITIONAL INFORMATION ON FIRE RATED PARTITION LOCATIONS.
- . NO PENETRATIONS WITHIN 4' OF FIRE WALLS. VERIFY IN FIELD.

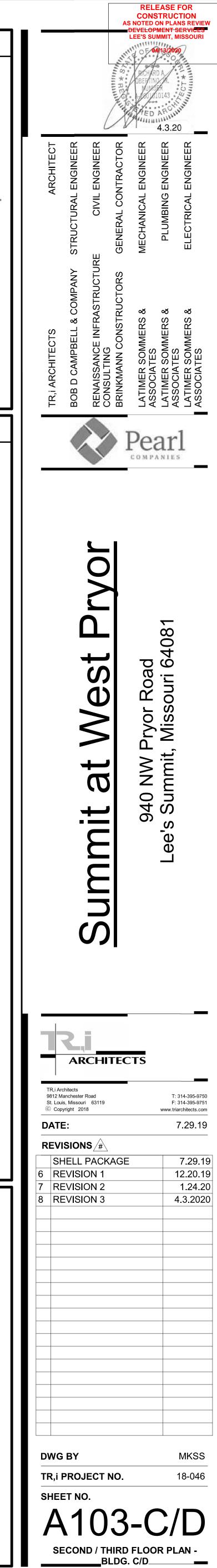
KEYED NOTES 🔿

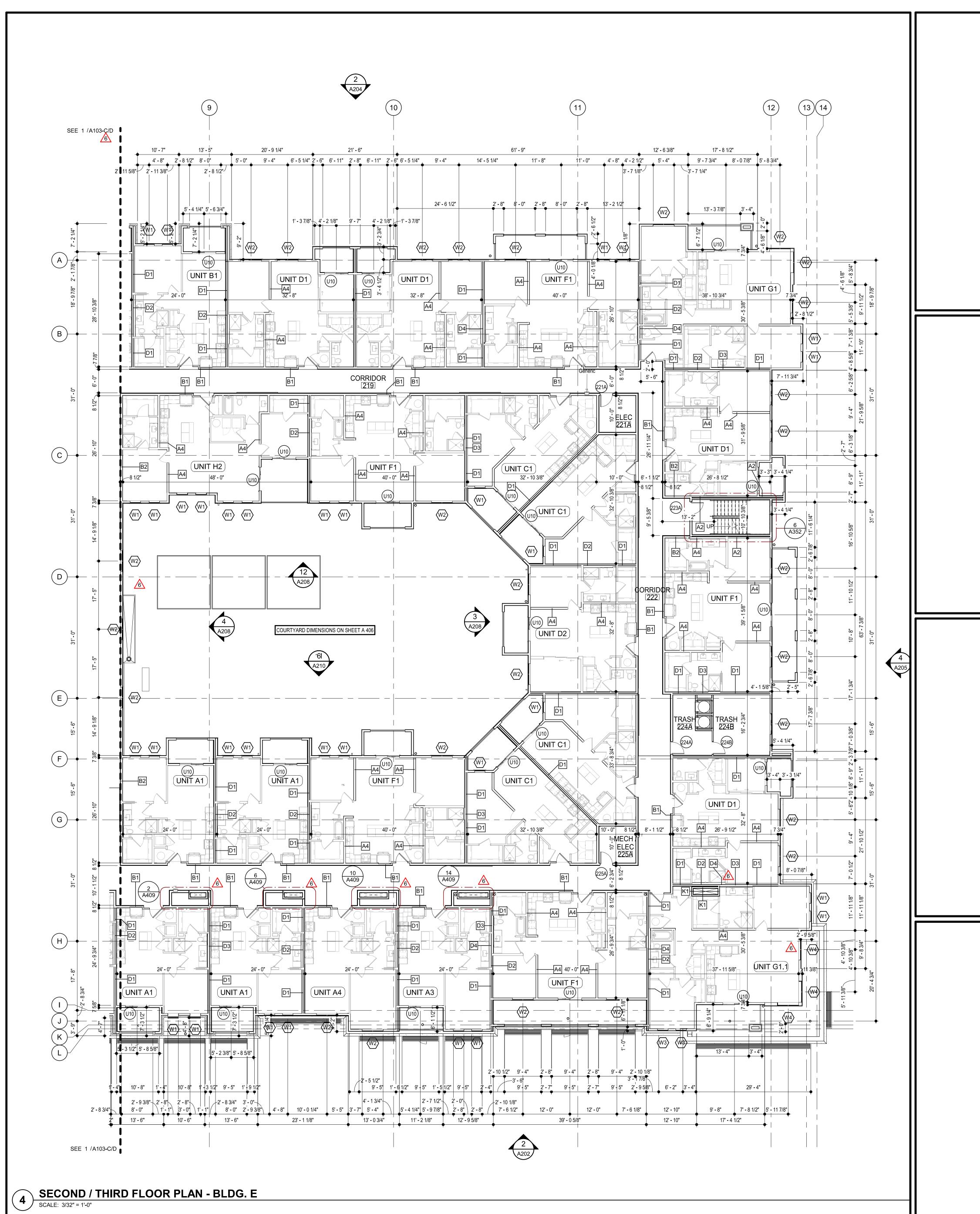
- . ADDITIONAL LAYER OF GYP. BD. (NOT SHOWN IN PARTITION TYPE) TO ALIGN WITH ADJACENT PARTITION'S GYP. BD.
- . ENCLOSED COLUMN AND CROSS BRACE TO SMALLEST SIZE POSSIBLE WITH STUD/GYP. BD. FURRING.
- 8. EXTERIOR 1-HR FIRE RATED PARTITION PER UL U356. SEE LIFE SAFETY PLANS FOR EXTENT OF RATING.
- 4. TYPICAL ALL STEEL COLUMNS AND STEEL BRACES ON 1ST AND 2ND FLOORS: WRAP IN GYP. BD. FOR 1-HOUR PROTECTION PER UL X526.
- 5. EXTERIOR 2-HR FIRE RATED PARTITION PER UL U302.
- 6. LADDER TO ROOF HATCH.
- 7. TAPERED CRICKETS AS REQUIRED. SLOPE 1/2" PER FOOT MINIMUM.
- 8. FULLY ADHERED T.P.O. ROOF MEMBRANE.
- 9. PRIMARY AND OVERFLOW ROOF DRAINS. SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- 10. REFER TO INTERIOR DECOR DRAWINGS FOR ADDITIONAL INFORMATION IN THIS AREA.
- 11. ENCLOSE EXHAUST VENT FROM CLUB ROOM FIRE PLACE WITH STUDS/GYP. BD. TO SMALLEST SIZE POSSIBLE.
- 12. TAPERED INSULATION TO THRU WALL SCUPPER SEE 19/A312.
- 13. PAVERS ON PEDESTALS OVER TAPERED INSULATION AND FLOOR DRAINS. KEYED NOTES
- 14. EXPANSION JOINT RE: 10/A323
- 15. EXPANSION JOINT RE: 14/A325



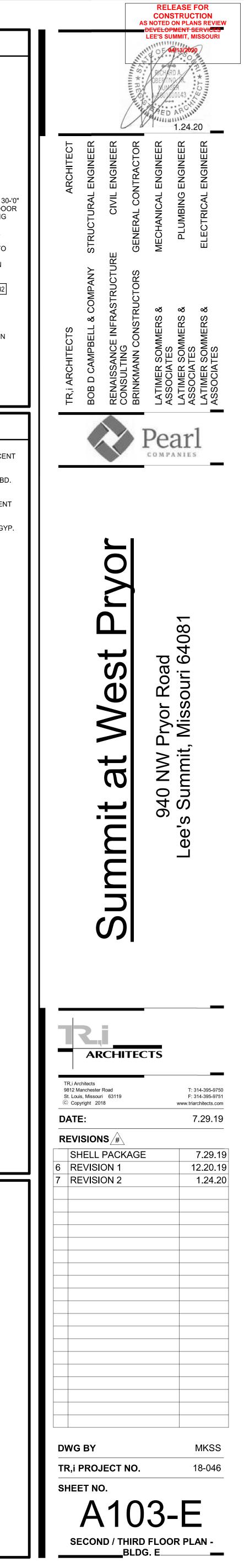


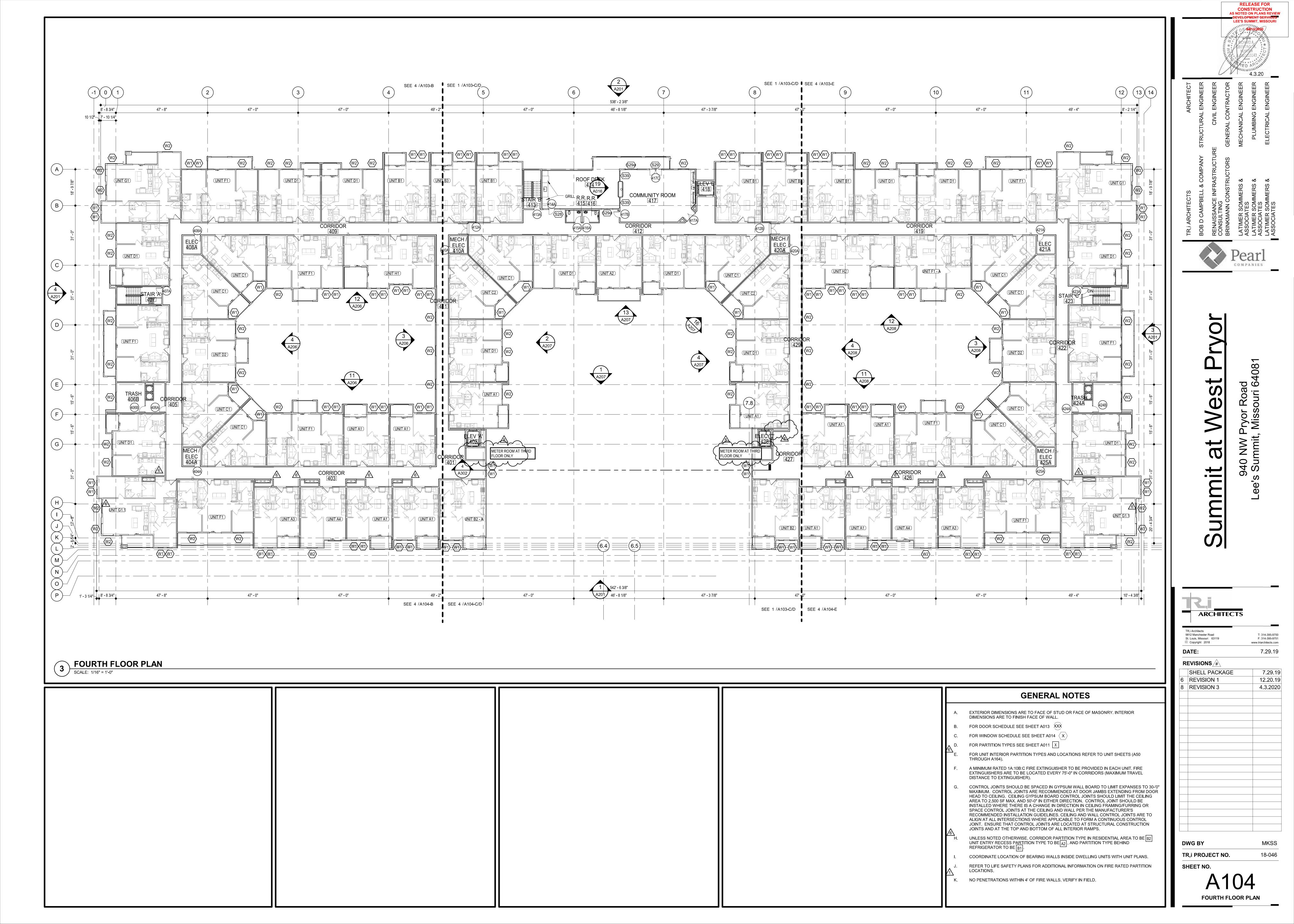


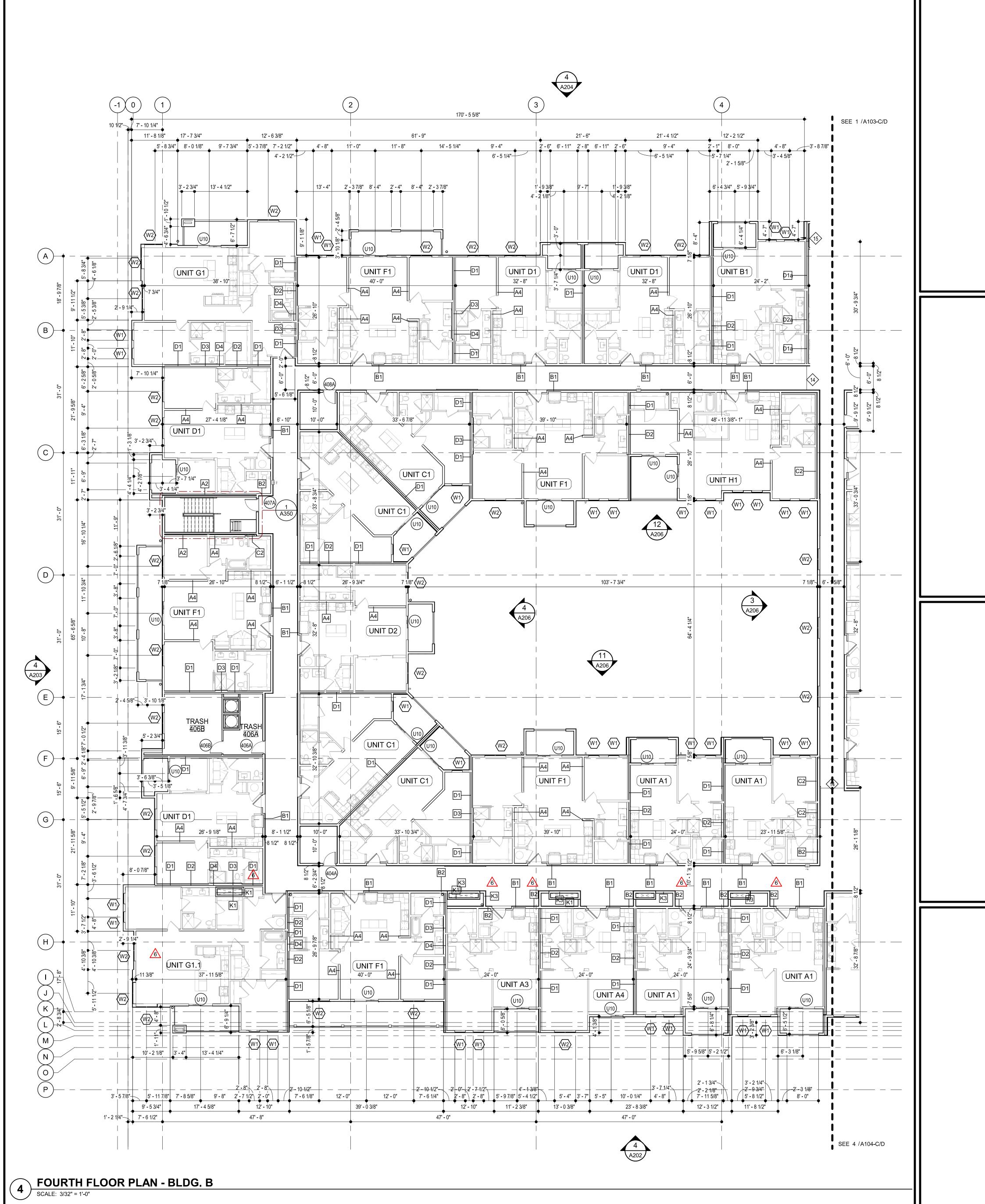




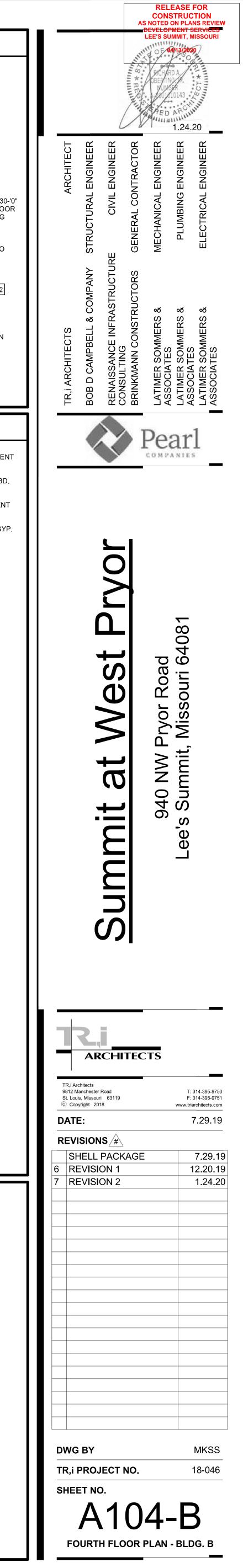
 GENERAL NOTES A. EXTERIOR DIMENSIONS ARE TO FACE OF STUD OR FACE OF MASONRY. INTERIOR DIMENSIONS ARE TO FINISH FACE OF WALL. B. FOR DOOR SCHEDULE SEE SHEET A013 XX C. FOR WINDOW SCHEDULE SEE SHEET A014 X D. FOR PARTITION TYPES SEE SHEET A011 X E. FOR UNIT INTERIOR PARTITION TYPES AND LOCATIONS REFER TO UNIT SHEETS (A50 THROUGH A164). F. A MINIMUM RATED 1A:10B:C FIRE EXTINGUISHER TO BE PROVIDED IN EACH UNIT. FIRE EXTINGUISHERS ARE TO BE LOCATED EVERY 75-0" IN CORRIDORS (MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER). G. CONTROL JOINTS SHOULD BE SPACED IN GYPSUM WALL BOARD TO LIMIT EXPANSES TO 3 MAXIMUM. CONTROL JOINTE ARE RECOMMENDED AT DOOR JAMBS EXTENDING FROM DC HEAD TO CEILING. CEILING GYPSUM BOARD CONTROL JOINTS SHOULD BE NATALLED WHERE THERE IS A CHANGE IN DIRECTION. CONTROL JOINTS AND AT THE CEILING AND WALL PR THE MANUFACTURER'S RECOMMENDED INSTALLATION GUIDELINES. CEILING AND WALL CONTROL JOINTS ARE TO ALIGN AT THE TO PAND BOTTOM OF ALL INTERIOR DATION ON SUPACE CONTROL JOINTS ARE TO PLICABLE TO FORM A CONTINUOUS CONTROL JOINTS AND AT THE CONTROL JOINTS AND AT THE CONTROL SOLTANT ACTIVITY RECESS PARTITION TYPE TO BE ADD WALL CONTINUOUS CONTROL JOINTS AND AT THE TOP AND BOTTOM OF ALL INTERIOR RAMPS. H. UNLESS NOTED OTHERWISE, CORRIDOR PARTITION TYPE IN RESIDENTIAL AREA TO BE B1. I. COORDINATE LOCATION OF BEARING WALLS INSIDE DWELLING UNITS WITH UNIT PLANS. J. REFER TO LIFE SAFETY PLANS FOR ADDITIONAL INFORMATION ON FIRE RATED PARTITION LOCATIONS. K. NO PENETRATIONS WITHIN 4' OF FIRE WALLS. VERIFY IN FIELD.
 I. ADDITIONAL LAYER OF SYR. BD. (NOT SHOWN N PARTITION TYPE) TO ALISM WITH ADJACE ARTITIONS GYR. BD. I. ENCLOSED COLUMN AND CROSS BRACE TO SMALLEST SIZE POSSIBLE WITH STUDIGYP. B FIRMING. I. EXTERIOR 1-HR FIRE RATED PARTITION PER UL USG. SEE LIFE SAFETY PLANS FOR EXTEN OF MATING. I. EXTERIOR 2-HR FIRE RATED PARTITION PER UL USG. I. EXTERIOR 2-HR FIRE RATED PARTITION PER UL USG. I. EXTERIOR 2-HR FIRE RATED PARTITION PER UL USG. I. TAPERED CRICKETS AS REGUIRED. SLOPE 1/27 PER FOOT MINIMUM. I. FULLY ADHERED T.P.O. ROOF MAMANE. I. FULLY ADHERED T.P.O. ROOF MAMANE. I. PRUBLY TO NOTERION ROOF DRAINS. SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION IN THIS AREA. I. REFER TO INTERIOR DECOR DRAWINGS FOR ADDITIONAL INFORMATION IN THIS AREA. I. ENCLOSE EXHAUST VENT FROM CLUB ROOM FIRE PLACE WITH STUDIG/GYP. BD. TO SMALLEST SZE POSSIBLE. I. TAPERED INSULATION TO THRU WALL SCUPPER SEE 19/A312. PAVERS ON PEDESTALS OVER TAPERED INSULATION AND FLOOR DRAINS. KEEP NOTES. I. EXPANSION JOINT RE: 10/4/2324 EXPANSION JOINT RE: 10/4/2324
$\mathbf{P}_{\mathbf{A}\mathbf{B}}$

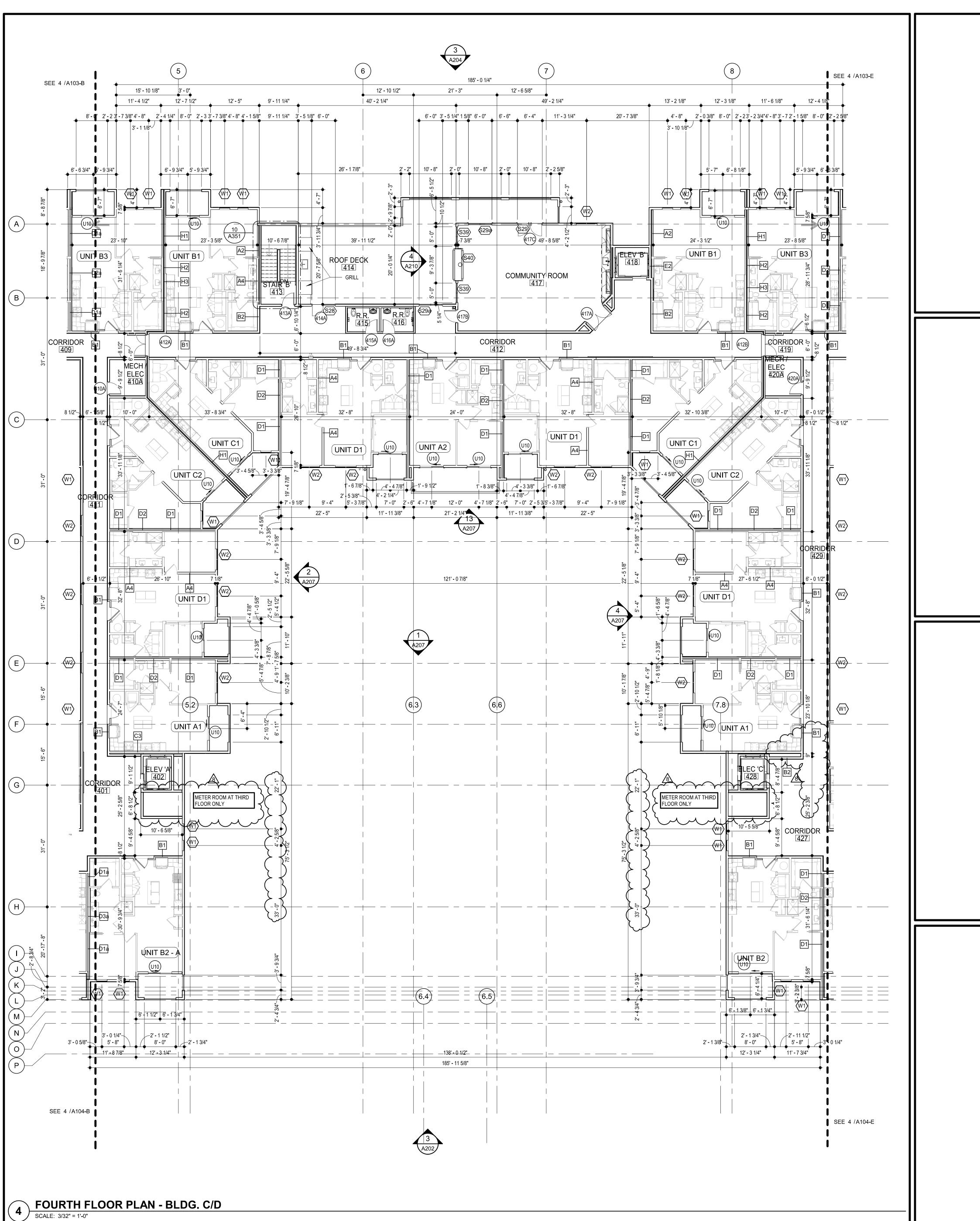




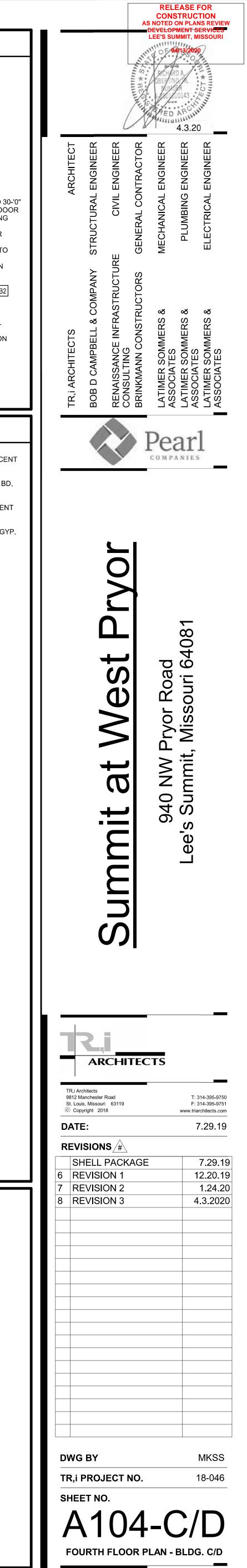


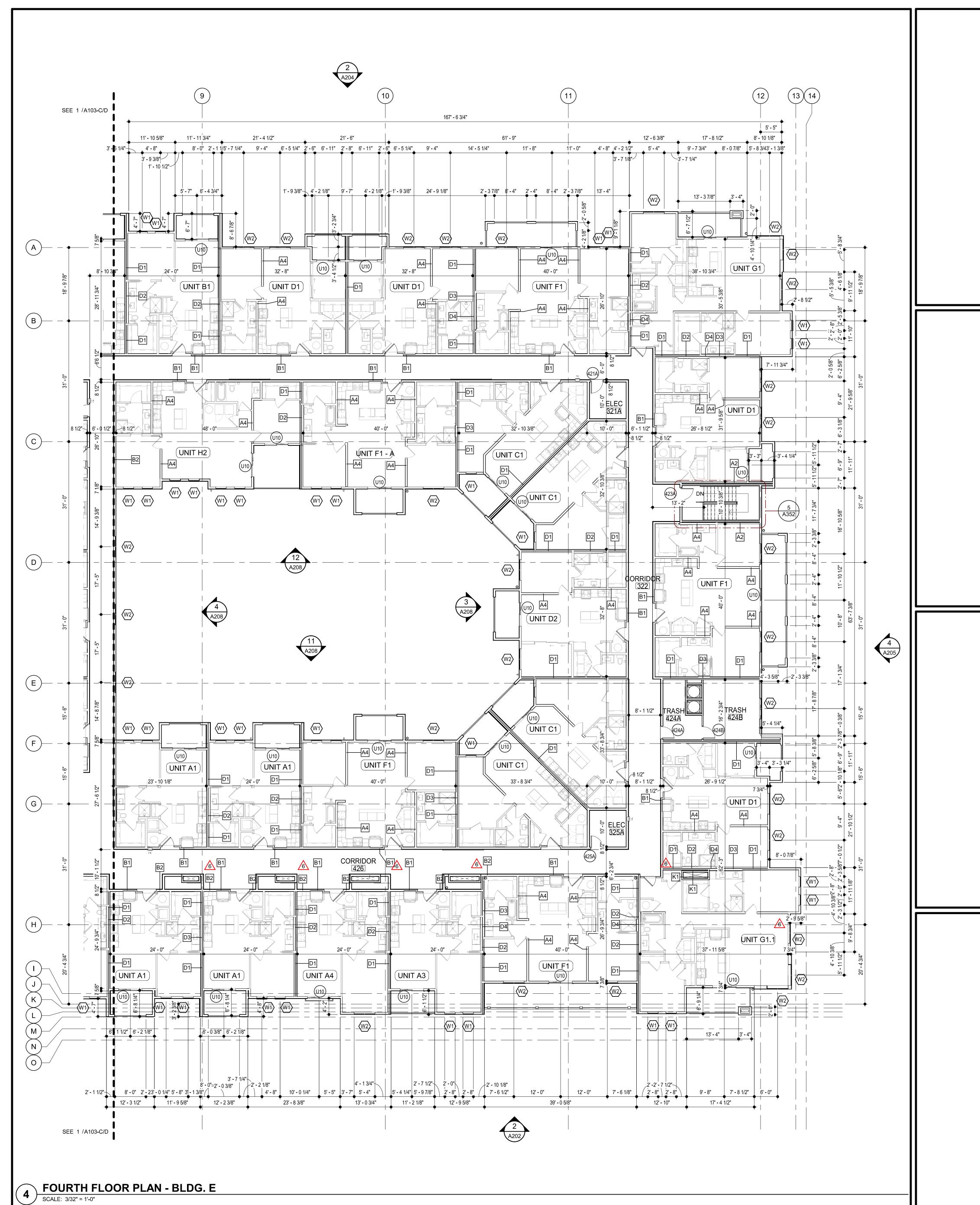
 GENERAL NOTES A. EXTERIOR DIMENSIONS ARE TO FACE OF STUD OR FACE OF MASONRY. INTERIOR DIMENSIONS ARE TO FINISH FACE OF WALL. B. FOR DOOR SCHEDULE SEE SHEET A013 XX C. FOR WINDOW SCHEDULE SEE SHEET A014 X D. FOR PARTITION TYPES SEE SHEET A011 X E. FOR UNIT INTERIOR PARTITION TYPES AND LOCATIONS REFER TO UNIT SHEETS (A50 THROUGH A164). F. A MINIMUM RATED 1A:10B:C FIRE EXTINGUISHER TO BE PROVIDED IN EACH UNIT, FIRE EXTINGUISHERS ARE TO BE LOCATED EVERY 75-0° IN CORRIDORS (MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER). G. CONTROL JOINTS SHOULD BE SPACED IN GYPSUM WALL BOARD TO LIMIT EXPANSES TO 3 MAXIMUM. CONTROL JOINTS ARE RECOMMENDED AT DOOR JAMBS EXTENDING FROM DO HEAD TO CELLING, CELLING GYPSUM BOARD CONTROL JOINT SHOULD BE INSTALLED WHERE THERE IS A CHANGE IN DIRECTION. CONTROL JOINT SHOULD BE INSTALLED WHERE THERE IS A CHANGE IN DIRECTION IN CELLING FRAMING/FURRING OR SPACE CONTROL JOINTS AND BOTTOM OF ALL INTERCION. CONTROL JOINTS ARE TO ALIGN AT THE TOP AND BOTTOM OF ALL INTERCIOR ACONTRUL CONSTRUCTION JOINTS AND AT THE TOP AND BOTTOM OF ALL INTERIOR RAMPS. H. UNLESS NOTED OTHERWISE, CORRIDOR PARTITION TYPE IN RESIDENTIAL AREA TO BE [22], AND PARTITION TYPE TO BE [22], AND PARTITION TYPE BEHIND REFRIGERATOR TO BE [31]. I. COORDINATE LOCATION OF BEARING WALLS INSIDE DWELLING UNITS WITH UNIT PLANS. J. REFER TO LIFE SAFETY PLANS FOR ADDITIONAL INFORMATION ON FIRE RATED PARTITION LOCATIONS. K. NO PENETRATIONS WITHIN 4' OF FIRE WALLS, VERIFY IN FIELD.
 KEYED NOTES ADDITIONAL LAYER OF GYP. BD. (NOT SHOWN IN PARTITION TYPE) TO ALISN WITH ADJACE AND THON'S GYP. BD. ENCLOSED COLUMN AND CROSS BRACE TO SMALLEST SIZE POSSIBLE WITH STUDIGYP. BD HENRIO EXTERIOR 1-HR FIRE RATED PARTITION PER UL USG. SEE LIFE SAFETY PLANS FOR EXTEN OF RATING. TYPICAL ALL STEEL COLUMNS AND STEEL BRACES ON 1ST AND 2ND FLOORS: WRAP IN GY BD. FOR 1-HOURP ROTECTION PER UL US22. LADDER TO ROOF HATCH. TAPERED CRIDERTS AS REQUIRED. SLOPE 12° PER FOOT MINIMUM. FULLY ADHERED T.P.O. ROOF MEMBRANE. PRIMARY AND OVERFLOW ROOF DRAINS. SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION IN THIS AREA. ENCLOSE EXHAUST VENT FROM CLUB ROOM FIRE PLACE WITH STUDISGYP. BD. TO SMALLEST SEE POSSIBLE. TAPERED INSULATION TO THRU WALL SCUPPER SEE 19/3312. PAVERS ON PEDESTALS OVER TAPERED INSULATION AND FLOOR DRAINS. KEYEN NOTES EXPANSION JOINT RE: 10/4/222 EXPANSION JOINT RE: 10/4/222
$\mathbf{P}_{LAN NORTH}$





GENERAL NOTES
A. EXTERIOR DIMENSIONS ARE TO FACE OF STUD OR FACE OF MASONRY. INTERIOR DIMENSIONS ARE TO FINISH FACE OF WALL.
B.FOR DOOR SCHEDULE SEE SHEET A013 \overrightarrow{XXX} C.FOR WINDOW SCHEDULE SEE SHEET A014 \overline{X}
D. FOR PARTITION TYPES SEE SHEET A011 X
E. FOR UNIT INTERIOR PARTITION TYPES AND LOCATIONS REFER TO UNIT SHEETS (A50 THROUGH A164).
F. A MINIMUM RATED 1A:10B:C FIRE EXTINGUISHER TO BE PROVIDED IN EACH UNIT. FIRE EXTINGUISHERS ARE TO BE LOCATED EVERY 75'-0" IN CORRIDORS (MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER).
G. CONTROL JOINTS SHOULD BE SPACED IN GYPSUM WALL BOARD TO LIMIT EXPANSES TO 3 MAXIMUM. CONTROL JOINTS ARE RECOMMENDED AT DOOR JAMBS EXTENDING FROM DO HEAD TO CEILING. CEILING GYPSUM BOARD CONTROL JOINTS SHOULD LIMIT THE CEILING AREA TO 2,500 SF MAX. AND 50'-0" IN EITHER DIRECTION. CONTROL JOINT SHOULD BE INSTALLED WHERE THERE IS A CHANGE IN DIRECTION IN CEILING FRAMING/FURRING OR SPACE CONTROL JOINTS AT THE CEILING AND WALL PER THE MANUFACTURER'S RECOMMENDED INSTALLATION GUIDELINES. CEILING AND WALL CONTROL JOINTS ARE TO ALIGN AT ALL INTERSECTIONS WHERE APPLICABLE TO FORM A CONTINUOUS CONTROL
JOINT. ENSURE THAT CONTROL JOINTS ARE LOCATED AT STRUCTURAL CONSTRUCTION JOINTS AND AT THE TOP AND BOTTOM OF ALL INTERIOR RAMPS.
UNIT ENTRY RECESS PARTITION TYPE TO BE_{A2} , AND PARTITION TYPE BEHIND REFRIGERATOR TO BE B1.
 I. COORDINATE LOCATION OF BEARING WALLS INSIDE DWELLING UNITS WITH UNIT PLANS. J. REFER TO LIFE SAFETY PLANS FOR ADDITIONAL INFORMATION ON FIRE RATED PARTITION LOCATIONS.
K. NO PENETRATIONS WITHIN 4' OF FIRE WALLS. VERIFY IN FIELD.
KEYED NOTES 🔷
 ADDITIONAL LAYER OF GYP. BD. (NOT SHOWN IN PARTITION TYPE) TO ALIGN WITH ADJACE PARTITION'S GYP. BD. ENCLOSED COLUMN AND CROSS BRACE TO SMALLEST SIZE POSSIBLE WITH STUD/GYP. B FURRING. EXTERIOR 1-HR FIRE RATED PARTITION PER UL U356. SEE LIFE SAFETY PLANS FOR EXTENOF RATING.
4. TYPICAL ALL STEEL COLUMNS AND STEEL BRACES ON 1ST AND 2ND FLOORS: WRAP IN GY BD. FOR 1-HOUR PROTECTION PER UL X526.
 5. EXTERIOR 2-HR FIRE RATED PARTITION PER UL U302. 6. LADDER TO ROOF HATCH.
 TAPERED CRICKETS AS REQUIRED. SLOPE 1/2" PER FOOT MINIMUM. FULLY ADHERED T.P.O. ROOF MEMBRANE.
9. PRIMARY AND OVERFLOW ROOF DRAINS. SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
 REFER TO INTERIOR DECOR DRAWINGS FOR ADDITIONAL INFORMATION IN THIS AREA. ENCLOSE EXHAUST VENT FROM CLUB ROOM FIRE PLACE WITH STUDS/GYP. BD. TO
 12. TAPERED INSULATION TO THRU WALL SCUPPER SEE 19/A312.
13. PAVERS ON PEDESTALS OVER TAPERED INSULATION AND FLOOR DRAINS. KEYED NOTES
14. EXPANSION JOINT RE: $10/A323$ 15. EXPANSION JOINT RE: $14/A325$
<i>₹<i>∏</i>ŢŢŢŢŢŢŢŢŢŢŢŢŢŢ<u>Ţ</u>ŢŢŢŢŢŢŢŢŢŢŢŢŢŢŢŢŢŢŢŢŢ</i>
PLAN NORTH TRUE NORTH





 GENERAL NOTES A. EXTERIOR DIMENSIONS ARE TO FACE OF STUD OR FACE OF MASONRY. INTERIOR DIMENSIONS ARE TO FINISH FACE OF WALL. B. FOR DOOR SCHEDULE SEE SHEET A013 XX C. FOR WINDOW SCHEDULE SEE SHEET A014 X D. FOR PARTITION TYPES SEE SHEET A011 X E. FOR UNIT INTERIOR PARTITION TYPES AND LOCATIONS REFER TO UNIT SHEETS (A50 THROUGH A164). F. A MINIMUM RATED 1A:10B:C FIRE EXTINGUISHER TO BE PROVIDED IN EACH UNIT. FIRE EXTINGUISHERS ARE TO BE LOCATED EVERY 75'-0' IN CORRIDORS (MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER). G. CONTROL JOINTS SHOULD BE SPACED IN GYPSUM WALL BOARD TO LIMIT EXPANSES TO 3' MAXIMUM. CONTROL JOINTS ARE RECOMMENDED AT DOOR JAMBS EXTENDING FROM DO HEAD TO CEILING. CEILING GYPSUM BOARD CONTROL JOINTS SHOULD BE NATALLED WHERE THERE IS A CHANGE IN DIRECTION. CONTROL JOINTS AND AT THE CONTROL JOINTS AND AXIMUM. CONTROL JOINTS AT THE CEILING AND WALL CONTROL JOINTS ARE TO ALIGN AT ALL INTERSECTIONS WHERE APPLICABLE TO FORM A CONTRUL JOINTS ARE TO ALIGN AT THE TOP AND BOTTOM OF ALL INTERIOR RAMPS. H. UNLESS NOTED OTHERWISE, CORRIDOR PARTITION TYPE IN RESIDENTIAL AREA TO BE [1]. I. COORDINATE LOCATION OF BEARING WALLS INSIDE DWELLING UNITS WITH UNIT PLANS. J. REFER TO LIFE SAFETY PLANS FOR ADDITIONAL INFORMATION ON FIRE RATED PARTITION TYPE IN FIELD.
 KEYED NOTES (*) ADDITIONAL LAYER OF GYP. BD. (NOT SHOWN IN PARTITION TYPE) TO ALIGN WITH ADJACE PARTITIONS GYP. BD. ENCLOSED COLUMN AND CROSS BRACE TO SMALLEST SIZE POSSIBLE WITH STUDIGYP. BU HYRRING. EXTERIOR 1-HR FIRE RATED PARTITION PER UL USS. SEE LIFE SAFETY PLANS FOR EXTEND OF FATING. EXTERIOR 2-HR FIRE RATED PARTITION PER UL USS. FULLY ADHERED T.P.O. ROOF MEMBRANE. FULLY ADHERED T.P.O. ROOF MEMBRANE. FULLY ADHERED T.P.O. ROOF MEMBRANE. PRIMARY AND OVERTLOW ROOF DRANS. SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION IN THIS AREA. REFER TO INTERIOR DECOR DRAWINGS FOR ADDITIONAL INFORMATION IN THIS AREA. ENCLOSE EDMAUST VENT FROM CLUB ROOM FIRE PLACE WITH STUDISGYP. BD. TO SMALLEST SEE POSSIBLE. TAPERED INSULATION TO THRU WALL SCUPPER SEE 19A312. PAVERS ON PROESTALS OVER TAPERED INSULATION AND FLOOR DRANS. KEYPEN NOTES EXPANSION JOINT RE 10/4/2224 EXPANSION JOINT RE 10/4/2224

