

EXTENDED LOT AREA = 10,152.0 SF  
 DRIVEWAY APPROACH = 227.2 SF  
 DRIVEWAY = 914.3 SF  
 SIDEWALK = 256.8 SF

DRIVEWAY SLOPE = 8.1%

- LEGEND**
- Gas Meter
  - Telephone or Fiber-Optic Pedestal
  - Cable TV Pedestal
  - Electric Pedestal
  - Light Pole
  - Mailbox

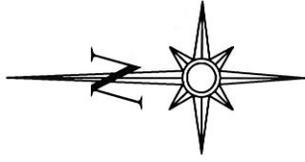
**PROPOSED HOUSE**

TOP FOUNDATION = 1020.50  
 GARAGE FLOOR = 1019.50  
 TOP FOOTING = 1011.50  
 BASEMENT FLOOR = 1011.83  
 TOP FOOTING (SUSPENDED SLAB) = 1009.50  
 BASEMENT FLOOR (SUSPENDED SLAB) = 1009.83

E = EXISTING ELEVATION  
 F = PROPOSED FINAL ELEVATION  
 G = ADJACENT GRADE AT EGRESS  
 U/E = UTILITY EASEMENT  
 B/L = BUILDING LINE  
 S/Y/S = SIDE YARD SETBACK  
 R/Y/S = REAR YARD SETBACK

**NOTES**

1. BUILDER TO VERIFY ALL BUILDING ELEVATIONS AND DIMENSIONS.
2. THIS PLOT PLAN DOES NOT



Scale 1" = 30'

**LOT INFORMATION**

9,360 SQ. FT.  
 MSFE = 1008.74  
 ADDRESS  
 3020 SW ARBORRIDGE DR

**LEGAL DESCRIPTION**

LOT 20, HAWTHORN RIDGE 1ST PLAT. A SUBDIVISION AS

This approval is issued in reliance upon information submitted by the applicant. Any permit issued pursuant to this approval may be suspended or revoked whenever the permit is issued in error, or on the basis of incorrect information supplied, or in violation of any ordinance or regulation. Approved plans shall not be changed, modified or altered without authorization. The issuance or granting of a permit or approval of plans shall not be construed to be a permit for, or an approval of, any violation of any of the provisions of the ordinance of the City of Lee's Summit, Missouri.

APPROVED *a to* DATE *11/21/2020*  
 PRINT NAME *Dylan Epperly*

