

Architect's Supplemental Instructions

PROJECT:
Summit Square
Apartments Phase II
 837 NW Donovan Road
 Lee's Summit, MO 64086

ARCHITECT'S SUPPLEMENTAL
INSTRUCTION NO.: 16

DATE OF ISSUANCE: August 28, 2019

OWNER: X
 ARCHITECT: X
 CONSULTANT:
 CONTRACTOR: X
 FIELD: X
 OTHER:

OWNER:
Summit Square
Residences II, LLC
 4824 NW 41st St., Suite 500
 Riverside, MO 64150

CONTRACT FOR: General Construction

CONTRACT DATE: Oct. 1, 2018

FROM ARCHITECT:
NSPJ Architects, PA
 3515 West 75th St, Ste. 201
 Prairie Village, KS 66208

ARCHITECT'S PROJECT #: 614618

TO CONTRACTOR:
Neighbors Construction
 15226 W 87th St Parkway
 Lenexa, KS 66219

The Work shall be carried out in accordance with the following Supplemental Instructions issued in accordance with the Contract Documents.

DESCRIPTION:

At the Owner's request, an addition to serve as the Parcel Storage room was added to Building 1. Additional revisions and clarifications to the scope are summarized per sheet, and reason for the change where applicable:

Interior Decorative Lighting Schedule (8.5x11 located after narrative)
Interior Finish Matrix (8.5x11 located after narrative)

Architectural

- A1.11 Add scribe mold location at kitchen island
- A1.12 Add scribe mold location at kitchen island
- A1.13 Add scribe mold location at kitchen island
- A1.14 Add scribe mold location at kitchen island
- A1.15 Add scribe mold location at kitchen island
- A1.16 Add scribe mold location at kitchen island
- A1.17 Add scribe mold location at kitchen island
- A1.18 Remove backsplash in den; Add scribe mold location at kitchen island
- A1.19 Add scribe mold location at kitchen island
- A1.20 Add scribe mold location at kitchen island
- A1.22 Add scribe mold location at kitchen island
- A1.23 Add scribe mold location at kitchen island
- A1.24 Add scribe mold location at kitchen island
- A1.25 Add scribe mold location at kitchen island
- A1.30 Add scribe mold location at kitchen island

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 file size

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- A1.31 *Revise closet shelving; Add scribe mold location at kitchen island*
- A1.44 *Add detail 44—enlarged balcony per addition of Parcel Storage room*
- A2.10B *Revised with Parcel Storage room addition*
- A2.10SB *Revised with Parcel Storage room addition*
- A2.11B *Revised with Parcel Storage room addition*
- A2.15B *Revised Elevation for Parcel Storage room addition*
- A3.40 *Document Elevator Beam Height change (as indicated on Elevator Shop Dwgs)*
- A3.41 *Document Elevator Beam Height change (as indicated on Elevator Shop Dwgs)*
- A3.42 *Document Elevator Beam Height change (as indicated on Elevator Shop Dwgs)*
- A7.00 *Addition of Parcel Storage room, Removal of Yoga Storage Room and associated changes*
- A7.01 *Addition of Parcel Storage room and associated changes*
- A7.02 *Addition of Parcel Storage room and associated changes*
- A7.04 *Removal of Yoga Storage Room and associated changes*
- A7.05 *Revise closet shelving*
- A7.30 *Update Community Kitchen (also see ID)*
- A7.32 *Update Cyber Café and Mailroom (also see ID)*
- A7.33 *Update Spa Cabinetry (also see ID)*
- A7.34 *Update Cyber Café and Mailroom (also see ID)*
- A7.35 *Update Mailroom (also see ID)*
- A7.36 *Update finishes (also see ID)*
- A7.37 *Update finishes (also see ID)*
- A7.50 *Revisions to window & door schedule per revisions to Package Room & Yoga Storage Room*

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Structural – Framing

- S2.11B *Addition of Parcel Storage room and associated changes*
- S2.12B *Addition of Parcel Storage room and associated changes*
- S2.12C *Structural revisions (as previously indicated on TJI shop dwgs)*

Structural – Concrete

- FD-1.8 *Addition of Parcel Storage room and associated changes*
- FD-2.8 *Addition of Parcel Storage room and associated changes*
- FD-3.8 *Addition of Parcel Storage room and associated changes*
- Mail Room (8.5x11) – *Additional Details RE: Addition of Parcel Storage room*

MEP

- ME1.02 *Misc. revisions*
- E1.06a *Misc. electrical revisions and additions*
- E1.06b *Misc. electrical revisions and additions*
- E1.07 *Misc. electrical revisions and additions*
- E2.04 *Misc. electrical revisions and additions*
- E2.05 *Misc. electrical revisions and additions*
- E4.05 *Update luminaire schedule per ID selected fixtures*

Civil

- C.04 *Addition of Parcel Storage reflected on plan*
- Exhibit A – *Grading Exhibit*
- Exhibit B – *Grading Exhibit*

Landscape

- L2.00 *Addition of Parcel Storage and associated changes*



Interior Design

ID100 Furniture Plan; New Sheet

ID101 Flooring Plan; New Sheet

ID102 Finish Plan; New Sheet

ID200 Interior Elevations; New Sheet

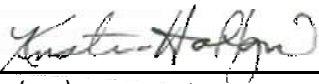
ID201 Interior Elevations; New Sheet

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ATTACHMENTS:

All Sheets Listed Above (*drawings all dated 08.23.19*)

ISSUED BY THE ARCHITECT:



(Signature)

Kristin Holtgrew, Designer III

(Printed name and title)



DRAWING RELEASE LOG

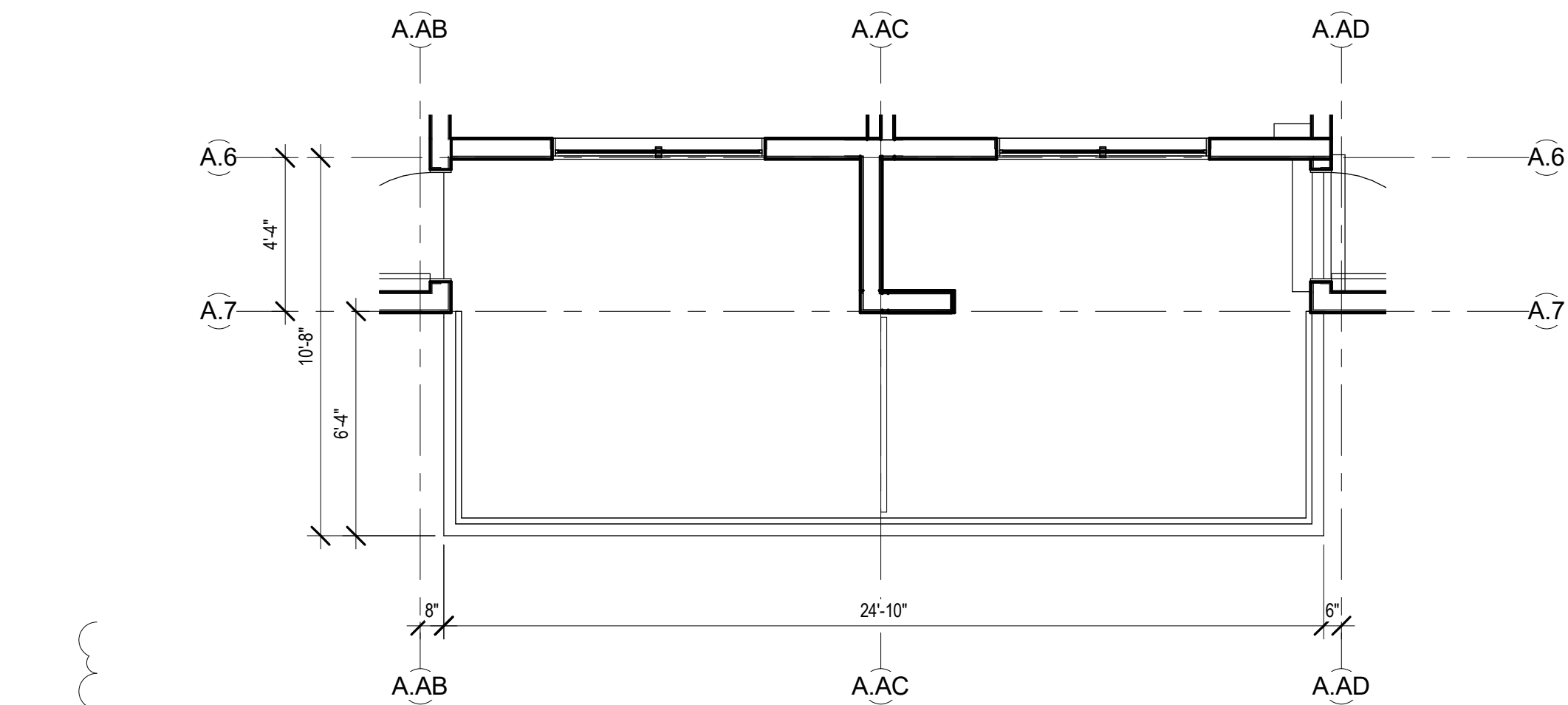
- 08.10.18 - PERMIT SET
- 09.28.18 - CONSTRUCTION SET

REVISIONS:

1 08.23.19 ASJ #016

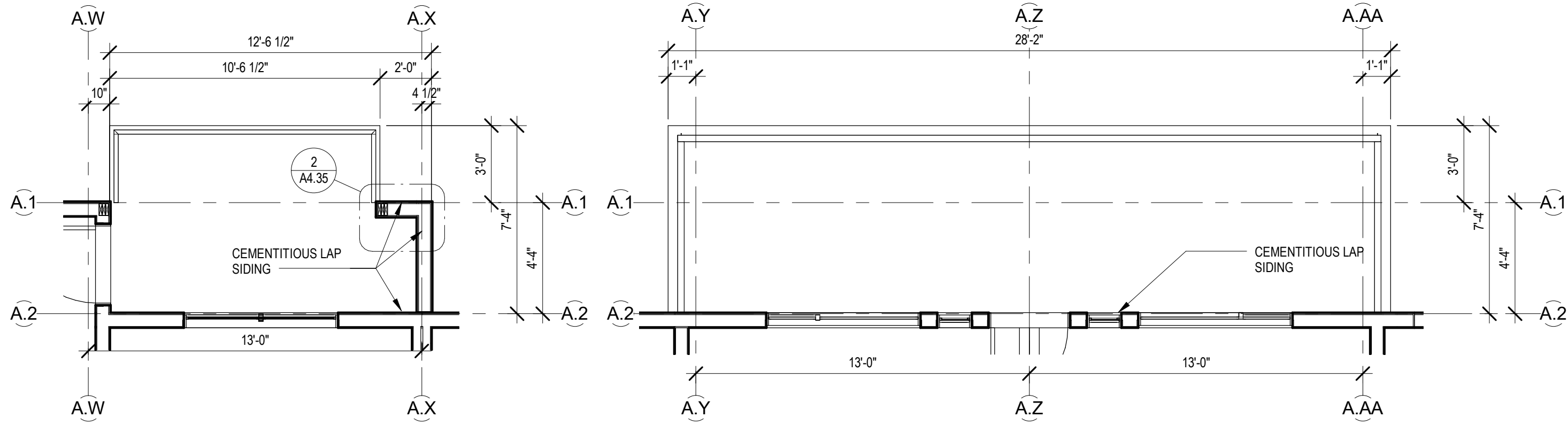
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A1.44



44 ENLARGED BALCONY PLAN

SCALE: 1/4" = 1'-0"

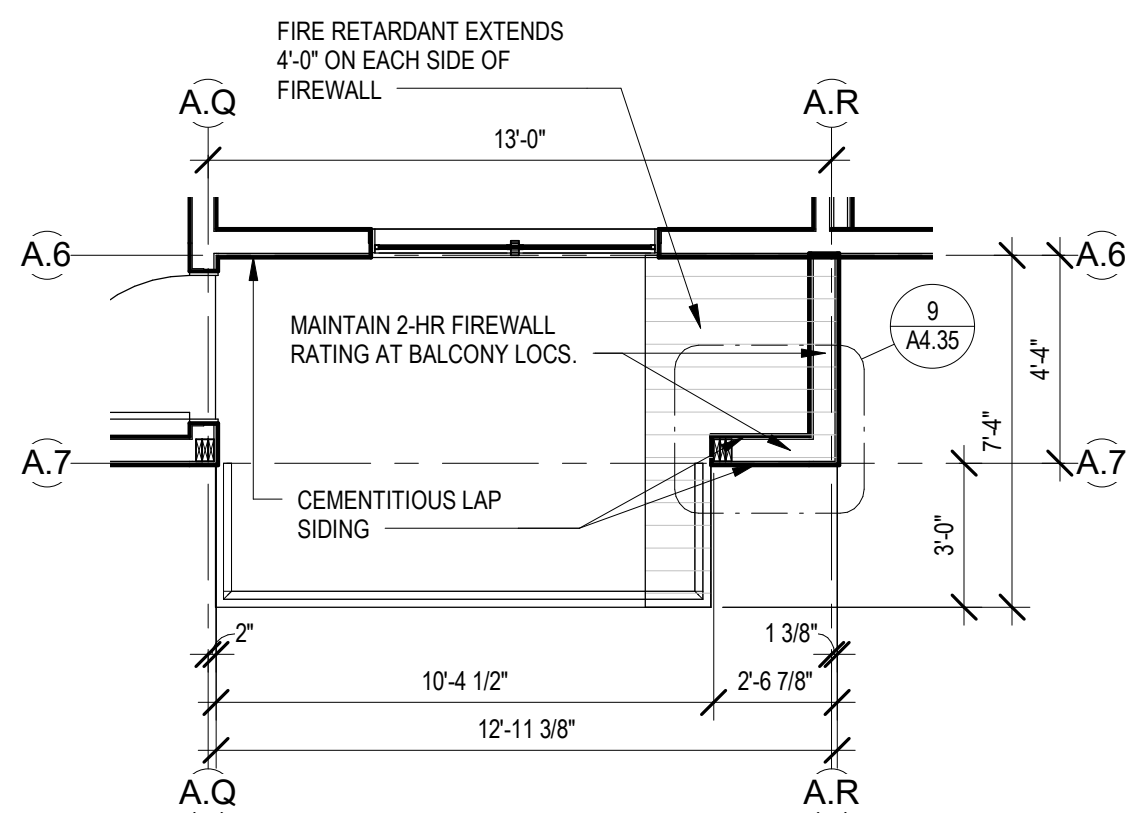


40 ENLARGED BALCONY PLAN

SCALE: 1/4" = 1'-0"

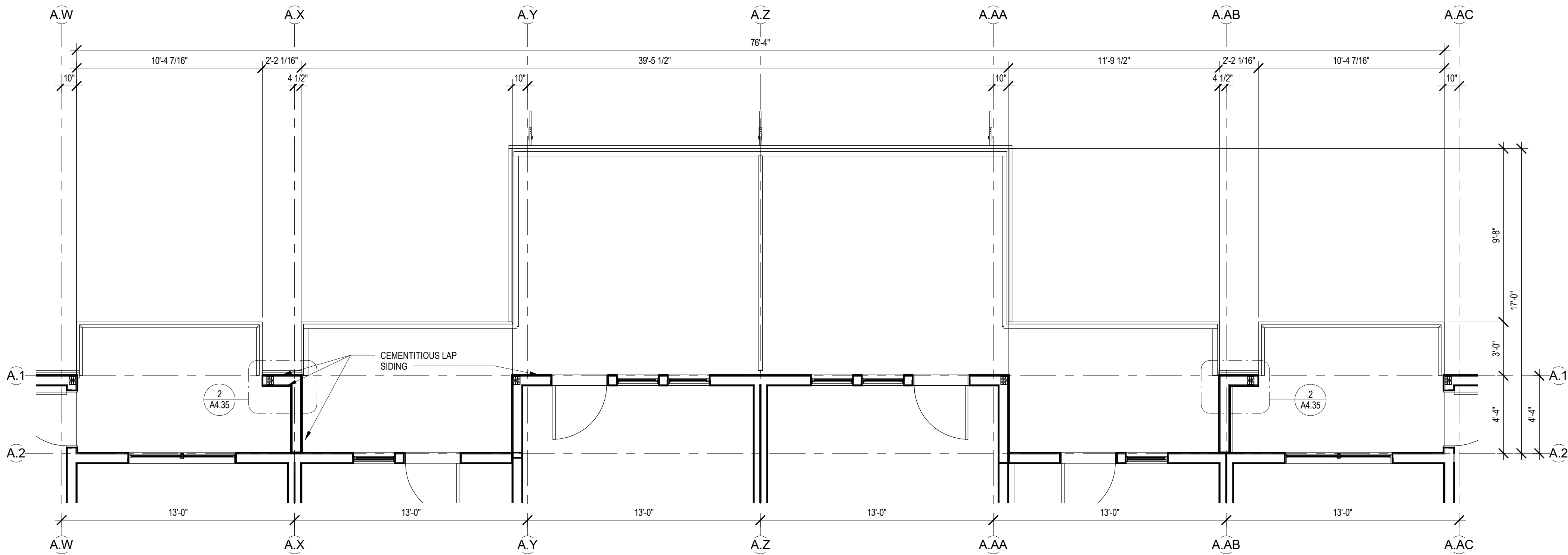
41 ENLARGED BALCONY PLAN

SCALE: 1/4" = 1'-0"



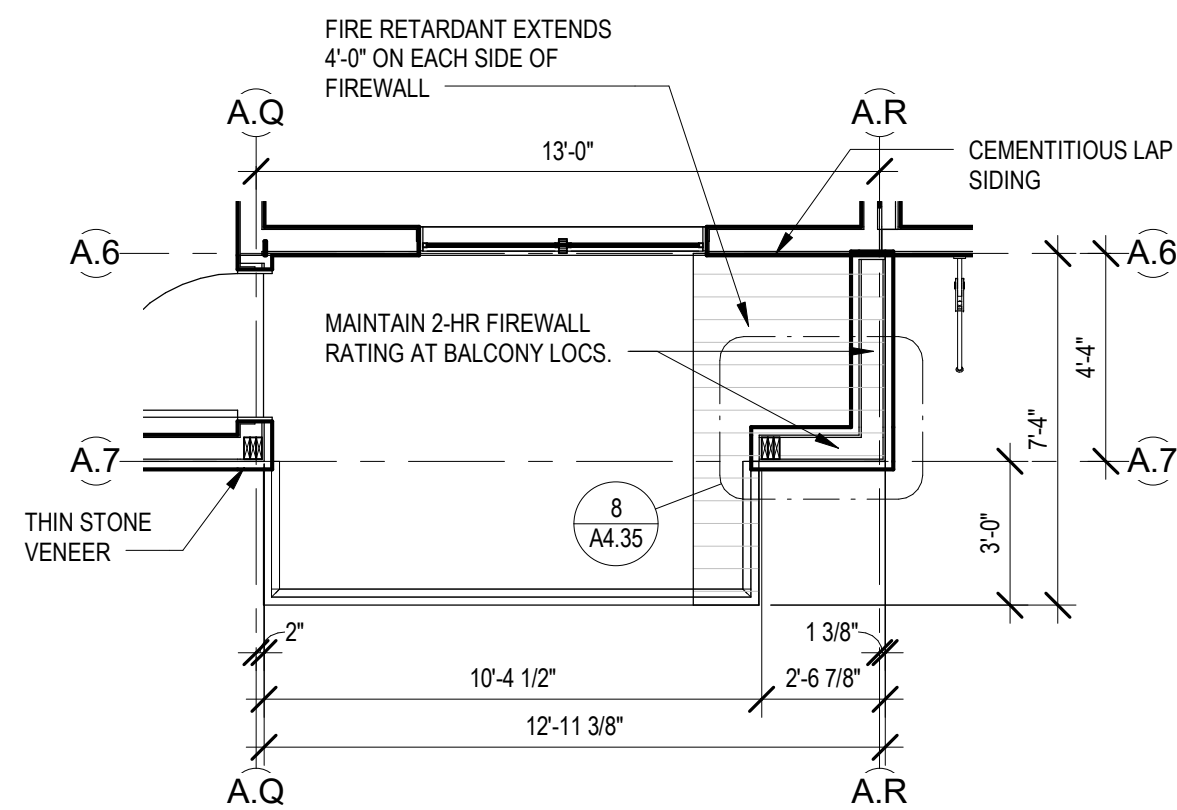
43 ENLARGED BALCONY PLAN

SCALE: 1/4" = 1'-0"



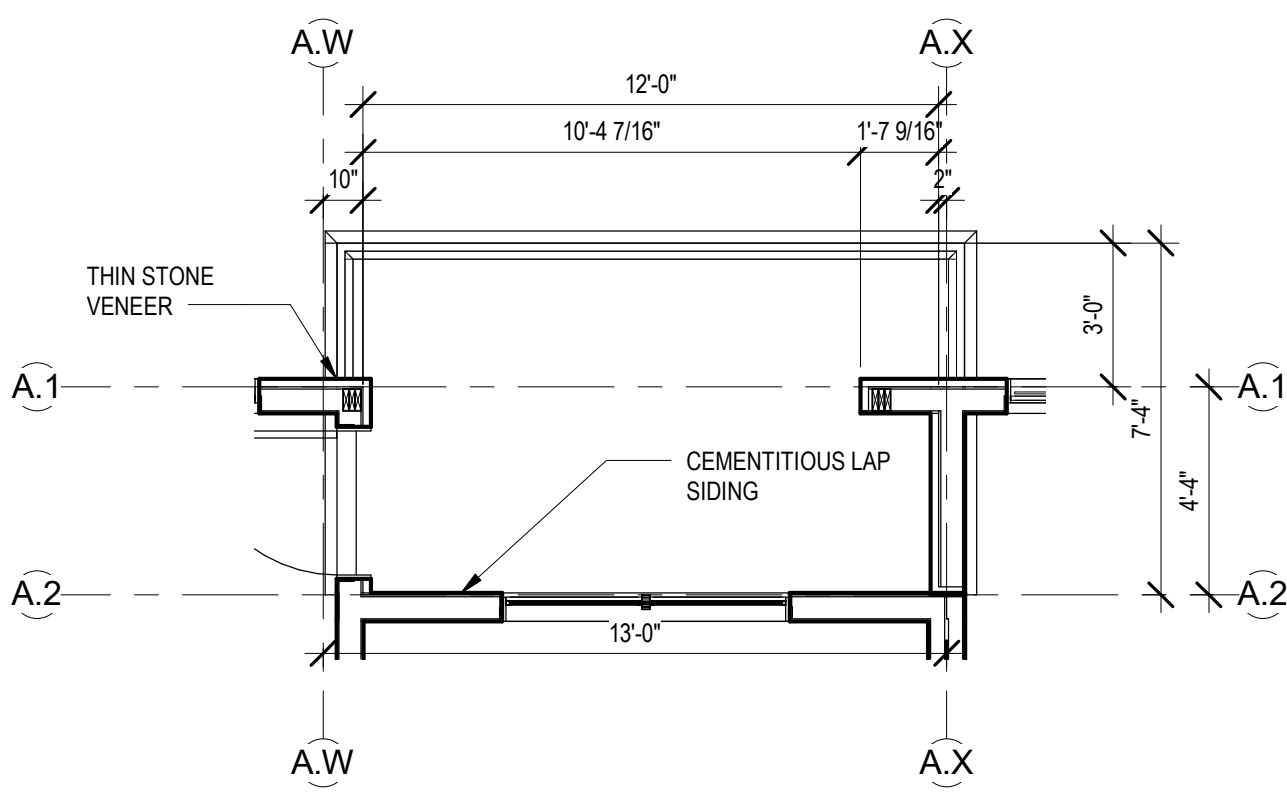
39 ENLARGED BALCONY PLAN

SCALE: 1/4" = 1'-0"



42 ENLARGED BALCONY PLAN

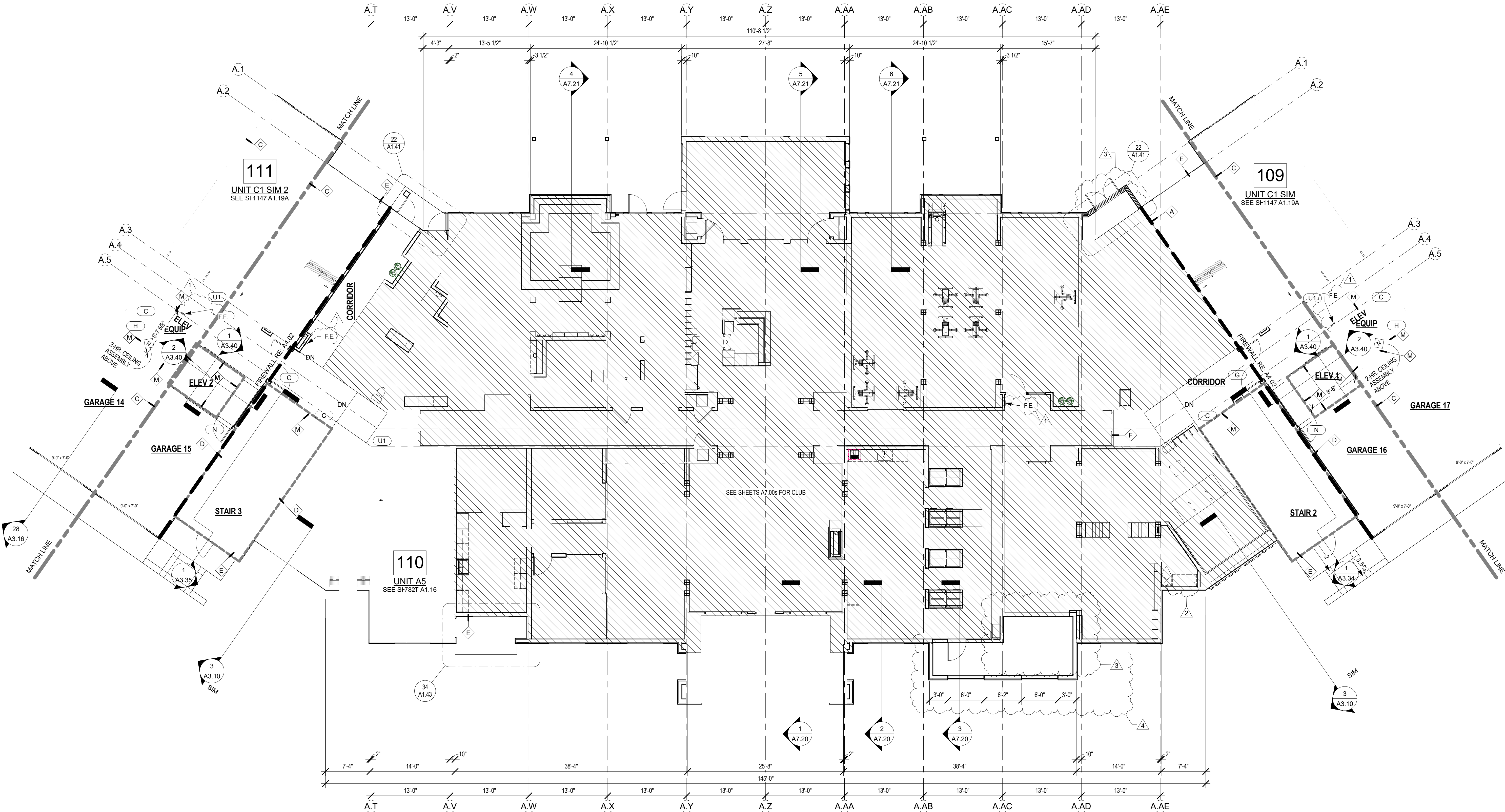
SCALE: 1/4" = 1'-0"



38 ENLARGED BALCONY PLAN

SCALE: 1/4" = 1'-0"

CONSTRUCTION SET



1 BUILDING #1 TYPE A 1ST FLOOR PLAN CENTER
SCALE: 1/8" = 1'-0"

- BUILDING PLAN GENERAL NOTES**
1. RATED ASSEMBLY TAGS ARE TYPICAL AT SIMILAR LOCATIONS NOT OTHERWISE NOTED.
 2. SEE SHEETS A4.00 - A4.03 FOR RATED ASSEMBLIES.
 3. SEE SHEETS A5.00, A5.10, AND A7.50 FOR DOOR AND WINDOW SCHEDULES.
 4. SEE SHEETS A1.10 - A1.31 FOR UNIT CEILING HEIGHTS.
 5. FIRE EXTINGUISHERS ARE TO BE LOCATED WITHIN EACH UNIT. SEE PLANS FOR OTHER FIRE EXTINGUISHER LOCATIONS.
 6. ONE FIRE SPRINKLER ROOM SHALL BE LOCATED IN EACH BUILDING. REFER TO PLANS FOR CORRECT LOCATION FOR EACH BUILDING.
 7. ALL RATED CEILINGS LOCATIONS IN ADDITION TO ALL SOFFITED AREAS TO RECEIVE CLASS II LOW-PERM PRIMER AT RATED CEILINGS, APPLIED PRIOR TO SOFFIT INSTALL. FINISHED SOFFIT SHALL ALSO RECEIVE CLASS II LOW-PERM PRIMER.
 8. IN LAUNDRY, WASHER ALWAYS TO THE LEFT AND DRYER ALWAYS TO THE RIGHT.
 9. SEE SHEET A5.20 FOR TYPICAL CORRIDOR DETAILS.
 10. RE: 1/A5.20 FOR CORRIDOR PILASTER.
 11. BALCONIES SHALL BE EQUIPPED WITH SPRINKLERS.
 12. KNOX BOXES SHALL BE INSTALLED AT PRIMARY RETURN FLOOR OF ALL ELEVATORS.

A NEW RESIDENCE / MULTI-FAMILY PROJECT FOR:

SUMMIT SQUARE II

LEE'S SUMMIT, MISSOURI



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- 08.10.18 - PERMIT SET
- 09.28.18 - CONSTRUCTION SET

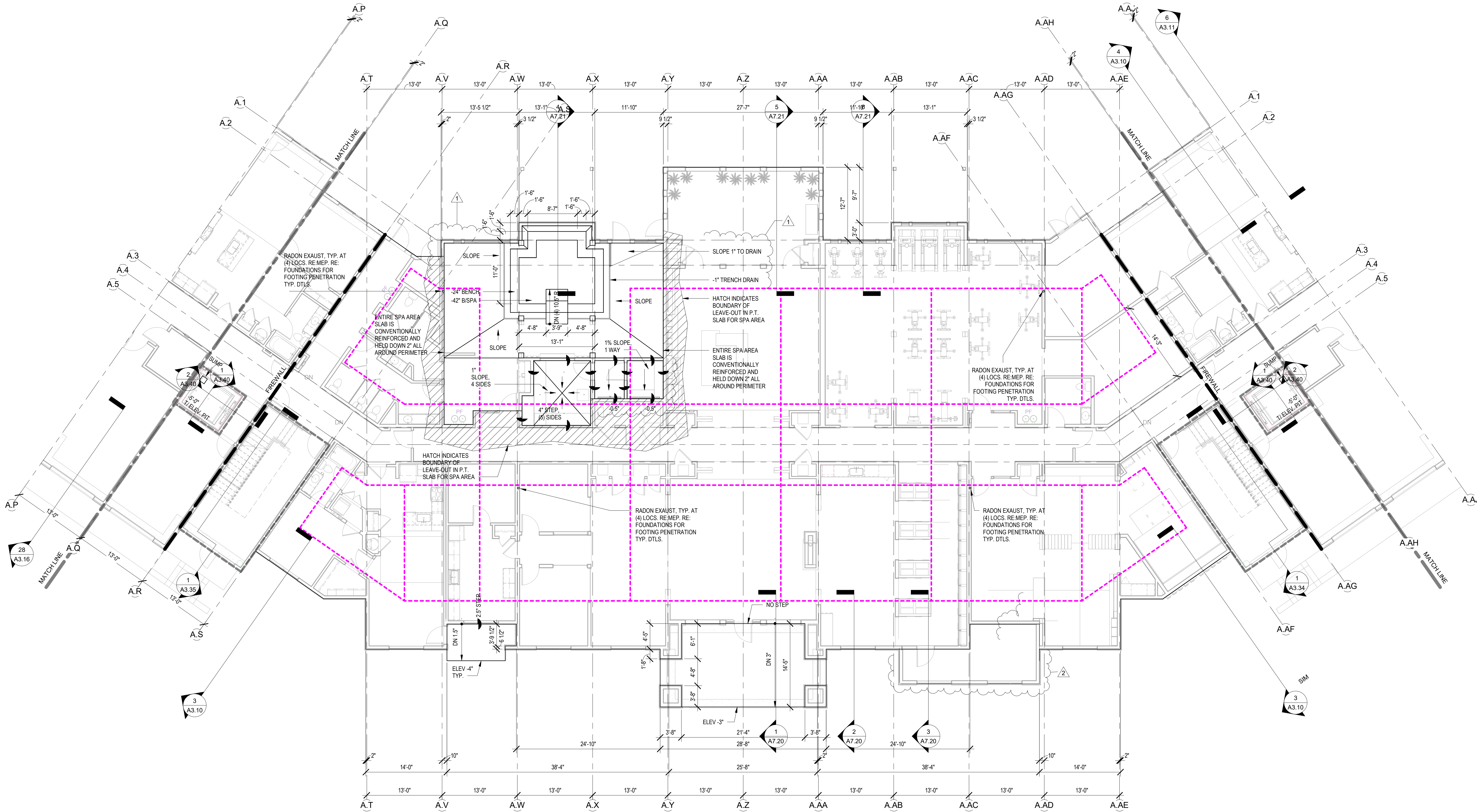
REVISIONS:

- 1 10.31.18 ADDENDUM 3
- 2 08.23.19 ASI #016

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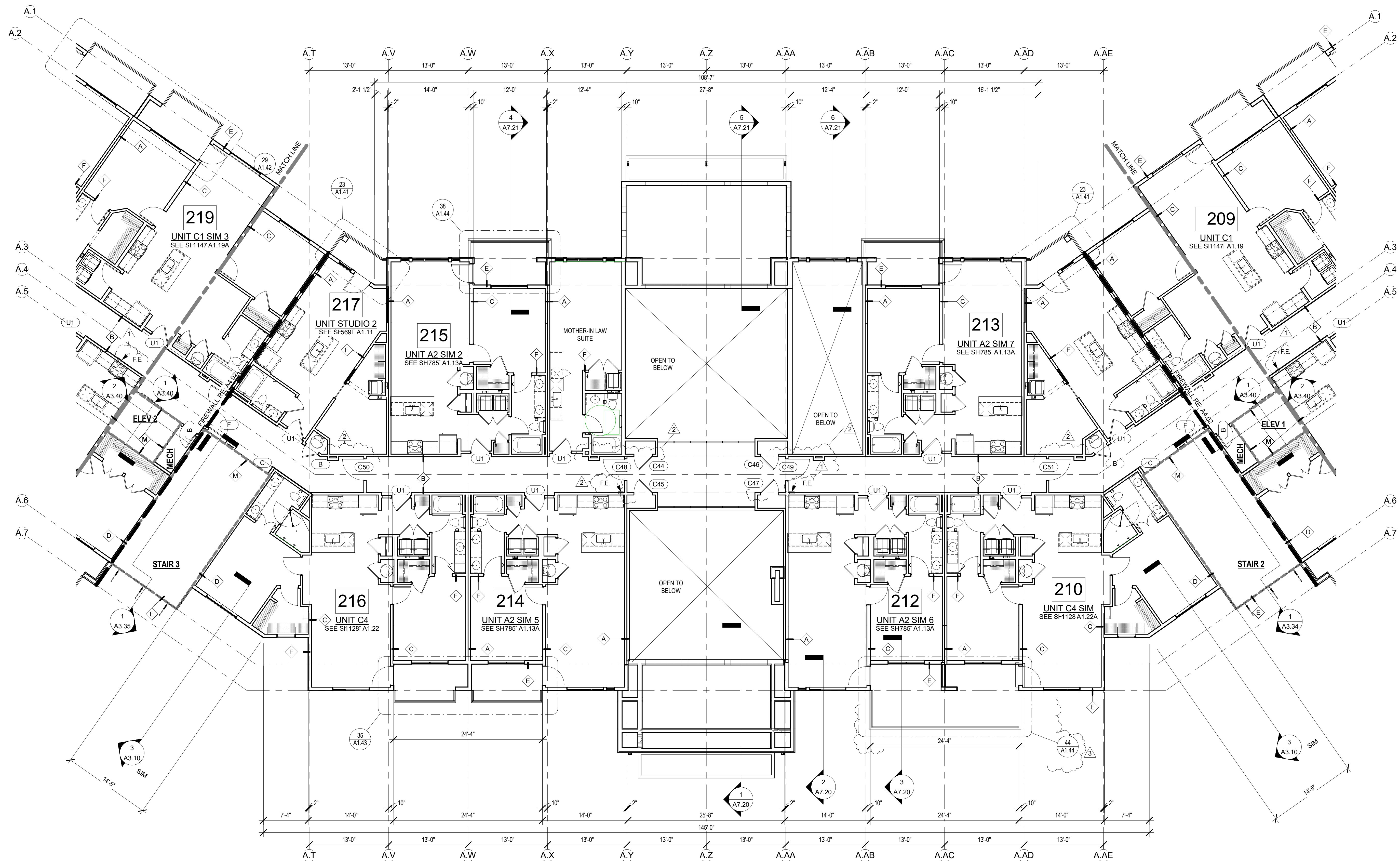
CONSTRUCTION SET

A2.10SB



1 BUILDING #1 TYPE A 1ST FLOOR PLAN CENTER
SCALE: 1/8" = 1'-0"

8/28/2019 1:37:30 AM



1 BUILDING #1 TYPE A 2ND FLOOR PLAN CENTER
SCALE: 1/8" = 1'-0"

- BUILDING PLAN GENERAL NOTES**
1. RATED ASSEMBLY TAGS ARE TYPICAL AT SIMILAR LOCATIONS NOT OTHERWISE NOTED.
 2. SEE SHEETS A4.00 - A4.03 FOR RATED ASSEMBLIES.
 3. SEE SHEETS A5.00, A5.10, AND A7.50 FOR DOOR AND WINDOW SCHEDULES.
 4. SEE SHEETS A1.10 - A1.31 FOR UNIT CEILING HEIGHTS.
 5. FIRE EXTINGUISHERS ARE TO BE LOCATED WITHIN EACH UNIT. SEE PLANS FOR OTHER FIRE EXTINGUISHER LOCATIONS.
 6. ONE FIRE SPRINKLER ROOM SHALL BE LOCATED IN EACH BUILDING. REFER TO PLANS FOR CORRECT LOCATION FOR EACH BUILDING.
 7. ALL RATED CEILINGS LOCATIONS IN ADDITION TO ALL SOFFITED AREAS TO RECEIVE CLASS II LOW-PERM PRIMER AT RATED CEILINGS, APPLIED PRIOR TO SOFFIT INSTALL. FINISHED SOFFIT SHALL ALSO RECEIVE CLASS II LOW-PERM PRIMER.
 8. IN LAUNDRY, WASHER ALWAYS TO THE LEFT AND DRYER ALWAYS TO THE RIGHT.
 9. SEE SHEET A5.20 FOR TYPICAL CORRIDOR DETAILS.
 10. RE: 1/A5.20 FOR CORRIDOR PILASTER.
 11. BALCONIES SHALL BE EQUIPPED WITH SPRINKLERS.
 12. KNOX BOXES SHALL BE INSTALLED AT PRIMARY RETURN FLOOR OF ALL ELEVATORS.

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A NEW RESIDENCE / MULTI-FAMILY PROJECT FOR:

SUMMIT SQUARE II

LEE'S SUMMIT, MISSOURI

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- 08.10.18 - PERMIT SET
- 09.28.18 - CONSTRUCTION SET

REVISIONS:

1	08.31.18	CITY COMMENTS
2	09.28.18	ADDENDUM 2
3	08.23.19	ASI #016

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A2.11B

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- 08.10.18 - PERMIT SET
- 09.28.18 - CONSTRUCTION SET

REVISIONS:

1	09.28.18	ADDENDUM 2
2	10.30.18	ADDENDUM 3
3	01.24.19	RFI #007
4	05.09.19	ASI #015
5	08.23.19	ASI #016

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1 BUILDING #1 TYPE A REAR CENTER ELEVATION
SCALE: 1/8" = 1'-0"

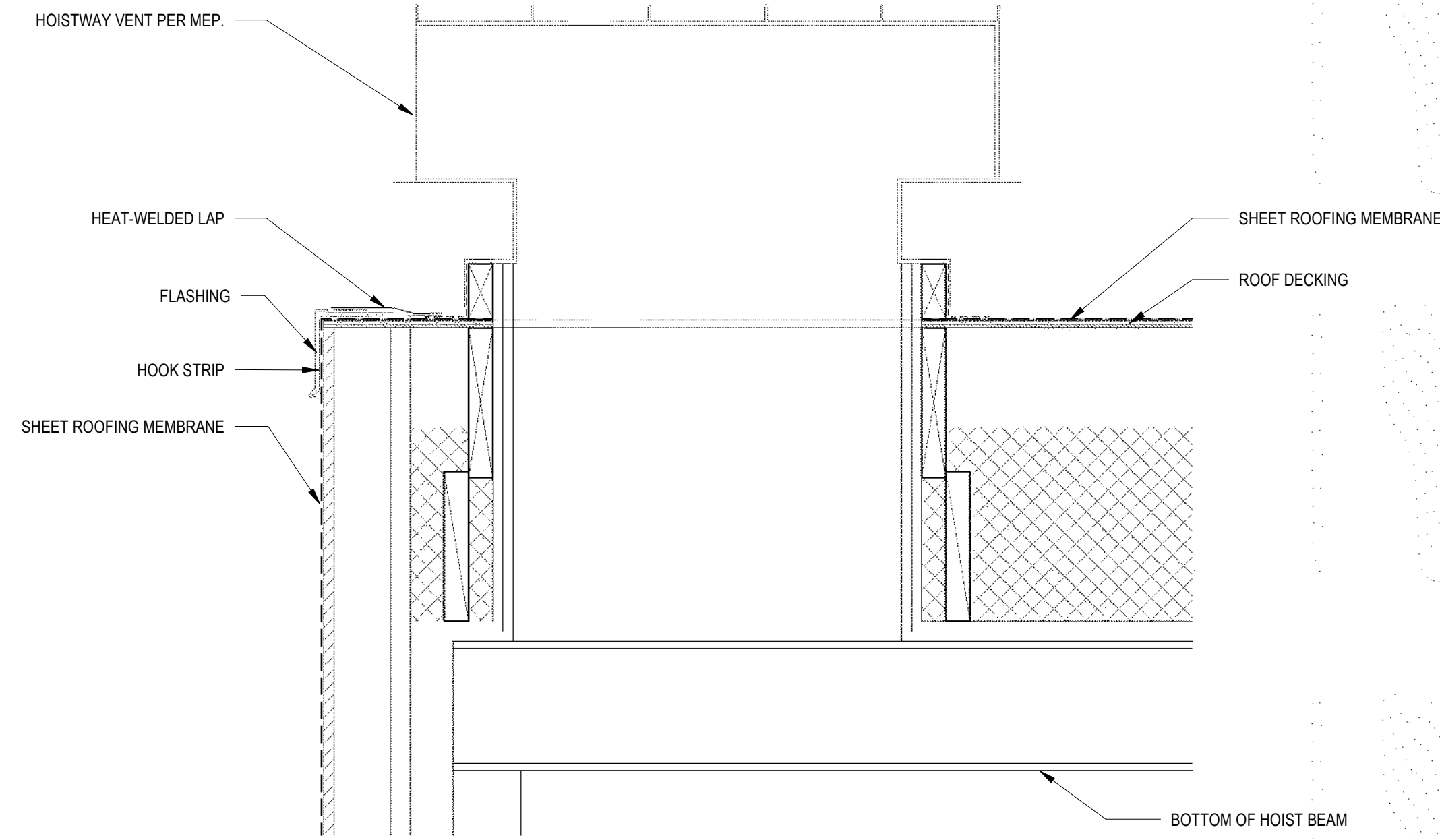


2 BUILDING #1 TYPE A FRONT CENTER ELEVATION
SCALE: 1/8" = 1'-0"

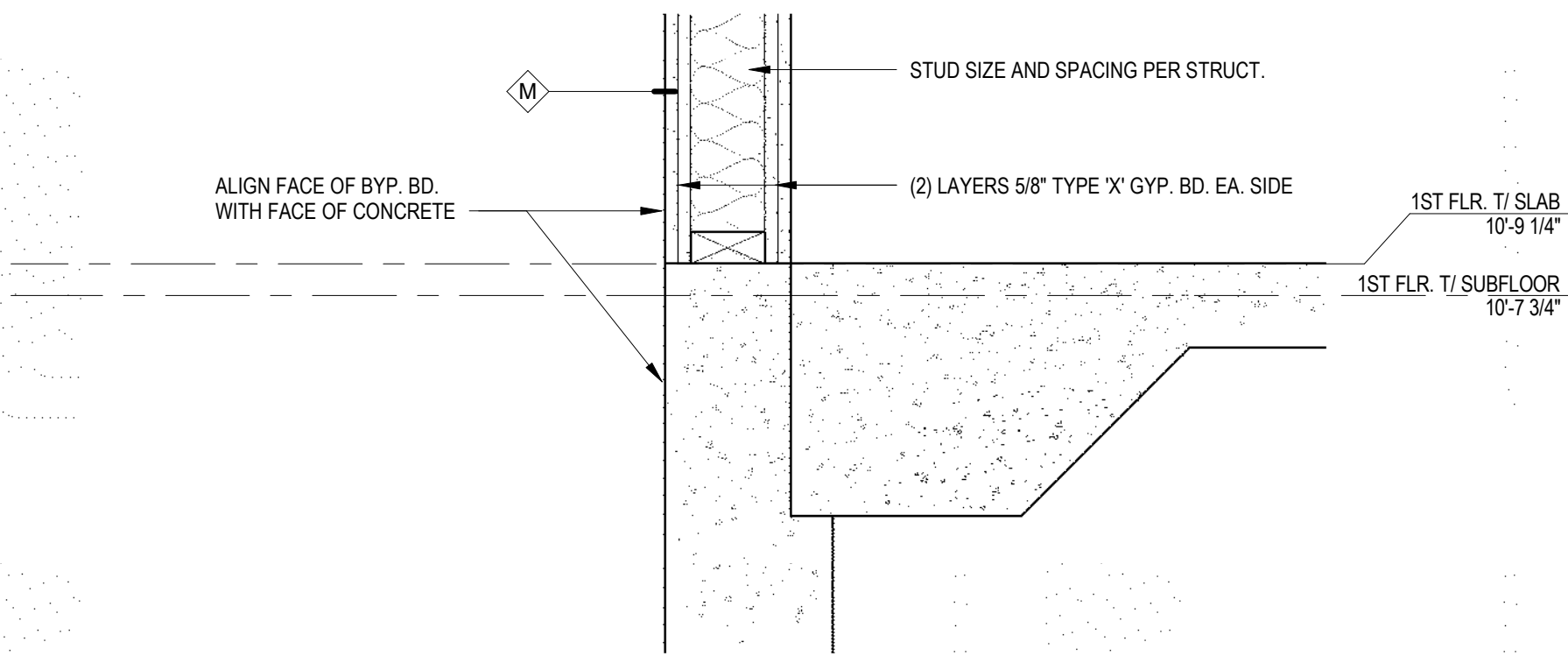
CONSTRUCTION SET

SHEET NO.

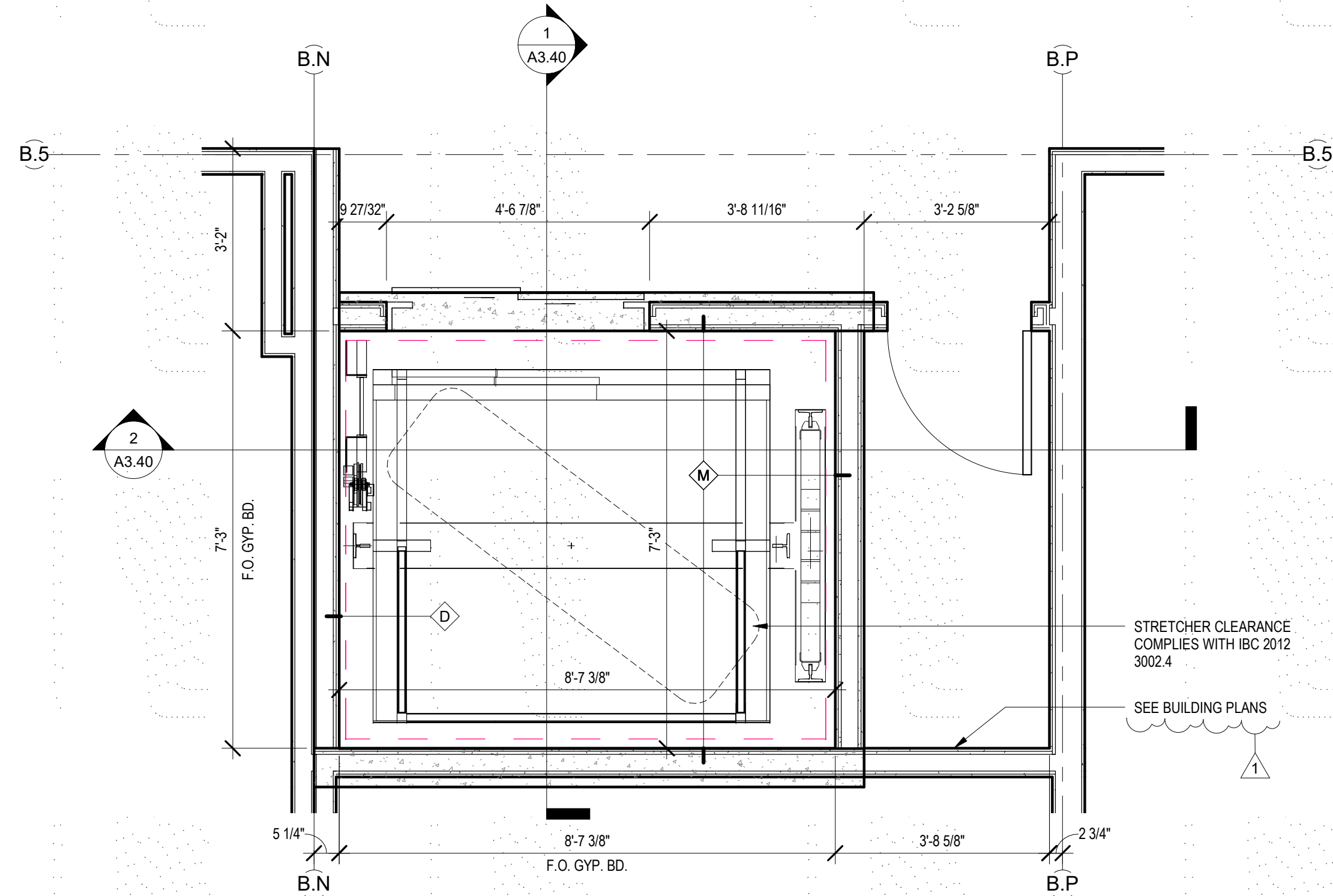
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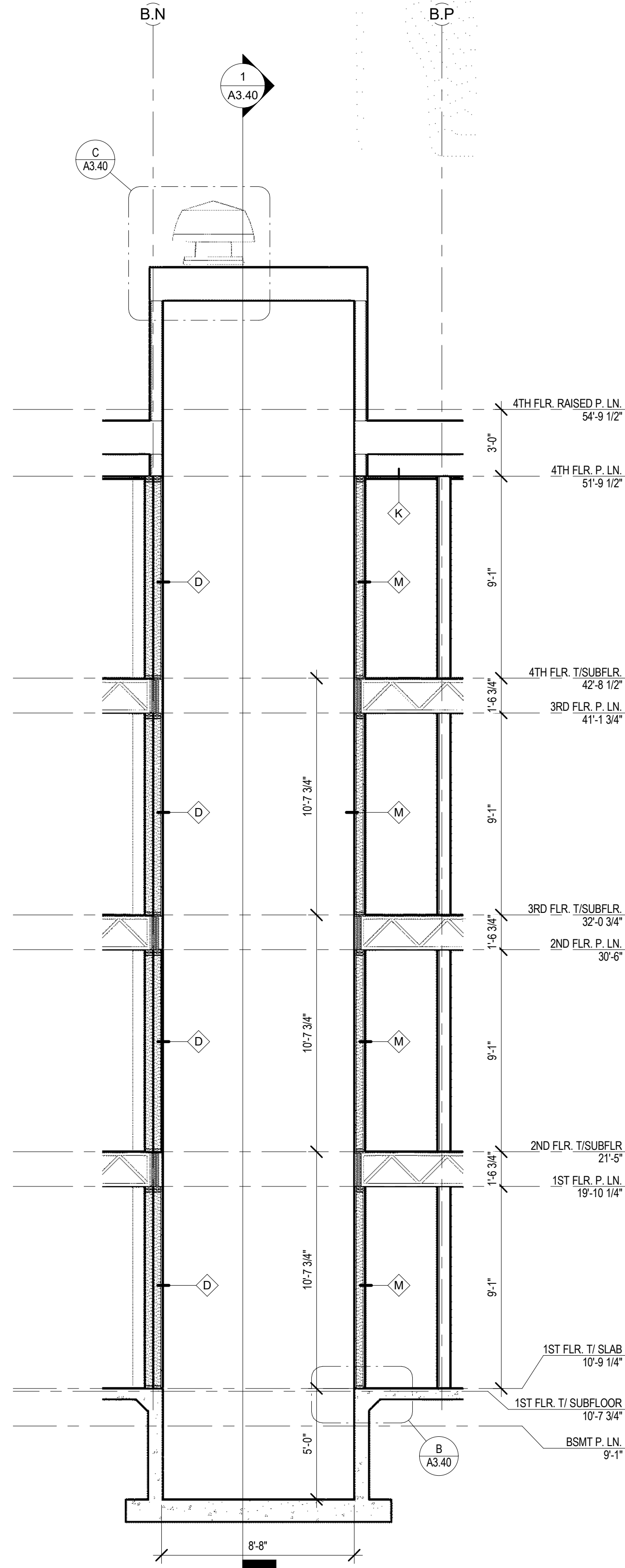
C ELEVATOR VENT DTL
SCALE: 1 1/2" = 1'-0"



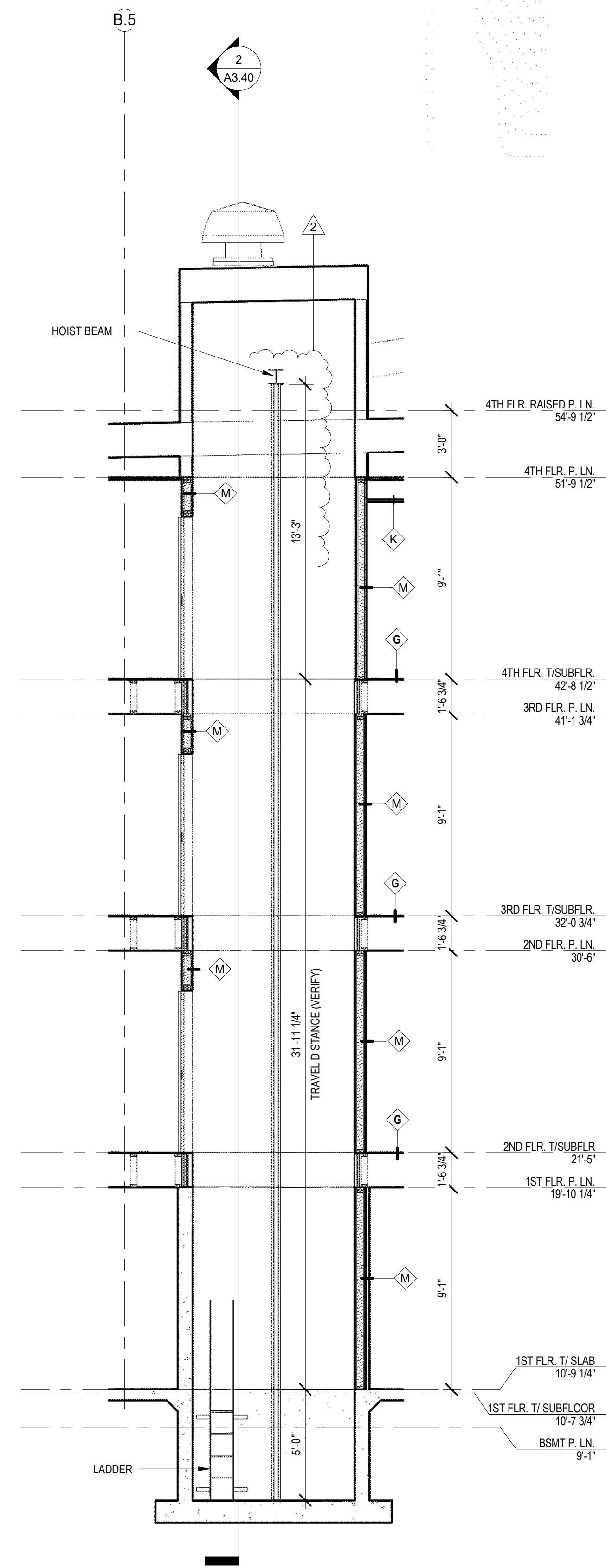
B ELEVATOR SHAFT WALL BLDG A/B DTL 01
SCALE: 1 1/2" = 1'-0"



A ELEVATOR PLAN 1ST-4TH FLR BLDG A/B
SCALE: 1/2" = 1'-0"

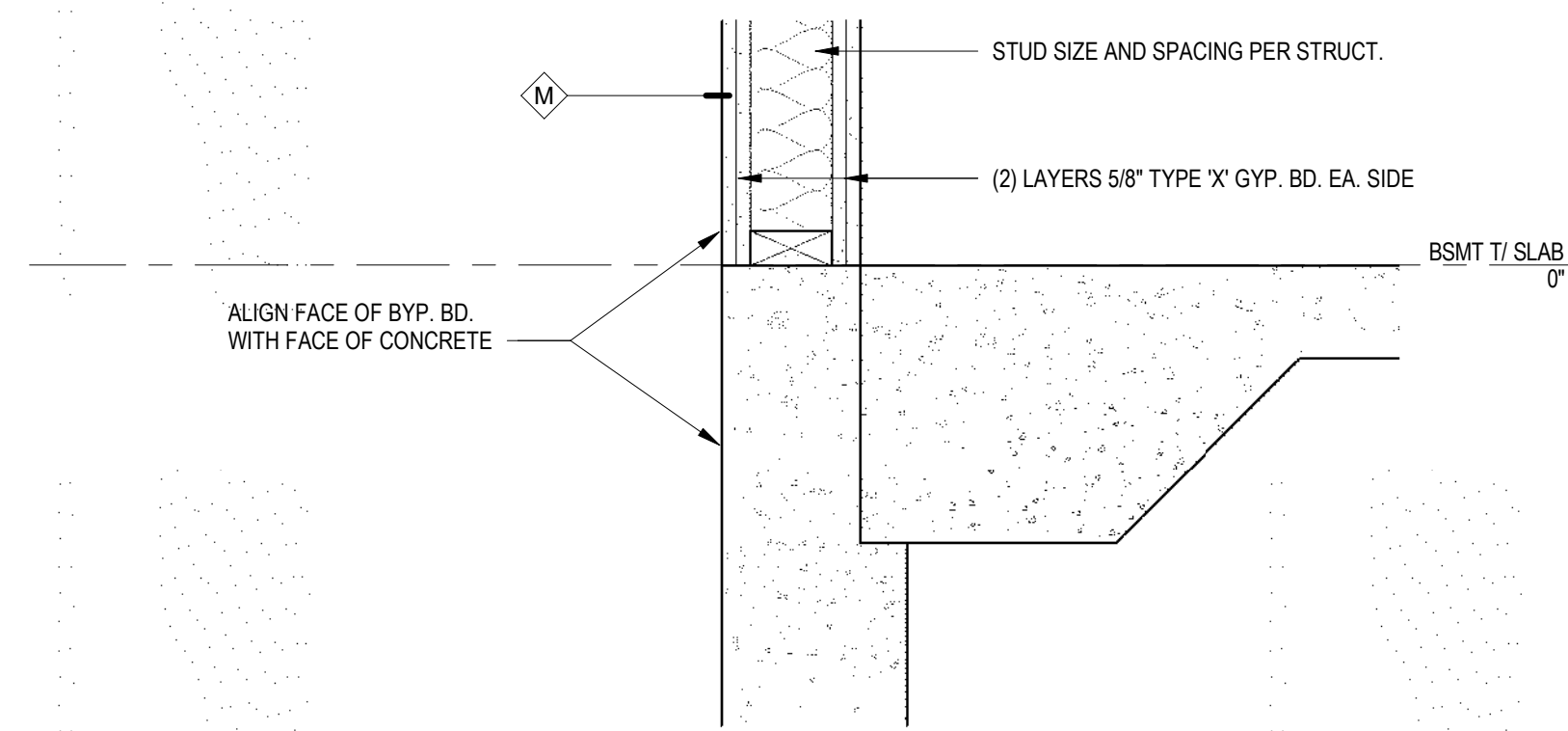


2 ELEVATOR SECTION BLDG A/B
SCALE: 1/4" = 1'-0"

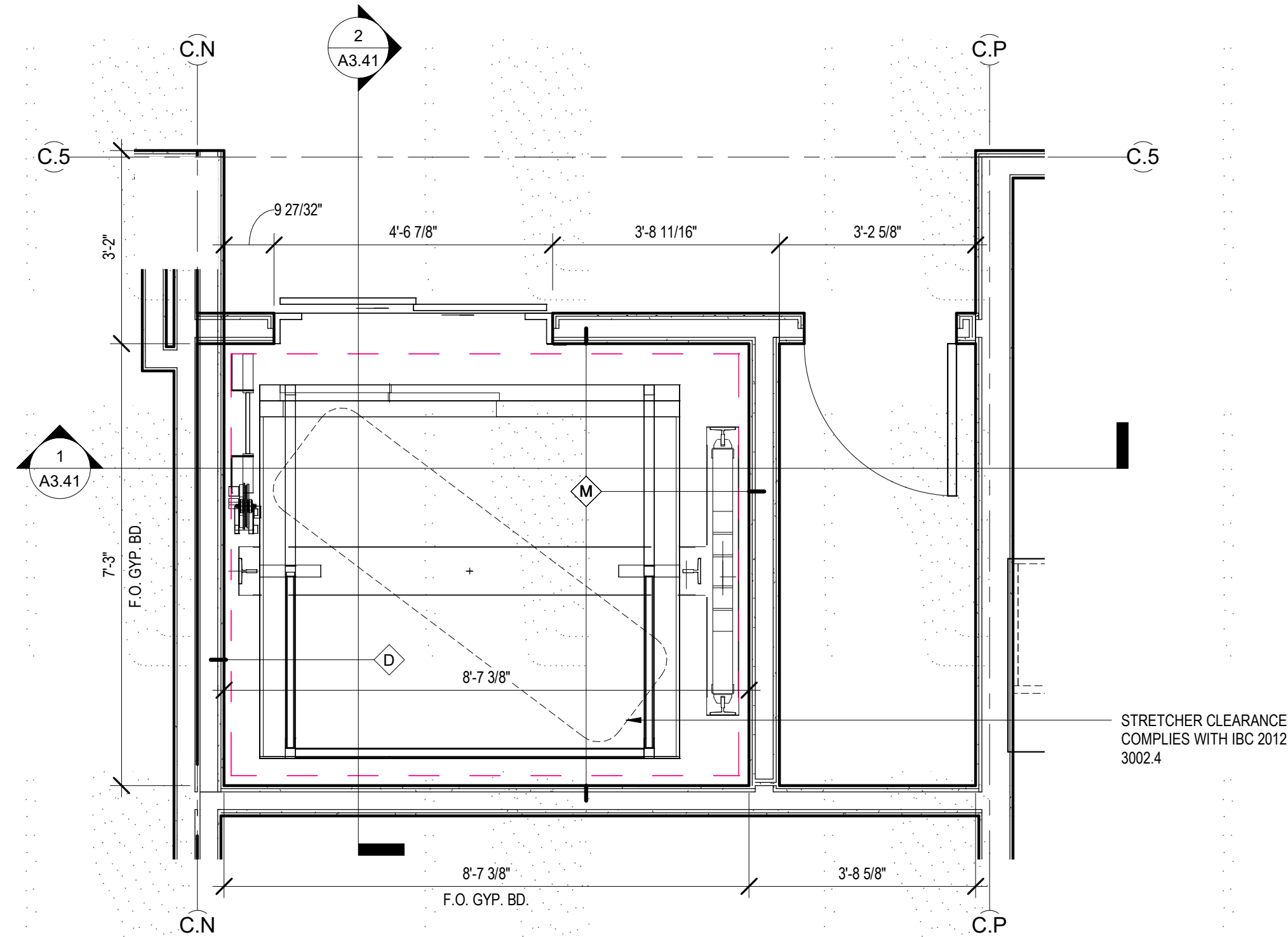


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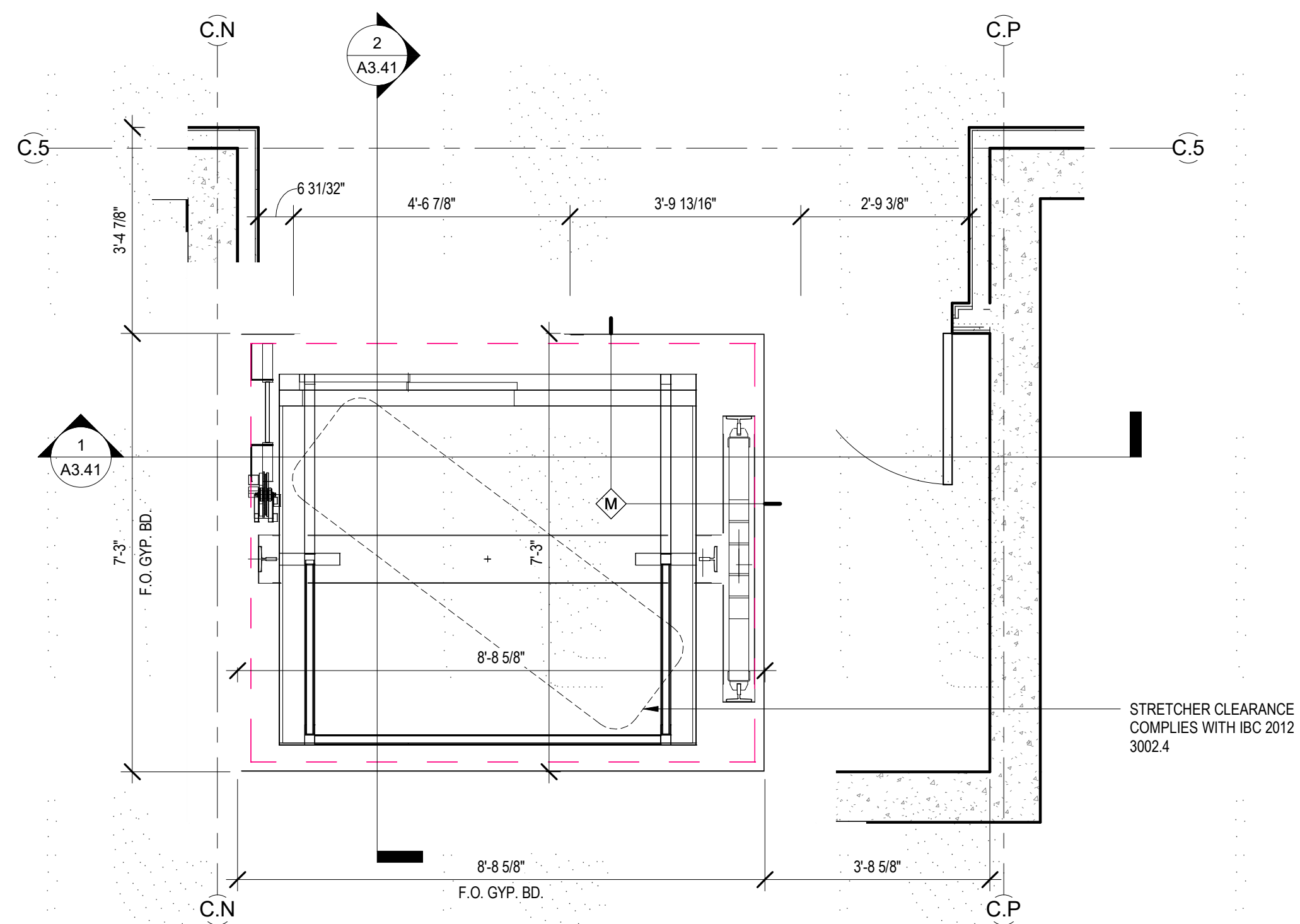
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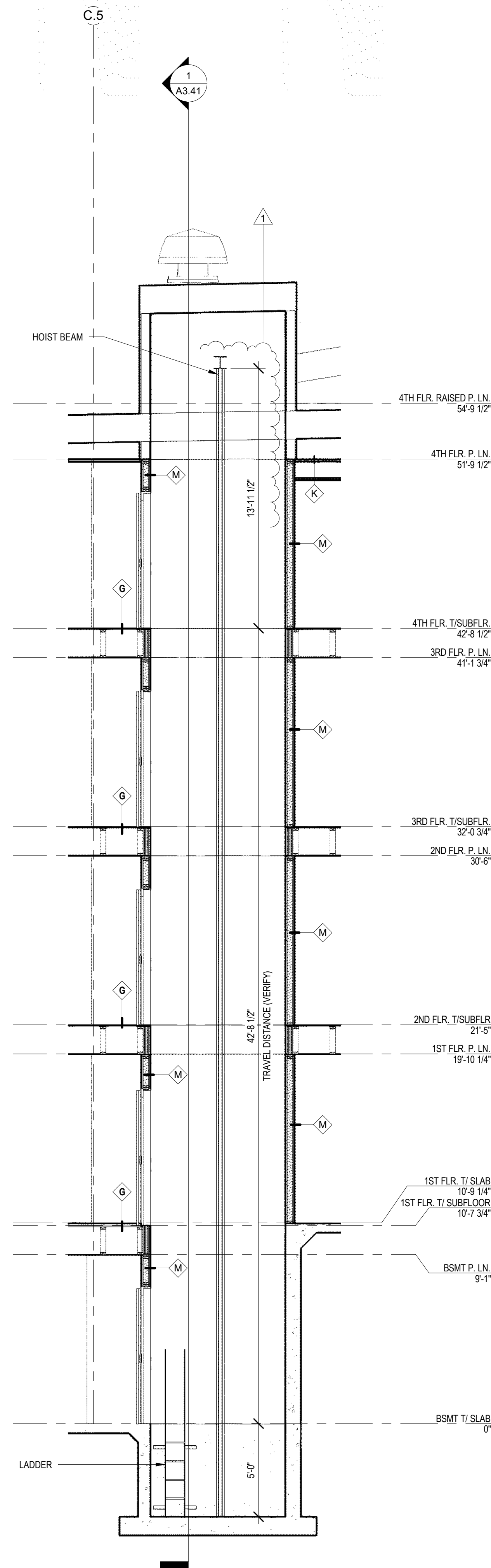
C ELEVATOR SHAFT WALL BLDG C DTL 02
SCALE: 1 1/2" = 1'-0"



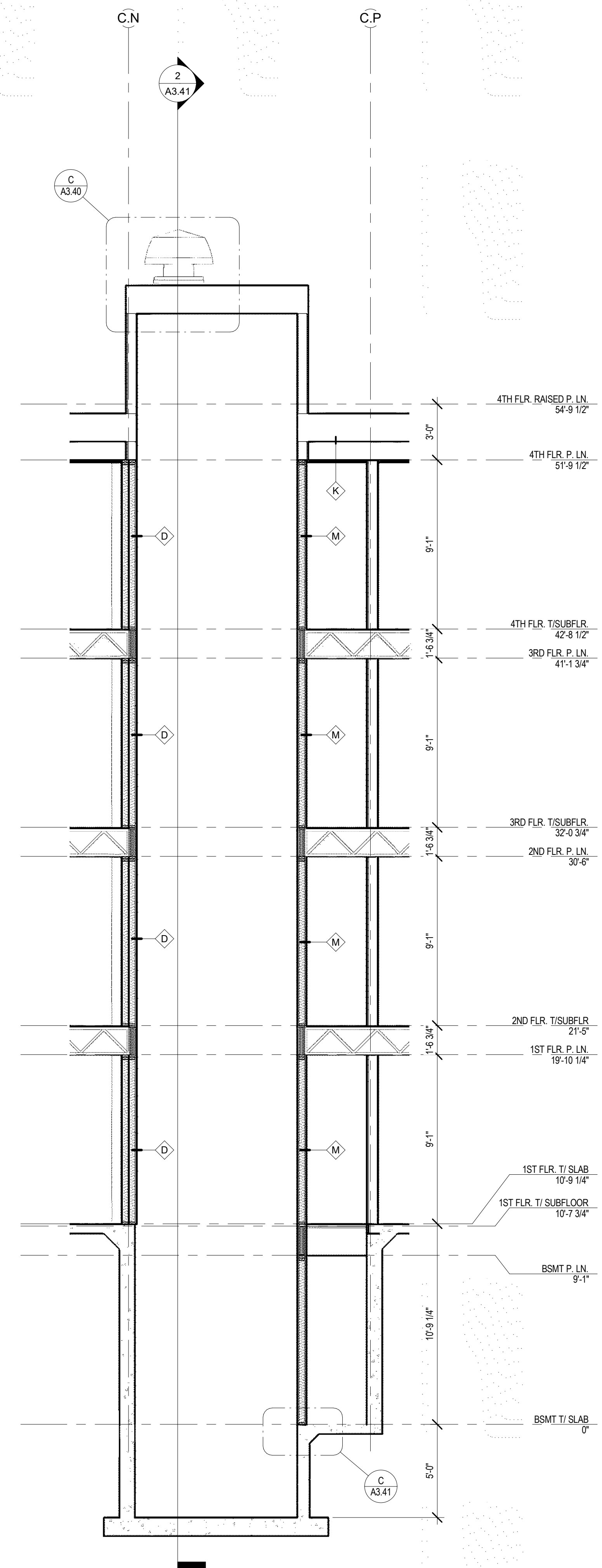
B ELEVATOR PLAN 1ST-4TH FLR BLDG C
SCALE: 1/2" = 1'-0"



A BUILDING #4 TYPE C BASEMENT FLOOR PLAN
SCALE: 1/2" = 1'-0"



2 ELEVATOR SECTION BLDG C
SCALE: 1/4" = 1'-0"



1 ELEVATOR SECTION BLDG C
SCALE: 1/4" = 1'-0"

CONSTRUCTION SET

A NEW RESIDENCE / MULTI-FAMILY PROJECT FOR:

SUMMIT SQUARE II

LEE'S SUMMIT, MISSOURI



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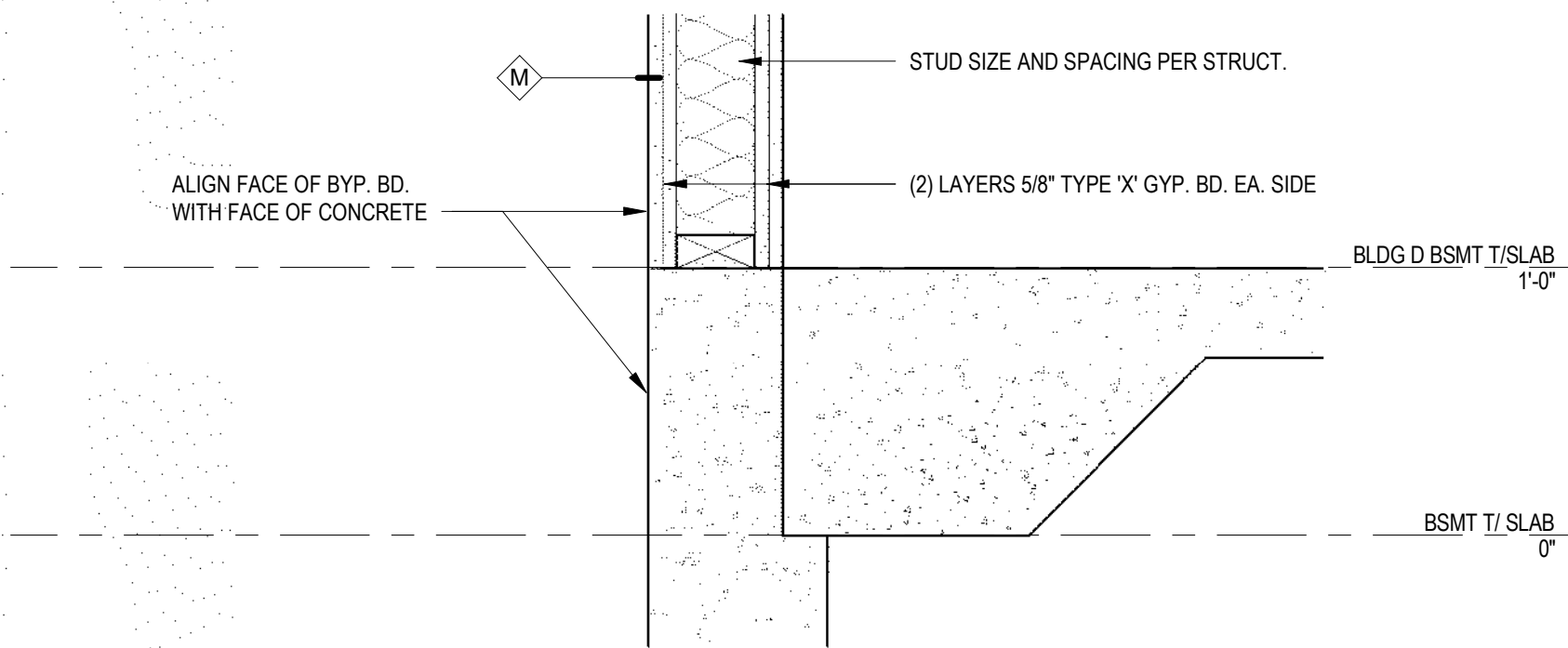
- 08.10.18 - PERMIT SET
- 09.28.18 - CONSTRUCTION SET

REVISIONS:
1 08.23.19 ASI #016

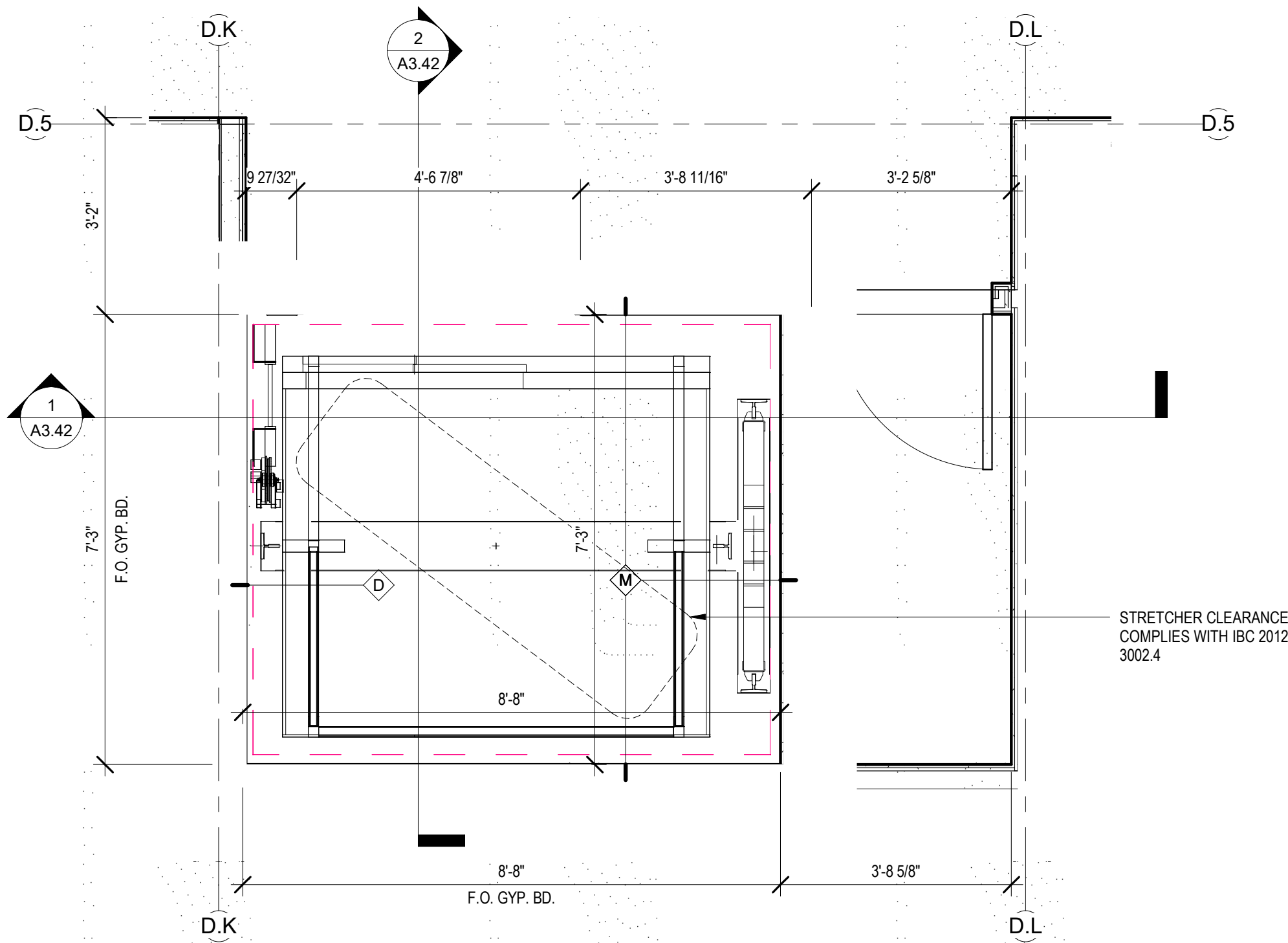
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A3.41

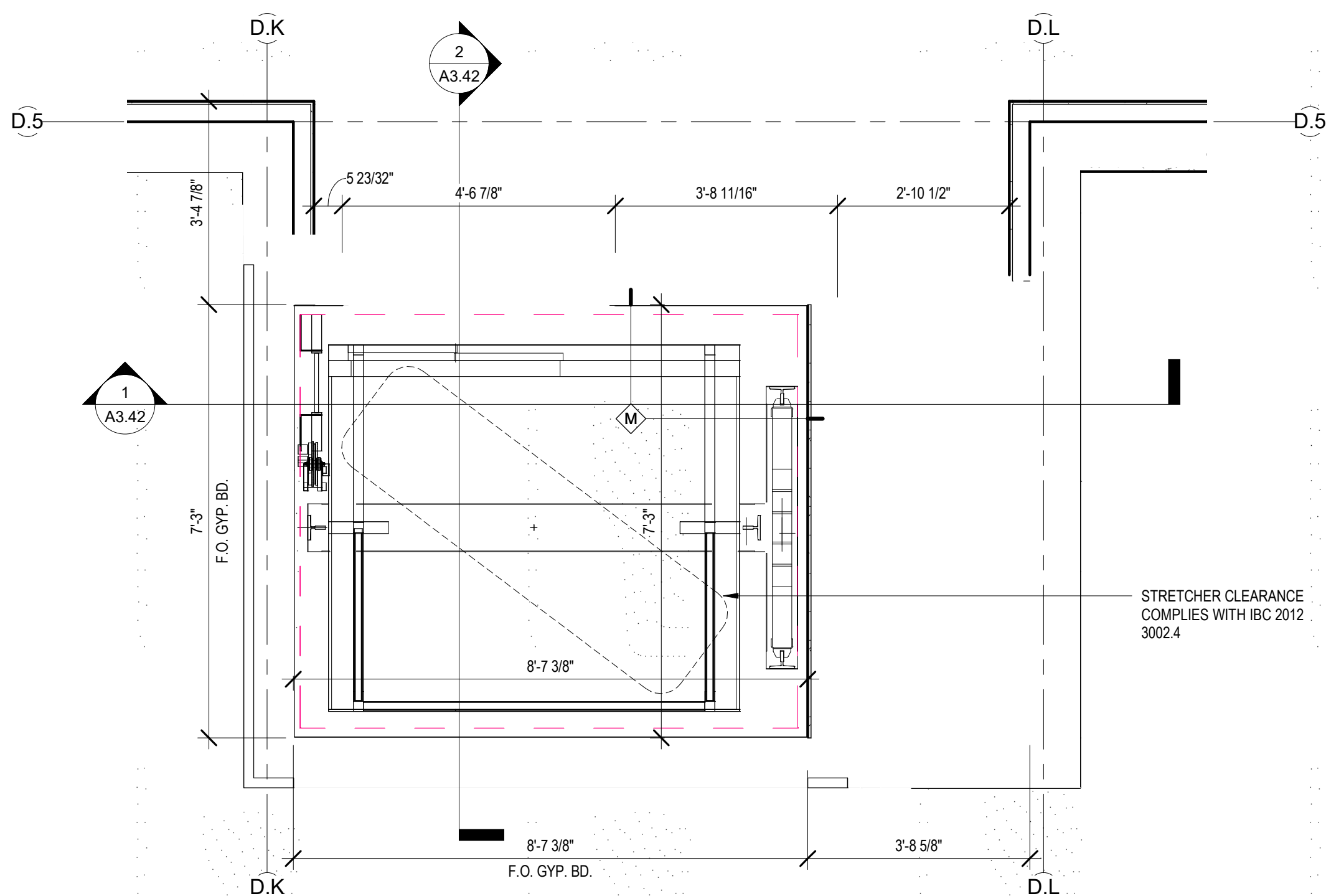
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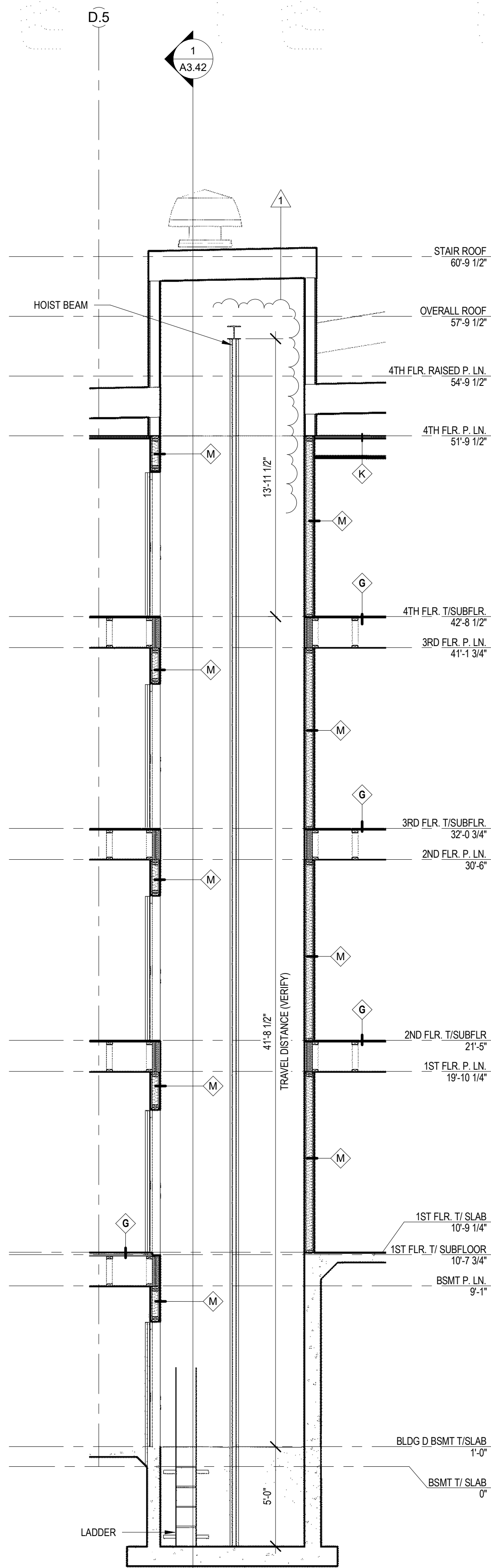
C ELEVATOR SHAFT WALL BLDG D - DTL 03
SCALE: 1 1/2" = 1'-0"



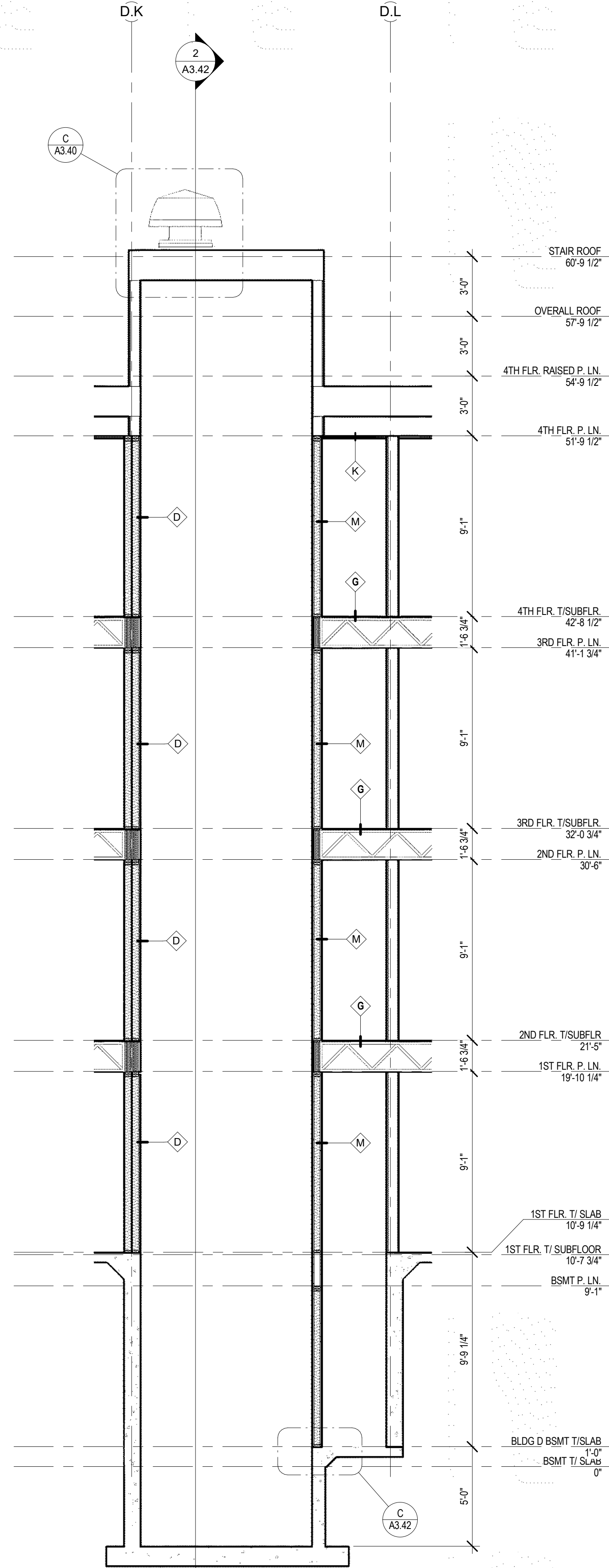
B ELEVATOR PLAN 1ST-4TH FLR BLDG D
SCALE: 1/2" = 1'-0"



A BUILDING #2 & #3 TYPE D BASEMENT FLOOR PLAN
SCALE: 1/2" = 1'-0"



2 ELEVATOR SECTION BLDG D
SCALE: 1/4" = 1'-0"



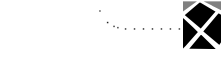
1 ELEVATOR SECTION BLDG D
SCALE: 1/4" = 1'-0"

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- 08.10.18 - PERMIT SET
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REVISIONS:
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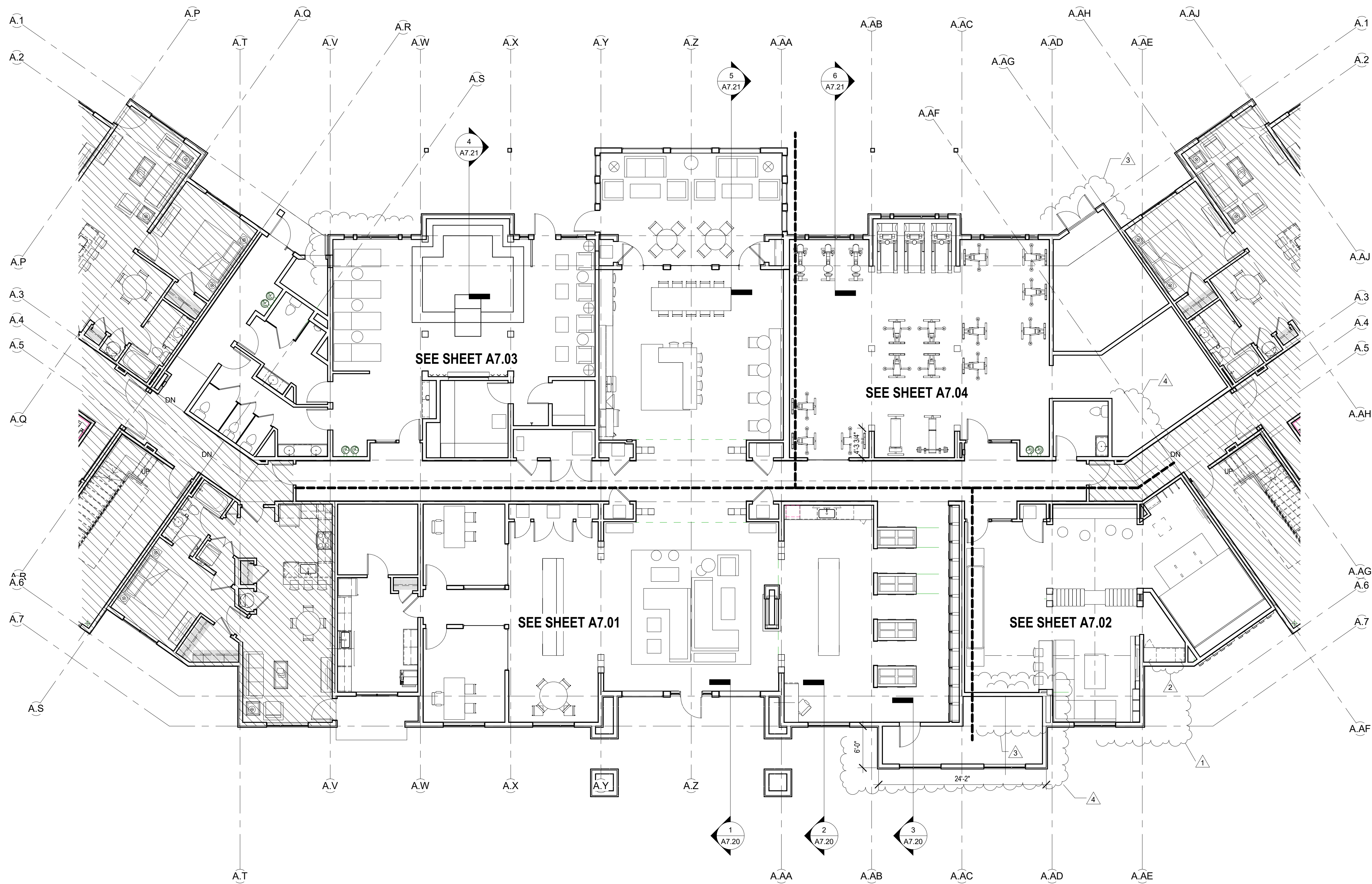
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1 CLUBHOUSE FLOOR PLAN (REFER TO 1/4" PLANS FOR ANNOTATIONS)
SCALE: 1/8" = 1'-0"

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SUMMIT SQUARE II

LEE'S SUMMIT, MISSOURI



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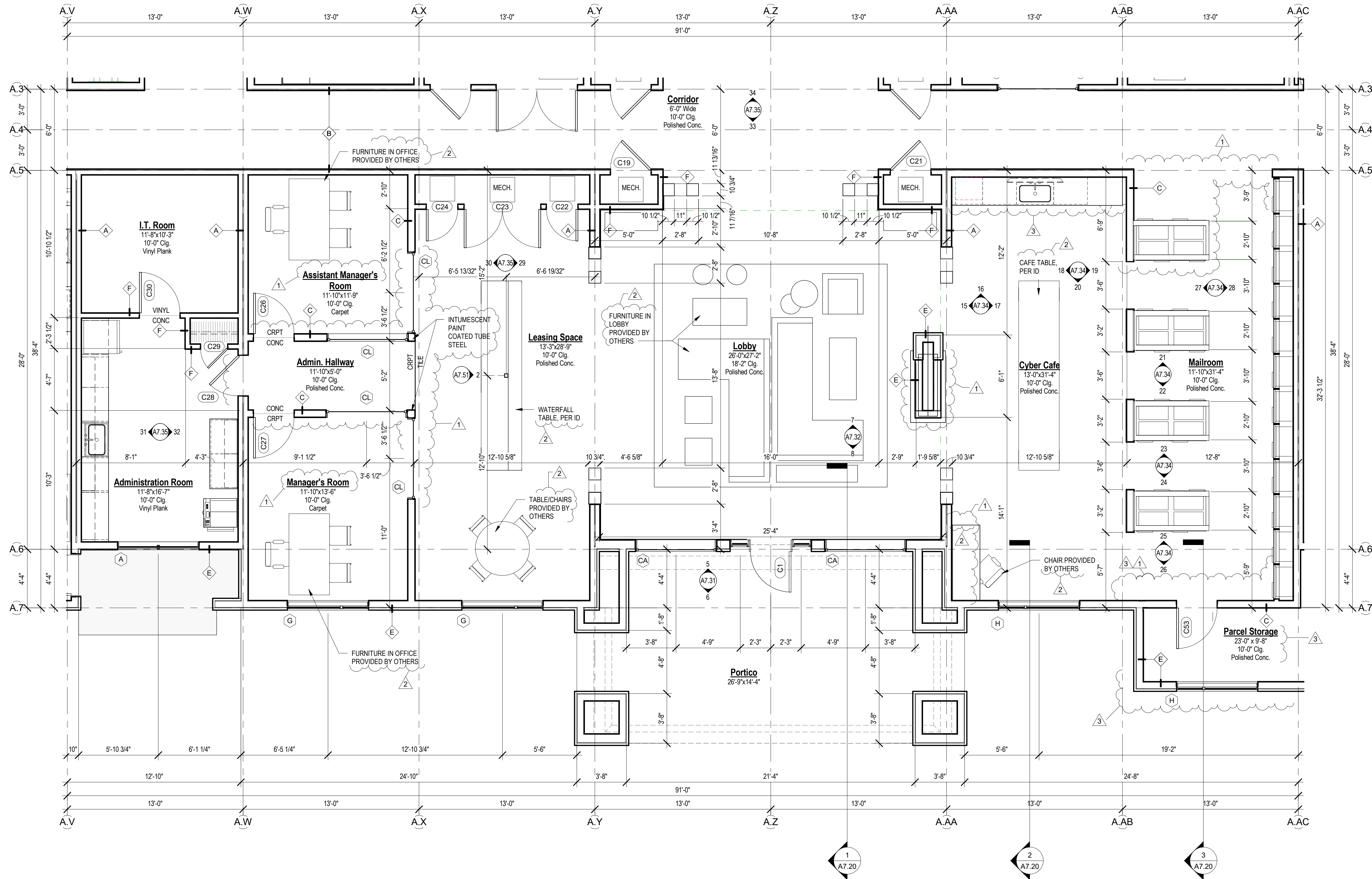
- 08.10.18 - PERMIT SET
- 09.28.18 - CONSTRUCTION SET

REVISIONS:

- 1 09.28.18 - ADDENDUM 2
- 2 10.30.18 - ADDENDUM 3
- 3 08.23.19 - ASI #016

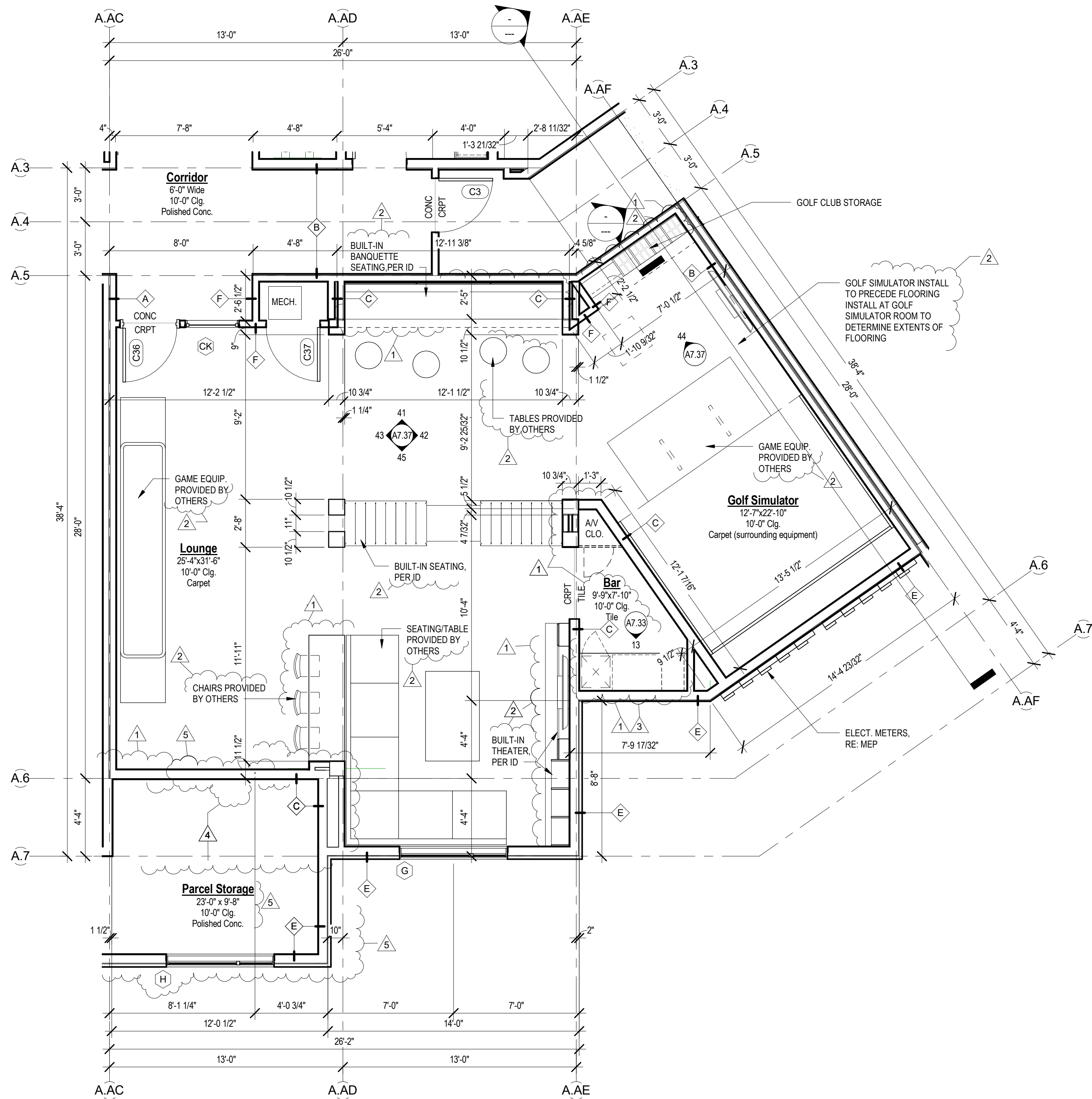
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SHEET NO.

A7.01



1 CLUBHOUSE ENLARGED FLOOR PLAN, LOWER LEFT
SCALE: 1/4" = 1'-0"

CONSTRUCTION SET



1 CLUBHOUSE ENLARGED FLOOR PLAN, LOWER RIGHT
SCALE: 1/4" = 1'-0"

A NEW RESIDENCE / MULTI-FAMILY PROJECT FOR:

SUMMIT SQUARE II

LEE'S SUMMIT, MISSOURI

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- 08.10.18 - PERMIT SET
- 09.28.18 - CONSTRUCTION SET

REVISIONS:

- 1 09.28.18 ADDENDUM 2
- 2 10.30.18 ADDENDUM 3
- 3 01.24.19 RFI #007
- 4 05.09.19 ASI #015
- 5 08.23.19 ASI #016

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CONSTRUCTION SET

A7.02

A NEW RESIDENCE / MULTI-FAMILY PROJECT FOR:

SUMMIT SQUARE II

LEE'S SUMMIT, MISSOURI

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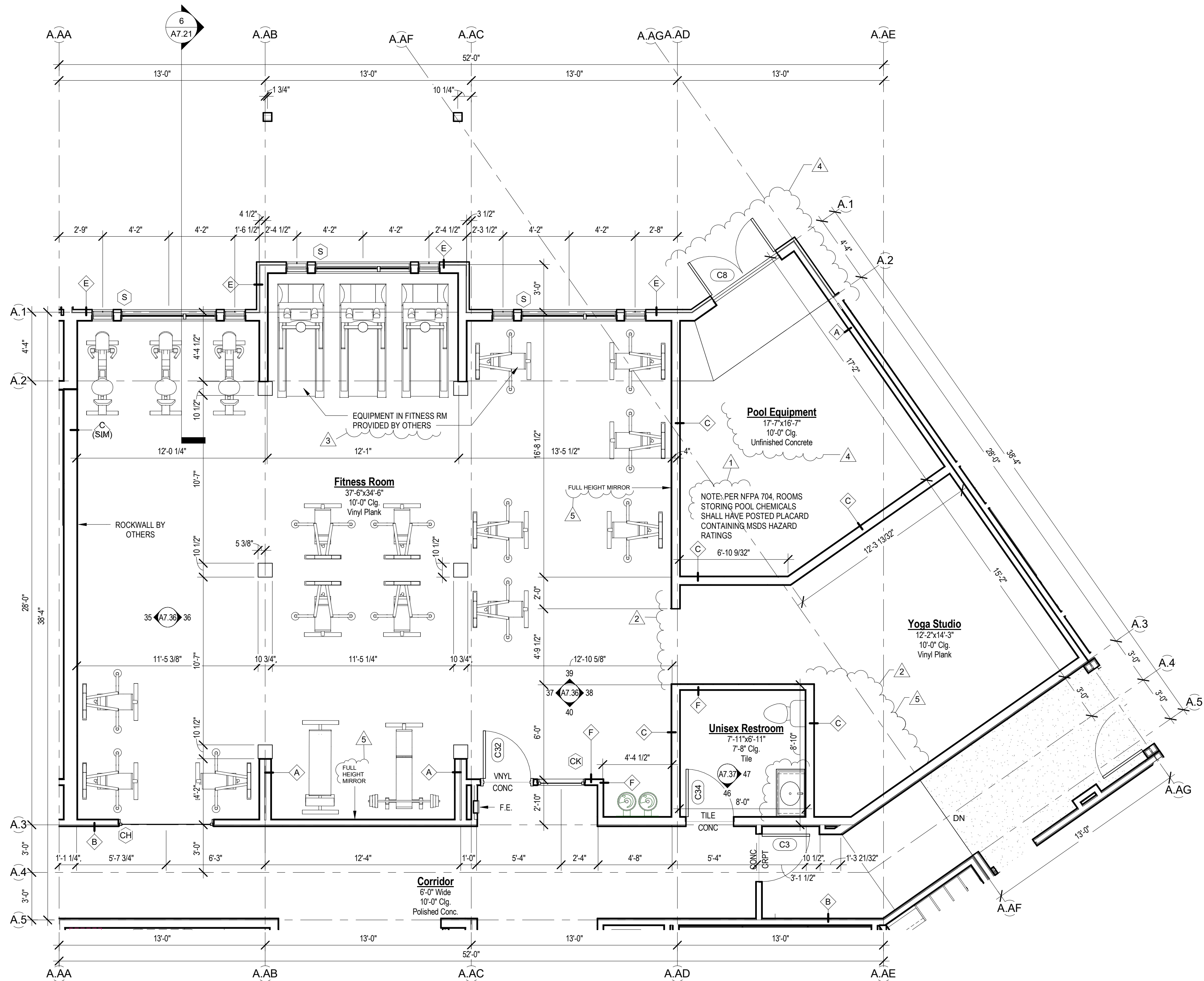
- 08.10.18 - PERMIT SET
- 09.28.18 - CONSTRUCTION SET

REVISIONS:

1	08.31.18	CITY COMMENTS
2	09.28.18	ADDENDUM 2
3	10.30.18	ADDENDUM 3
4	05.09.19	ASH #015
5	08.23.19	ASH #016

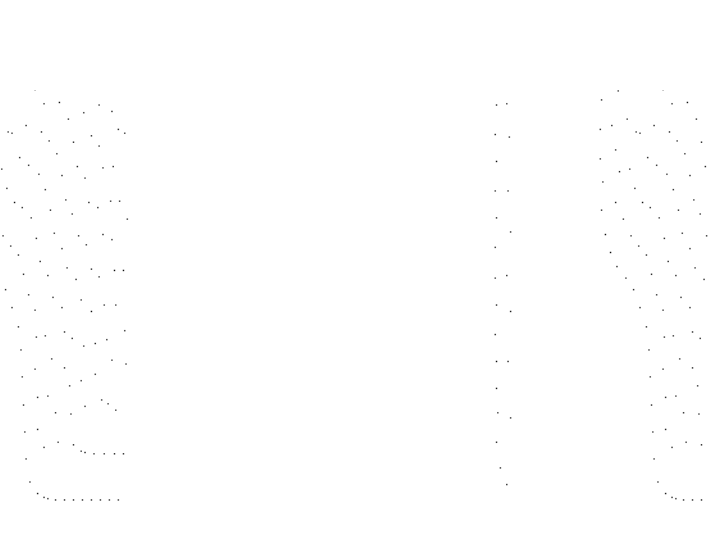
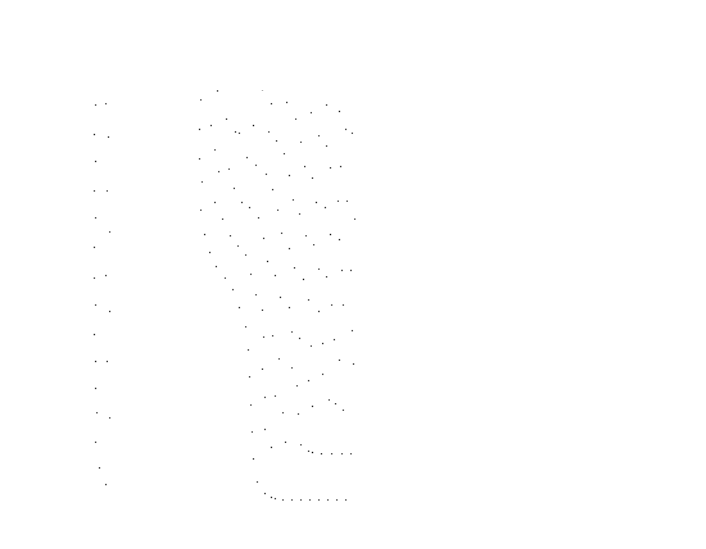
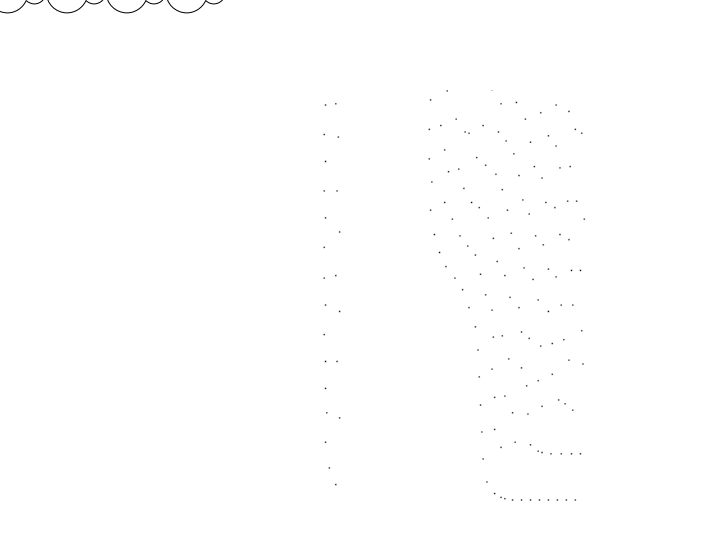
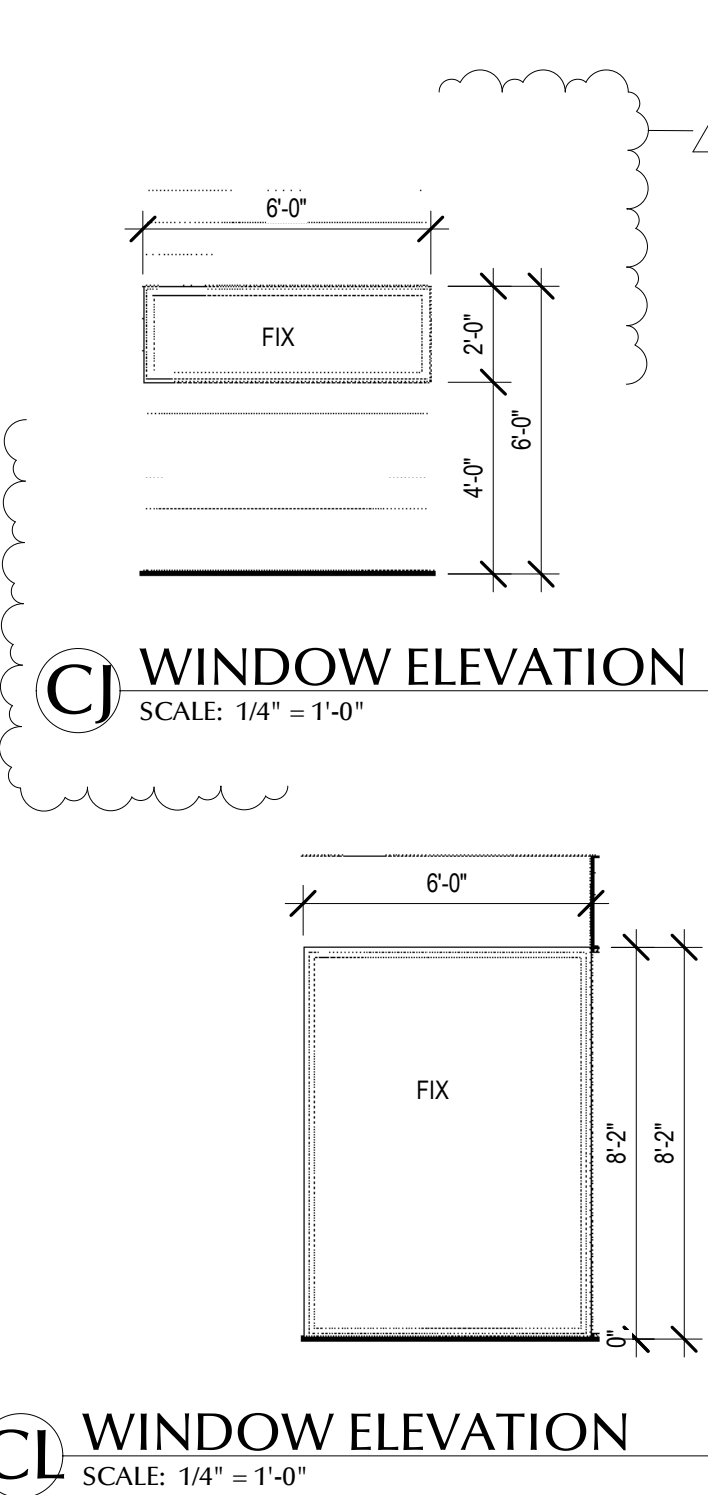
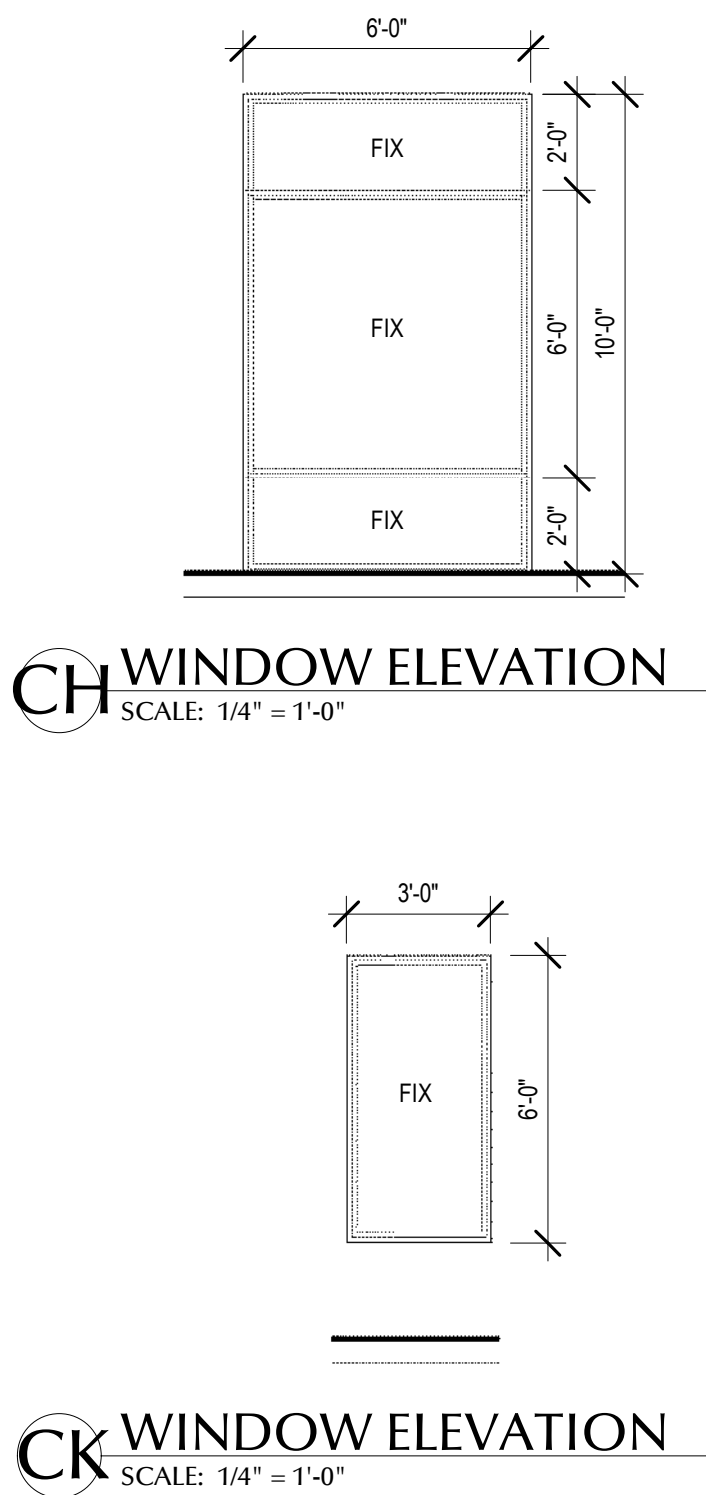
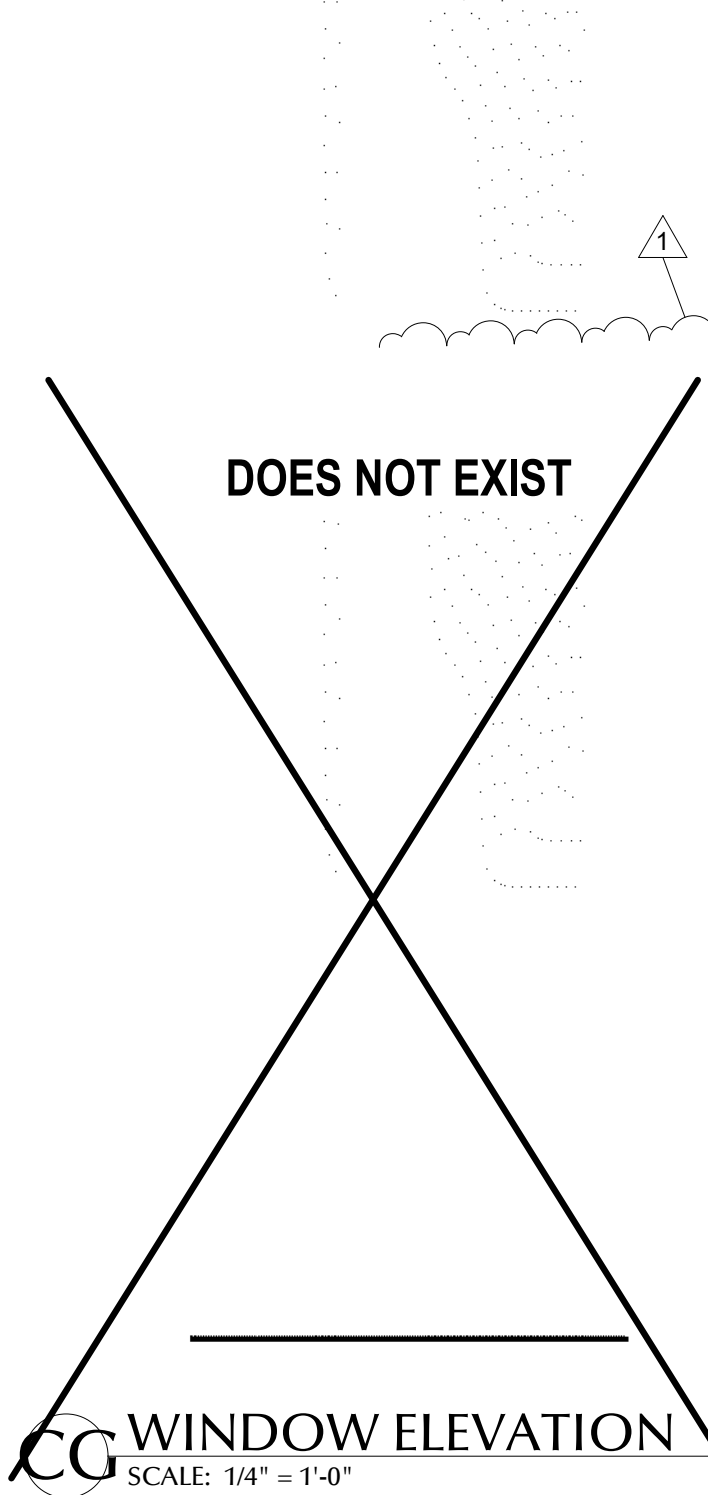
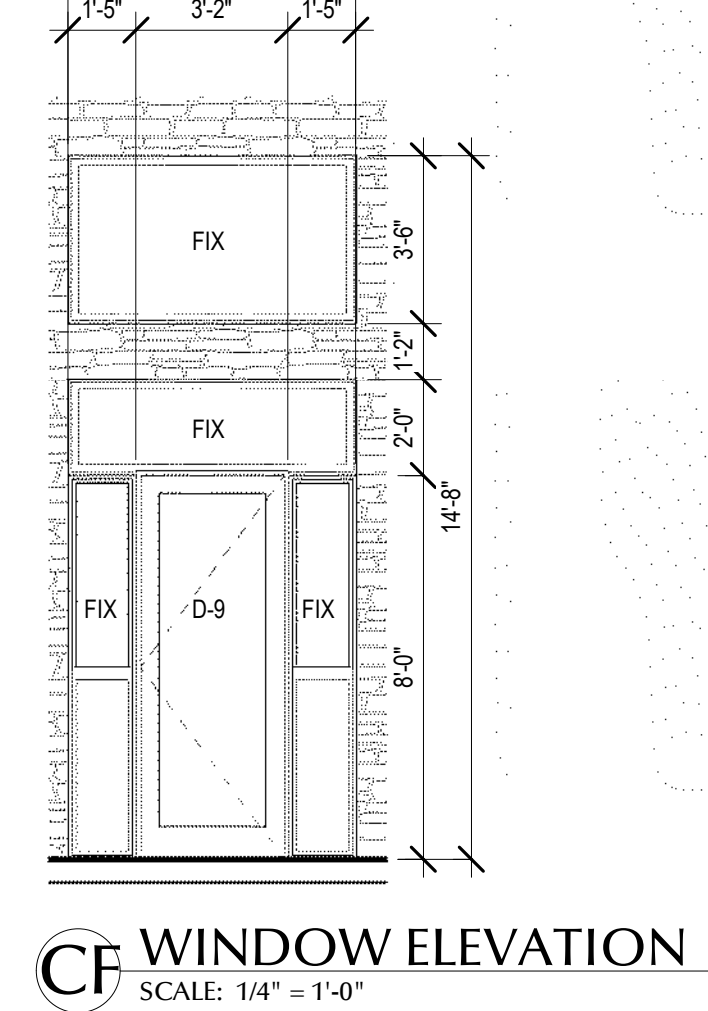
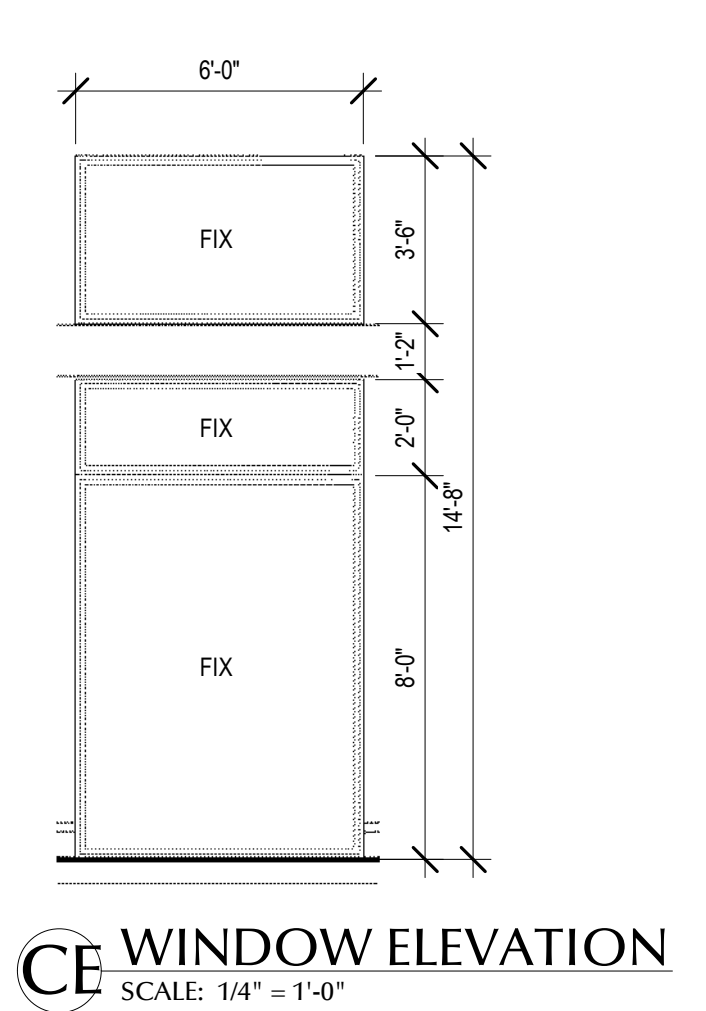
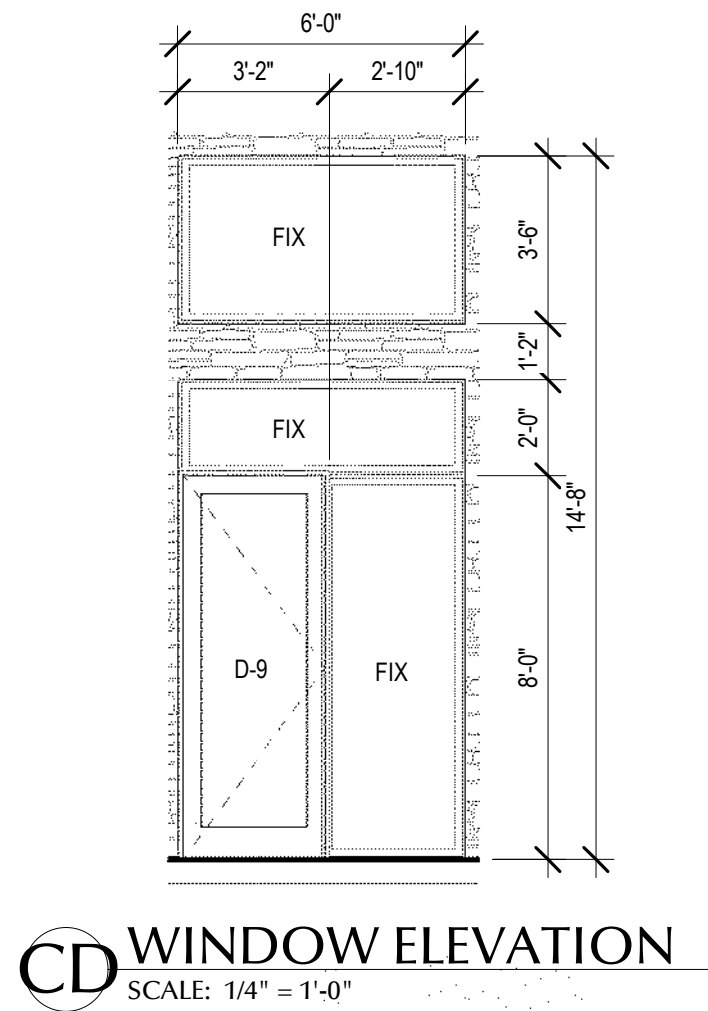
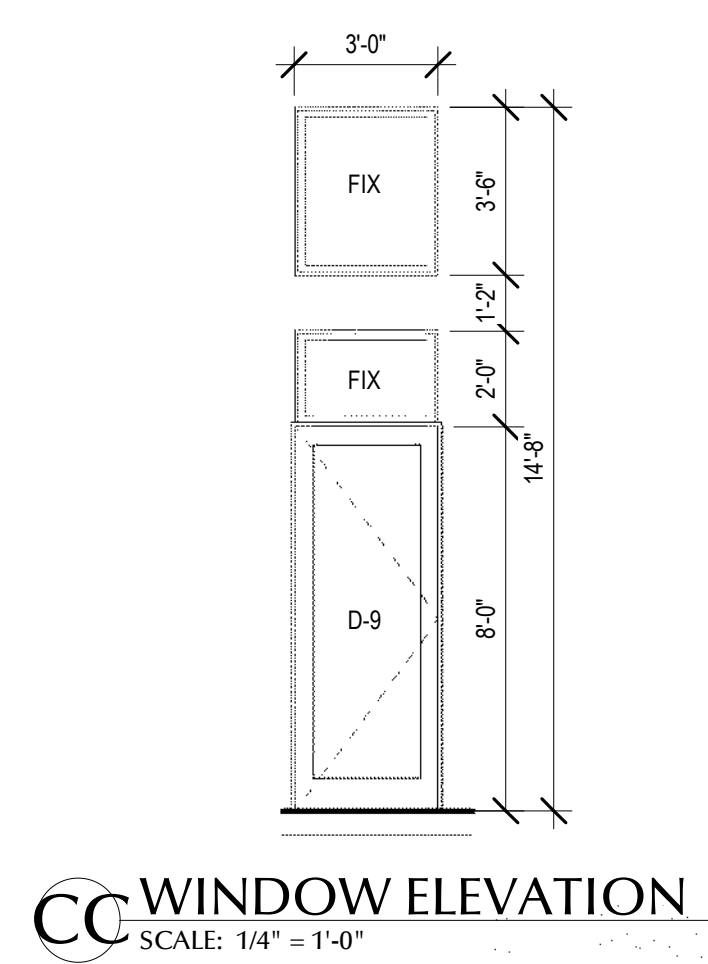
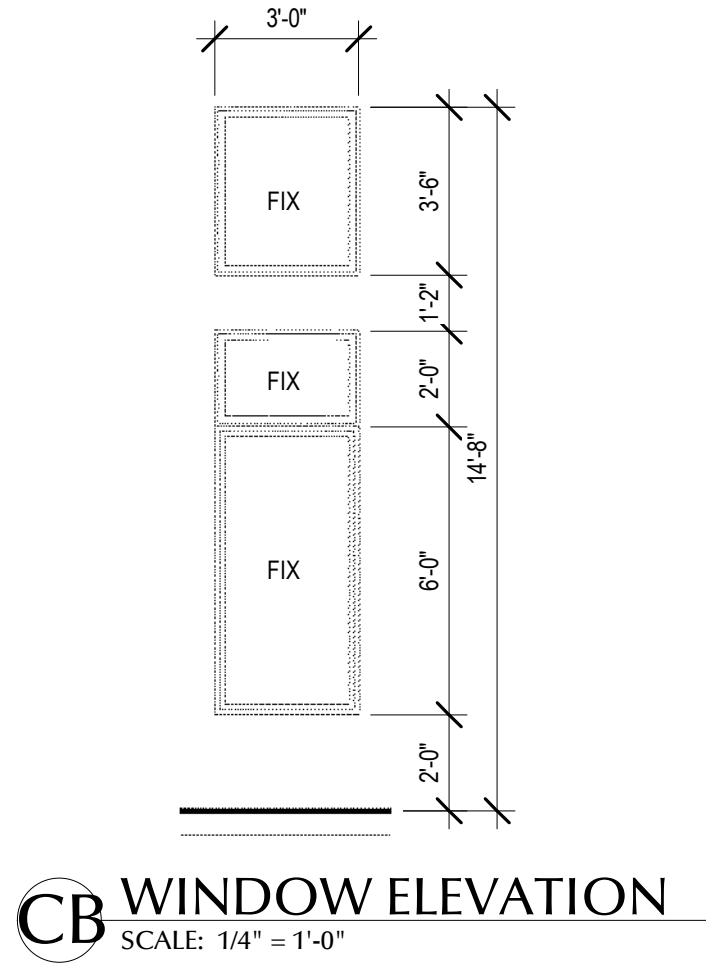
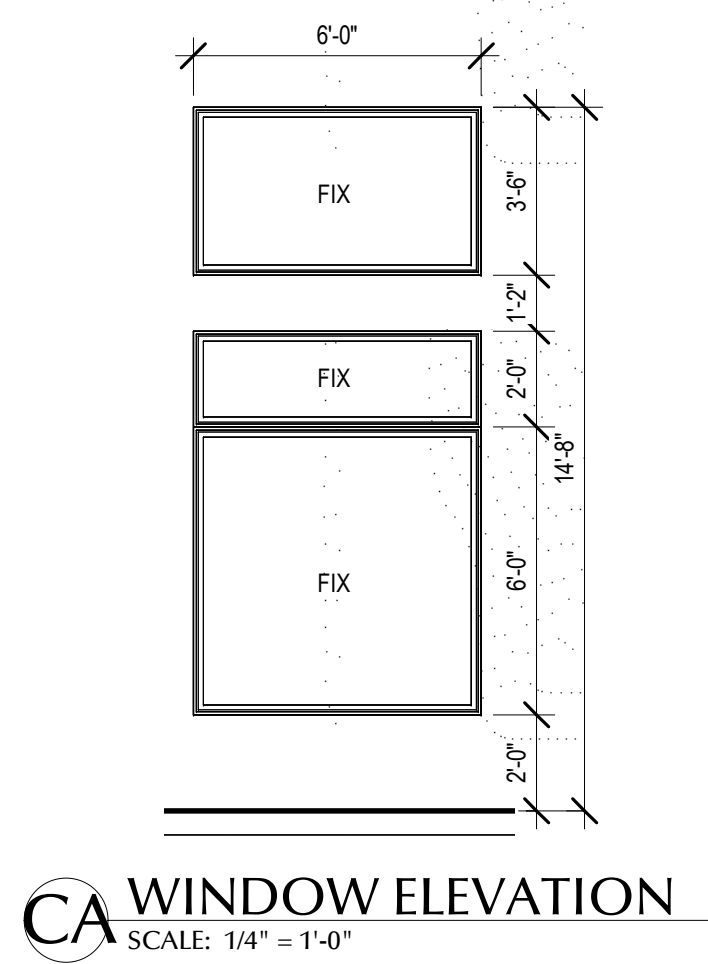
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614618
DRAWN BY:
TTB, SEL, RJG, KRH
SHEET NO.

A7.04

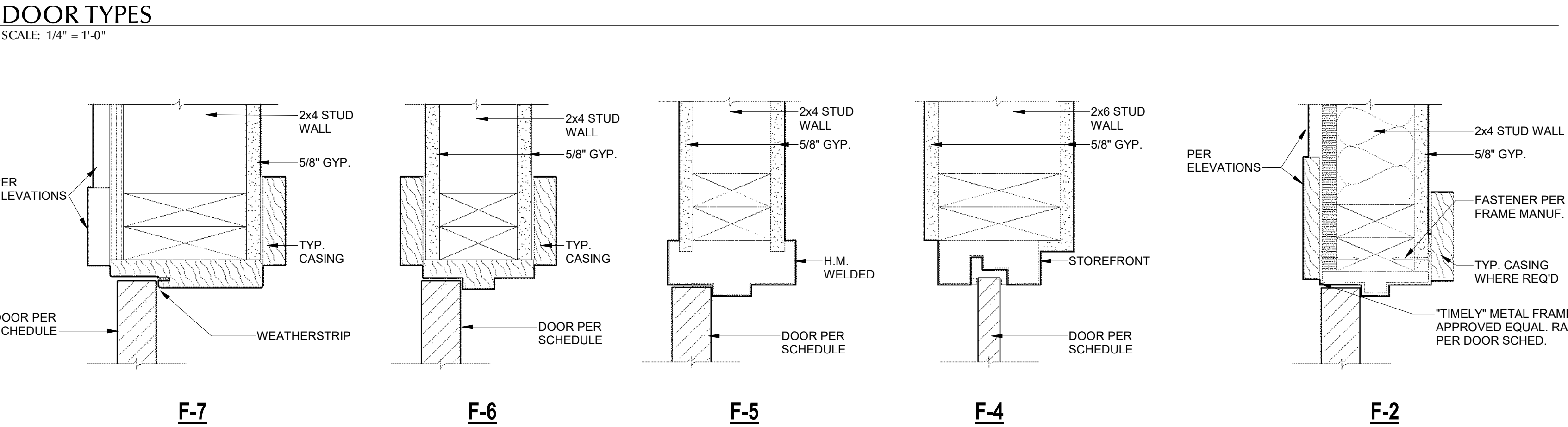
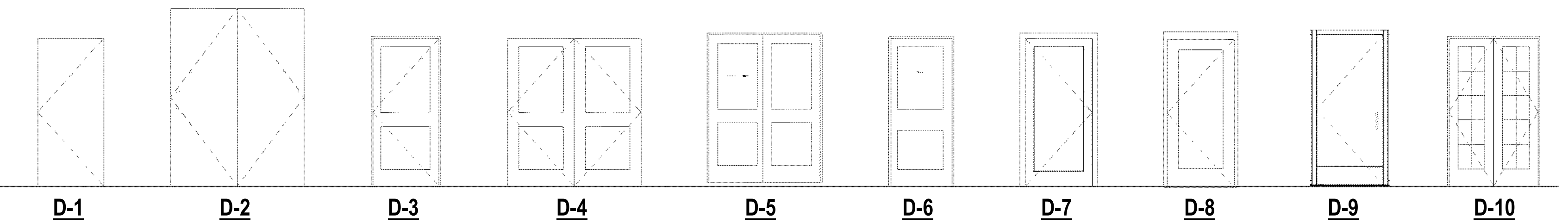


1 CLUBHOUSE ENLARGED FLOOR PLAN, UPPER RIGHT
SCALE: 1/4" = 1'-0"

CONSTRUCTION SET



CLUB DOOR SCHEDULE													
CLUB DOOR NUMBER	Club Door Location	Door Size			Door			Frame			Fire Rating	Closer	Door Comments
		Width	Height	Thickness	Door Material	Door Type	Door Finish	Frame Material	Frame Type	Frame Finish			
C1	CLUB ENTRY DOOR	3'-0"	8'-0"	1 3/4"	STOREFRONT	D-9	FACTORY	ALUM.	F-4	FACTORY		YES	ACCESS CONTROL
C2	CLUB INTERIOR ENTRY DOOR	3'-0"	8'-0"	1 3/4"	WOOD S.C.	D-1	STAIN	WD.	F-6	STAIN	45 MIN.	YES	ACCESS CONTROL
C3	CLUB INTERIOR ENTRY DOOR	3'-0"	8'-0"	1 3/4"	WOOD S.C.	D-1	STAIN	WD.	F-6	STAIN	45 MIN.	YES	ACCESS CONTROL
C4	CLUB ENTRY DOOR	3'-0"	8'-0"	1 3/4"	STOREFRONT	D-9	FACTORY	ALUM.	F-4	FACTORY		YES	ACCESS CONTROL
C5	POOL STORAGE DOOR	3'-0"	8'-0"	1 3/4"	GALV. MTL.	D-1	PAINT	H.M.	H.M.	PAINT		YES	
C6	SPA ENTRY DOOR	3'-0"	8'-0"	1 3/4"	STOREFRONT	D-9	FACTORY	ALUM.	FACTORY	FACTORY		YES	ACCESS CONTROL
C7	THREE SEASON RM. ENTRY DR.	3'-0"	8'-0"	1 3/4"	STOREFRONT	D-9	FACTORY	ALUM.	FACTORY	FACTORY		YES	ACCESS CONTROL
C8	POOL EQUIP. ROOM DOOR PR.	5'-0"	8'-0"	1 3/4"	GALV. MTL.	D-2	PAINT	H.M.	H.M.	PAINT		YES	
C9	BATHROOM DOOR	3'-0"	8'-0"	1 3/4"	WOOD S.C.	D-1	STAIN	WD.	F-6	STAIN	45 MIN.	YES	ACCESS CONTROL
C10	BATHROOM DOOR	3'-0"	8'-0"	1 3/4"	WOOD S.C.	D-1	STAIN	WD.	F-6	STAIN	45 MIN.	YES	ACCESS CONTROL
C11	BATHROOM DOOR	3'-0"	8'-0"	1 3/4"	WOOD S.C.	D-1	STAIN	WD.	F-6	STAIN		YES	
C12	BATHROOM DOOR	3'-0"	8'-0"	1 3/4"	WOOD S.C.	D-1	STAIN	WD.	F-6	STAIN		YES	
C13	SPA DOOR	3'-0"	8'-0"	1 3/4"	WOOD S.C.	D-1	STAIN	WD.	F-6	STAIN		YES	ACCESS CONTROL
C14	SAUNA DOOR	3'-0"	6'-8"	1 3/8"	1 LITE	D-8	FACTORY	WD.	FACTORY	FACTORY		FACTORY	PREFAB. UNIT
C15	STEAM ROOM DOOR	3'-0"	6'-8"	1 3/8"	GLASS	D-1	FACTORY	WD.	FACTORY	FACTORY		FACTORY	PREFAB. UNIT
C16	MECH ROOM DOOR	3'-0"	8'-0"	1 3/4"	WOOD S.C.	D-1	STAIN	WD.	F-6	STAIN			
C17	MECH ROOM DOOR PR.	6'-0"	8'-0"	1 3/4"	WOOD S.C.	D-2	STAIN	WD.	F-6	STAIN			
C18	MECH ROOM DOOR	3'-0"	8'-0"	1 3/4"	WOOD S.C.	D-1	STAIN	WD.	F-6	STAIN			
C19	MECH ROOM DOOR	3'-0"	8'-0"	1 3/4"	WOOD S.C.	D-1	STAIN	WD.	F-6	STAIN			
C20	MECH ROOM DOOR	3'-0"	8'-0"	1 3/4"	WOOD S.C.	D-1	STAIN	WD.	F-6	STAIN			
C21	MECH ROOM DOOR	3'-0"	8'-0"	1 3/4"	WOOD S.C.	D-1	STAIN	WD.	F-6	STAIN			
C22	MECH ROOM DOOR	2'-4"	8'-0"	1 3/4"	WOOD S.C.	D-1	STAIN	WD.	F-6	STAIN			
C23	MECH ROOM DOOR PR.	5'-8"	8'-0"	1 3/4"	WOOD S.C.	D-2	STAIN	WD.	F-6	STAIN			
C24	MECH ROOM DOOR	2'-4"	8'-0"	1 3/4"	WOOD S.C.	D-1	STAIN	WD.	F-6	STAIN			
C26	MANAGER'S DOOR	3'-0"	8'-0"	1 3/4"	WOOD / GLASS	D-8	STAIN	WD.	F-6	STAIN			
C27	ASST. MANAGER'S DOOR	3'-0"	8'-0"	1 3/4"	WOOD / GLASS	D-8	STAIN	WD.	F-6	STAIN			
C28	ADMIN DOOR	3'-0"	8'-0"	1 3/4"	WOOD S.C.	D-1	STAIN	WD.	F-6	STAIN			
C29	CLOSET DOOR	2'-0"	8'-0"	1 3/8"	WOOD S.C.	D-1	STAIN	WD.	F-6	STAIN			
C30	IT ROOM DOOR	3'-0"	8'-0"	1 3/4"	WOOD S.C.	D-1	STAIN	WD.	F-6	STAIN			
C32	FITNESS DOOR	3'-0"	8'-0"	1 3/4"	WOOD / GLASS	D-8	STAIN	WD.	F-6	STAIN		YES	ACCESS CONTROL
C34	FITNESS BATHROOM DOOR	3'-0"	8'-0"	1 3/4"	WOOD S.C.	D-1	STAIN	WD.	F-6	STAIN		YES	
C36	LOUNGE DOOR	3'-0"	8'-0"	1 3/4"	WOOD / GLASS	D-8	STAIN	WD.	F-6	STAIN		YES	
C37	LOUNGE MECH DOOR	3'-0"	8'-0"	1 3/4"	WOOD S.C.	D-1	STAIN	WD.	F-6	STAIN			ACCESS CONTROL
C39	MECH ROOM DOOR	3'-0"	8'-0"	1 3/4"	WOOD S.C.	D-1	STAIN	WD.	F-6	STAIN			
C40	MECH ROOM DOOR	3'-0"	8'-0"	1 3/4"	WOOD S.C.	D-1	STAIN	WD.	F-6	STAIN			
C41	THREE SEASON ROOM DOOR	3'-0"	8'-0"	1 3/4"	STOREFRONT	D-9	FACTORY	ALUM.	F-4	FACTORY		YES	ACCESS CONTROL
C42	THREE SEASON ROOM DOOR	3'-0"	8'-0"	1 3/4"	STOREFRONT	D-9	FACTORY	ALUM.	F-4	FACTORY		YES	ACCESS CONTROL
C44	MECH ROOM DOOR	3'-0"	6'-8"	1 3/4"	WOOD	D-3	PAINT	WOOD	F-6	PAINT			
C45	MECH ROOM DOOR	3'-0"	6'-8"	1 3/4"	WOOD	D-3	PAINT	WOOD	F-6	PAINT			
C46	MECH ROOM DOOR	3'-0"	6'-8"	1 3/4"	WOOD	D-3	PAINT	WOOD	F-6	PAINT			
C47	MECH ROOM DOOR	3'-0"	6'-8"	1 3/4"	WOOD	D-3	PAINT	WOOD	F-6	PAINT			
C48	CORRIDOR DOOR	3'-6"	6'-8"	1 3/4"	WOOD S.C.	D-1	STAIN	WD.	F-6	STAIN	45 MIN.	YES	MAGNETIC HOLD OPENS
C49	CORRIDOR DOOR	3'-6"	6'-8"	1 3/4"	WOOD S.C.	D-1	STAIN	WD.	F-6	STAIN	45 MIN.	YES	MAGNETIC HOLD OPENS
C50	CORRIDOR DOOR	3'-6"	6'-8"	1 3/4"	WOOD S.C.	D-1	STAIN	WD.	F-6	STAIN	20 MIN.	YES	MAGNETIC HOLD OPENS
C51	CORRIDOR DOOR	3'-6"	6'-8"	1 3/4"	WOOD S.C.	D-1	STAIN	WD.	F-6	STAIN	20 MIN.	YES	MAGNETIC HOLD OPENS
C53	PARCEL STORAGE DOOR	3'-0"	8'-0"	1 3/4"	WOOD S.C.	D-1	STAIN	WD.	F-6	STAIN		YES	ACCESS CONTROL





A NEW RESIDENCE / MULTI-FAMILY PROJECT FOR:

SUMMIT SQUARE II

LEE'S SUMMIT, MISSOURI



DRAWING RELEASE LOG

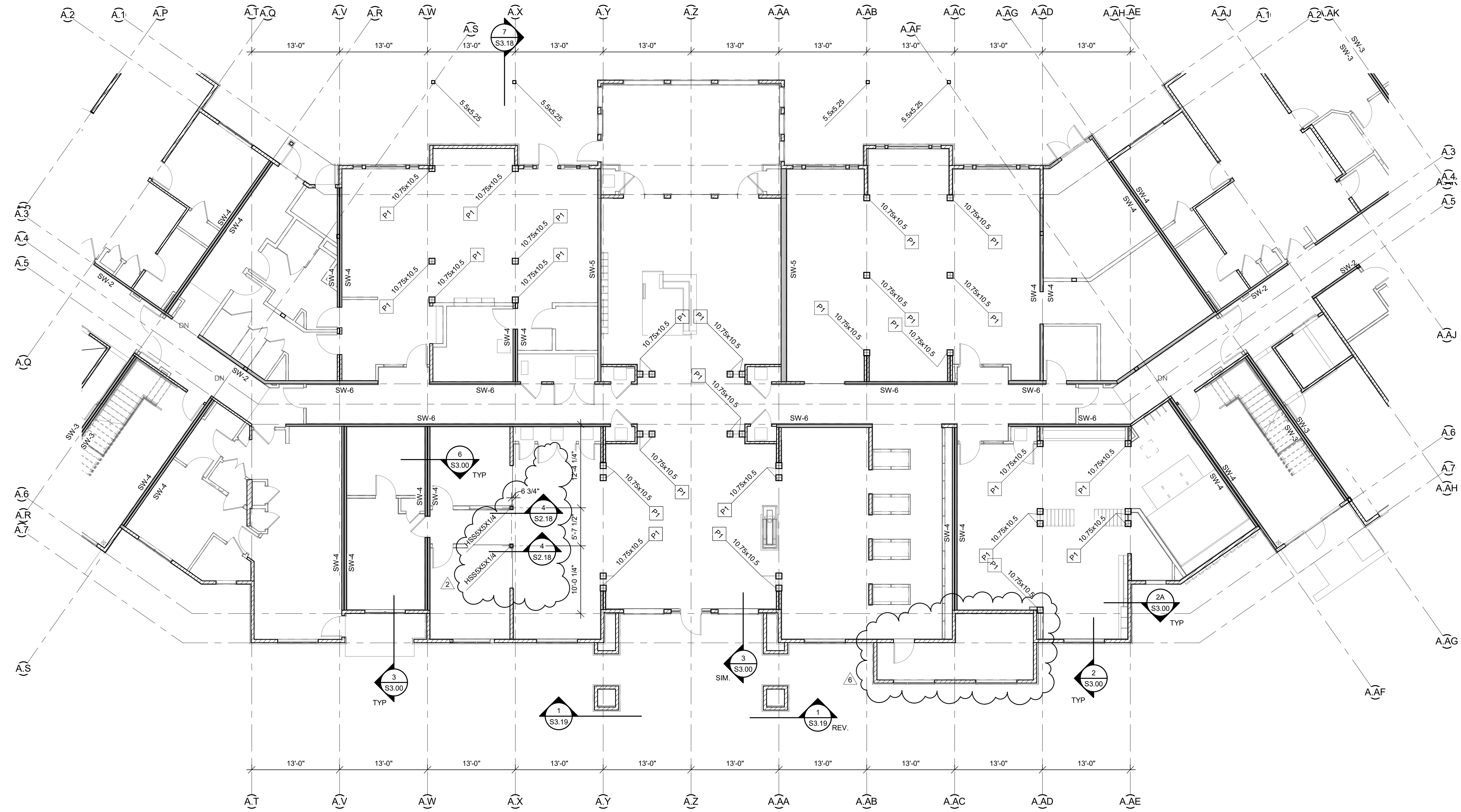
- 08.10.18 - PERMIT SET
- 09.28.18 - CONSTRUCTION SET

REVISIONS:	
2	11.21.18 ASI #1
6	08.23.19 ASI #16

DATE:
08/10/18
JOB NO.
614618
DRAWN BY:
BMF / JMF
SHEET NO.

S2.11B

CONSTRUCTION SET

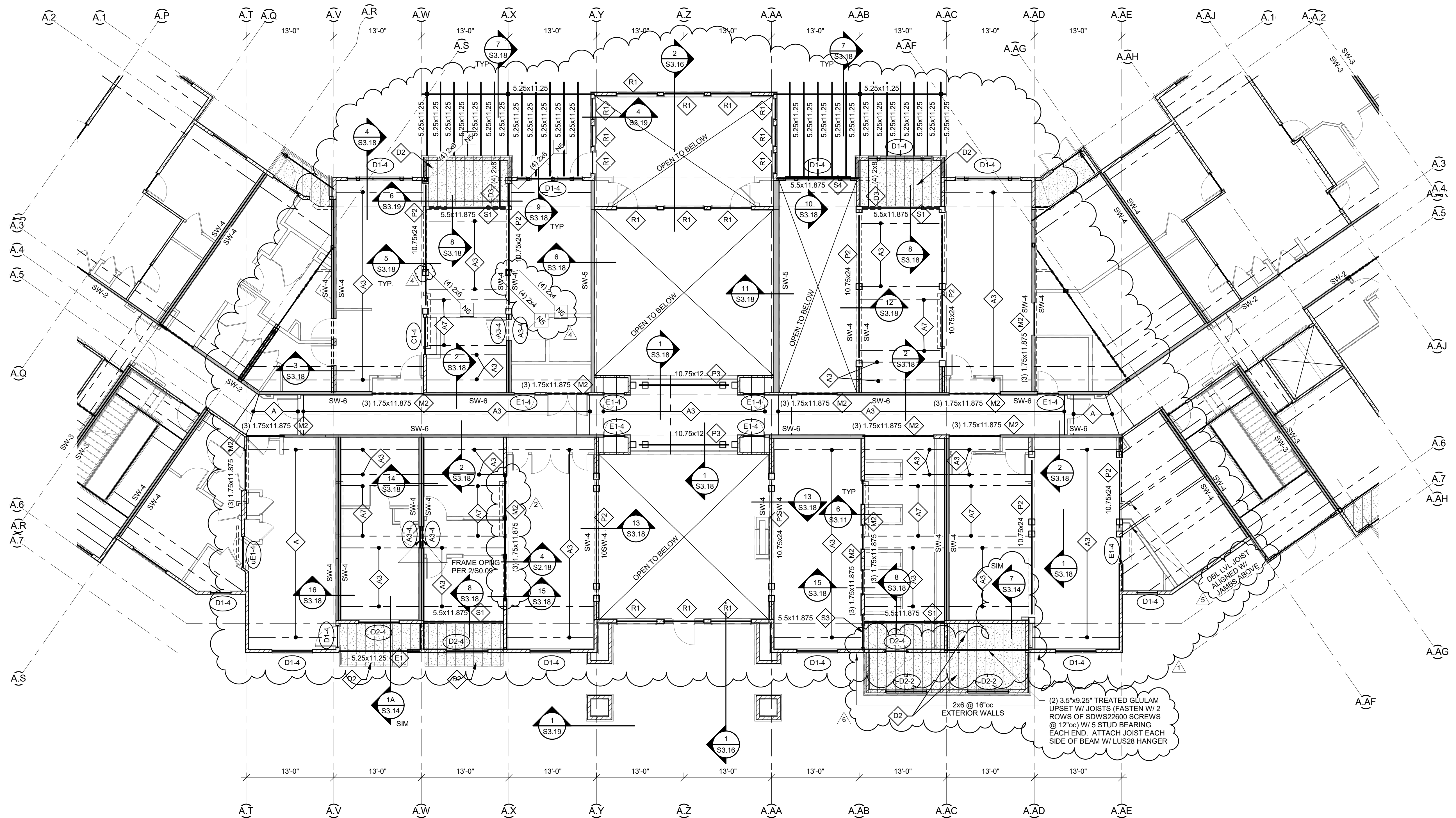


1 TYPE A CENTER BUILDING PLAN 1ST FLR

1/8" = 1'-0"

SLAB ON GRADE AND FOUNDATION NOTES

1. REFER TO GENERAL NOTES ON SHEET S0.01.
2. REFER TO TYPICAL DETAILS ON S3.00 SERIES SHEETS. SECTIONS NOT OTHERWISE INDICATED ON PLAN SHALL BE SIMILAR TO LIKE CONDITIONS.
3. CONFIRM ALL DIMENSIONS, ELEVATIONS, SLOPES, AND RECESSES WITH ARCH DRAWINGS.
4. REFER TO CONCRETE FOUNDATION DRAWINGS FOR POST TENSIONED SLAB ON GRADE AND FOUNDATION CONSTRUCTION.



1 TYPE A CENTER BUILDING PLAN 2ND FLR

$$1/8'' = 1'-0''$$

WOOD FLOOR FRAMING NOTES

1. REFER TO GENERAL NOTES ON SHEET S0.01
2. REFER TO NAILING SCHEDULE ON SHEET S0.03
3. REFER TO PLAN NOTES ON SHEET S0.03
4. REFER TO HEADER SCHEDULE ON SHEET S0.04
5. REFER TO SHEARWALL AND JOISTS SCHEDULES ON SHEET S0.05
6. REFER TO TYPICAL WOOD DETAILS ON SHEET S0.04 THROUGH S0.09
7. REFER TO FLOOR FRAMING DETAILS ON S3.10 SERIES SHEETS FOR SIMILAR CONDITIONS NOT OTHERWISE INDICATED
8. PROVIDE "CD-1" FLOOR DECK TO BE DESIGNED PER THE LOADING CRITERIA OUTLINED IN THE STRUCTURAL GENERAL NOTES AND ANY FOR ANY SPECIAL LOADING CONDITIONS DEFINED WITHIN THESE DRAWINGS. PROVIDE TRUSS SPACE DIRECTLY ABOVE AND CENTERED OVER HVAC CLOSETS (REFER TO ARCH. & MEP DRAWINGS FOR LOCATIONS)
9. REFER TO SHEARWALL AND JOIST SCHEDULES AND PLANS FOR ADDITIONAL BEARING WALL AND SHERARWALL INFORMATION
10. PROVIDE "CD-1" FLOOR DECK AT ALL INTERIOR FLOOR LOCATIONS U.N.O.
11. PROVIDE "FD-1" CONCRETE TOPPED DECK AT EXTERIOR BALCONY/DECK LOCATIONS IDENTIFIED BY THE ARCHITECT ON THE U.N.O.
12. REFER TO TYPICAL BALCONY FRAMING DETAILS ON SHEETS S3.24 AND S3.26.
13. REFER TO TYPICAL STAIR FRAMING DETAILS ON SHEET S0.10.

LANDSCAPE
ARCHITECTURE
INTERIORS
ENERGY SERVICES

P. 913.831.1415
F. 913.831.1563
NSPIARCH.COM

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ARCHITECTS^{PA}
3515 W. 75TH ST., SUITE 201
PRAIRIE VILLAGE, KS 66208



NEW RESIDENCE / MULTI-FAMILY PROJECT

SUMMIT SQUARE II

LEE'S SUMMIT, MISSOURI



DRAWING RELEASE LOG

8.10.18 - PERMIT SET

9.28.18 - CONSTRUCTION SET

REVISIONS:

- | | | |
|---|----------|------------|
| 1 | 09.28.18 | ADDENDUM 2 |
| 2 | 11.21.18 | ASI #1 |
| 4 | 03.18.19 | ASI #10 |
| 5 | 05.03.19 | ASI #15 |
| 6 | 08.23.19 | ASI #16 |

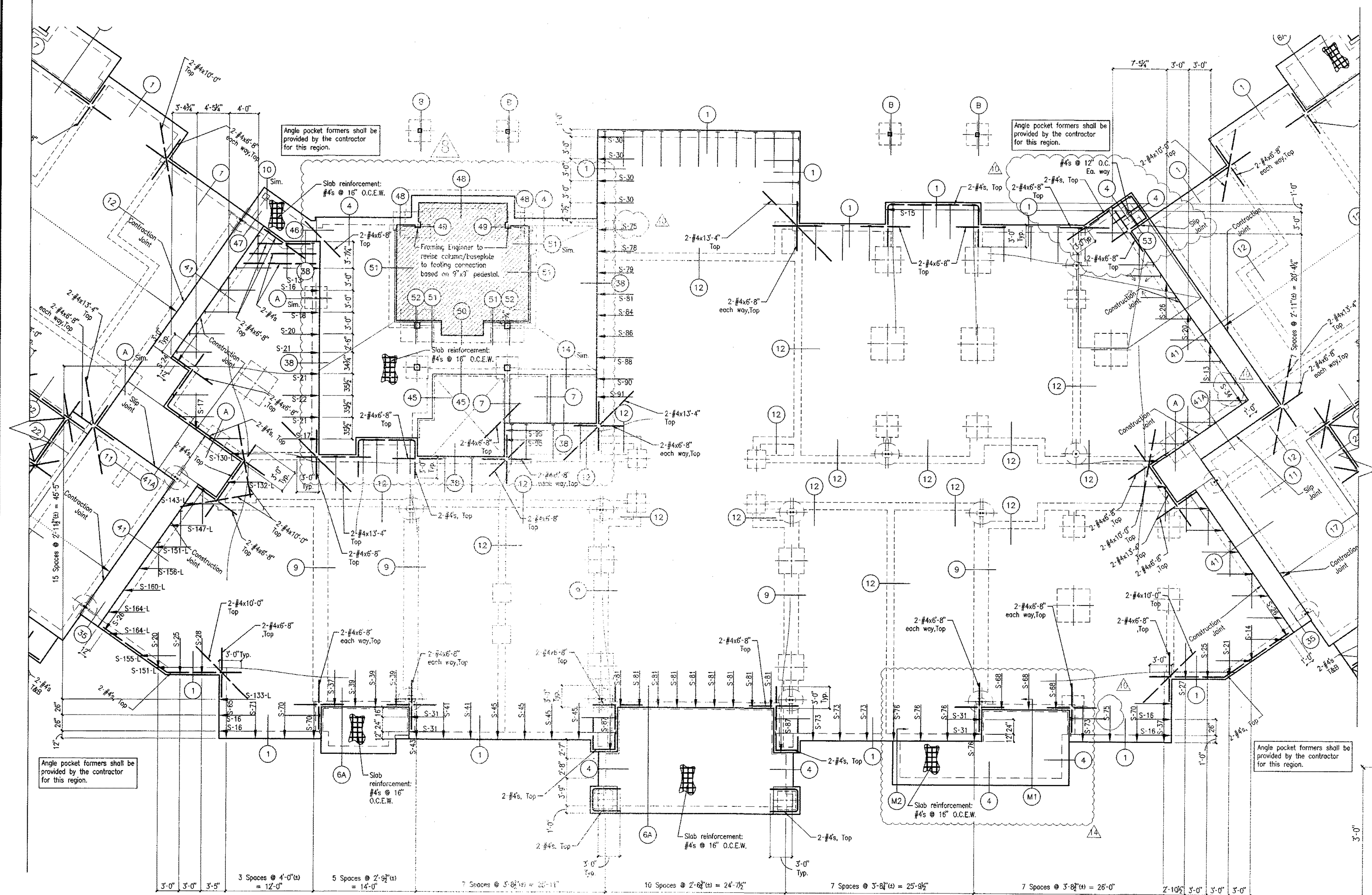
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MF / JMF
SHEET NO.

CONSTRUCTION SET

S2.12B

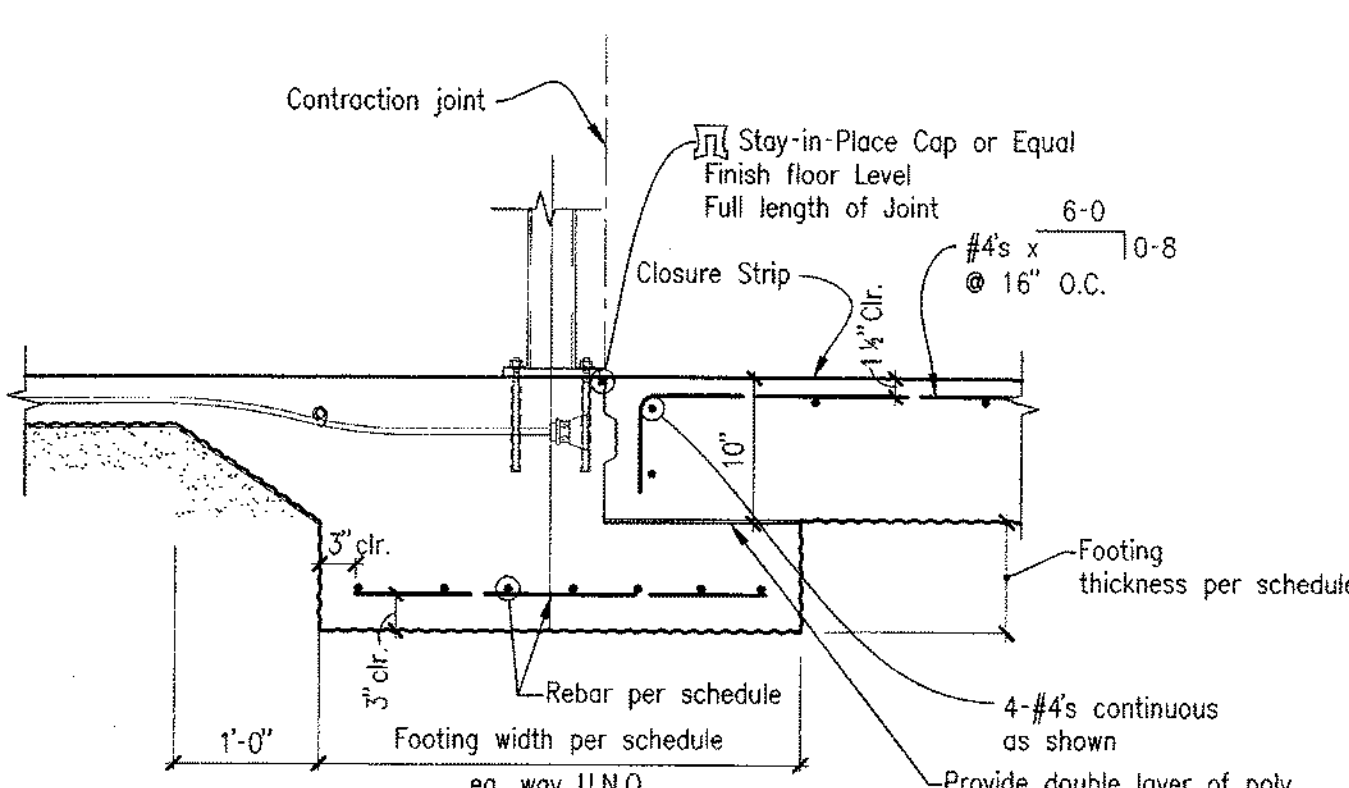
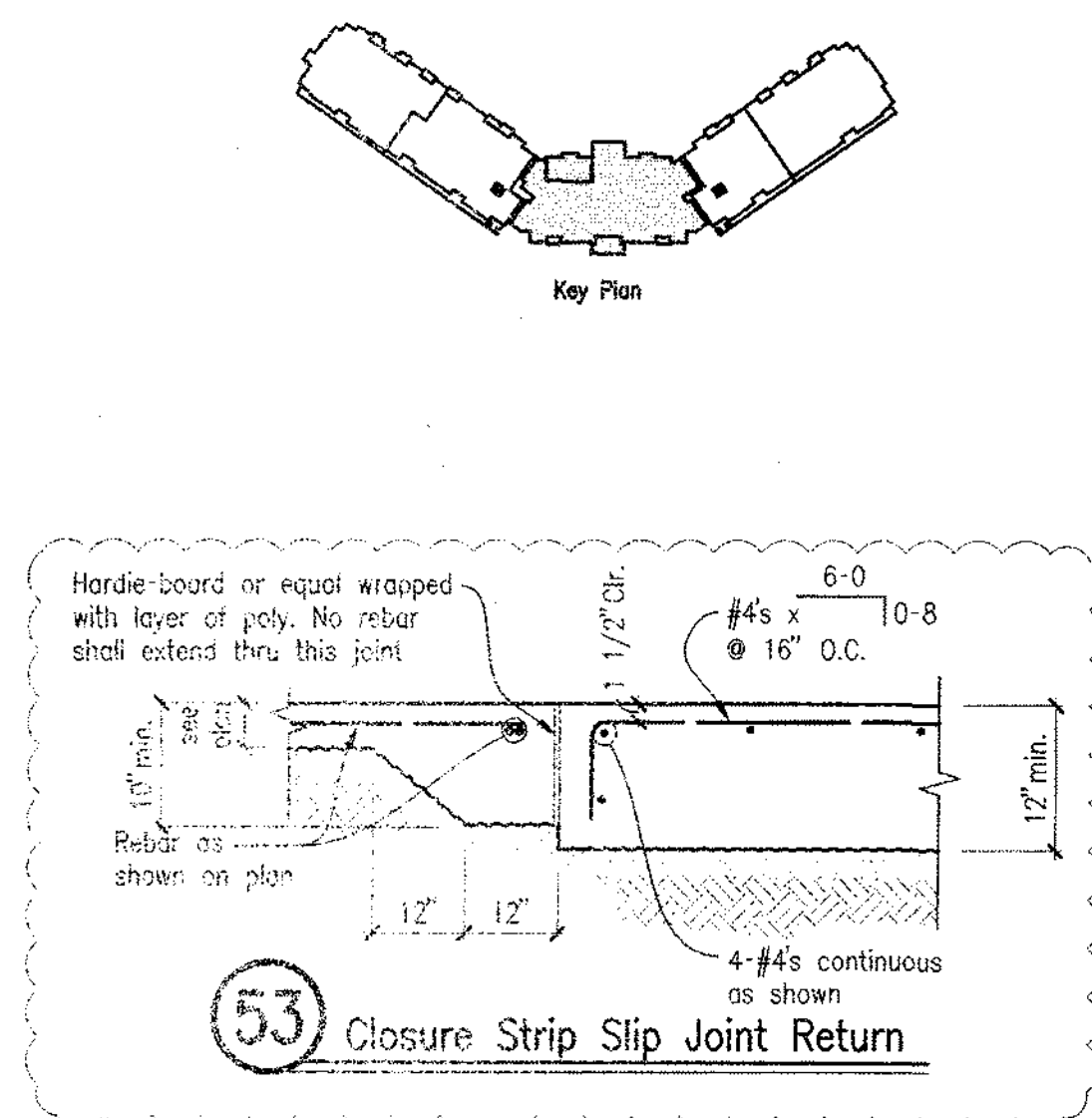


1. REFER TO GENERAL NOTES ON SHEET S0.01
2. REFER TO NAILING SCHEDULE ON SHEET S0.03
3. REFER TO PLAN NOTES ON SHEET S0.03
4. REFER TO HEADER SCHEDULE ON SHEET S0.04
5. REFER TO SHEARWALL AND HOLDOWN SCHEDULES ON SHEET S0.05
6. REFER TO TYPICAL WOOD DETAILS ON SHEET S0.04 THROUGH S0.09
7. REFER TO FLOOR FRAMING DETAILS ON S3.10 SERIES SHEETS FOR SIMILAR CONDITIONS NOT OTHERWISE INDICATED
8. PRE-ENGINEERED FLOOR TRUSS SHALL BE DESIGNED PER THE LOADING CRITERIA OUTLINED IN THE STRUCTURAL GENERAL NOTES AND ANY FOR ANY SPECIAL LOADING CONDITIONS DEFINED WITHIN THESE DRAWINGS. PROVIDE TRUSS SPACE DIRECTLY ABOVE AND CENTERED OVER HVAC CLOSETS (REFER TO ARCH. & MEP DRAWINGS FOR LOCATIONS)
9. REFER TO SHEARWALL AND WALL TYPE PLANS FOR ADDITIONAL BEARING WALL AND SHEARWALL INFORMATION
10. PROVIDE "FD-1" FLOOR DECK AT ALL INTERIOR FLOOR LOCATIONS U.N.O.
11. PROVIDE "FD-1" CONCRETE TOPPING OVER FLOOR DECK AT EXTERIOR BALCONY/DECK LOCATIONS IDENTIFIED BY CONCRETE HATCH U.N.O.
12. REFER TO TYPICAL BALCONY FRAMING DETAILS ON SHEETS S3.24 AND S3.26.
13. REFER TO TYPICAL STAIR FRAMING DETAILS ON SHEET S0.10.



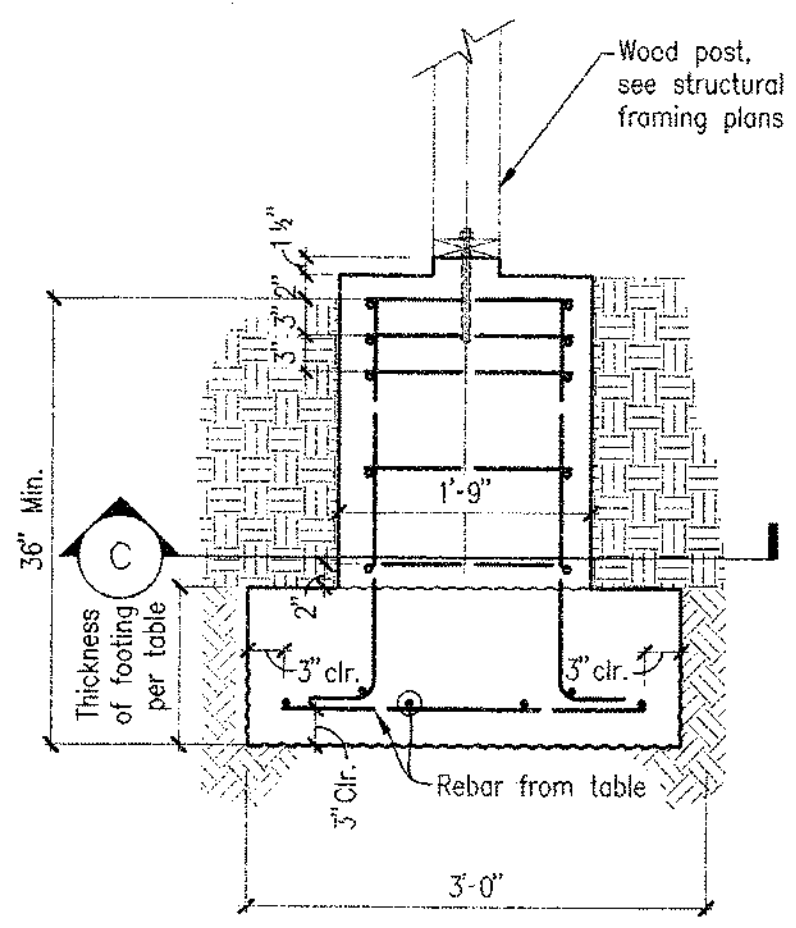
Post-Tensioning Plan Building Type A

Strand Elongation Chart			Strand Elongation Chart			Strand Elongation Chart		
STRAND LENGTH	NUMBER STRANDS	ELONGATION	STRAND LENGTH	NUMBER STRANDS	ELONGATION	STRAND LENGTH	NUMBER STRANDS	ELONGATION
S-13	2	5/8"	S-39	3	2 7/8"	S-90	1	7"
S-14	1	5/8"	S-41	2	3"	S-91	1	7 1/8"
S-15	1	3/4"	S-43	1	3 1/4"	S-95	1	7 1/2"
S-16	5	7/8"	S-45	4	3 3/8"	S-99	1	7 3/4"
S-17	2	1"	S-65	1	5"	S-130-L	1	10 1/8"
S-18	1	1"	S-68	3	5 1/4"	S-132-L	1	10 3/8"
S-20	3	1 1/4"	S-70	3	5 1/2"	S-133-L	1	10 3/8"
S-21	4	1 1/4"	S-71	1	5 1/2"	S-143-L	1	11 1/4"
S-22	1	1 3/8"	S-73	4	5 5/8"	S-147-L	1	11 1/2"
S-24	1	1 1/2"	S-75	2	5 7/8"	S-151-L	2	11 7/8"
S-25	2	1 5/8"	S-76	4	5 7/8"	S-155-L	1	11 1/8"
S-26	3	1 3/4"	S-78	1	6 1/8"	S-156-L	1	11 1/4"
S-27	1	1 7/8"	S-79	1	6 1/8"	S-160-L	1	11 1/2"
S-28	1	1 7/8"	S-81	10	6 3/8"	S-164-L	2	11 1/8"
S-30	4	2 1/8"	S-84	1	5 1/2"			
S-31	4	2 1/8"	S-86	1	6 3/4"			
S-34	1	2 3/8"	S-87	2	6 3/4"			
S-37	2	2 3/4"	S-88	1	6 7/8"			
						TOTAL NUMBER OF STRANDS		
						100		
						TOTAL LINEAR FEET OF STRANDS		
						6130		



A Monolithic Column Footing at Joint

C Column Section



B Isolated Footing at exterior

- Foundation Notes:**
- 1) Drainage shall be maintained around the foundation at all times, both during and after the construction period. Surface water shall flow rapidly away from the foundation. The builder shall advise the owner of his responsibilities to maintain drainage and soil moisture so that future soil movements are minimized.
 - 2) Slab shall be 6" thick, U.N.O.
 - 3) Perimeter Beams shall be 12" W x 44" "D" Perimeter beams shall be deepened to extend 36" min. below final grade.
 - 4) All strands shall be 1/2" - 270K (see Gen. Notes)
 - 5) Concrete contractor shall be provided with a plan showing the anchor bolts and hold-downs required by the framing engineer. Devices requiring thickened concrete shall be brought to the foundation engineer's attention. The location of devices requiring drilling shall be laid out prior to the concrete placement, and post-tensioning strands shall be diverted where required to avoid the drilling location by at least one foot.
 - 6) BS & --- indicates beam strand to be draped down into bottom of beam. See beam strand detail on Detail sheet. Beam strand required only if shown on foundation plan.
 - 7) See General Notes and Typical Detail Sheet.
 - 8) Asterisks indicate dimensions to be verified or furnished by the builder. See note #2 under Concrete Construction on General Notes Sheet.
 - 9) If uncontrolled fill exists on the site, piers may be required: NOTIFY ENGINEER.

- Site Preparation Notes:**
- 1) Potential soils movements will increase if building pads are allowed to dry out prior to construction. This office recommends procedures be used to maintain at least a "normal" or "average" soil moisture content.
 - 2) Grading plan shall ensure that positive drainage is maintained away from the foundation. This office recommends a 5% slope for the first 10' from the building pad. Failure to maintain drainage may allow water to pond or collect around the foundation, causing potential heave for in excess of that predicted in the Geotechnical report.
 - 3) After clearing, stripping, and excavating, the exposed sub-grade should be carefully evaluated by proof-rolling, probing and testing. Any undesirable material should be removed and replaced or stabilized per the geotechnical report. The subgrade should then be evaluated by the Geotechnical Engineer. Construct the building pad by placing and compacting structural fill per the geotechnical report. The top 24" of the building pad shall consist of low volume change (LVC) material, and extend at least 5' beyond the building footprint. A 4 inch granular leveling course and moisture barrier shall be placed below the floor slab. The leveling course may be considered part of the 24" LVC zone. All fill material shall be approved by the geotechnical engineer prior to placement. All final grading and soil remediation shall be conducted in accordance with the soils report and with oversight from the geotechnical engineer.
 - 4) The depth to bedrock varied across the site. Each building should be evaluated individually and the bearing material should be determined prior to construction. The footings for each individual building should either bear entirely on native soil and engineered fill or entirely on bedrock. Bearing on multiple material types may result in abrupt differential settlement resulting in cracking and differential movement of buildings.

- Contraction Joints:**
- 1) Contraction joint located where shown. The joint will gradually open over a period of months to a fraction of an inch. It is a natural feature of post-tensioned concrete and does not represent a defect.
 - 2) It is critical that at the contraction joint location, no concrete-to-concrete bond be created and that no reinforcement passes through the contraction joint (except where "thru-strands" are shown on plan). Following these requirements will allow the joint to open a small amount and allow for shortening of the post-tensioned foundation as designed.
 - 3) The framing contractor shall be advised that the superstructure (siding, masonry, etc.) will require a corresponding joint to accommodate this movement.
 - 4) During finish-out, the open joint at the perimeter may be filled with an elastomeric caulking compound applied against a foam backer rod to prevent the entry of water or insects.
 - 5) See section entitled "Contraction Joints" in the General Notes, located on the first sheet of the foundation plans.

Note:
Partial stressing to 30% of full stress, of the 100+ longitudinal strands is recommended the day after concrete placement to reduce shrinkage cracking. Refer to Concrete Construction Note #20 in the General Notes on sheet GSN-FSN.

Thru-Strands
Denotes strand that passes continuous through contraction joint(s). Notch joint material or use knock-outs and tape as required to prevent concrete bonding across joint. Thru-strands shall be stressed only when all sections of slab have been placed.

STRAND

10003 Technology Blvd. West
Dallas, TX 75220
972-820-8200
Registration No. 2008010474

STATE OF MISSOURI

Professional Engineer

9/21/19

201507436

INS. R.D. D.Z. R.D. R.D. R.D. R.D.

ISSUE

Updated Detail #28

Revise Clubhouse - Remove patio.

Perimeter Beam Repair @ Type D

Added Trash Compactor

CMU to CIP Walls at Trash Compactor

Added Slab at Mail Room

Client

ACCU-CRETE, INC.

8434 Westphalia Rd.
Upper Marlboro, MD 20774
703-535-7820

Architect

NSPJ Architects

3515 W. 75th St., Suite 201
Prairie Village, KS 66208
913-831-1415

Summit Square II Apartments

Lee Summit, MISSOURI

Post-tension Plan

Building Type A

DATE 09/28/2018

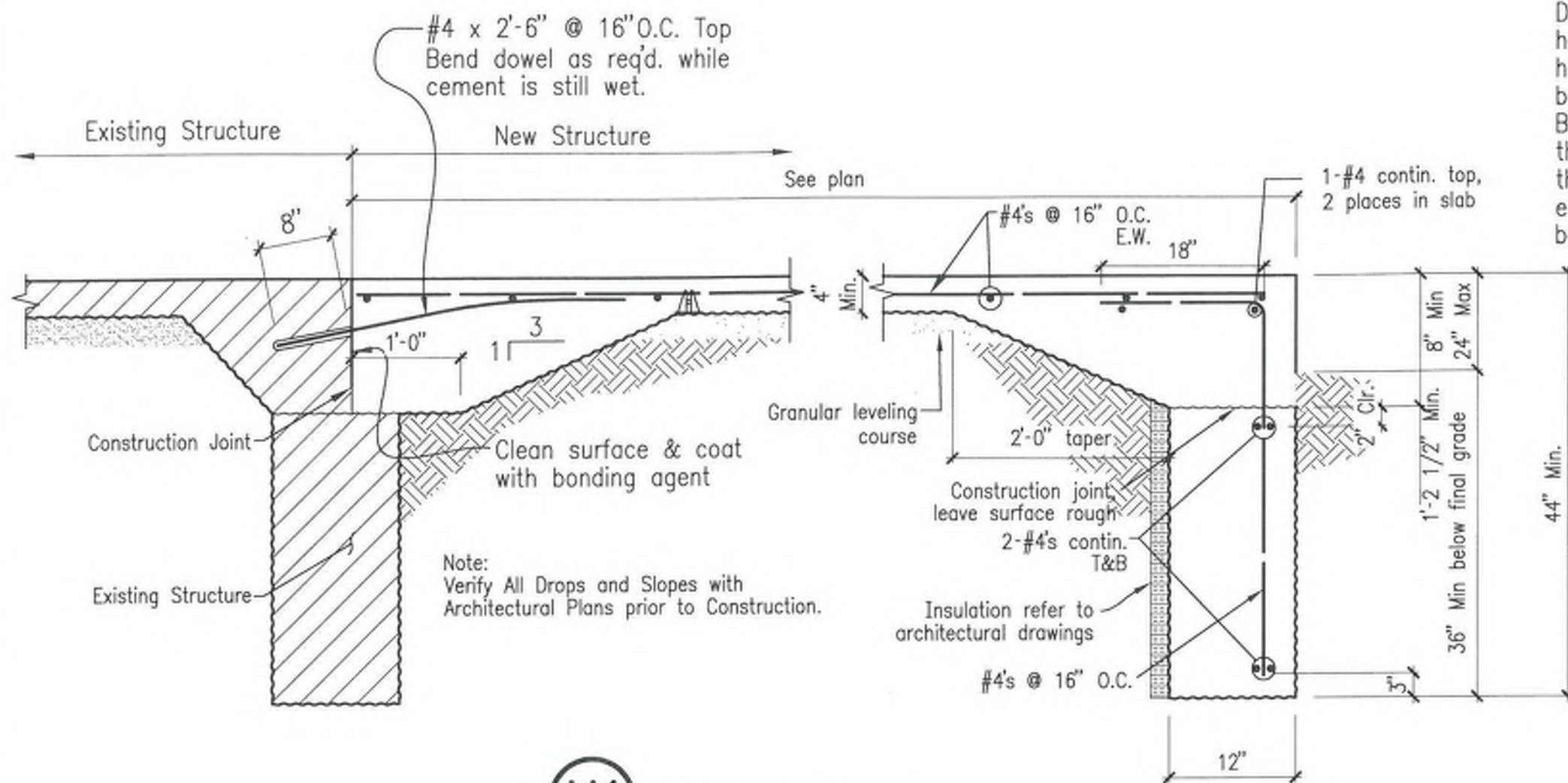
SCALE 1/8" = 1'-0"

DRN R.D.

CODE 4.12.44.120

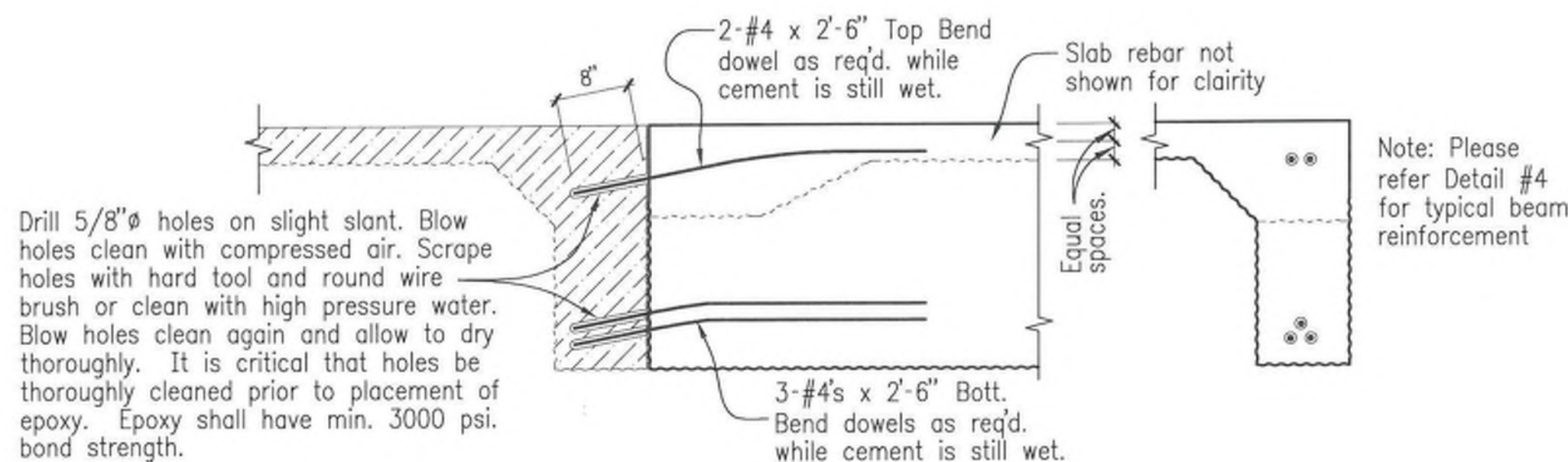
FD-3.8

STRAND M18048



M1 Section @ Mailroom

Drill 5/8"Ø holes on slight slant. Blow holes clean with compressed air. Scrape holes with hard tool and round wire brush or clean with high pressure water. Blow holes clean again and allow to dry thoroughly. It is critical that holes be thoroughly cleaned prior to placement of epoxy. Epoxy shall have min. 3000 psi. bond strength.



M2 Perimeter Section @ Mailroom

STRAND

10003 Technology Blvd. West
Dallas, Tx. 75220
972-620-8204
Registration No: 2008010474



Summit Square II Apartments
Lee Summit, MISSOURI

Repair detail for exposed tendon

For: ACCU-CRETE, INC.

DATE 08/21/2019

DRN R.D.

CHKD C.A.K.

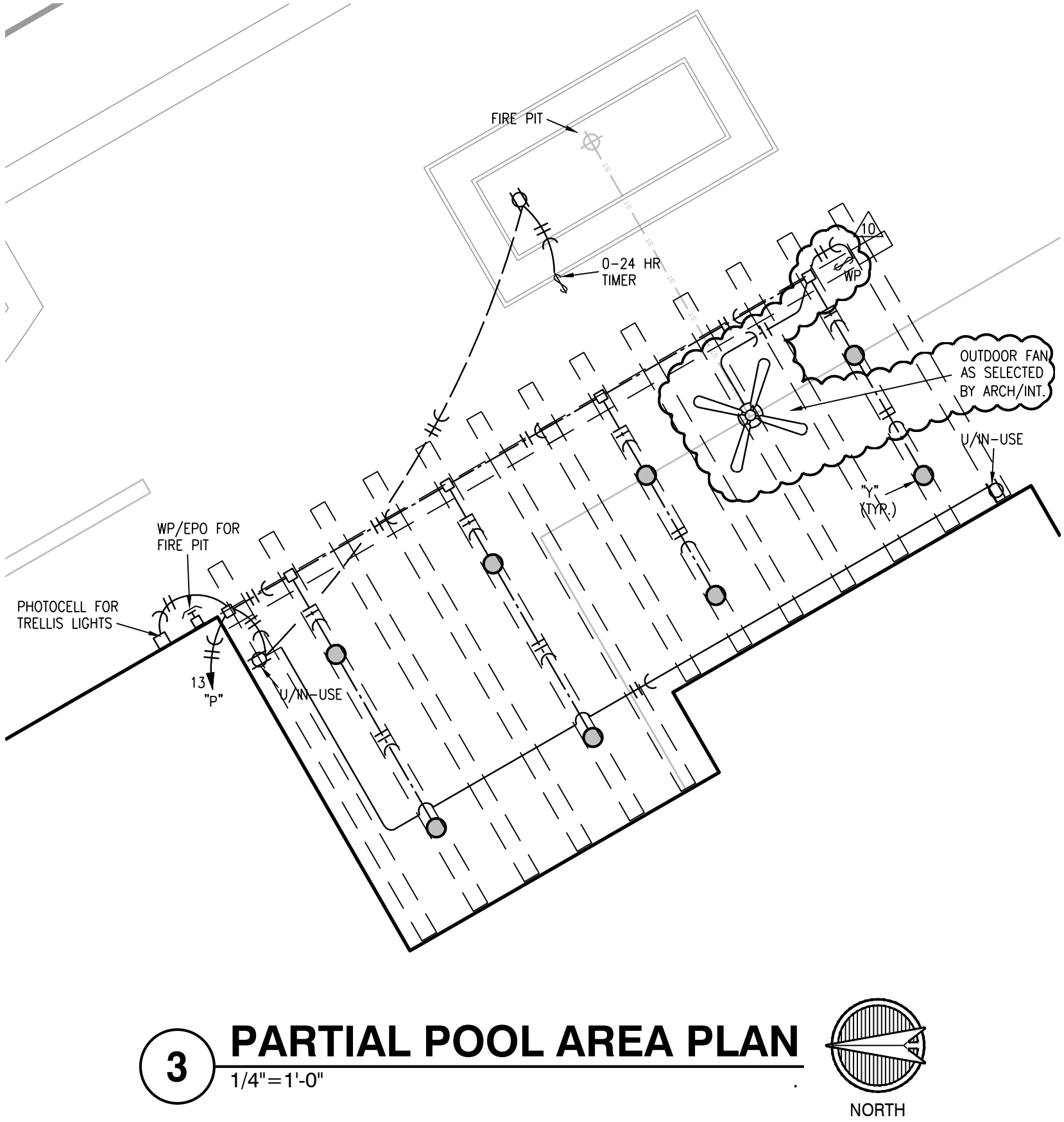
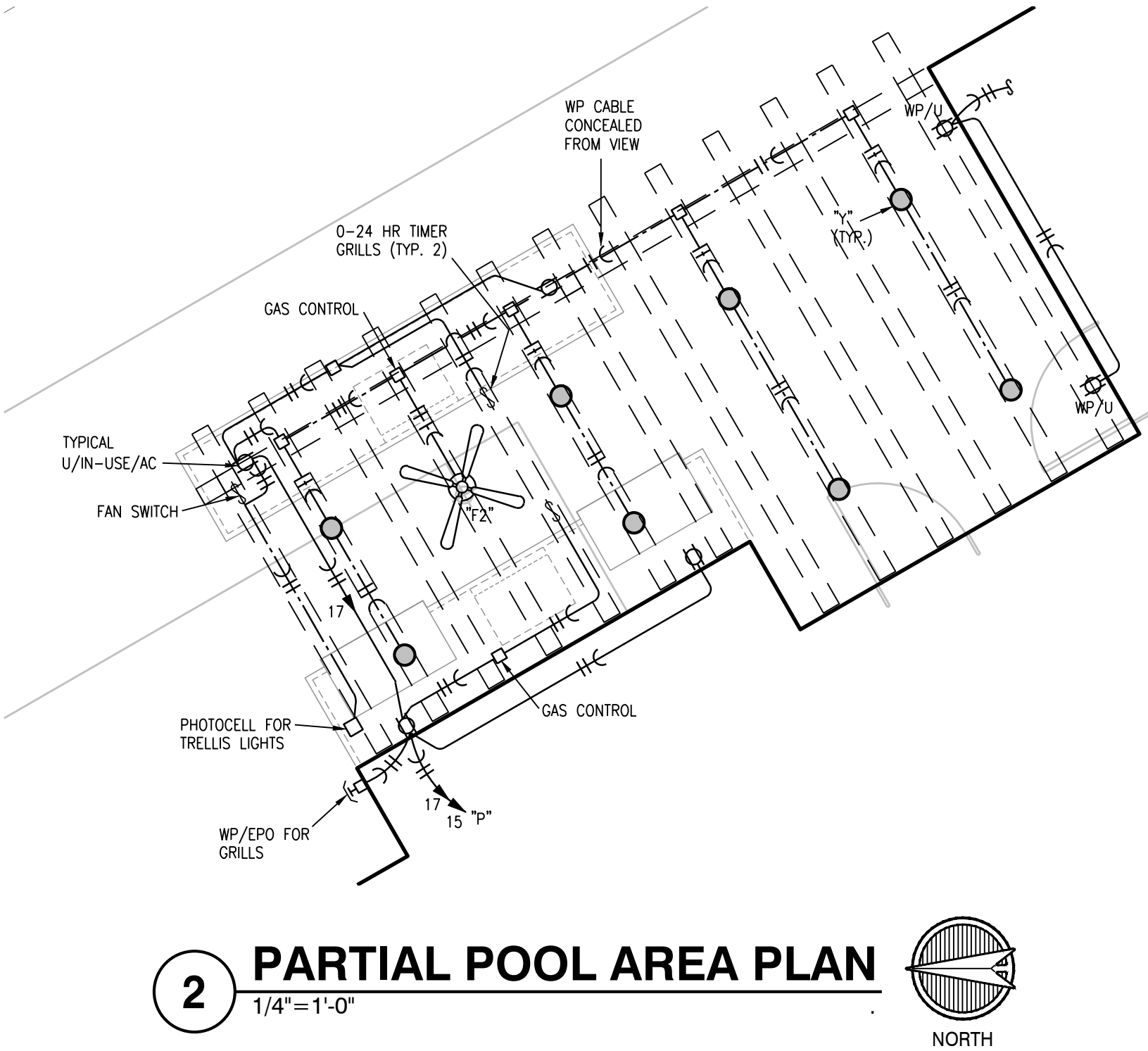
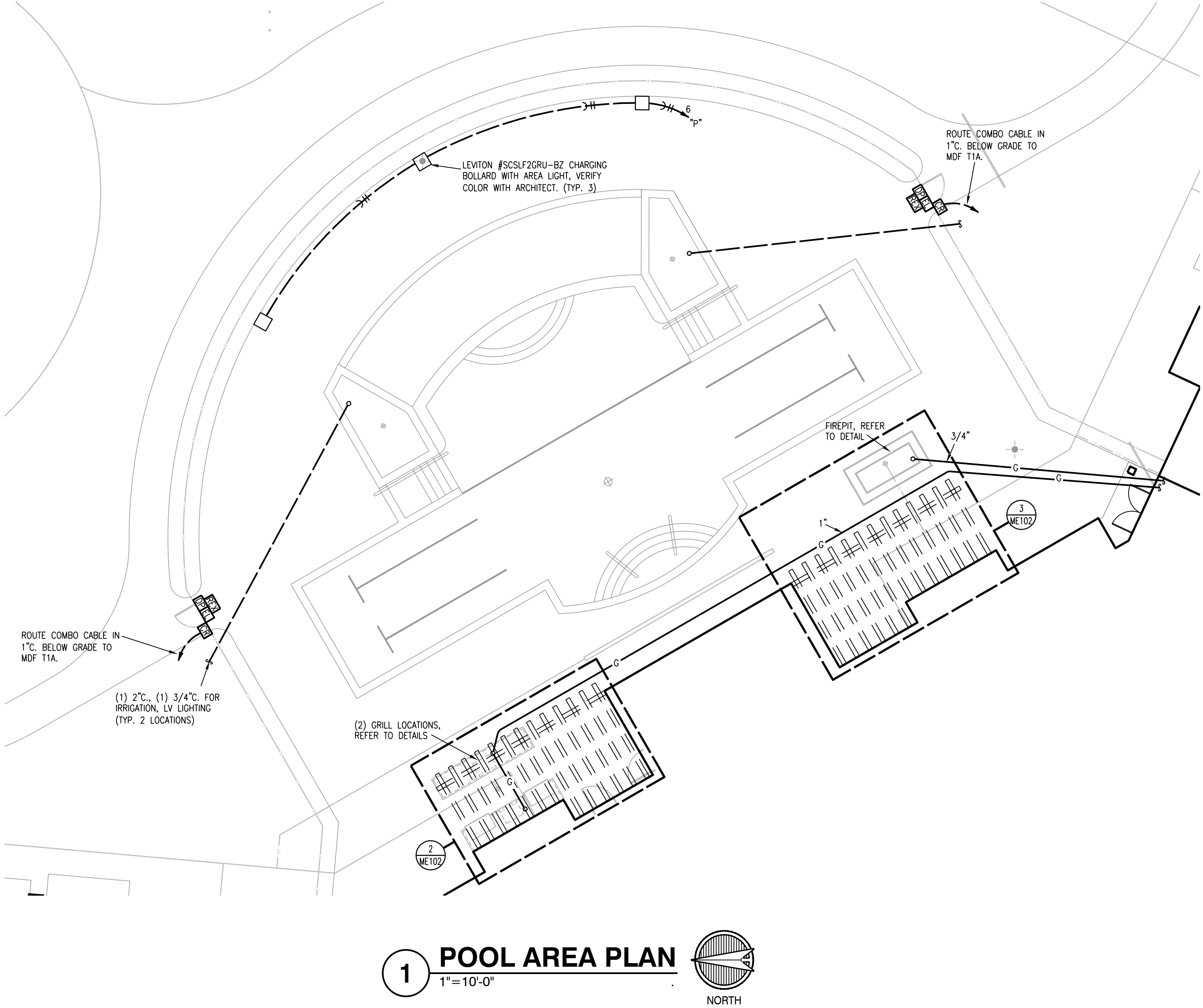
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SHEET NO.

Mail Room

S²E
NO. M18048

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CONSTRUCTION SET

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Latimer Sommers & Associates, P.A.
CONSULTING ENGINEERS
3539 SW Summerfield Drive, Suite A
Topeka, Kansas 66614-3974
Telephone: (785) 233-2232
FAX: (785) 233-0947
Email: lsapa@lsapa.com
LSA PROJECT NO. 1804007

REVISIONS

- 08.31.2018 - City Comments
- 09.28.2018 - Addendum 2
- 08.23.2019 - Asl-016

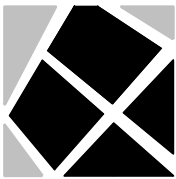
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JOB NO.
614618
DRAWN BY:
CAD
SHEET NO.

ME1.02

A NEW RESIDENCE/MULTI-FAMILY PROJECT FOR:
SUMMIT SQUARE II
LEE'S SUMMIT, MISSOURI

DRAWING RELEASE LOG

- 08.10.2018 - PERMIT SET
- 09.28.2018 - CONSTRUCTION SET



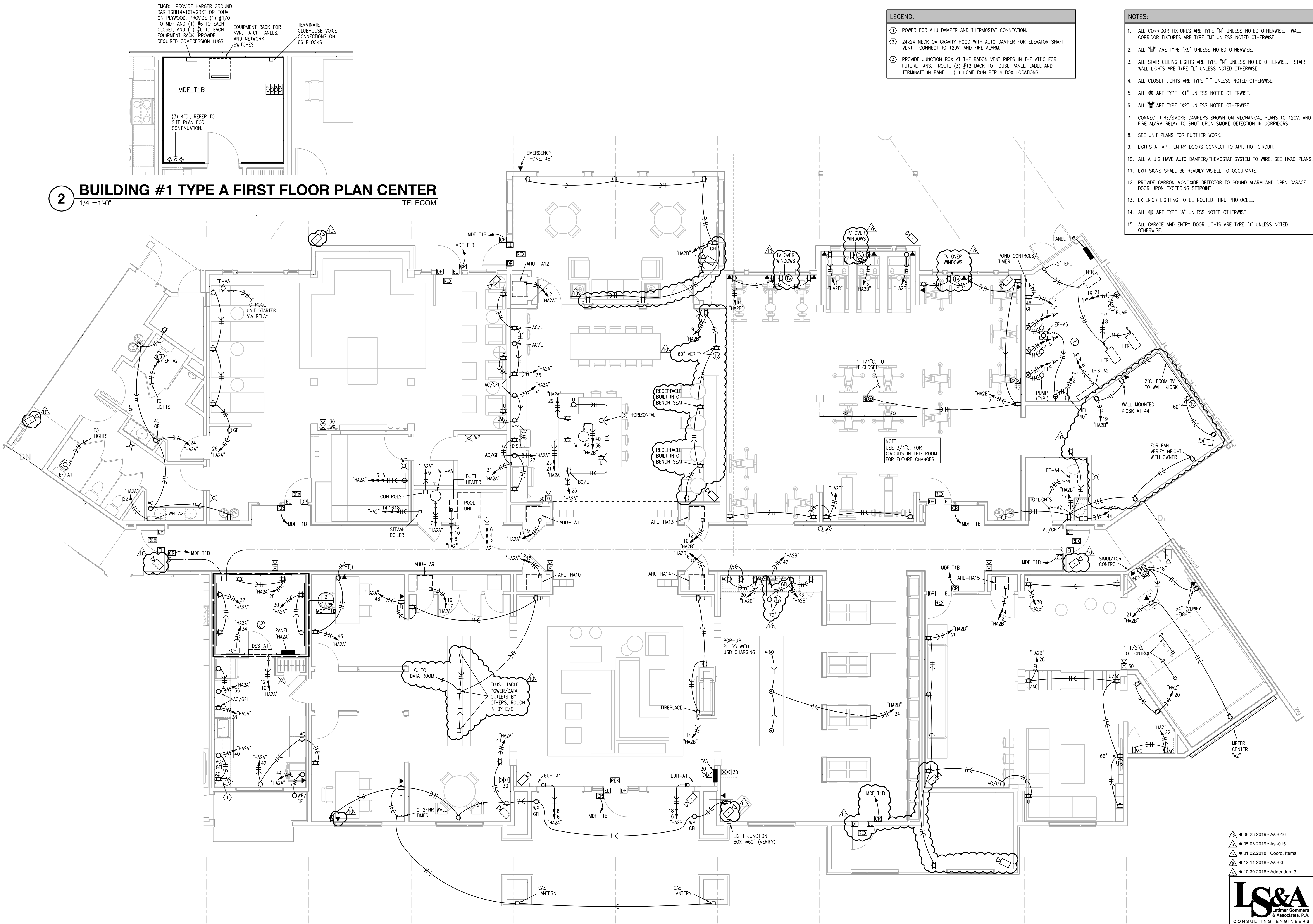
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2 BUILDING #1 TYPE A FIRST FLOOR PLAN CENTER
1/4"=1'-0" TELECOM



1 BUILDING #1 TYPE A FIRST FLOOR PLAN CENTER
3/16"=1'-0" ELECTRICAL

- LEGEND:
- ① POWER FOR AHU DAMPER AND THERMOSTAT CONNECTION.
 - ② 24/24 NECK OR GRAVITY HOOD WITH AUTO DAMPER FOR ELEVATOR SHAFT VENT. CONNECT TO 120V. AND FIRE ALARM.
 - ③ PROVIDE JUNCTION BOX AT THE RADON VENT PIPES IN THE ATTIC FOR FUTURE FANS. ROUTE (3) #12 BACK TO HOUSE PANEL, LABEL AND TERMINATE IN PANEL. (1) HOME RUN PER 4 BOX LOCATIONS.

- NOTES:
- ALL CORRIDOR FIXTURES ARE TYPE "N" UNLESS NOTED OTHERWISE. WALL CORRIDOR FIXTURES ARE TYPE "M" UNLESS NOTED OTHERWISE.
 - ALL ARE TYPE "X5" UNLESS NOTED OTHERWISE.
 - ALL STAIR CEILING LIGHTS ARE TYPE "N" UNLESS NOTED OTHERWISE. STAIR WALL LIGHTS ARE TYPE "L" UNLESS NOTED OTHERWISE.
 - ALL CLOSET LIGHTS ARE TYPE "T" UNLESS NOTED OTHERWISE.
 - ALL ARE TYPE "X1" UNLESS NOTED OTHERWISE.
 - ALL ARE TYPE "X2" UNLESS NOTED OTHERWISE.
 - CONNECT FIRE/SMOKE DAMPERS SHOWN ON MECHANICAL PLANS TO 120V. AND FIRE ALARM RELAY TO SHUT UPON SMOKE DETECTION IN CORRIDORS.
 - SEE UNIT PLANS FOR FURTHER WORK.
 - LIGHTS AT APT. ENTRY DOORS CONNECT TO APT. HOT CIRCUIT.
 - ALL AHU'S HAVE AUTO DAMPER/THERMOSTAT SYSTEM TO WIRE. SEE HVAC PLANS.
 - EXIT SIGNS SHALL BE READILY VISIBLE TO OCCUPANTS.
 - PROVIDE CARBON MONOXIDE DETECTOR TO SOUND ALARM AND OPEN GARAGE DOOR UPON EXCEEDING SETPOINT.
 - EXTERIOR LIGHTING TO BE ROUTED THRU PHOTOCELL.
 - ALL ARE TYPE "A" UNLESS NOTED OTHERWISE.
 - ALL GARAGE AND ENTRY DOOR LIGHTS ARE TYPE "J" UNLESS NOTED OTHERWISE.

A NEW RESIDENCE/MULTI-FAMILY PROJECT FOR:

SUMMIT SQUARE II

LEE'S SUMMIT, MISSOURI

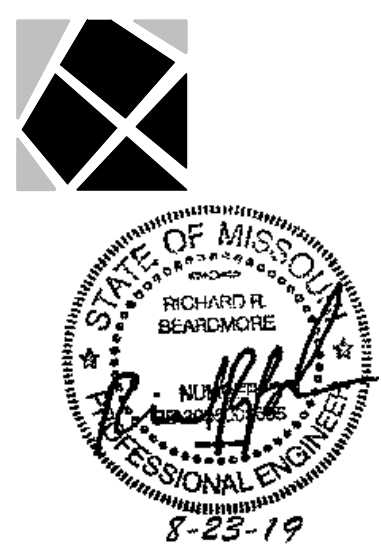
- DRAWING RELEASE LOG
- 08.10.2018 - PERMIT SET
 - 09.28.2018 - CONSTRUCTION SET

- REVISIONS
- 08.23.2019 - Asi-016
 - 05.03.2019 - Asi-015
 - 01.22.2018 - Coord. Items
 - 12.11.2018 - Asi-03
 - 10.30.2018 - Addendum 3

DATE
08/10/2018
JOB NO.
614618
DRAWN BY:
CAD
SHEET NO.
E1.06a

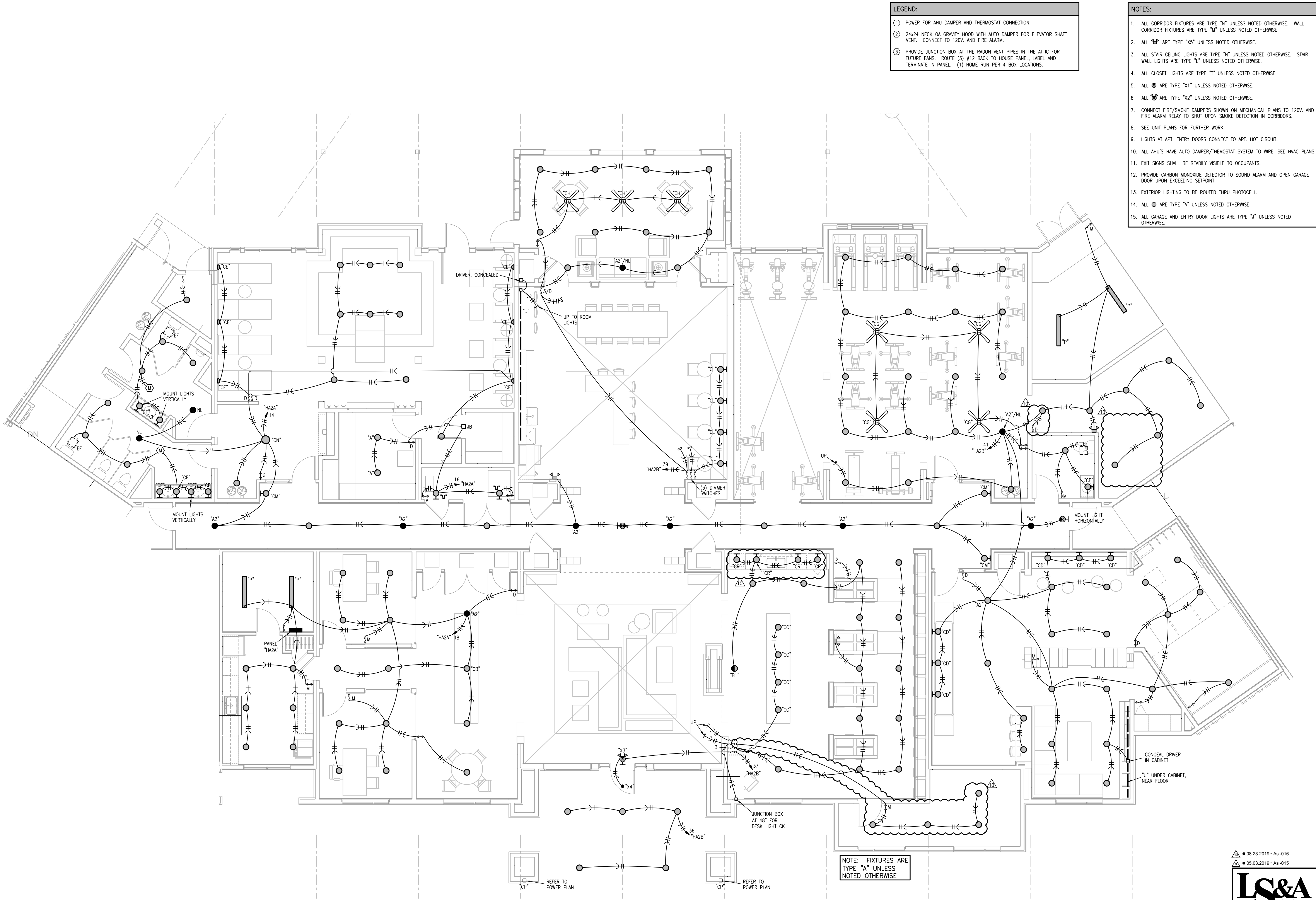
LS&A
Latimer Sommers
& Associates, P.A.
CONSULTING ENGINEERS
3539 SW Summerfield Drive, Suite A
Topeka, Kansas 66614-3974
Telephone: (785) 233-2322
FAX: (785) 233-0947
Email: lsapa@lsapa.com
LSA PROJECT NO. 1804007

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1 BUILDING #1 TYPE A FIRST FLOOR PLAN CENTER
3/16"=1'-0" LIGHTING

CONSTRUCTION SET

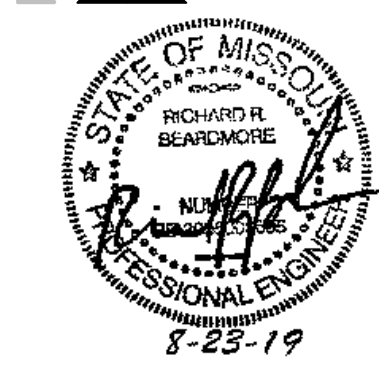
REVISIONS
● 08.31.2018 - City Comments
● 09.28.2018 - Addendum 2
● 10.30.2018 - Addendum 3
DATE
08/10/2018
JOB NO.
614618
DRAWN BY:
CAD
SHEET NO.
E1.06b

LS&A
Latimer Sommers
& Associates, P.A.
CONSULTING ENGINEERS
3639 SW Summerfield Drive, Suite A
Topeka, Kansas 66614-3974
Telephone: (785) 233-2322
FAX: (785) 233-0947
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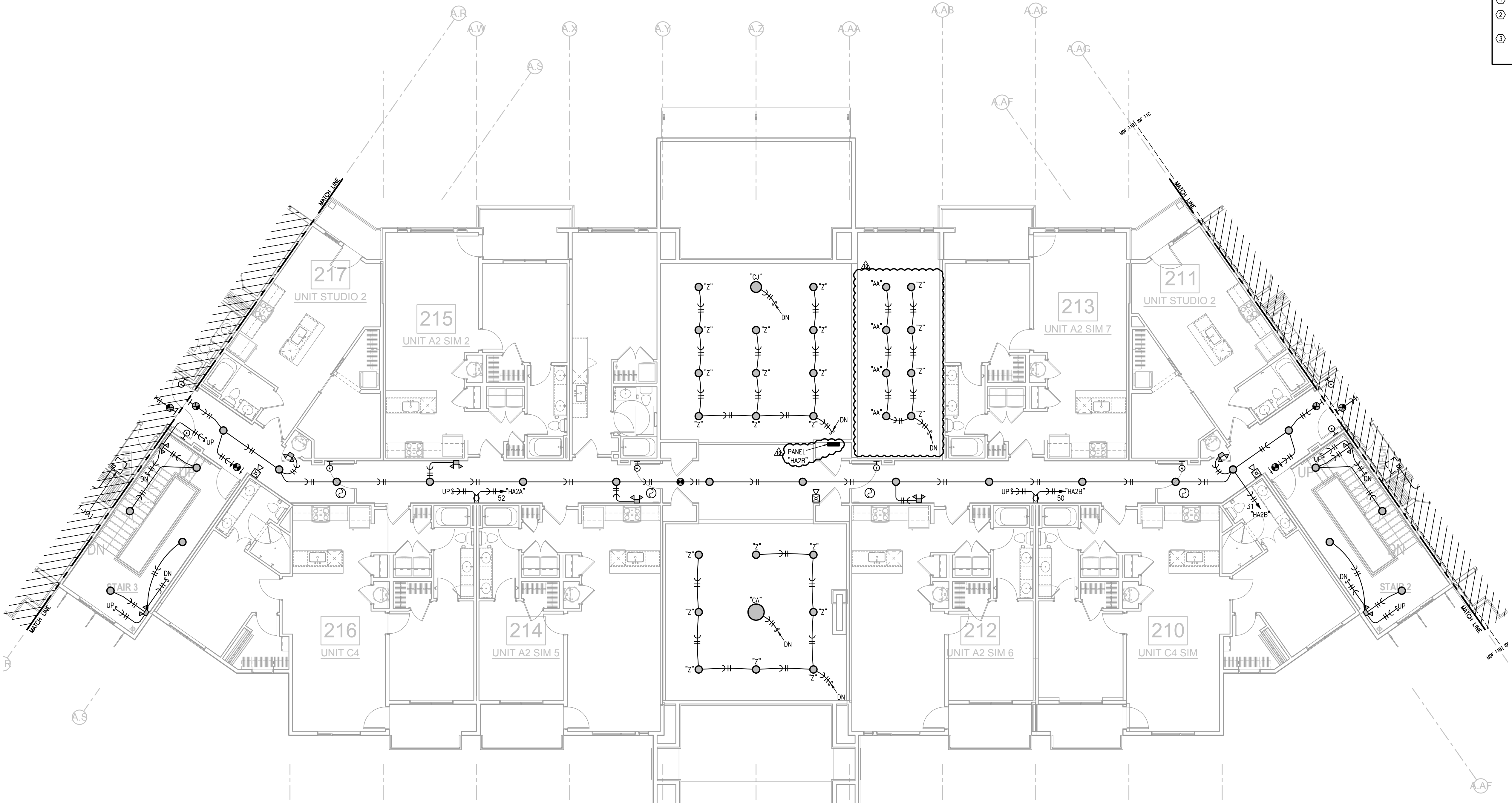


A NEW RESIDENCE/MULTI-FAMILY PROJECT FOR:
SUMMIT SQUARE II
LEE'S SUMMIT, MISSOURI

DRAWING RELEASE LOG

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● 09.28.2018 - CONSTRUCTION SET

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1 **BUILDING #1 TYPE A SECOND FLOOR PLAN CENTER**
1/8" = 1'-0" ELECTRICAL

CONSTRUCTION SET

NOTES:

1. ALL CORRIDOR FIXTURES ARE TYPE "N" UNLESS NOTED OTHERWISE. WALL CORRIDOR FIXTURES ARE TYPE "M" UNLESS NOTED OTHERWISE.
2. ALL ARE TYPE "XS" UNLESS NOTED OTHERWISE.
3. ALL STAIR CEILING LIGHTS ARE TYPE "N" UNLESS NOTED OTHERWISE. STAIR WALL LIGHTS ARE TYPE "L" UNLESS NOTED OTHERWISE.
4. ALL CLOSET LIGHTS ARE TYPE "T" UNLESS NOTED OTHERWISE.
5. ALL ARE TYPE "X1" UNLESS NOTED OTHERWISE.
6. ALL ARE TYPE "X2" UNLESS NOTED OTHERWISE.
7. CONNECT FIRE/SMOKE DAMPERS SHOWN ON MECHANICAL PLANS TO 120V. AND FIRE ALARM RELAY TO SHUT UPON SMOKE DETECTION IN CORRIDORS.
8. SEE UNIT PLANS FOR FURTHER WORK.
9. LIGHTS AT APT. ENTRY DOORS CONNECT TO APT. HOT CIRCUIT.
10. ALL AHU'S HAVE AUTO DAMPER/THERMOSTAT SYSTEM TO WIRE. SEE HVAC PLANS.
11. EXIT SIGNS SHALL BE READILY VISIBLE TO OCCUPANTS.
12. PROVIDE CARBON MONOXIDE DETECTOR TO SOUND ALARM AND OPEN GARAGE DOOR UPON EXCEEDING SETPOINT.
13. EXTERIOR LIGHTING TO BE ROUTED THRU PHOTOCELL.
14. ALL ARE TYPE "A" UNLESS NOTED OTHERWISE.
15. ALL GARAGE AND ENTRY DOOR LIGHTS ARE TYPE "J" UNLESS NOTED OTHERWISE.

LEGEND:

- ① POWER FOR AHU DAMPER AND THERMOSTAT CONNECTION.
- ② 24x24 NECK OA GRAVITY HOOD WITH AUTO DAMPER FOR ELEVATOR SHAFT VENT. CONNECT TO 120V. AND FIRE ALARM.
- ③ PROVIDE JUNCTION BOX AT THE RADON VENT PIPES IN THE ATTIC FOR FUTURE FANS. ROUTE (3) #12 BACK TO HOUSE PANEL, LABEL AND TERMINATE IN PANEL. (1) HOME RUN PER 4 BOX LOCATIONS.

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STATE OF MISSOURI
RICHARD R. BEAUCROIX
Professional Engineer
8-23-19

A NEW RESIDENCE/MULTI-FAMILY PROJECT FOR:
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DRAWING RELEASE LOG
● 08.10.2018 - PERMIT SET
● 09.28.2018 - CONSTRUCTION SET

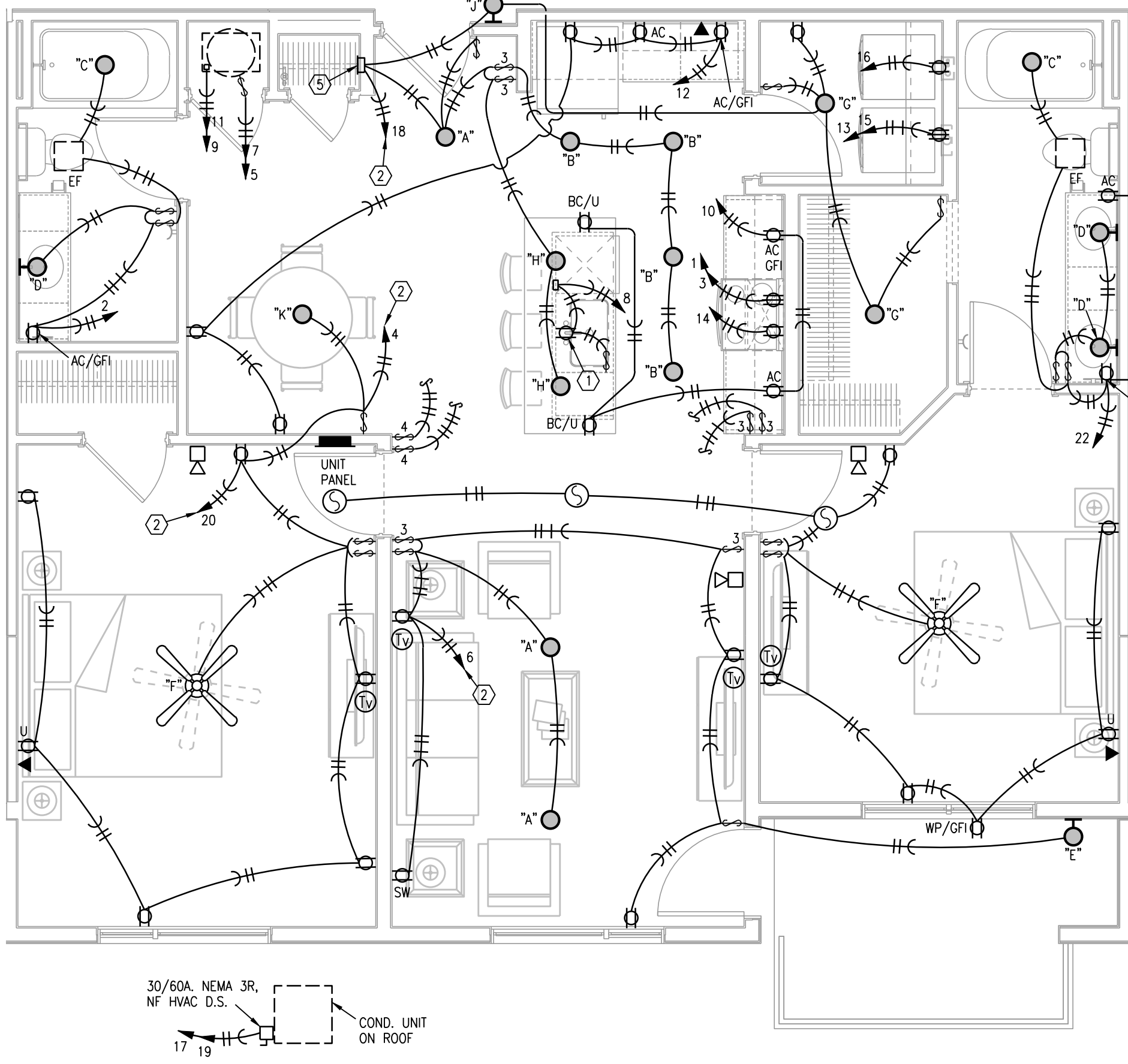
● 08.23.2019 - Asl-016
● 10.30.2018 - Addendum 3

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Latimer Sommers
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CONSULTING ENGINEERS
3639 SW Summerfield Drive, Suite A
Topeka, Kansas 66614-3974
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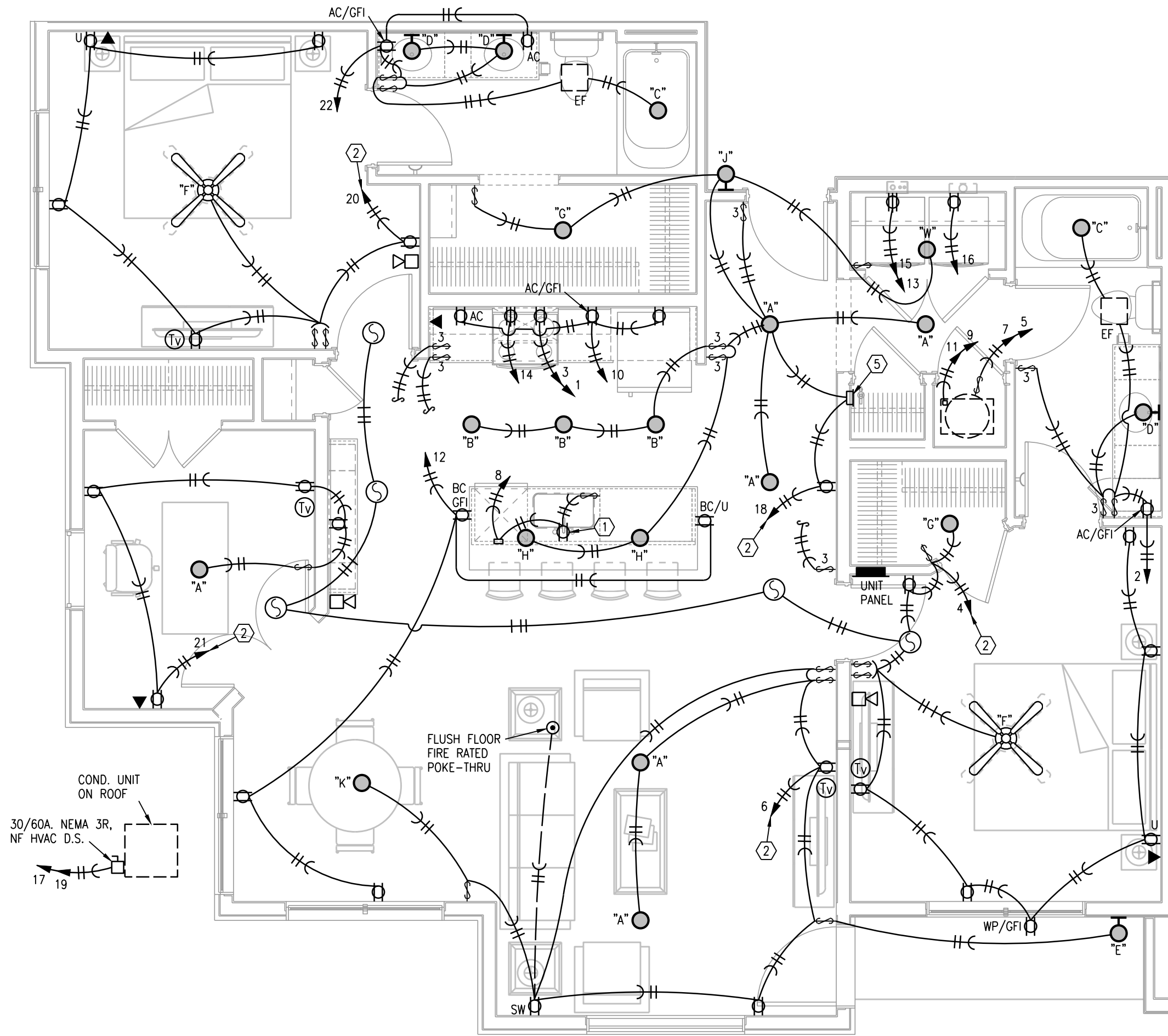
REVISIONS
▲ 08.24.2018 - Addendum 1
▲ 08.31.2018 - City Comments
▲ 09.28.2018 - Addendum 2
DATE 08/10/2018
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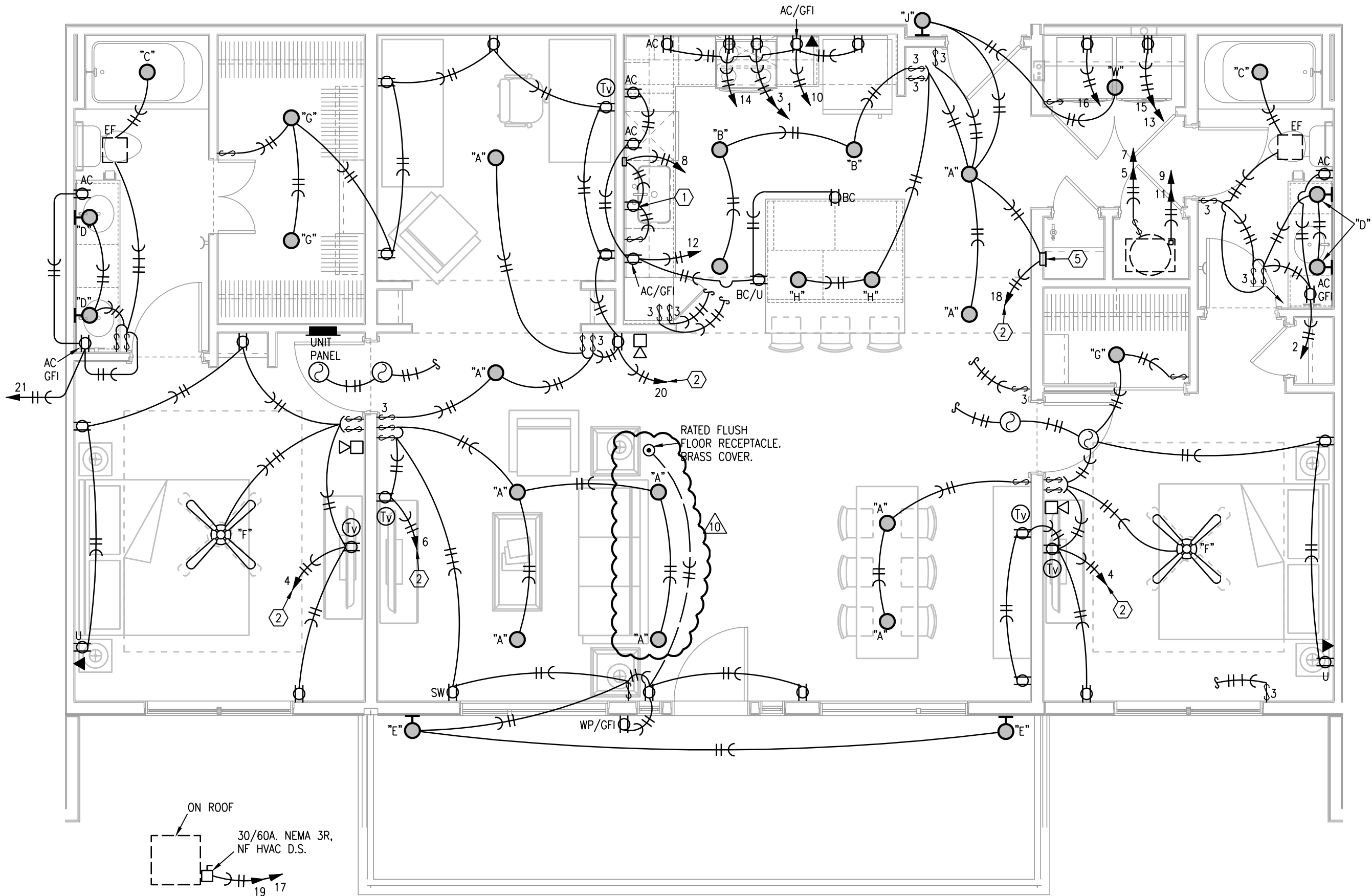
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1 TYPICAL C5 UNIT PLAN
1/4"=1'-0" (UNIT C5-4 SIMILAR) ELECTRICAL



2 TYPICAL D1 UNIT PLAN
1/4"=1'-0" (UNIT D1-4 SIMILAR) ELECTRICAL



3 TYPICAL PENTHOUSE UNIT PLAN
1/4"=1'-0" ELECTRICAL

- NOTES:
1. TYPE "J" FIXTURE IN HALLWAYS ARE UNSWITCHED. MOUNT AT 72" AFF, VERIFY WITH ARCHITECT.
 2. CEILING FAN SWITCHES PROVIDED WITH FAN. CONTROL LIGHT AND FAN SEPARATELY. INTENDED FOR SINGLE GANG BOX.
 3. CENTER "H" PENDANT LIGHTS OVER BASE BACK WALL AND CENTERED EQUALLY LEFT TO RIGHT OVER SINK. THESE ARE SEPARATELY SWITCHED.
 4. GENERALLY CENTER LIGHT ON WINDOWS, DOOR, HALLWAYS, SINKS, OVER TUBS, ETC. VERIFY ALL LOCATIONS IN EACH UNIT. DIMENSIONALLY WITH ARCHITECT, INTERIOR DESIGNER AND OWNER. MOUNT SWITCHES CLOSE TO DOORS OR WALL CORNERS.
 5. THERMOSTATS HAVE LOW VOLTAGE WIRE BACK TO AHU. CONDENSING UNITS HAVE LOW VOLTAGE WIRE BACK TO AHU.
 6. 120V. SMOKE/CO ALARM WITH BATTERY BACK-UP AND AUXILIARY CONTACT SO ALL SOUND TOGETHER.
 7. ALL ARC-FAULT CIRCUIT BREAKERS SHALL BE COMPATIBLE WITH CEILING FANS, COMPACT AND STANDARD FLUORESCENT LAMPS/FIXTURES AND OTHER ELECTRONIC DEVICES.
 8. PROVIDE PROTECTION AT ELECTRICAL BOXES AT RATED CEILING MEMBRANES PER IBC 712.4.1.2(2). BOXES TO BE LISTED FOR RATED MEMBRANES, NOT EXCEED 16 SQUARE INCHES, NOT COMBINE FOR MORE THAN 100 SQUARE INCHES IN 100 SQUARE FEET AND ANNULAR SPACE NOT EXCEED 1/8".
 9. FIRE ALARM HORN/STROBE CIRCUITS SHALL BE SIZED TO ACCEPT BEDROOM HORN/STROBES IN FUTURE INCLUDING WIRING AND PANEL CAPACITY.
 10. ALL RANGES SERVED BY (3) #8 & (1) #10 AND 50A. RECEPTACLE.
 11. ALL WATER HEATERS SERVED BY (3) #10
 12. ALL WASHERS AND REFRIGERATORS HAVE RECEPTACLES AT 48".
 13. SEE HVAC SCHEDULE AND SHOP DRAWINGS FOR AHU AND HEAT PUMP CIRCUITS.
 14. ALL DRYERS SERVED BY (4) #10 AND 30A. RECEPTACLE.
 15. BELOW COUNTER RECEPTACLES AND PLATES SHALL MATCH THE BASE CABINETS WHERE THEY ARE MOUNTED (BROWN, WHITE, ETC.) VERIFY WITH ARCHITECT.

- LEGEND:
- 1 SWITCHED RECEPTACLE FOR GARBAGE DISPOSER CONTINUE CIRCUIT TO DISHWASHER.
 - 2 PROVIDE ARC-FAULT CIRCUIT BREAKER IN PANEL.
 - 3 CONNECT RANGE HOOD TO TWO SWITCHES ABOVE COUNTER TO CONTROL LIGHT AND FAN.
 - 4 SMOKE ALARM TO HAVE STROBES.
 - 5 TELE/TV DEMARK FLUSH BOX. PROVIDE WITH DUPLEX OUTLET. PROVIDE 1" CONDUIT FROM BOX TO ABOVE CEILING AND OUT TO CEILING IN THE HALLWAY. SEE DETAILS.

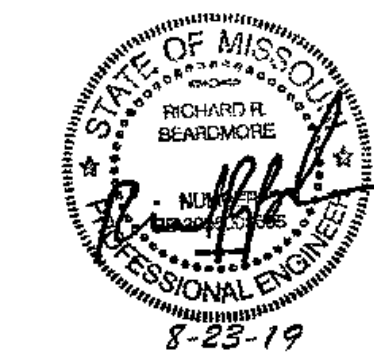
- ELECTRICAL SYMBOLS LEGEND:
- DUPLEX RECEPTACLE.
 - 120/240V. RECEPTACLE. 30A. FOR DRYER, 50A. FOR RANGE.
 - RECEPTACLE HALF SWITCHED.
 - USB CHARGING COMB. RECEPTACLE.
 - DATA OUTLET.
 - VOICE OUTLET.
 - COMBINATION CATV/DATA OUTLET.
 - AC ABOVE COUNTER
 - BC BELOW COUNTER

A NEW RESIDENCE/MULTI-FAMILY PROJECT FOR:

SUMMIT SQUARE II

LEE'S SUMMIT, MISSOURI

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F. 913.831.1563
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ARCHITECTS PA
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PRAIRIE VILLAGE, KS 66208

- REVISIONS
- 08.10.2018 - PERMIT SET
 - 08.24.2018 - Addendum 1
 - 08.23.2019 - Asi-016

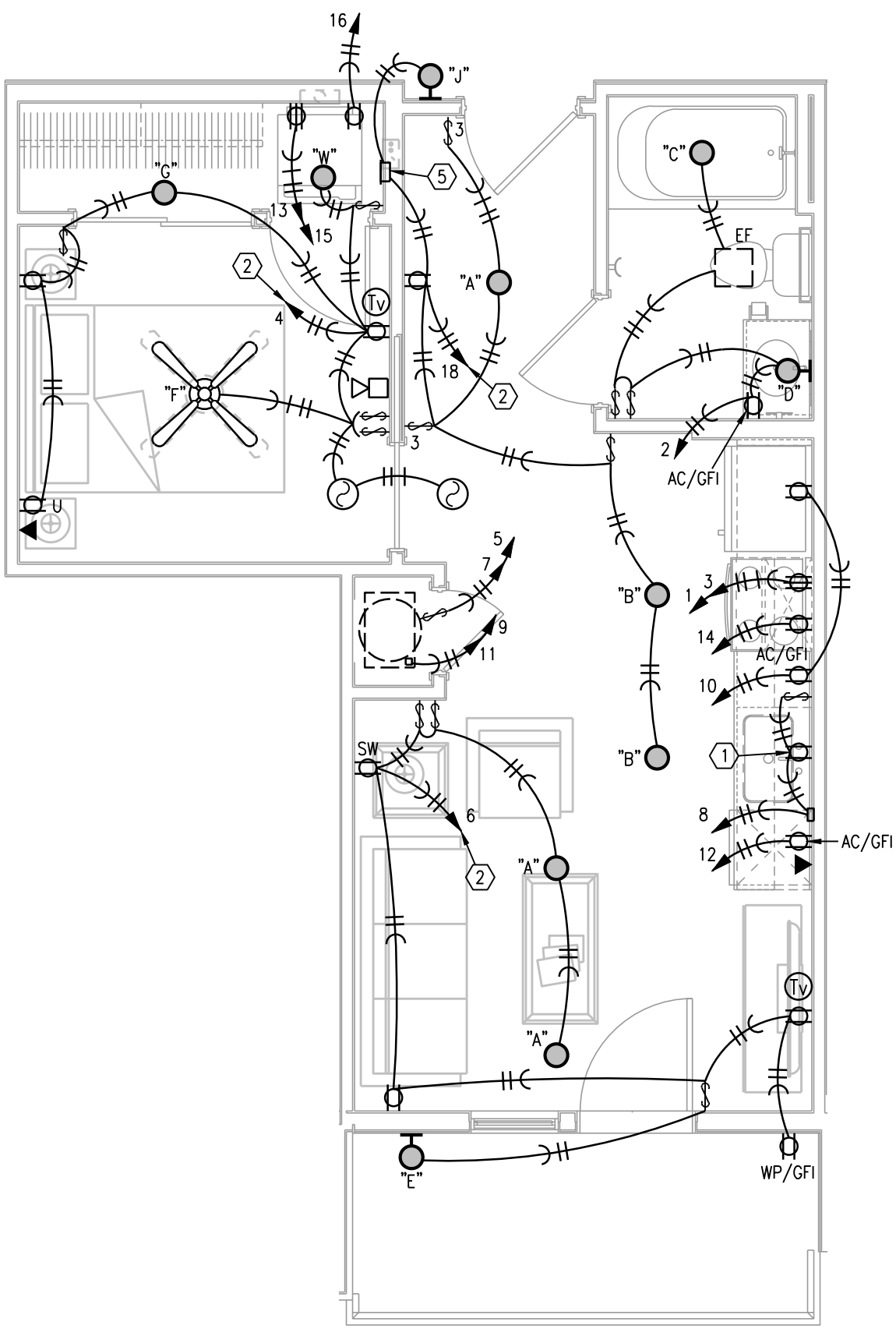
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JOB NO.
614618
DRAWN BY:
CAD
SHEET NO.

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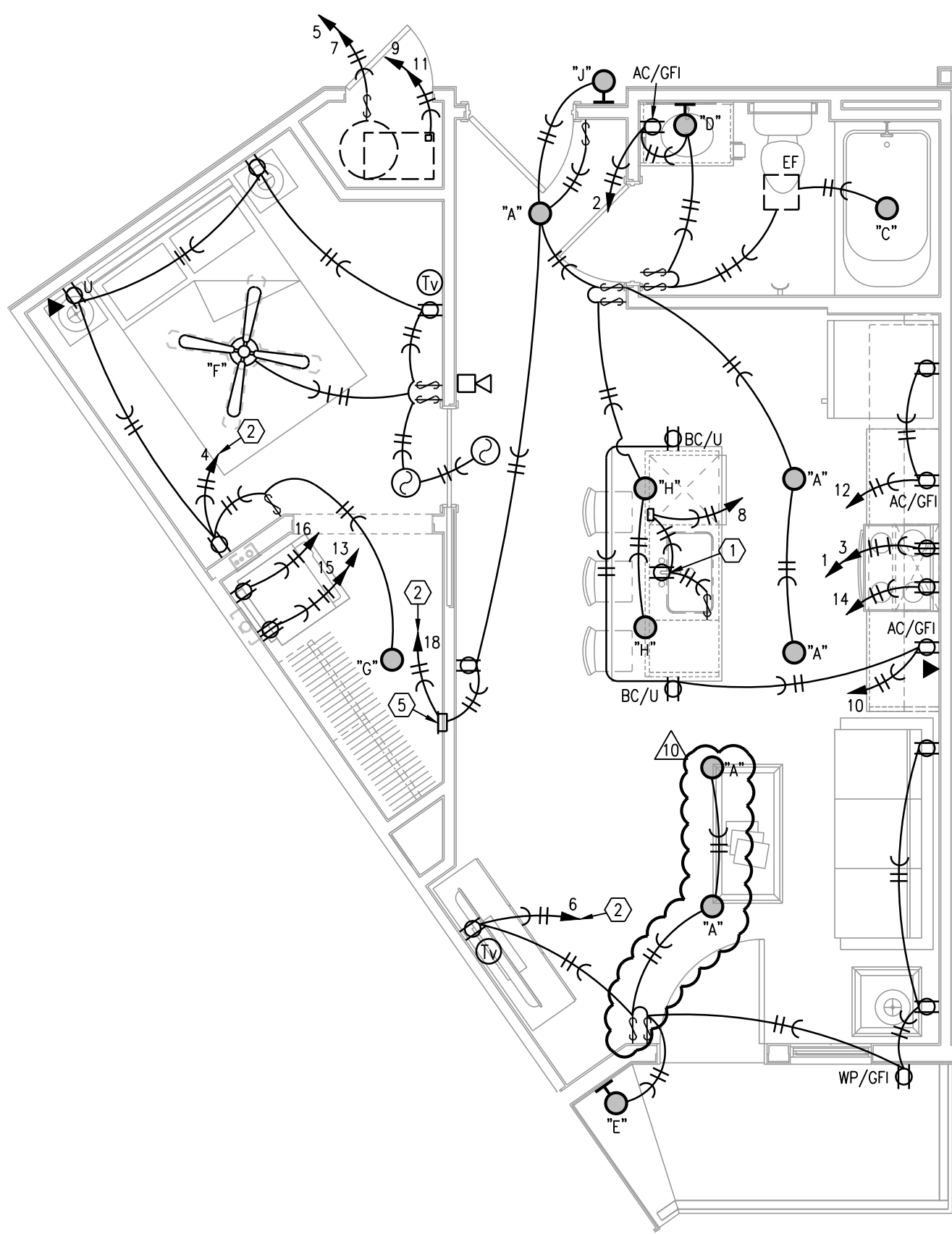


CONSTRUCTION SET

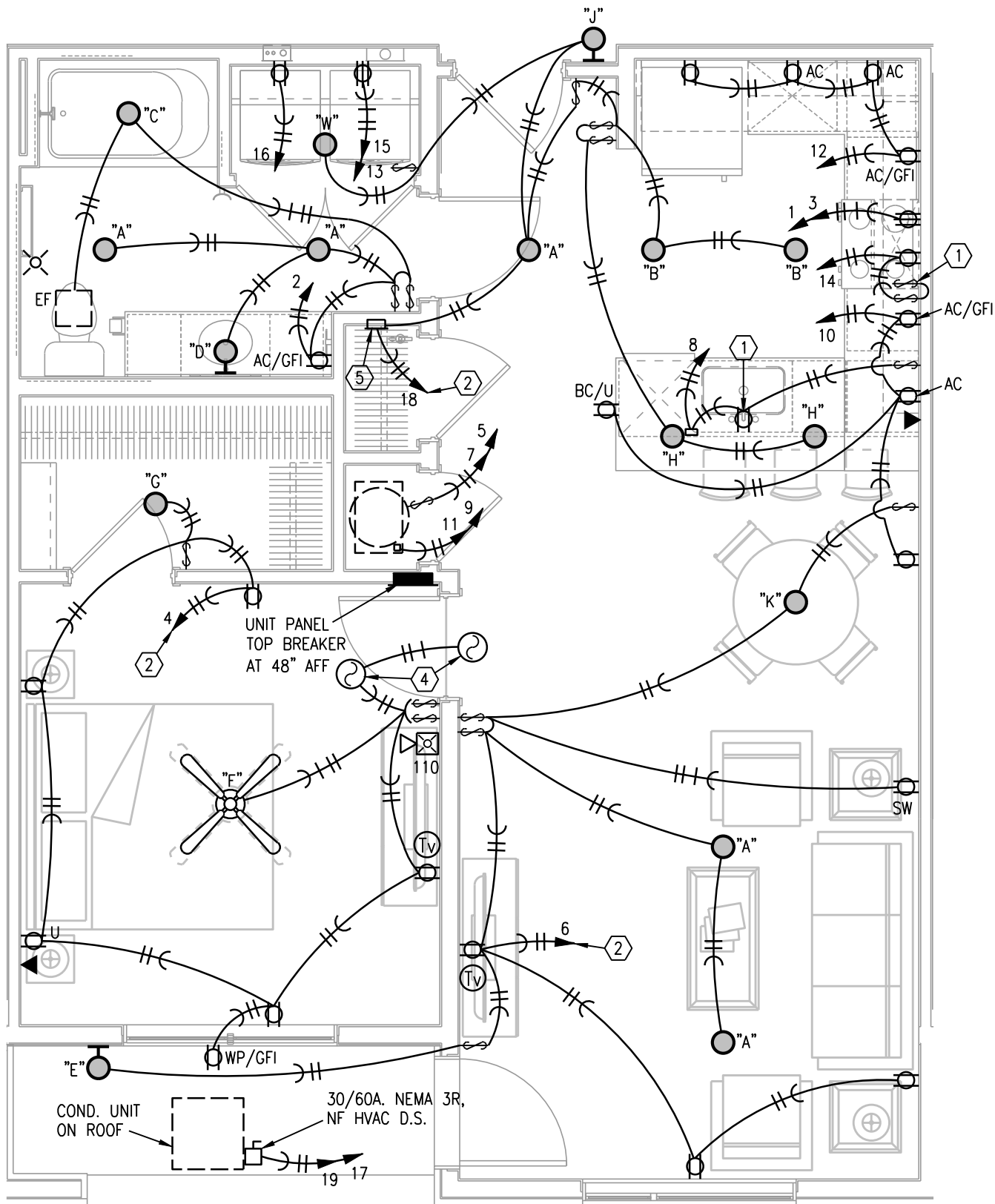
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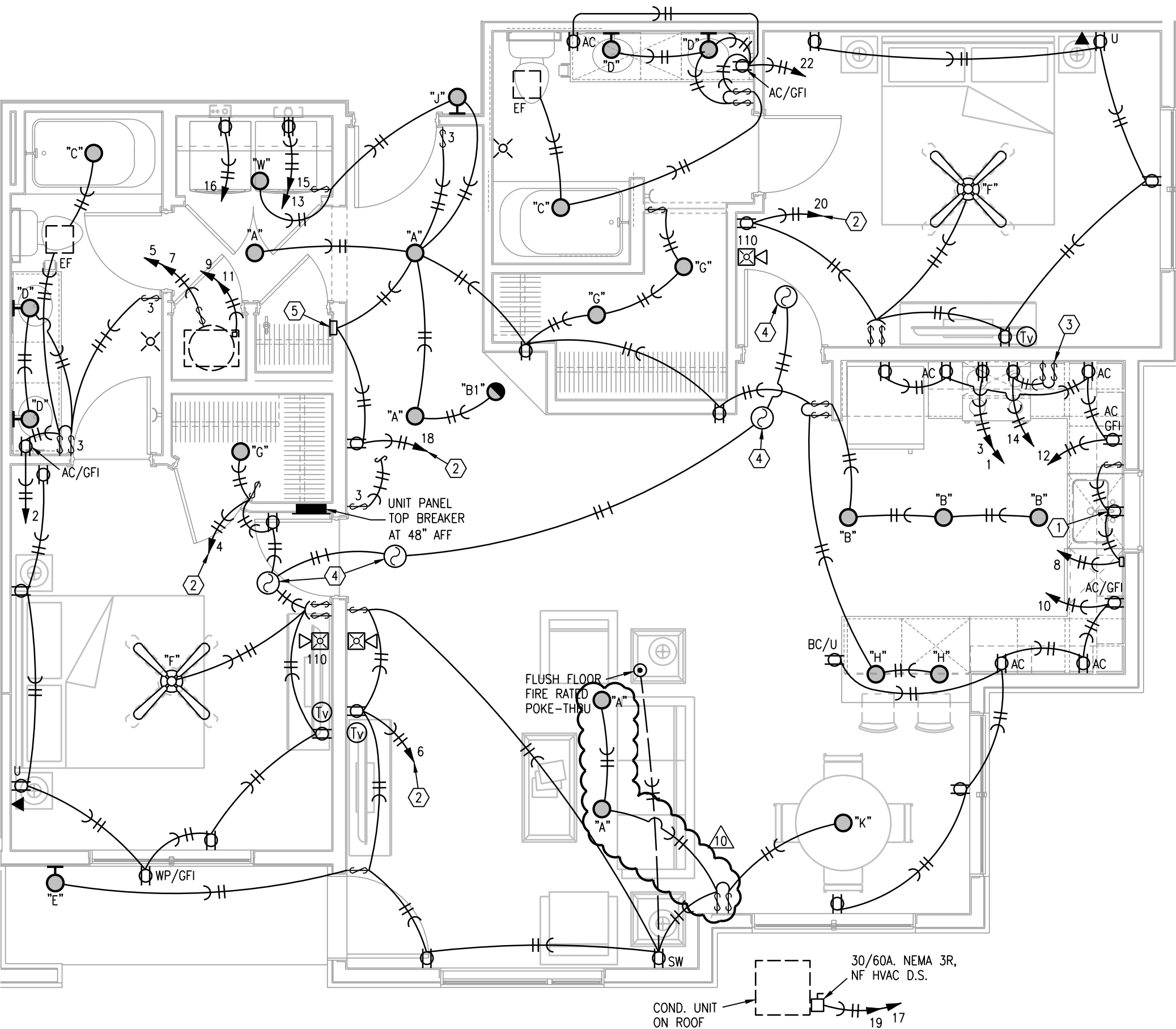
1 TYPICAL STUDIO UNIT PLAN
1/4"=1'-0" ELECTRICAL



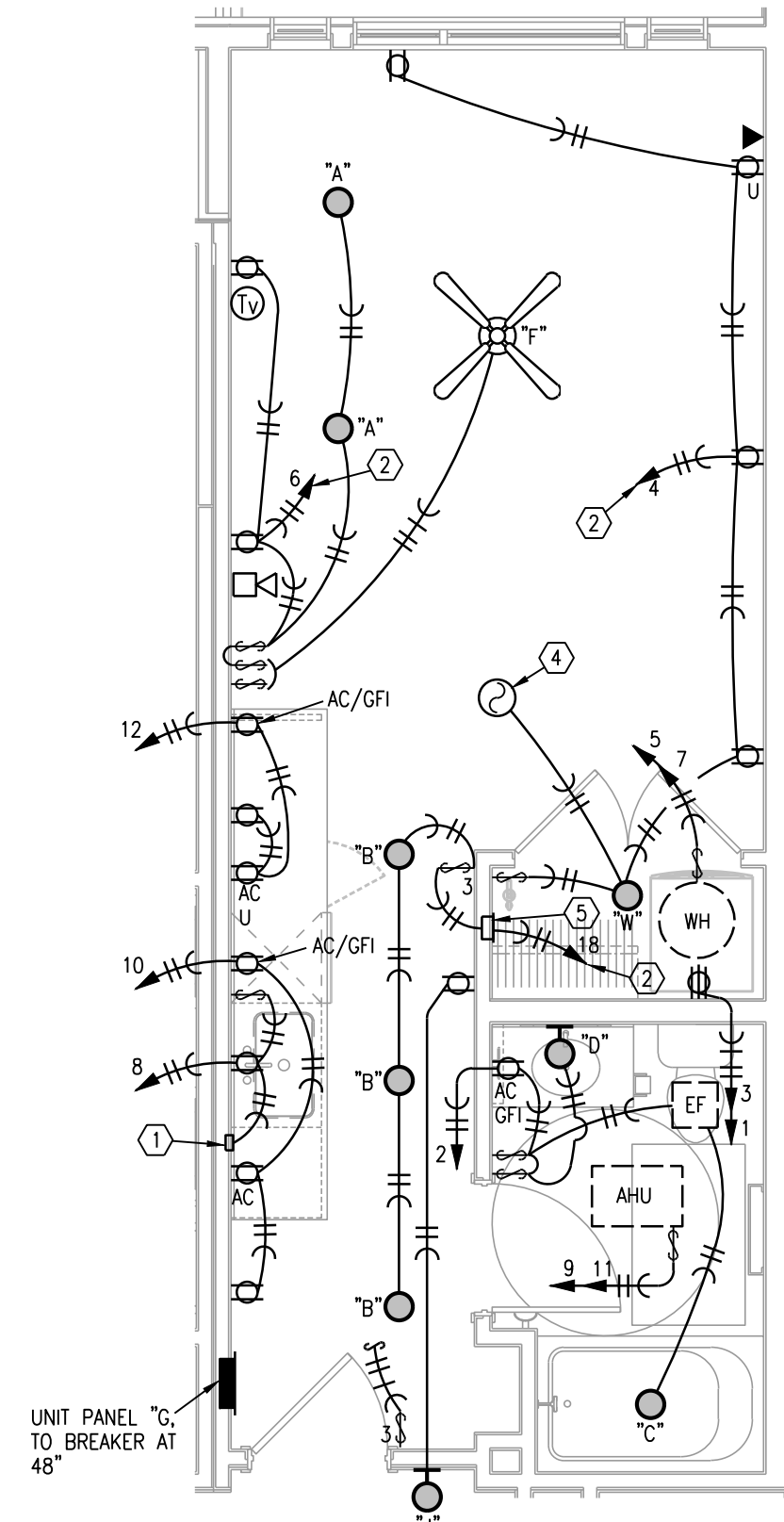
2 TYPICAL STUDIO 2 UNIT PLAN
1/4"=1'-0" ELECTRICAL



3 TYPICAL A2-TYPE A UNIT PLAN
1/4"=1'-0" ELECTRICAL



4 TYPICAL C3-TYPE A UNIT PLAN
1/4"=1'-0" ELECTRICAL



5 TYPICAL GUEST UNIT
1/4"=1'-0" ELECTRICAL

- NOTES:
1. TYPE "J" FIXTURE IN HALLWAYS ARE UNSWITCHED. MOUNT AT 72" AFF, VERIFY WITH ARCHITECT.
 2. CEILING FAN SWITCHES PROVIDED WITH FAN. CONTROL LIGHT AND FAN SEPARATELY. INTENDED FOR SINGLE GANG BOX.
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 5. THERMOSTATS HAVE LOW VOLTAGE WIRE BACK TO AHU. CONDENSING UNITS HAVE LOW VOLTAGE WIRE BACK TO AHU.
 6. = 120V. SMOKE/CO ALARM WITH BATTERY BACK-UP AND AUXILIARY CONTACT SO ALL SOUND TOGETHER.
 7. ALL ARC-FAULT CIRCUIT BREAKERS SHALL BE COMPATIBLE WITH CEILING FANS, COMPACT AND STANDARD FLUORESCENT LAMPS/FIXTURES AND OTHER ELECTRONIC DEVICES.
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 11. ALL WATER HEATERS SERVED BY (3) #10
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 15. BELOW COUNTER RECEPTACLES AND PLATES SHALL MATCH THE BASE CABINETS WHERE THEY ARE MOUNTED (BROWN, WHITE, ETC.) VERIFY WITH ARCHITECT.

- LEGEND:
- 1 SWITCHED RECEPTACLE FOR GARBAGE DISPOSER CONTINUE CIRCUIT TO DISHWASHER.
 - 2 PROVIDE ARC-FAULT CIRCUIT BREAKER IN PANEL.
 - 3 CONNECT RANGE HOOD TO TWO SWITCHES ABOVE COUNTER TO CONTROL LIGHT AND FAN.
 - 4 SMOKE ALARM TO HAVE STROBES.
 - 5 TELE/TV DEMARK FLUSH BOX. PROVIDE WITH DUPLEX OUTLET. PROVIDE 1" CONDUIT FROM BOX TO ABOVE CEILING AND OUT TO CEILING IN THE HALLWAY. SEE DETAILS.

- ELECTRICAL SYMBOLS LEGEND:
- DUPLEX RECEPTACLE.
 - 120/240V. RECEPTACLE. 30A. FOR DRYER, 50A. FOR RANGE.
 - RECEPTACLE HALF SWITCHED.
 - USB CHARGING COMB. RECEPTACLE.
 - DATA OUTLET.
 - VOICE OUTLET.
 - COMBINATION CATV/DATA OUTLET.
 - AC ABOVE COUNTER
 - BC BELOW COUNTER

REVISIONS

- 08.24.2018 - Addendum 1
- 09.28.2018 - Addendum 2
- 03.26.2019 - Asi-011
- 08.23.2019 - Asi-016
- 05.03.2019 - Asi-015

DATE
08/10/2018

JOB NO.
614618

DRAWN BY:
CAD

SHEET NO.
E2.05

LS&A
Latimer Sommers & Associates, P.A.
CONSULTING ENGINEERS
3539 SW Summerfield Drive, Suite A
Topeka, Kansas 66614-3974
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LSA PROJECT NO. 1804007

CONSTRUCTION SET

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SUMMIT SQUARE II

LEE'S SUMMIT, MISSOURI

DRAWING RELEASE LOG

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- 09.28.2018 - CONSTRUCTION SET

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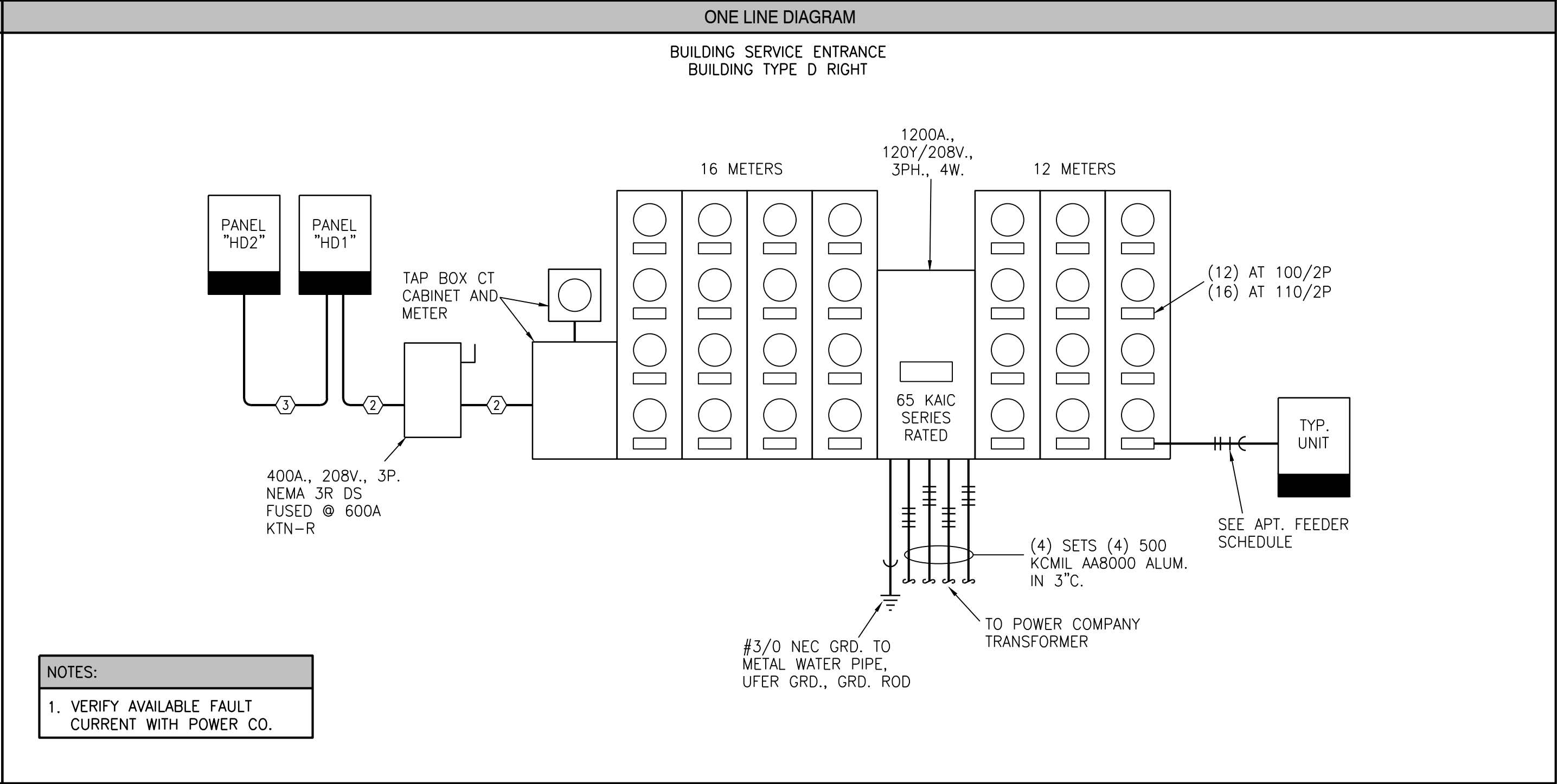
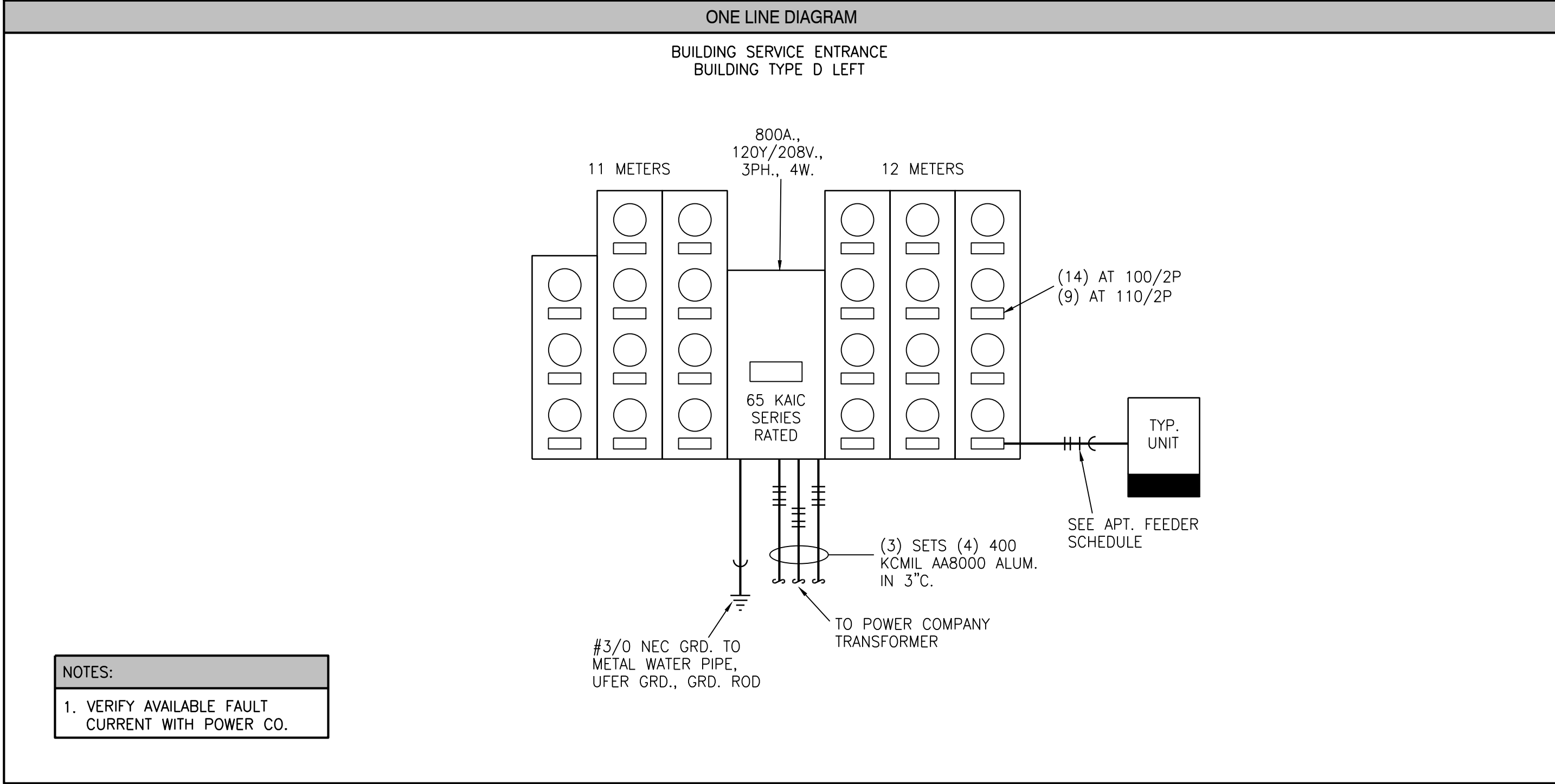
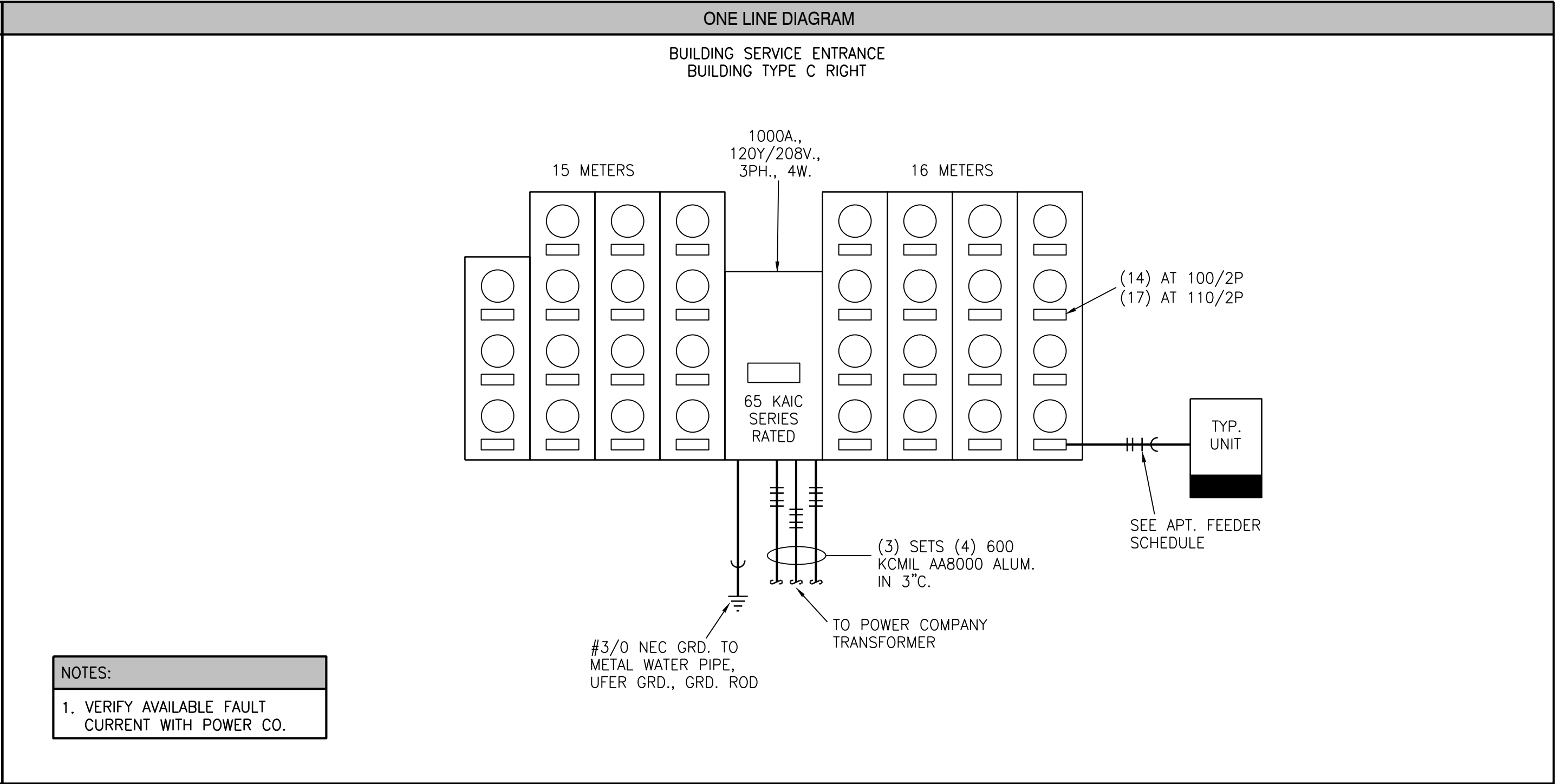
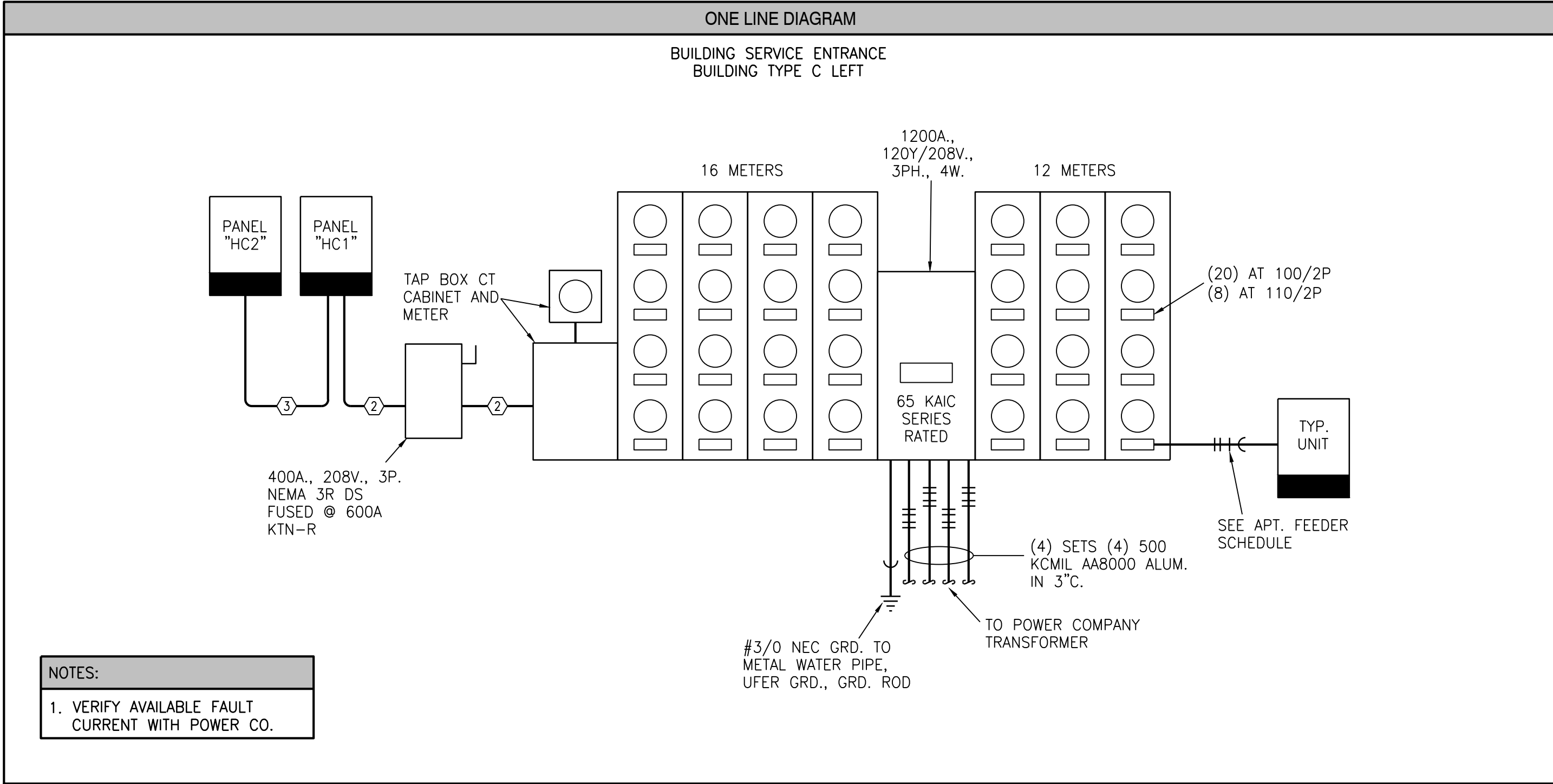
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Luminaire Schedule						
MARK	DESCRIPTION	MFGR	MODEL	MOUNTING	FINISH	LAMPS
A	Disk Light	Halo	SLD612/8030/WH	ib/surface	white	1200 Lumen 3000K 15W LED
B	Disk Light	Halo	SLD612/8030/WH	ib/surface	white	1200 Lumen 3000K 15W LED
B1	Wall Wash	Halo	H2750ICAT/RA4 LED NFL	recessed	white	615 Lumen 3000K 10W LED
C	Shower Disk Light	Halo	SLD608/8030/WH	ib/surface	white	600 Lumen 3000K 10W LED
D	Vanity Sconce	Rensen House	741178	wall	chrome	2-7W Edison 800 Lumen
E	Patio Light	Rensen House	014472	wall	black	1-8W LED
F	5-Blade fan, 3-spd. rev. w/globe	Westinghouse	7247700	surface	br. Nickel	2-8W LED
G	Disk Light	Halo	SLD608/8030/WH	ib/surface	white	600 Lumen 3000K 15W LED
H	Counter pendant	Home Decorations	7434P-15	pendant	chrome	1-7W T10 LED
J	Entry Sconce	Prescolite	1152-962	wall	bronze	1-8W LED Screw-In
K	Dining Room	Rensen House	642285	surface	pol. Nickel	2-13W LED Screw-In
L	Corridor Wall Light	Hinkley	5850CM	pendant	satn nickel	3-8W LED
M	Closet Wall Light	Leviton	LH-1P	ib/surface	white	1-8W LED
N	Corridor Disk Light	Halo	SLD612/8030/WH	ib/surface	white	1200 Lumen 3000K 15W LED
P	Strip	Texas Fluorescent	C-232-8	surface	white	2-32W T8
R	Elevator Pit	Texas Fluorescent	555A-217-wh	surface	white	2-17W T8
S	Exterior Sconce	Progress	P563000-020-30K	wall	bronze	12W LED
T	Storage Closet	Halo	SLD608/8030/WH	ib/surface	white	600 Lumen 3000K 10W LED
U	LED Tape Light	GW Lighting	LTR300-WW/LTH-8	ib/surface	white	3500K 198 LUMENS/FT
V	Reserved					
W	Laundry Closet	Amp	LH-1P	ib/surface	white	8W LED screw-in
X1	Exit	Nora	NX4603-LED	surface	white/red	LED
X2	Exit w/heads	Nora	NEX-707-LED	surface	white/red	LED/5.4W T5
X3	Exit w/heads and remote	Nora	NEX-707-LED	surface	white/red	LED/5.4W T5
X4	Remote Head	Nora	NE-931	surface	std	6W Halogen
X5	Dual-Head Emergency	Nora	NE-804	surface	std	2-6W Halogen
Y	Trellis Cylinder	Progress	P5774-20/30K	surface	bronze	17W LED 3000K
Z	High Ceiling Can	Halo	PD620D010	recessed	white	35W LED PAR 38 3000K
AA	Spot	Halo	E7ICAT/RA5608930NFLWH	recessed	white	10W 3000K LED

NOTE: PROVIDE 100 ADDITIONAL TYPE A FIXTURES FOR OWNER RESERVE

INTERIORS LUMINAIRE SCHEDULE					
MARK	ROOM	QUANTITY	MFGR	MODEL	DESCRIPTION
CA	LOBBY	1	ASTELE	SWIRL 4-RING PENDANT	
CB	CONCIERGE	1	ARTERIORS	89117	LINUS STARBURST
CC	MAIL	4	STUDIO A	790528	BABYLON PENDANT
CD	MEDIA	6	ARTERIORS	49995	YASMIN SCONCE
CE	SPA	6	TROY	83661	UNI SCONCE
CF	RESTROOMS	7	MITZI	H177102L-OB	CECILY OLD BRONZE
CG	FITNESS	4	ATLAS	IR3H-WH-WA-60	IRENE H3 60" FAN
CH	SUNROOM	3	MINKA AIRE	F843-DK	WAVE CEILING FAN
CJ	KITCHEN LOUNGE	1	TROY	F5278	DRAGONFLY
CK	MAIL DESK	1	AERIN	VIS6955146	FRANKFORT
CL	KITCHEN LOUNGE	4	ARTERIORS	49200	
CM	CORRIDOR	3	ACCESS LTG	2004LEDDMG-BRZ FST	MONTREAL SCONCE
CN	SPA	1	CERNO	6226055	
CP	GAS LANTERNS	2	PRIMO	PR01-YK	BLACK
CR	MAIL SCONCES	4	MILLENNIUM LTG	RAS10-RGN22-ABR	ARCH BRONZE

SITE LIGHT FIXTURE SCHEDULE					
MARK	MANUFACTURE	MODEL NUMBER	MOUNTING	FINISH	LAMPS
SL1	HUBBELL	LNC-9L-1-4K-3-1	WALL	BRONZE	8W PAR 30 LED
SL2	CREE	ARE-EDR-2MB-DA-06-E-UL-BZ-525-40K	POLE	BRONZE	132 W LED
SL3	CREE	ARE-EDR-3MP-DA-06-E-UL-BZ-525-40K	POLE	BRONZE	132 W LED
SL4	HUBBELL	FM-BNM-36L4KUV	POLE	BRONZE	4000K LED
SL5	HUBBELL	BNB1-36L-4K-UV	BOLLARD	BRONZE	41W 4K LED
SL6	HUBBELL	LMC-30LU-4K-4	WALL	BRONZE	71 W LED
SL7	PROGRESS	P3709-30	SURFACE	WHITE	10W 4000K LED

- REMARKS:
- 1 PROVIDE WITH (2) HEADS AT 180° FROM EACH OTHER.
 - 2 PROVIDE WITH (1) HEAD.
 - 3 MOUNT ON 20' POLE ROUND STRAIGHT STEEL, 80 MPH RATED.
 - 4 VERIFY EPA RATING OF POLE WITH MANUFACTURER.
 - 5 MOUNT ON 12' FT POLE
 - 6 MOUNT AT 12' AFG
 - 7 MOUNT UNDER CARPORT CANOPY

LS&A
Consulting Engineers & Associates, P.A.
3539 SW Summerfield Drive, Suite A
Topeka, Kansas 66614-3974
Telephone: (785) 233-2322
FAX: (785) 233-0947
Email: lsapa@lsapa.com
LSA PROJECT NO. 1804007

CONSTRUCTION SET

ARCHITECTURE
LANDSCAPE
ARCHITECTURE
INTERIORS
ENERGY SERVICES

NSPJ

ARCHITECTS PA

3515 W. 75TH ST., SUITE 201
PRAIRIE VILLAGE, KS 66208

P. 913.831.1415
F. 913.831.1563
NSPJARCH.COM
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STATE OF MISSOURI
RICHARD R. BEAUCORE
Professional Engineer
8-23-19

A NEW RESIDENCE/MULTI-FAMILY PROJECT FOR:

SUMMIT SQUARE II

LEE'S SUMMIT, MISSOURI

DRAWING RELEASE LOG

● 08.10.2018 - PERMIT SET

● 09.28.2018 - CONSTRUCTION SET

REVISIONS

▲ 08.24.2018 - Addendum 1

▲ 08.31.2018 - City Comments

▲ 09.28.2018 - Addendum 2

DATE

08/10/2018

JOB NO.

614618

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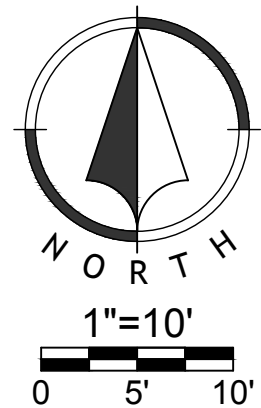
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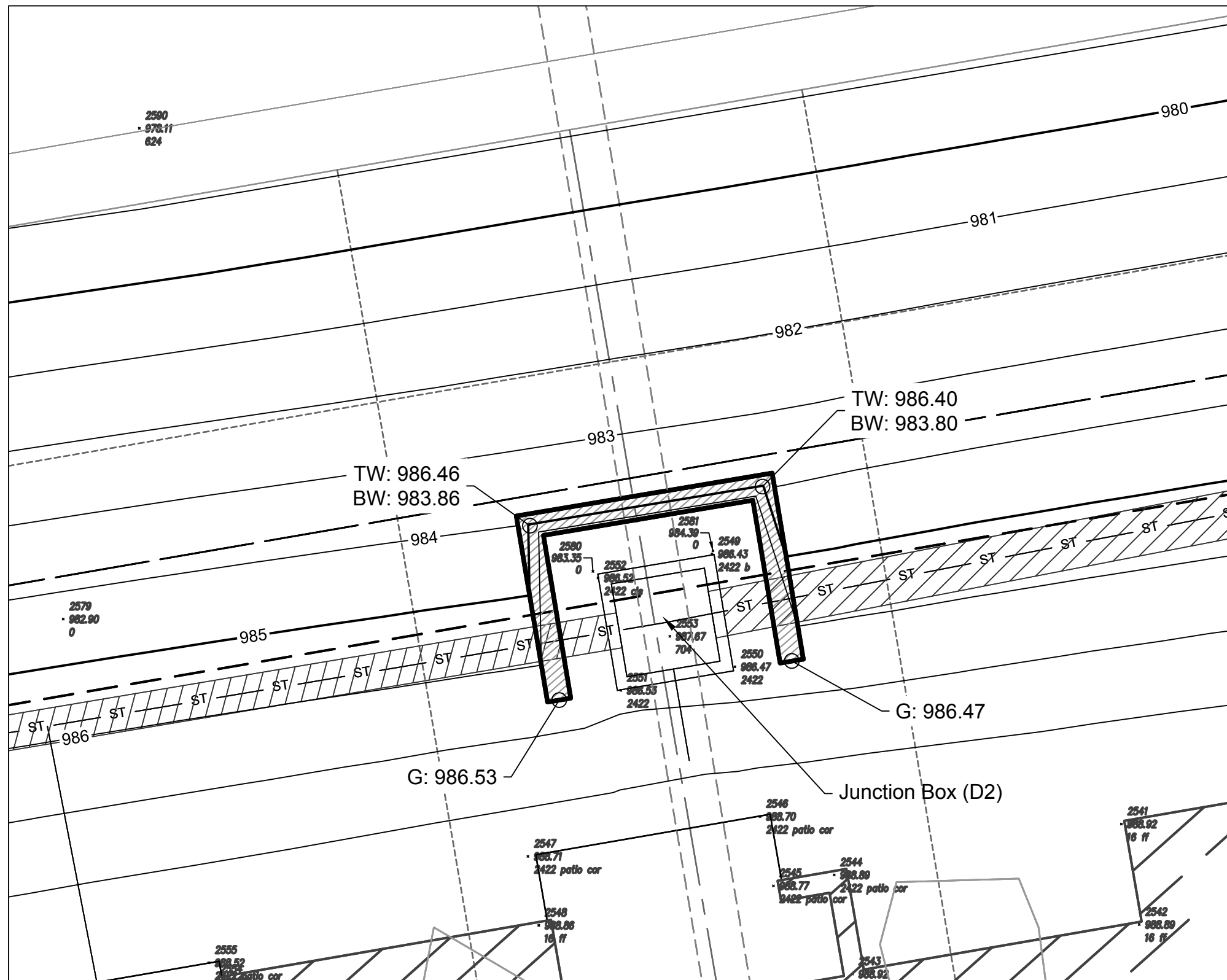
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Summit Square II
Lee's Summit, Missouri[illegible]

KANSAS CITY, KANSAS 66103
WWW.RIC-CONSULT.COM



Exhibits

[illegible]

As-Built Survey Legend

27XX	Point Number
10XX.XX	Elevation
Description	Point Description



L2.00