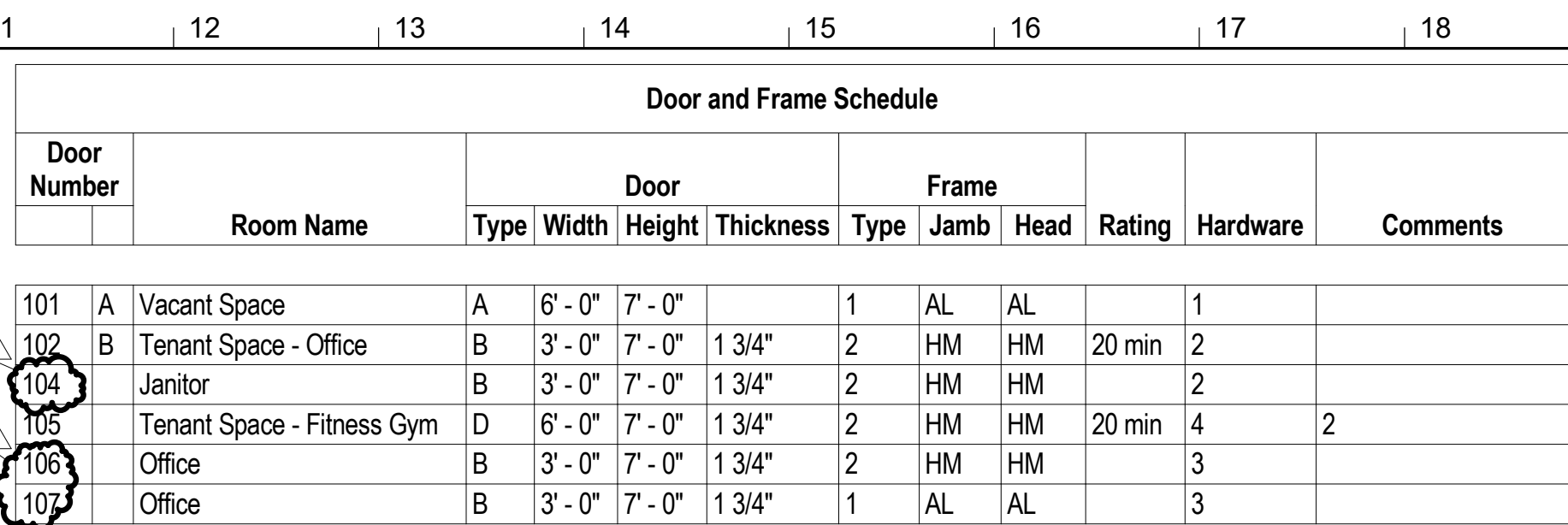




Hardware Groups:

Group 1 (Double Entry door, lock)

- 6 Ea. Hinges
- 1 Ea. Lever Lock Set
- 1 Ea. Flush Bolts
- 1 Ea. Closer
- 1 Ea. Wall Stop
- 1 Ea. Silencer

DOOR TYPES

Reuse Existing Where Possible

Re: Schedule

Aluminum storefront to match existing

Re: Schedule

Metal door, painted to match existing exterior doors

Group 3 (Single door, lock)

- 3 Ea. Hinges
- 1 Ea. Lever Passage Set
- 1 Ea. Wall Stop
- 1 Ea. Silencer

The diagram shows a side view of a single door assembly. It includes a door frame and a door. Dimensions are indicated with arrows: 'height' for the door, 'width' for the door, and 'width' for the frame. A label 'Solid core wood door, painted/stained to match existing with' points to the door. A small triangle icon is located above the door.

Solid core wood door, painted/stained to match existing with

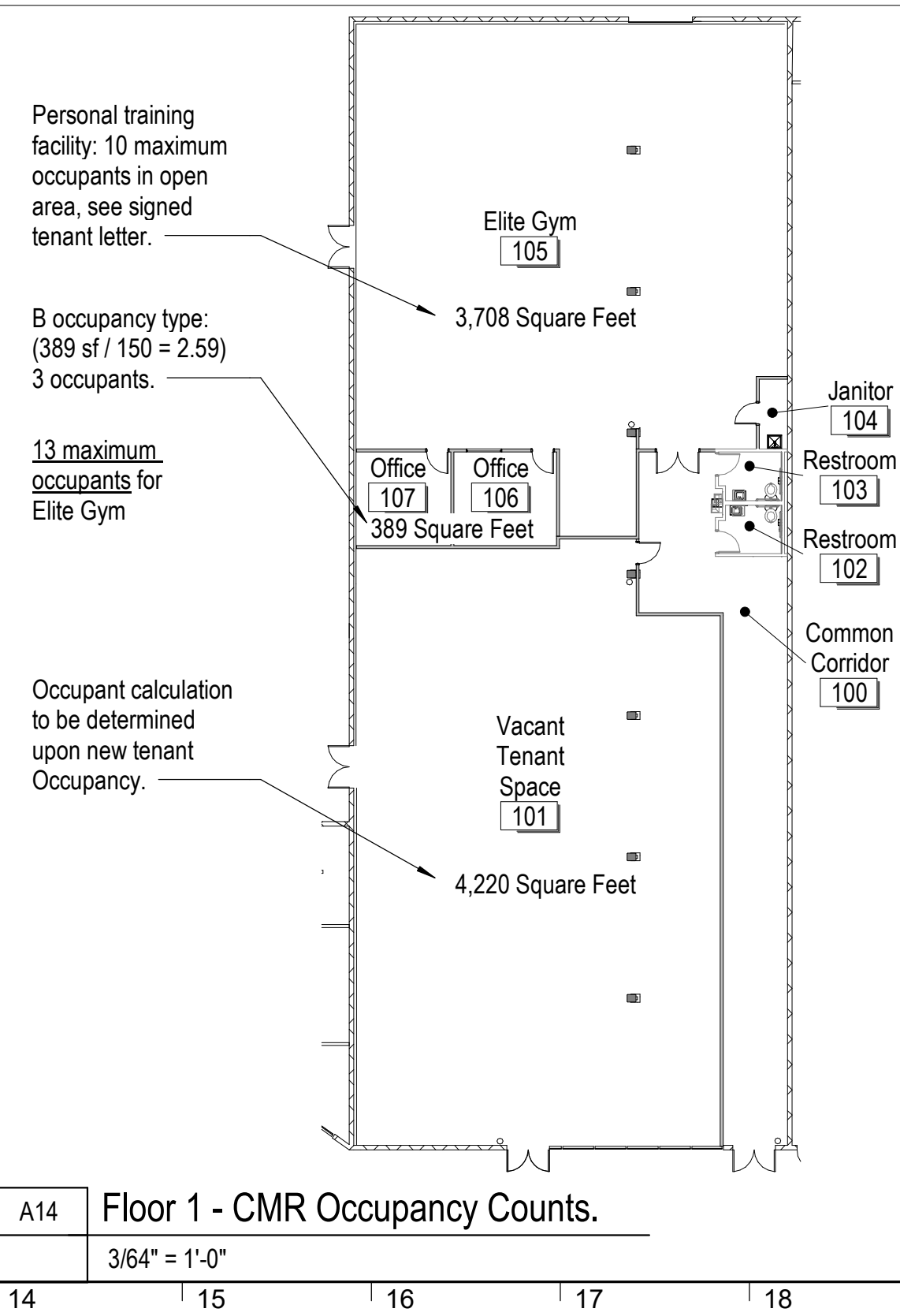
Group 4 (Double door, lock)			
6 Ea. Hinges 1 Ea. Lever Lock Set 1 Ea. Panic Bar 1 Ea. Dummy Set (Fixed Door) 1 Set Flush Bolts 1 Ea. Astragal 2 Ea. Closer 1 Ea. Wall Stop 1 Ea. Silencer 2 Ea. Smoke Seal Gasketing	FRAME TYPES Reuse Existing Where Possible	FRAME TYPES Reuse Existing Where Possible	FRAME TYPES Reuse Existing Where Possible

FRAME TYPES

Reuse Existing Where Possible

1 Ea. Wall Stop
1 Ea. Silencer
2 Ea. Smoke Seal Gasketing

G12	Door Schedule
	Not to Scale



*Per CMR approved on 5/15/24 (Refer to A14/A1), the vacant tenant space will evaluate the restroom requirements based on their occupancy in the future, depending on their use type and layout.

Drawing Index

Architectural

- A1 General Notes, Section Info, Wall Types
- A2 Plans, Notes, Schedules

Annotations and Symbols

Detail
Number
Sheet Number

Detail
Number
Sheet Number

Detail
Number
Sheet Number

Detail
Number
Sheet Number

Origin Sheet
Number

Fire Extinguisher
Cabinet. Mount top
at 60" A.F.F. per
NFPA

TPCI - Tenant Provided/Contractor Installed
N.I.C. - Not in Contract

Graphic Scale

Interior
Elevation

Elevation
Mark

Door
Number

Room
Name
Room Number

Revision
Reference

Ceiling
Height

Wall
Tag

North
Arrow

Existing
Wall

Wall to be
Removed

New
Wall

Fire-Rated
Wall

Electrical Symbols

Exit Sign

Data/Telephone
outlet

Wall Switch

Wall Dimmer Switch

Wall 3-Way Switch

Floor Outlet

Duplex Outlet

Duplex Outlet
Ground Fault

Duplex Outlet
Dedicated

4-plex Outlet

GastingerWalker &

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Tenant Improvement
840 SW Blue Parkway
Lee's Summit, MO 64063

ISSUED FOR:	
Permit	14 March 2024
City Response	1 May 2024
Revised Permit	19 November 2025

Missouri Certificate of Authority: #ARC000344

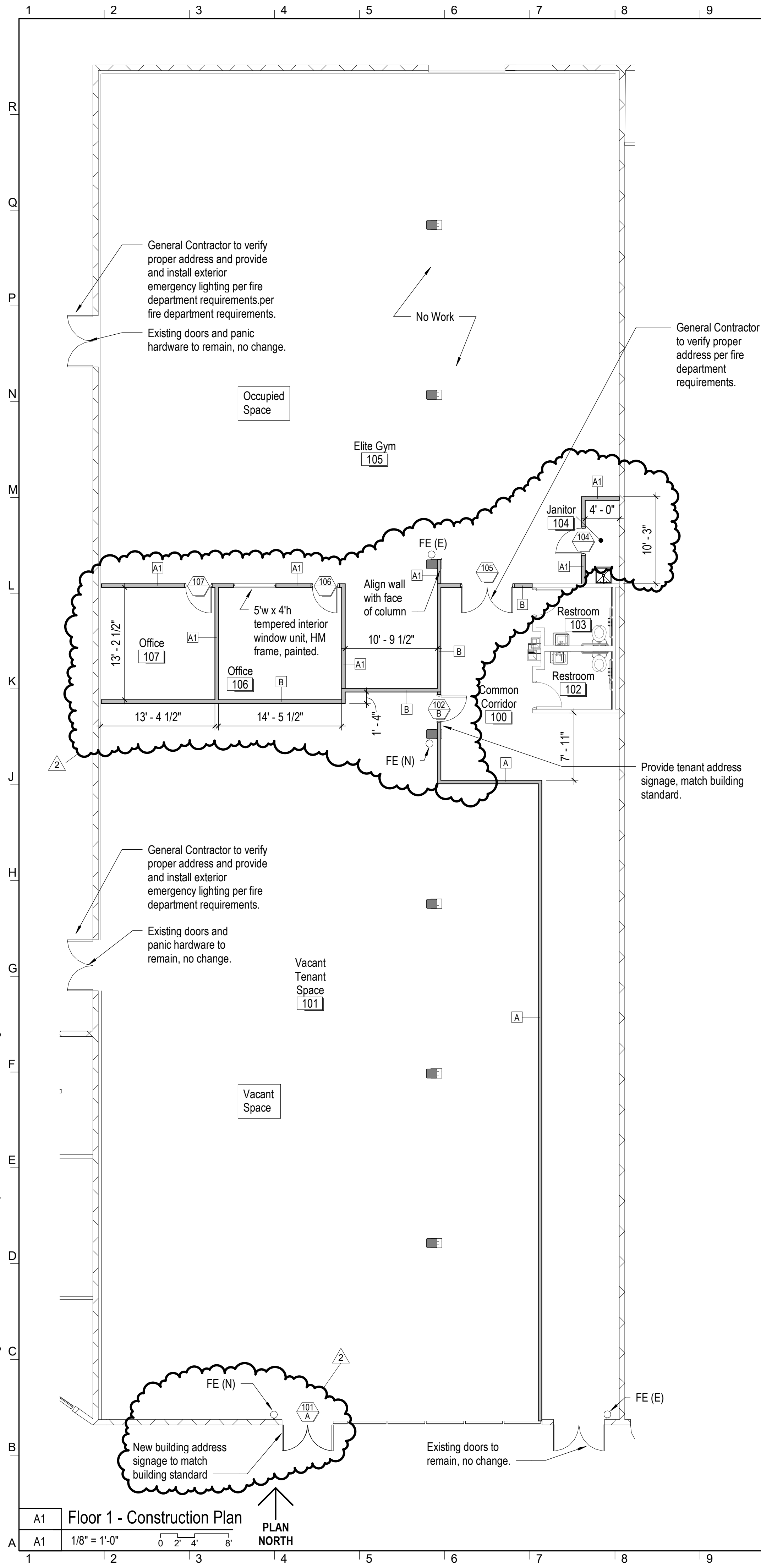
Drawn By _____ LC

Checked By _____ LC

General Notes, Code Info, Wall Types

A1

C:\Users\lancio\OneDrive - Gastinger Walker Architects\Desktop\2023\406 Southside Demising Wall - Revised CDs.rvt



Demolition Notes:

- Demolish and remove all elements shown as dashed. Patch and repair walls, ceilings and floors to remain as affected by demolition and prepare for new finishes. Coordinate the removal of associated mechanical, electrical and plumbing elements.
- Contractor shall remove, haul off site and dispose of all existing construction not to be salvaged. Comply with all governing regulations related to hauling, recycling and disposal of demolished materials.
- Remove existing finishes as required. Repair and prepare substrate for new finishes, including remaining walls, columns, and exterior walls.
- Contractor shall coordinate all schedules with owner prior to commencement of work, including demolition duration, construction phasing, working times, building access and after-hours work.
- Existing ceiling grid, tile, and lights to remain, unless noted otherwise.
- All conditions noted are from visual observation only and must be field verified by the Contractor. Any discrepancies which will prevent the accomplishment of the intent shown on the drawings shall be brought to the immediate attention of the Architect. It is expressly understood that the Owner will not be responsible for interpretations and conclusions made by the Contractor.
- Should any questions arise regarding the interpretation of the Contract Documents, reference shall be made to the Architect for final interpretation. No alleged oral admission, condemnation, or inadvertent neglect on the part of the Architect and/or Owner shall be accepted as an excuse for failure to comply with the Contract Documents.
- Do not cut or remove any structural elements. Contractor shall notify Architect and Owner if any work may affect structural elements. Provide temporary support and protect existing conditions as required.
- Hazardous conditions, such as floor openings exposed by removal of walls or by cutting, or wall openings to shafts, shall be provided with temporary protectives. Contractor is responsible for all site safety.
- Any utilities including electrical, plumbing or mechanical items that are shown to be removed or are within walls to be removed shall be removed back to their source and capped or prepared for reuse as noted.

General Notes

- Do not scale these drawings for construction purposes. In the event of omission of necessary dimensions the contractor shall notify the construction manager.
- All gypsum board partition dimensions are nominal unless noted otherwise. Contractor to verify all dimensions and conditions at the job site. Notify Architect of any dimension discrepancies.
- Verify size, location, and characteristics of all work and equipment to be installed (whether furnished by tenant/owner or by contractor(s)) before any construction pertaining to same is started.
- Verify and coordinate the size and location of all openings for structural, mechanical, and electrical work and equipment with all trades involved.
- The size, location, and characteristics of all MEP and structural items shall be verified before ceiling construction is started.
- Coordinate with all trades in order to maintain scheduled ceiling heights. Verify that required operations and maintenance clearances are provided for all equipment items.
- All items noted as 'by Others' or 'by Tenant/Owner' are to be coordinated with new construction.
- Install all items in accordance with the manufacturer's written instructions except where the drawings are more stringent. Notify the construction manager in writing of any conflicts.
- Perform all work in accordance with applicable local codes and ordinances and under requirements established by general conditions of the contract.
- Remove rubbish from premises as often as necessary or as directed in order to keep premises clean and exit ways clear. Provide complete and thorough cleaning periodically as the work progresses and upon completion of construction.
- Install work readily accessible for operation, maintenance, and repairs.
- Drawings are prepared to scale unless noted NTS (not to scale)
- All notes and details marked "typ." apply to similar conditions throughout the project whether specifically noted or not.
- All new door frames (at the interior face of the jamb on the hinge side) to be located 2" from adjacent walls unless noted otherwise.
- The location and dimension of the existing architectural, structural, and MEP elements are taken from job site surveys. Field verification is required by the contractor prior to any construction involving these items.
- Tenant's cabling vendor shall provide receptacle and pull data wiring for all voice and data locations. Tenant shall provide all cables, contractor shall provide necessary conduit
- All penetrations through fire-rated assemblies are to be sealed with U.L. approved fire-rated sealant and assemblies. Survey existing space and patch areas missing or deficient.
- Paint all walls unless otherwise noted with a minimum of (1) prime coat and (2) finish coats of non-VOC paint. See finish schedule.
- New switching to be located at 48" AFF.
- Install fire protection devices, to include smoke detectors, fire alarms, alarm speakers, ADA strobes, etc. as required by local building codes.
- Patch and paint all existing walls throughout.
- Contractor to prepare wall, floor and ceiling surfaces as required and recommended by manufacturer to receive new finishes as indicated on finish plan and schedule. All floors to be level.
- Patch all existing gypsum board partitions, column enclosures, etc. that are scheduled to remain to a condition ready to receive scheduled finish.
- When a new partition extends an existing partition construct the new partition to match partition types indicated with the possible exception of stud size. All new partitions extending existing shall be the same depth unless otherwise noted.
- Patch all demolished or abandoned electrical/data cores and wall drops; match existing adjacent surface and prepare for new finishes per schedule.
- Contractor to coordinate with tenant's vendors including access control, low-voltage, UPS provider, furniture installer and technology group.

Reflected Ceiling Plan Notes:

- Existing ceiling grid and tile to remain.
- Replace any damaged or discolored tile with new to match existing.
- Lighting fixtures to remain in place unless in conflict with demo or new walls. Any conflicting lighting fixtures should be removed and stored, to be relocated after demo and new wall construction is complete.
- Reuse existing light fixtures where possible. New fixtures to match existing.
- All multiple switch locations to be grouped together with a single device cover plate.
- Confirm color of device and trim with Architect prior to order
- Each room to be switched separately.

Light Fixture Symbols

(E)=Existing, N=New, R=Relocated)

2x4 LED Light Fixture

Emergency Lighting

Exit Sign

Existing Wall

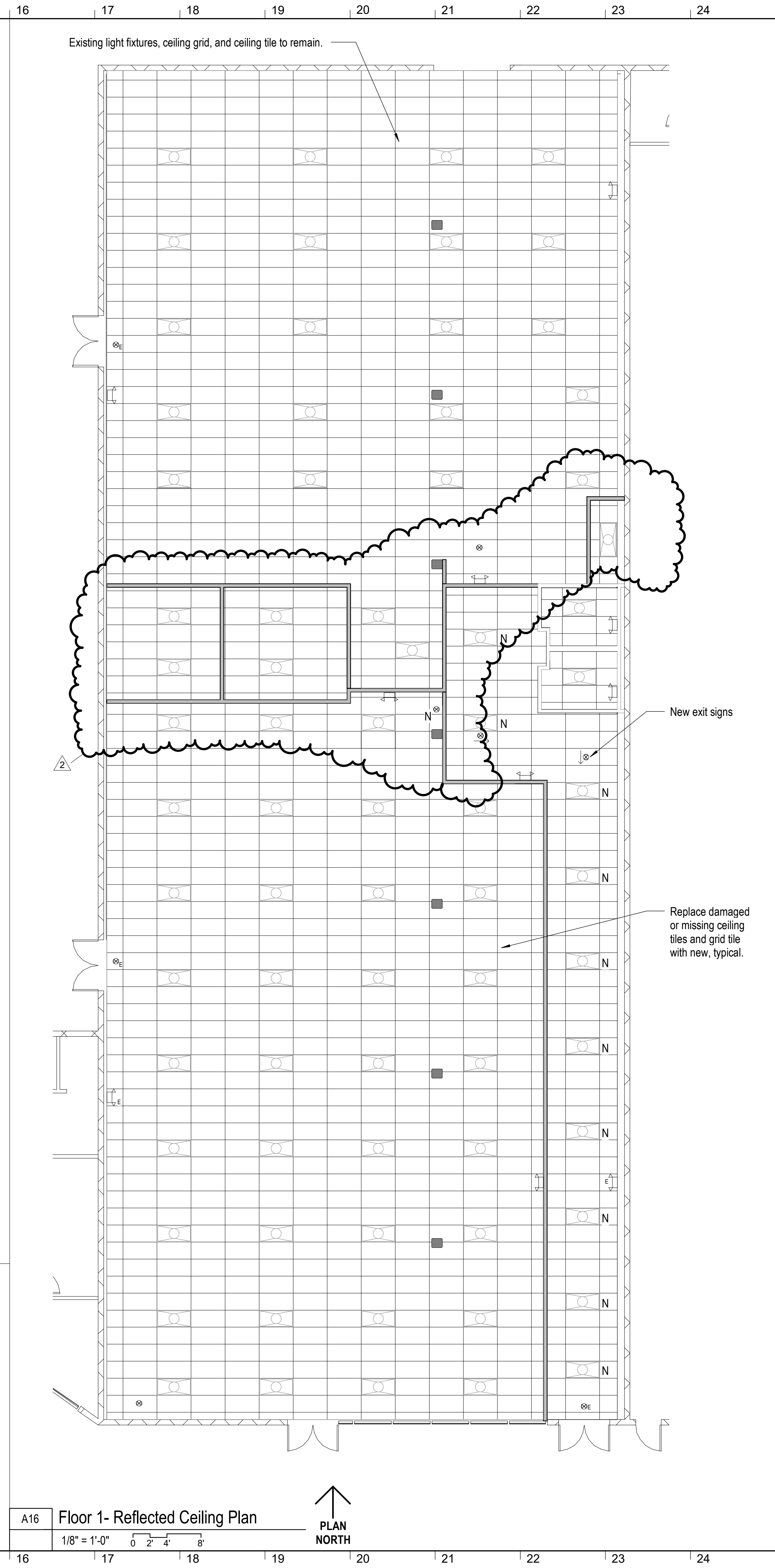
Wall to be Removed

New Wall

Fire-Rated Wall

A10 Light Symbol Legend

1/4" = 1'-0"



A16 Floor 1- Reflected Ceiling Plan

1/8" = 1'-0"

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Southside Retail

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Drawn By LC
Checked By LC

Plans, Notes, Schedules

A2

Project Number:2023.406

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