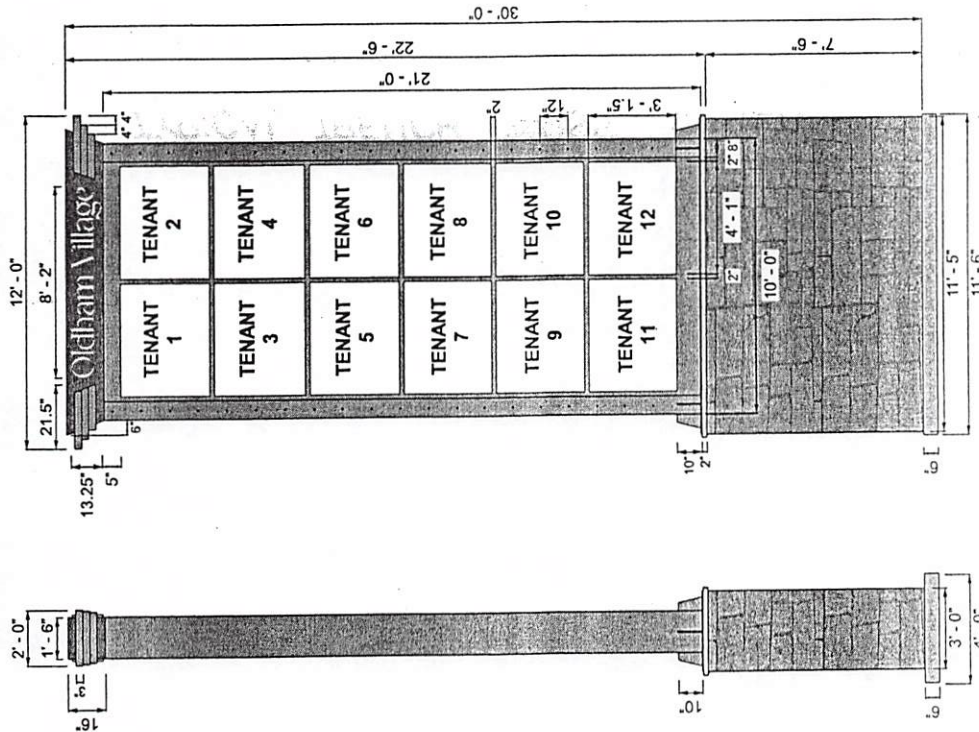


2-POLE, 30' OAH

MIDWEST SIGN
OLDHAM VILLAGE

1050 SW JEFFERSON ST
LEE'S SUMMIT, MO



QTY two double-sided, internally illuminated monument signs with base skirt.
Cabinet: Welded aluminum framework with aluminum skin painted metallic silver.
Upper "Oldham Village" Cabinet: Routed .080" aluminum with 1" white push-thru acrylic.
 Painted medium grey.
Tenant panels: 3/16" white acrylic, individually removable.
Illumination Throughout: Principal Sloan LEDs, 7000k, 24VDC
Base Skirt: Stella Cream Dimensional stone veneer.
Foundation: Twin HSS steel poles and 6" above grade concrete pad.



CROCKER
3211 E. SHADY GLEN ST.
SPRINGFIELD, MO 65804
417-883-4056
C.A. 2008010470

 MIDWEST SIGN COMPANY 10 STANLEY RD, KANSAS CITY, KS (816) 866-7446										FILE NAME: Oldham Village Monument_06 DATE: 8/27/2025 CLIENT: Drake Development / Oldham Village ADDRESS: 1050 SW Jefferson St, Lee's Summit, MO 64081 ACCOUNT MANAGER: Chris Kelly										REVISIONS: <table border="1"> <thead> <tr> <th>Rev #</th> <th>Req #</th> <th>Date</th> <th>Rec by</th> <th>Drawn by</th> <th>Original</th> </tr> </thead> <tbody> <tr> <td>00</td> <td></td> <td>8/27/25</td> <td>CK</td> <td>CK</td> <td>Original</td> </tr> <tr> <td>01</td> <td></td> <td>8/27/25</td> <td>CK</td> <td>CK</td> <td>OTY Two</td> </tr> <tr> <td>02</td> <td></td> <td>8/29/25</td> <td>CK</td> <td>CK</td> <td>Revised stone veneer to Stella Cream Dimensional</td> </tr> <tr> <td>03</td> <td></td> <td>10/1/25</td> <td>CK</td> <td>CK</td> <td>ESTIMATING</td> </tr> <tr> <td>04</td> <td></td> <td>10/1/25</td> <td>CK</td> <td>CK</td> <td>APR</td> </tr> <tr> <td>05</td> <td></td> <td>10/1/25</td> <td>CK</td> <td>CK</td> <td>Stella Cream Dimensional mudge changed</td> </tr> <tr> <td>06</td> <td></td> <td>10/29/25</td> <td>CK</td> <td>CK</td> <td>Option 2 removed</td> </tr> <tr> <td></td> <td></td> <td></td> <td>CK</td> <td>CK</td> <td>Measurements adjusted</td> </tr> </tbody> </table>										Rev #	Req #	Date	Rec by	Drawn by	Original	00		8/27/25	CK	CK	Original	01		8/27/25	CK	CK	OTY Two	02		8/29/25	CK	CK	Revised stone veneer to Stella Cream Dimensional	03		10/1/25	CK	CK	ESTIMATING	04		10/1/25	CK	CK	APR	05		10/1/25	CK	CK	Stella Cream Dimensional mudge changed	06		10/29/25	CK	CK	Option 2 removed				CK	CK	Measurements adjusted	<table border="1"> <thead> <tr> <th>Approval</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>CLIENT</td> <td></td> </tr> <tr> <td>SALES</td> <td></td> </tr> <tr> <td>ESTIMATING</td> <td></td> </tr> <tr> <td>APR</td> <td></td> </tr> <tr> <td>ENGINEERING</td> <td></td> </tr> <tr> <td>LANDLORD</td> <td></td> </tr> </tbody> </table>										Approval	Date	CLIENT		SALES		ESTIMATING		APR		ENGINEERING		LANDLORD		PAGE: 3									
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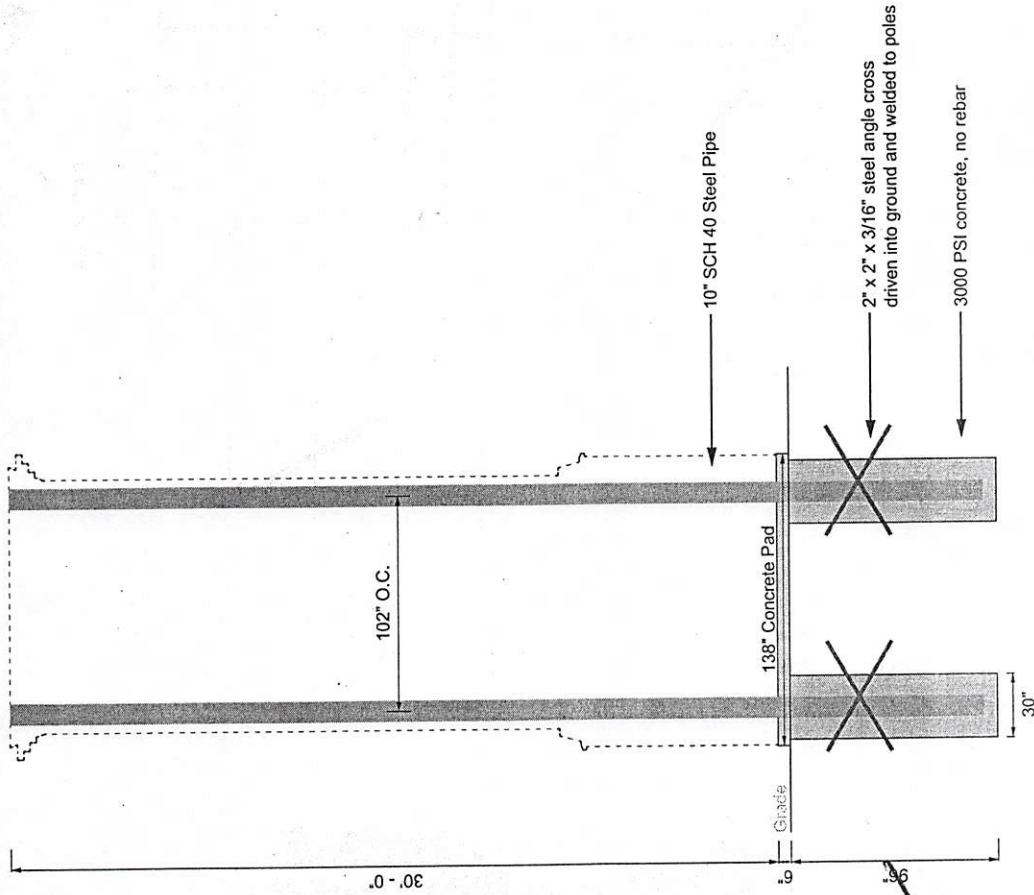
2-POLE, 30' OAH

MIDWEST SIGN
OLDHAM VILLAGE

1050 SW JEFFERSON ST
LEE'S SUMMIT, MO 64081

PAY TO THE ORDER OF

2



CROCKER
3211 E. SHADY GLEN ST.
SPRINGFIELD, MO 65804
417-883-4056
C.A. 2008010470

2025.10.30

REVISIONS:

Rev #	Req #	Date	Req by	Drawn by	Foundation detail added
06	06	10/29/25	CK	KC	

FILE NAME: Oldham Village Monument_06
DATE: 8/27/2025
CLIENT: Drake Development / Oldham Village
ADDRESS: 1050 SW Jefferson St, Lee's Summit, MO 64081
ACCOUNT MANAGER: Chris Kelly

MIDWEST SIGN COMPANY
TANLEY RD, KANSAS CITY, KS
(816) 866-7446

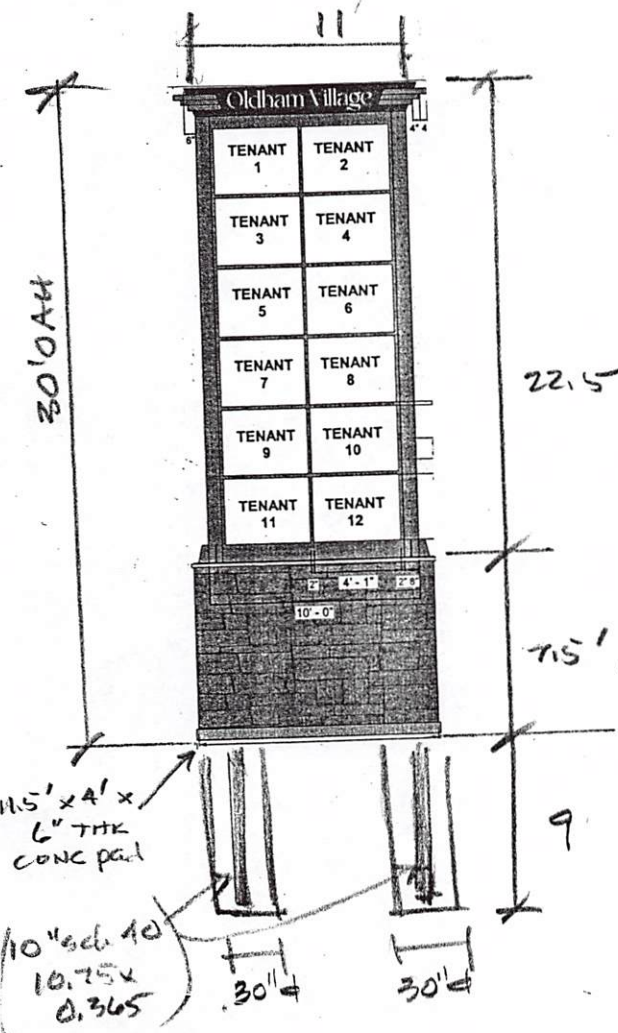
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2-POLE 30'0" AH

MIDWEST SIGN
OLDHAM VILLAGE

1050 SW Jefferson St
Lee's Summit MO 3

IBC 2018, 115 mph



Steel

$$11' \times 30' \times 22.8' = 7524 \times 15 = 112,860$$

$$S_R = \frac{112,860 \times 12}{23,450 \times 2} = 28.8 \text{ in}^3$$

$$S_P = 10'' \text{ sch 40} = 29.9 \text{ in}^3$$

$$10.75'' \times 0.365$$

SR = SECTION MODULUS REQUIRED
SP = SECTION MODULUS PROVIDED

$S_P > S_R$ OK

CONC

$$P = 7524 \div 2 = 3762$$

$$M = 112,860 \div 2 = 56430$$

$$h = 15$$

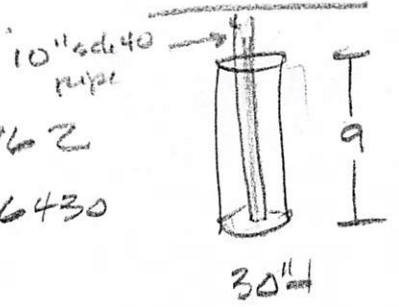
$$b = 2.5$$

$$S_t = (150)(2) \left(\frac{4}{3} \right) \left(\frac{8}{3} \right) = 1067$$

$$d = \frac{(1.17)(3762)}{(2.5)(1067)} \left[1 + \sqrt{1 + \frac{1186(1067)(2.5)(15)}{3762}} \right]$$

$$d = 9.1' \text{ req'd}$$

USE (2) 30" ϕ x 9'-0" deep



Know what's below.
Call before you dig

CROCKER
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2025.10.30

2-POLE, 30' OAH

MIDWEST SIGN
OLDHAM VILLAGE

1050 SW JEFFERSON ST.
LEE'S SUMMIT, MO 4.

WIND @ 22.8 PSF

SNOW @ 20 PSF

SOILS AT 1500 PSF (ASSUMED)

LATERAL SOIL LOADING AT

FOOTING/FOUNDATION

115 mph

150

(2) 30" ϕ x 9'-0" deep

POUR CONCRETE AGAINST UNDISTURBED SOILS, NOT BACKFILL

ALL DESIGN, DETAILING, FABRICATION, AND CONSTRUCTION SHALL CONFORM TO THE

FOLLOWING CODES AND SPECIFICATIONS:

IBC 2018 EXP "C" (3-SEC GUST)

- CURRENT INTL. BLDG CODE (IBC)

- AMERICAN SOCIETY OF TEST'G MAT'LS (ASTM)

- BLDG CODE REQMT - REINF CONC (ACI 318-83).

- CODE FOR WELDING IN BUILDING CONSTRUCTION OF THE AMERICAN WELDING SOCIETY.

- CURRENT SPECS - AMERICAN INST OF STEEL CONST (ASIC) - DESIGN, FAB, & ERECTION.

CONCRETE 3000 P.S.I. @ 28 DAYS COMPR STR, (145 P.C.F.)

REINF ST'L - ASTM 1-615, GR 60, (IF REQD). WELDED WIRE FABRIC (WWF) - ASTM A185

- ALL REINF SHALL BE FREE FROM MUD, OIL, RUST OR COATINGS THAT WOULD REDUCE OR DESTROY BOND

- ALL REINF BARS SHALL LAP 30 DIAMETERS OR 12" MINIMUM, EXCEPT AS NOTED.

- MIN CONC COVER ON TIES, STIRRUPS AND MAIN BARS SHALL BE 1 INCH FOR SLAB,

WALL AND SURFACES NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND $\pm$ 3 INCHES FOR UNFORMED SURFACES DEPOSITED AGAINST GROUND EXCEPT AS NOTED.

- TIE RE-BARS. DO NOT WELD RE-BAR.

STRUCTURAL STEEL AND PLATES - A-36.

STRUCTURAL TUBING - ASTM A-500, GR B, FY=50 KSI.

STRUCT PIPE - ASTM A-53, GR B, FY=35 KSI.

ANCHOR BOLTS ASTM A-307, EXCEPT AS NOTED.

HI STRGTH BOLTS - CONNECTIONS - ASTM A-325, U.N.O.

WELDING ELECTRODES - AWS D1.1-85, E70xx.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD BEFORE

ERECTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

NO CABINET ENGINEERING PROVIDED. IF CABINET ENGRG IS REQ'D, CONTACT THE ENGINEER FOR ADD'TL SVCS.

6" OF CONCRETE OR GRAVEL PLACED IN BOTTOM OF FOUNDATION PRIOR TO MAIN POUR. ISOLATE ALUMINUM FROM STEEL.

ALL BOLT HOLES TO BE DRILLED OR PUNCHED.

ALL PIPE SIZES SHOWN ARE MINIMUM SIZES. PIPE WITH A LARGER DIAMETER, GREATER

YIELD STRENGTH, AND/OR GREATER SECTION MODULUS MAY BE SUBSTITUTED.

ALL STRUCTURAL LENGTHS REQUIRED ARE APPROXIMATIONS ONLY. ACTUAL LENGTH MAY

SLIGHTLY VARY DEPENDING ON SIGN CABINET CONDITIONS.

ALL WORK PERFORMED ON SITE SHALL BE DONE ACCORDING TO APPLICABLE OSHA REGULATIONS

WATER SHOULD NOT BE ALLOWED TO POND IN THE EXCAVATION PRIOR TO CONCRETE

PLACEMENT OR ABOVE CONCRETE AFTER THE FDTN IS COMPLETED

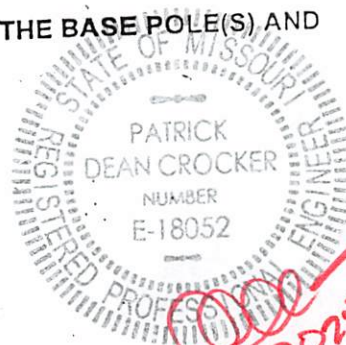
EXERCISE CARE DURING EXCAVATION OF THE FOUNDATION TO MINIMIZE DISTURBANCE TO THE SURROUNDING SOILS.

CALCULATIONS SHOWN ON THESE SHEETS ARE ONLY FOR THE BASE POLE(S) AND CONCRETE BASE-FOUNDATION

SR = SECTION MODULUS REQUIRED

SP = SECTION MODULUS PROVIDED

CROCKER
3211 E. SHADY GLEN ST.
SPRINGFIELD, MO 65804
417-883-4056
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Patrick D. Crocker, P.E.

3211 E. Shady Glen St.

Springfield, MO 65804

417-883-4056

JOB TITLE Midwest Sign - Oldham Village Lees Summit Mo

2-pole 30 ft OAH

JOB NO.

SHEET NO.

CALCULATED BY

DATE

CHECKED BY

DATE

5

Wind Loads - Other Structures:

ASCE 7-16

IBC 2018

Ultimate Wind Pressures

Wind Factor = 1.00
Gust Effect Factor (G) = 0.85 Ultimate Wind Speed = 115 mph
Kzt = 1.00 Exposure = C

A. Solid Freestanding Walls & Solid Signs (& open signs with less than 30% open)

Dist to sign top (h)	30.0 ft	s/h =	1.00	Case A & B	
Height (s)	30.0 ft	B/s =	0.40	C _t =	1.58
Width (B)	12.0 ft	Lr/s =	0.00	F = qh G C _f A _s =	38.0 As
Wall Return (Lr) =	0.0 ft	Kz =	0.982	A _s =	10.0 sf
Directionality (Kd)	0.85	qh =	28.3 psf	F =	380 lbs
Percent of open area to gross area	0.0%	Open reduction factor =	1.00	Case C	
				Horiz dist from windward edge	
				0 to s	C _f 1.80 F=qhGC _f A _s (psf) 43.2 As
				s to 2s	1.20 28.8 As
		Case C reduction factors			
		Factor if s/h>0.8 =	0.80		
		Wall return factor for C _f at 0 to s =	1.00		

$38 \times 0.6 = 22.8$



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