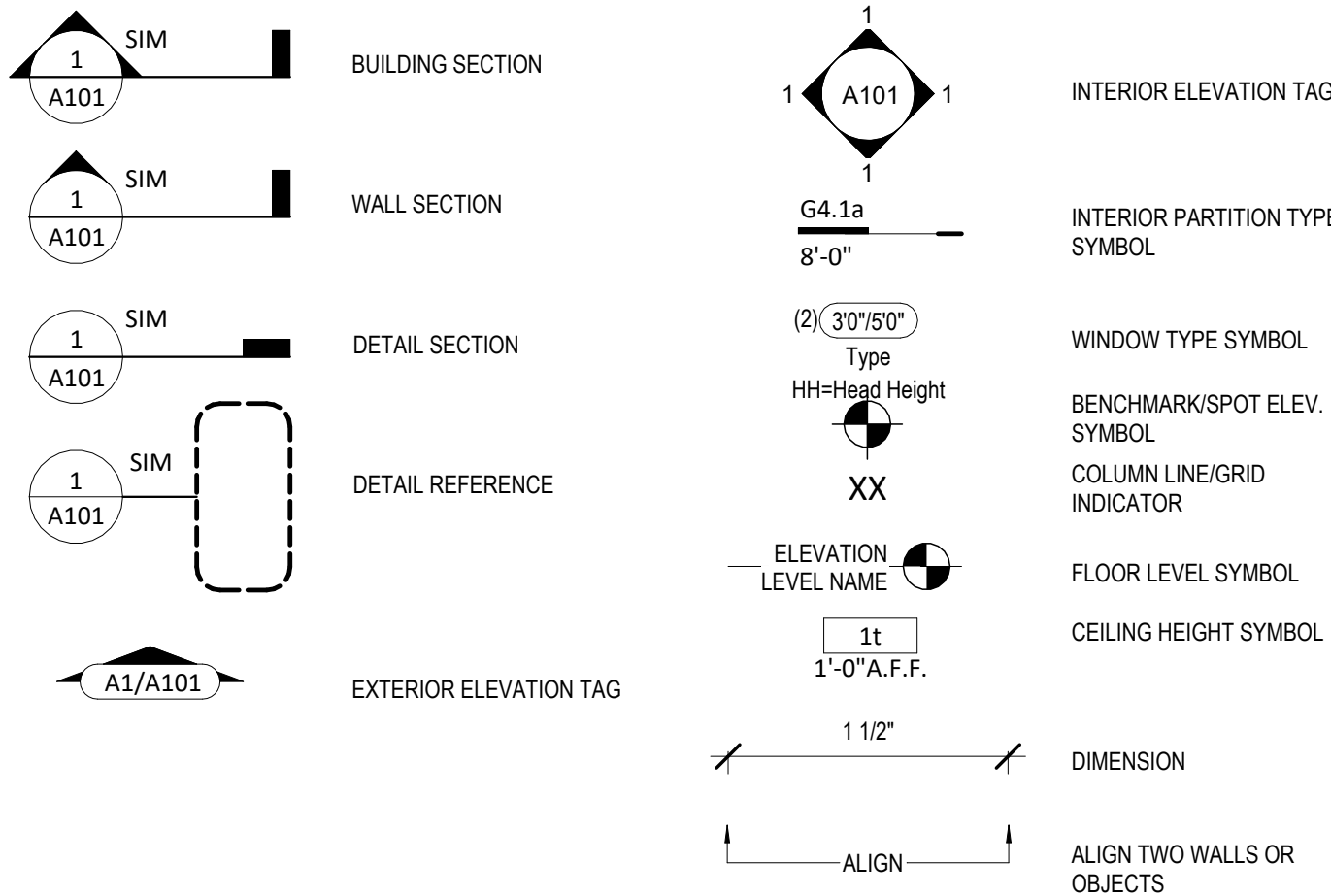
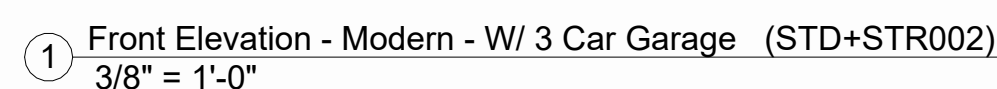


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ADDRESS : 2111 SW Harvest Moon Ln. Lees Summit,
LOT : HF 99

Sheet List	
Sheet No	Sheet Name
00	Cover Sheet
A101	Front Elevations
A102	Front Elevations
A301	Side Elevations - Full Basement
A302	Side Elevations - Daylight Basement
A303	Side Elevations - Walkout Basement
A401	Side Elevations - Full Basement
A402	Side Elevations - Daylight Basement
A501	Floor Plan - Main Level
A502	Floor Plan - Main Level
A503	Floor Plan - Main Level
A601	Roof Plan
A602	Roof Plan
A701	POD Options
A702	POD Options
A703	POD Options
A704	POD Options
A705	Floor Plan - Basement
A706	Front Elevations
A707	Floor Plan - Basement
A708	Side Elevations - Full Basement
A709	Roof Plan
A710	Floor Plan - Basement
A711	Side Elevations - Full Basement
A712	Roof Plan
A714	POD Options
A715	Front Elevations
A716	Cover Sheet
A801	Details
A802	Details
A803	Details
E101	RCP/Electrical Plan
E102	RCP/Electrical Plan - Structural Option
M101	Floor Plan - Structural POD Options 24" Extension HVAC
M102	Floor Plan - Structural POD Options 24" Extension HVAC
P101	RCP/Electrical Plan





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architect:
Elevate Design + Build
1040 SW Luttrell Road
Blue Springs, MO 64015
816.622.8826 voice
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DRAWING TITLE
Side Elevations - Full Basement -
Modern

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DRAWING NUMBER

A301.4

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Foundation Wall Schedule			
Type	Width	Reinforcing	Comments
C8	0' - 8"	Reinf. w/ #4 vert. @ 12" oc./ (3) #4 hor. equally spaced.	<varies>

- FOOTING FOUNDATION & CONCRETE NOTES
- 1. TO ADDRESS DIFFERENTIAL SETTLEMENT, ALL INTERIOR BEAMS AND EXTERIOR WALLS SHALL BE CONCRETE, MIN. 36" THICK UNLESS OTHERWISE NOTED.
- 2. ALL FOOTING TO BE PLACED MIN. 36" BELOW FINL. GRADE.
- 3. DESIGN IS BASED ON MIN. OF 2,500 PSI CONCRETE STRENGTH TO ACHIEVE THE FOLLOWING BASED LOADS:
 - 3.00 PSF FOR GRADE FLOOR, FOUND. WALLS & VERT. SUPPORTS
 - 3.00 PSF FOR GRADE FLOOR
 - 4.00 PSF FOR GRADE FLOOR
- 4. PROVIDE 4" EXPOSED TO EXTERIOR WALLS HAVE 25%+ IN AIR ENTRAINMENT
- 5. PROVIDE 4" MIN. CONCR. SLAB REIN. MAX 12" O.C. E/W. TOP REIN. OVER PERIMETER AS NOTICED (H417) @ 18" O.C. E/W. PLACE OVER 8" W/ VAPOR BARRIER
- 6. REINFORCE EXTERIOR FOOTINGS WITH #4 @ 24" E/W. REINFORCE WITH #2 @ 48" INT. AT TOP
- 7. PROVIDE #4 X 18" @ 48" DEEPS @ REINTEGRANT CORNERS
- 8. 12X12X16" ASTA 30# ANCHOR BOLTS 48" O.C. @ EXT. WALLS
- 9. PROVIDE 12" O.C. E/W. REIN. MAX 12" O.C. E/W. TOP REIN. OVER PERIMETER AS NOTICED (H417) @ 18" O.C. E/W. PLACE OVER 8" W/ VAPOR BARRIER
- 11. INSTALL HOLLOWBOLT BOLTS ANCHORED AS NOTICED ON PLAN
- 12. PROVIDE 6" MINIMUM DIMP-PROOFING AT FOUNDATION WALLS
- 13. PROVIDE 2" MIN. CONCRETE SLAB OVER 2" MIN. 2,500 PSF CURT IN THE CURRENT FOUNDATION DESIGN. ALL COMPACTED FILL AREAS REQUIRE A SPECIAL TREATMENT
- 14. SOIL BEARING CAPACITY IS ASSUMED AS MINIMUM 1500 PSF

STEEL COLUMNS & OTHER BASEMENT/FOUNDATION NOTES

1. ALL STEEL PIPE COLUMNS TO BE 3" (OR 3/2") SCHEDULE 40 GRADE

2. INTER BEARING WALLS & COLUMNS SHALL BE ISOLATED FROM THE BASEMENT FLOOR SLAB

3. INTER NON-BEARING WALLS, OTHER THAN THOSE RESTING DIRECTLY ON THE FOOTING, SHALL BE ISOLATED FROM THE FLOOR FRAMING ABOVE

4. AT WALKOUT FOUNDATION AREAS, REINFORCE THE SLAB FROM THE FOUNDATION WALL TO 2 FEET BEYOND THE OVERDIG AREA WITH #4 BARS AT 24 INCHES OC. PERPENDICULAR AND HORIZONTAL TO THE WALL; MAXIMUM 4-FOOT OVERDIG.

5. AT WALKOUTS THE FOUNDATION WALL SHALL BE ISOLATED WITH A MINIMUM R-8 INSULATION FOR A MIN OF 3 FEET BELOW THE BOTTOM OF THE SLAB

6. WHERE PLUMBING AREAS ARE ADJACENT TO THE FOUNDATION WALL, THE WALL SHALL SUPPORTED LATERALLY AT THE TOP BY SLOD BLOCKING FOR MINIMUM OF TWO JOI SPACES, SPACED NOT MORE THAN 4 FEET OC.

9'0" Basement

- Min. 5.7sqft of window opening.
- Net clear height 24" Min
- Net clear width 20" Min.

- Min. 5.7sqft of window opening.
- Net clear height 24" Min
- Net clear width 20" Min.

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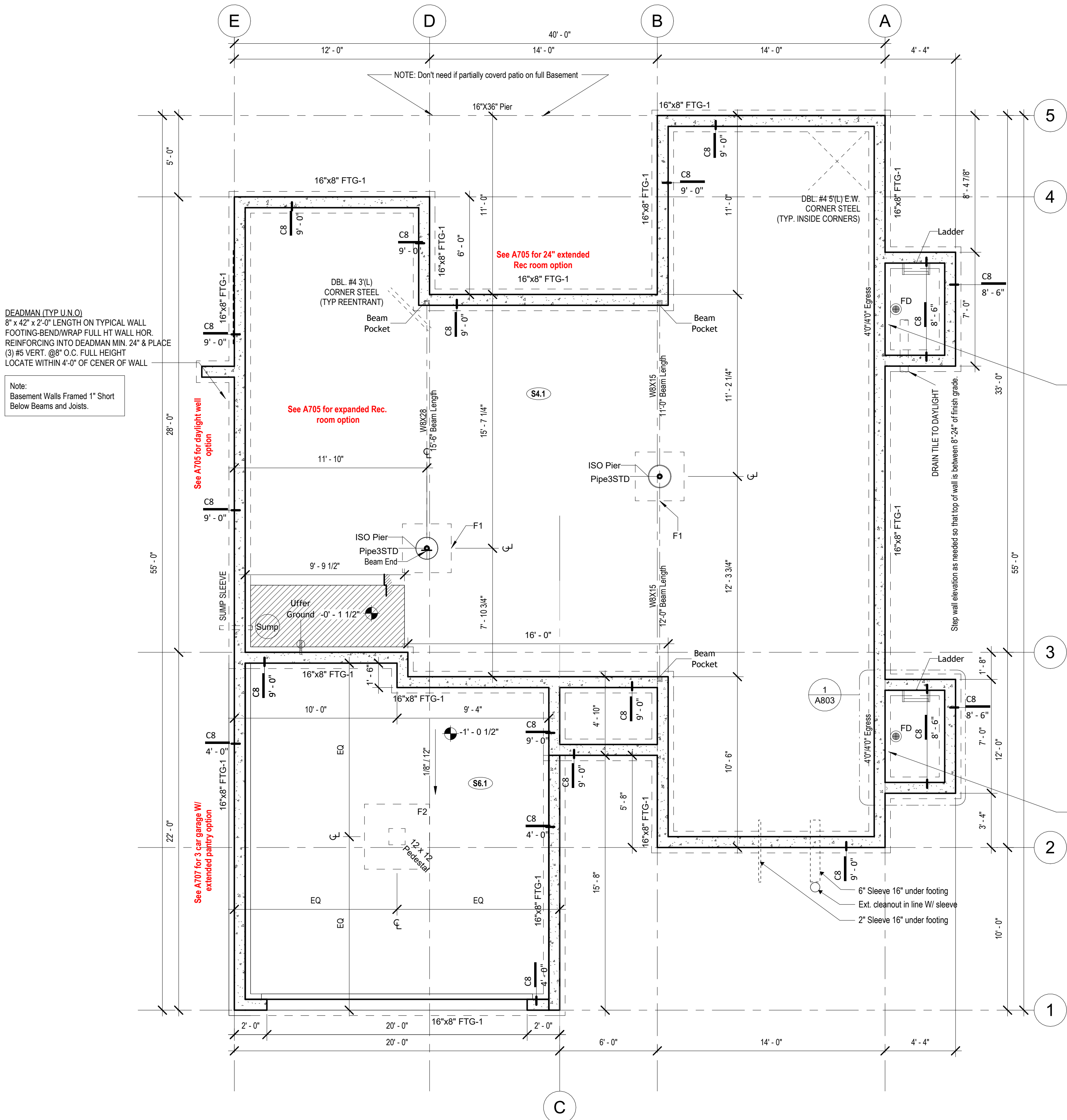
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① Foundation Plan - Full Basement (STD)
1/4" = 1'-0"

Structural Foundation Schedule					
Type	Width	Length	Depth	Reinforcing	Comments
Footings					
F1	3' - 0"	3' - 0"	1' - 0"	Reinf w/ (6) #4's, rebar count is each way, equal centers	GARAGE PEDISTAL
F2	4' - 0"	4' - 0"	1' - 4"	Reinf w/ (8) #4's, rebar count is each way, equal centers. (8) #4's, vertical rebar count in ped column. Hold ped down 12" Min below gar. door block-down and/or bottom of slab.	
Foundation - Round					
F3	1' - 4"	1' - 4"	3' - 0"	ABA66Z Post Base. Refer to Detail for Reinforcing.	
Wall Foundation					
FTG-1	1' - 4"	<varies>	0' - 8"	Reinf w/ (2) #4 bot. eq. spaced. Dowel into wall w/ (1) #4 turned up @ 12" o.c.	<varies>
Foundation Wall Schedule					
Type	Width			Reinforcing	Comments
C8	0' - 8"			Reinf. w/ #4 vert. @ 12" oc / (3) #4 hor. equally spaced.	<varies>

FOOTING FOUNDATION & CONCRETE NOTES

- 1. TO ADDRESS DIFFERENTIAL SETTLEMENT, ALL INTERIOR BARR AND EXTERIOR CORNER WALLS MUST BE PLACED MIN. 36" BELOW GRADE. MIN. 18" MINIMUM UNDISTURBED NATURAL SOIL.
- 2. ALL EXTERIOR CORNER WALLS MUST BE PLACED MIN. 36" BELOW GRADE.
- 3. DESIGN IS BASED ON SOIL OF 2,500 PSF. CONCRETE STRENGTHS TO ACHIEVE THE FOLLOWING BASED ON:
 - 3,000 FOR CONCRETE FOUND. WALLS & VERT. SUPPORTS
 - 3,500 FOR CONCRETE FLOOR
 - 4,000 FOR EXPOSED TO WEATHER (USE 6%+1% AIR ENTRAINMENT)
- 5. PROVIDE 6" MIN. CONCL. SLAB REIN. MIN 12" C.C. ELEV. TOP REIN. OVER PERIMETER SLABS AS INDICATED (4#17 @ 8" O.C. ELEV. OVER 6" MIN. VAPOR BARRIER).
- 6. REINFORCE EXTERIOR FOOTINGS WITH #4 @ 24" E.C. REINFORCE WITH #2 @ 48" C.C. AT 4" MIN. AT TOP OF EXTERIOR WALLS.
- 7. REINFORCE IN X-#11 @ 48" E.C. REINFORCE @ REINSTR. CORNERS.
- 8. 12X12V16L16T16T ANCHOR BOLTS @ 48" C.C. @ EXTERIOR WALLS.
- 9. 12X12V16L16T16T ANCHOR BOLTS @ 48" C.C. @ INTERIOR WALLS 12" @ 24" C.C. (H.L.TI. REIN. BOLTS @ 72" C.C. FROM END OF EXTERIOR WALLS).
- 10. PROVIDE 12" MIN. CONCRETE SLAB OVER EXTERIOR WALLS.
- 11. INSTALL BOLTDOWN BOLTS ANCHORING AS INDICATED ON PLAN.
- 12. PROVIDE BUTYROLINIC DAMP-PROOFING AT FOUNDATION WALLS.
- 13. SOIL BEARING CAPACITY IS ASSUMED AS MINIMUM 2,000 PSF. IN THE CURRENT FOUNDATION DESIGN, ALL COMPACTED FILL AREAS REQUIRE A SPECIAL INVESTIGATION.
- 14. SOIL BEARING CAPACITY IS ASSUMED AS MINIMUM 1500 PSF.

Foundation Wall Schedule			
Type	Width	Reinforcing	Comments
C8	0' - 8"	Reinf. w/ #4 vert. @ 12" oc./ (3) #4 hor. equally spaced.	<vars>

Diagram illustrating the components of a partition wall assembly:

- Partition Material Type
- Nominal Stud/Partition Thickness
- Fire Rating or other modifier
- G4.1a**
- 8'-0"
- Partition Height. Omitted at walls spanning full height

- Min. 5.7sqft of window opening.
- Net clear height 24" Min
- Net clear width 20" Min.

- Min. 5.7sqft of window opening.
- Net clear height 24" Min
- Net clear width 20" Min.

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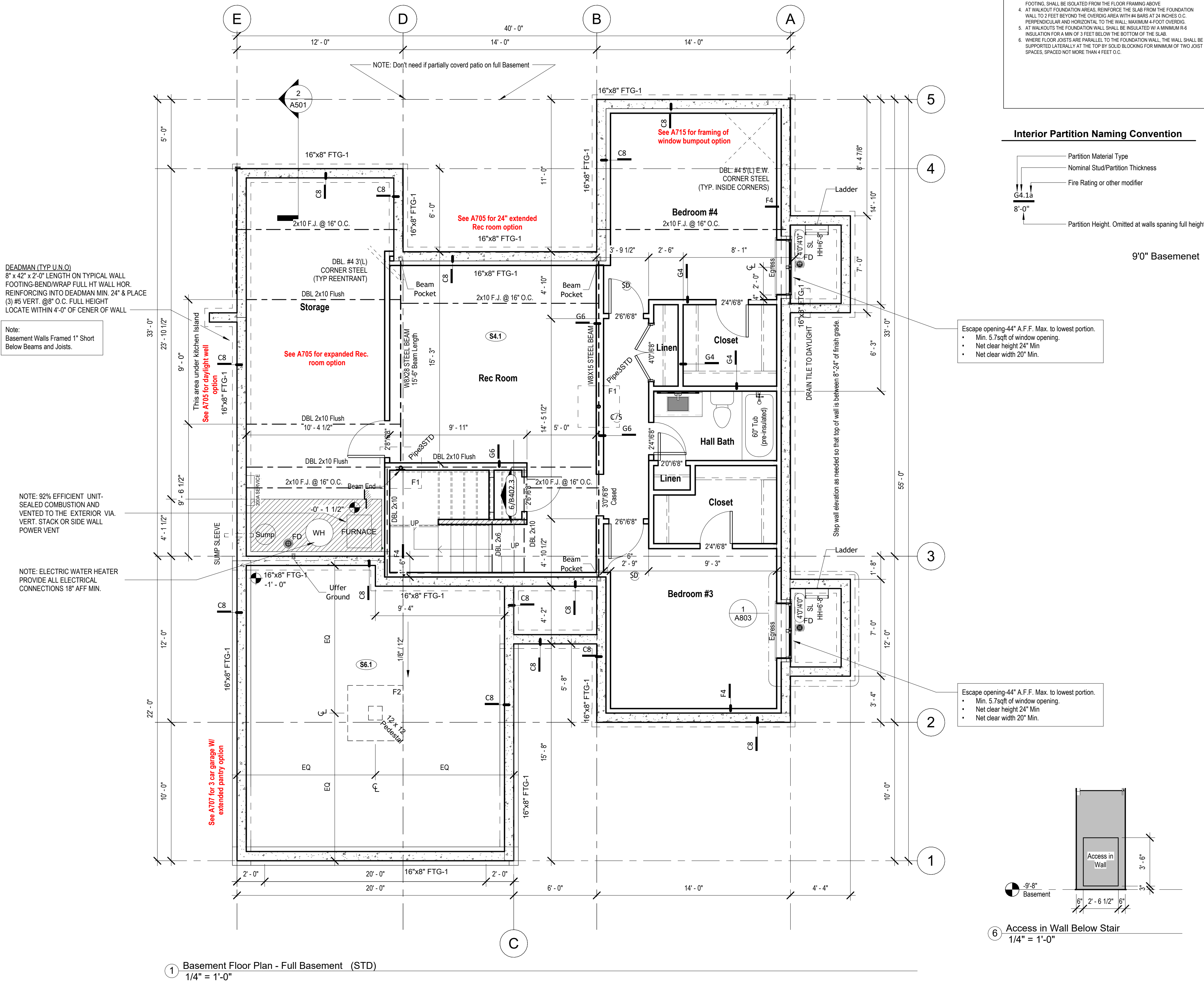
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Floor Plan - Full Basement

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A circular professional seal for Aaron A. Brown, a Registered Architect in the State of Missouri. The seal features the text "STATE OF MISSOURI" at the top, "AARON A. BROWN" in the center, "NUMBER A-7215" below the name, and "REGISTERED ARCHITECT" at the bottom. A stylized signature is written over the seal.

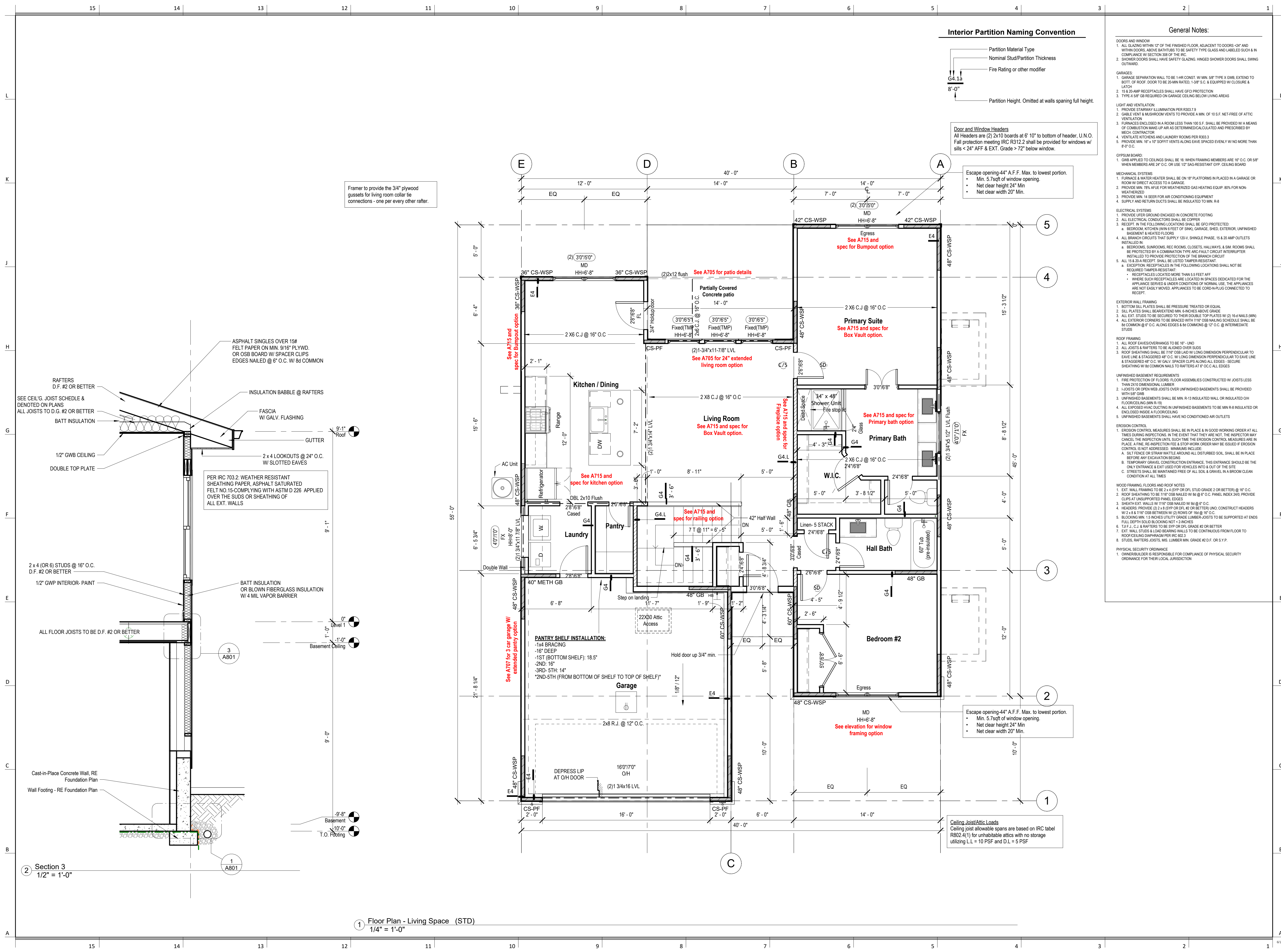
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A501

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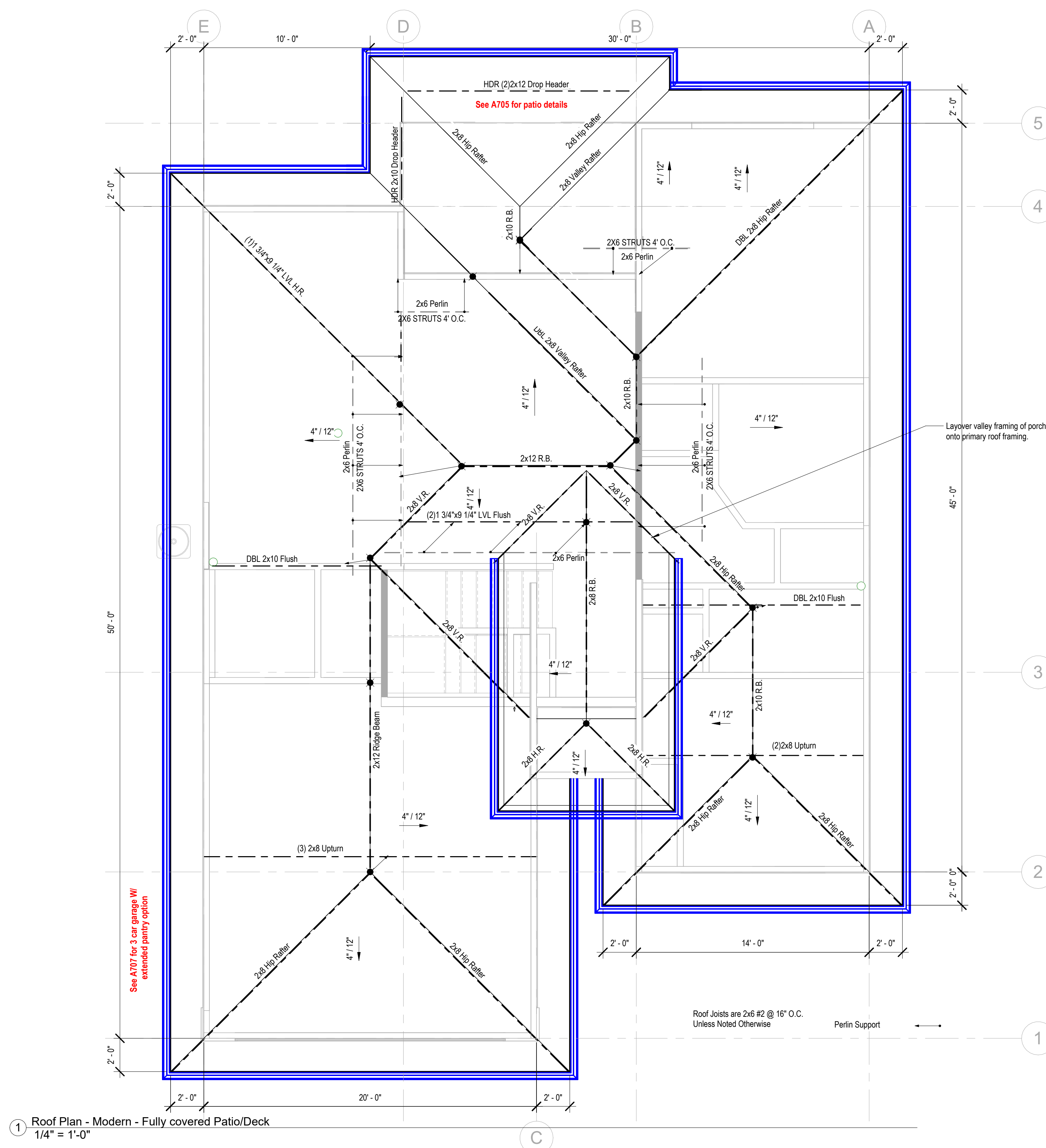


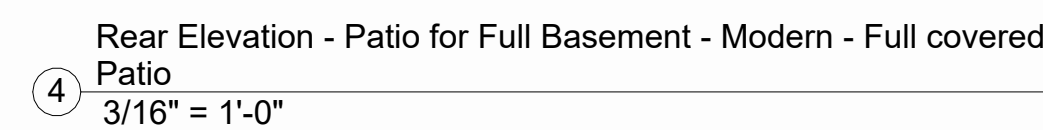
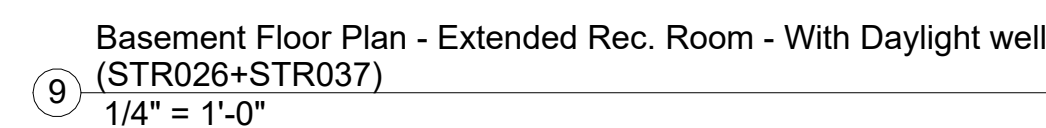
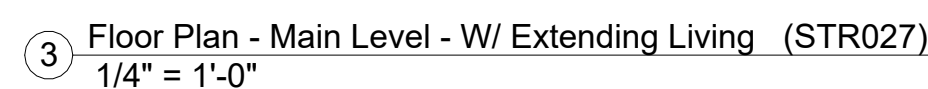
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A602.4

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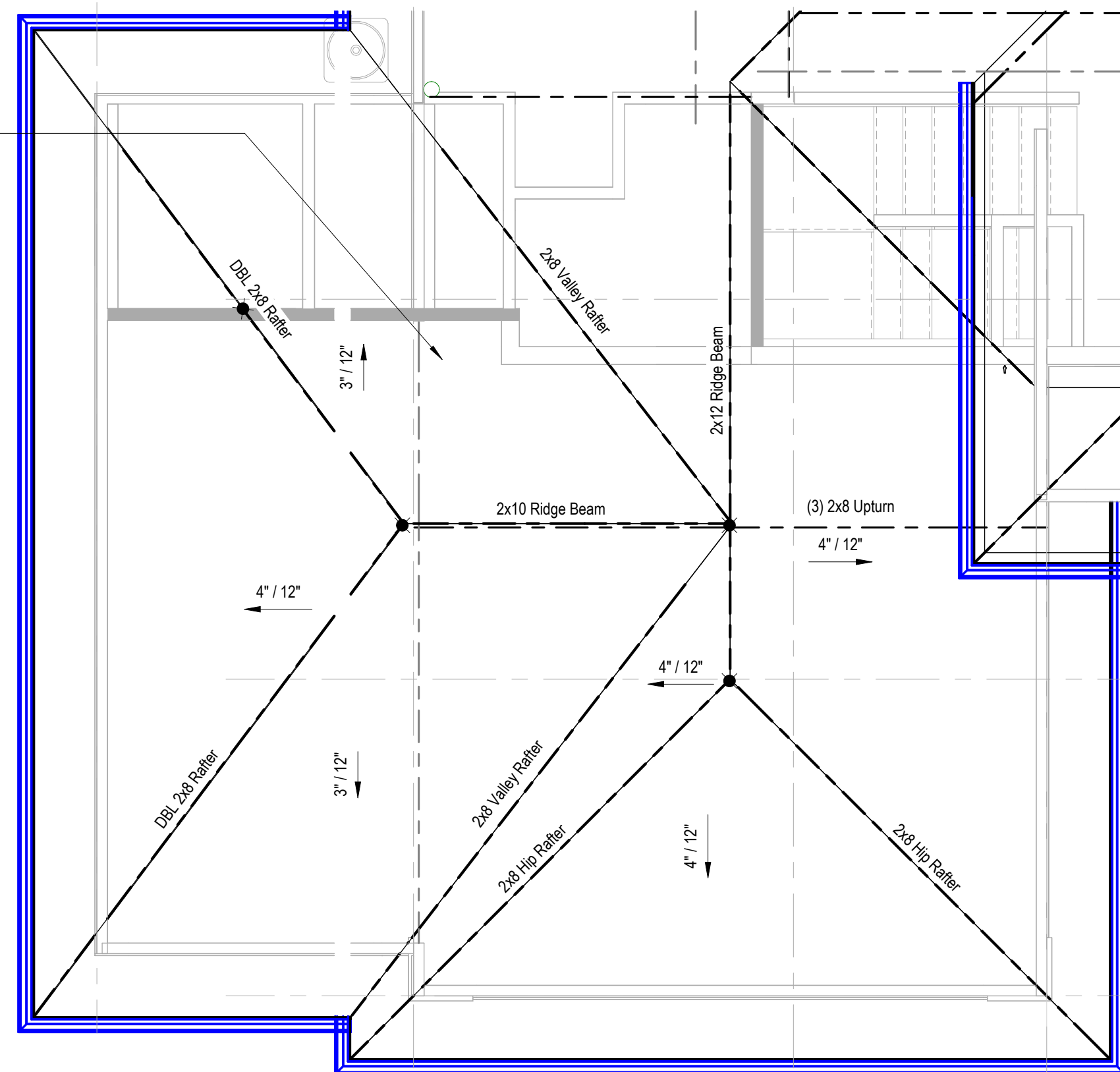
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Floor Plan - Structural POD
Options 24" Extension

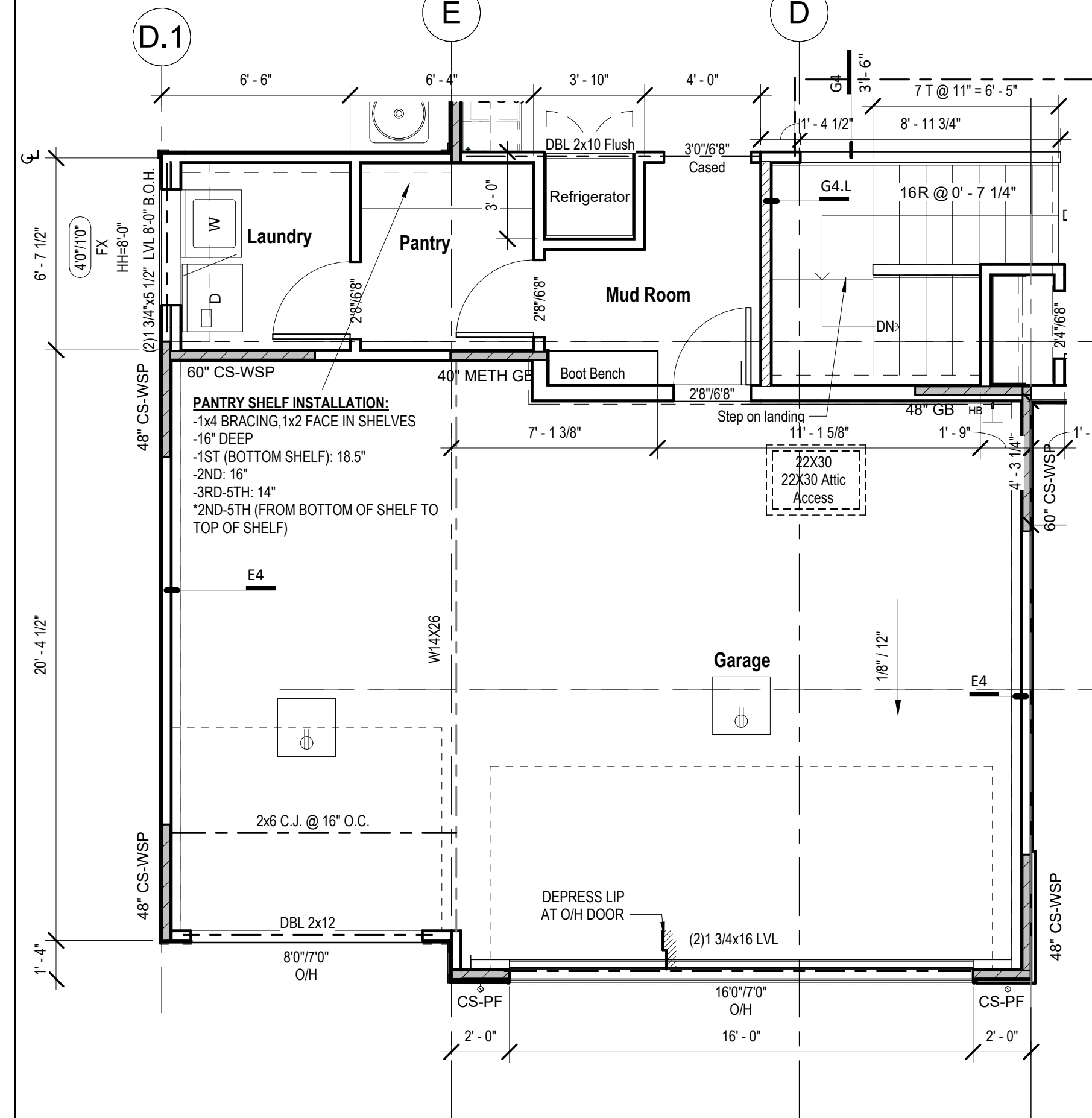
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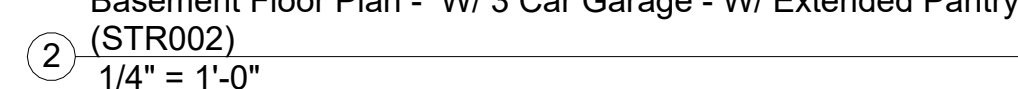
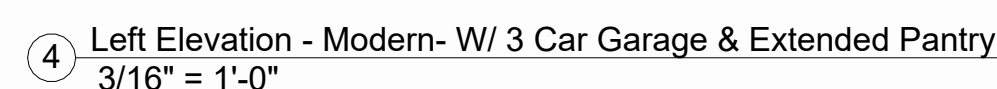
A705



Basement Floor Plan - W/ 3 Car Garage - W/ Extended Pantry
(STR002)



① Foundation Plan - W/ 3 Car Garage - W/ Extended Pantry (STR001)
1/4" = 1'-0"



REVISIONS

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DRAWING TITLE
Floor Plan - W/ 3 Car Garage - W
Extended Pantry

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A707

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architect:
Elevate Design + Build
1040 SW Luttrell Road
Blue Springs, MO 64015
816.622.8826 voice
www.elevatedesignbuildkc.com



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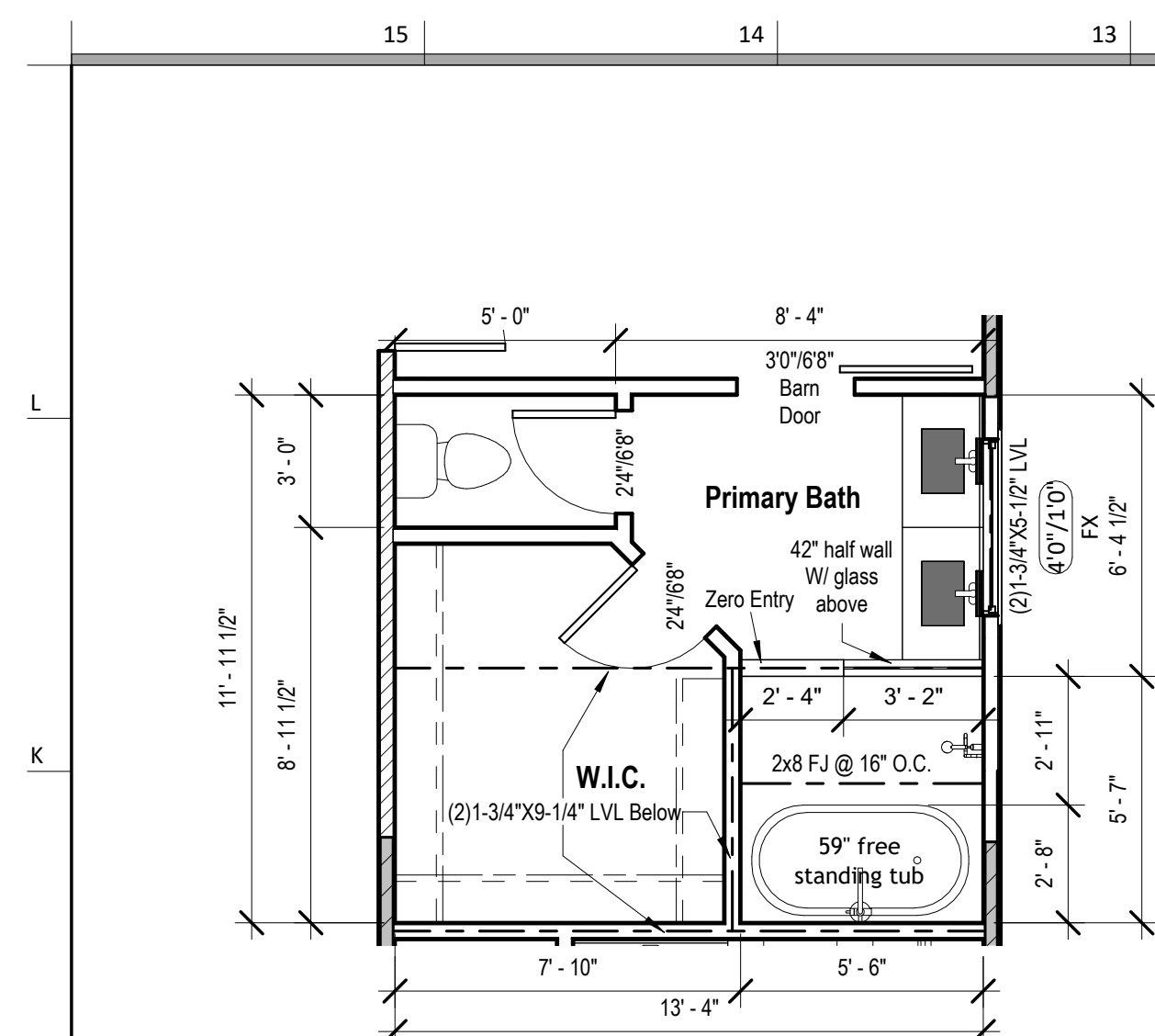
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DRAWING TITLE
POD Options

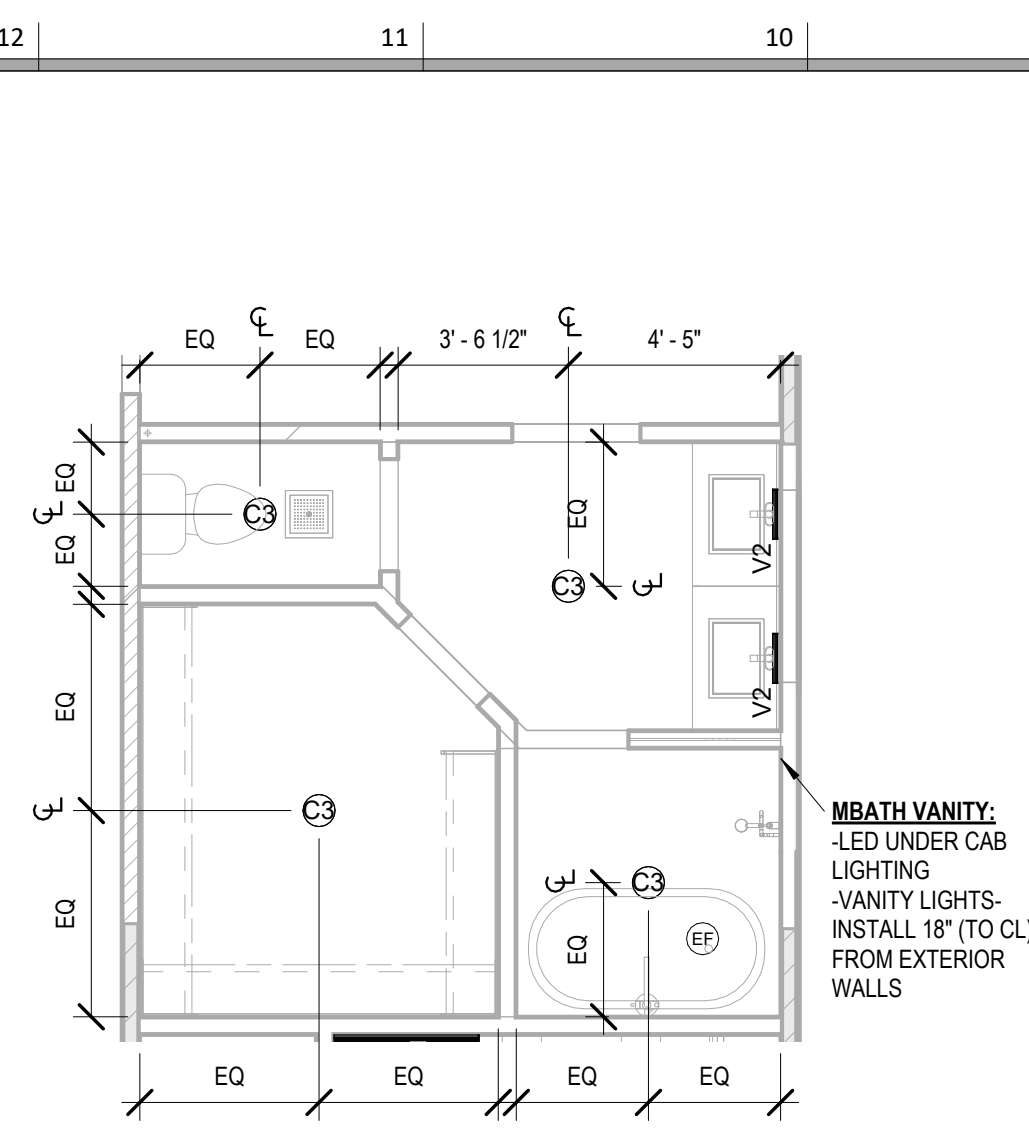
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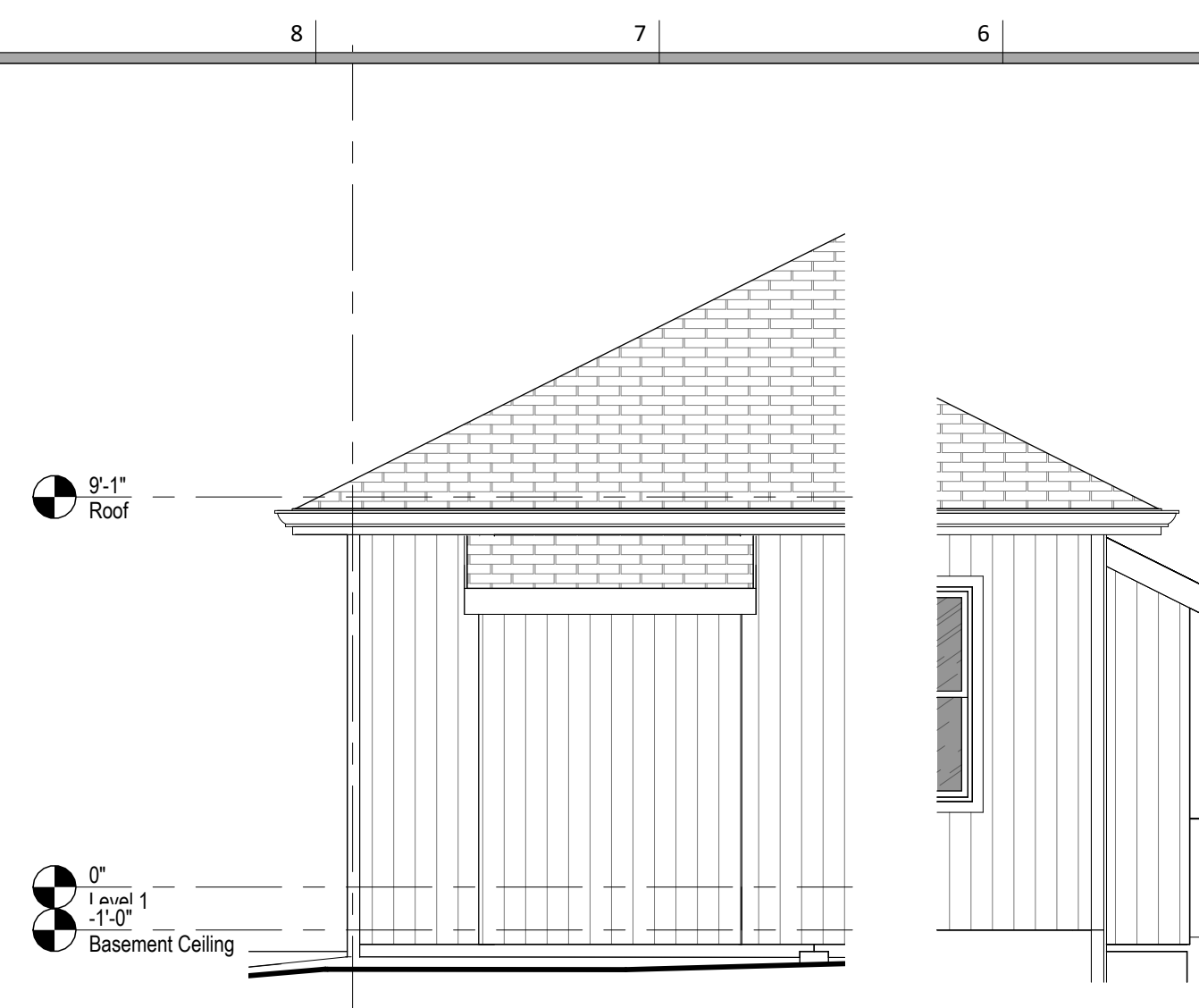
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19 Main Level - Primary Bath - Design + Bathtub (STR011)
1/4" = 1'-0"

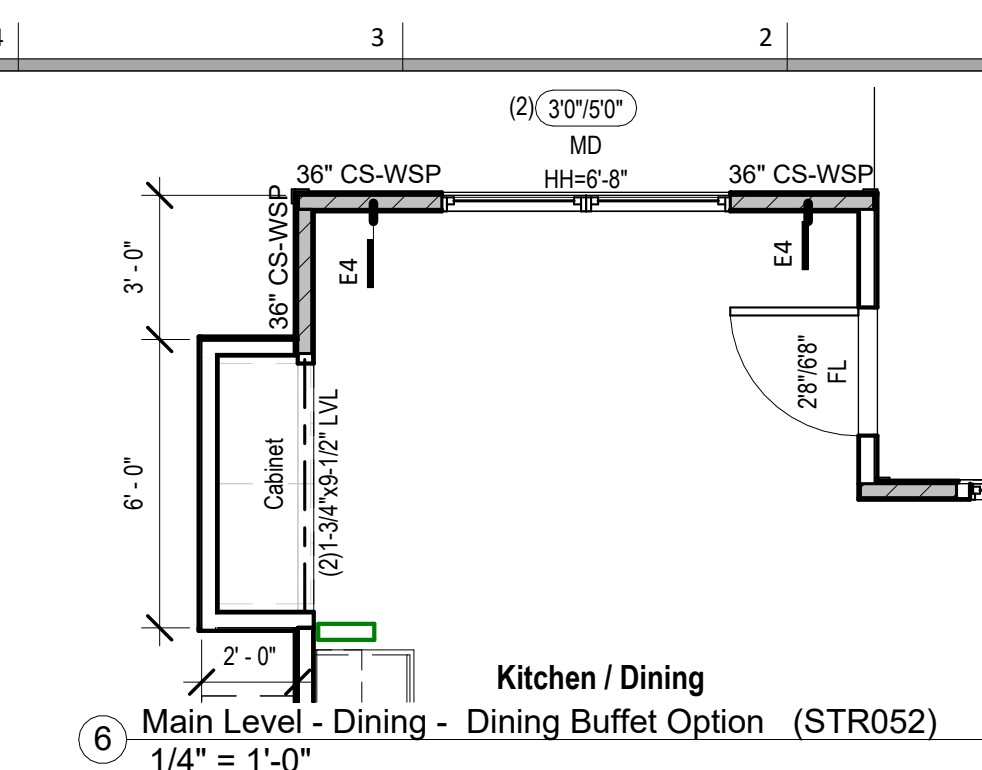


16 Main Level - Primary Bath - Design + Bathtub RCP/Electrical
1/4" = 1'-0"

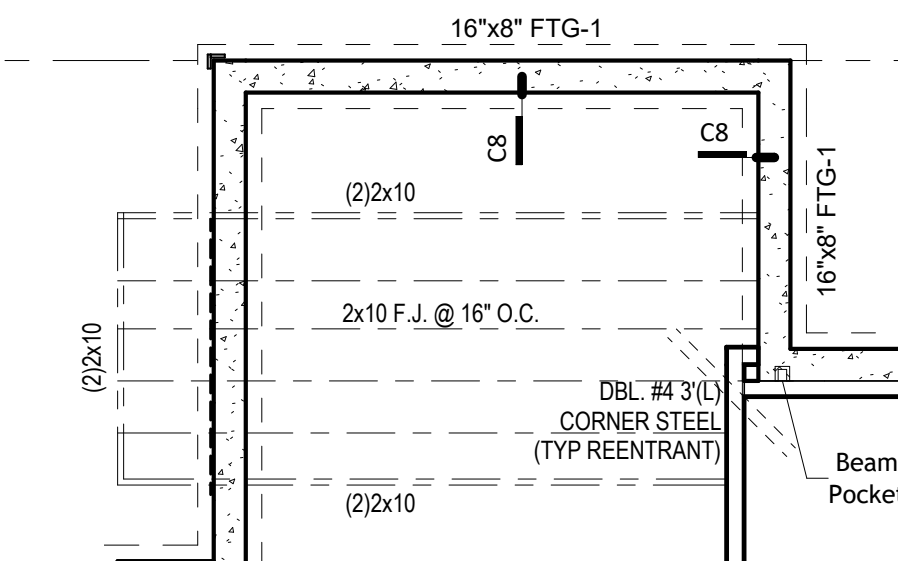


14 Front Elevation - Main Level - Dining Buffet - Option
1/4" = 1'-0"

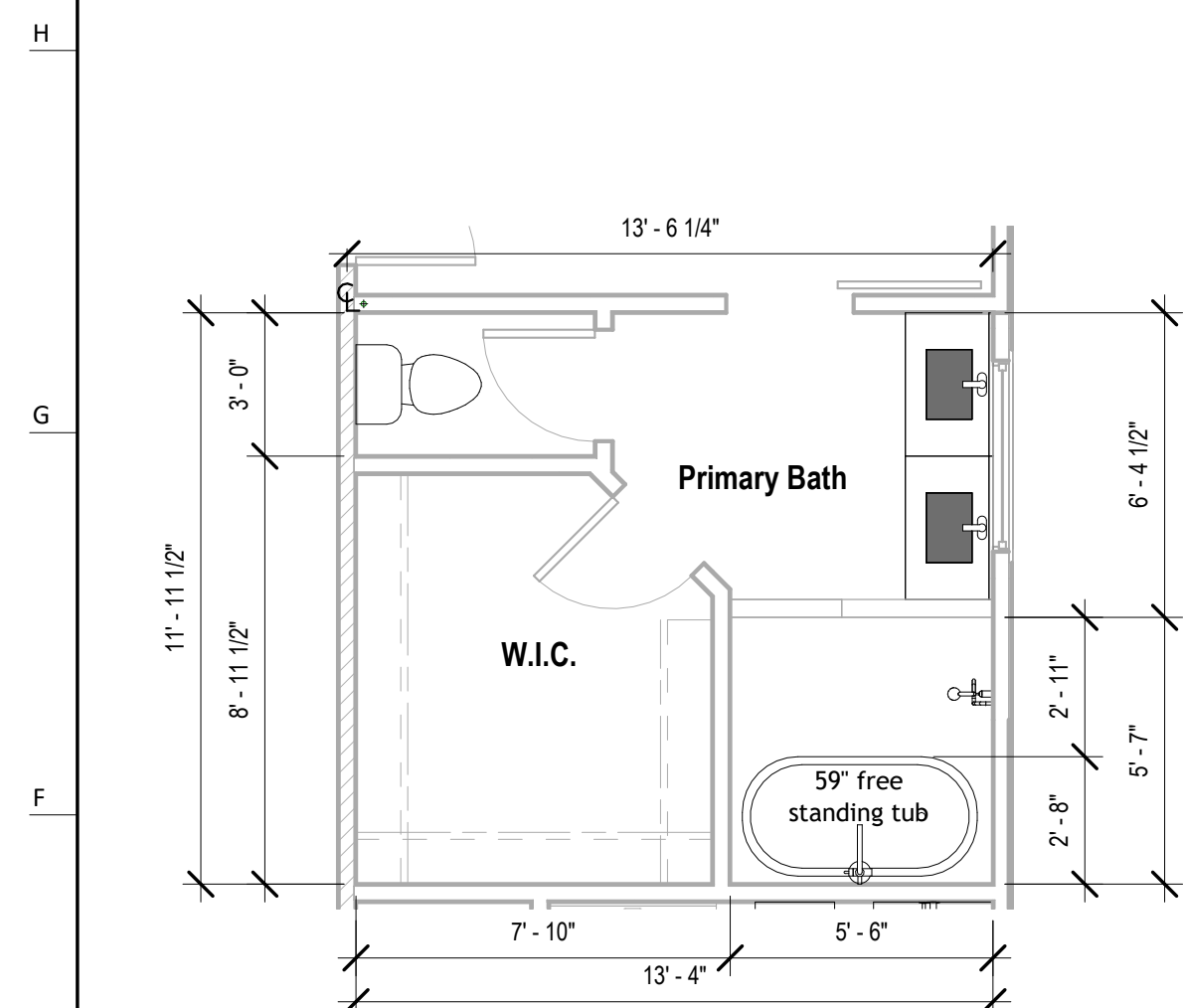
15) Side Elevation - Main Level - Dining Buffet - Option
1/4" = 1'-0"
(STR052)



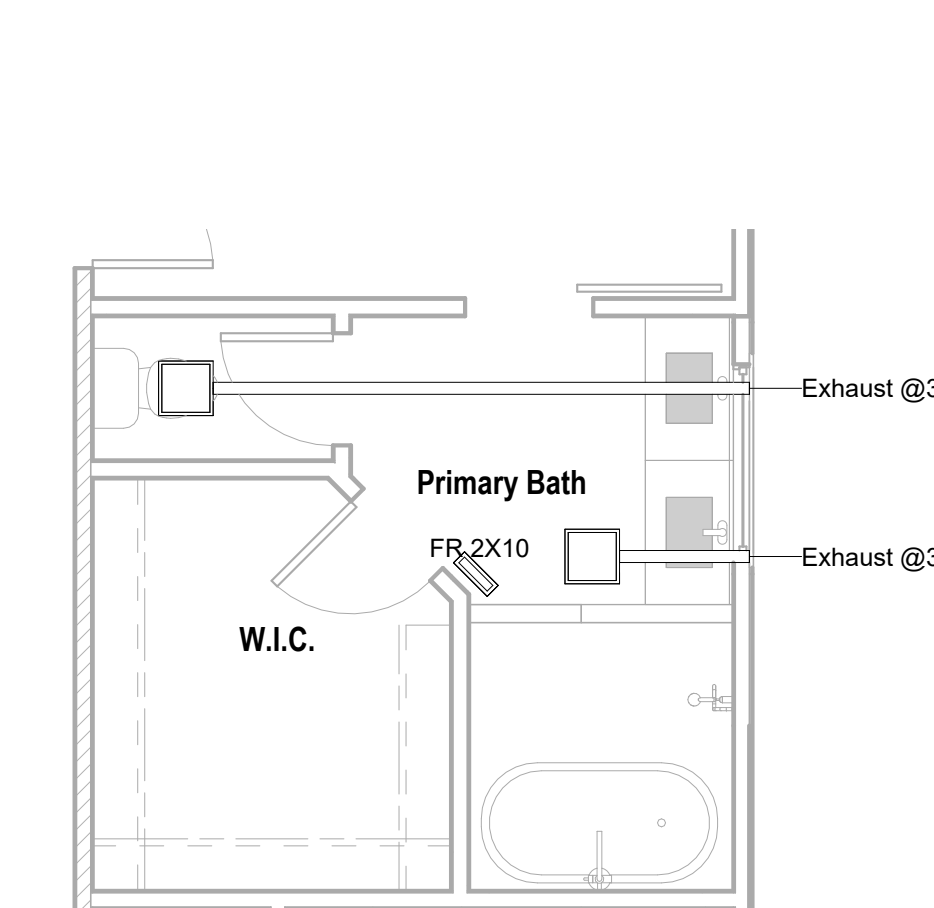
6 Main Level - Dining - Dining Buffet Option (STR052)
1/4" = 1'-0"



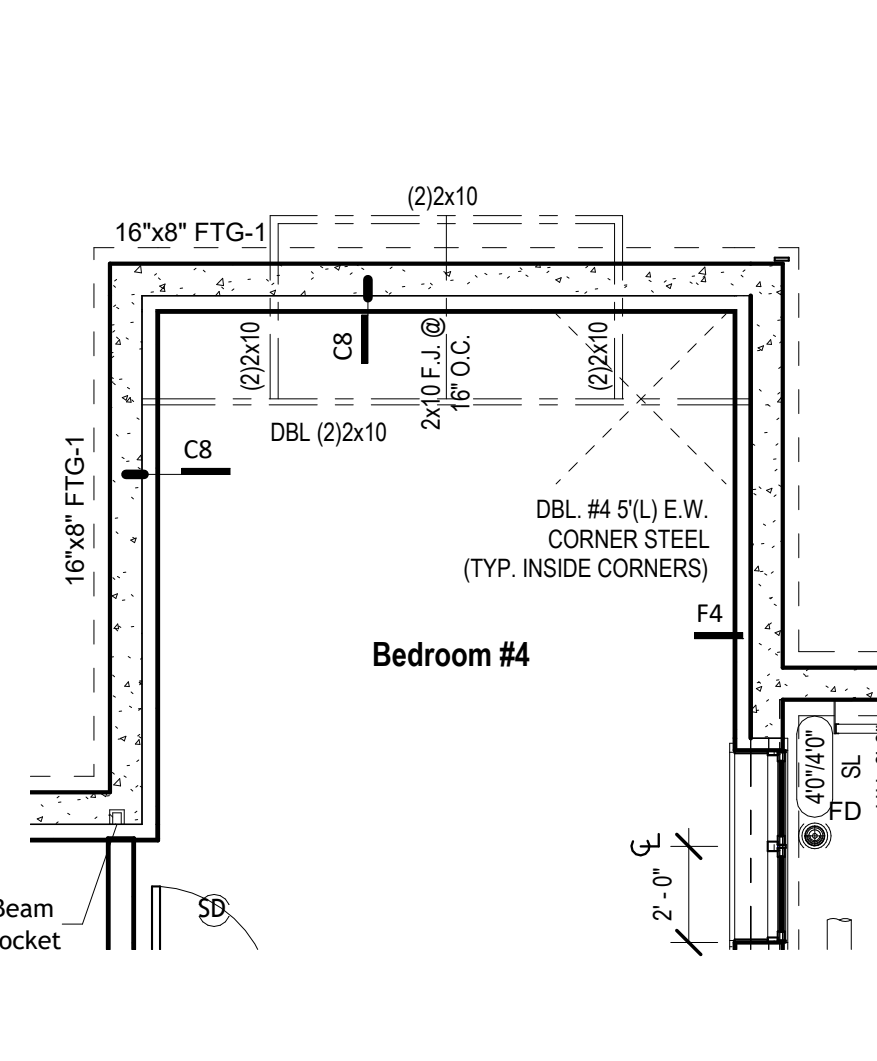
17 Main Level - Dining - Framing for Dining Buffet Cabinet (STR052)
1/4" = 1'-0"



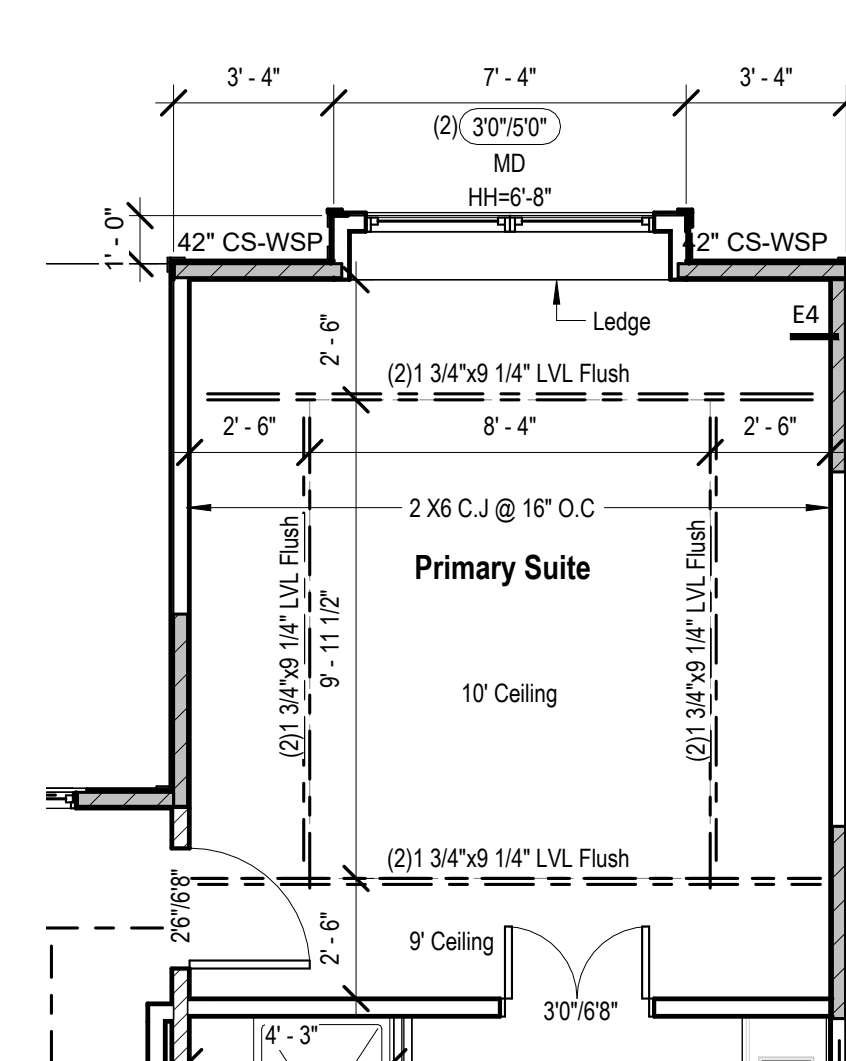
③ Main Level - Primary Bath - Design + Bathtub - Plumbing
1/4" = 1'-0"



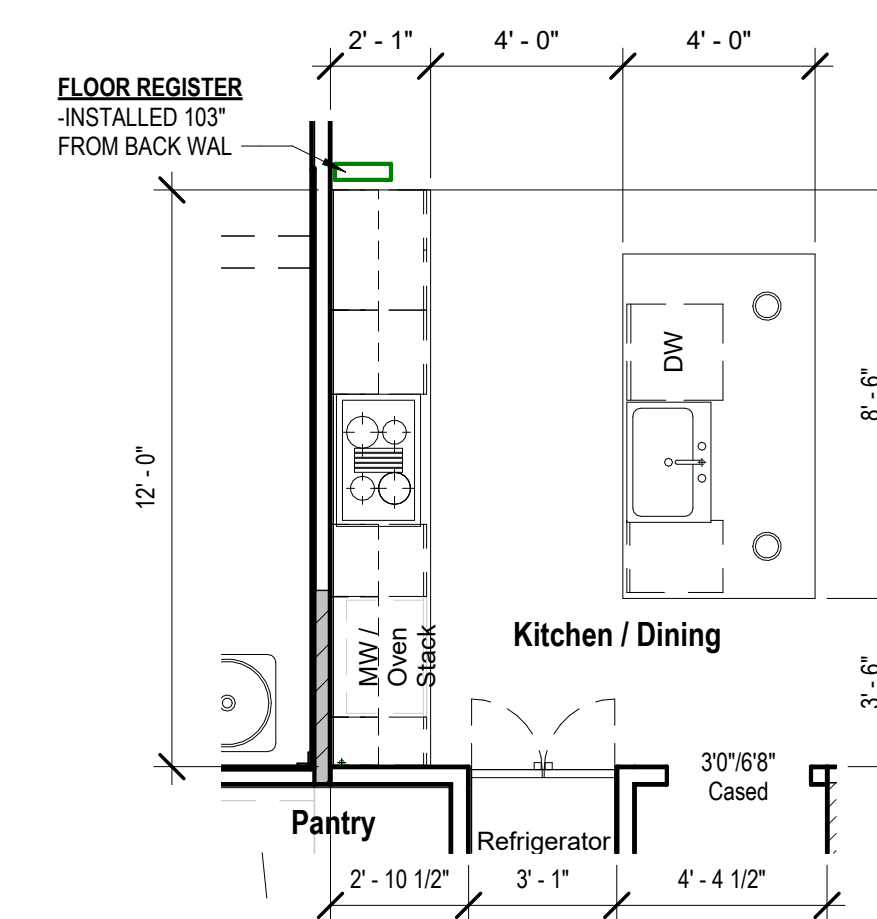
11 Main Level - Primary Bath - Design + Bathtub HVAC
1/4" = 1'-0"



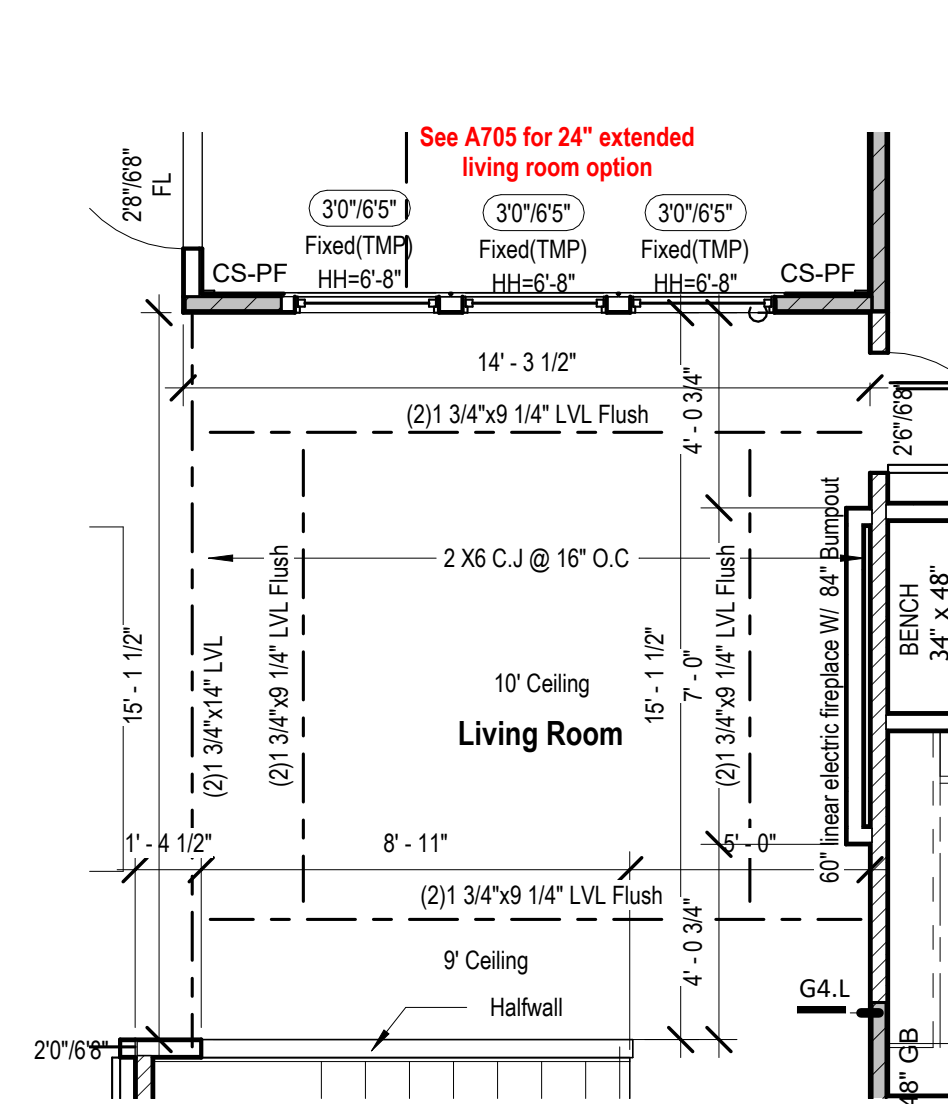
16 Basement Floor Plan - Framing for Bumpout window (STR016)
1/4" = 1'-0"



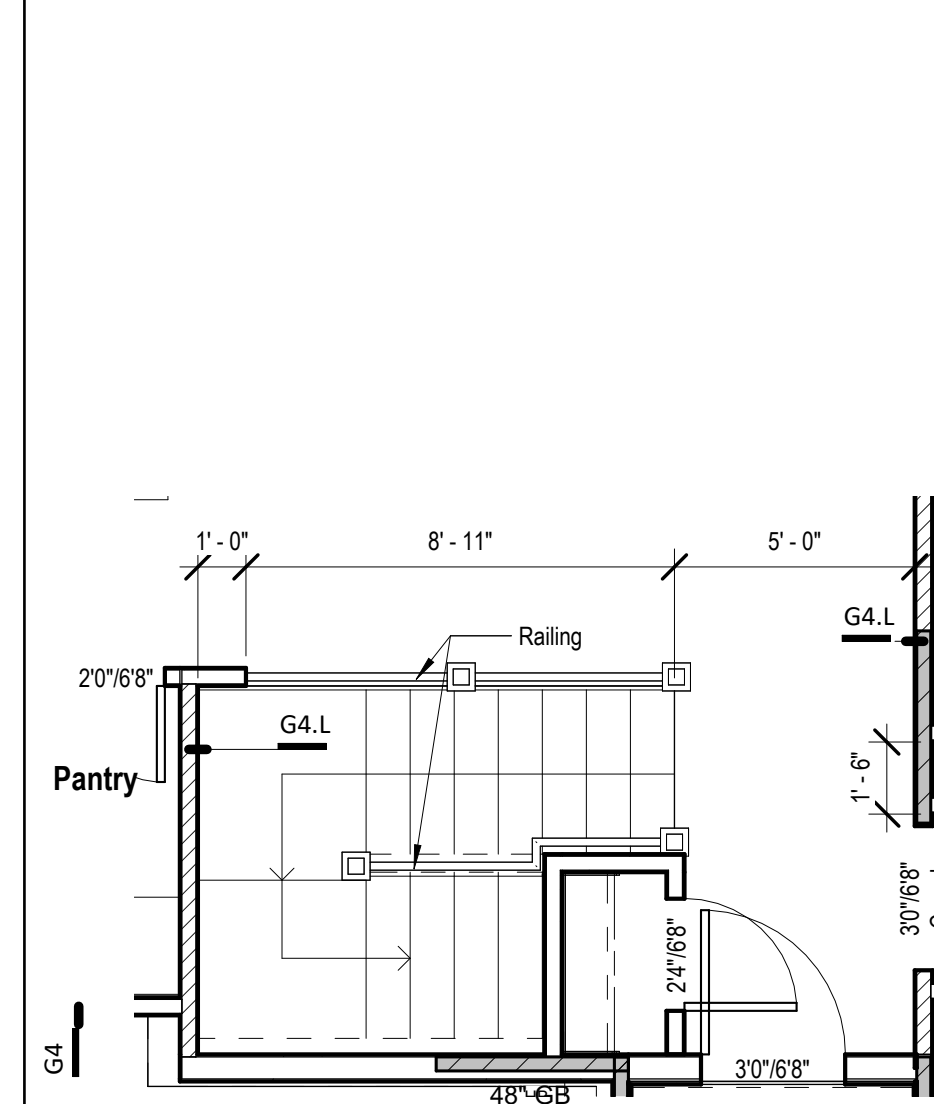
2 Floor Plan - Main Level - Primary Suite - Box Vault W/ Bumpout
(STR016+STR004)
1/4" = 1'-0"



18 Floor Plan - Kitchen - W/ 3 Car Garage - W/ Extended Pantry (STR001)
1/4" = 1'-0"



4 $1/4" = 1'-0"$



⑦ Floor Plan - Main Level - Living area - Stair Railing option
1/4" = 1'-0"

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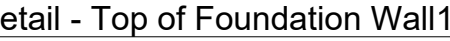
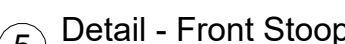
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A801

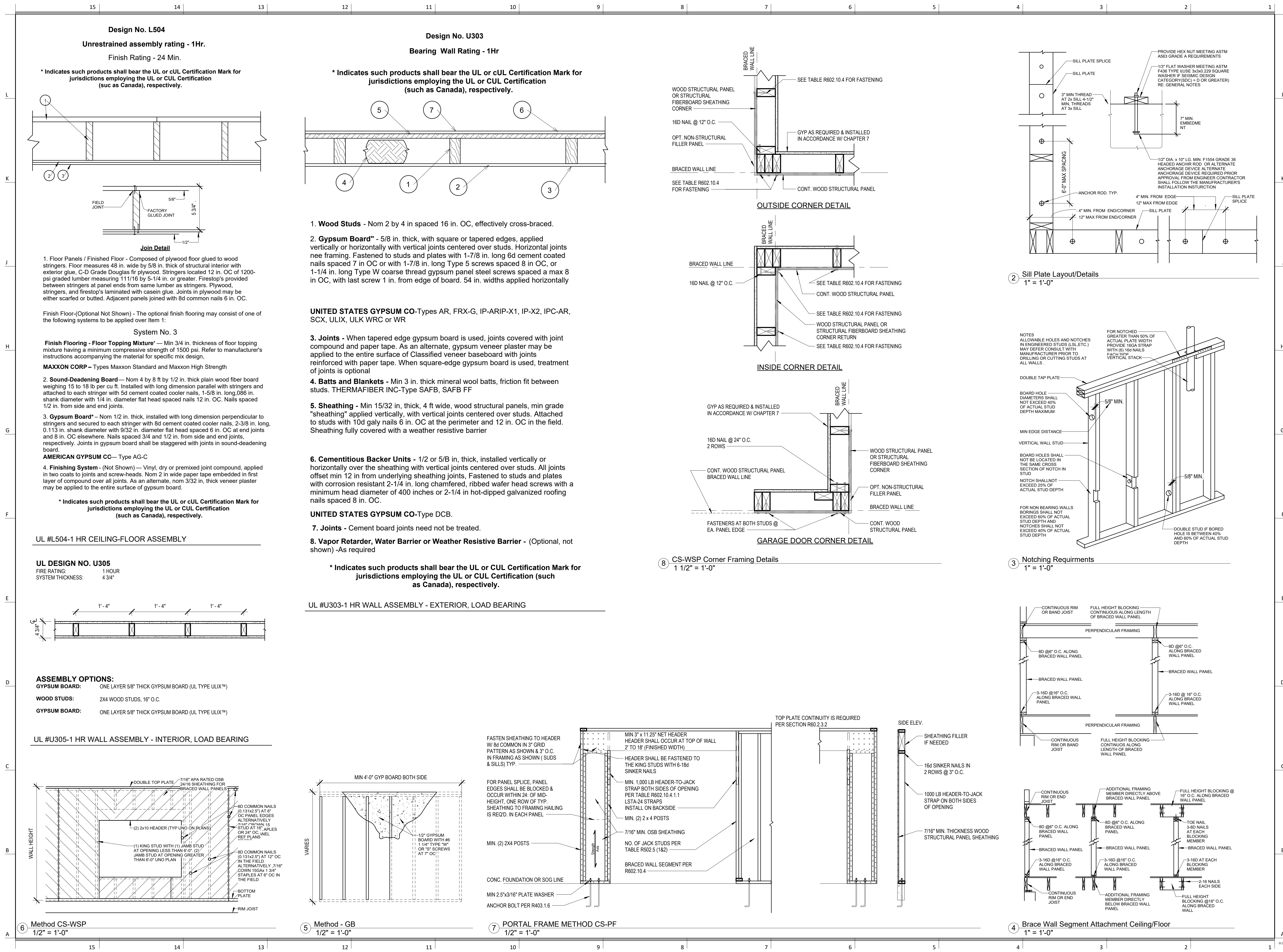
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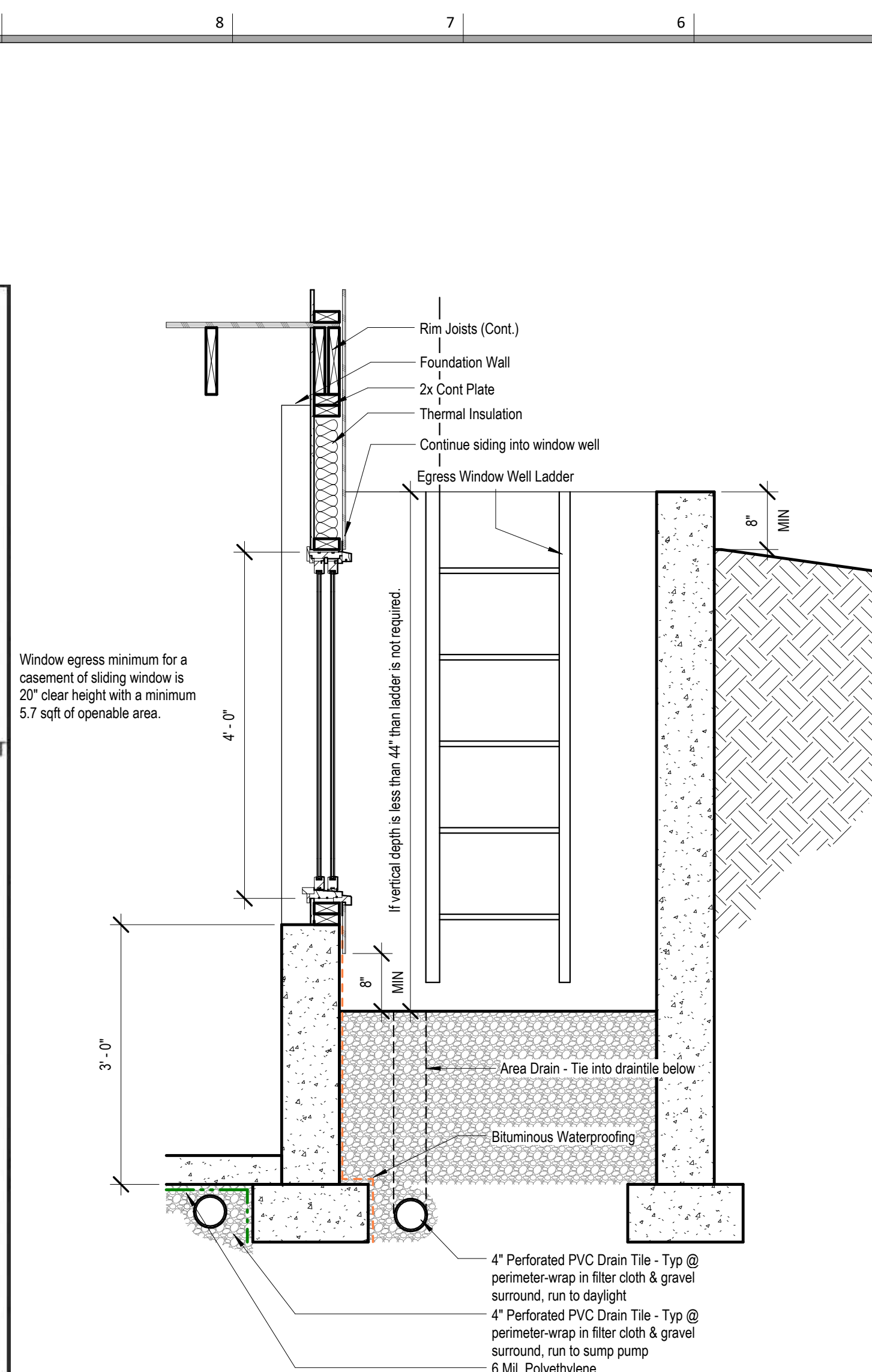


- Note
- Where adjacent grade is 2'-0" or less a guard is not required.
- Where joist span exceeds 7'-0", provide bridging @ mid-span (as shown)

Note:

All wood used in construction of all decks & railings, etc. to be pressure treated. Anchor building nears between decking & joists





Technical drawing of a trench layout showing dimensions and components. The drawing includes a cross-section of a trench with a concrete wall and a concrete floor. The trench is 4'-0" wide and 4'-0" deep. The concrete wall is 8" thick. The concrete floor is 4" thick. The trench is filled with a material labeled 't'. The trench is surrounded by a concrete slab. The drawing includes the following dimensions and components:

- Overall width: 4'-0"
- Overall depth: 4'-0"
- Concrete wall thickness: 8"
- Concrete floor thickness: 4"
- Trench width: 4'-0"
- Trench depth: 4'-0"
- Area Drain: A circular drain located in the center of the trench floor.
- Egress Ladder Steps (R310.2.3.1): A set of steps located on the right side of the trench, with dimensions:
 - 12" wide (Min)
 - 3" deep (Min)
 - 18" spacing (Max)

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G

FE

A803



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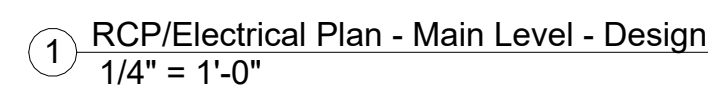
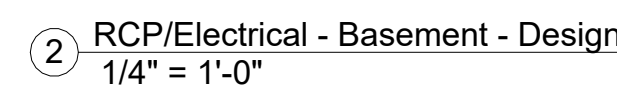
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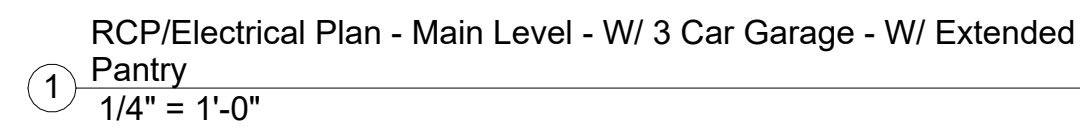
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architect:
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Blue Springs, MO 64015
816.622.8826 voice
www.elevatedesignbuildkc.com

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SEPTEMBER 20, 2025

REVISIONS

[illegible]

PROJECT
ADDRESS : 2111 SW Harvest Moon Ln.
LOT: Hook Farms 99, Lees Summit, MO

DRAWING TITLE
Floor Plan - HVAC

DATE ISSUED

DRAWING NUMBER

M101

RELEASE FOR CONSTRUCTION
AS NOTED ON PLANS REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
10/13/2025 11:00:35



Greystone - Masterplan

③ Floor Plan - Living Space - W/ Extending Living Copy 1
1/4" = 1'-0"

② Basement Rec + Storage - W/ Extending Living Copy 1
1/4" = 1'-0"

architect:
Elevate Design + Build
1040 SW Luttrell Road
Blue Springs, MO 64015
816.622.8826 voice
www.elevatedesignbuildkc.com

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SEPTEMBER 20, 2025

REVISIONS

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PROJECT
ADDRESS : 2111 SW Harvest Moon Ln.
LOT: Hook Farms 99, Lees Summit, MO

DRAWING TITLE
Floor Plan - Structural POD
Options 24" Extension HVAC

DATE ISSUED

DRAWING NUMBER

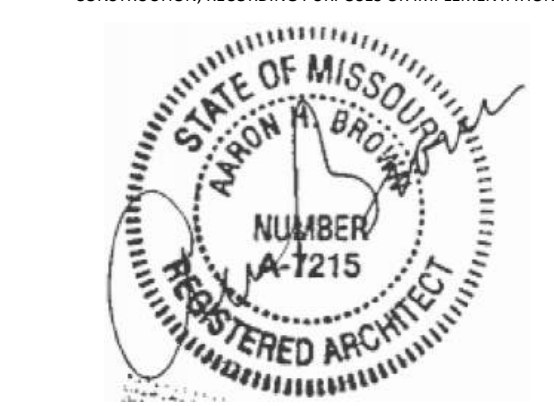
M102

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Greystone - Masterplan

architect:
Elevate Design + Build
1040 SW Luttrell Road
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SEPTEMBER 20, 2025

REVISIONS

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PROJECT
ADDRESS : 2111 SW Harvest Moon Ln.
LOT: Hook Farms 99, Lees Summit, MO

DRAWING TITLE
Plumbing Floor Plans

DATE ISSUED

DRAWING NUMBER

P101

4-800-455-6245
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