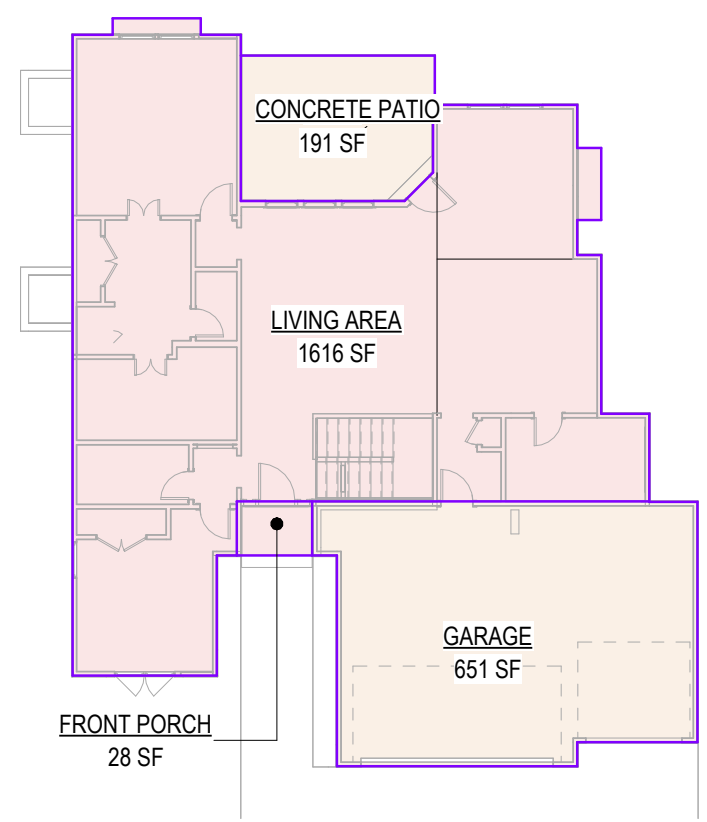
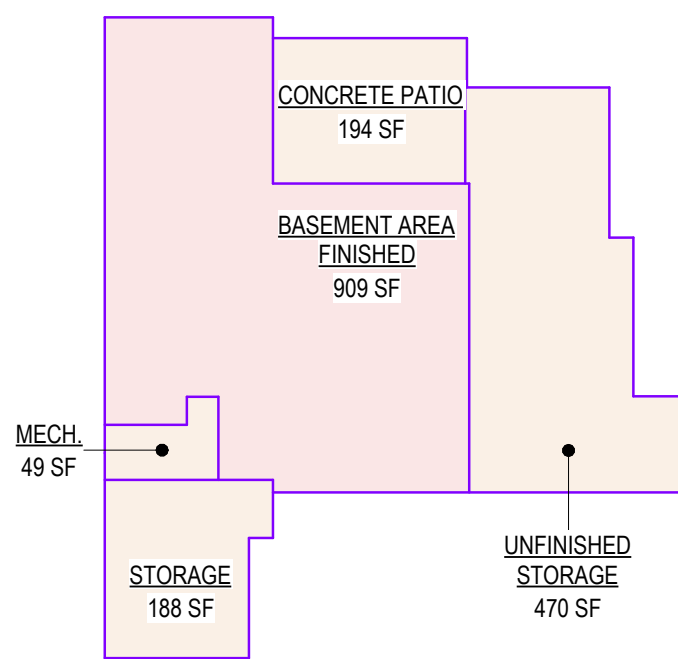


WOODLAND MASTER PLAN

ADDRESS : 2233 SW Heartland Ct., Lees Summit, MO
LOT : HF 210



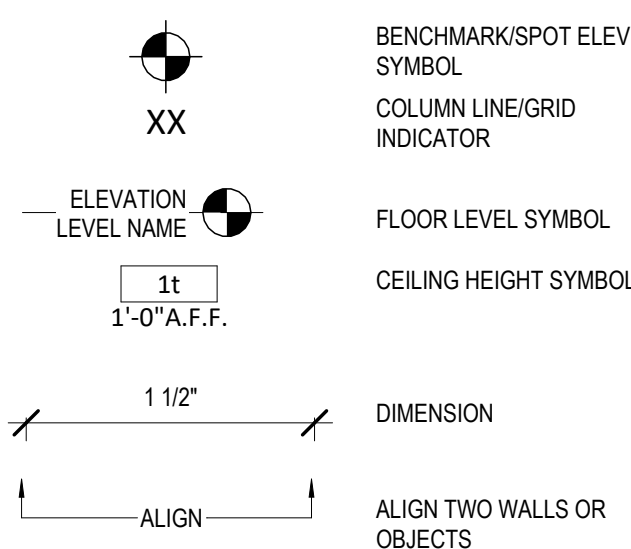
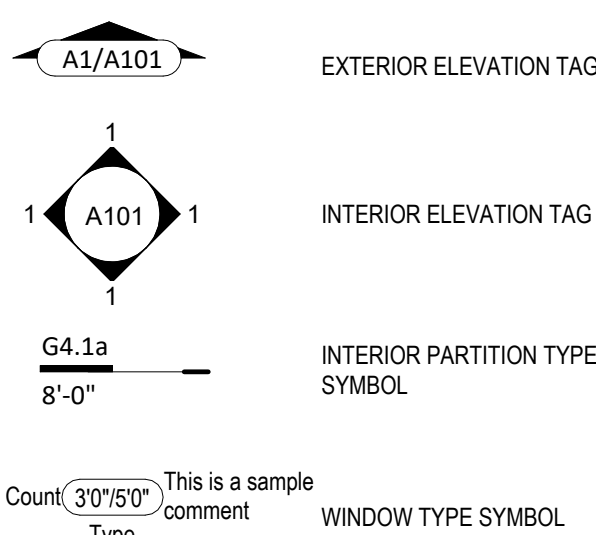
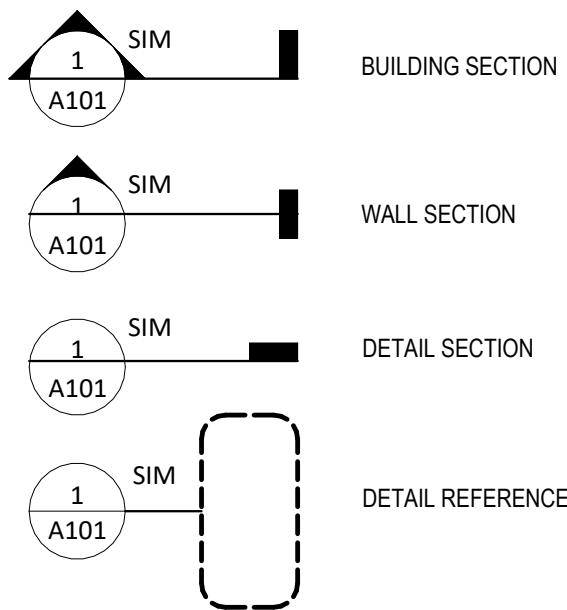
5 Main Level Area Plan
1/16" = 1'-0"



4 Basement Area Plan
1/16" = 1'-0"

AREA - Storage	
FINISHED	
LIVING AREA	1616 SF
BASEMENT AREA FINISHED	909 SF
	2526 SF
UNFINISHED	
GARAGE	651 SF
CONCRETE PATIO	191 SF
FRONT PORCH	28 SF
UNFINISHED STORAGE	470 SF
MECH.	49 SF
CONCRETE PATIO	194 SF
STORAGE	188 SF
	4772 SF
	1578 SF

Sheet List	
Sheet No	Sheet Name
00	Cover
A101	Main Base Elevation
A201	Elevation options
A301	Full Basement side Elevation options
A302	Daylight Basement Side elevations
A303	Walkout Side elevations
A401	Foundation Plan
A501	Basemenet Floor Plan
A601	Floor Plan -Main Level
A602	Floor Plan -Main Level (Full Basement & Daylight Options)
A701	Floor Plan - Roof Plan
A801	POD Options
A802	POD Options
A803	<varies>
A804	POD Options
A805	POD Options
A901	Details
A902	Details
A903	Details
E101	RCP/Electrical Plan
E102	RCP/Electrical Plan
M101	HVAC Plans
P101	Plumbing Plans



General Information

- Whole House Mechanical Ventilation System is required for any dwelling with air infiltration at a rate of less than 5 air changes per hour (at ACH50 standard R303.4).
- Carbon monoxide detectors required (R315)
- Steel columns shall be minimum schedule 40 (R507.2)
- Deck Ledger attachment to house shall be per Tables 507.9.1.3.
- New provisions for attachment of rafters, trusses and roof beams. (R802.3 and R802.11)
- Programmable thermostat required (N1103.1.1)
- Air handlers shall be rated for Maximum 2% air leakage rate (N1103.2.2.1)
- Building cavities used as return air plenums shall be sealed to prevent leakage across the thermal envelope. (N1103.2.3)
- Certain hot water pipes shall be insulated (N1103.4)
- All exhaust fans shall terminate to the building exterior (M1507.2)
- Makeup air system required for kitchen exhaust hoods that exceed 400 CFM M1503.4
- Building cavities in a thermal envelope wall (including the wall between the house and garage) shall not be used as return air plenums (unless the required insulation and air barrier are maintained) (M1601.1.1.#7.5)
- An air handling system shall not serve both the living space and the garage (M1601.6)
- A concrete-Encased grounding electrode ("UFER Ground") connection complies with the requirements of the 2018 IRC Section E3608.1.2 in providing a connection with no less than the required minimum of steel.
- Compliance with the requirements and show connection as needed for roof beam, trus, rafter, and girder connections for uplift per IRC 802.11
- DASMA 115 MPH Rated Garage doors
- Compliant with the Physical Security Ordinance in the Kansas City Building and Rehabilitation Code, section 329 (Information Bulletin 161).
- Compliant with the requirements of section 308 of the 2018 IRC for safety glazing.
- Studs will be continuous from floor to ceiling diaphragm/Roof as per 2018 IRC 602.3

2018 IRC BUILDING CODE COMPLIANCE
THESE DRAWINGS HAVE BEEN PREPARED WITH RESPECT TO COMPLIANCE OF THE 2018 IRC AND NEC 2017 ANY REFERENCES FOUND NOT CORRECTLY IDENTIFIED TO THESE CODES SHALL BE BROUGHT TO THE ATTENTION OF SSIONAL THE DESIGN PROFESSIONAL



WOODLAND MASTER PLAN



Original Issue Date: 24/03/27
REVISIONS

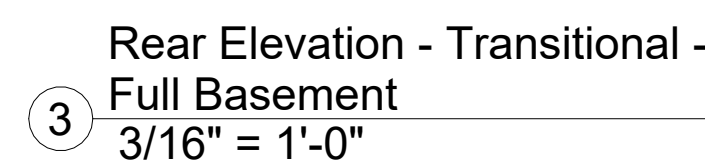
Number Description Date

ADDRESS : 2233 SW Heartland Ct.
LOT : Hook Farms 210, Lees Summit, MO

PLAN DESCRIPTION: Cover

00

Project No.



SEPTEMBER 23, 2025

A301.1

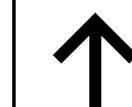


PROJECT

ADDRESS : 2233 SW Heartland Ct.
LOT : Hook Farms 210, Lees Summit, MO

Basement Floor Plan - Full
Basement

A501.1





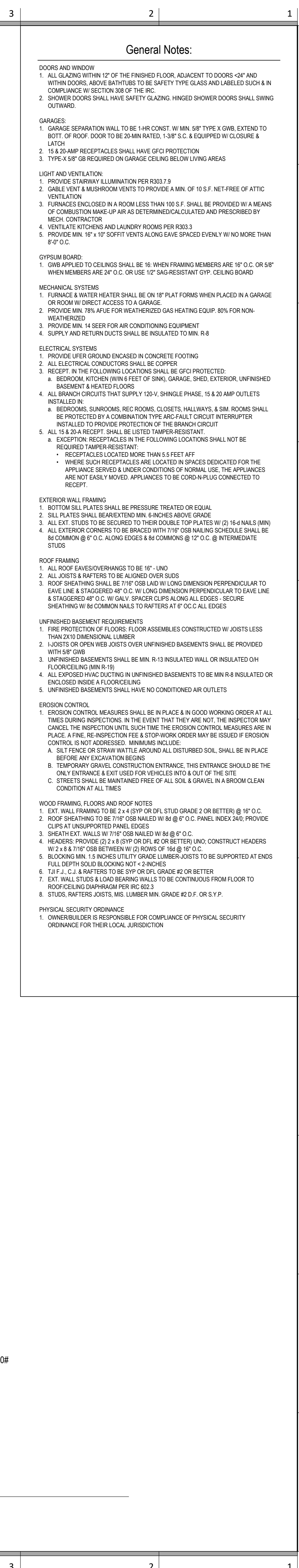
REVISIONS

PROJECT

ADDRESS : 2233 SW Heartland Ct.
LOT : Hook Farms 210, Lees Summit, MO

NORTH

A601.1





PROJECT
ADDRESS : 2233 SW Heartland Ct.
LOT : Hook Farms 210, Lees Summit, MO

DRAWING NUMBER

A602



ELEVATE DESIGN + BUILD
Elevating the Homebuilding Experience

architect:
Elevate Design + Build
350 SW Longview Blvd
Lee's Summit, MO 64081
816.622.8826 voice
www.elevatedesignbuildkc.com

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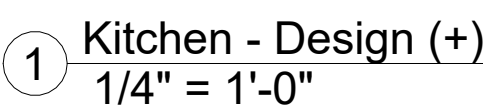
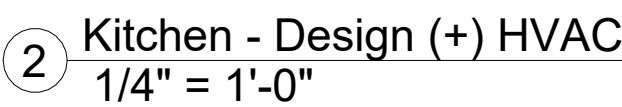
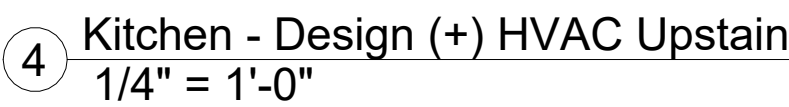
POD Options - Kitchen

DATE ISSUED

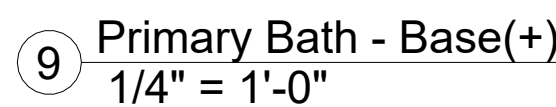
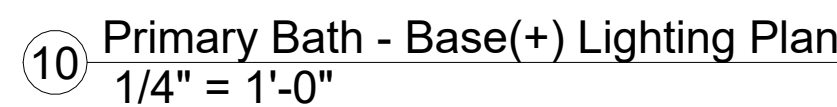
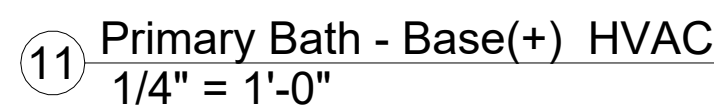
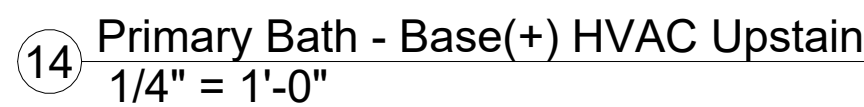
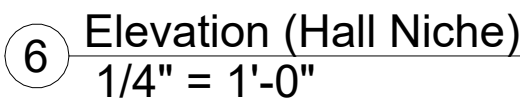
NORTH

DRAWING NUMBER

A802



A B C D E F G H J K L



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LOT : Hook Farms 210, Lees Summit, MO

POD Options - Master Bath Design + Bathtub

NORTH

A black arrow pointing upwards, indicating North.

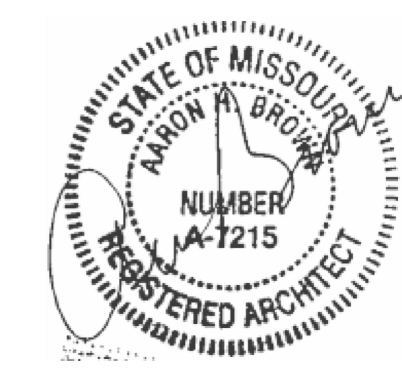
A804



WOODLAND MASTER PLAN

architect:
Elevate Design + Build
350 SW Longview Blvd
Lee's Summit, MO 64081
816.622.8826 voice
www.elevatedesignbuildkc.com

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REVISIONS

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PROJECT
ADDRESS : 2233 SW Heartland Ct.
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DRAWING TITLE

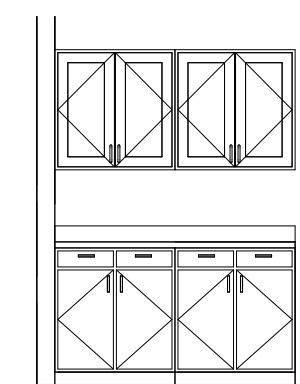
Primery bed and Dinig Bump-out

DATE ISSUED	NORTH
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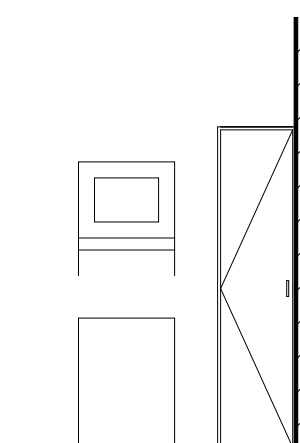
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DRAWING NUMBER

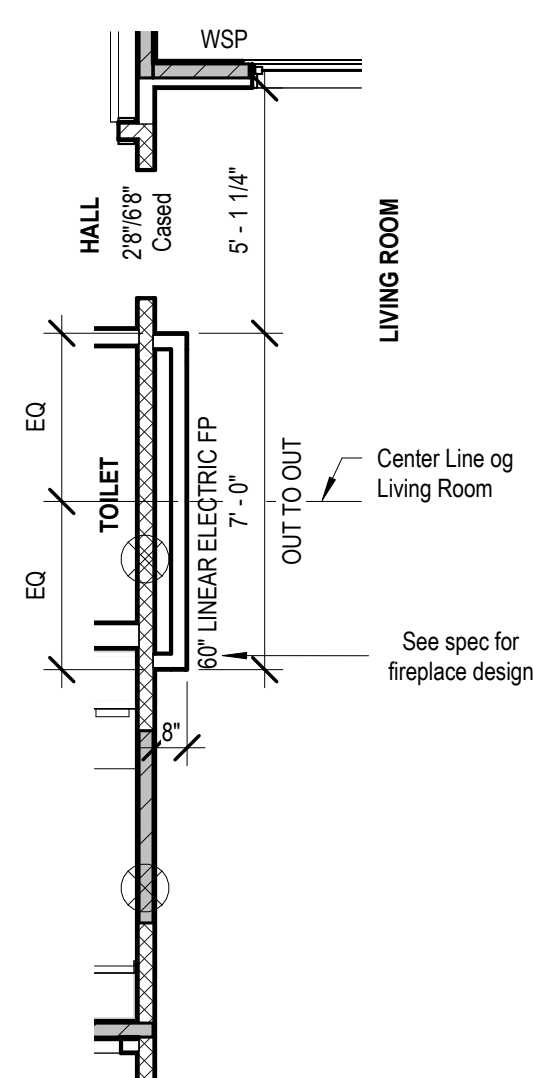
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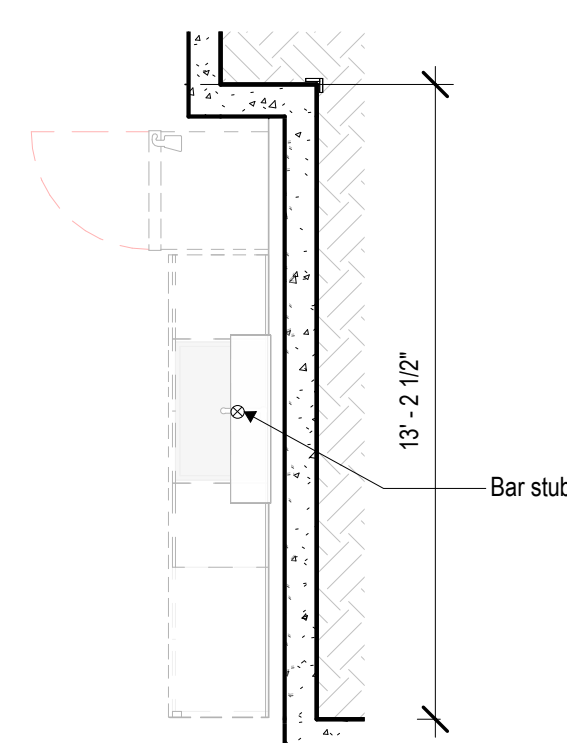
6 Cabinet Door
1/4" = 1'-0"



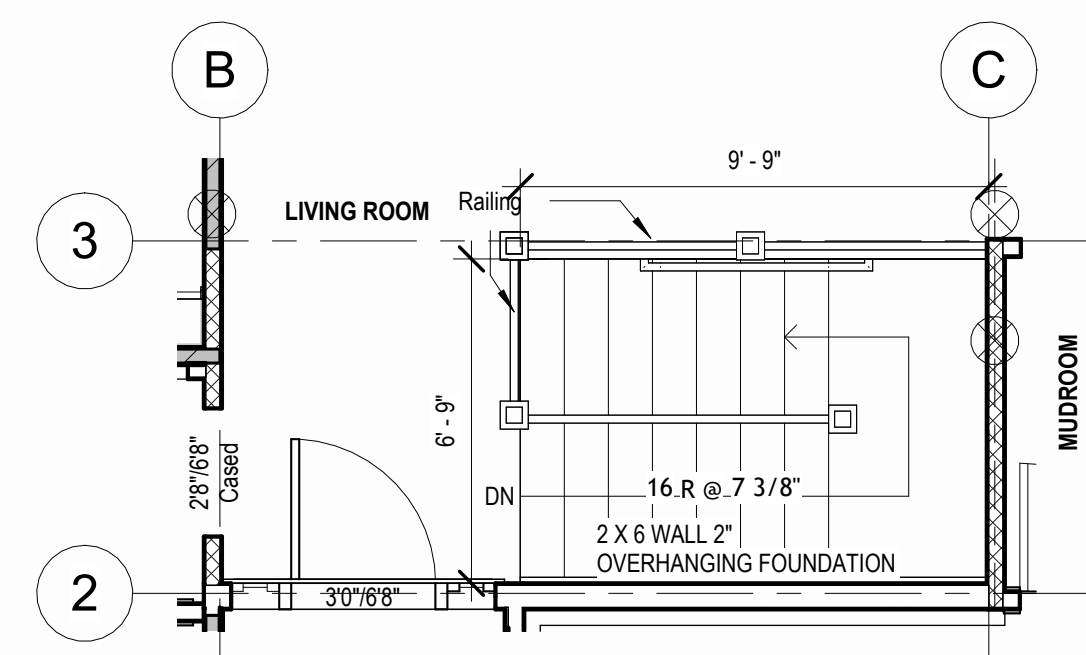
4 Cabinet Door -Wall Framed
1/4" = 1'-0"



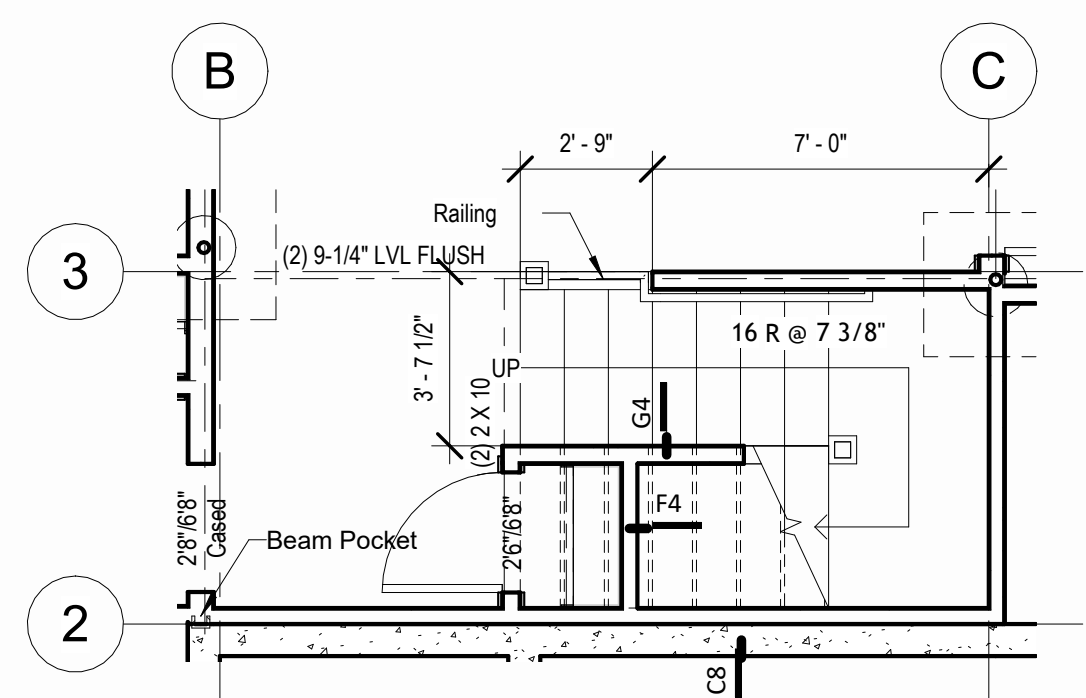
9 Main Level Fire Place - Design
1/4" = 1'-0"



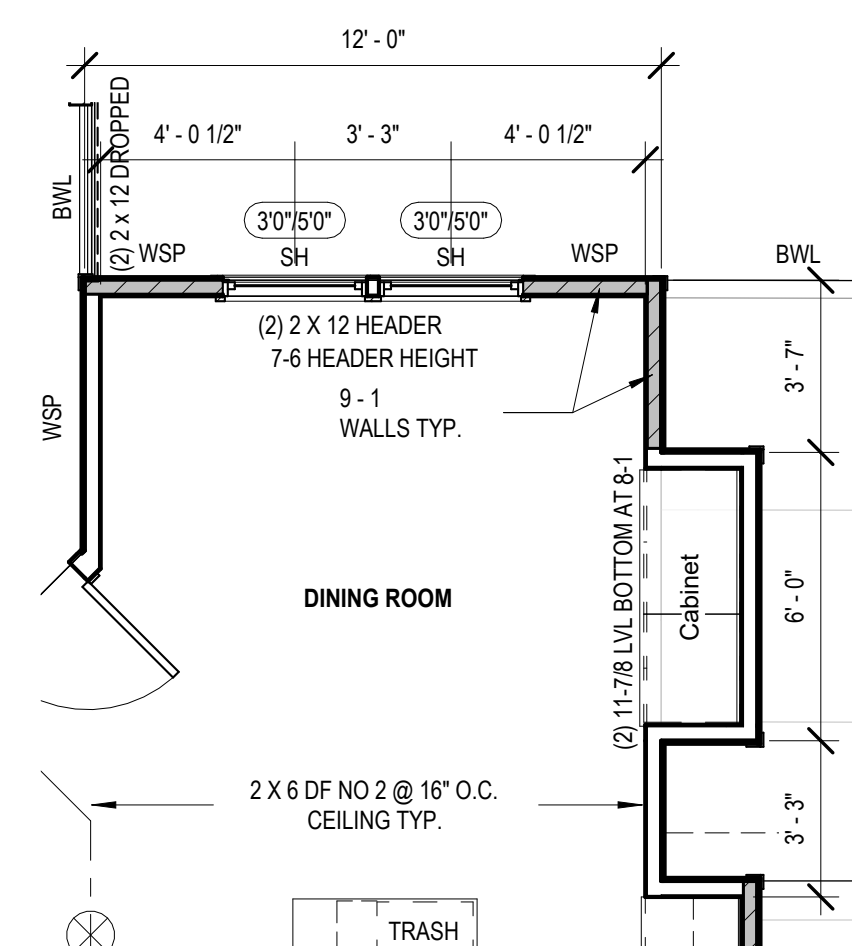
12 Basement Kitchen - Design
1/4" = 1'-0"



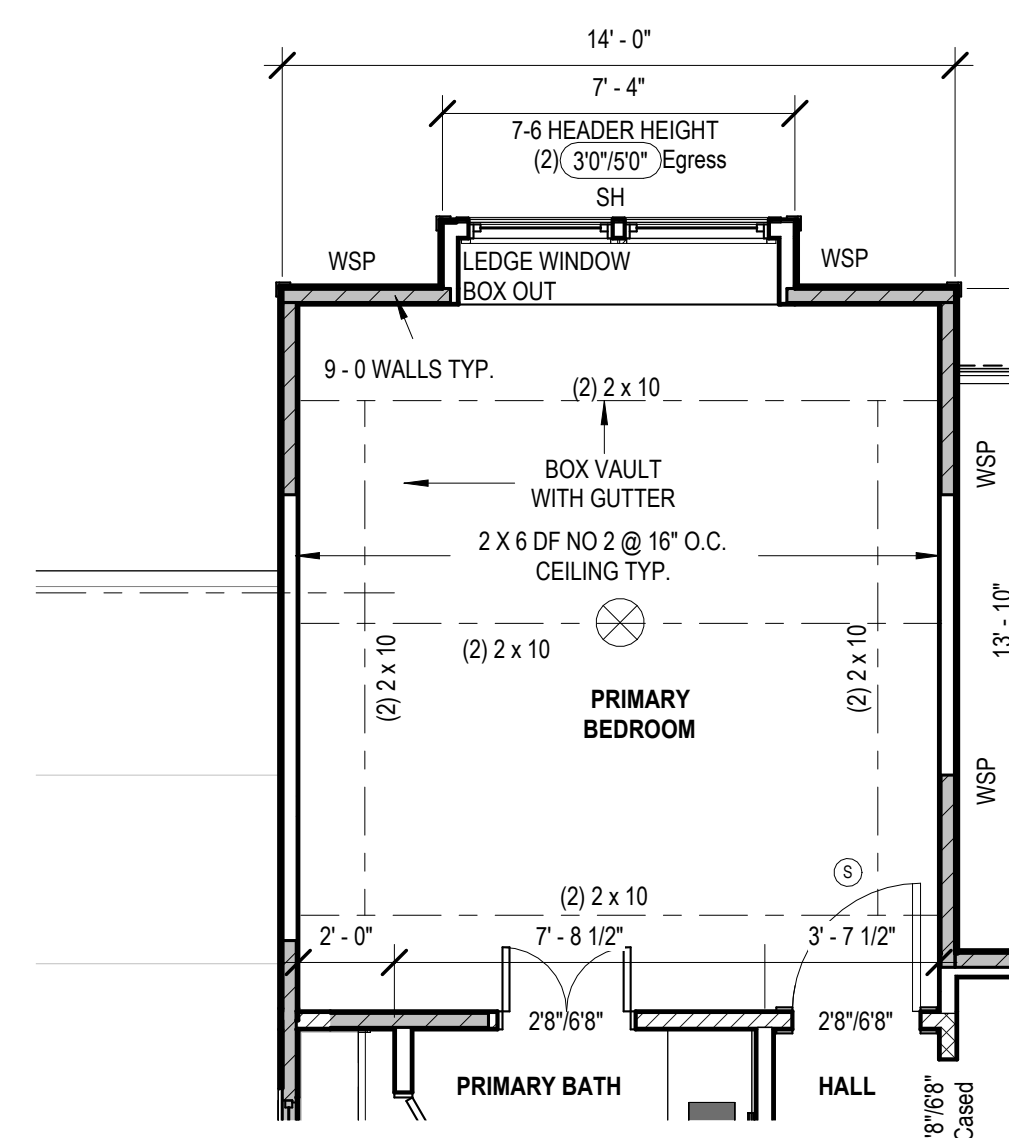
10 Main Level Stair Railing - Design
1/4" = 1'-0"



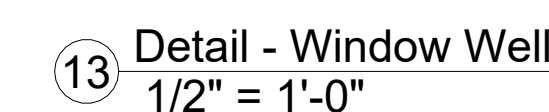
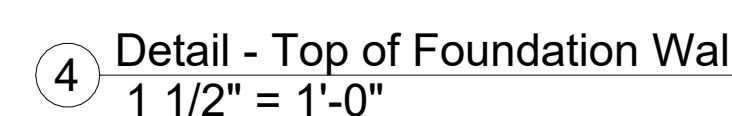
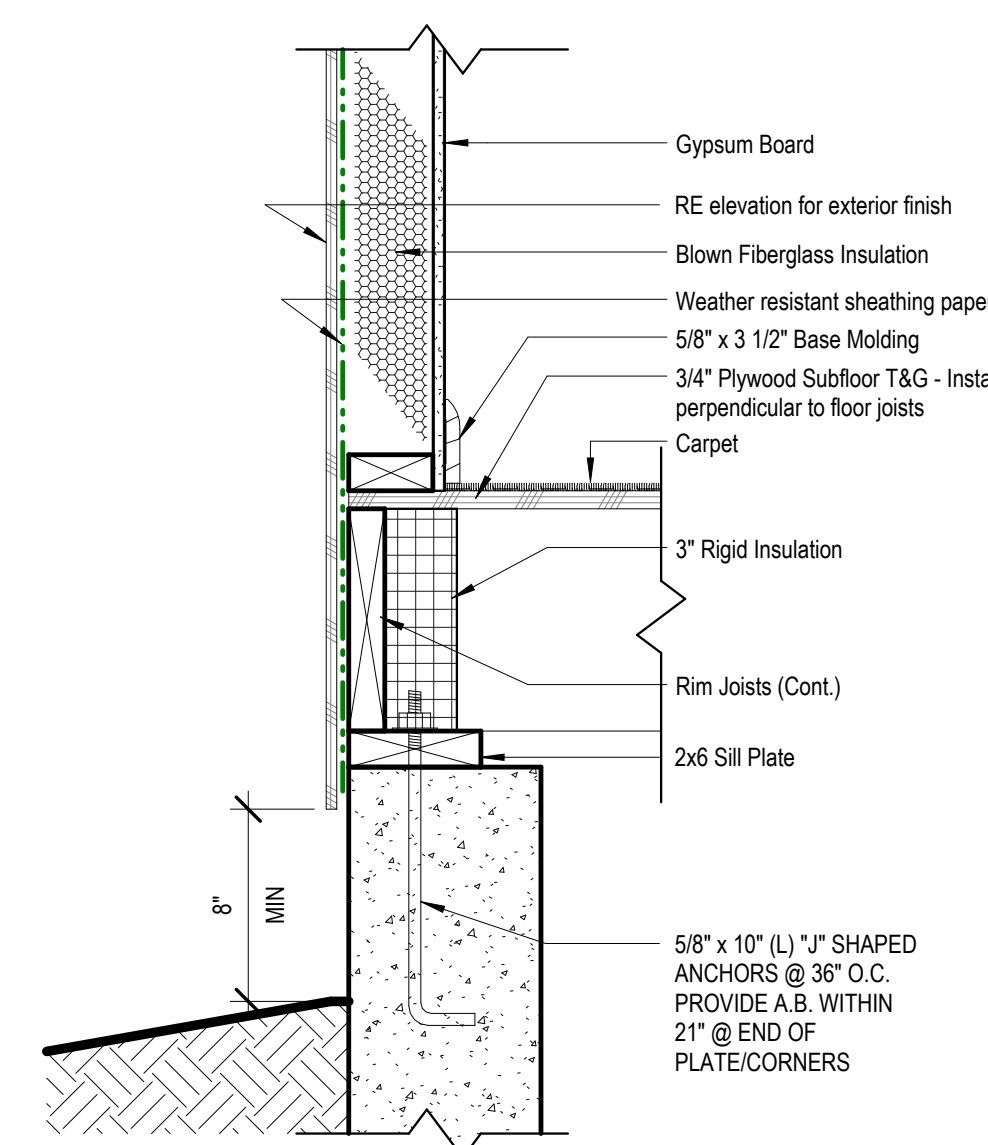
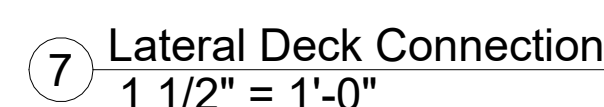
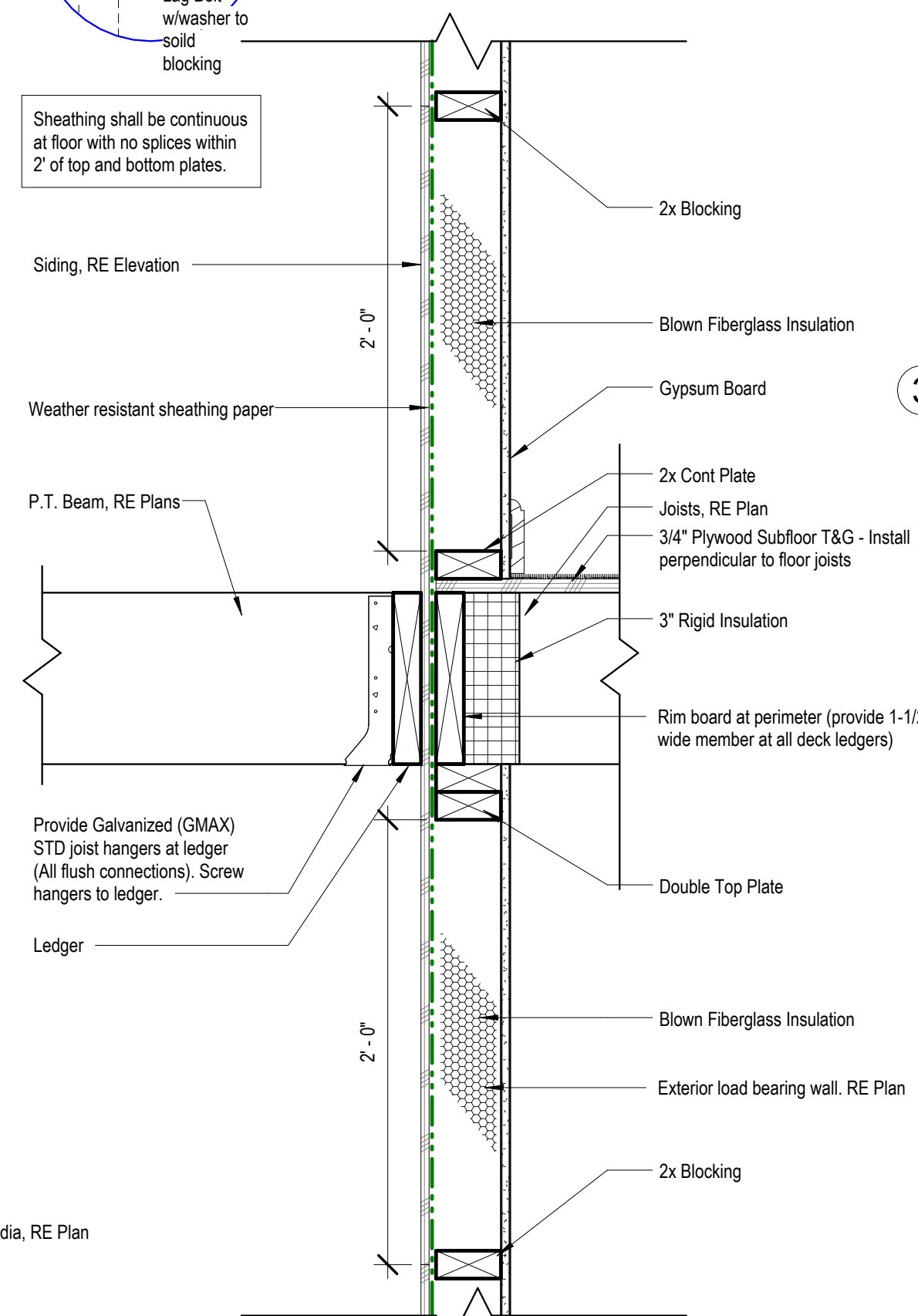
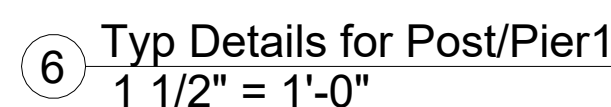
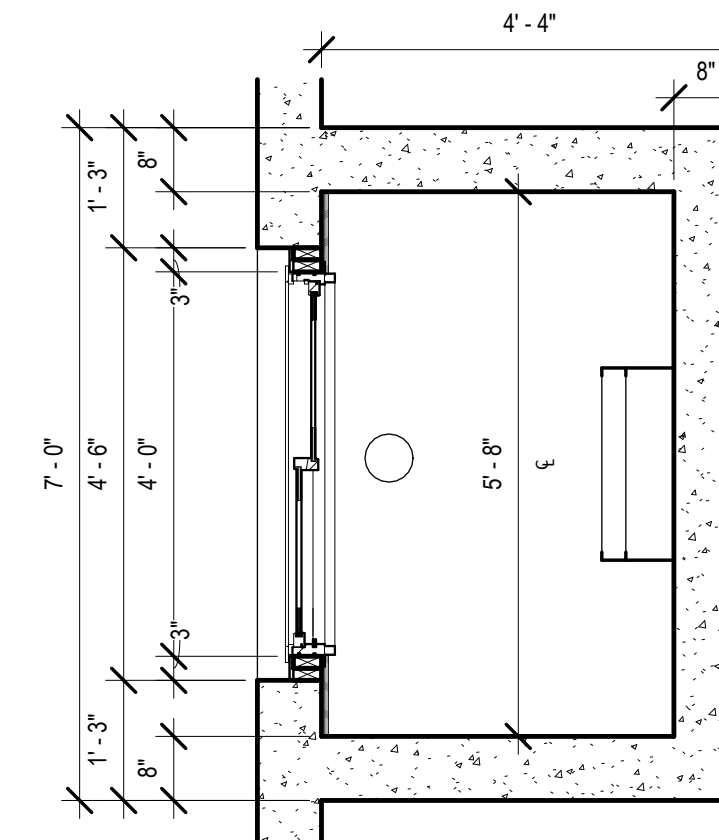
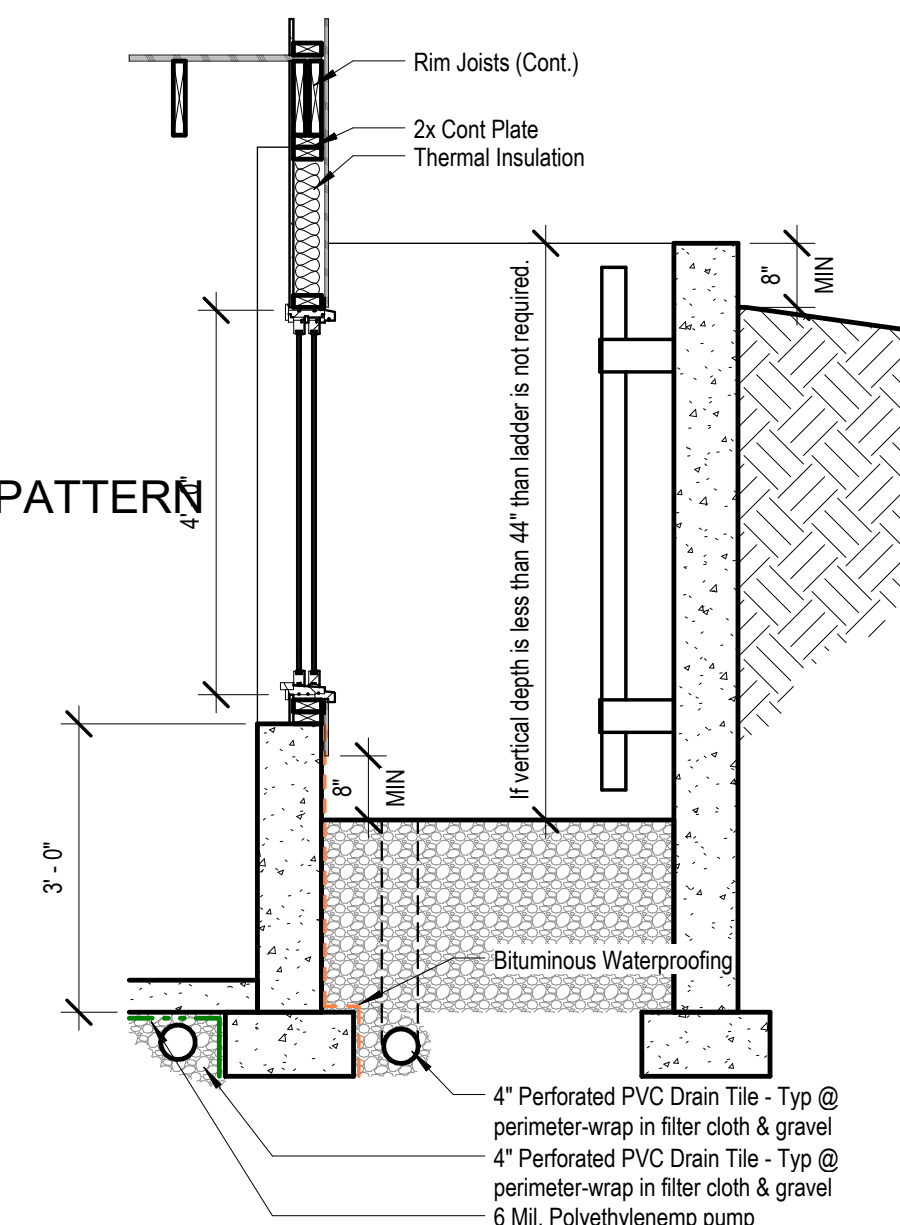
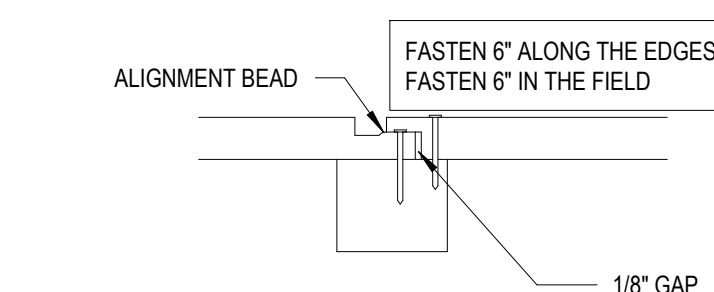
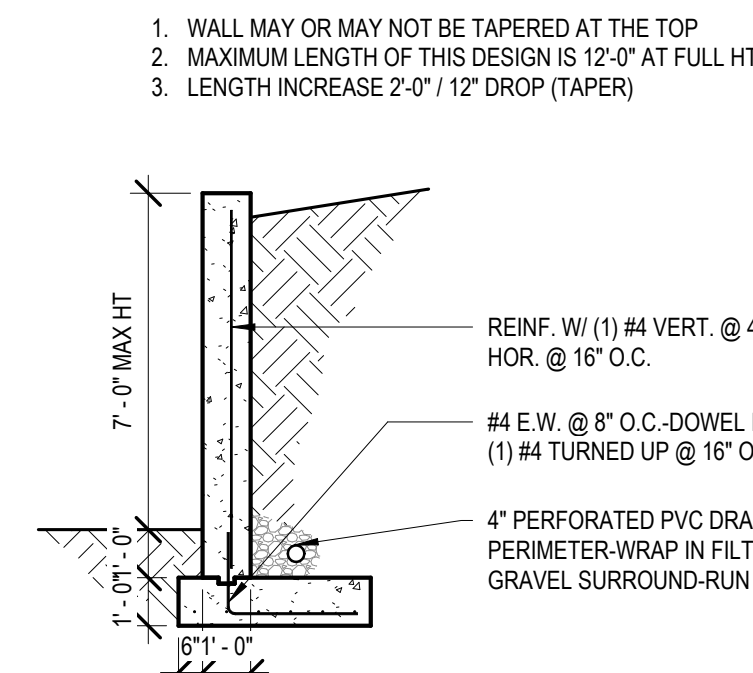
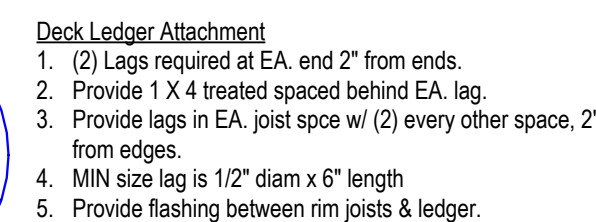
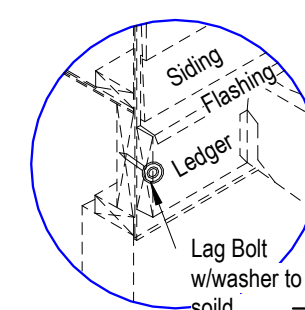
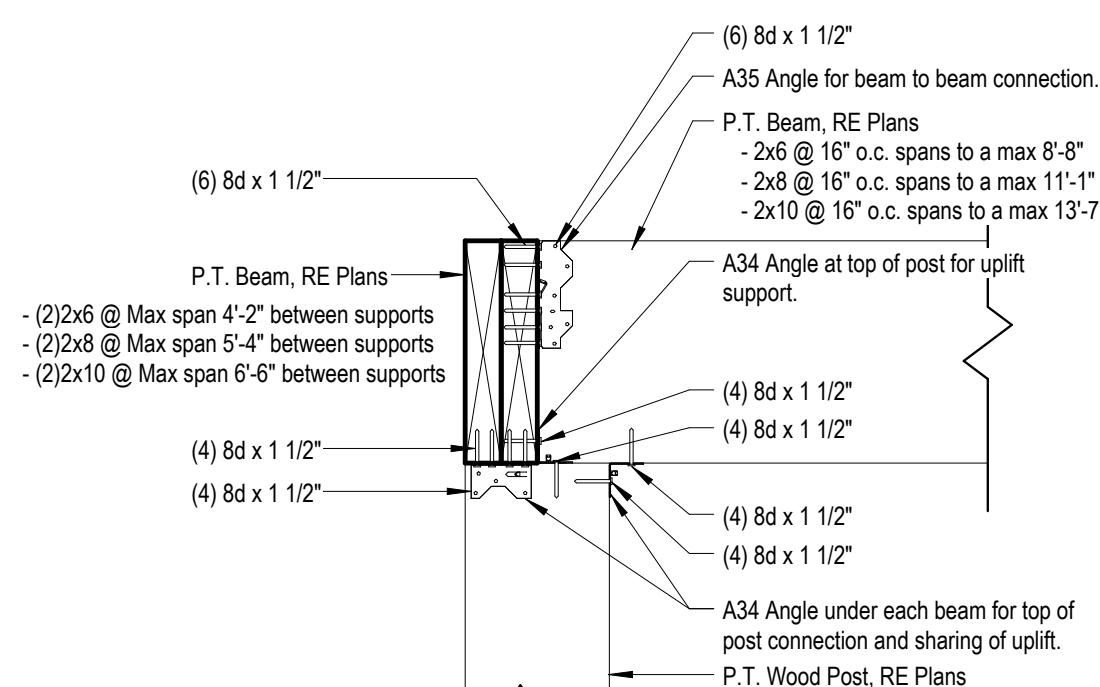
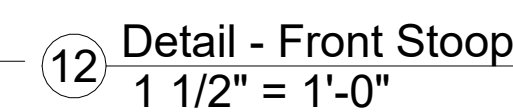
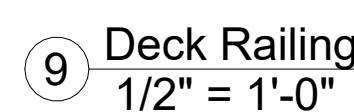
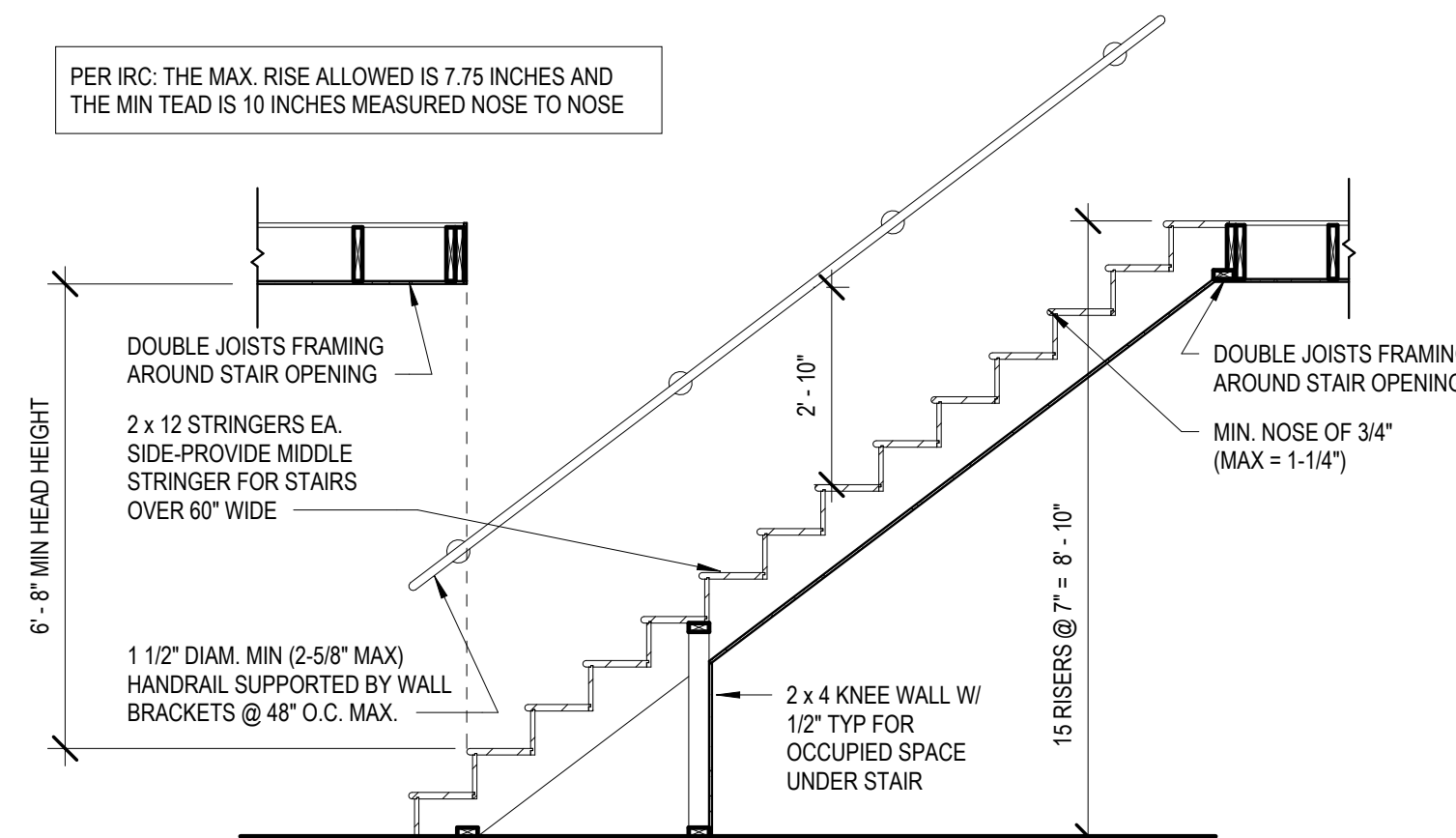
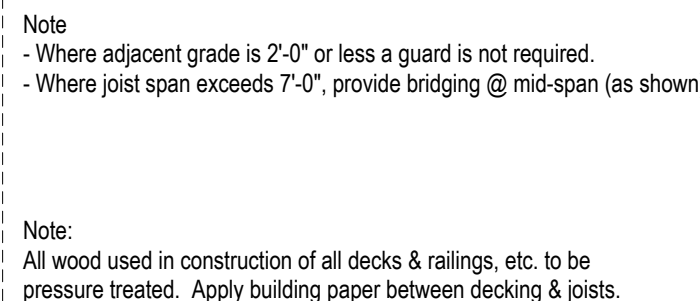
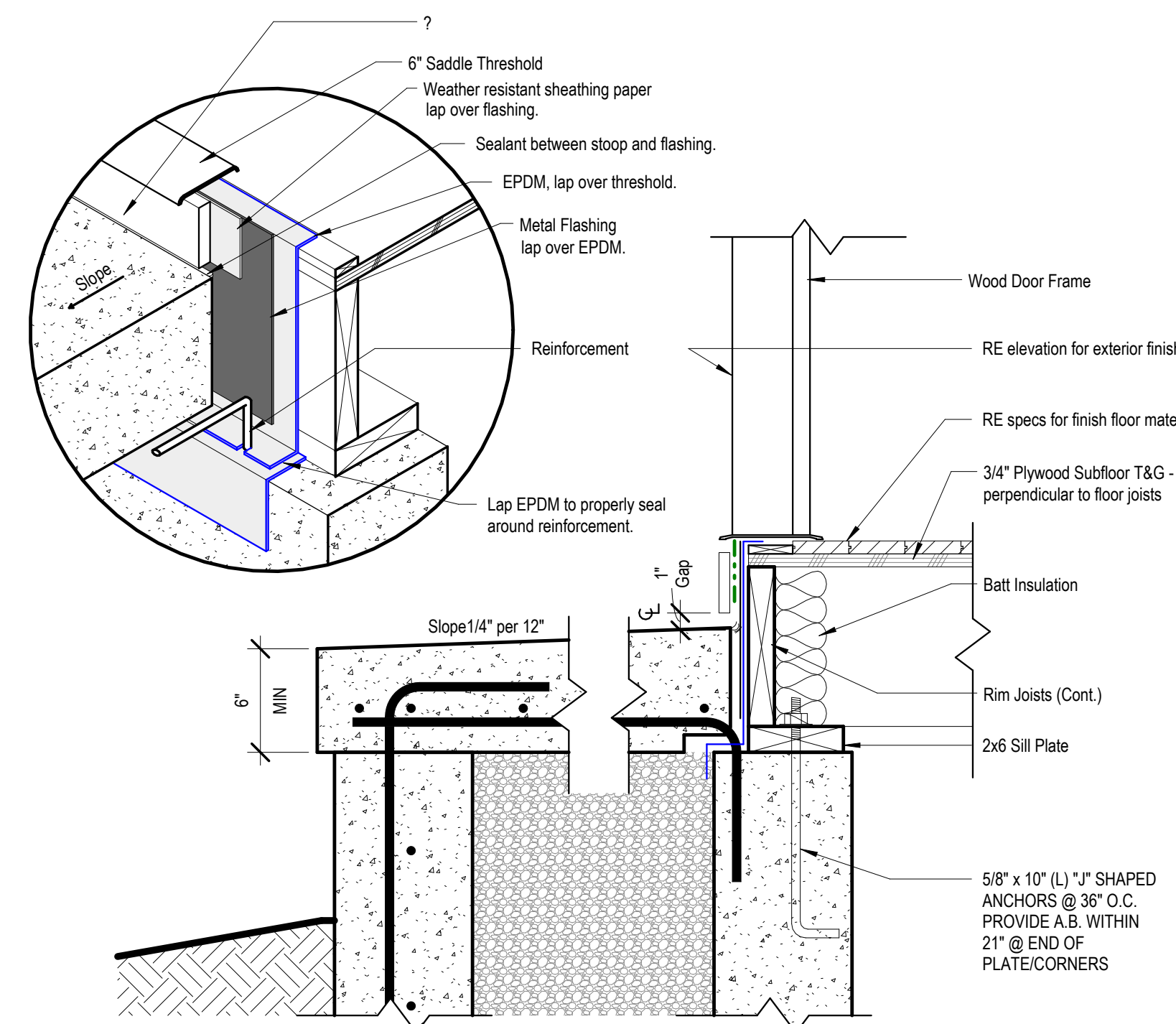
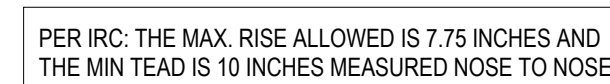
11 Basement Stair Railing - Design
1/4" = 1'-0"



② Main Level Dining Bump-Out Plan
1/4" = 1'-0"



① Primary Bedroom - BOX Vault option
1/4" = 1'-0"



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REVISIONS

PROJECT

DRAWING TITLE

RCP/Electrical Plan

NORTH
↑

DRAWING NUMBER

E101

1 RCP/Electrical - Basement
1/4" = 1'-0"

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LOT : Hook Farms 210, Lees Summit, MO

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M101

1 Basement HVAC Plan
1/4" = 1'-0"

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P101

