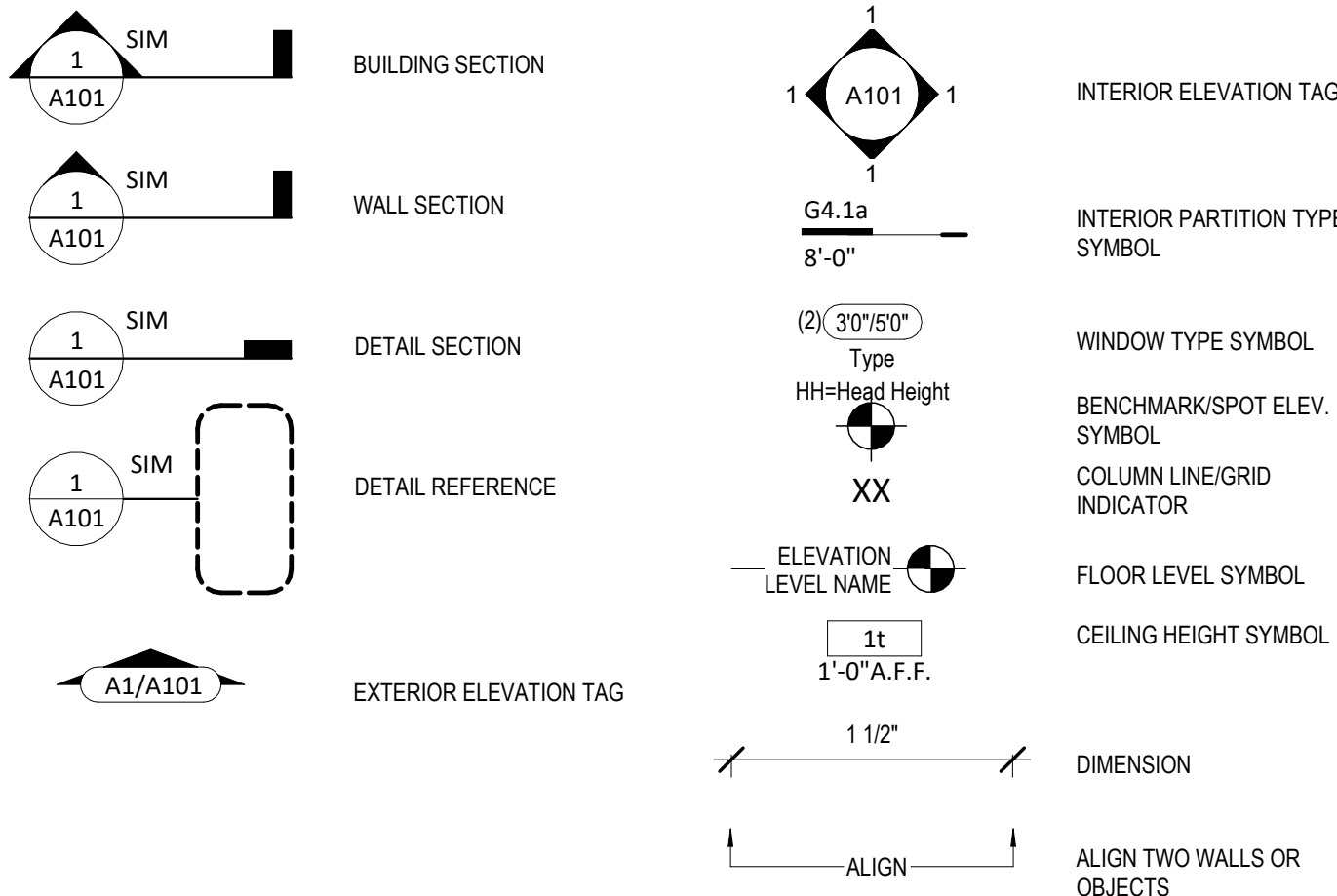


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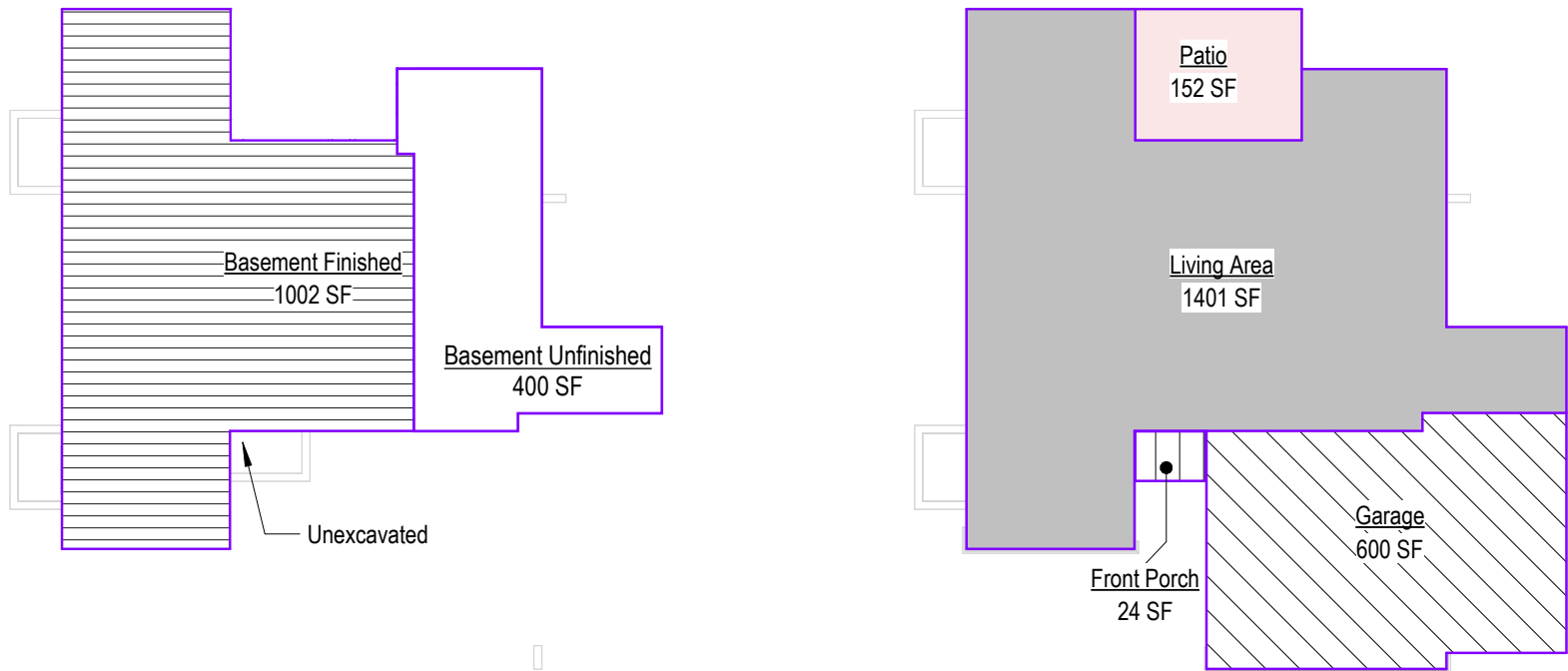
ADDRESS : 2225 SW Heartland Ct., Lees Summit, MO
LOT : HF 212

Sheet List	
Sheet No	Sheet Name
00	Cover Sheet
A101	Front Elevations
A102	Front Elevations
A301	Side Elevations - Full Basement
A302	Side Elevations - Daylight Basement
A303	Side Elevations - Walkout Basement
A401	Side Elevations - Full Basement
A402	Side Elevations - Daylight Basement
A501	Floor Plan - Main Level
A502	Floor Plan - Main Level
A503	Floor Plan - Main Level
A601	Roof Plan
A602	Roof Plan
A701	POD Options
A702	POD Options
A703	POD Options
A704	POD Options
A705	Floor Plan - Basement
A706	Front Elevations
A707	Floor Plan - Basement
A708	Side Elevations - Full Basement
A709	Roof Plan
A710	Floor Plan - Basement
A711	Side Elevations - Full Basement
A712	Roof Plan
A714	POD Options
A715	Front Elevations
A716	Cover Sheet
A801	Details
A802	Details
A803	Details
E101	RCP/Electrical Plan
E102	RCP/Electrical Plan - Structural Option
M101	Floor Plan - Structural POD Options 24" Extension HVAC
M102	Floor Plan - Structural POD Options 24" Extension HVAC
P101	RCP/Electrical Plan



① Basement Area - W/ Extended pantry
1/16" = 1'-0"

⑤ Main Level Area - W/ Extended pantry
1/16" = 1'-0"



Area - W/ Extended pantry	
Name	Area
Basement Finished	1002 SF
Living Area	1401 SF
	2403 SF
Basement Unfinished	400 SF
Deck	152 SF
Front Porch	24 SF
Garage	600 SF
Patio	152 SF
	1175 SF

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General Information

2018 Interior Energy Cons. Code (Table N1102.1.2)	
Doors & Windows:	U-0.32 MAX
Glazing SHGF:	0.40
Skylights:	U-0.55 MAX
Roof	
Attic Ceilings:	R-49 MIN
Vaults:	R-38 MIN
Vaults < 500sf:	R-30 MIN
Wood Frame Walls:	R-20 or R-13 + 5 MIN
Basement Walls:	R-13 or R-10 Continuous
Floor (over unconditioned):	R-19 MIN
Slab on Grade:	R-10 for 24" MIN
Ductwork:	R-8 MIN
Fuel Fired Furnace:	90% AFUE MIN
Electric Furnace:	No Minimum
Cooling System:	13 SEER MIN
Water Heater	
Gas Fired Storage:	0.67 EF MIN
Gas Fired Instant:	0.62 EF MIN
Electric Storage:	0.97 EF MIN
Electric Instant:	0.93 EF MIN

An energy efficient certificate is required to be posted in or on the electrical panel before the final inspection. The certificate will be provided with all new residential permits. It is the permit holder/contractor's responsibility to ensure the certificate has accurate information and is posted before final inspection - Owner/Contractor is responsible for meeting the prescriptive requirements of IRC chapter 11 unless a HER Index Analysis for Performance Compliance based on the plans is submitted to the AHJ for approval.

IRC 2018	
Ground Snow Load:	20PSF
Wind Speed:	115mph
Topography Effects:	No
Seismic Design Category:	A
Damage From Weather:	Severe
Frost Line Depth:	36 inches
Termite:	Moderate to Heavy
Winter Design Temperature:	6 F
Ice Barrier Underlayment:	Yes
Flood Hazard:	
Air Freezing Index:	927 or less
Mean Annual Temperature:	55.5 F

- Whole House Mechanical Ventilation System is required for any dwelling with air infiltration at a rate of less than 5 air changes per hour (at ACH50 standard R303.4).
- Carbon monoxide detectors required (R315)
- Steel columns shall be minimum schedule 40 (R507.2)
- Deck Ledger attachment to house shall be per Tables 507.9.1.3.
- New provisions for attachment of rafters, trusses and roof beams. (R802.3 and R802.11)
- Programmable thermostat required (N1103.1.1)
- Air handlers shall be rated for Maximum 2% air leakage rate (N1103.2.2.1)
- Building cavities used as return air plenums shall be sealed to prevent leakage across the thermal envelope. (N1103.2.3)
- Certain hot water pipes shall be insulated (N1103.4)
- All exhaust fans shall terminate to the building exterior (M1507.2)
- Makeup air system required for kitchen exhaust hoods that exceed 400 CFM M1503.4
- Building cavities in a thermal envelope wall (including the wall between the house and garage) shall not be used as return air plenums (unless the required insulation and air barrier are maintained) (M1601.1.1.#7.5)
- An air handling system shall not serve both the living space and the garage (M1601.6)
- A concrete-Encased grounding electrode ("UFER Ground") connection complies with the requirements of the 2018 IRC Section E3608.1.2 in providing a connection with no less than the required minimum of steel.
- Compliance with the requirements and show connection as needed for roof beam, trus, rafter, and girder connections for uplift per IRC 802.11
- Garage Door Rating: DASMA 115 MPH Rated

2018 IRC BUILDING CODE COMPLIANCE
THESE DRAWINGS HAVE BEEN PREPARED WITH RESPECT TO COMPLIANCE OF THE 2018 IRC AND NEC 2017 ANY REFERENCES FOUND NOT CORRECTLY IDENTIFIED TO THESE CODES SHALL BE BROUGHT TO THE ATTENTION OF SSIONAL THE DESIGN PROFESSIONAL



Greystone - Masterplan



SEPTEMBER 10, 2025

Original Issue Date:	Permit Set
REVISIONS	10/1/2021
Number	Description
	Date

Permit Set

PLAN DESCRIPTION: Cover Sheet

00

Project No.

PROJECT

DATE ISSUED

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A101.3



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B301.3

Structural Foundation Schedule					
Type	Width	Length	Depth	Reinforcing	Comments
Footling					
F1	3' - 0"	3' - 0"	1' - 0"	Reinf w/ (6) #4's, rebar count is each way, equal centers	
F2	4' - 0"	4' - 0"	1' - 4"	Reinf w/ (8) #4's, rebar count is each way, equal centers. (8) #4's, vertical rebar count in ped column. Hold ped down 12" Min below gar. door block-down and/or bottom of slab.	GARAGE PEDISTAL
Foundation - Round					
F3	1' - 4"	1' - 4"	3' - 0"	ABA662 Post Base. Refer to Detail for Reinforcing.	
Wall Foundation					
FTG-1	1' - 4"	<varies>	0' - 8"	Reinf w/ (2) #4 bot. eq. spaced. Dowel into wall w/ (1) #4 turned up @ 12" o.c.	<varies>
Foundation Wall Schedule					
Type	Width			Reinforcing	Comments
C8	0' - 8"			Reinf. w/ #4 vert. @ 12" oc / (3) #4 hor. equally spaced.	<varies>

Foundation Notes

FOOTINGS/FOUNDATION & CONCRETE NOTES:

1. TO ADDRESS DIFFERENTIAL SETTLEMENT ALL INTERIOR BEARING AND EXTERIOR FOOTINGS & PADS TO BE EXCAVATED & PLACED MIN. 18" INCHES INTO UNDISTURBED NATURAL SOIL.
2. EXT. FOOTING TO BE PLACED MIN. 24" INCHES BELOW FIN. GRADE
3. ALL CONCRETE SHALL BE 3000 PSI COMP. STRENGTH TO ACHIEVE THE FOLLOWING BASED UPON:
 - A. 3.000 PSI FOR FOOTINGS, FOUND. WALLS & VERT. SUPPORTS
 - B. 3.000 PSI FOR GARAGE FLOORS
4. CONC. EXPOSED TO WEATHER TO HAVE WEAK+ (H+), AN ENTRAINMENT
5. ALL CONCRETE CONC. SLAB SHALL BE 4" MIN. THICK. REINFORCING OVER PERESTRAS AS INDICATED W/ #7 FT @ 8" O.C. REINFORCE OVER 1/2 MIN. VAPOR BARRIER.
6. REDUCE EXTERIOR FOOTINGS W/ 8" & 24" E.W.C. IN PLACE OVER 2" MIN. CAPOT. BAND
7. PROVIDE 2" X 4" @ 16" 45 DEGREES OR 2 REINTEGRANT CORNERS
8. 12"X16" ASTM A36 ANCHOR BOLTS @ 4" OF CONC. EXT. WALLS
9. 12"X16" ASTM A36 ANCHOR BOLTS @ 4" OF CONC. EXT. WALLS
10. 12"X16" WEDGE BOLTS @ 72" MIN. 45 DEGREES ANCHORING WALLS W/ 12" X 4 1/2" HLT WEDGE BOLTS @ 72" MIN. 45" 12" FROM ENDS
11. PROVIDE 24" LAPS MIN. INCLUDING CORNERS
12. ALL TIE-INS TO BE 18" MIN. LONGER THAN REQUIRED ON PLAN
13. PROVIDE BITUMINOUS DAMP-PROOFING AT FOUNDATION WALLS REQUIRE 200 P.S.F. IN THE CURRENT FOUNDATION DESIGN. ALL COMPACTED FILL AREAS REQUIRE A SPECIAL INQUIRY.
14. SOIL BEARING CAPACITY IS ASSUMED AS MINIMUM 1500 PSF

STEEL COLUMNS & OTHER BASEMENT/FOUNDATION NOTES

1. ALL STEEL PIPE COLUMNS TO BE 3" (OR 1 1/2" SCHEDULE) 40 GRADE
2. INTER. BEARING WALLS & COLUMNS SHALL BE ISOLATED FROM THE BASEMENT FLOOR SLAB
3. INTER. NON-BEARING WALLS OTHER THAN THOSE RESTING DIRECTLY ON THE FOUNDATION SHALL BE ISOLATED FROM FLOOR SLABING
4. AT WALKOUT FOUNDATION AREAS, REINFORCE SLAB FROM THE FOUNDATION WALL TO 2 FEET BEYOND THE OVERHANG AREA W/ #4 BARS AT 24" INCHES O.C.
5. AT WALKOUT AND PERCH FOUNDATION AREAS, REINFORCE SLAB WITH #4 BARS AT 24" INCHES O.C.
6. AT WALKOUTS THE FOUNDATION WALL SHALL BE REINFORCED AT MINIMUM 8" W/ #4 BARS AT 24" INCHES O.C. MIN. OF CONC. TO BE 3000 PSI COMP. STRENGTH TO ACHIEVE THE FOLLOWING:
7. WHERE FLOOR JOISTS ARE PARALLEL TO THE FOUNDATION WALL, THE WALL SHALL BE 8" MIN. THICK AT ALL POINTS. AT ALL OTHER LOCATIONS FOR MINIMUM OF TWO JOIST SPACES, SPACED NOT MORE THAN 4 FEET O.C.

Interior Partition Naming Convention

The diagram illustrates the naming convention for an interior partition. It shows a partition wall with a height of 8'-0" and a fire rating of G4.1a. The wall is labeled with 'G4.1a' and '8'-0"'. The 'G4.1a' is further broken down into 'G4' (Partition Material Type), '1' (Nominal Stud/Partition Thickness), and 'a' (Fire Rating or other modifier). The '8'-0"' is labeled as the Partition Height, which is omitted for walls spanning full height.

Partition Material Type

Nominal Stud/Partition Thickness

Fire Rating or other modifier

G4.1a

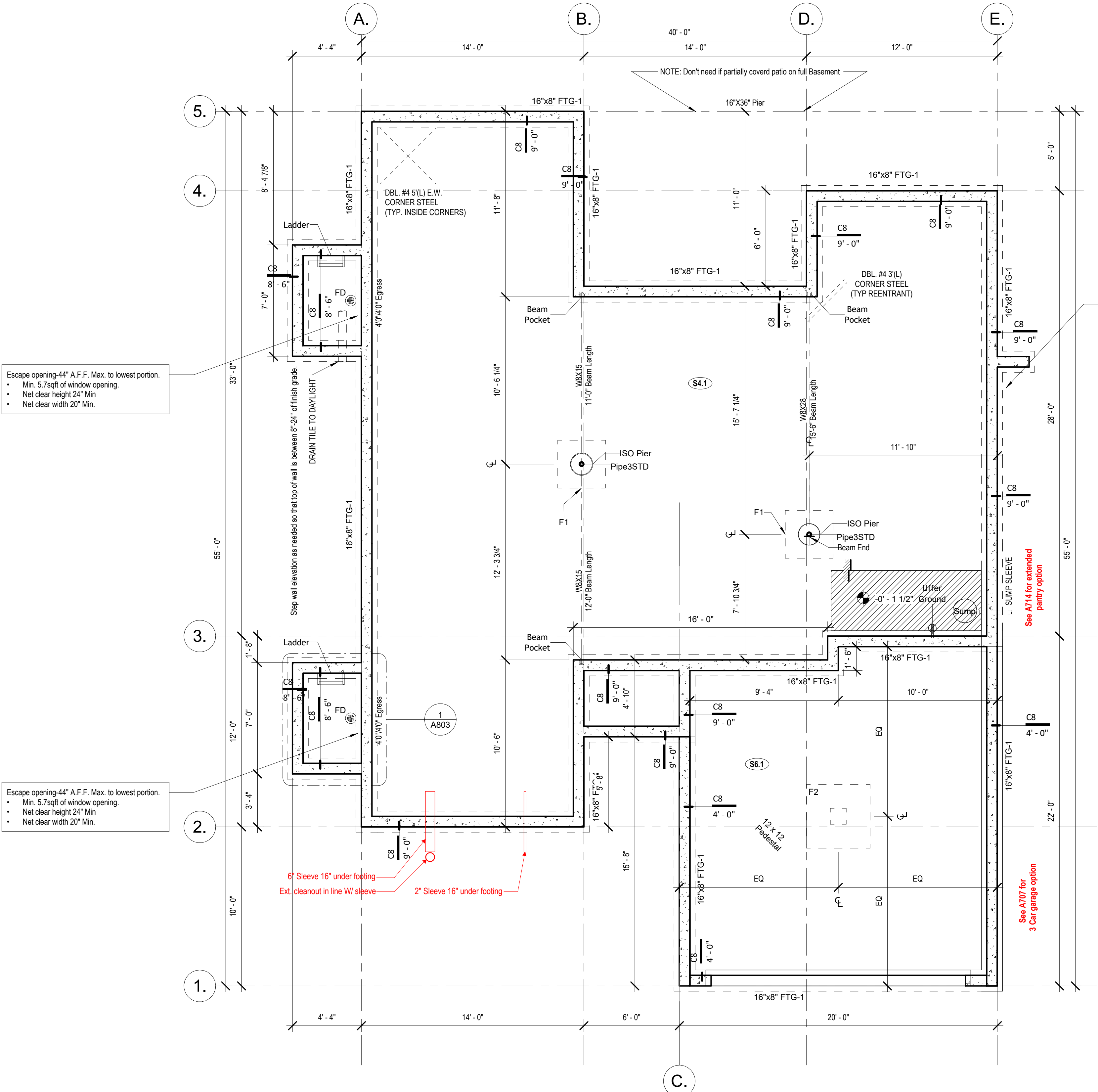
8'-0"

Partition Height. Omitted at walls spanning full height.

9'0" Basemenet

DEADMAN (TYP U.N.O.)
8" x 42" x 2'-0" LENGTH ON TYPICAL WALL
FOOTING-BEND/WRAP FULL HT WALL HOR.
REINFORCING INTO DEADMAN MIN. 24" & PLACE
(3) #5 VERT. @8" O.C. FULL HEIGHT
LOCATE WITHIN 4'-0" OF CENER OF WALL

Note:
Basement Walls Framed 1" Short
Below Beams and Joists.



① Foundation Plan - Full Basement (STD)
1/4" = 1'-0"

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architect:
Elevate Design + Build
1040 SW Luttrell Road
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EXCLUDED ITEMS.



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REVISIONS

[illegible]

PROJECT

DRAWING TITLE

Foundation Plan - Full Basement

DATE ISSUED

DRAWING NUMBER

A401.1

Trn\Greystone Masterplan\01-Working Files\Revit
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A circular professional seal for Aaron A. Brown, a Registered Architect in the State of Missouri. The seal features the text "STATE OF MISSOURI" at the top, "AARON A. BROWN" in the center, "NUMBER A-7215" below the name, and "REGISTERED ARCHITECT" at the bottom. A stylized outline of the state of Missouri is positioned behind the central text. The seal is stamped in black ink on a white background.

[illegible]

A501

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PHYSICAL SECURITY ORDINANCE
1. OWNER/BUILDER IS RESPONSIBLE FOR COMPLIANCE OF PHYSICAL SECURITY
ORDINANCE FOR THEIR LOCAL JURISDICTION

Diagram illustrating the components of a partition code:

- Partition Material Type
- Nominal Stud/Partition Thickness
- Fire Rating or other modifier
- G4.1a**
- 8'-0"**
- Partition Height. Omitted at walls spanning full height

Framer to provide the 3/4" plywood gussets for living room collar tie connections - one per every other rafter

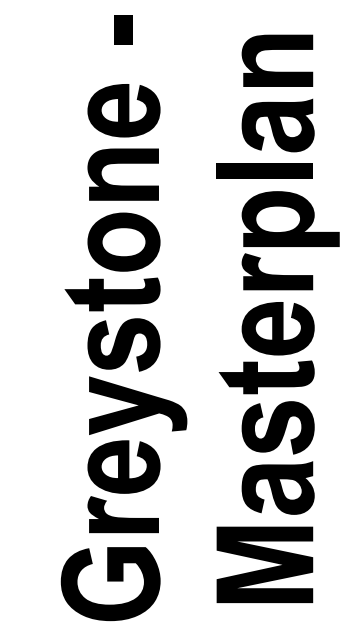
- Min. 5.7sqft of window opening.
- Net clear height 24" Min
- Net clear width 20" Min.

Ceiling Joist/Attic Loads
Ceiling joist allowable spans are based on IRC table R802.4(1) for unhabitable attics with no storage utilizing L.L. = 10 PSF and D.L. = 5 PSF

① Floor Plan - Living Space (STD)
1/4" = 1'-0"

3 Section 3
1/2" = 1'-0"

A



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A602.3

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architect:
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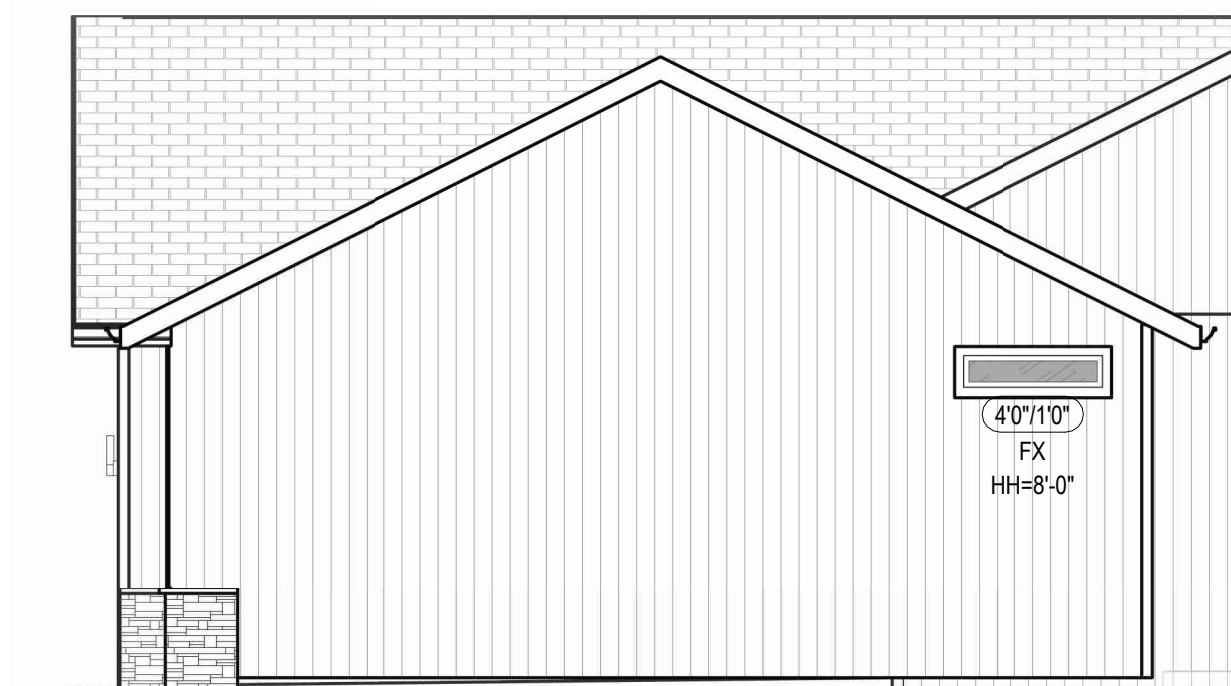
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Floor Plan - W/ 3 Car Garage - W
Extended Pantry

DATE ISSUED

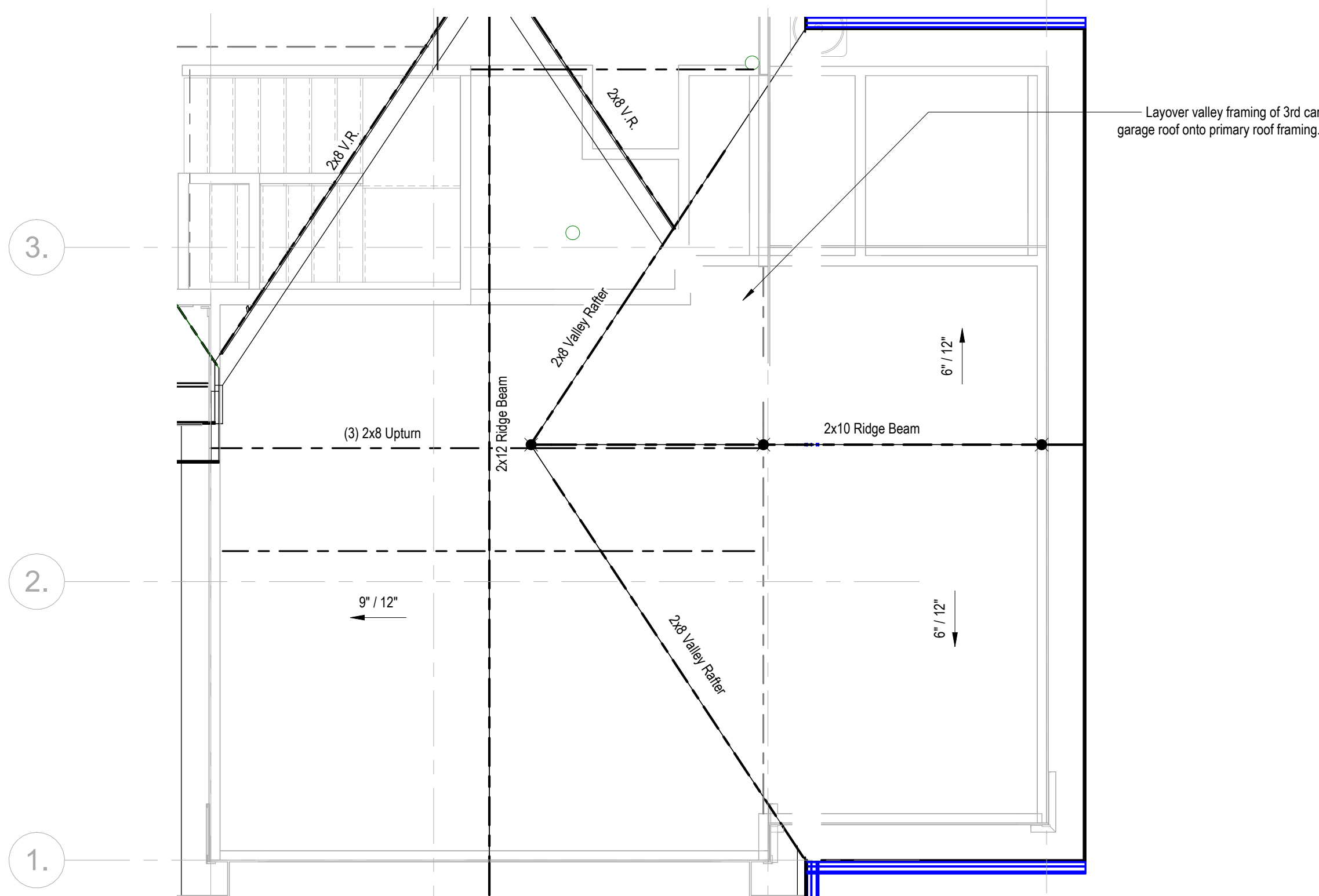
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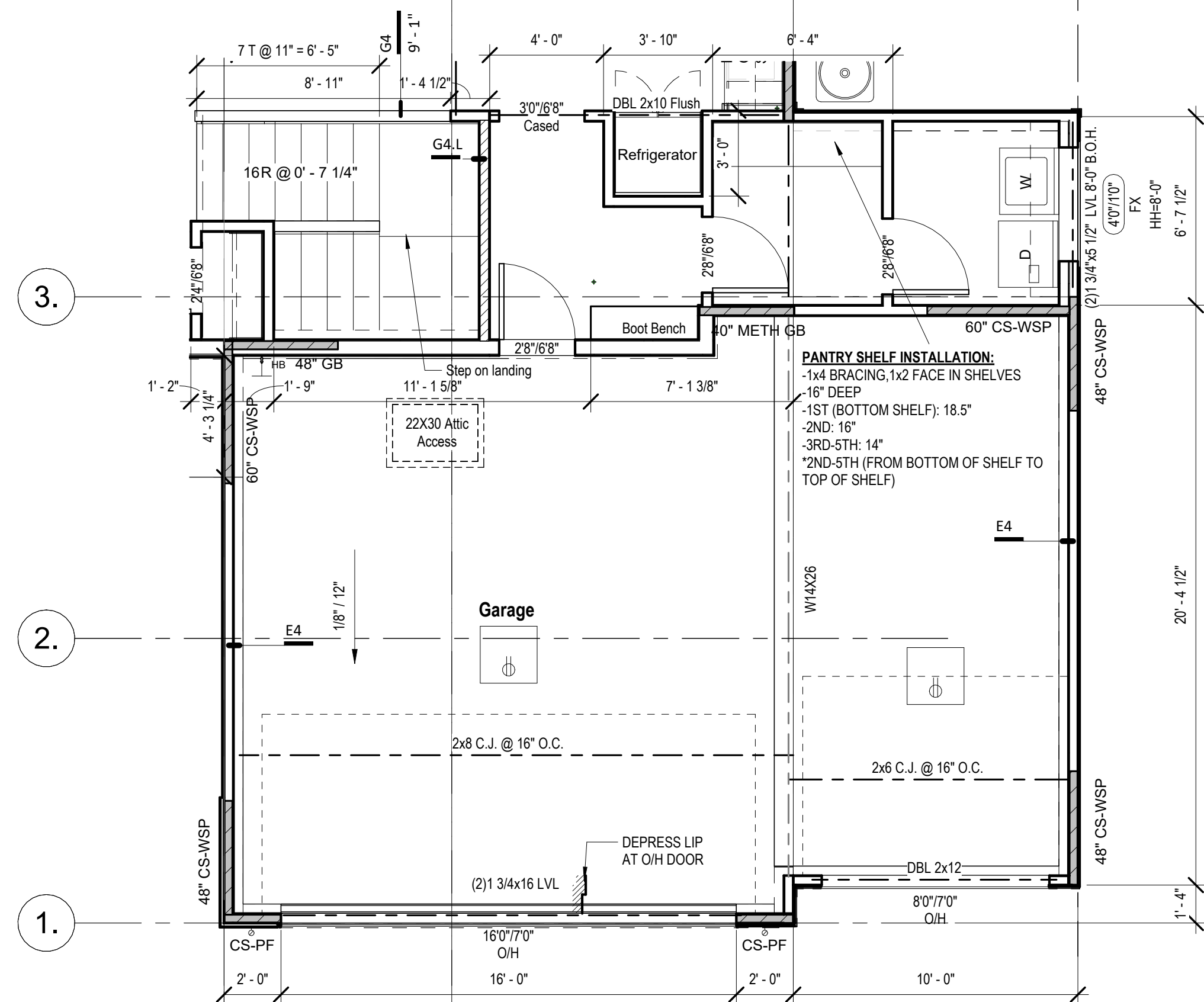
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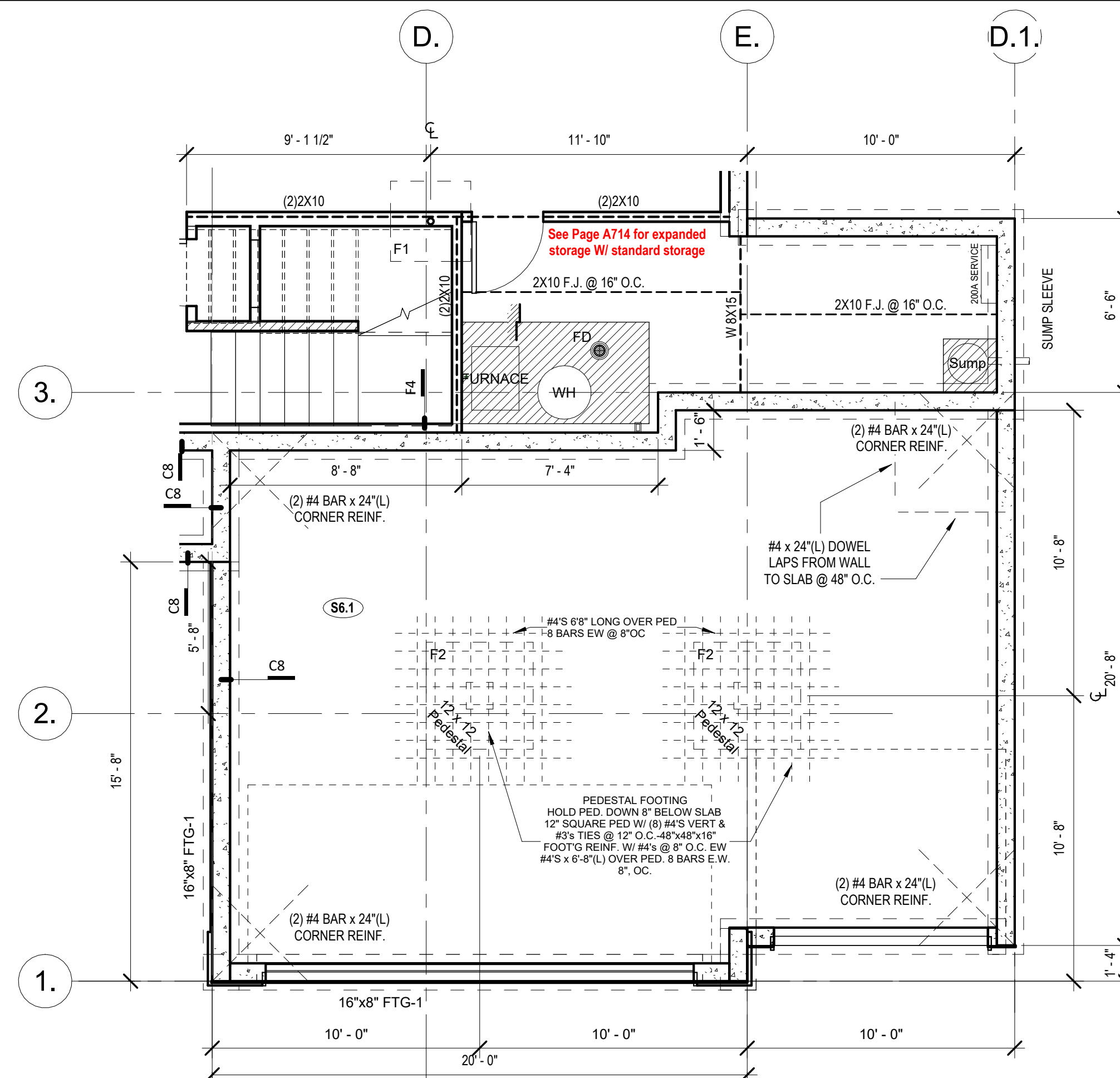
③ Right Elevation - Farmhouse - W/ 3 Car Garage & Extended Pantry
3/16" = 1'-0"



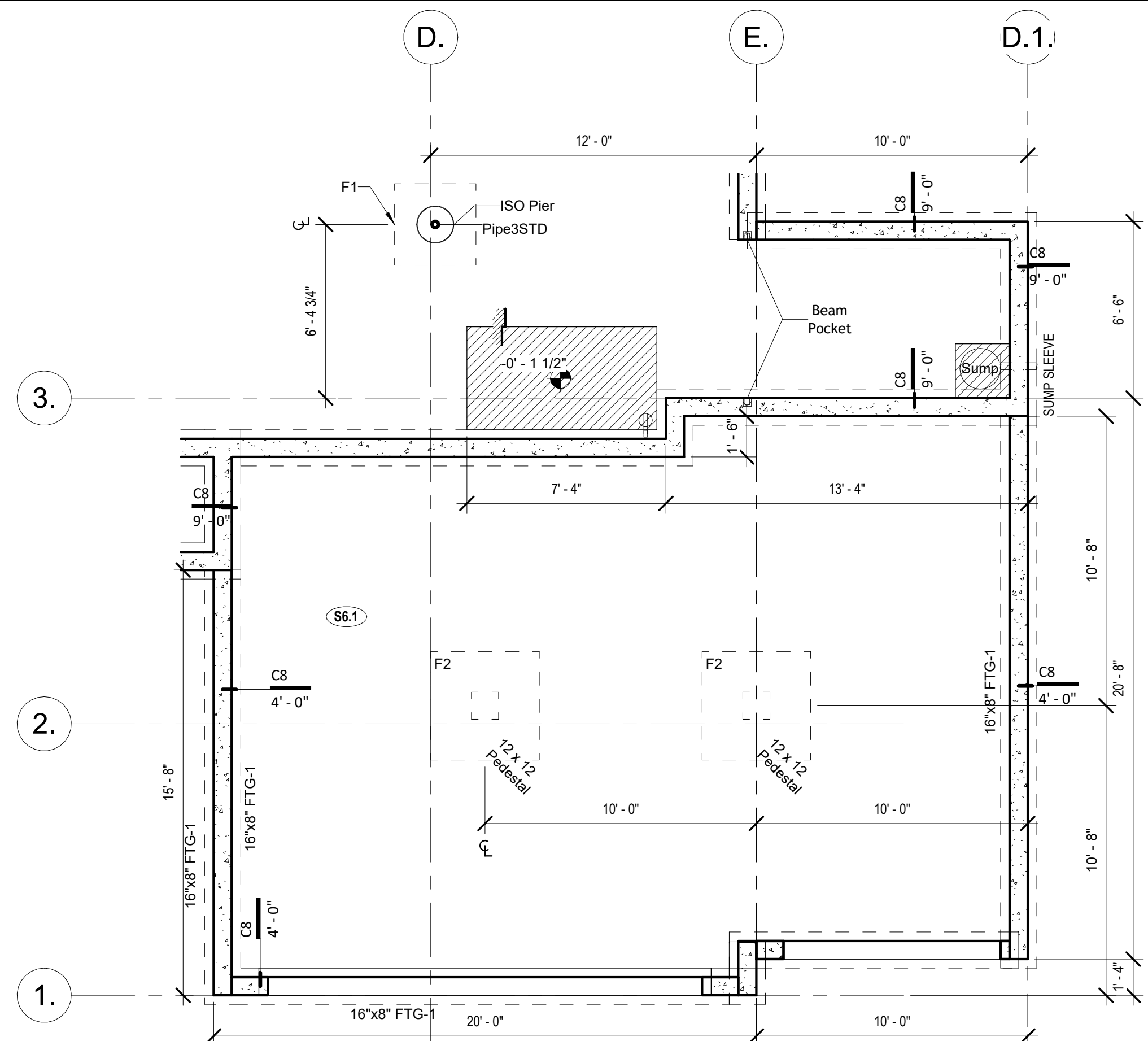
③ Roof Framing - Farmhouse - W/ 3 Car Garage - W/ Extended Pantry
1/4" = 1'-0"



3 Floor Plan - Main Floor - W/ 3 Car Garage - W/ Extended Pantry (STR001)
1/4" = 1'-0"



Basement Floor Plan - W/ 3 Car Garage - W/ Extended Pantry
(STR001)
② 1/4" = 1'-0"



① Foundation Plan - W/ 3 Car Garage - W/ Extended Pantry (STR001)
1/4" = 1'-0"



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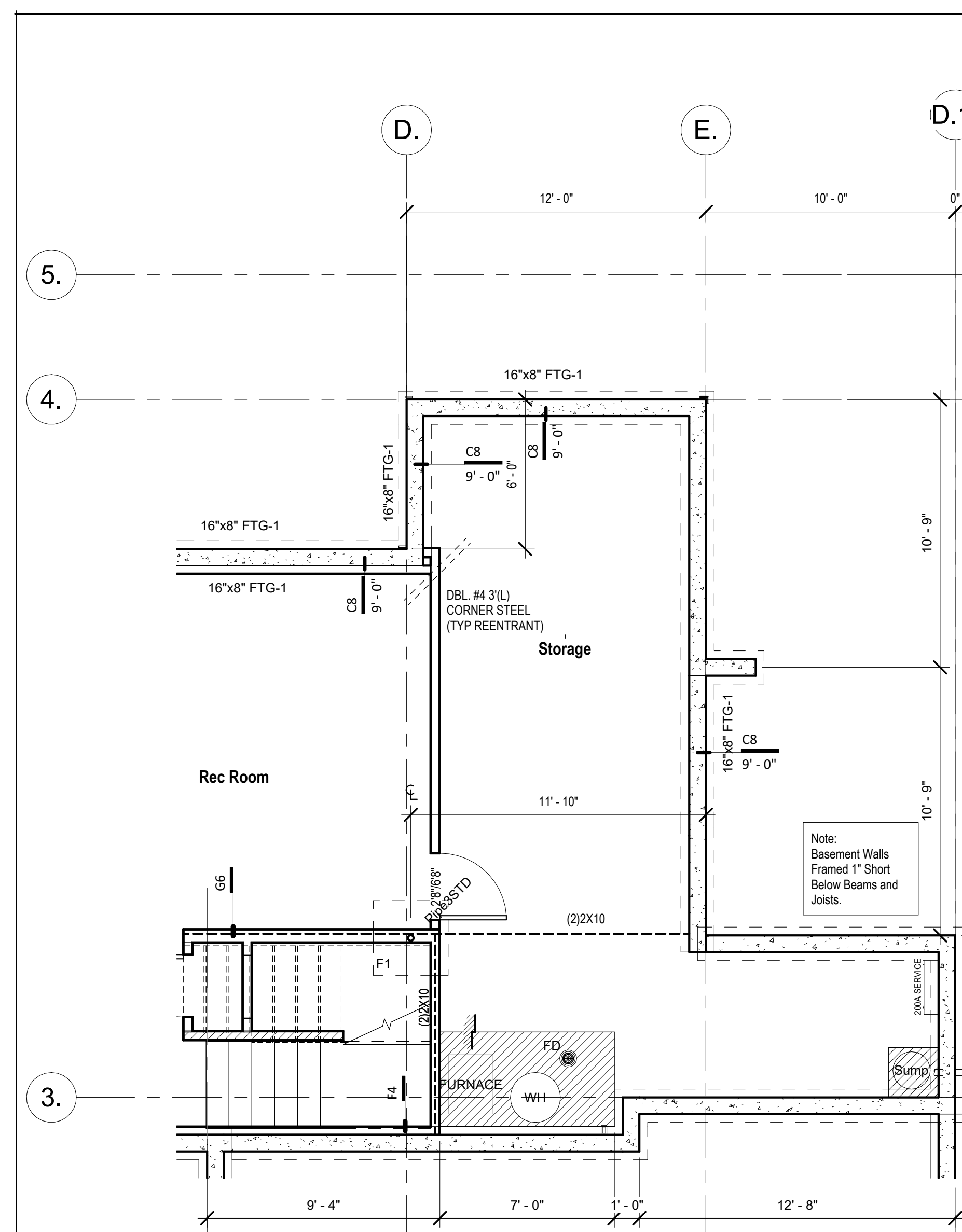
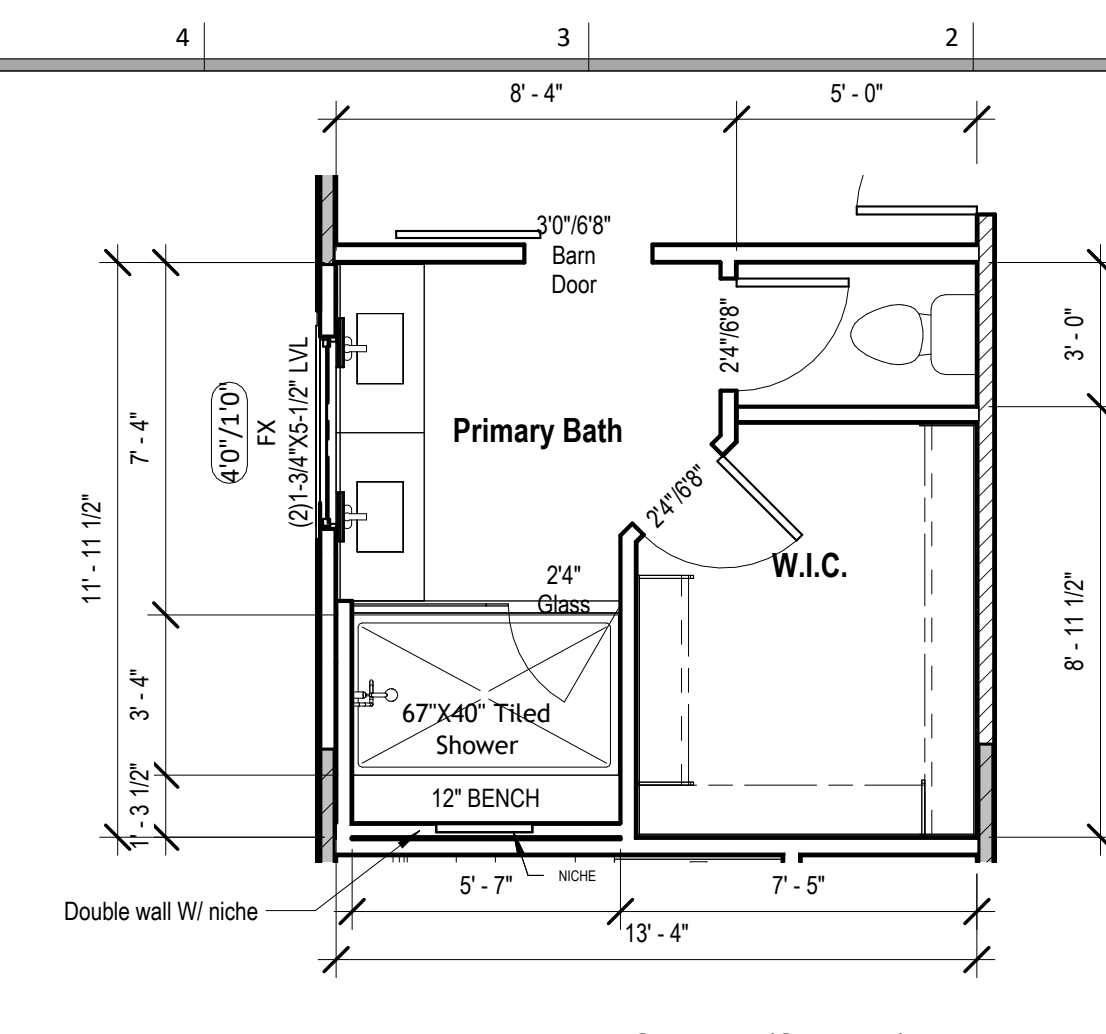
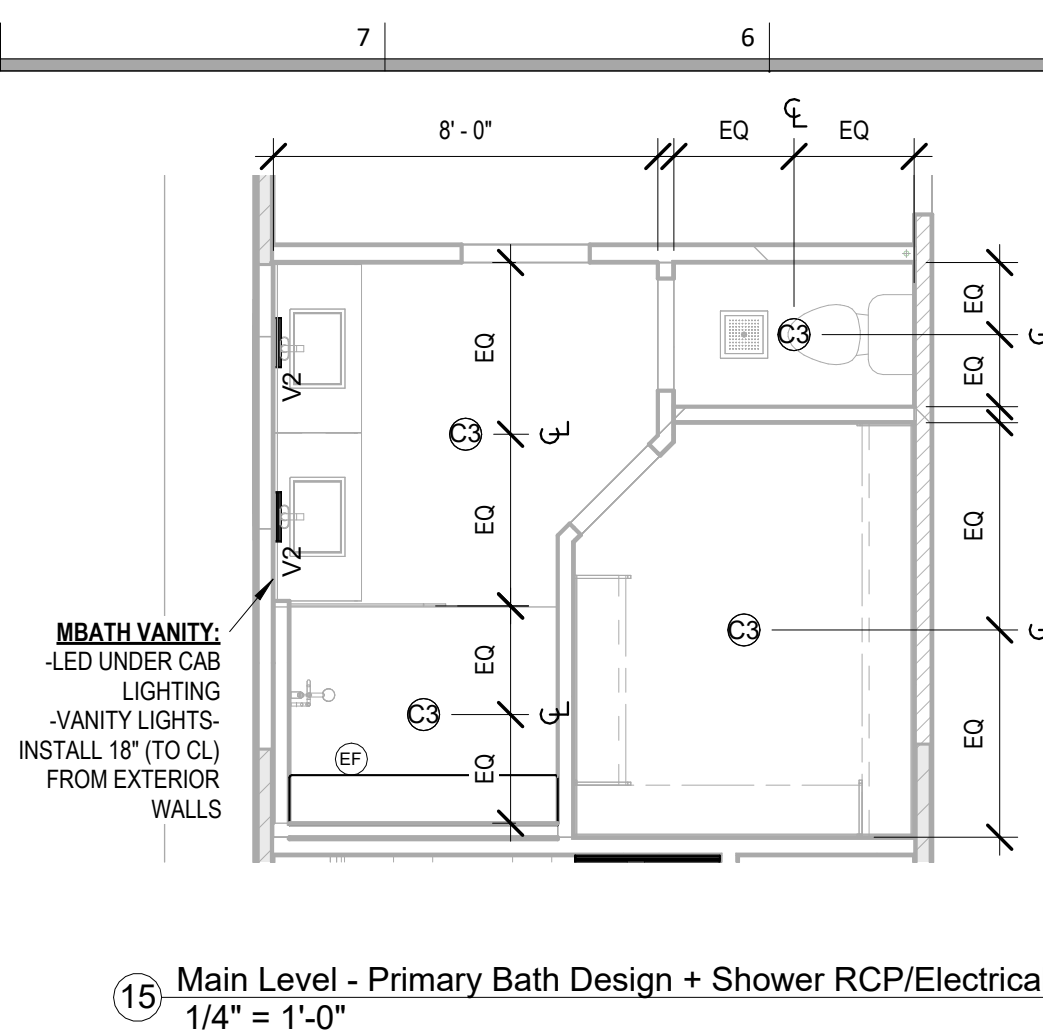
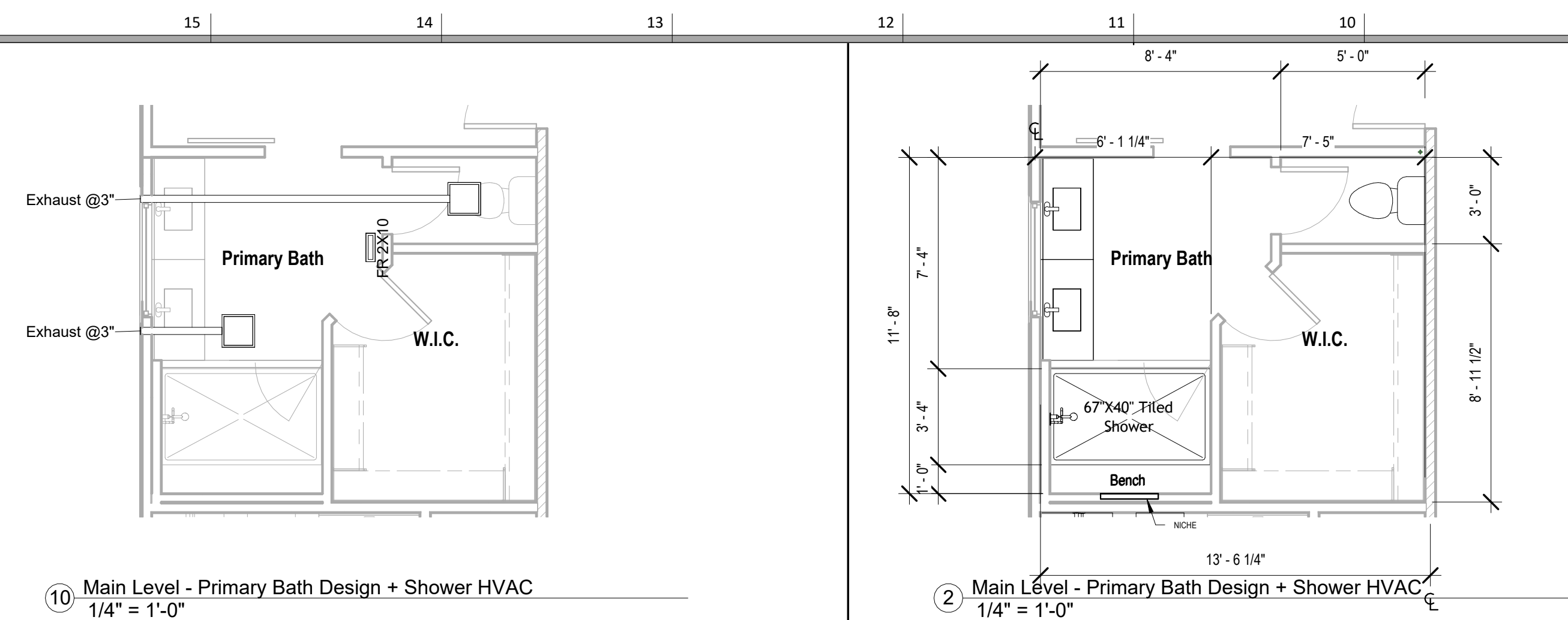
PROJECT

DRAWING TITLE
POD Options

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A714



Basement Floor Plan - Expanded Rec. Room, With ext. pantry -
Design (STR001)
③ $1/4" = 1'-0"$

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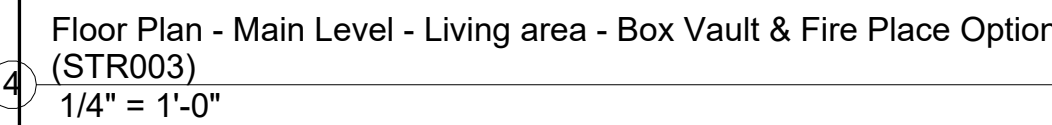
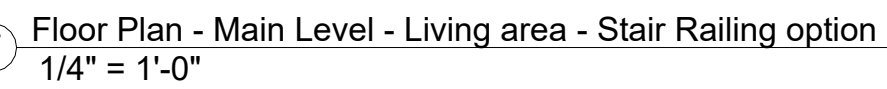
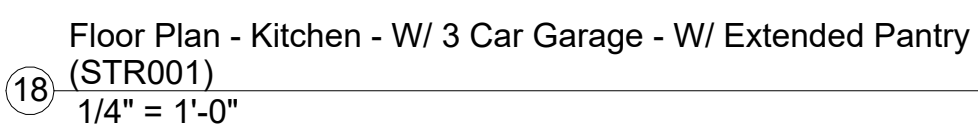
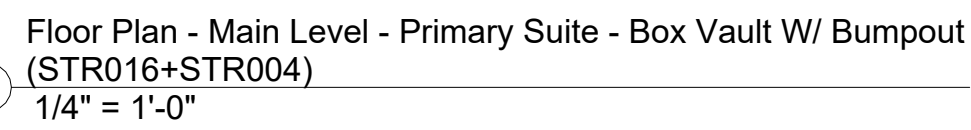
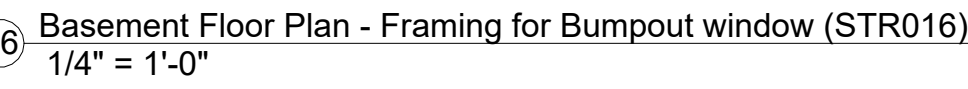
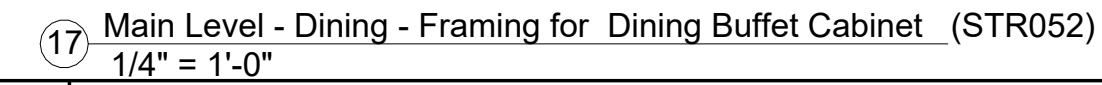
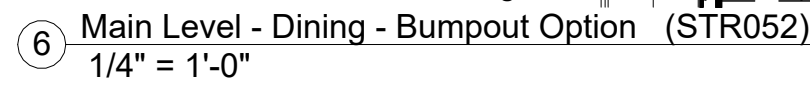
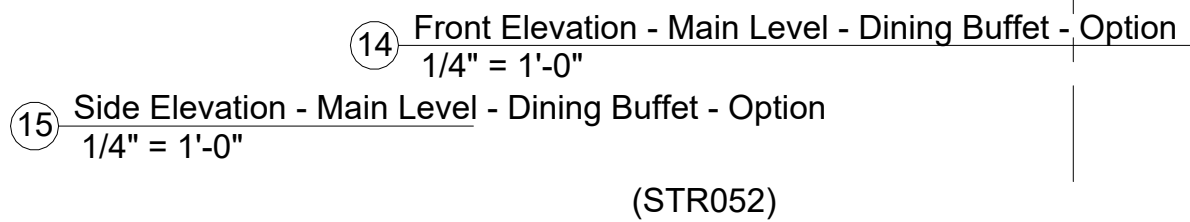


NO.	DESCRIPTION	DATE

PROJECT

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A715





NOTES:

1. PROVIDE MOISTURE RESISTANT GWB IN WET AREAS
2. EXTEND ALL FIRE RATED WALLS STRUCTURE TO STRUCTURE.
3. USE TYPE "X" GWB FOR ALL FIRE RATED PARTITIONS
4. REFER TO ELEVATIONS FOR LOCATIONS WHERE WALL IS NOT FULL HEIGHT. IN THESE CASES CAP THE TOP OF THE WALL WITH A LAYER OF 1/2" GYPSUM BOARD U.N.O.



G

NOTES:

1. REFER TO ELEVATIONS FOR LOCATIONS WHERE WALL IS NOT FULL HEIGHT. IN THESE CASES CAP THE TOP OF THE WALL WITH A LAYER OF 1/2" GYPSUM BOARD U.N.O.



F

NOTES:

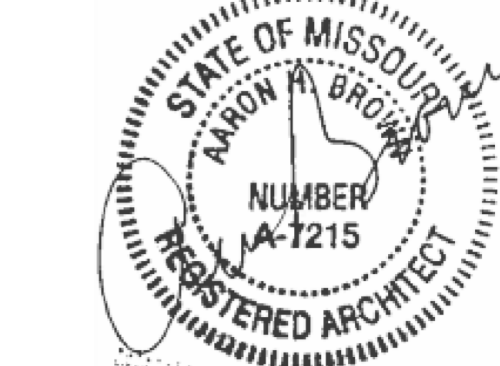
1. REFER TO ELEVATIONS FOR LOCATIONS WHERE WALL IS NOT FULL HEIGHT. IN THESE CASES CAP THE TOP OF THE WALL WITH A LAYER OF 1/2" GYPSUM BOARD U.N.O.



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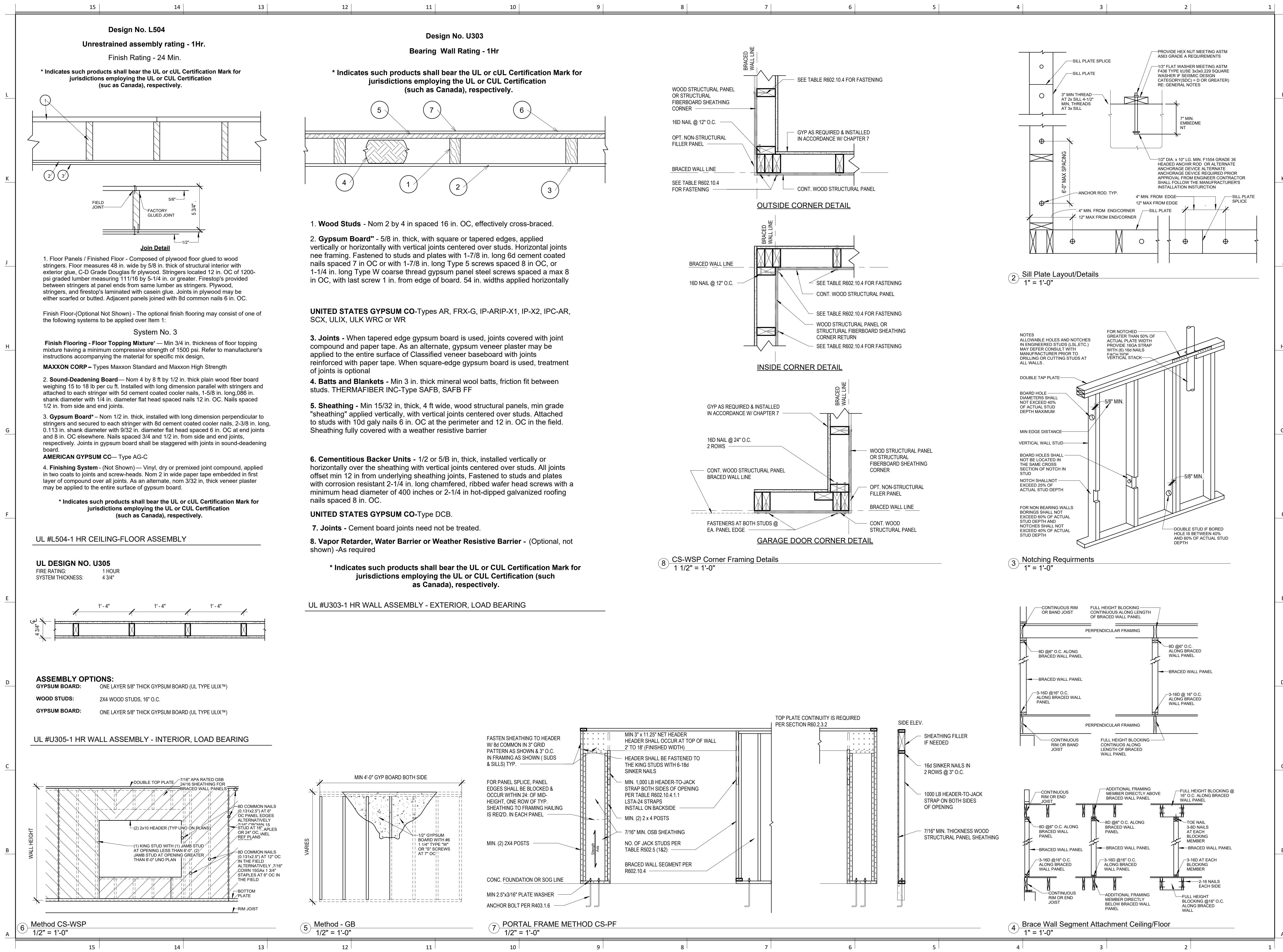
PROJECT
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ADDRESS: Lee's Summit, MO

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Details

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A11



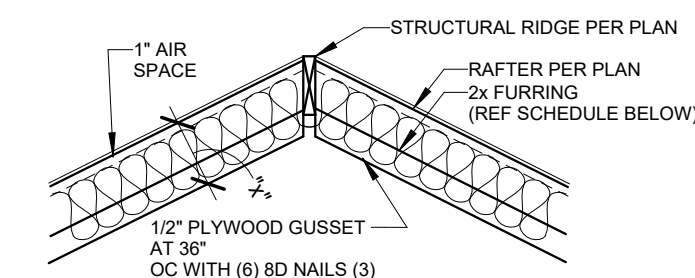
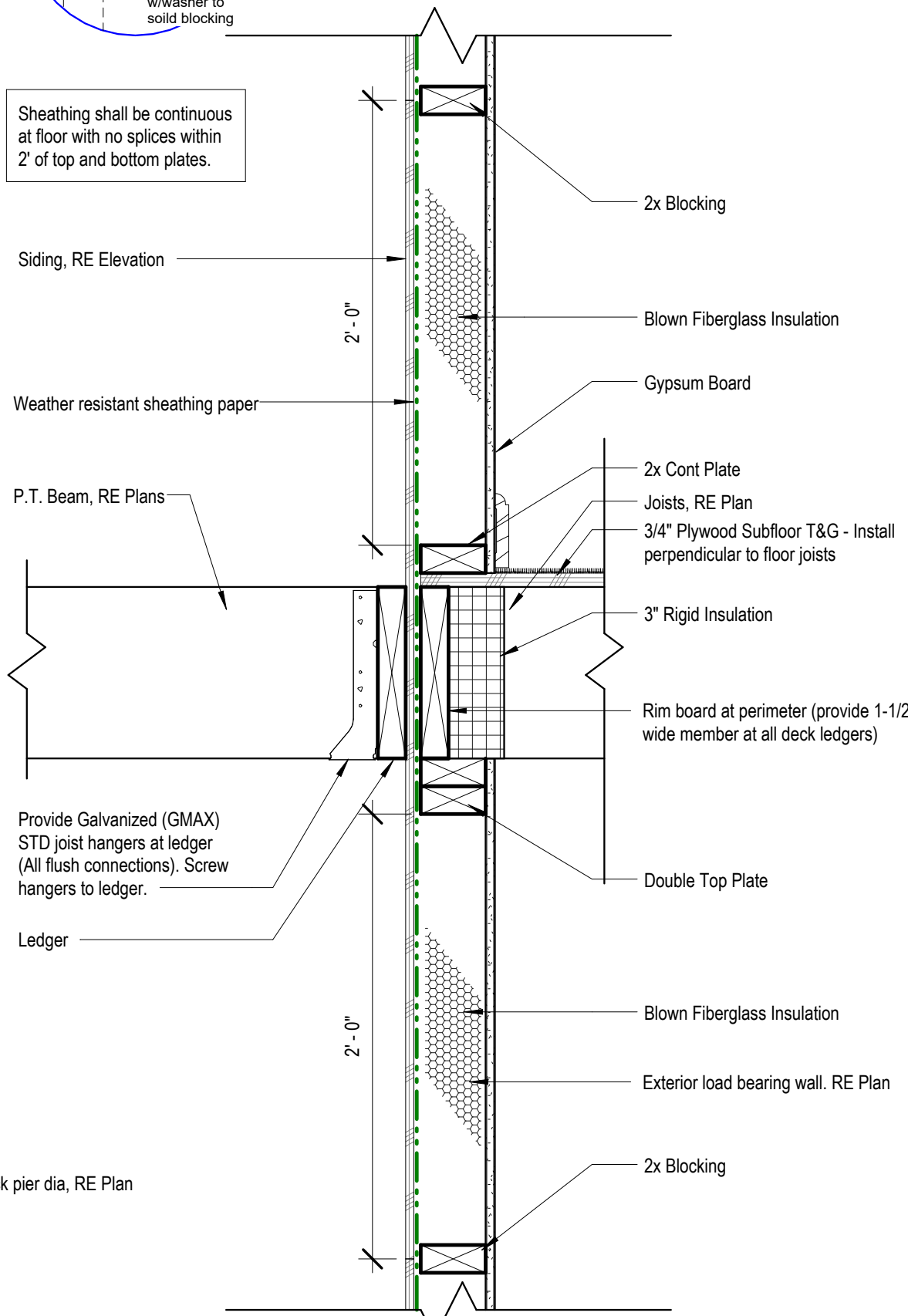
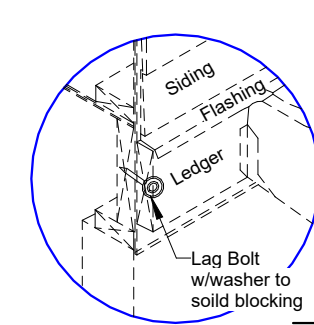
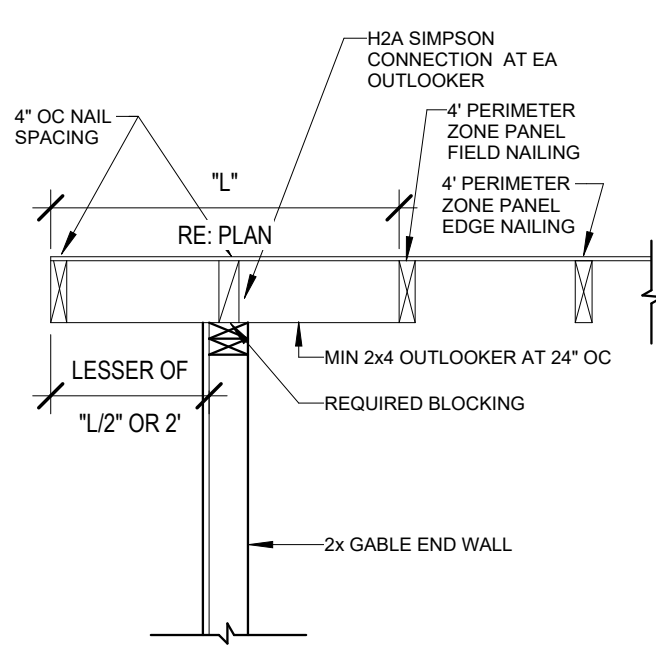
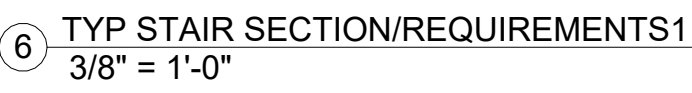
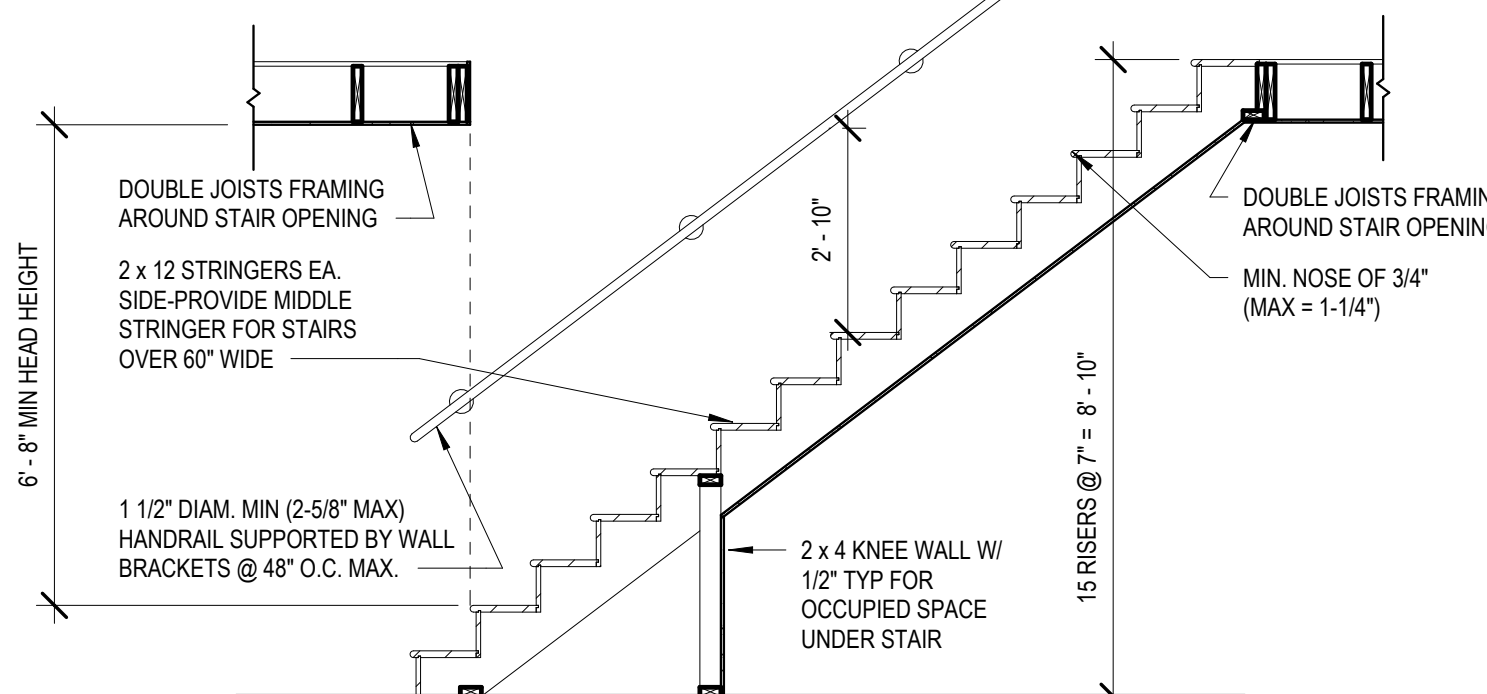
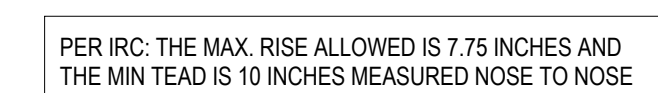
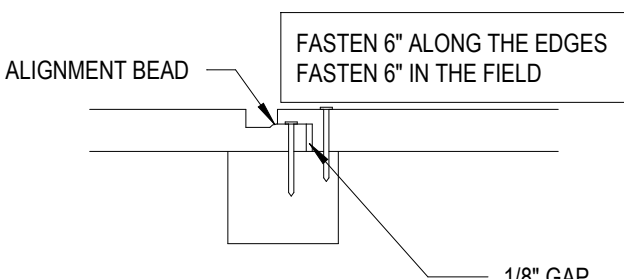
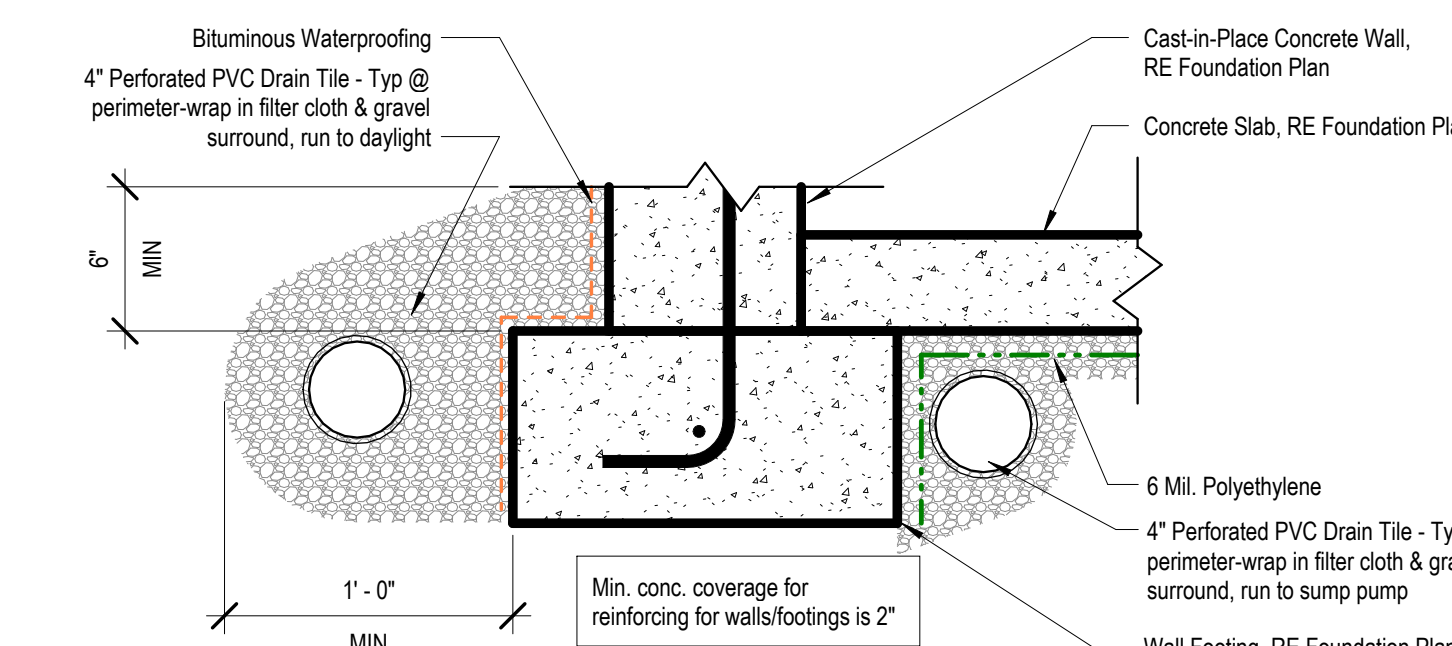
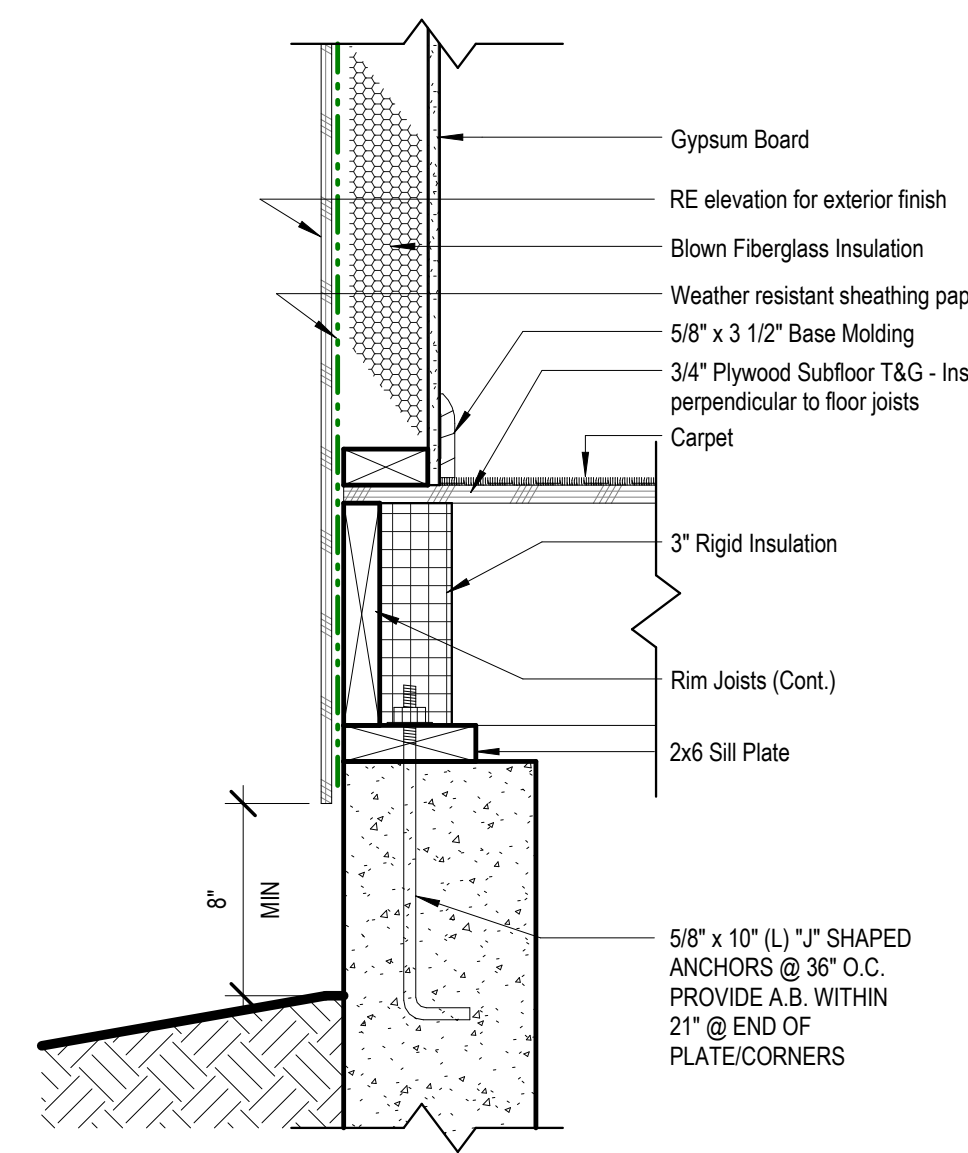
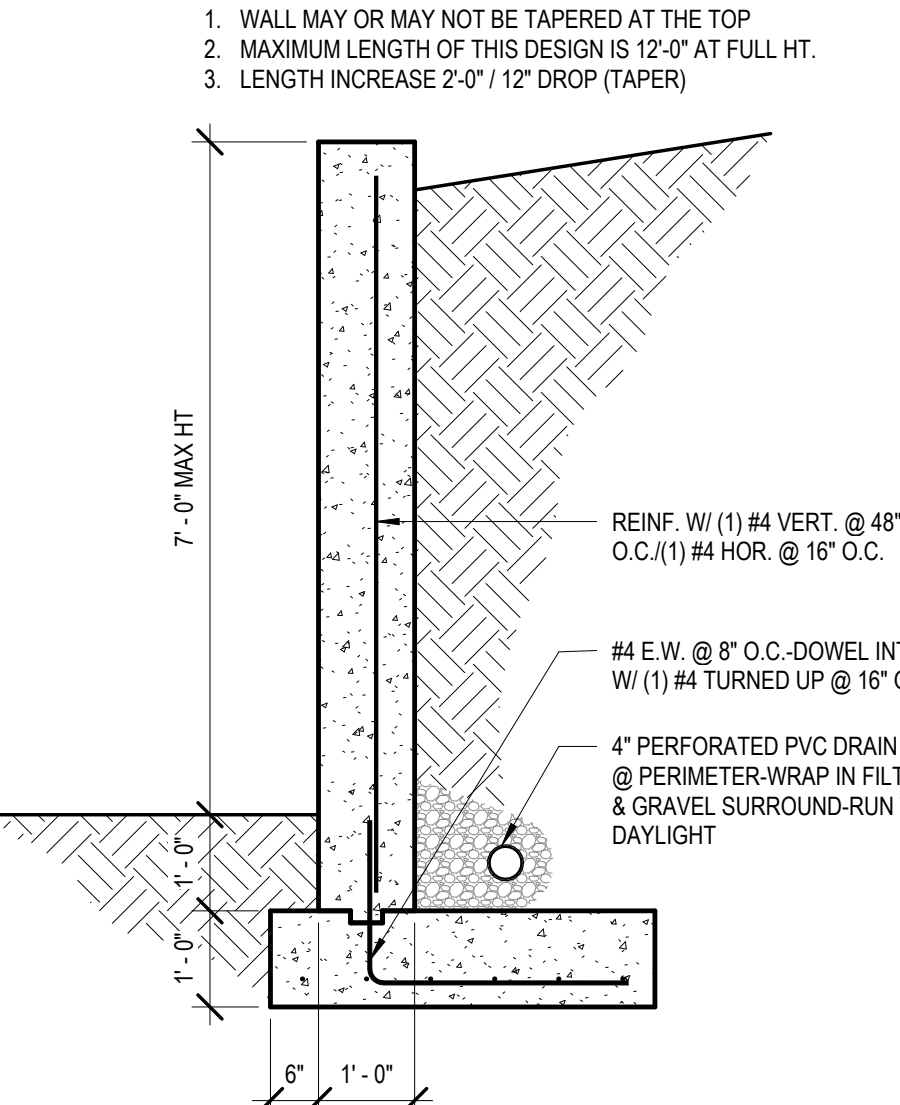
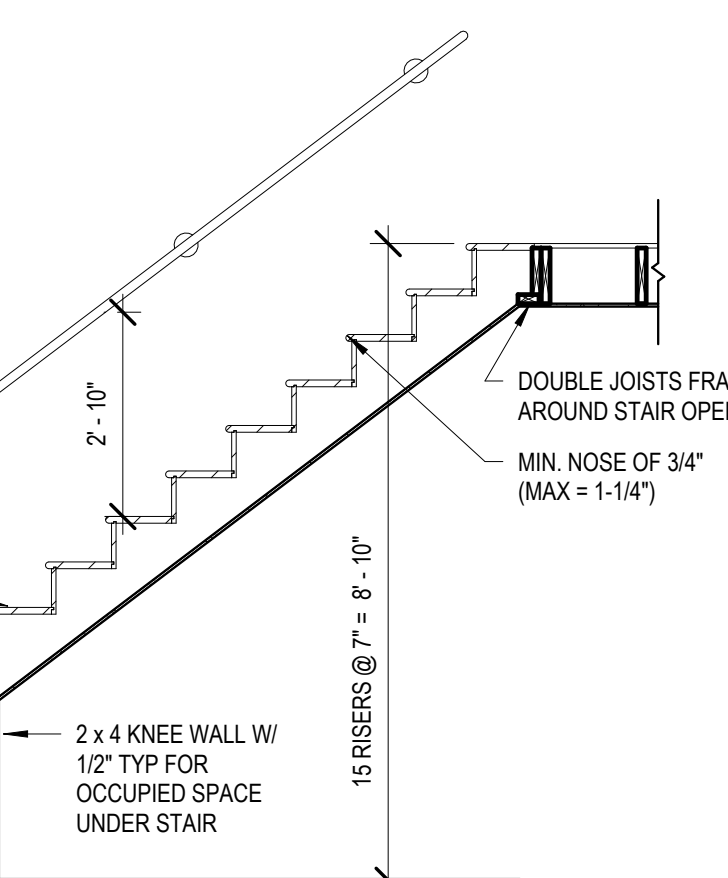


PROJECT
LOT: 143 Hook Farms
ADDRESS: Lee's Summit, MO

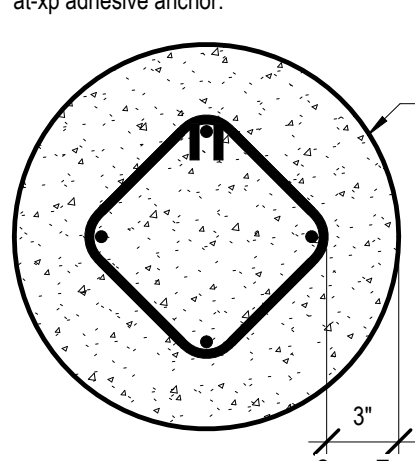
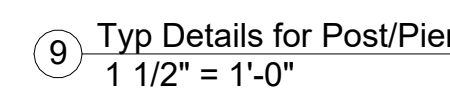
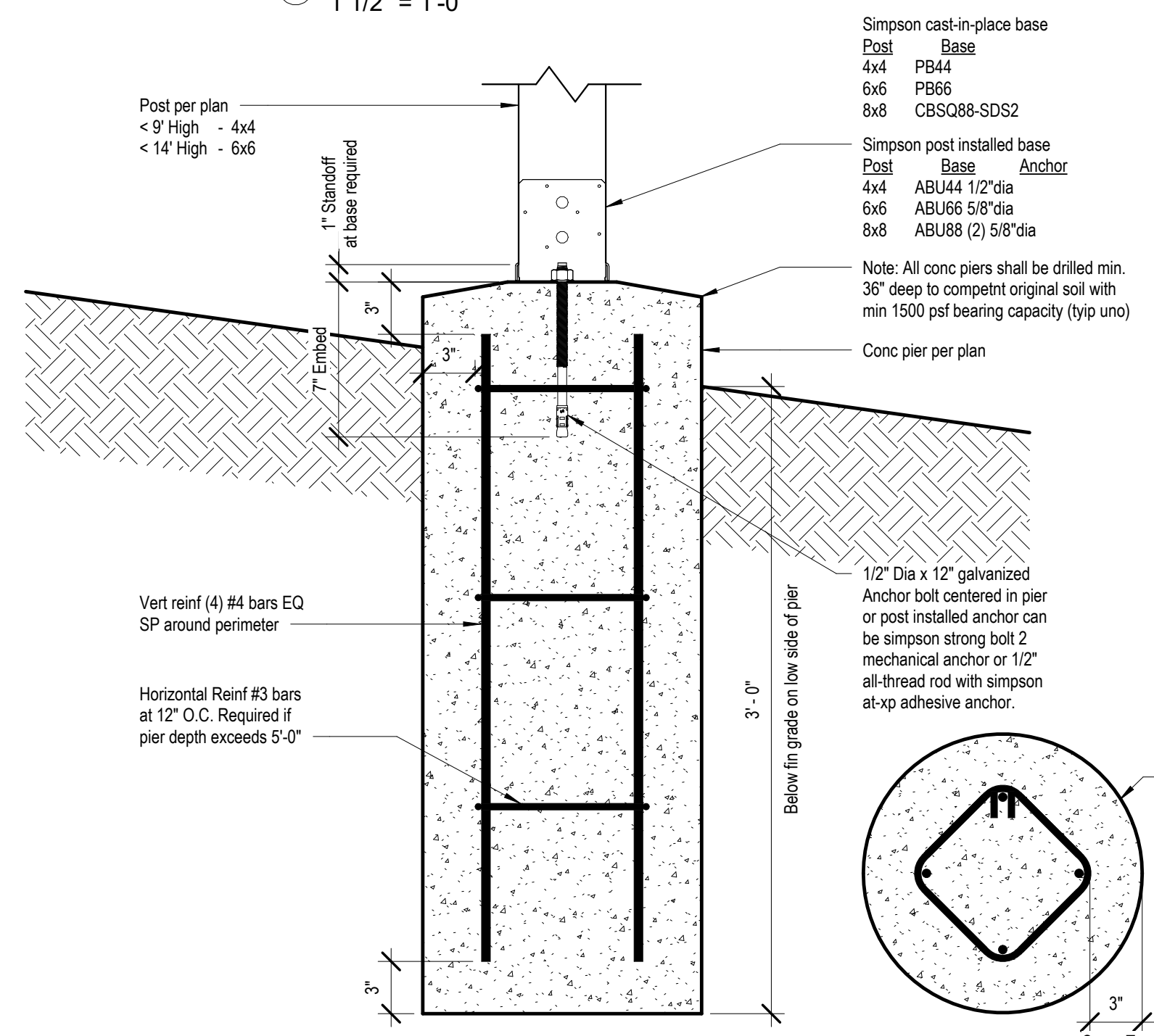
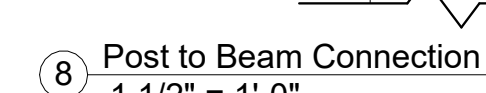
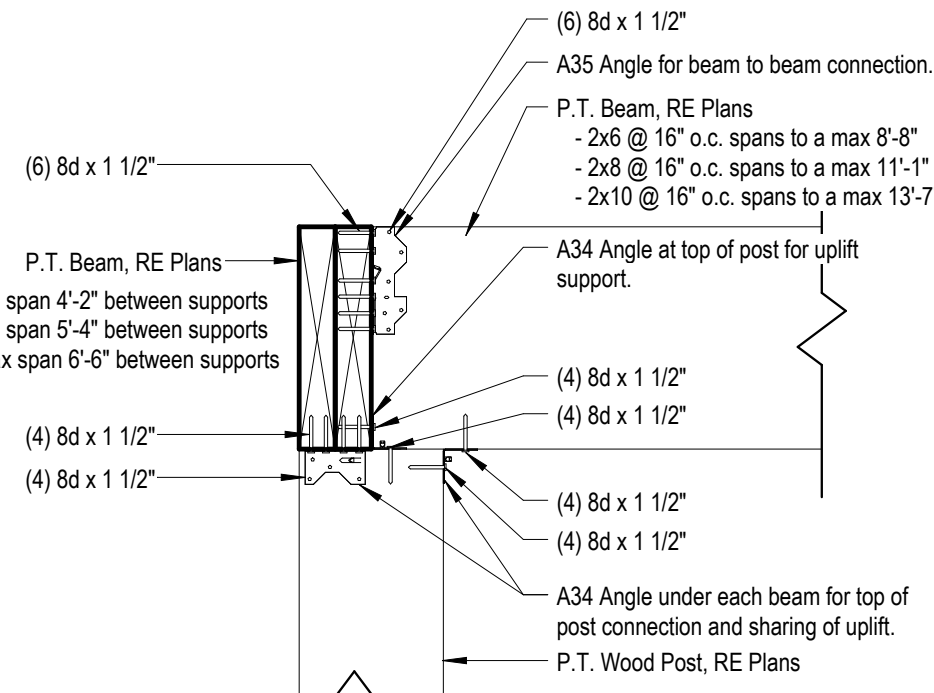
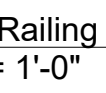
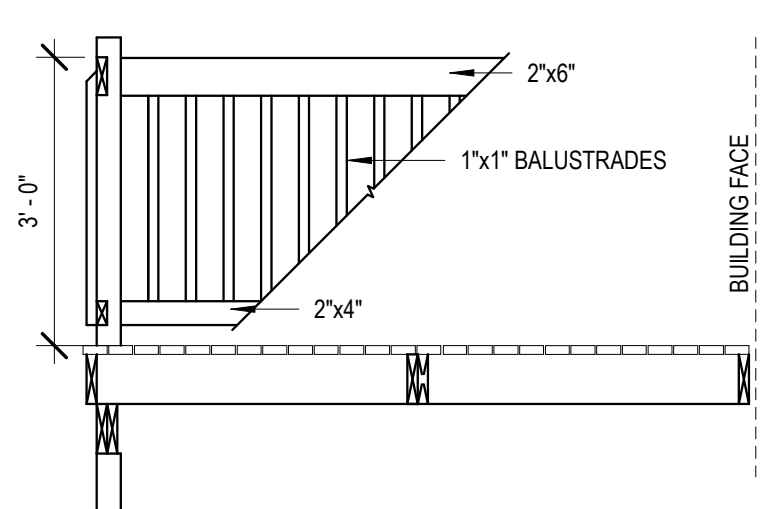
DATE ISSUED

A13

Greystone - Masterplan



FURR OUT SCHEDULE		
RAFTER SIZE	R-30C INSULATION ("x" = 9 1/4")	R-38C INSULATION ("x" = 11 1/4")
2x6	2x6	2x8
2x8	2x4	2x6
2x10	NOT REQUIRED	2x4
2x12	NOT REQUIRED	NOT REQUIRED





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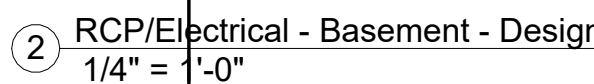


PROJECT
LOT: HOOK FARMS 34
ADDRESS: 2622 SW FARM FIELD
RD., LEES SUMMIT, MO 64082

DATE ISSUED

E101.1

RELEASE FOR CONSTRUCTION
AS NOTED ON PLANS REVISED
DEVELOPMENT SERVICE
LEE'S SUMMIT, MISSOURI
09/24/2025 9:52:00

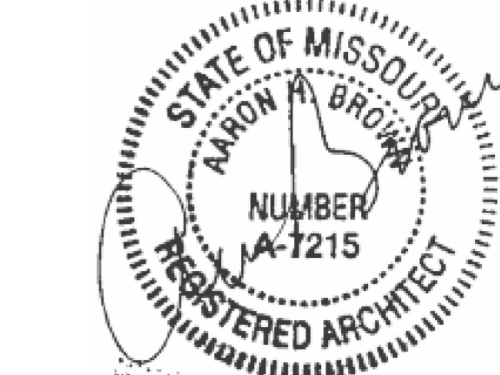


1 RCP/Electrical Plan - Main Level - Design
1/4" = 1'-0"

Greystone - Masterplan

architect:
Elevate Design + Build
1040 SW Luttrell Road
Blue Springs, MO 64015
816.622.8826 voice
www.elevatedesignbuildkc.com

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SEPTMBER 10, 2025
REVISIONS

[illegible]

PROJECT

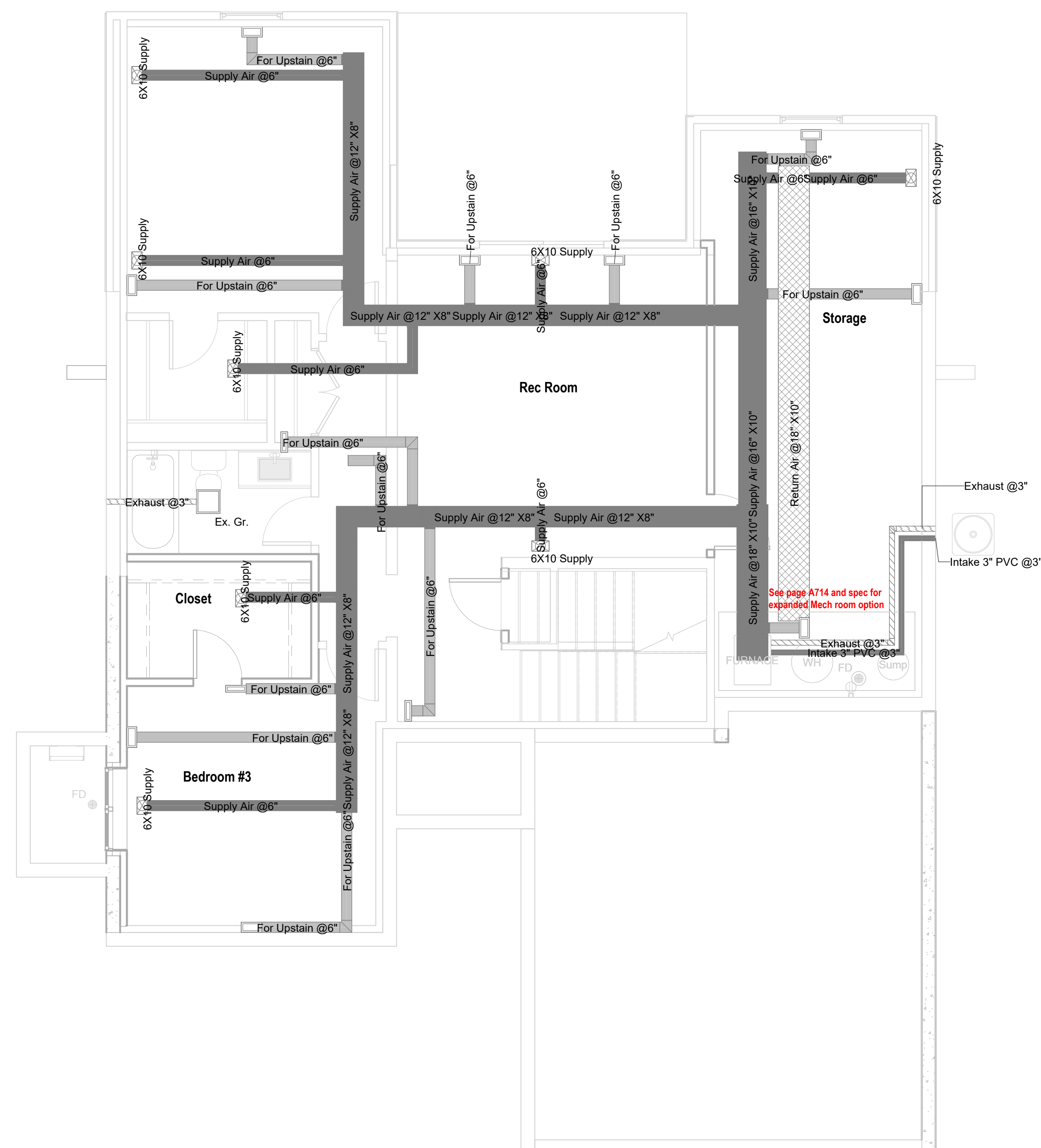
DRAWING TITLE
Floor Plan - HVAC

DATE ISSUED

DRAWING NUMBER

M101

IN-361 17m\Greystone Masterplan\01-Working Files\Revit
 RELEASE FOR CONSTRUCTION
 AS NOTED ON PLANS REVIEW
 DEVELOPMENT SERVICES
 LEE'S SUMMIT, MISSOURI
 09/24/2025 9:52:57



1 Basement HVAC
1/4" = 1'-0"



② Main Level Plan HVAC
1/4" = 1'-0"

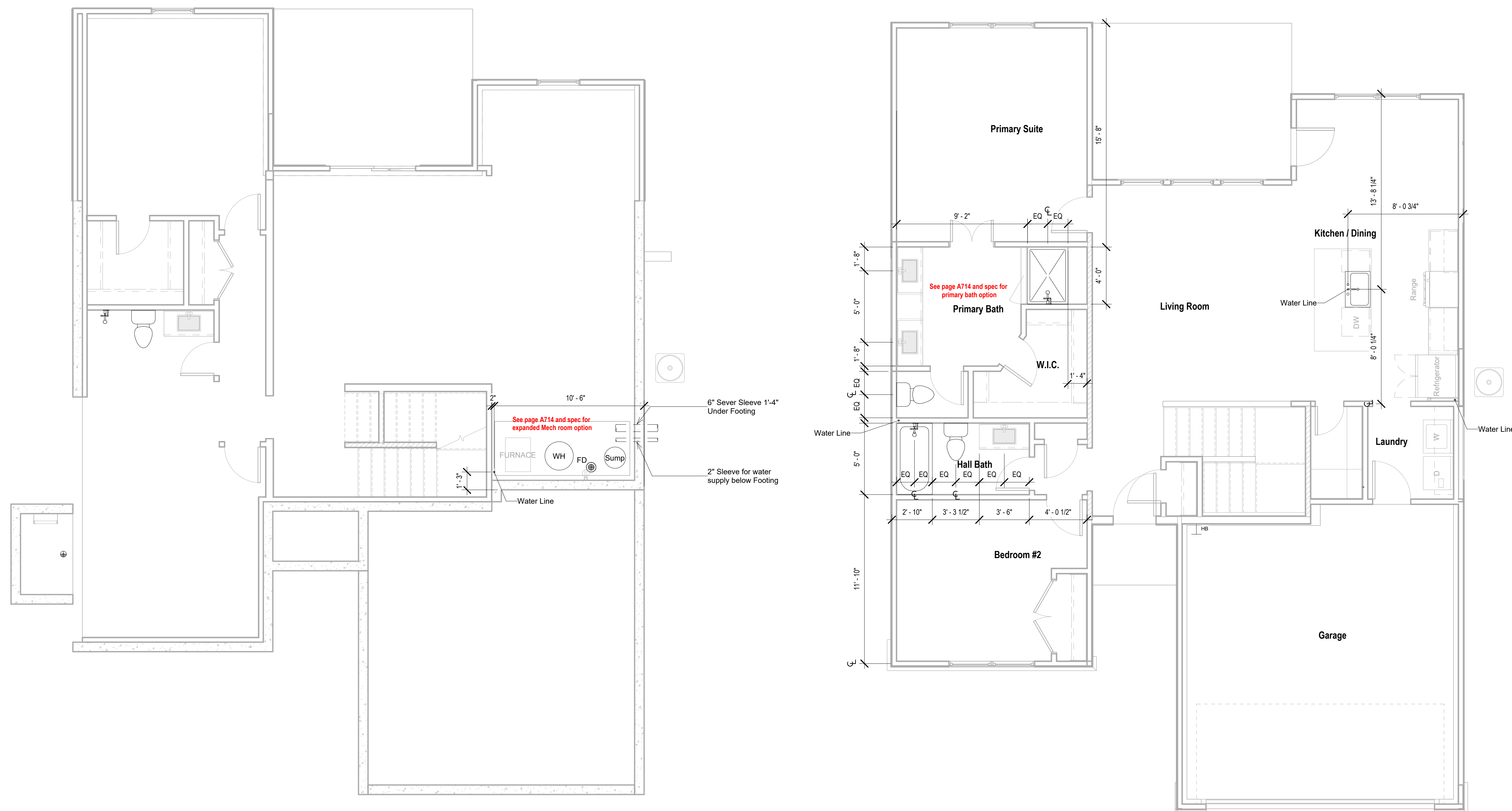
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PROJECT

DRAWING NUMBER

P101

IN-360 17m/Greystone Masterplan/01-Working Files/Revit
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 AS NOTED ON PLANS REVIEW
 DEVELOPMENT SERVICES
 LEE'S SUMMIT, MISSOURI
 09/24/2025 9:52:57



1 Basement Plumbing Plan
1/4" = 1'-0"

② Main Level Plumbing Plan
1/4" = 1'-0"