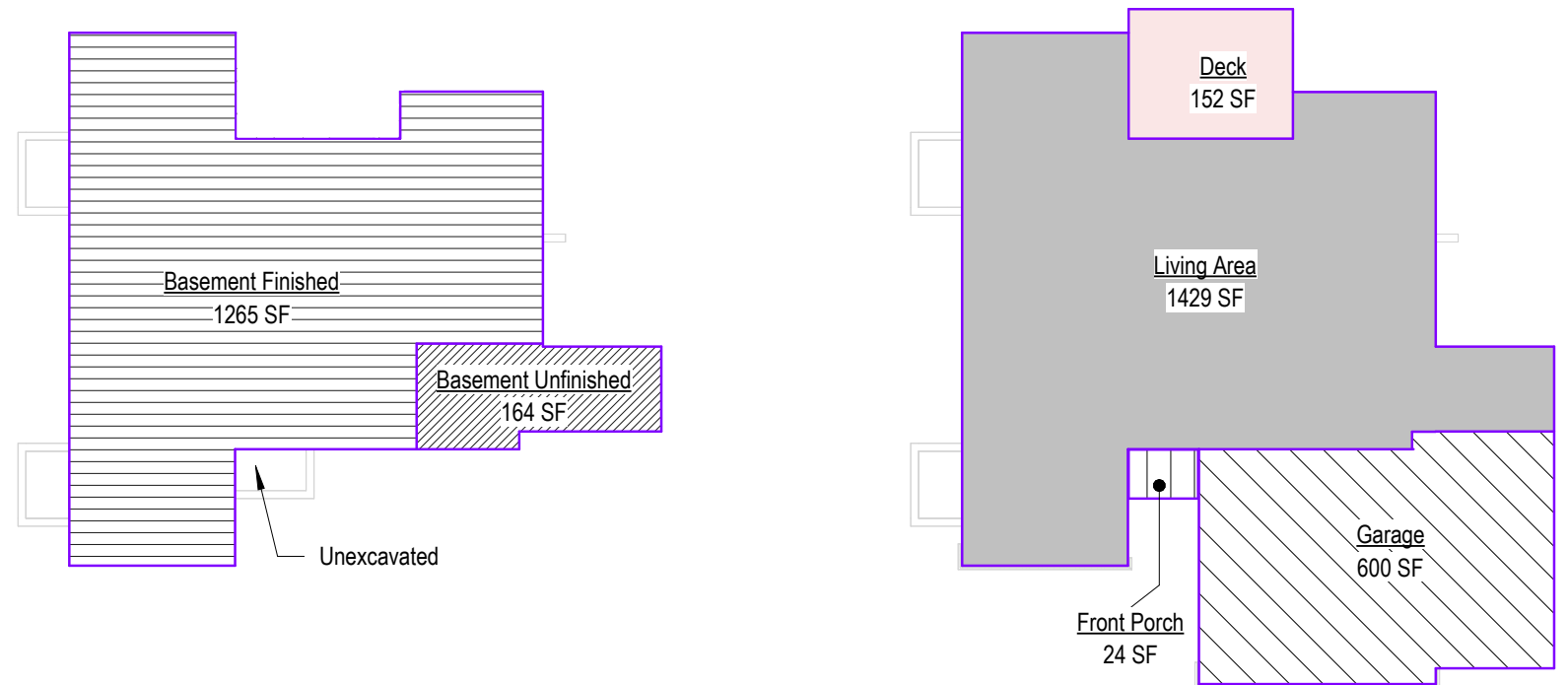


Greystone - Masterplan

Address: 2618 SW Farm Field Road
Lot: 35 Hook Farms, First Plat, Lee's Summit, MO.

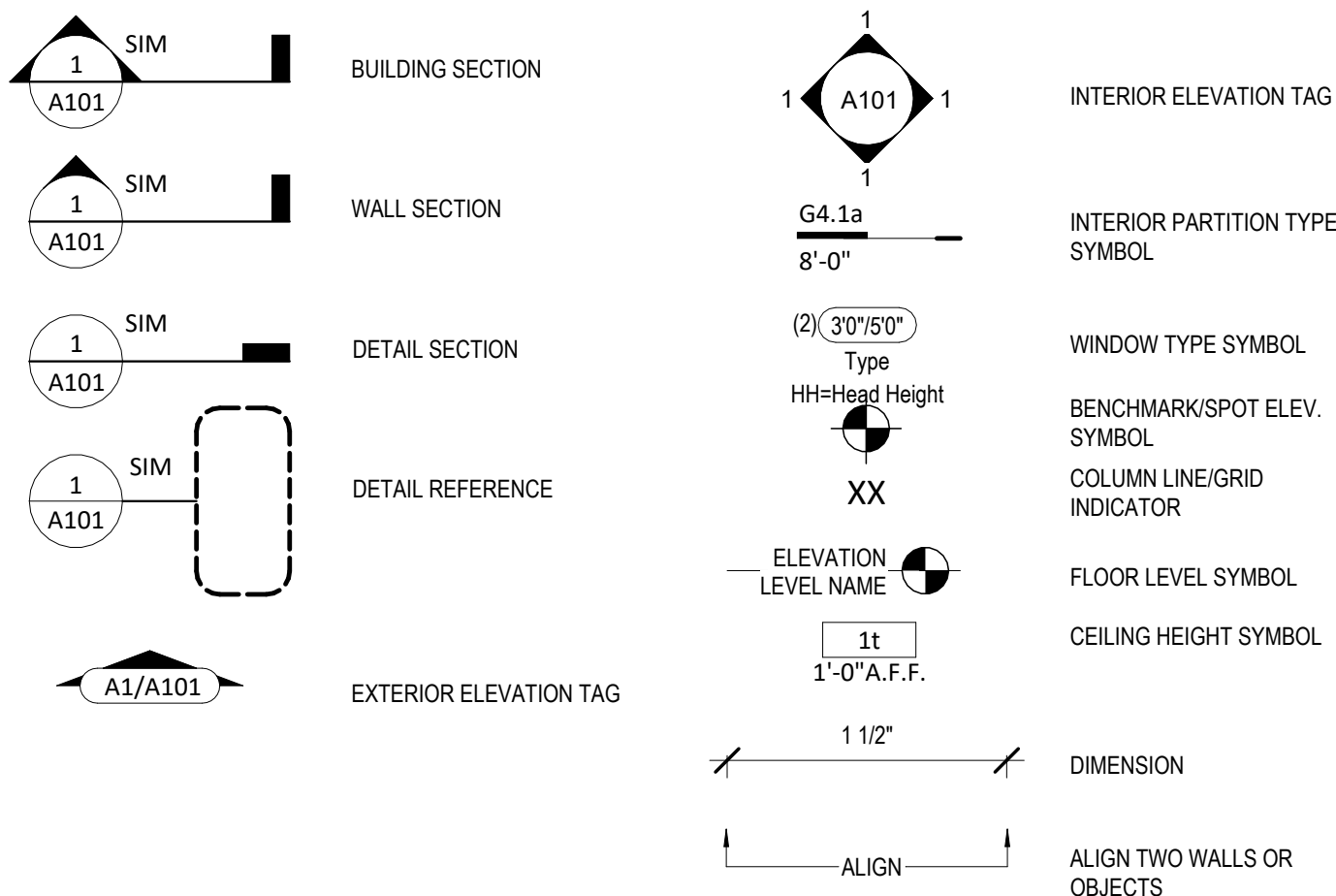
RELEASE FOR CONSTRUCTION
AS NOTED FOR PLAN REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
09/03/2025



Area - W/ Extended Living	
Name	Area
Basement Finished	1265 SF
Living Area	1429 SF
	2694 SF

Basement Unfinished	164 SF
Deck	152 SF
Front Porch	24 SF
Garage	600 SF
Patio	462 SF
	939 SF

Sheet List	
Sheet No	Sheet Name
00	Cover Sheet
A101	Front Elevations
A102	Front Elevations
A103	Front Elevations
A301	Side Elevations - Full Basement
A302	Side Elevations - Daylight Basement
A303	Side Elevations - Walkout Basement
A401	Side Elevations - Full Basement
A402	Side Elevations - Daylight Basement
A501	Floor Plan - Main Level
A502	Floor Plan - Main Level
A503	Floor Plan - Main Level
A601	Roof Plan
A602	Roof Plan
A701	POD Options
A702	POD Options
A703	POD Options
A704	POD Options
A705	Floor Plan - Basement
A706	Front Elevations
A707	Floor Plan - Basement
A708	Side Elevations - Full Basement
A709	Roof Plan
A710	Floor Plan - Basement
A711	Side Elevations - Full Basement
A712	Roof Plan
A714	POD Options
A715	Front Elevations
A716	Cover Sheet
A801	Details
A802	Details
A803	Details
E101	RCP/Electrical Plan
E102	RCP/Electrical Plan - Structural Option
M102	Floor Plan - Structural POD Options 24" Extension HVAC
P101	RCP/Electrical Plan



⑫ Basement Area - W/ Extended Living
1/16" = 1'-0"

⑫ Main Level Area - W/ Extended Living
1/16" = 1'-0"

General Information

2018 Interior Energy Cons. Code (Table N1102.1.2)	
Doors & Windows:	U-0.32 MAX
Glazing SHGF:	0.40
Skylights:	U-0.55 MAX
Roof	
Attic Ceilings:	R-49 MIN
Vaults:	R-38 MIN
Vaults < 500sf:	R-30 MIN
Wood Frame Walls:	R-20 or R-13 + 5 MIN
Basement Walls:	R-13 or R-10 Continuous
Floor (over unconditioned):	R-19 MIN
Slab on Grade:	R-10 for 24" MIN
Ductwork:	R-8 MIN
Fuel Fired Furnace:	90% AFUE MIN
Electric Furnace:	No Minimum
Cooling System:	13 SEER MIN
Water Heater	
Gas Fired Storage:	0.67 EF MIN
Gas Fired Instant:	0.62 EF MIN
Electric Storage:	0.97 EF MIN
Electric Instant:	0.93 EF MIN

An energy efficient certificate is required to be posted in or on the electrical panel before the final inspection. The certificate will be provided with all new residential permits. It is the permit holder/contractor's responsibility to ensure the certificate has accurate information and is posted before final inspection - Owner/Contractor is responsible for meeting the prescriptive requirements of IRC chapter 11 unless a HER Index Analysis for Performance Compliance based on the plans is submitted to the AHJ for approval.

IRC 2018	
Ground Snow Load:	20PSF
Wind Speed:	115mph
Topography Effects:	No
Seismic Design Category:	A
Damage From Weather:	Severe
Frost Line Depth:	36 inches
Termite:	Moderate to Heavy
Winter Design Temperature:	6 F
Ice Barrier Underlayment:	Yes
Flood Hazard:	
Air Freezing Index:	927 or less
Mean Annual Temperature:	55.5 F

- Whole House Mechanical Ventilation System is required for any dwelling with air infiltration at a rate of less than 5 air changes per hour (at ACH50 standard R303.4).
- Carbon monoxide detectors required (R315)
- Steel columns shall be minimum schedule 40 (R507.2)
- Deck Ledger attachment to house shall be per Tables 507.9.1.3.
- New provisions for attachment of rafters, trusses and roof beams. (R802.3 and R802.11)
- Programmable thermostat required (N1103.1.1)
- Air handlers shall be rated for Maximum 2% air leakage rate (N1103.2.2.1)
- Building cavities used as return air plenums shall be sealed to prevent leakage across the thermal envelope. (N1103.2.3)
- Certain hot water pipes shall be insulated (N1103.4)
- All exhaust fans shall terminate to the building exterior (M1507.2)
- Makeup air system required for kitchen exhaust hoods that exceed 400 CFM M1503.4
- Building cavities in a thermal envelope wall (including the wall between the house and garage) shall not be used as return air plenums (unless the required insulation and air barrier are maintained) (M1601.1.1.17.5)
- An air handling system shall not serve both the living space and the garage (M1601.6)
- A concrete-Encased grounding electrode ("UFER Ground") connection complies with the requirements of the 2018 IRC Section E3608.1.2 in providing a connection with no less than the required minimum of steel.
- Compliance with the requirements and show connection as needed for roof beam, trus, rafter, and girder connections for uplift per IRC 802.11
- Garage Door Rating: DASMA 115 MPH Rated

2018 IRC BUILDING CODE COMPLIANCE
THESE DRAWINGS HAVE BEEN PREPARED WITH RESPECT TO COMPLIANCE OF THE 2018 IRC AND NEC 2017 ANY REFERENCES FOUND NOT CORRECTLY IDENTIFIED TO THESE CODES SHALL BE BROUGHT TO THE ATTENTION OF SSIONAL THE DESIGN PROFESSIONAL



Greystone - Masterplan



AUGUST 28, 2025

Original Issue Date:	Permit Set
REVISIONS	10/1/2021
Number	Description
	Date

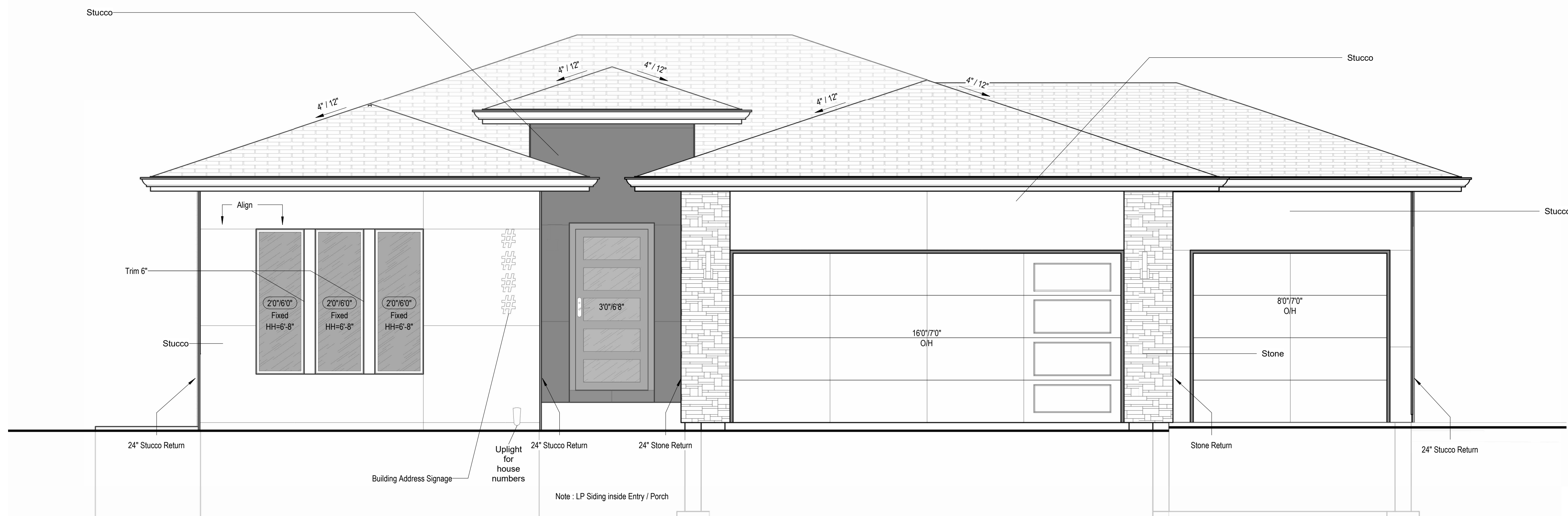
Permit Set

PLAN DESCRIPTION: Cover Sheet

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Project No.

Greystone - Masterplan

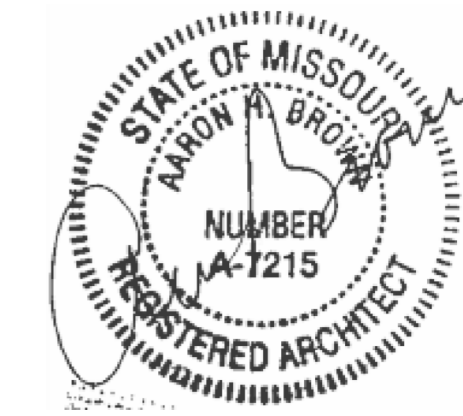


① Front Elevation - Modern - 3 Fix windows - W/ 3 Car Garage
3/8" = 1'-0"



architect:
Elevate Design + Build
1040 SW Luttrell Road
Blue Springs, MO 64015
816.622.8826 voice
www.elevatedesignbuild.com

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AUGUST 28, 2025

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PROJECT

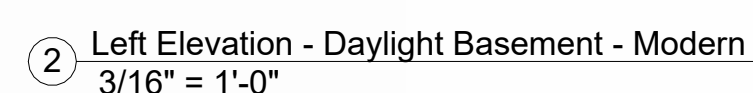
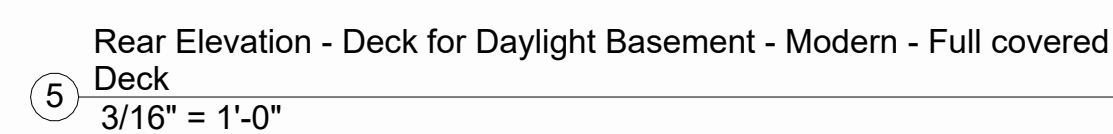
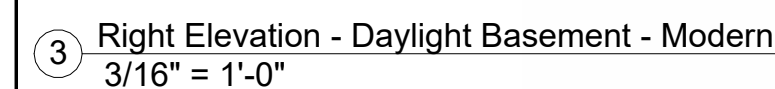
Address: 2618 SW Farm Field Road
Lot: 35 Hook Farms, First Plat. Lee's Summit, MO

DRAWING TITLE
Front Elevations - Modern

DATE ISSUED

DRAWING NUMBER

A101.4



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PROJECT

Address: 2618 SW Farm Field Road
Lot: 35 Hook Farms, First Plat, Lee's Summit, MO

DATE ISSUED

DRAWING NUMBER

A302.4

RELEASE FOR CONSTRUCTION
 File\Greystone Master Plan.rvt
 AS NOTED FOR PLAN REVIEW
 DEVELOPMENT SERVICES
 LEE'S SUMMIT, MISSOURI
 09/03/2025

Structural Foundation Schedule					
Type	Width	Length	Depth	Reinforcing	Comments
Footings					
F1	3' - 0"	3' - 0"	1' - 0"	Reinf w/ (6) #4's, rebar count is each way, equal centers	GARAGE PEDISTAL
F2	4' - 0"	4' - 0"	1' - 4"	Reinf w/ (8) #4's, rebar count is each way, equal centers. (8) #4's, vertical rebar count in ped column. Hold ped down 12" Min below gar. door block-down and/or bottom of slab.	
Foundation - Round					
F3	1' - 4"	1' - 4"	3' - 0"	ABA66Z Post Base. Refer to Detail for Reinforcing.	
Wall Foundation					
FTG-1	1' - 4"	<varies>	0' - 8"	Reinf w/ (2) #4 bot. eq. spaced. Dowel into wall w/ (1) #4 turned up @ 12" o.c.	<varies>
Foundation Wall Schedule					
Type	Width			Reinforcing	Comments
C8	0' - 8"			Reinf. w/ #4 vert. @ 12" oc / (3) #4 hor. equally spaced.	<varies>

- FOOTING FOUNDATION & CONCRETE NOTES
- 1. TO ADDRESS DIFFERENTIAL SETTLEMENT, ALL INTERIOR BEAMS AND EXTERIOR WALLS SHALL BE CONCRETE, MIN. 36" ONCHES INTO UNDISTURBED SUBGRADE.
- 2. ALL FOOTING TO BE PLACED MIN. 36" ONCHES BELOW FIN. GRADE.
- 3. DESIGN IS BASED ON MIN. OF 2,500 PSI CONCRETE STRENGTH TO ACHIEVE THE FOLLOWING BENDING MOMENTS:
 - 3.00 PSF FOR PERMANENT LOADS
 - 3.00 PSF FOR WIND LOADS
 - 3.00 PSF FOR GARGE LOAD
- 4. ALL EXTERIOR EXPOSED TO WEATHER SHALL HAVE 25%+1% AIR ENTRAINMENT
- 5. PROVIDE 4" MIN. CONCR. SLAB REIN. WITH 12" O.C. E.V. TOP REIN. OVER PERIMETER AS NOTICED (H417) @ 18" O.C. E.V. PLACE OVER 8" MIN. VAPOR BARRIER.
- 6. REINFORCE EXTERIOR FOOTINGS WITH #4 @ 24" E.V., REINFORCE WITH #2 @ 48" INT. AT 24" O.C. E.V.
- 7. PROVIDE #4 X 41" @ 48" DEEREES @ REINTEGRANT CORNERS.
- 8. 12X12" VERTICAL ASHTRAY ANCHOR BOLTS 48" O.C. @ EXT. WALLS.
- 9. 12X12" VERTICAL ASHTRAY ANCHOR BOLTS 48" O.C. @ EXT. WALLS.
- 10. PROVIDE 12" O.C. E.V. REIN. WITH 12" O.C. E.V. TOP REIN. OVER PERIMETER AS NOTICED (H417) @ 18" O.C. E.V. PLACE OVER 8" MIN. VAPOR BARRIER.
- 11. INSTALL HOLLOWBOLT BOLTS ANCHORED AS NOTICED ON PLAN.
- 12. PROVIDE BUTYROMEX DAMP-PROOFING AT FOUNDATION WALLS.
- 13. PROVIDE 2" MIN. POLYETHYLENE GLASS FIBER REINFORCED 2,500 PSF IN THE CURRENT FOUNDATION DESIGN, ALL COMPACTED FILL AREAS REQUIRE A SPECIAL TREATMENT.
- 14. SOIL BEARING CAPACITY IS ASSUMED AS MINIMUM 1500 PSF

Foundation Wall Schedule			
Type	Width	Reinforcing	Comments
C8	0' - 8"	Reinf. w/ #4 vert. @ 12" oc./ (3) #4 hor. equally spaced.	<vars>

STEEL COLUMNS & OTHER BASEMENT/FOUNDATION NOTES

1. ALL STEEL PIPE COLUMNS TO BE 3" (OR 3/2") SCHEDULE 40 GRADE

2. INTER BEARING WALLS & COLUMNS SHALL BE ISOLATED FROM THE BASEMENT FLOOR SLAB

3. INTER NON-BEARING WALLS, OTHER THAN THOSE RESTING DIRECTLY ON THE FOOTING, SHALL BE ISOLATED FROM THE FLOOR FRAMING ABOVE

4. AT WALKOUT FOUNDATION AREAS, REINFORCE THE SLAB FROM THE FOUNDATION WALL TO 2 FEET BEYOND THE OVERDIG AREA WITH #4 BARS AT 24 INCHES OC. PERPENDICULAR AND HORIZONTAL TO THE WALL; MAXIMUM 4-FOOT OVERDIG.

5. AT WALKOUTS THE FOUNDATION WALL SHALL BE ISOLATED BY A MINIMUM R-6 INSULATION FOR A MIN OF 3 FEET TO THE BOTTOM OF THE SLAB

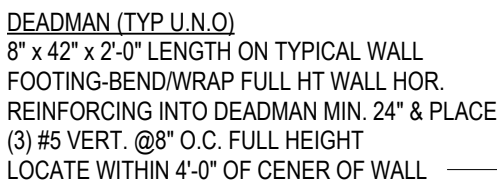
6. WHERE PLUMBING AREAS ARE ADJACENT TO THE FOUNDATION WALL, THE WALL SHALL BE SUPPORTED LATERNALLY AT THE TOP BY SLOD BLOCKING FOR MINIMUM OF TWO JOI SPACES, SPACED NOT MORE THAN 4 FEET OC.

Diagram illustrating the components of a partition wall section:

- Partition Material Type
- Nominal Stud/Partition Thickness
- Fire Rating or other modifier
- Partition Height. Omitted at walls spanning full height

DEADMAN (TYP U.N.O)
8" x 42" x 2'-0" LENGTH ON TYPICAL WALL
FOOTING-BEND/WRAP FULL HT WALL HOR.
REINFORCING INTO DEADMAN MIN. 24" & PLACE
(3) #5 VERT. @8" O.C. FULL HEIGHT
LOCATE WITHIN 4'-0" OF CENER OF WALL

Note:
Basement Walls Framed 1" Short
Below Beams and Joists.



- Min. 5.7sqft of window opening.
- Net clear height 24" Min
- Net clear width 20" Min.

1 Foundation Plan - Daylight Basement (STR007)
1/4" = 1'-0"

Greystone - Masterplan



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Elevating the Homebuilding Experience

architect:
Elevate Design + Build
1040 SW Luttrell Road
Blue Springs, MO 64015
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AUGUST 28, 2025

REVISIONS

[illegible]

PROJECT
Address: 2618 SW Farm Field Road
Lot: 35 Hook Farms, First Plat, Lee's Summit

DRAWING TITLE
Foundation Plan - Daylight
Basemenet

DATE ISSUED _____

DRAWING NUMBER

A401.2

RELEASE FOR CONSTRUCTION
File\Greystone Master
AS NOTED FOR PLAN R
DEVELOPMENT SERV
LEE'S SUMMIT, MISSO
09/03/20

Deck Ledger Attachment

1. (2) Lags required at EA, end 2" from ends.
2. Provide 1x4 treated spaced behind EA lag.
3. Provide lags in EA, joist space w/ (2) every other space, 2" from edges.
4. Min. size lag is 1/2" diam x 6" length
5. Provide flashing between rim joist and ledger.

Foundation Wall Schedule			
Type	Width	Reinforcing	Comments
C8	0' - 8"	Reinf. w/ #4 vert. @ 12" oc / (3) #4 hor. equally spaced.	<varies>

FOOTING FOUNDATION & CONCRETE NOTES

1. TO ADDRESS DIFFERENTIAL SETTLEMENT, ALL INTERIOR BARR AND EXTERIOR CORNER REINFORCING MUST BE PLACED IN THE SAME LAYER. REINFORCING IS UNDESIRABLE BASED ON:
2. REINFORCING TO BE PLACED MIN. 36" BELOW FLOOR FINISH GRADE
3. DESIGN IS BASED ON MOD. OF 2,500 PSI CONCRETE STRENGTH TO ACHIEVE THE FOLLOWING BASED ON:
4. 3.000 PSI FOR SOIL FOUND. WALLS & VERT. SUPPORTS
5. 3.000 PSI FOR GARGE FLOOR
6. 4.000 PSI FOR EXPOSED TO WEATHER WALLS & AIR ENTRAINMENT
7. PROVIDE #4 CONC. SLAB REIN. WITH 12" O.C. ELEV. TOP REIN. OVER PERIMETER AS NOTICED (#4 AT 18" O.C. ELEV. OVER 8" V. LAP. RAMP)
8. REINFORCE EXTERIOR FOOTINGS WITH #4 @ 24" E.C. REINFORCE WITH #2 @ 48" INT. AT 24" O.C.
9. REINFORCE WITH #4 @ 18" O.C. REINFORCE @ REINTEGRANT CORNERS
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92. 12"X12" VERT. ASLT. BARS ANCHOR BOLTS 48" O.C. @ EXT. WALLS
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94. 12"X12" VERT. ASLT. BARS ANCHOR BOLTS 48" O.C. @ EXT. WALLS
95. 12"X12" VERT. ASLT. BARS ANCHOR BOLTS 48" O.C. @ EXT. WALLS
96. 12"X12

STEEL COLUMNS & OTHER BASEMENT FOUNDATION NOTES

1. ALL STEEL PIPE COLUMNS TO BE 3" (OR 3 1/2") SCHEDULE 40 GRADE
2. INTER. BEARING WALLS & COLUMNS SHALL BE ISOLATED FROM THE BASEMENT FLOOR SLAB.
3. INTER. NON-BEARING WALLS, OTHER THAN THOSE RESTING DIRECTLY ON THE FOOTING, SHALL BE ISOLATED FROM THE FLOOR FRAMING ABOVE.
4. AT WALKOUT FOUNDATIONS, REINFORCE THE SLAB FROM THE FOUNDATION WALL TO 2 FEET BEYOND THE OVERDIG AREA WITH #4 BARS AT 12 INCHES O.C. PERPENDICULAR AND HORIZONTAL TO THE WALL; MAXIMUM 4-FOOT OVERDIG.
5. AT WALKOUTS THE FOUNDATION WALL SHALL BE INSULATED WITH A MINIMUM R-8 INSULATION FOR A MIN OF 3 FEET BELOW THE BOTTOM OF THE SLAB.
6. WHERE FLOOR JOISTS ARE PARALLEL TO THE FOUNDATION WALL, THE WALL SHALL SUPPORT LATERAL LOADS TO THE WALL. PROVIDE BLOCKING FOR MINIMUM OF TWO JOIST SPACES. SPACING NOT MORE THAN 4 FEET O.C.

Diagram illustrating the components of a wall section:

- Partition Material Type
- Nominal Stud/Partition Thickness
- Fire Rating or other modifier
- 4.1a
- 4'-0"
- Partition Height. Omitted at walls spanning full height

DEADMAN (TYP U.N.O.)
3' x 42" x 2'-0" LENGTH ON TYPICAL WALL.
FOOTING-BEND/WRAP FULL HT WALL HOR.
REINFORCING INTO DEADMAN MIN. 24" & PLACE
3) #5 VERT. @8" O.C. FULL HEIGHT
LOCATE WITHIN 4'-0" OF CENER OF WALL

Note:
Basement Walls Framed 1" Short
Below Beams and Joists.

NOTE: 92% EFFICIENT UNIT-SEALED COMBUSTION AND VENTED TO THE EXTERIOR VIA VERT. STACK OR SIDE WALL POWER VENT

NOTE: ELECTRIC WATER HEATER
— PROVIDE ALL ELECTRICAL
CONNECTIONS 18" AFF MIN.

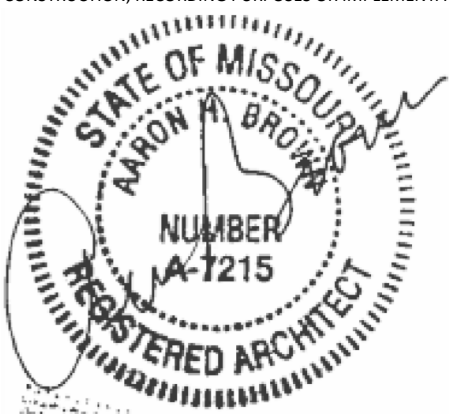
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LEE'S SUMMIT, MISSOURI
09/03/2025

The foundation plan view shows a rectangular foundation with overall dimensions of 9'-8" by 6". The width is divided into three sections: two 6" wide side sections and a central section labeled "2' - 6 1/2\"", which likely refers to the footing width. A note indicates the level is "-9'-8\" Basement".

Access in Wall Below Stair
1/4" = 1'-0"

Greystone - Masterplan

architect:
Elevate Design + Build
1040 SW Luttrell Road
Blue Springs, MO 64015
816.622.8826 voice
www.elevatedesignbuildkc.com



AUGUST 28, 2025

REVISIONS

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PROJECT
Address: 2618 SW Farm Field Road
Lot: 35 Hook Farms, First Plat, Lee's Summit, MO.

DRAWING TITLE
Floor Plan - Daylight Basement

DATE ISSUED

DRAWING NUMBER

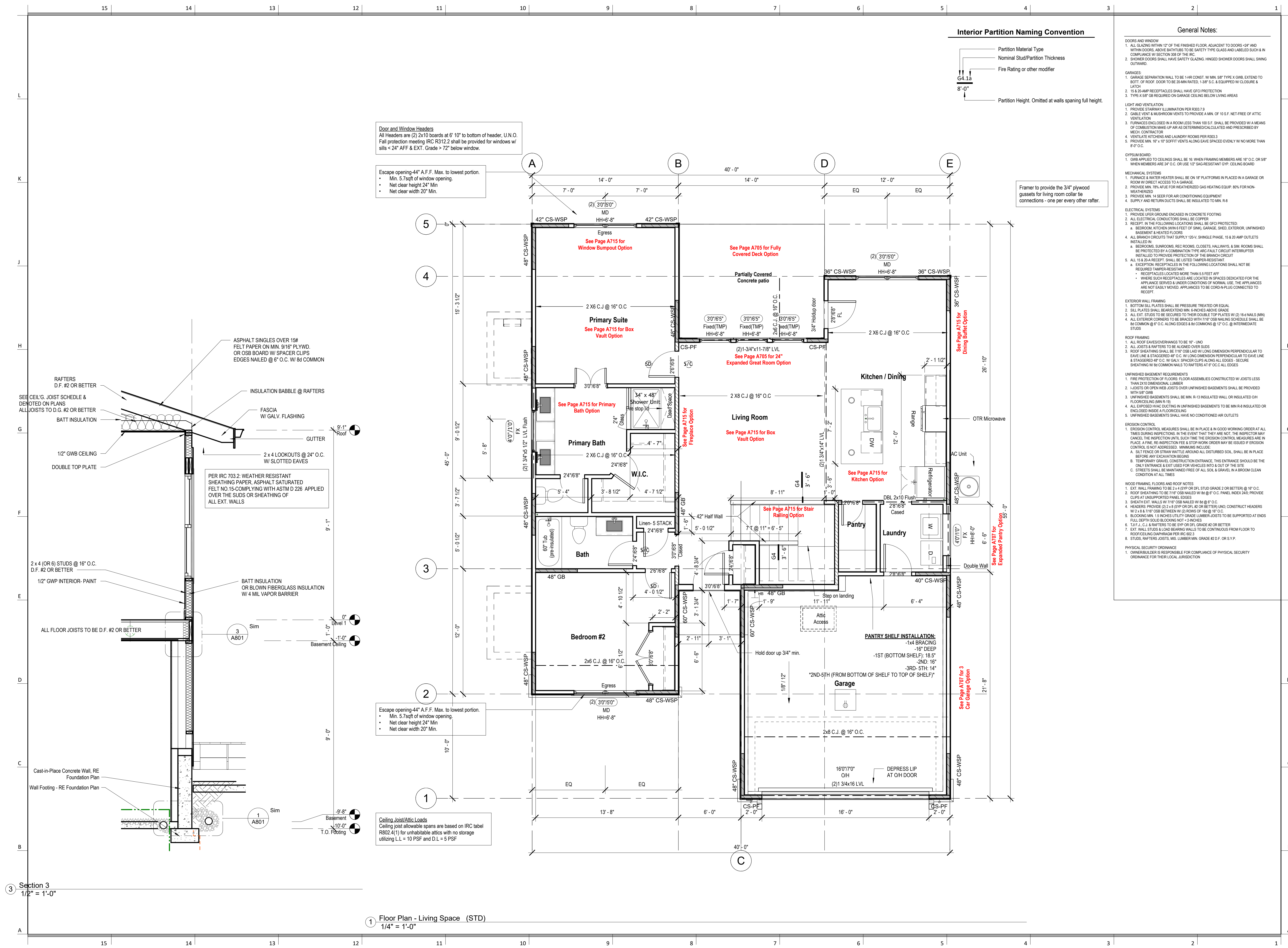
A402.2

A circular professional seal for Aaron A. Brown, a Registered Architect in the State of Missouri. The seal features the text "STATE OF MISSOURI" at the top, "AARON A. BROWN" in the center, "NUMBER A-7215" below the name, and "REGISTERED ARCHITECT" at the bottom. A stylized outline of the state of Missouri is visible in the background. The seal is stamped in black ink on a white background.

[illegible]

A501

09/03/2025



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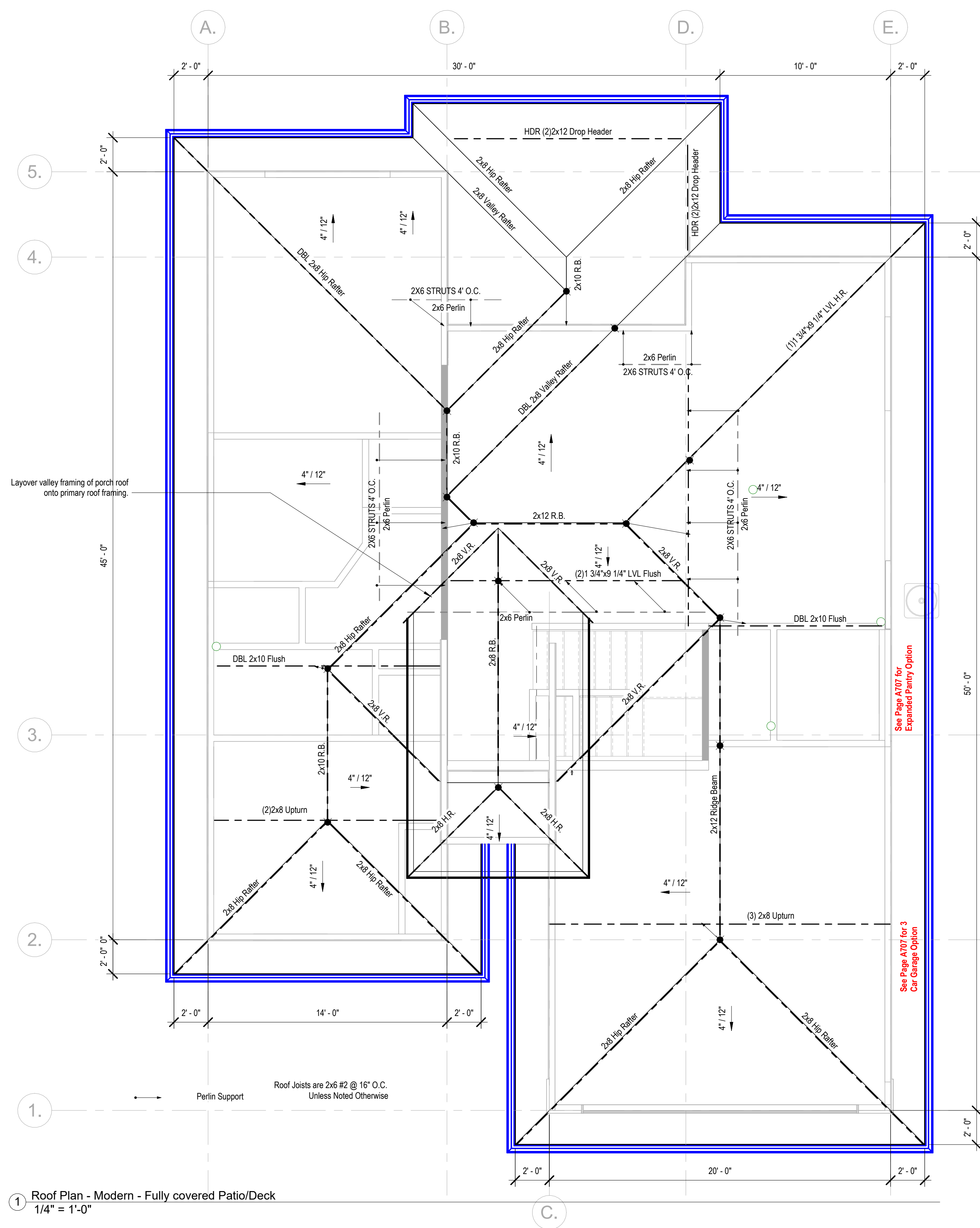


PROJECT
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Lot: 35 Hook Farms, First Plat, Lee's Summ

DATE ISSUED

A602.4

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architect:
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Blue Springs, MO 64015
816.622.8826 voice
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AUGUST 28, 2025

REVISIONS

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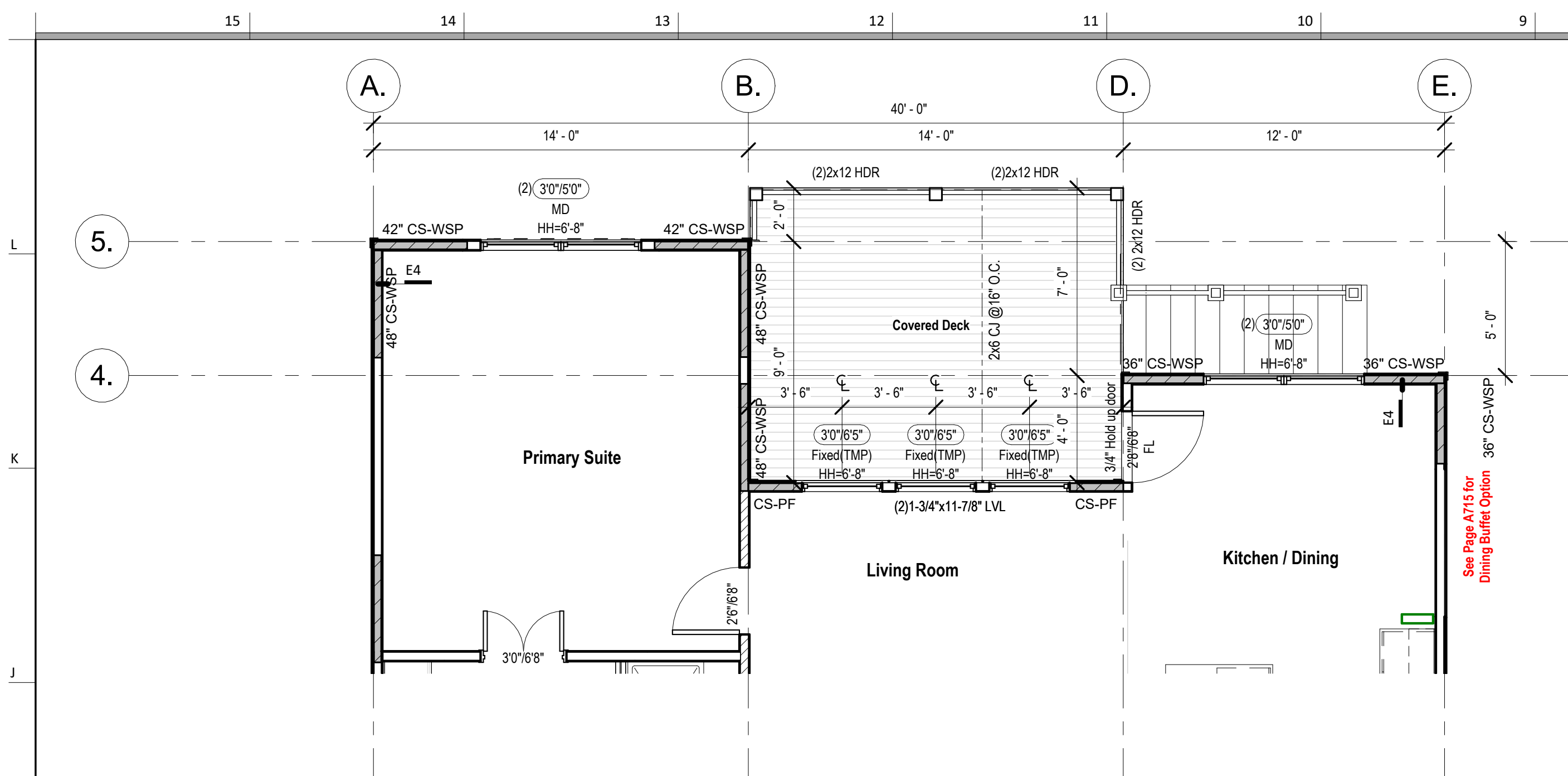
DRAWING TITLE
Floor Plan - Structural POD
Options 24" Extension

DATE ISSUED

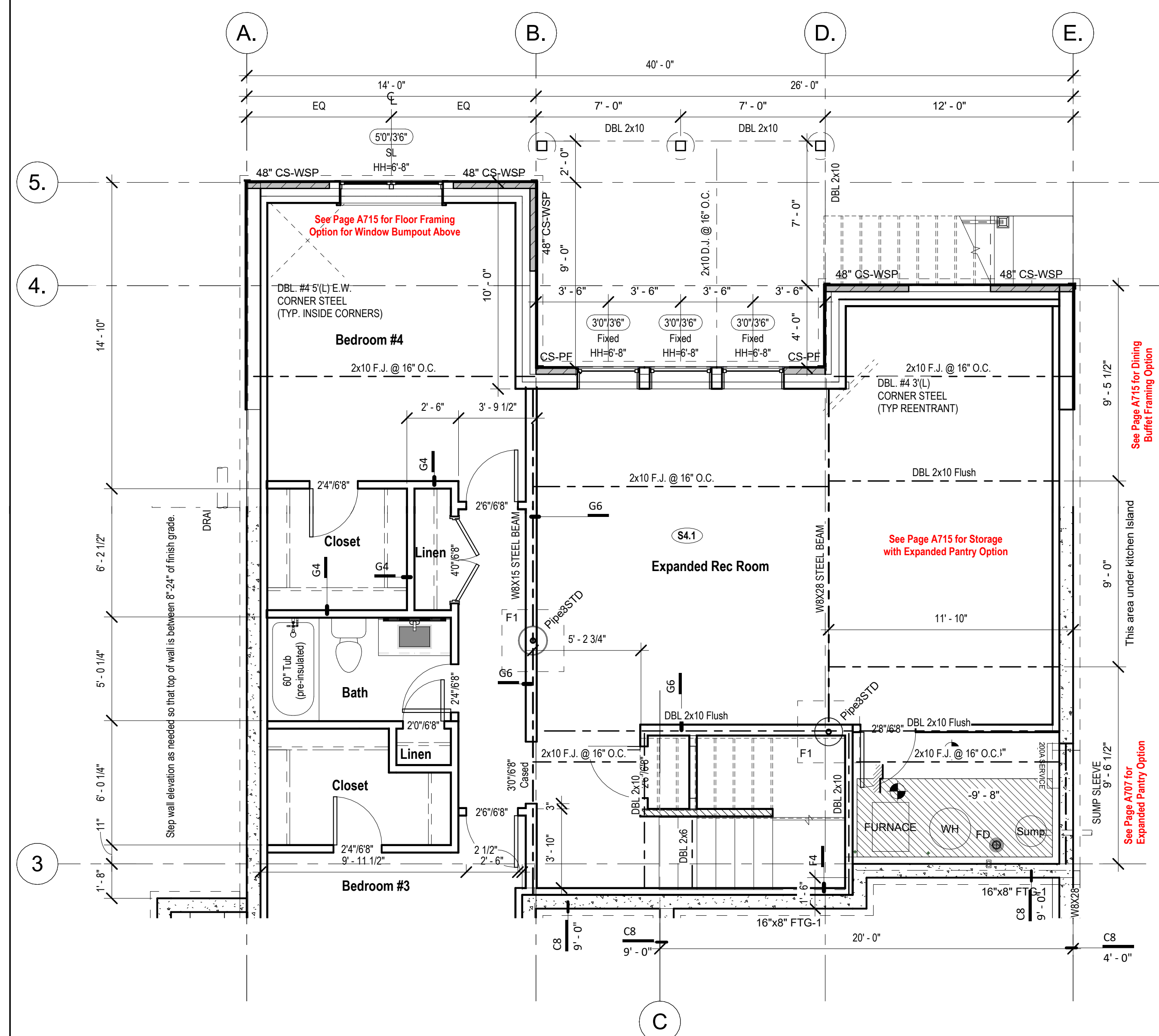
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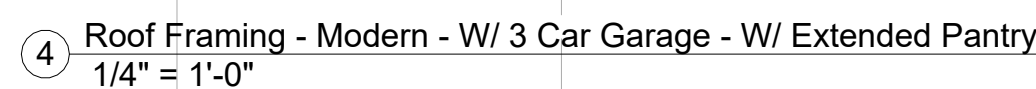
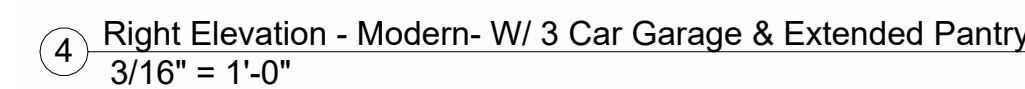
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09/03/2025



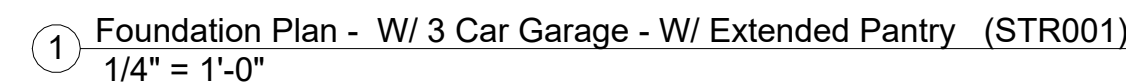
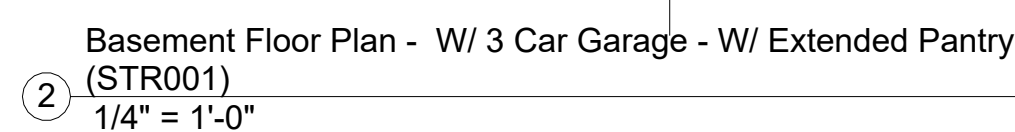
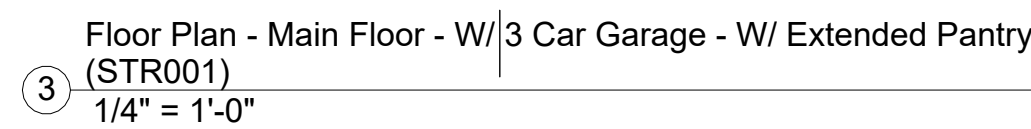
3 Floor Plan - Main Level - W/ Extending Living (STR027)
1/4" = 1'-0"



1 Basement Floor Plan - Design + Extending Living (STR027)
1/4" = 1'-0"



— Layover valley framing of 3rd car garage roof onto primary roof framing



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PROJECT
Address: 2618 SW Farm Field Road
Lot: 35 Hook Farms, First Plat, Lee's Summ

DRAWING TITLE
Floor Plan - W/ 3 Car Garage - W
Extended Pantry

DATE ISSUED _____

DRAWING NUMBER

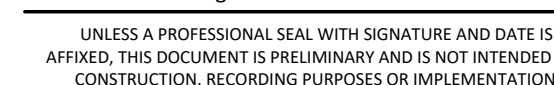
A707

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architect:
Elevate Design + Build
1040 SW Luttrell Road
Blue Springs, MO 64015
816.622.8826 voice
www.elevatedesignbuildkc.com



AUGUST 28, 2025

REVISIONS

[illegible]

PROJECT
LOT: HOOK FARMS 34
ADDRESS: 2622 SW FARM FIELD
RD., LEES SUMMIT, MO 64082

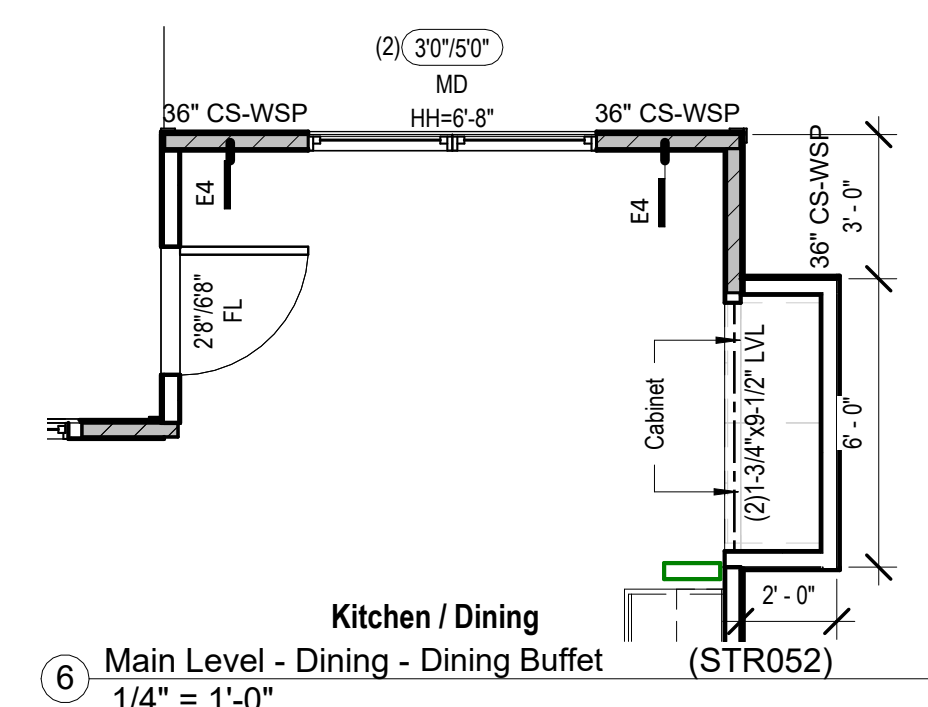
DRAWING TITLE
POD Options

DATE ISSUED

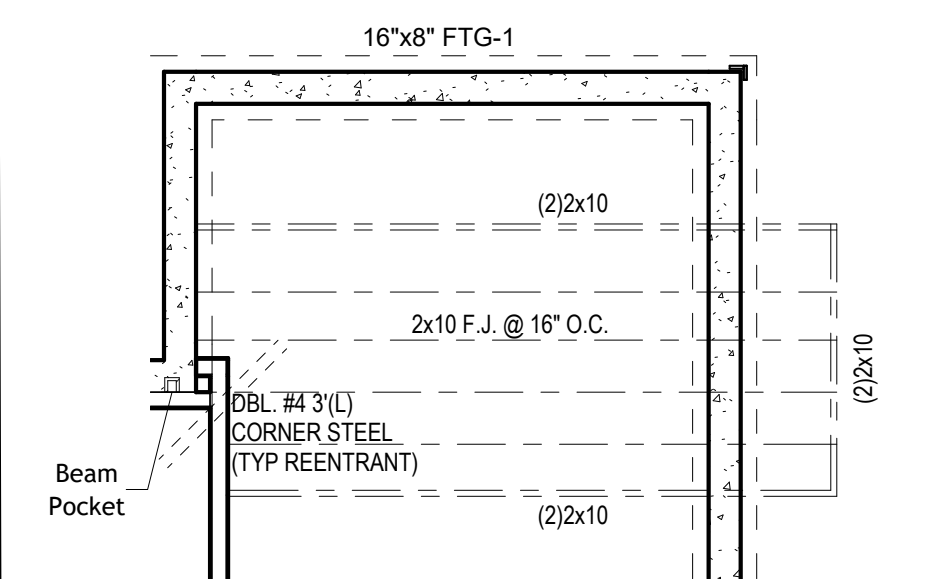
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A715

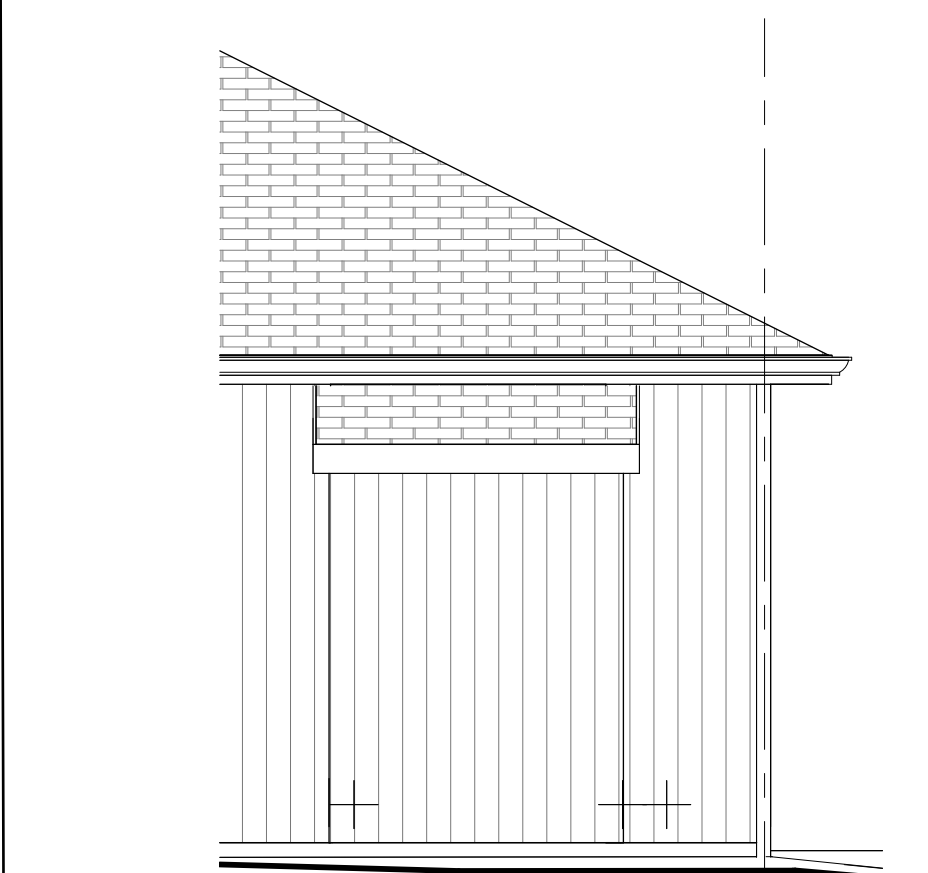
RELEASE FOR COMMENT
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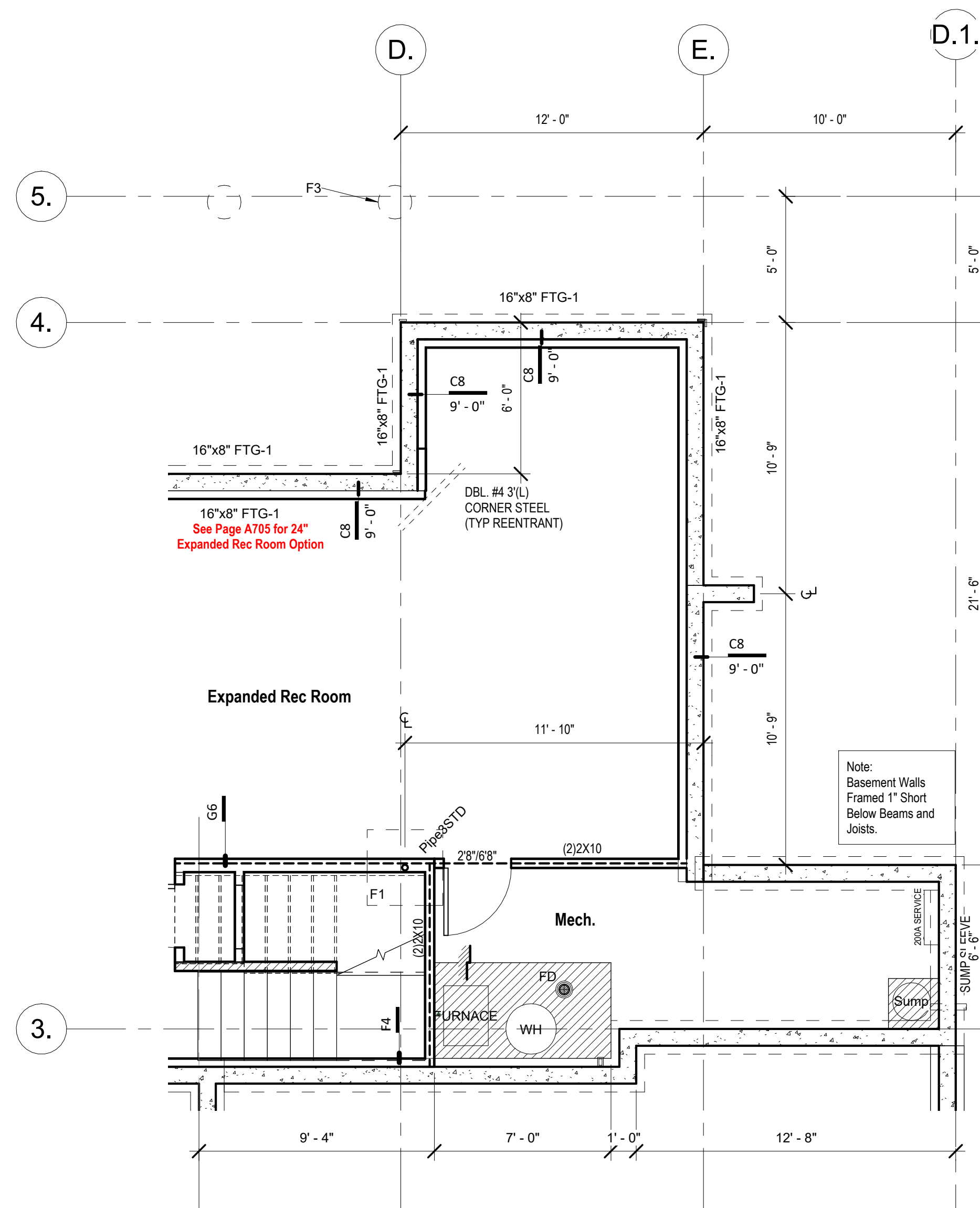
6 Main Level - Dining - Dining Buffet (STR052)
1/4" = 1'-0"



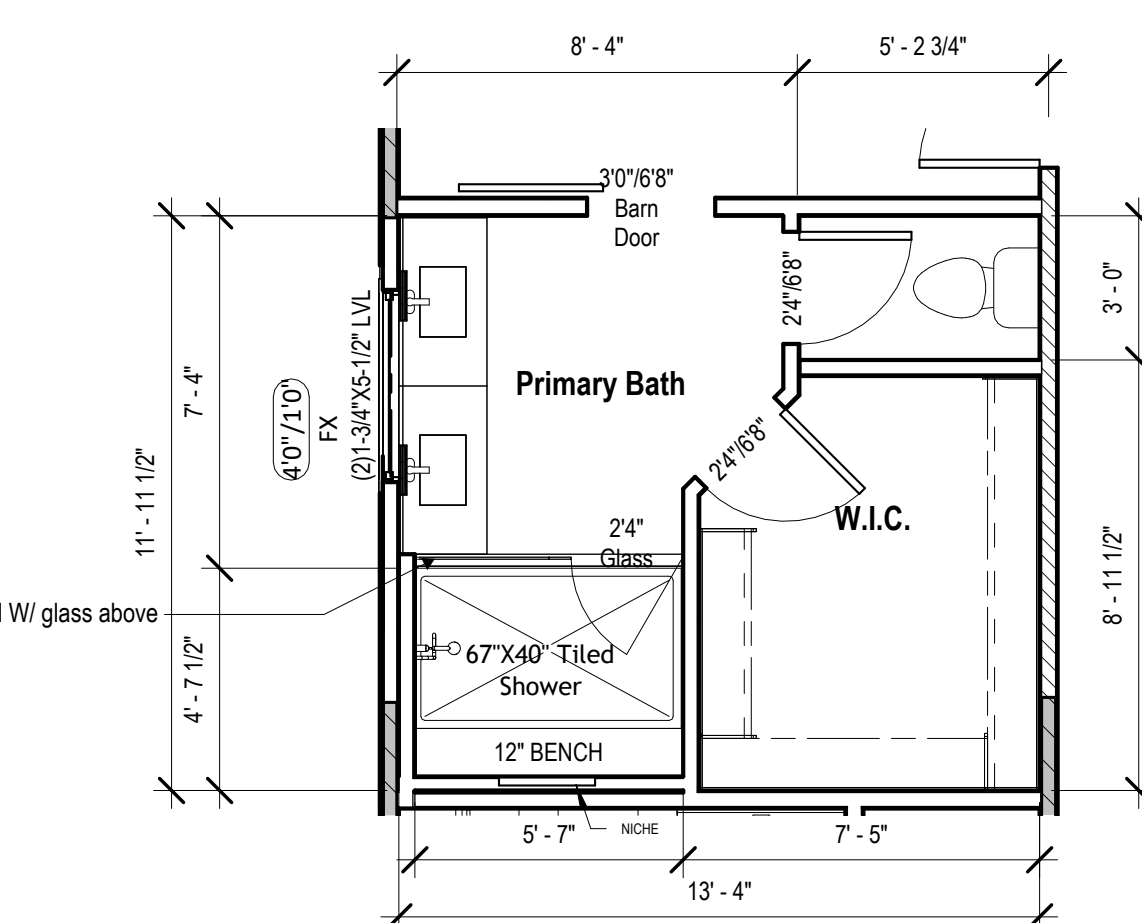
17 Basement Floor Plan - Framing for Dining Buffet (STR052)
1/4" = 1'-0"



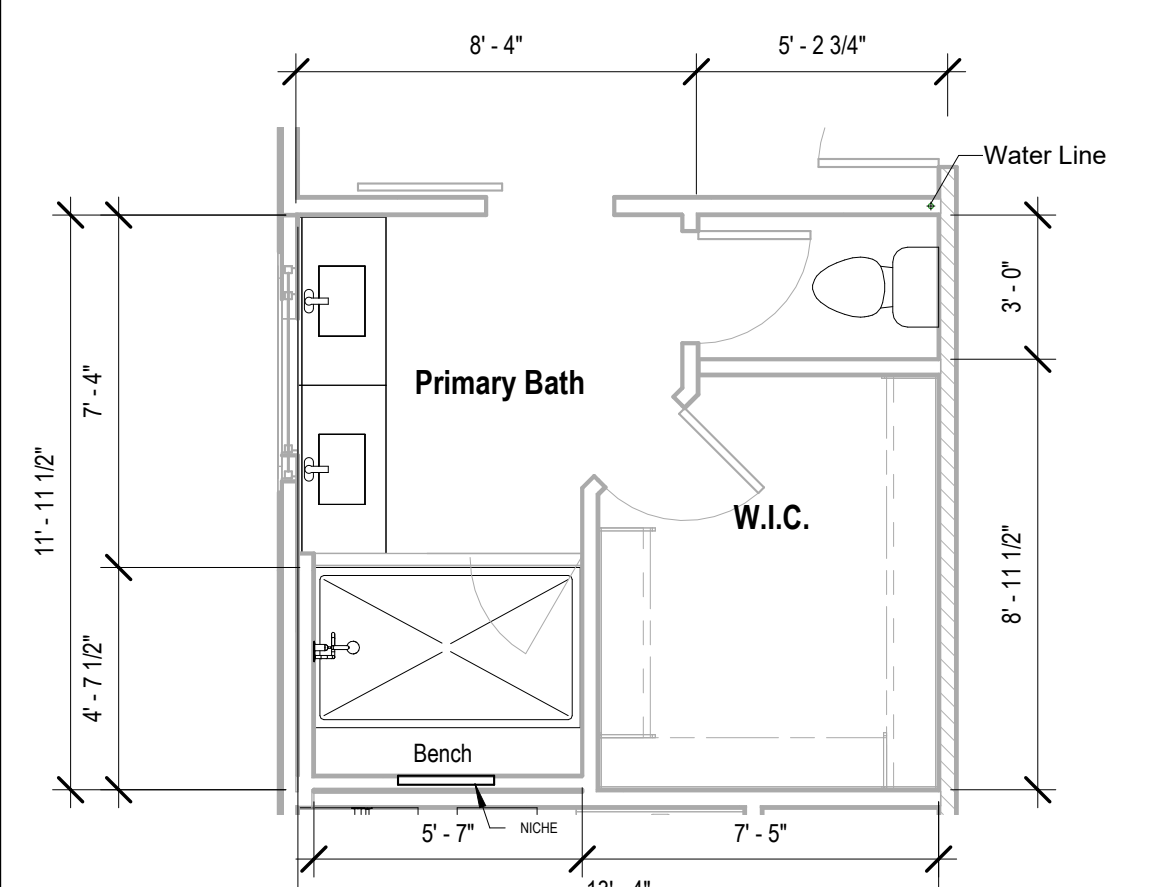
14 Front Elevation - Main Level - Dining - Dining Buffet
1/4" = 1'-0"



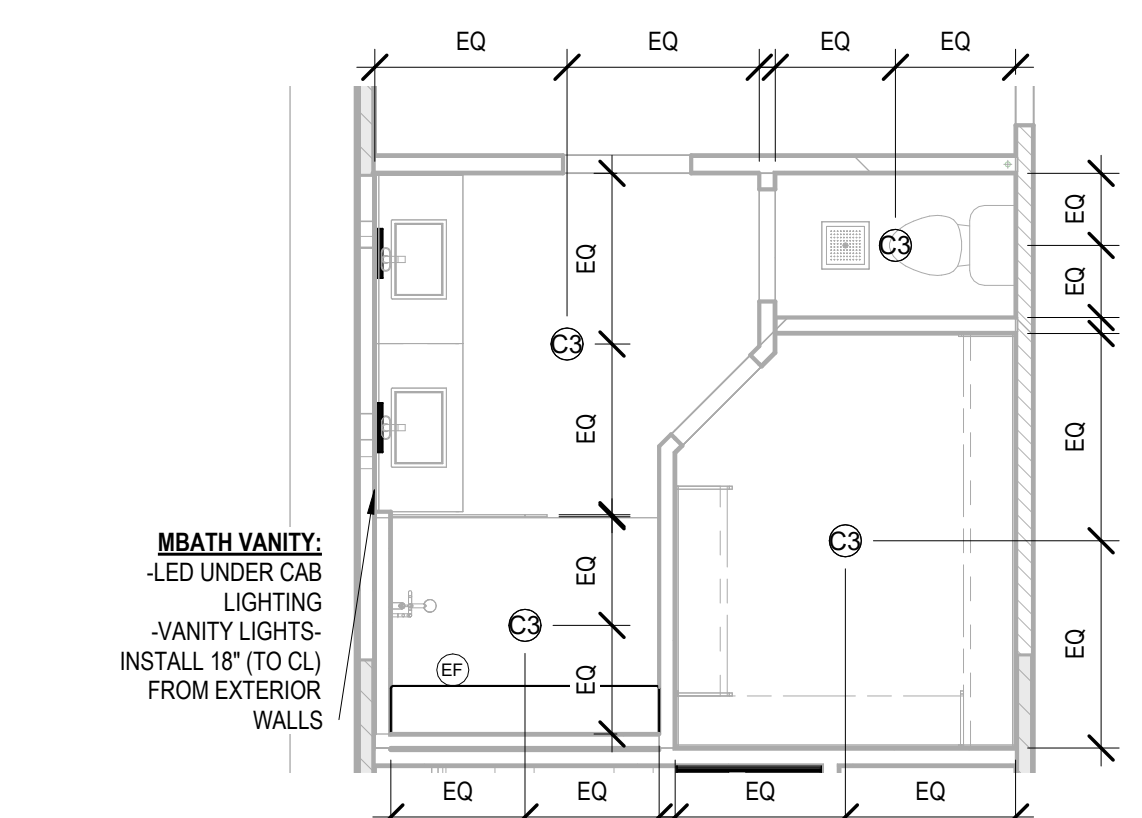
Basement Floor Plan - Expanded Rec. Room, Pantry & Storage
(STR026+STR001)
1/4" = 1'-0"



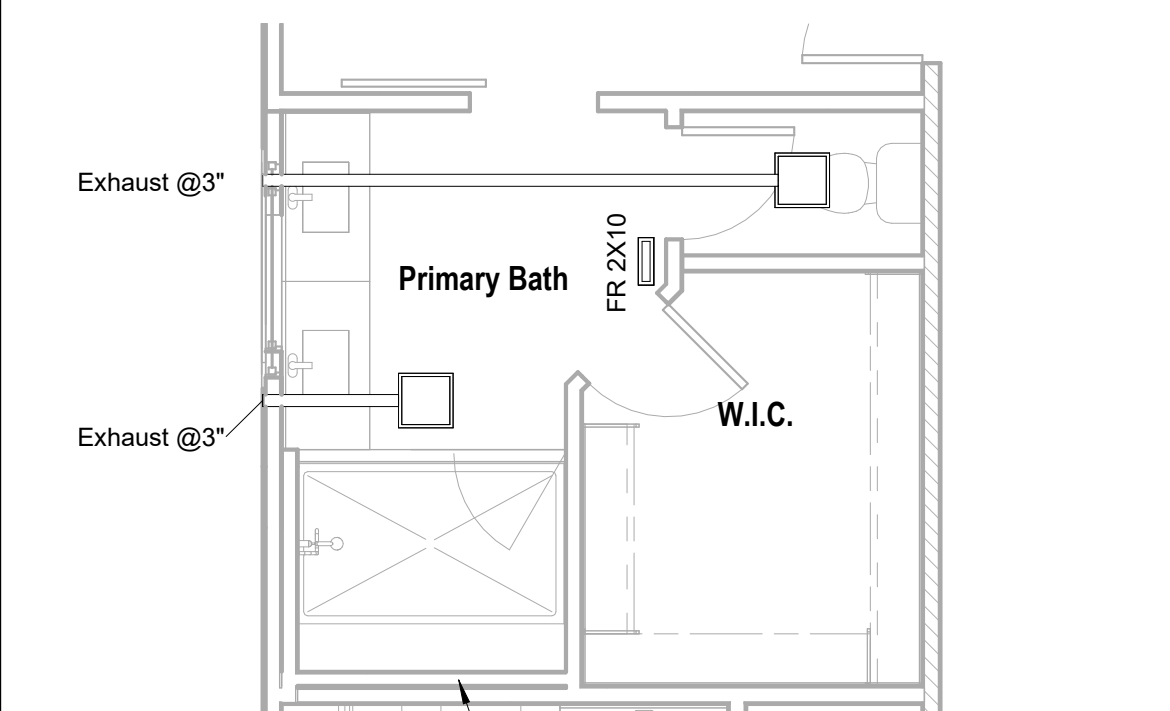
18 Main Level - Primary Bath Design + Shower (STR010)
1/4" = 1'-0"



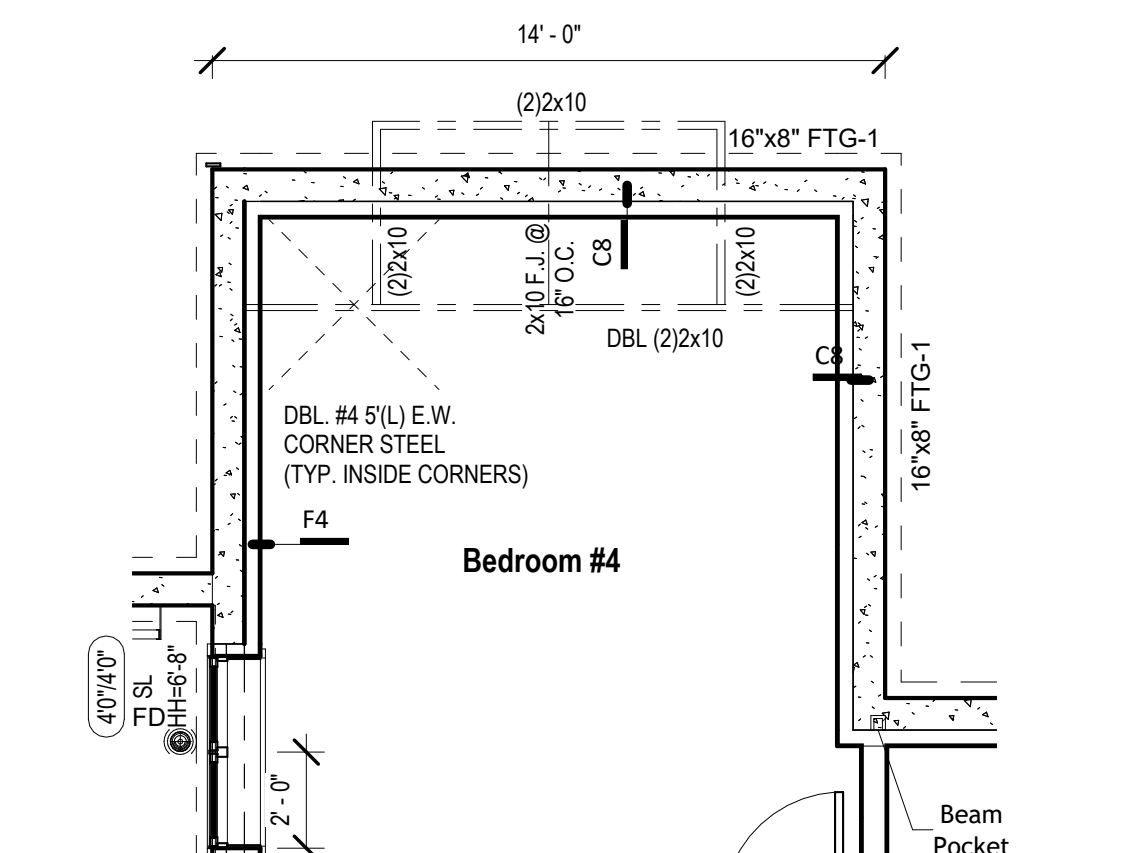
2 Main Level - Primary Bath Design + Shower HVAC
1/4" = 1'-0"



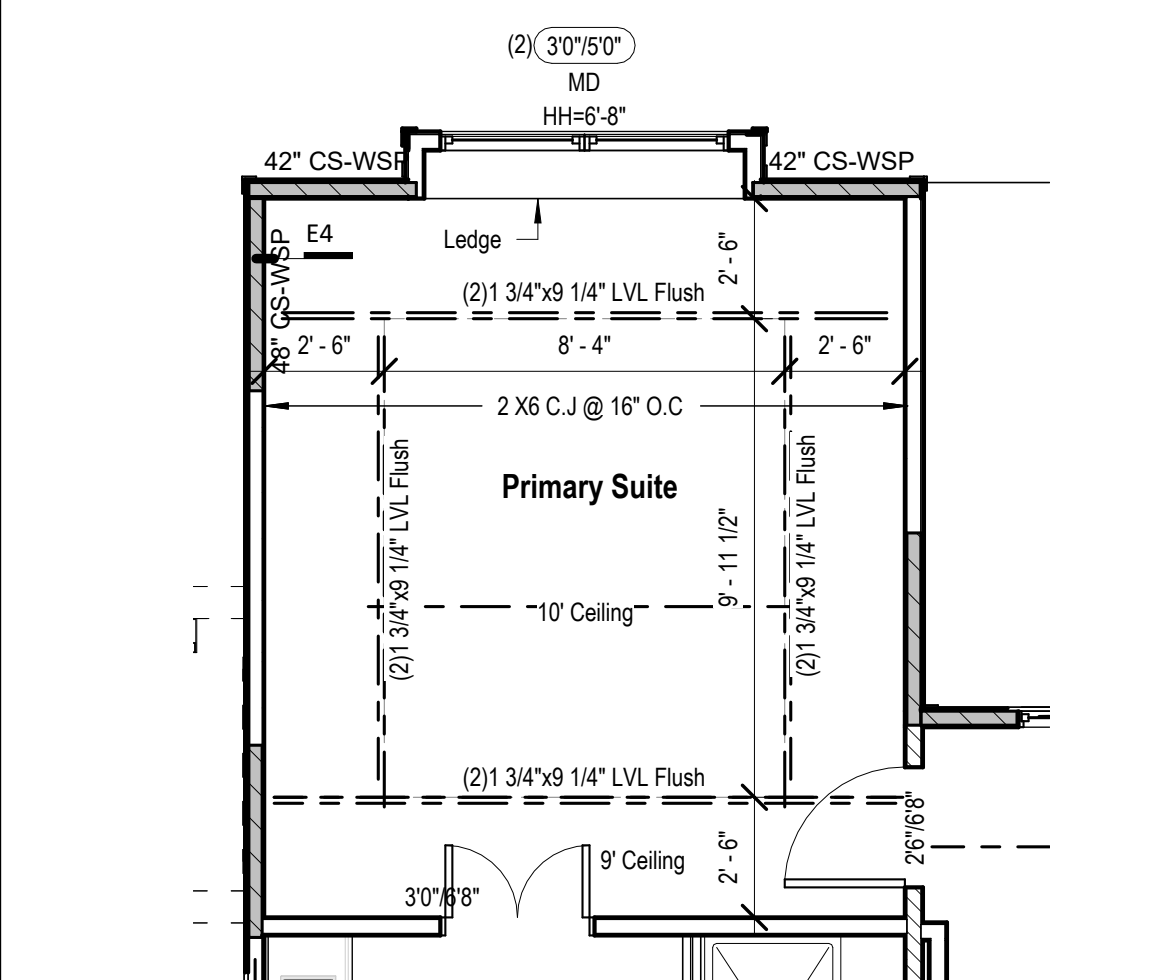
15 Main Level - Primary Bath Design + Shower RCP/Electrical
1/4" = 1'-0"



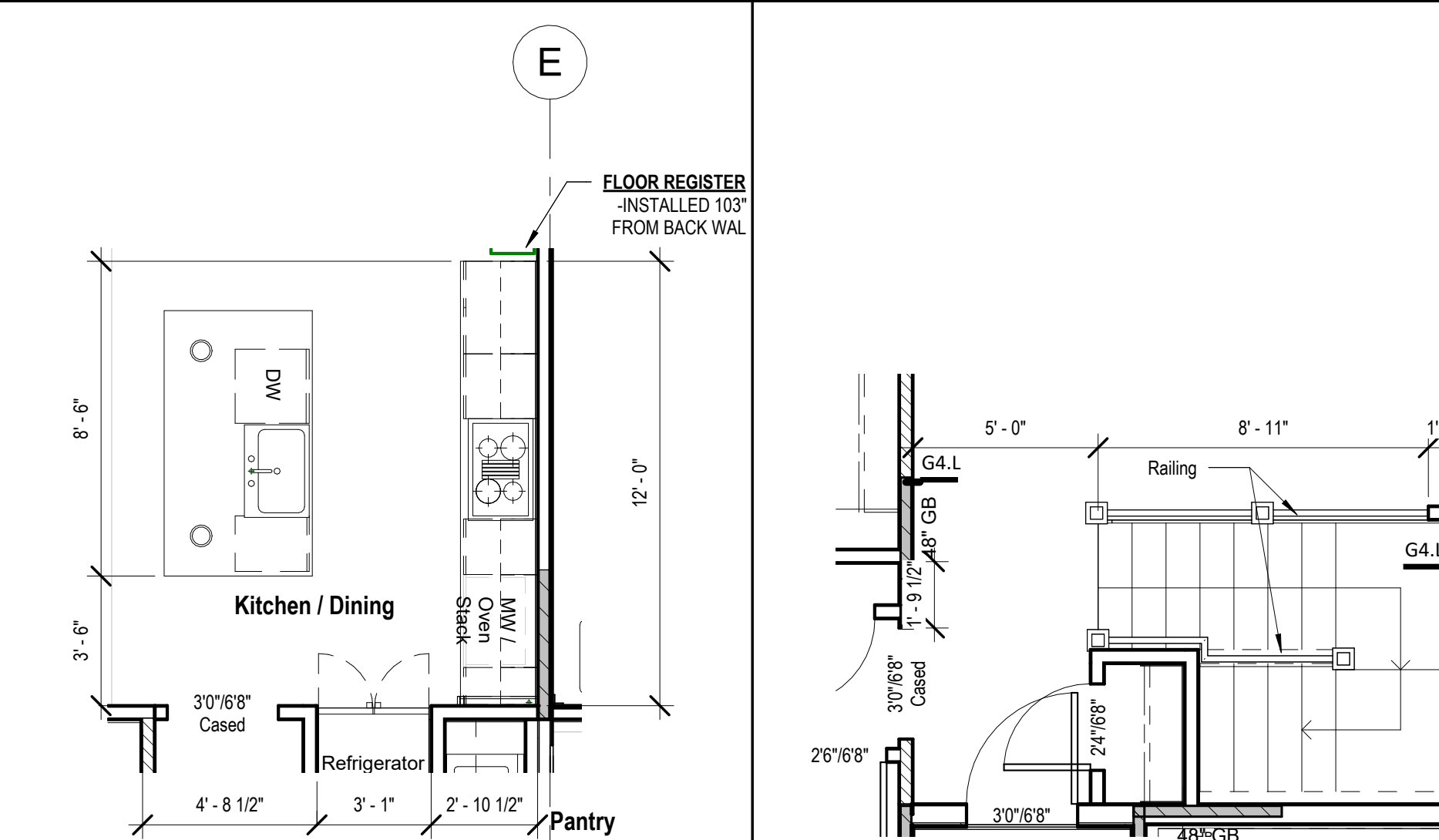
10 Main Level - Primary Bath Design + Shower HVAC
1/4" = 1'-0"



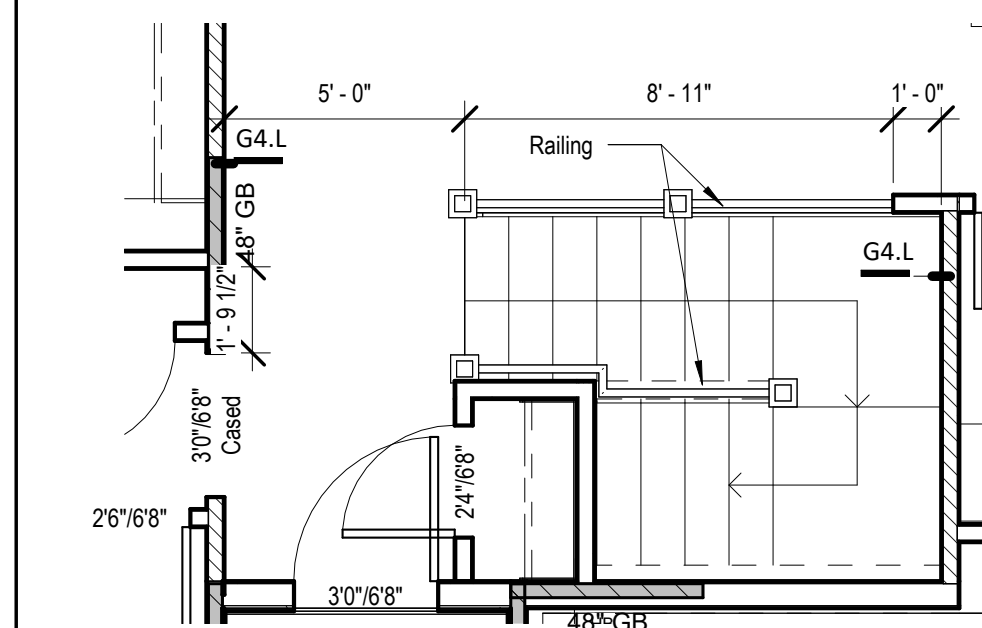
16 Basement Floor Plan - Framing for Bumpout window (STR016)
1/4" = 1'-0"



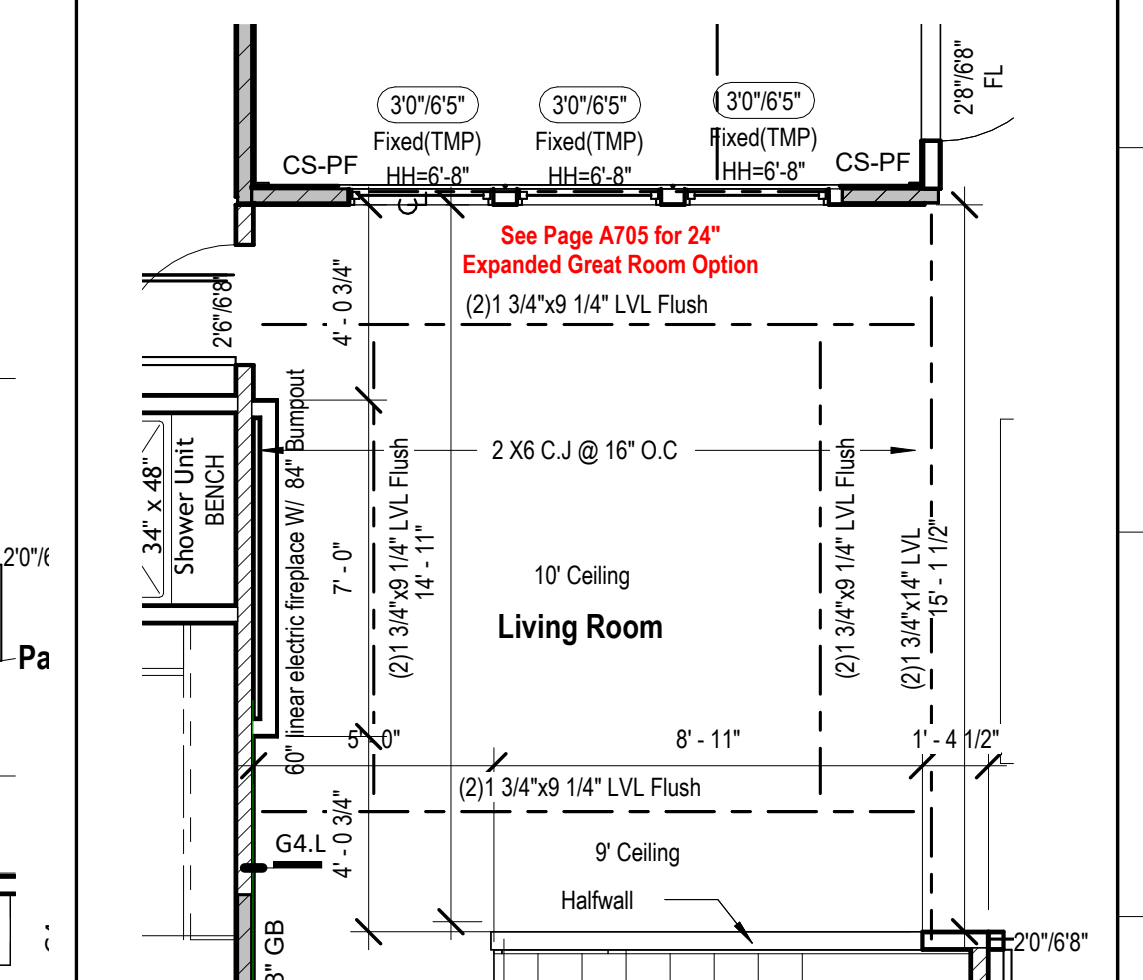
2 Floor Plan - Main Level - Primary Suite - Box Vault W/ Bumpout
(STR016+STR004)
1/4" = 1'-0"



18 Floor Plan - Kitchen - W/ 3 Car Garage - W/ Extended Pantry
(STR001)
1/4" = 1'-0"



7 Floor Plan - Main Level - Living area - Stair Railing option
1/4" = 1'-0"



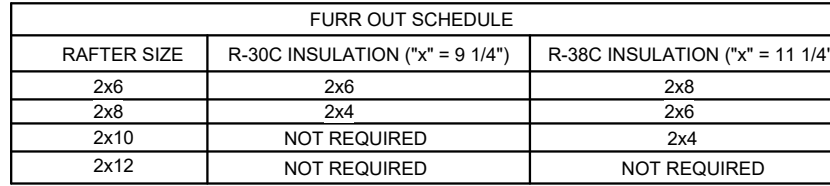
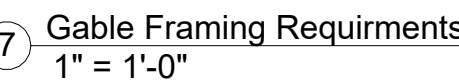
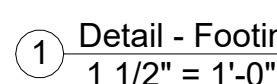
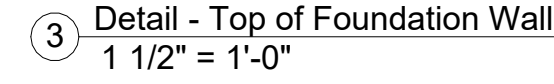
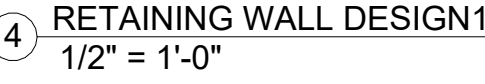
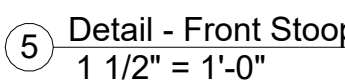
4 Floor Plan - Main Level - Living area - Box Vault & Fire Place Option (STR003)
1/4" = 1'-0"

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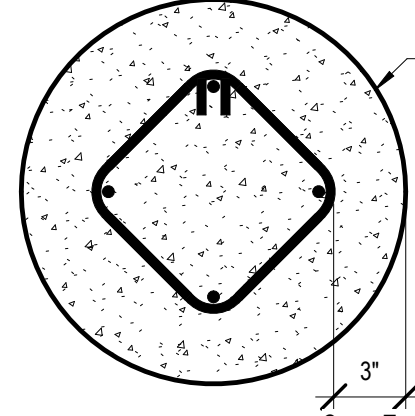
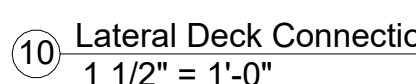
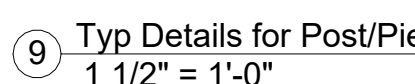
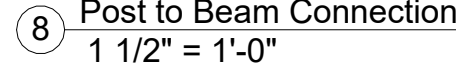
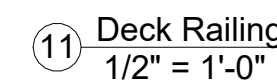
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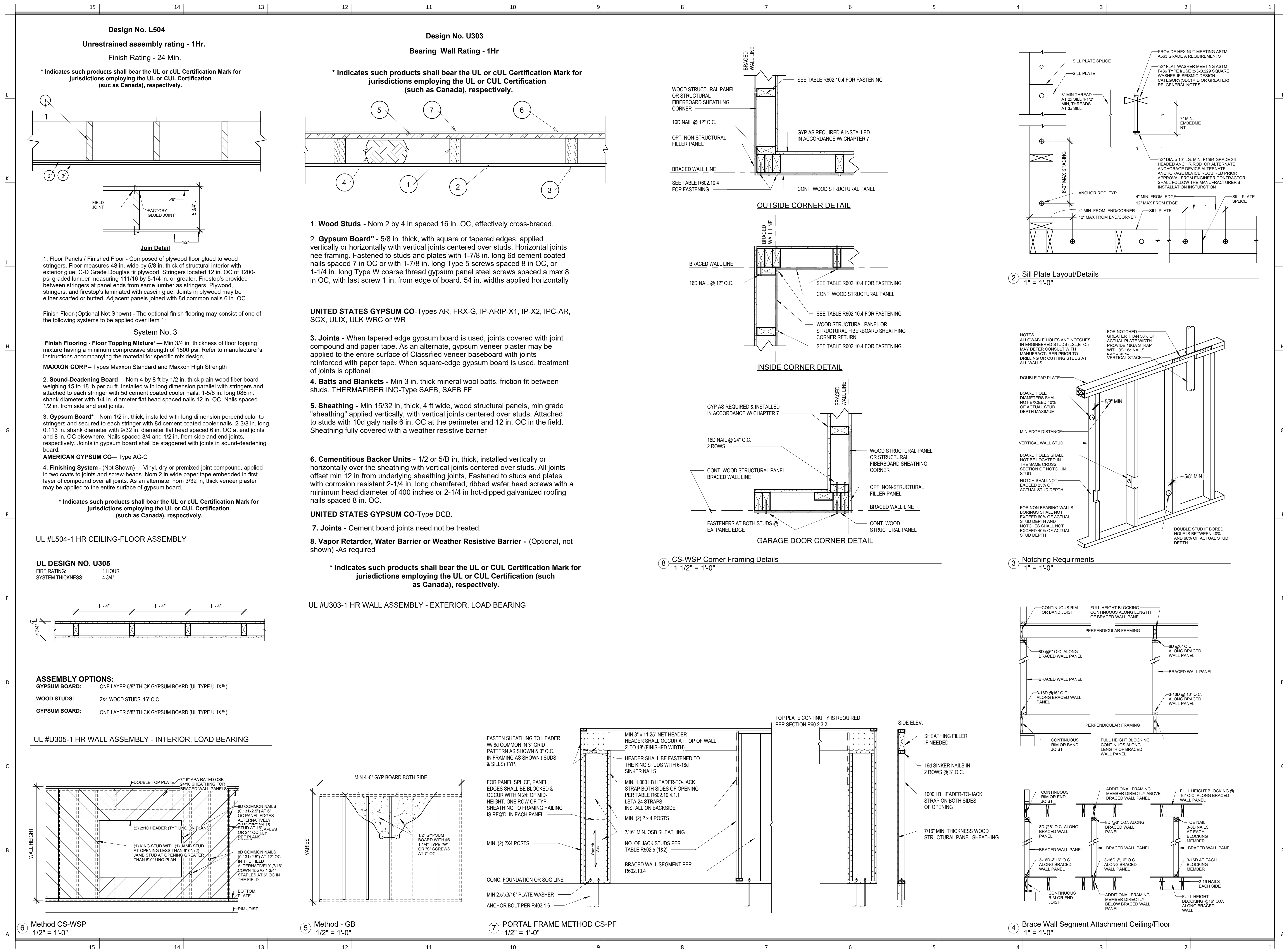
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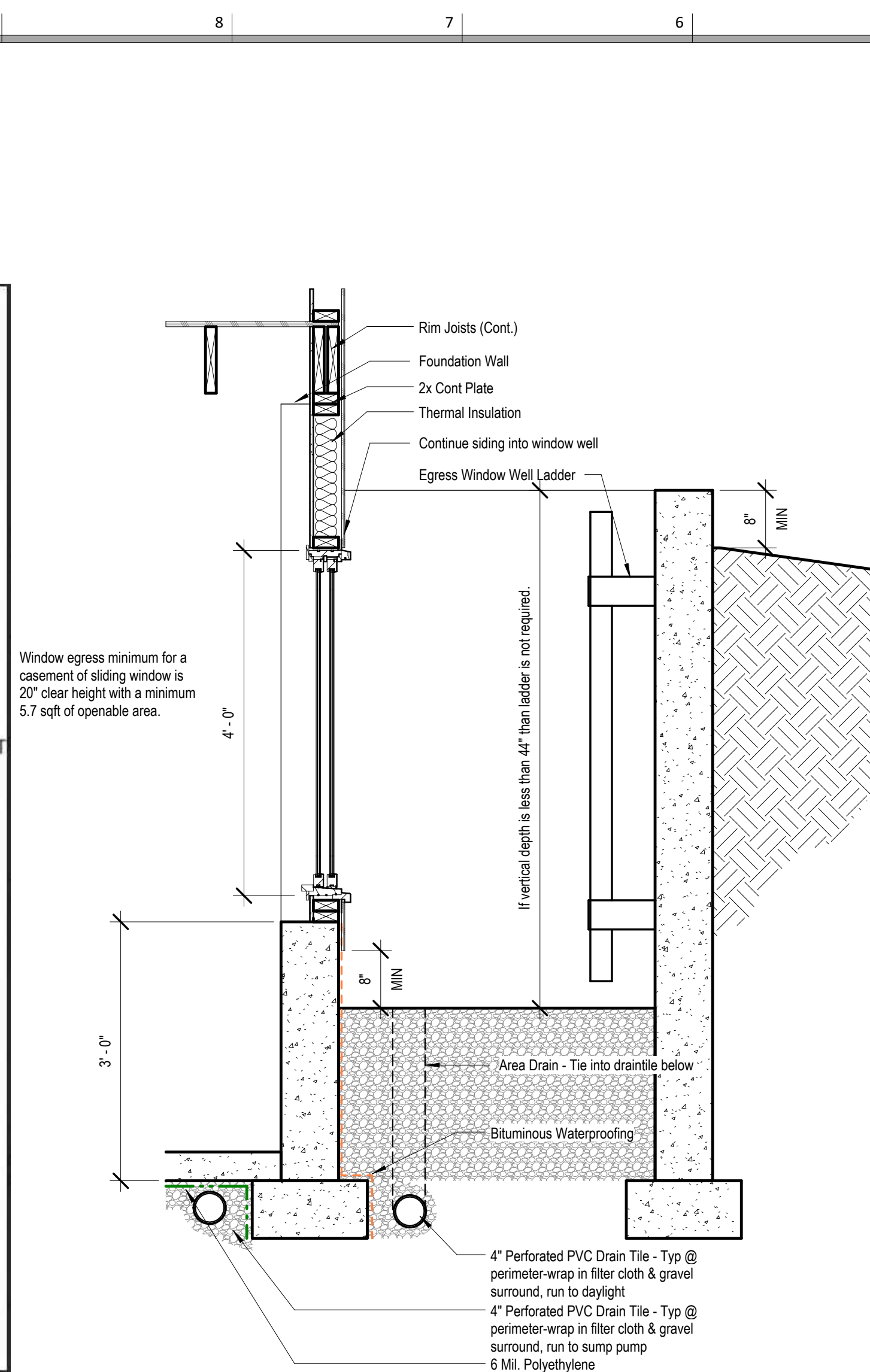
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File\Greystone Master Plan - 2015\01 - Development Series\01 - Development Series
LEE'S SUMMIT, MISSOURI
09/03/2015



12 Rafter Furr Down Requirments
1" = 1'-0"





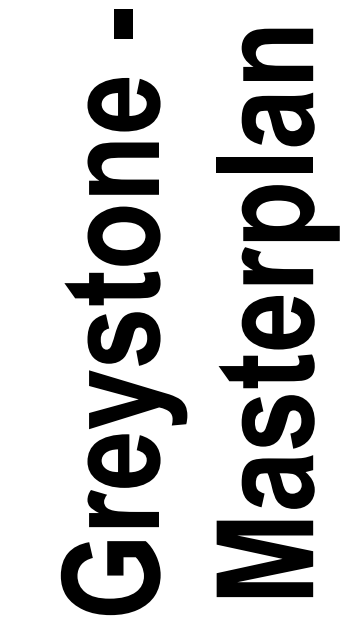


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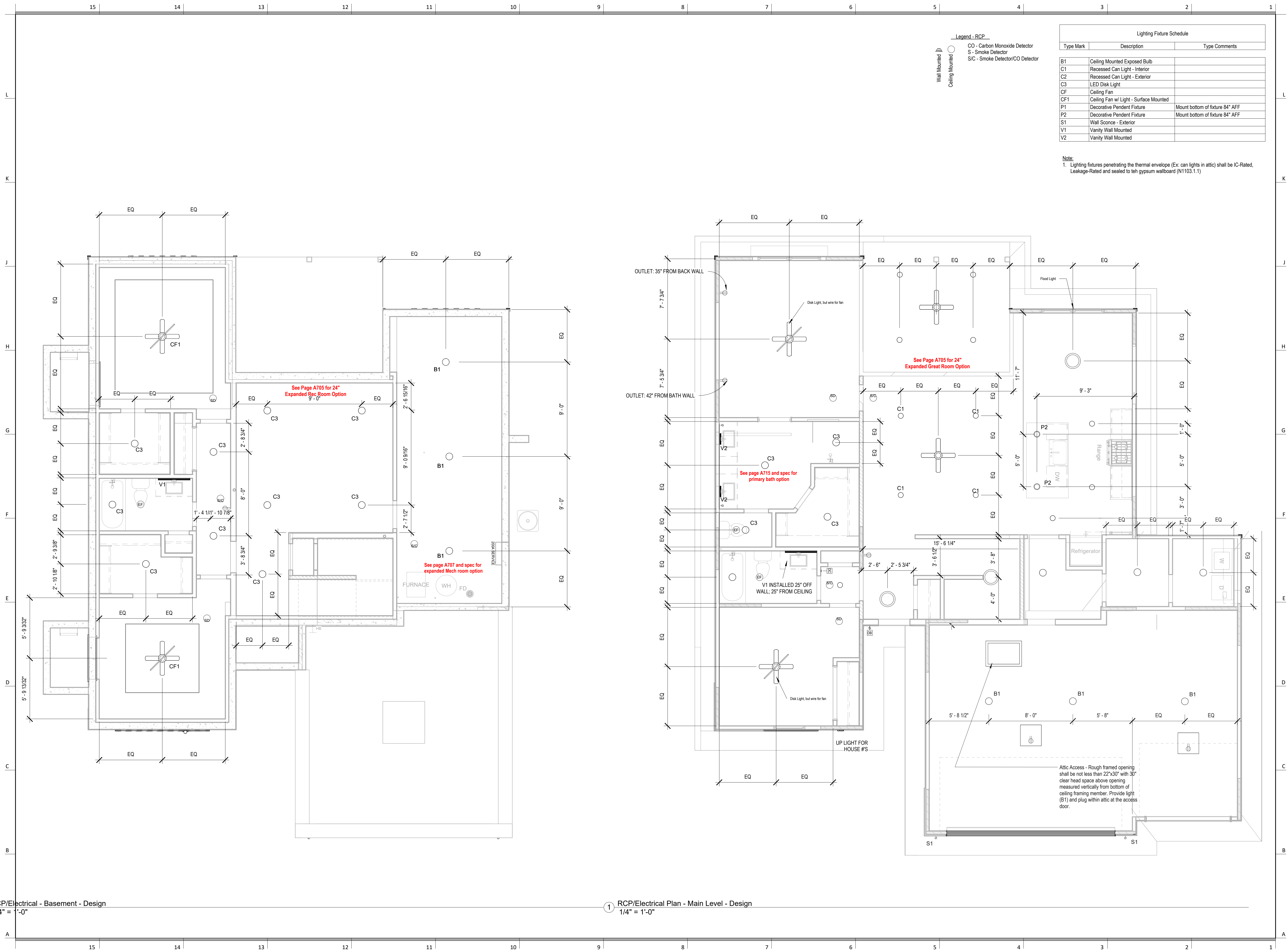
PROJECT
Address: 2618 SW Farm Field Road
Lot: 35 Hook Farms, First Plat, Lee's Summit, MO

DATE ISSUED

DRAWING NUMBER

E101.1

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 LEE'S SUMMIT, MISSOURI
 09/03/2022



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architect:
Elevate Design + Build
1040 SW Luttrell Road
Blue Springs, MO 64015
816.622.8826 voice
www.elevatedesignbuildkc.com

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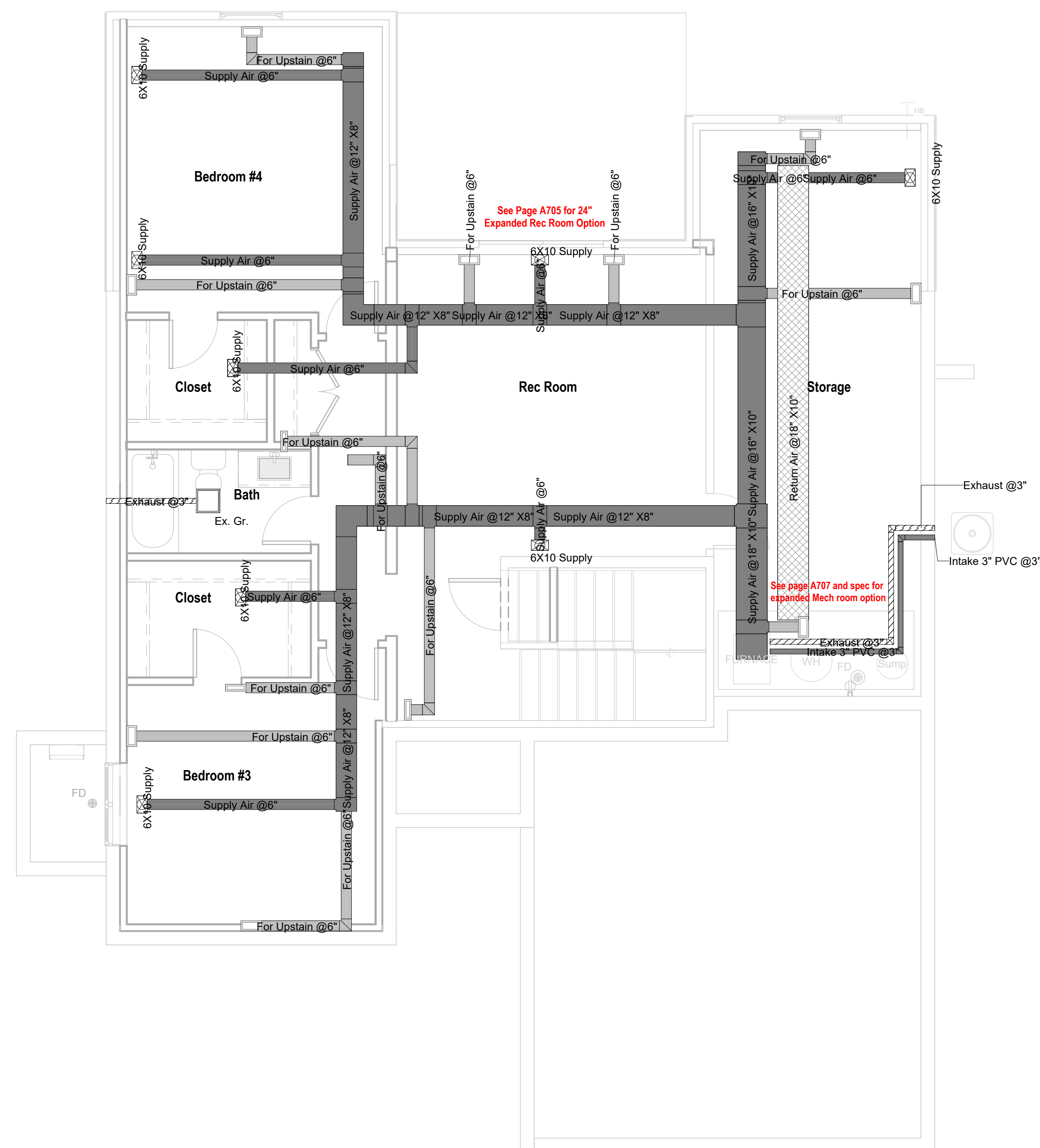
DRAWING TITLE
Floor Plan - Structural POD
Options 24" Extension HVAC

DATE ISSUED

DRAWING NUMBER

M102

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1 Basement HVAC
1/4" = 1'-0"



② Main Level Plan HVAC
1/4" = 1'-0"

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② Main Level Plumbing Plan
1/4" = 1'-0"