lululemon

PROJECT SUMMARY

STORE NAME: SUMMIT FAIR MALL

STORE NUMBER: 10864

STORE CLASSIFICATION TYPE: X-SMALL (4,100 SF)

STORE DESIGN CLASSIFICATION: TBC

SCOPE OF WORK CLASSIFICATION: NEW STORE OPENING

PROJECT ADDRESS: 910 NW BLUE PKWY,
SUITE G, LEE'S SUMMIT
MO 64086

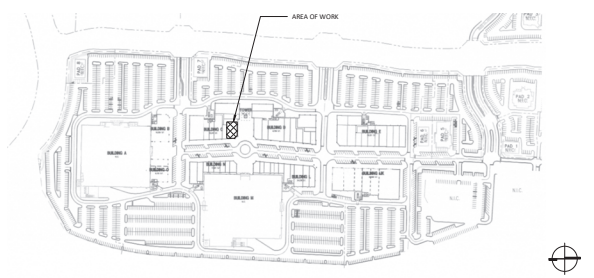
PROJECT SCOPE: WORK IS TO INCLUDE, BUT NOT LIMITED TO, INSTALLATION OF NEW INTERIOR PARTITIONS, FINISHES, FIXTURES, CEILING AND LIGHTING

STOREFRONT RENDERING

PROJECT DIRECTORY

	COMPANY NAME / CONTACT NAME	ADDRESS	TELEPHONE / EMAIL
LLL DESIGNER	LULULEMON ATHLETICA AHSAN FIDA	1280 BURRARD STREET, 10TH FLOOR VANCOUVER, BC, V6Z 1Z1	(778) 847 2241 ahsanfida@lululemon.com
LLL PROJECT MANAGER	LULULEMON ATHLETICA JESUS DE MESA	1280 BURRARD STREET, 11TH FLOOR VANCOUVER, BC, V6Z 1Z1	+1 (778) 987-7919 jdemesa@lululemon.com
LLL PROJECT SPECIALIST	LULULEMON ATHLETICA SY MISHRA	1280 BURRARD STREET, 11TH FLOOR VANCOUVER, BC, V6Z 1Z1	smishra@lululemon.com
LLL SUSTAINABILITY MANAGER	LULULEMON ATHLETICA RAJAA BADAOUI	1280 BURRARD STREET, 11TH FLOOR VANCOUVER, BC, V6Z 1Z1	1 (778) 836-5448 RBADAOUI@LULULEMON.COM
ARCHITECT	WJCA INC. JOEL C. TORIELLI	422 BOGERT AVENUE RIDGEWOOD, NJ 07450	(201) 661-1452 jtorielli@wjcainc.com
MEP ENGINEER	THOMAS FEKETE LIMITED JEFREY GUO	7181 WOODBINE AVE., UNIT 229 MARKHAM, ON L3R 1A3	+1 (905) 946-4620 EXT 222 jeffrey@tafeng.com
LANDLORD	RED DEVELOPMENT, LLC SHANE STEPHENS	2502 E. CAMELBACK ROAD SUITE 200 PHOENIX, AZ 85016	(602) 421-6932 sstephens@reddevelopment.com
DESIGNER	K PAUL ARCHITECT INC. DAVIDE MARTINO	1440 CELEBRATION BLVD. UNIT 300 CELEBRATION, FL 34747	(416) 428-3172 dmartino@kpaularchitect.com

KEY PLAN



ABBREVIATIONS

ACP	ACOUSTICAL CEILING PANEL	FNDN	FOUNDATION	OAE	OR APPROVED EQUAL
ADJ	ADJACENT	FO	FINISH OPENING	OC	ON CENTER
AFF	ABOVE FINISH FLOOR	FOH	FRONT OF HOUSE	OF	OUTSIDE FACE
ALUM/AL	ALUMINUM	FOIC	FURNISHED BY OWNER, INSTALLED BY CONTRACTOR	OPG	OPENING
B/O	BOTTOM OF	FOIO	FURNISHED BY OWNER, INSTALLED BY OWNER	PR	PATCH AND REPAIR
BOH	BACK OF HOUSE	FRGWB	FIRE RATED GWB	PREP	PREPARE
BOJ	BOTTOM OF JOIST	FRT	FIRE RETARDANT TREATED	PTD	PAINTED
BD	BOARD	FS	FRAME SIZE	PM	PROJECT MANAGER
CL	CENTERLINE	GA	GAUGE	PS	PROJECT SPECIALIST
CLO	CLOSET	GC/G.C.	GENERAL CONTRACTOR	REQ'D	REQUIRED
CLG	CEILING	GL	GLASS	RO	ROUGH OPENING
CLR	CLEAR	GWB	GYPSUM WALL BOARD	SA	SOUND ATTENUATING
CONC	CONCRETE	GYP	GYPSUM	SIM	SIMILAR
CONT	CONTINUOUS	HR	HOUR	SPEC	SPECIFICATIONS
COORD	COORDINATE	INSUL	INSULATION/INSULATING	STRUCT	STRUCTURAL
CW	CENTER ON WALL	LLD	LANDLORD	SUB-C	SUBCONTRACTOR
DAS	DIRECTLY APPLIED FINISH SYSTEM	LLL	LULULEMON	TEMP	TEMPERED
DF	DRINKING FOUNTAIN	LLL-V	LULULEMON VENDOR	TGC	TENANT'S GENERAL CONTRACTOR
DIM	DIMENSION	MAX	MAXIMUM	TME	TO MATCH EXISTING
DWG	DRAWINGS	MFR'S	MANUFACTURER'S	T/O	TOP OF
ENG	ENGINEER	MIN	MINIMUM	TOP	TOP OF PARTITION
ENG'D	ENGINEERED	MTL	METAL	TYP	TYPICAL
(E)	EXISTING	MMRGWB	MOLD AND MOISTURE RESISTANT GWB	UNO	UNLESS NOTED OTHERWISE
ETR	EXISTING TO REMAIN	MO	MASONRY OPENING	U/S	UNDERSIDE
FD	FLOOR DRAIN	MR	MOISTURE RESISTANT	W/	WITH
F/N	FINISH	(N)	NEW	WF	WATER FEATURE
FLR	FLOOR	NIC	NOT IN CONTRACT	VIF	VERIFY IN FIELD
		NTS	NOT TO SCALE		

GENERAL NOTES

A. DO NOT SCALE THE DRAWINGS.

B. VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK.

C. THE CONTRACT DOCUMENTS, WHICH INCLUDE THE AGREEMENT, THE GENERAL CONDITIONS, DRAWINGS, AND SPECIFICATIONS, ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF THE WORK AS DESCRIBED IN THE CONTRACT DOCUMENTS. NOTIFY THE ARCHITECT FOR RESOLUTION OF DISCREPANCIES PRIOR TO CONSTRUCTION.

D. GENERAL CONTRACTOR RESPONSIBLE FOR PROVIDING GENERAL SPECIFICATIONS AND INFORMATION TO ALL SUBCONTRACTORS.

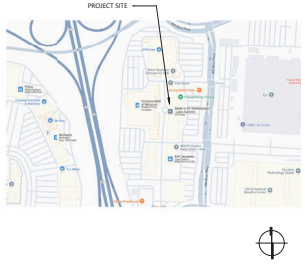
E. CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND FAMILIARIZING THEMSELVES WITH THE LANDLORD TENANT CRITERIA MANUAL AND LANDLORD RULES AND REGULATIONS FOR CONSTRUCTION. CONSULT LANDLORD FOR CONTACT INFORMATION AND FOR ANY REQUIRED SUBCONTRACTORS

F. BARRIERS: PROVIDE TEMPORARY BARRICADES, FENCES, AND COVERS AS NECESSARY TO PROTECT EXISTING FACILITIES, AND TO PREVENT PUBLIC ENTRY TO CONSTRUCTION SITE.

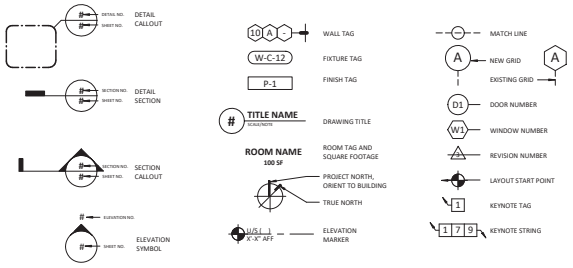
G. DUST CONTROL: PROVIDE TEMPORARY ENCLOSURES AS NECESSARY TO PREVENT PENETRATION OF DUST INTO OCCUPIED AREAS SEPARATE FROM WORK AREAS, DAMAGE TO OPERATING SYSTEMS AND COMPONENTS, AND TO CREATE ENVIRONMENTAL CONDITIONS NECESSARY FOR THE PROPER INSTALLATION OF MATERIALS AND SYSTEMS.

H. NOISE CONTROL: PROVIDE NECESSARY PRECAUTIONS AS REQUIRED BY THE OWNER AND LANDLORD.

VICINITY MAP



GRAPHIC SYMBOLS



DEFERRED PERMIT SUBMITTALS

- FIRE SPRINKLER AND ALARM SYSTEM
- SIGNAGE

SPECIAL INSPECTIONS

SPECIAL INSPECTIONS :

A. SPECIAL INSPECTIONS SHALL BE MADE AND WITNESSED BY OR UNDER THE SUPERVISION OF A REGISTERED ARCHITECT (RA) OR PROFESSIONAL ENGINEER (PE). THE INSPECTING RA OR PE SHALL BE INDEPENDENT OF THE CONTRACTOR.

B. THE FOLLOWING LIST CONTAINS THE ITEMS SUBJECT TO SPECIAL INSPECTIONS AND THE RELEVANT CODE SECTIONS:

- N/A

DRAWING INDEX

● = ISSUED OR RE-ISSUED WITH REVISION ○ = REISSUED WITHOUT REVISION ◌ = PROGRESS ONLY

SHEET	DESCRIPTION	DD	CD	PERMIT	BID	IFC							
	ARCHITECTURAL												
	A-000 SERIES - PROJECT INTRODUCTION												
A-000	COVER SHEET AND PROJECT DIRECTORY	●	●	●	●								
A-010	RESPONSIBILITY SCHEDULE, GB LIST, VENDOR DIRECTORY, AND AREA PLAN	●	●	●	●								
A-020	BUILDING CODE SUMMARY AND EGRESS PLAN		●	●	●								
A-030	ACCESSIBILITY NOTES (2009 A117.1)		●	●	●								
A-040	DEMO PLAN, RCP & ELEVATION	●	●	●	●								
A-041	DEMO ELEVATION	●	●	●	●								
A-042	FIELD VERIFICATION PLAN, ELEVATION & SECTION		●	●	●								
A-050	CONSTRUCTION BARRICADE AND WINDOW DIMS.	●	●	●	●								
	AX-100 SERIES - FOR REFERENCE ONLY												
AX-110	SURVEY DWGS FOR REFERENCE ONLY	●	●	●									
AX-120	SURVEY DWGS FOR REFERENCE ONLY	●	●	●									
AX-130	SURVEY DWGS FOR REFERENCE ONLY	●	●	●									
AX-140	SURVEY DWGS FOR REFERENCE ONLY	●	●	●									
AX-150	SURVEY DWGS FOR REFERENCE ONLY	●	●	●									
AX-160	SURVEY DWGS FOR REFERENCE ONLY	●	●	●									
	A-100 SERIES - PLANS & SCHEDULES												
A-110	(SELECT) CONSTRUCTION PLAN	●	●	●	●								
A-120	FINISH SCHEDULE	●	●	●	●								
A-121	(STANDARD) FINISH PLAN	●	●	●	●								
A-130	FIXTURE SCHEDULE	●	●	●	●								
A-131	(STANDARD) FIXTURE PLAN	●	●	●	●								
A-140	(STANDARD) POWER, COMMUNICATIONS, AND LOW VOLTAGE PLAN	●	●	●	●								
A-141	POWER AND TRENCHING / CORING DETAILS	●	●	●	●								
A-150	LIGHTING SCHEDULE	●	●	●	●								
A-151	(STANDARD) REFLECTED CEILING PLAN - LIGHTING	●	●	●	●								
A-160	(STANDARD) RCP - FINISH AND CONSTRUCTION	●	●	●	●								
A-170	(STANDARD) RCP - FIXTURE REFERENCE		●	●	●								
A-180	DOOR SCHEDULE & DETAILS	●	●	●	●								
A-181	DOOR SCHEDULE & DETAILS	●	●	●	●								
	A-200 SERIES - INTERIOR ELEVATIONS												
A-210	(STANDARD) INTERIOR ELEVATIONS - SALES AREA	●	●	●	●								
A-220	INTERIOR ELEVATIONS - BACK OF HOUSE	●	●	●	●								
	A-300 SERIES - ENLARGED PLANS												
A-310	ENLARGED FITROOM PLANS AND ELEVATIONS	●	●	●	●								
A-320	ENLARGED RESTROOM PLANS AND ELEVATIONS	●	●	●	●								
A-330	ENLARGED DRINKING FOUNTAIN PLANS AND ELEVATIONS	●	●	●	●								
	A-400 SERIES - STOREFRONT												
A-410	STOREFRONT ELEVATIONS	●	●	●	●								
A-411	STOREFRONT ELEVATION	●	●	●	●								
A-440	SIGNAGE DETAILS		●	●	●								
	A-500 SERIES - DETAILS												
A-510	PARTITION AND WALL PROTECTION DETAILS		●	●	●								
A-520	CEILING DETAILS		●	●	●								
A-530	FLOOR DETAILS		●	●	●								
A-540	(STANDARD) BACKWRAP AND 3D MANIFESTO DETAILS		●	●	●								
A-541	(STANDARD) - COMMUNITY WALL PLAN & ELEVATION		●	●	●								
A-542	(STANDARD) COMMUNITY WALL DETAILS		●	●	●								
A-543	COMMUNITY WALL DETAILS		●	●	●								
A-550	TYPICAL MILLWORK DETAILS		●	●	●								
A-551	TYPICAL MILLWORK DETAILS		●	●	●								
A-552	TYPICAL MILLWORK DETAILS		●	●	●								
	AS-100 SERIES - ARCHITECTURAL SPECIFICATIONS SECTION												
AS-110	INDEX / ARCHITECTURAL SPECIFICATIONS		●	●	●								
AS-120	ARCHITECTURAL SPECIFICATIONS		●	●	●								
AS-130	ARCHITECTURAL SPECIFICATIONS		●	●	●								
AS-140	ARCHITECTURAL SPECIFICATIONS		●	●	●								
AS-150	ARCHITECTURAL SPECIFICATIONS		●	●	●								
AS-160	ARCHITECTURAL SPECIFICATIONS - APPENDICES		●	●	●								
	ELECTRICAL DRAWINGS												
E-011	ELECTRICAL PANEL SCHEDULES AND LEGEND		●	●	●								
E-012	LIGHTING CONTROL AND SINGLE LINE DIAGRAM		●	●	●								
E-110	ELECTRICAL POWER PLAN		●	●	●								
E-120	ELECTRICAL LIGHTING PLAN		●	●	●								
E-121	ELECTRICAL LIGHTING LEGEND		●	●	●								
E-130	ELECTRICAL LOW VOLTAGE PLAN		●	●	●								
E-510	ELECTRICAL DETAILS		●	●	●								
E-511	ELECTRICAL DETAILS		●	●	●								
E-610	ELECTRICAL SPECIFICATIONS		●	●	●								
E-710	LIGHTING ALLOWANCES		●	●	●								
E-711	LIGHTING ALLOWANCES		●	●	●								
E-712	LIGHTING ALLOWANCES		●	●	●								
E-713	LIGHTING ALLOWANCES		●	●	●								
	MECHANICAL DRAWINGS												
M-110	HVAC PLAN		●	●	●								
M-111	HVAC AND SPRINKLER NOTES		●	●	●								
M-112	SPRINKLER PLAN		●	●	●								
M-610	MECHANICAL SCHEDULES AND LEGEND		●	●	●								
M-611	MECHANICAL DETAILS		●	●	●								
M-612	MECHANICAL SPECIFICATIONS		●	●	●								
	PLUMBING DRAWINGS												
P-110	PLUMBING PLAN		●	●	●								
P-111	DRAINAGE PLAN		●	●	●								
P-510	PLUMBING DETAILS		●	●	●								
P-520	PLUMBING FIXTURE SCHEDULES		●	●	●								

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1818 CORNWALL AVE.
VANCOUVER, B.C., V6J1C7

SUMMIT FAIR MALL
910 NW BLUE PKWY,
SUITE G, LEE'S SUMMIT
MO 64086

ARCHITECT
JOEL C. TORIELLI
422 BOGERT AVENUE
RIDGEWOOD, NJ 07450

MEP ENGINEER

STRUCTURAL ENGINEER

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF ARCHITECT AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY WRITTEN AGREEMENT WITH ARCHITECT.
DO NOT SCALE BLUEPRINTS.

SEAL
LICENSED NAME, ARCHITECT

ISSUED FOR PERMIT & BID

08/25/2025

DATE	DESCRIPTION
06/16/2025	ISSUED FOR DD REVIEW
08/05/2025	ISSUED FOR CD REVIEW
08/25/2025	ISSUED FOR PERMIT & BID

DRAWING INFORMATION
PROJECT #: 2412106
CHECKED BY: DM
DRAWN BY: VK

COVER SHEET AND PROJECT DIRECTORY

DRAWING NUMBER
A-000

2025-08-25 8:25:2:02 PM

GLOBAL BULLETINS

NOTE: TO BE REVIEWED BY GC AND TO AMEND / SUPERCEDE INFORMATION IN DRAWINGS; INFORMATION IN SET MAY NOT BE UPDATED

G.B. #	DESCRIPTION	G.B. #	DESCRIPTION	G.B. #	DESCRIPTION	G.B. #	DESCRIPTION
GB 22.001	TEMPLATE SET Q1 - 2025 - REV 9						

VENDOR DIRECTORY

	COMPANY NAME / CONTACT NAME	TELEPHONE / EMAIL
BARRICADE AND SALES LIGHTBOX VENDOR	BOSTON RETAIL SOLUTIONS KATHERINE VANHOOSE JOE BAKER ELISHA WESTFALL	(772) 494-8328 KVANHOOSE@BOSTONRS.COM (772) 257-7430 JBAKER@BOSTONRS.COM (772) 899-4712 EWESTFALL@BOSTONRS.COM
LIGHTING VENDOR	CSI ILLUMINATION MICHELE MCBRIDE KEITH BECKHAM	1 (817) 524-5998 MMCBRIDE@CSILLUMINATION.COM 1 (760) 936-6991 KBECKHAM@CSILLUMINATION.COM
EAS AND CCTV	TYCO/JOHNSON CONTROLS INC. LYNN SEILO CECILIA MORENO JASON MILLS	1 (206) 225-8410 LYNN.SEILO@JCI.COM 1 (905) 452-2936 CECILIA.MORENO@JCI.COM 1 (905) 452-2936 JASON.MILLS@JCI.COM
TRAFFIC COUNTER	SHOPPERTRAK (TRAFFIC COUNTER) AURIEL WOODS	(312) 676-8246 AMABONE@SHOPPERTRAK.COM
FIXTURE VENDOR	WAM INDUSTRIES R WOODS PEDRO GUERREIRO P RANSTOLLER	1 (416) 741-0660 RWOODS@WAMINDUSTRIES.COM PEDRO GUERREIRO PGUERREIRO@WAMINDUSTRIES.CA PRANSTOLLER@WAMINDUSTRIES.CA
AUDIO VENDOR	SPENCER INTERACTIVE	LULULEMONTEAM@SPENCERTECH.COM
SIGNAGE VENDOR	JONES SIGN REGIONS: MA, SE, NE, CE, CAN E, +ALL WITH BACK-LIT PANELS OR 80" YOGO	LULULEMON@JONESSIGN.COM
	SIGNTECH REGIONS: CAN W, NW, SW, CW, CS, CA EMILY BLAISDELL	1 (619) 527-6100 X194 EBLAISDELL@SIGNTECH.COM
BOH SHELVING VENDOR	PIPP BRITTANY EASTMAN	1 (616) 988-4067 BEASTMAN@PIPPMOBILE.COM
BENJAMIN MOORE NATIONAL ACCOUNT PRODUCT ORDER CODE: NA048 DIRECT ORDER LINE: 1.877.6.COLOR.6	BENJAMIN MOORE & CO. LTD. MICHELLE.GUENTHER, MATT EKINCI	1(778)-228-3630 MICHELLE.GUENTHER@BENJAMINMOORE.COM 1(201)-788-3282 MATT.EKINCI@BENJAMINMOORE.COM
DAL TILE NATIONAL ACCOUNT DIRECT ORDER EMAIL: NATIONAL.ACCOUNTS@DALTILE.COM DIRECT ORDER LINE: 1.877.556.5728	DAL TILE KAREN FOURCHALK, ARCHITECTURAL REP	1 (604) 251-8995 CELL: (604)861-1718
BURGLAR ALARM	JOHNSON CONTROLS INC. USA: SHANNON GREGG LYDIA FINLEY	(817) 913-2350 SHANNON.GREGG@JCI.COM (414) 524-2644 LYDIA.GRENAWAY@JCI.COM
	CAN: JESENIA DIEZ	(438) 820-8615 JESENIA.DIEZ@JCI.COM
LOW VOLTAGE AND NETWORK	SPENCER TECHNOLOGIES	LULULEMONTEAM@SPENCERTECH.COM
BRAND SCREEN	DIVERSIFIED USA: CARSON BOYLES CAN: VISH AMIN	LULULEMONTEAM@DIVERSIFIEDUS.COM CBOYLES@ONEDIVERSIFIED.COM (336) 580-4567 VAMIN@ONEDIVERSIFIED.COM (905) 502-110
DOOR CORES	INSTAKEY INSTAKEY SECURITY SYSTEMS KAYLA MENDOZA	P: 303-761-9999, F: 303-761-6359 https://info.instakey.com/en/review-instakey
LULULEMON IT	DANIEL ROBERTS	1 (604) 424-0025 DANIELROBERTS@LULULEMON.COM ITNSOSUPPORT@LULULEMON.COM
TELEPHONE LINES	GRANITE	LULULEMONPM@GRANITENET.COM
BUNZL RETAIL SERVICES	BUNZL RETAIL SERVICES KLESIA ALMAGUER	847.583.3622 KLESIA.ALMAGUER@BUNZLBRS.COM
LULULEMON ASSET PROTECTION	VICTORIA MCKAY NELSON LINDQUIST	VMCKAY@LULULEMON.COM NLINDQUIST@LULULEMON.COM
ARC PRINT	ANGELA YEASTING JENNY HA	(604) 836-6049, ANGELA.YEASTING@E-ARC.COM (604) 293-0029, JENNY.HA@E-ARC.COM
OMBRAE STOREFRONT	KEITH PANEL SYSTEMS (KPS) BUSE GULER 400-3811 NORTH FRASER WAY BURNABY, BC, CANADA V5J 5J2 WWW.KEITHPANEL.COM	604-987-4499 BUSEG@KEITHPANEL.COM
ICON	ICON DIGITAL PRODUCTIONS INC. BELISE ABWUNZA	BELISE@ICONDIGITAL.COM, (416) 561-5928 WWW.ICONDIGITAL.COM, (905) 889-2800 EXT 225

LANDLORD (LLD) SUBCONTRACTORS AS REQUIRED

SEE ALSO LLD CONSTRUCTION RULES AND REGULATIONS	COMPANY NAME / CONTACT NAME	TELEPHONE / EMAIL
FIRE ALARM	KANSAS CITY FIRE & SECURITY, LLC	(913) 780-5237 OR (417) 623-3584 bkarl@marmicfire.com kquinlan@marmicfire.com
SPRINKLER	ABSOLUTE FIRE DOUG MASON	(816) 737-9991 sprinklerduo@sbcglobal.net
ROOFING	SCHEFERS ROOFING COMPANY LANCE SCHEFERS OR BRIAN GEDWILLO	(816) 847-1002 lance@schefersroofing.com briang@schefersroofing.com
MUSIC	SOUND PRODUCTS MARK RAU	(913) 599-3666 x 104 mrau@soundproductsinc.com

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RESPONSIBILITY SCHEDULE

NOTE: GC TO ASSUME RESPONSIBILITY FOR ALL ITEMS REPRESENTED IN DRAWINGS AND NOT LISTED IN THE SCHEDULE.

RESPONSIBLE PARTY ABBREVIATIONS: LLL: LULULEMON LLD: LANDLORD GC: GENERAL CONTRACTOR LLL-V: LULULEMON VENDOR

NOT USED

CSI DIVISION	DESCRIPTION	FURNISHED	INSTALLED	SUBMITTAL REQUIRED	NOTES
1	**GENERAL CONDITIONS**				
	SUBMITTALS	GC	GC		SEE AS-110 SECTION 013.1.1
	CONSTRUCTION SCHEDULES	GC	GC	●	
	TEMPORARY FACILITIES, SERVICES AND CONTROLS	GC	GC	●	SEE AS-110 SECTION 015.1.0 SUBMIT TO PM AND LULULEMON PRIOR TO CONSTRUCTION AND WEEKLY
	PROJECT CLOSEOUT	GC	GC	●	SEE AS-110 SECTION 017.1.5
	REMOVE EXISTING INTERIOR PARTITIONS, AND FINISHES	GC	GC		SEE A-040
	REMOVE EXISTING FIXTURES, FINISHES, AND EQUIPMENT	GC	GC		SEE A-040
	REMOVE AND CAP (E) PLUMBING, ELECTRICAL	GC	GC		SEE A-040
	REMOVE EXISTING STOREFRONT	GC	GC		SEE A-040
	TEMPORARY ELECTRIC	GC	GC		SEE AS-110 SECTION 015000 (D)
	TEMPORARY HEATING AND COOLING	GC	GC		SEE AS-110 SECTION 015000 (C)
	LEGAL DISPOSAL OF ALL WASTE MATERIALS	GC	GC		SEE AS-110 SECTION 017.4.19 SUSTAIN BEST PRACTICES
	INSTALLATION OF BARRICADE	LLL-V or GC or LLD	LLL-V or GC or LLD		REMOVAL BY GC, SEE A-050
	TEMPORARY ENCLOSURE OF FENCE	GC	GC		REMOVAL BY GC, SEE A-050
	TEMPORARY SIGNS AND WINDOWS GRAPHICS	LLL-V	LLL-V		REMOVAL BY GC, SEE A-050
	TEMPORARY WINDOW PAPER	LLL-V	GC		SEE A-050, REMOVAL BY GC
	INTERIOR PARTITIONS	GC	GC		SEE A-110
	DEMISING PARTITIONS				
	FRAMING @ DEMISING WALL	LLD	LLD		SEE A-110
	GYPSUM BOARD TENANT SIDE	GC	GC		SEE A-110
	PATCH AND REPAIR GYPSUM BOARD TENANT SIDE	GC	GC		SEE A-110
	U.L. PENETRATION CAULKING AT RATED ASSEMBLIES	GC	GC		SEE A-110
3	**CONCRETE**				
	CONCRETE SAW CUTTING AND PATCHING	GC	GC		AS REQUIRED, SEE A-040 AND A-141
	CONCRETE SLAB IN-FILL	GC	GC	●	AT ANY SLAB LEAVE OUT LOCATIONS
	CONCRETE SLAB LEVELING AND REPAIR	GC	GC		AS REQUIRED
	CONCRETE TOPPING / POLISHING	GC	GC	●	AS REQUIRED, SEE A-120
	CONCRETE STOREFRONT WALL PLASTER	GC	GC	○	SUBMITTAL AND MOCK-UP REQUIRED, SEE A-120
	EXISTING CONCRETE FLOOR	GC	GC	●	AS REQUIRED, SEE A-120
5	**METALS**				
	STRUCTURAL STEEL, JOIST, AND DECKING	GC	GC		AS REQUIRED, SEE STRUCTURAL DWGS
	STRUCTURAL METAL FRAMING	GC	GC		AS REQUIRED, SEE STRUCTURAL DWGS
	METAL STUDS, DRYWALL CHANNELS AND FURRING	GC	GC		REFERENCE STUD CHART, SEE A-110
	SHEET METAL BACKING/BLOCKING STRIPS	GC	GC		SEE A-500 SERIES DRAWINGS
	BRAKE METAL	GC	GC	●	SEE A-120 FOR FINISH SCHEDULE AND SEE A-400 SERIES FOR DETAILS
	OMBRAE PERFORATED METAL PANELS	LLL-V	GC	○	SEE A-120 FOR FINISH SCHEDULE AND SEE A-400 SERIES FOR DETAILS
6	**WOOD AND PLASTICS**				
	ROUGH CARPENTRY AND BLOCKING AND BACKING	GC	GC		SEE A-500 SERIES DRAWING FOR BLOCKING DETAILS
	TELEPHONE AND ELECTRICAL BACK BOARDS (PAINTED)	GC	GC		FIRE RATED TREATED WOOD, SEE ELECTRICAL DETAIL 1/E-510
	FINISH CARPENTRY	GC	GC		SEE AS-130 SECTION 062.1.0
	MILLWORK FIXTURES	LLL-V	GC	●	CONFIRM WITH LULULEMON, SEE A-130 FIXTURE SCHEDULE
	STAFF ROOM MILLWORK, HEAVY DUTY SHELVING AND BRACKETS	LLL-V/GC	GC	●	COORDINATE WITH MILLWORK VENDOR (LLL-V), SEE A-130
	OFFICE MILLWORK, HEAVY DUTY SHELVING AND BRACKETS	GC	GC	●	SEE A-130
	SPECIALTY WOOD WALL FINISHES	LLL-V/GC	GC	●	SEE A-120 AND A-541 FOR ADDITIONAL INFO
	STOREFRONT MILLWORK	GC	GC	○	SEE A-120 AND A-400 SERIES FOR ADDITIONAL INFO
7	**THERMAL AND MOISTURE PROTECTION**				
	INSULATION	GC	GC		TO MATCH EXISTING
	FIRESTOPPING	GC	GC		TO MATCH EXISTING
	FLASHING AND SHEET METAL	GC	GC		TO MATCH EXISTING.
	JOINT SEALERS	GC	GC		TO MATCH EXISTING
	EXIST. ROOF, INSTALL CURBS/JACKS, PATCH ROOF	GC	GC		LLD APPROVED ROOF CONTRACTOR. REFER TO STRUCTURAL IF APPLICABLE
	WATERPROOF MEMBRANE AT RESTROOM AND MOP SINK	GC	GC		SEE A120
8	**DOOR AND WINDOWS (OPENINGS)**				
	HOLLOW METAL DOORS AND FRAMES	GC	GC	●	SEE A-180, A-181 DOOR SCHEDULE AND SEE AS-140 SECTION 082.3.1
	WOOD DOORS AND FRAMES	GC	GC	●	SEE A-180, A-181 DOOR SCHEDULE AND SEE AS-140 SECTION 082.2.1
	FITROOM WOOD DOORS AND FRAMES	LLL-V	GC	●	SEE A-180, A-310 AND SEE AS-140 SECTION 082.2.1 (GC TO PROVIDE LEVERS)
	ACCESS DOORS AND ACCESS PANELS	GC	GC		SEE A-170, A-180, A-181 DOOR SCHEDULE AND SEE AS-140 SECTION 083.1.16
	STOREFRONT SYSTEM / GLAZING	GC	GC	○	SEE A-120 FINISH SCHEDULE, A-400 SERIES, AS-130, AND AS-140
	FINISH HARDWARE	LLL-V/GC	GC	●	SEE A-180, A-181 DOOR SCHEDULE
	OVERHEAD / SIDE-FOLDING GRILLE	GC	GC	○	SEE A-180, A-181 DOOR SCHEDULE
	WATERPROOF MEMBRANE AT SF3 (OMBRAE PANELS)	GC	GC	○	SEE A-120 FINISH SCHEDULE

CSI DIVISION	DESCRIPTION	FURNISHED	INSTALLED	SUBMITTAL REQUIRED	NOTES
9	**FINISHES**				
	GYPSUM BOARD ASSEMBLIES	GC	GC		SEE A-110, A-510, A-520, AND AS-140 SECTION 092.5.0
	ACOUSTICAL CEILING ASSEMBLIES	GC	GC		SEE A-120 FINISH SCHEDULE, A-160, AND AS-140 SECTION 095.1.0
	WALL COVERINGS	LLL-V	LLL-V	●	SEE A-120
	FLOOR FINISHES	LLL-V/GC	GC		SEE A-120
	FLOOR PREPARATION AND SUBFLOORING	GC	GC		SEE A-530, AS-130, AND AS-140 FOR ADDITIONAL INFO
	PAINT	GC	GC		SEE A-120, A-160, AND AS-140 SECTION 099.1.2.1
	PORCELAIN TILE - RESTROOM / HALLWAY	GC	GC		SEE A-120
	CERAMIC TILE	GC	GC		SEE A-120
	TERRAZZO/PORCELAIN SALES FIELD TILE	LLL	GC		SEE A-120
	GROUT	GC	GC		SEE A-120
	FRP, CORNER GUARDS, AND WALL CAPS (BACK OF HOUSE)	GC	GC		SEE A-120 AND A-510 (FRP-1, WP-6, AND WP-7)
	CORNER GUARDS (FRONT OF HOUSE)	LLL-V	GC		SEE A-120 AND A-510 (WP-1)
	CORNER GUARDS (MUD-IN)	GC	GC		SEE A-120 AND A-510 (WP-5)
	WALL END PLATE	LLL-V	GC	●	SEE A-120 AND A-510 (WP-4)
	VINYL BASE	GC	GC		SEE A-120 AND A-510
	WALK OFF MAT	GC	GC		SEE A-120
	THRESHOLDS AND TRANSITION STRIPS	GC	GC		SEE A-120, A-530
	GWB REVEALS (STANDARD STORES)	GC	GC		SEE A-541 FOR DETAILS AT COMMUNITY WALL
	INTERIOR WOOD PANELING AND METAL TRIMS	LLL-V	GC	●	SEE A-541 FOR DETAILS AT COMMUNITY WALL
	INTERIOR ACRYLIC PANELING AND METAL TRIMS	LLL-V	GC	○	SEE A-541 FOR DETAILS AT COMMUNITY WALL
10	**SPECIALTIES**				
	AWNINGS	LLL-V	LLL-V	●	CONFIRM WITH LULULEMON
	STOREFRONT SIGNS	LLL-V	LLL-V	●	COORDINATE WITH LLL-V SHOP DRAWINGS
	STOREFRONT SIGN WIRING	GC	GC		COORDINATE WITH SIGNAGE VENDOR, SEE ELECTRICAL SHEET E-120
	FIRE EXTINGUISHERS AND CABINETS	GC	GC	●	COORDINATE WITH LOCAL AUTHORITIES HAVING JURISDICTION
	RESTROOM ACCESSORIES	GC	GC		SEE A-130 AND A-320
	RESTROOM SIGNS	GC	GC	●	SEE SHEET A-030
	HAND DRYERS	LLL-V	GC		GC TO COORDINATE WHEN REQUIRED, SEE A-130 AND A-320
	APPLIED FITROOM MIRRORS	GC	GC		SEE A-130, A-180, A-310, A-510, AND AS-140
	FRAMED MIRRORS	LLL-V/GC	GC		MIRRORS BY GC AND FRAMES BY LLL-V UNO, SEE A-130 AND AS-140
	SALES / STOREFRONT LIGHTBOXES	LLL-V	LLL-V/GC		SEE A-130, A-140, A-551, POWER OUTLETS BY GC, SEE A-140 AND ELEC DWGS
	STOREFRONT DISPLAY HARDWARE	GC	GC		SEE A-521, RECESSED TRACK AND POWER FEED AT CEILING BY GC FOR LLL-V WINDOW DISPLAY (GRAPHICS AND HANGERS BY LLL-V) MANUF: ARAKAWA CRC RECESSED CEILING TRACK, SEE SHEET A-160 FOR REQUIRED LENGTHS: FINISH: CLEAR ANODIZED
	GRAPHIC FILM / GLAZING SAFETY DOTS	LLL-V	LLL-V		SEE A-120
	RFID SHIELDING	GC	GC		SEE A-110, A-181 and AS-160 APPENDIX B
	SECURITY GLAZING FILM	GC	GC		SEE A-120 AND A-180
	STOREFRONT BACKLIT PANELS	LLL-V	LLL-V	○	SEE A-120, A-140, A-150, A-151, A-410 AND ELECTRICAL DWGS SEE AS-160 APPENDIX C FOR GC PRE-INSTALL CHECKLIST
11	**EQUIPMENT**				
	COMPUTERS	LLL-V	LLL-V		CONDUIT BY GC, SEE E-011
	MUSIC SYSTEM	LLL-V	LLL-V/GC		CONDUIT BY GC, SEE E011. SPEAKER PANS & BRIDGES SUPPLIED BY LLL-V & INSTALLED BY GC. SPEAKERS INSTALLED BY LLL-V
	CASH REGISTER	LLL-V	LLL-V		CONDUIT BY GC, SEE E-011
12	**FURNITURE**				
	BRAND SCREEN	LLL-V	LLL-V		CONDUIT BY GC, SEE A-540, 3/E-510
	MISCELLANEOUS	LLL-V	GC		SEE A-130, A-210, A-220
	CASH ART	LLL-V	LLL-V /GC		SEE A-130, A-210, A-220
	ARTWORK OTHER	LLL-V	LLL-V		SEE A-130, A-210, A-220
	BULLETIN BOARDS / MARKER BOARDS	LLL-V	GC		SEE A-130, A-210, A-220
	SAFES AND DROP BOXES	LLL-V	GC		SAFE BOLTED TO FLOOR BY GC
	OFFICE AND STAFF ROOM FURNISHINGS	LLL-V / GC	GC		SEE A-130, A-220
15	**MECHANICAL**				
	SEE MECHANICAL SHEET M-610 FOR MECHANICAL AND PLUMBING RESPONSIBILITY SCHEDULE				
16	**PLUMBING**				
	SEE MECHANICAL SHEET M-610 FOR MECHANICAL AND PLUMBING RESPONSIBILITY SCHEDULE				
17	**ELECTRICAL**				
	SEE ELECTRICAL SHEET E-010 RESPONSIBILITY SCHEDULE				
18	**FIRE PROTECTION SYSTEMS**				
	SEE ELECTRICAL AND MECHANICAL SHEETS E-010 AND M-610 FOR MECHANICAL AND PLUMBING RESPONSIBILITY SCHEDULE				

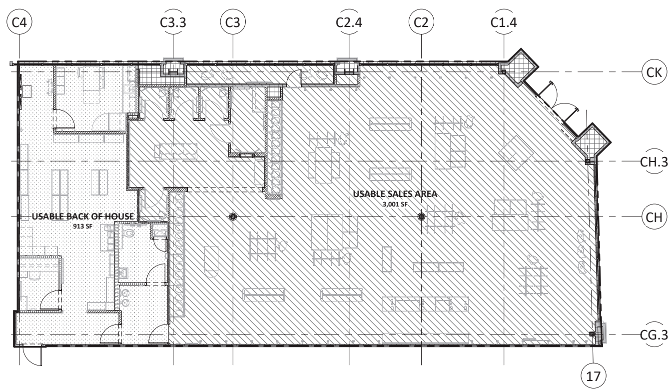
AREA PLAN MEASUREMENT SUMMARY

NOTE: PER BOMA STANDARDS, MEASURE TO C.L. OF DEMISING WALLS AT ADJACENT TENANT SPACES OR OUTSIDE FACE OF NON-SHARED PERIMETER WALLS. VOIDS TO BE INCLUDED IN GROSS LEASABLE AREA

LEASABLE AREA	AREA (SF)	SF %	LINE TYPE & HATCH
LEASABLE SALES AREA	3,153 SF	77%	
LEASABLE BACK OF HOUSE	947 SF	23%	
TOTAL LEASABLE AREA	4,100 SF	100%	

NOTE: INTERNAL AREA TABLE BELOW IS PROVIDED FOR LULULEMON USE, MEASURE TO INSIDE FACE OF DEMISING WALLS AT ADJACENT TENANT SPACES AND PERIMETER WALLS. MEASURE TO C.L. OF WALLS WITHIN TENANT SPACE DO NOT INCLUDE VOIDS IN USABLE AREA

USABLE AREA	AREA (SF)	SF %	LINE TYPE & HATCH
VOID AREA	**186 SF**	5%	
USABLE SALES AREA	3,001 SF	73%	
USABLE BACK OF HOUSE	913 SF	22%	
TOTAL AREA	4,100 SF	100%	



1 USABLE AREA PLAN
SCALE: 1/8" = 1'-0"

lululemon
1818 CORNWALL AVE.
VANCOUVER, B.C., V6J1C7

SUMMIT FAIR MALL
910 NW BLUE PKWY,
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STRUCTURAL ENGINEER

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SEAL
LICENSED NAME, ARCHITECT

ISSUED FOR PERMIT & BID

08/25/2025

DATE	DESCRIPTION
06/16/2025	ISSUED FOR DD REVIEW
08/05/2025	ISSUED FOR CD REVIEW
08/25/2025	ISSUED FOR PERMIT & BID

DRAWING INFORMATION
PROJECT #: 2412106
CHECKED BY: DM
DRAWN BY: VK

RESPONSIBILITY SCHEDULE, GB LIST, VENDOR DIRECTORY, AND AREA PLAN

DRAWING NUMBER
A-010

LEGEND

NOTE: SEE A-150 LIGHTING SCHEDULE FOR EMERGENCY AND EXIT LIGHTING SPECIFICATIONS

EX	EXIT SIGN
	PATH OF EGRESS
44" CLEAR	PATH OF EGRESS: 44" CLEAR WIDTH
	REMOTE POINT
FE	FIRE EXTINGUISHER

EGRESS PLAN SUMMARY NOTES:

A. THIS DRAWING REPRESENTS A DESIGN DIAGRAM AND DOES NOT REPRESENT A DEFINITIVE PLAN FOR THE EXACT LOCATION AND EXTENT OF THE FIRE AND LIFE SAFETY FEATURES REPRESENTED ON THIS DRAWING. SEE THE APPROPRIATE DRAWINGS PREPARED BY THE SPECIFIC DISCIPLINE TO DETERMINE THE EXACT LOCATION AND EXTENT OF FIRE AND LIFE SAFETY FEATURES.

B. EGRESS PLAN INDICATES CRITICAL LOCATIONS FOR TRAVEL DISTANCES, DEAD END CORRIDORS AND COMMON PATH OF TRAVEL. REFER TO ADDITIONAL DRAWINGS THIS SET FOR CONSTRUCTION PLANS, NOTES ETC.

C. FIRE EXTINGUISHERS TO BE SPACED WITHIN 75'-0" OF ANY POINT ON THE FLOOR.

D. FIRE EXTINGUISHER MOUNTED AT 3'-6" ABOVE FLOOR MAX.

E. ACCESSIBLE ROUTE OF TRAVEL: TRAVEL SLOPES NOT TO EXCEED RUNNING SLOPE OF 1:20 (5%), CROSS SLOPE NOT TO EXCEED SLOPE OF 1:48 (2%), MAX.

F. PROVIDE 'EXIT' AND 'EXIT ROUTE' TACTILE SIGNAGE AS REQUIRED BY CODE.

BUILDING CODE SUMMARY

PROJECT DESCRIPTION	ALLOWABLE	ACTUAL
CONSTRUCTION CLASSIFICATION	EXISTING TYPE II-A BUILDING	EXISTING TYPE II-A BUILDING, NO CHANGE
BUILDING HEIGHT	SINGLE STOREY	SINGLE STOREY EXISTING, NO CHANGE
BUILDING AREA	4,100 SF	4,100 SF EXISTING, NO CHANGE
HIGH RISE OR COVERED MALL	EXTERIOR MALL	
SPRINKLERED	THE EXISTING BUILDING IS FULLY SPRINKLERED AND ALL MODIFICATIONS FOR NEW DESIGNS WILL CONFORM TO NFPA 13	
USE GROUP AND OCCUPANCY CLASSIFICATION	NOT REQUIRED	
SCOPE OF WORK STORY	GROUP 'M' MERCANTILE - NO CHANGE IN USE GROUP	
TENANT AREA	LEASABLE SALES AREA 3,153 SF LEASABLE BACK OF HOUSE 947 SF GROSS LEASABLE AREA 4,100 SF	
NUMBER OF EMPLOYEES	NO BUILDING CODE REQUIREMENT	N/A

OCCUPANCY CALCULATIONS	
TOTAL OCCUPANTS	SALES: 3,185 SF/60 GROSS SF PER OCCUPANT = 54 STOCKROOM: 944 SF/300 GROSS SF PER OCCUPANT= 4 TOTAL: 58

PLUMBING CALCULATIONS	ALLOWABLE	ACTUAL
DISTANCE FROM ENTRY TO MALL FACILITIES	300FT MAX	>300 FT
	1 WATER CLOSET PER MISSOURI BC 2018, 2902.2 EXCEPTION 3: SEPERATE FACILITIES SHALL NOT BE REQUIRED IN MERCANTILE OCCUPANCIES IN WHICH THE MAXIMUM OCCUPANT LOAD IS 100 OR FEWER. 1 LAVATORY 1 DRINKING FOUNTAIN 1 SERVICE SINK	1 NEW WATER CLOSET: PER MISSOURI BC 2018, 2902.2 EXCEPTION 3: SEPERATE FACILITIES SHALL NOT BE REQUIRED IN MERCANTILE OCCUPANCIES IN WHICH THE MAXIMUM OCCUPANT LOAD IS 100 OR FEWER. 1 NEW LAVATORY 1 NEW DRINKING FOUNTAIN 1 SERVICE SINK

EGRESS SUMMARY	ALLOWABLE	ACTUAL
NUMBER OF EXITS	2 REQUIRED	2 PROVIDED
MINIMUM EGRESS SEPARATION	WHERE TWO EXIT DOORS ARE REQUIRED THE EXITS SHALL BE PLACED A DISTANCE APART EQUAL TO NOT LESS THAN ONE-HALF OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE BUILDING AREA TO BE SERVED. EXCEPTION: IN BUILDING EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM, THE SEPARATION DISTANCE OF THE EXIT DOORS SHALL NOT BE LESS THAN 1/3 OF THE LENGTH OF THE MAX OVERALL DIAGONAL	OVERALL DIAGONAL = 103'-2 1/8" OVERALL 1/3 DIAGONAL = 34'-7/8" DOOR TO DOOR DISTANCE = 89'-11 5/8"
MAXIMUM EGRESS PATH — — — —	SHALL NOT EXCEED 250' WITH SPRINKLERS	APPROX 111'-1"
COMMON PATH OF TRAVEL — — — —	SHALL NOT EXCEED 250' WITH SPRINKLERS	APPROX 42'-0"
DEAD END	SHALL NOT EXCEED 50' WITH SPRINKLERS	APPROX 42'-0" FROM FITROOM TO EXIT #1
EGRESS THROUGH THE STOCKROOM	EGRESS SHALL NOT PASS THROUGH KITCHENS, STORAGE ROOMS, CLOSETS OR SPACED USED FOR SIMILAR PURPOSES. EXCEPTION: MEANS OF EGRESS IS ALLOWED THROUGH STOCKROOMS WHERE ALL THE FOLLOWING ARE MET: • STOCK IS SAME HAZARD CLASSIFICATION AS MAIN RETAIL AREA • NOT MORE THAN 50% EXIT ACCESS IS THROUGH STOCKROOM • STOCKROOM CANNOT BE LOCKED FROM EGRESS SIDE • THERE IS A DEMARCATED MINIMUM 44" WIDE AISLE DEFINED BY FULL OR PARTIAL HEIGHT FIXED WALLS OR SIMILAR CONSTRUCTION THAT WILL MAINTAIN REQUIRED WIDTH AND LEAD DIRECTLY FROM THE RETAIL AREA TO THE EXIT WITHOUT OBSTRUCTIONS.	

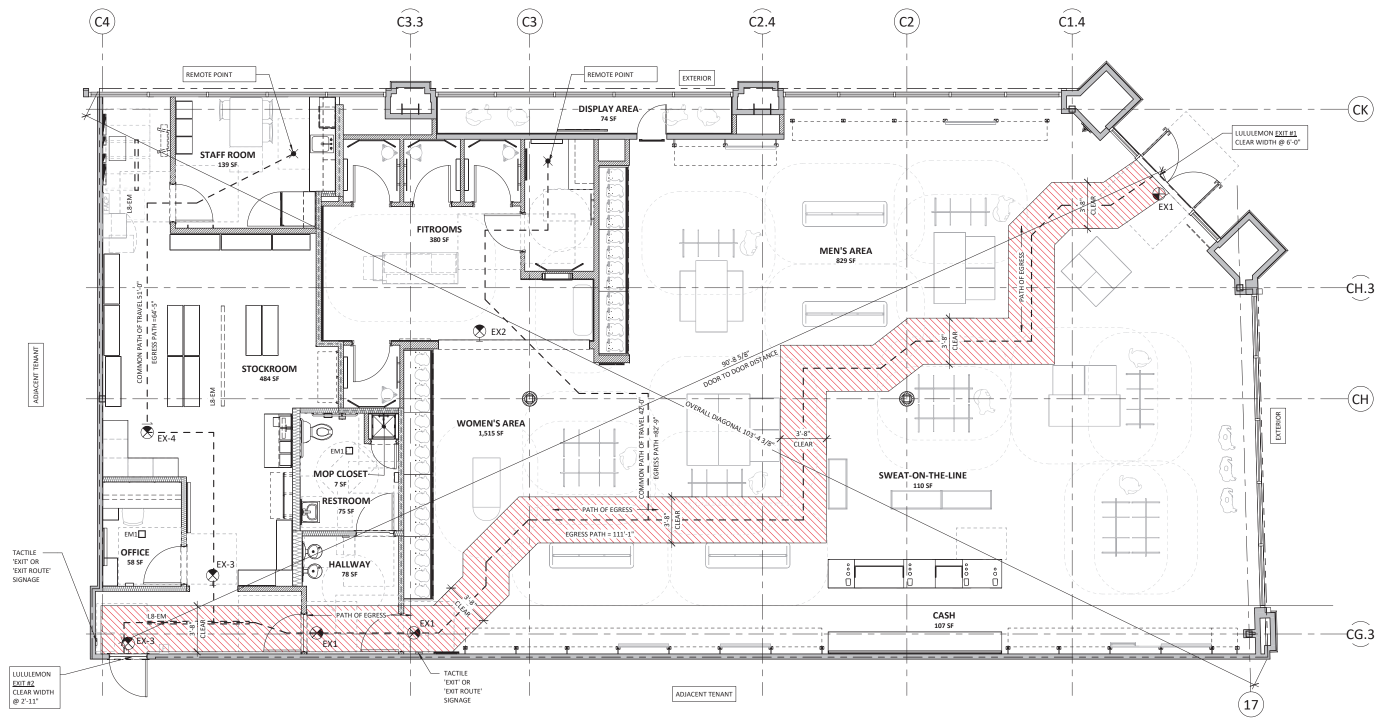
SYSTEMS, CLASSIFICATIONS, AND REPORTS	
ENGINEERING DETAILS, REPORTS, CALCULATIONS, PLANS & SPECIFICATIONS	THE CONTRACT DOCUMENTS SHALL CONTAIN SUFFICIENT INFORMATION TO DESCRIBE THE ARCHITECTURAL FIRE PROTECTION, FIRE ALARM, ELECTRICAL, MECHANICAL AND ENERGY CONSERVATION SYSTEMS. THIS INCLUDES ANY REQUIRED CALCULATIONS, NARRATIVES, AND REPORTS DEEMED NECESSARY BY THE AUTHORITIES HAVING JURISDICTION.

BUILDING DEPARTMENT	
CITY OF CITY OF LEE'S SUMMIT 220 SE GREEN STREET LEE'S SUMMIT, MO, 64063 PHONE: (816) 969-1210	
FIRE PROTECTIVE SIGNALING AND DETECTION SYSTEMS - FIRE ALARMS	THE GENERAL CONTRACTORS SHALL COORDINATE WITH THE CITY OF LEE'S SUMMIT AND FIRE DEPARTMENTS FOR ALL FIRE ALARM SYSTEM REQUIREMENTS PRIOR TO THE WORK

APPLICABLE CODES	
BUILDING	MISSOURI BUILDING CODE 2018 (IBC 2018, AMENDED)
ACCESSIBILITY	MISSOURI ACCESSIBILITY CODE 2009 (A117.1 2009, NOT AMENDED)
MECHANICAL	2018 INTERNATIONAL MECHANICAL CODE (AMENDED)
PLUMBING	2018 INTERNATIONAL PLUMBING CODE (AMENDED)
ELECTRICAL	2017 NATIONAL ELECTRICAL CODE (AMENDED)
FIRE / LIFE, SAFETY	2018 INTERNATIONAL FIRE CODE (AMENDED); MISSOURI FIRE SPRINKLER CODE, 2016; MISSOURI FIRE ALARM
ENERGY/IAQ	MISSOURI ENERGY CODE 2018 (IECC 2018, NOT AMENDED)

FIRE RATING REQUIREMENTS		
PRIMARY STRUCTURAL FRAME	(E) HR	EXISTING TO REMAIN, GC TO PATCH AND REPAIR AS REQUIRED TO ENSURE 2-HR RATING
NON-BEARING WALLS	(E) HR	NO SEPARATION REQUIREMENT
FLOORS AND SECONDARY STRUCTURE	(E) HR	EXISTING TO REMAIN, GC TO PATCH AND REPAIR AS REQUIRED TO ENSURE 2-HR RATING
ROOFS AND SECONDARY STUCTURE	(E) HR	EXISTING TO REMAIN, GC TO PATCH AND REPAIR AS REQUIRED TO ENSURE 1-HR RATING
STOCKROOM / SALES PARTITION	(E) HR	NO SEPARATION REQUIREMENT
TENANT STOREFRONT/MALL SEPARATION	(E) HR	NO SEPARATION REQUIREMENT
TENANT SEPARATION/DEMISING WALLS	(E) HR	EXISTING TO REMAIN, GC TO PATCH AND REPAIR AS REQUIRED TO ENSURE 1-HR RATING
EXTERIOR WALLS	N/A	NOT APPLICABLE

INTERIOR FINISHES	
INTERIOR FINISHES CLASSIFICATIONS	SPRINKLERED: ENCLOSED VERTICAL EXITS AND PASSAGEWAYS — CLASS B: FLAME SPREAD 26-75 CORRIDORS PROVIDING EXIT ACCESS — CLASS C: FLAME SPREAD 76-200 ROOMS OR ENCLOSED SPACES — CLASS C: FLAME SPREAD 76-200 IN NO CASE SHALL INTERIOR FINISHES EXCEED THE MAX SMOKE-DEVELOPED INDEX OF 450. INTERIOR FINISHES TO BE CLASS III OR GREATER. DOES NOT APPLY TO TRIM DEFINED AS BASEBOARDS AND MOLDINGS, OR TO MATERIALS LESS THAN 1/28 INCH IN THICKNESS APPLIED DIRECTLY TO SURFACE OF WALLS OR CEILINGS



1 EGRESS PLAN / ACCESSIBILITY PLAN

SCALE: 1/4" = 1'-0"

2025-08-25 8:52:11 PM

lululemon
1818 CORNWALL AVE.
VANCOUVER, B.C., V6J1C7

SUMMIT FAIR MALL
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SUITE G, LEE'S SUMMIT
MO 64086

ARCHITECT
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MEP ENGINEER

STRUCTURAL ENGINEER

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SEAL
LICENSED NAME, ARCHITECT

ISSUED FOR PERMIT & BID

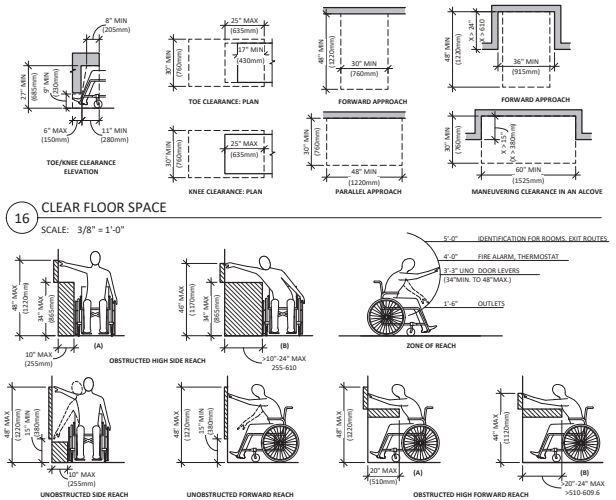
08/25/2025

△	DATE	DESCRIPTION
	06/16/2025	ISSUED FOR DD REVIEW
	08/05/2025	ISSUED FOR CD REVIEW
	08/25/2025	ISSUED FOR PERMIT & BID

DRAWING INFORMATION
PROJECT #: 2412106
CHECKED BY: DM
DRAWN BY: CT

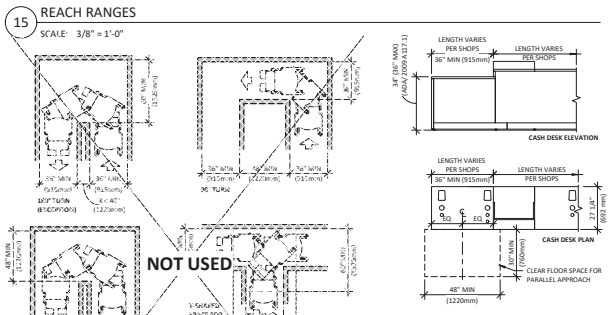
BUILDING CODE SUMMARY AND EGRESS PLAN

DRAWING NUMBER
A-020



16 CLEAR FLOOR SPACE

SCALE: 3/8" = 1'-0"

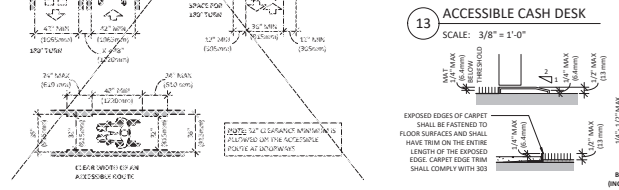


15 REACH RANGES

SCALE: 3/8" = 1'-0"

13 ACCESSIBLE CASH DESK

SCALE: 3/8" = 1'-0"



10 WALKING SURFACES CLEAR WIDTH

SCALE: 1/4" = 1'-0"

9 FLOOR TRANSITION HEIGHTS

SCALE: 3" = 1'-0"

ACCESSIBILITY NOTES (2010 ADA / 2009 ICC A117.1 / 2024 IBC CHAPTER 11):

ADA COMPLIANCE NOTE:
TENANT'S LEASED PREMISES SHALL COMPLY WITH TITLE III OF THE 2010 AMERICANS WITH DISABILITIES ACT (ADA), THE REQUIREMENTS OF THE AMERICAN NATIONAL STANDARDS INSTITUTE, INC. (ANSI) A 117.1) 2009, AND CHAPTER 11 OF THE 2024 INTERNATIONAL BUILDING CODE (IBC) AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION. COMPLIANCE WILL INCLUDE, BUT NOT BE LIMITED TO, THE DESIGN, CONSTRUCTION AND/OR ALTERATION OF THE LEASED PREMISES AS REQUIRED BY THE CODE, SHOWN GRAPHICALLY ON THIS SHEET AND IN NOTES BELOW.

WHERE THESE CODES PROVIDE CONFLICTING REQUIREMENTS, GC TO CONFORM TO THE STRICTEST REQUIREMENT. **GC IS RESPONSIBLE FOR ALL SITE VERIFICATIONS.**

CONTROLS AND OPERABLE PARTS (2010 ADA / 2009 ICC A117.1 SECTION 309):
1. CONTROLS AND OPERABLE PARTS ON ACCESSIBLE ELEMENTS, ALONG ACCESSIBLE ROUTES, AND IN ACCESSIBLE ROOMS AND SPACES SHALL BE ACCESSIBLE AND SHALL COMPLY WITH SECTION 309 INCLUDING BUT NOT LIMITED TO HANDLES, PULLS, LATCHES, LOCKS, ELECTRICAL SWITCHES, DISPENSERS, AND TRASH DISPOSAL UNITS.
2. A CLEAR FLOOR SPACE OF 30" x 48" FOR EITHER A FORWARD OR PARALLEL APPROACH SHALL BE PROVIDED CENTERED ON THE CONTROLS.
3. THE HEIGHT OF THE OPERABLE PART SHALL BE WITHIN ONE OF MORE OF THE REACH RANGES SPECIFIED IN SECTION 308.
4. THE OPERABLE PART SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT PINCHING, GRASPING OR TWISTING. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 POUNDS (22.2N) MAXIMUM.

ACCESSIBLE ROUTES (2010 ADA / 2009 ICC A117.1 SECTION 402):
1. ACCESSIBLE ROUTES SHALL BE A MINIMUM OF 36 INCHES (915mm) ON INTERIOR ROUTES AND 48 INCHES (1220mm) ON EXTERIOR ROUTES AND BE FREE OF ALL OBJECTS THAT PROTRUDE MORE THAN 4 INCHES (100mm) INTO THE ROUTE BETWEEN 27 INCHES (685mm) AFF AND 80 INCHES (2030mm) AFF, INCLUDING BUT NOT LIMITED TO FIRE EXTINGUISHER CABINETS, MAILBOXES, WALL-MOUNTED TELEVISIONS, WALL-MOUNTED HOOKS, HANGBARS, CABINETS, AND SHELVES, DRINKING FOUNTAINS, ETC.
2. WHERE ACCESSIBLE SURFACES ARE REQUIRED TO BE LEVEL, INCLUDING BUT NOT LIMITED TO: TURNING SPACES, MANEUVERING CLEARANCES AT DOORS, WHEELCHAIR SPACES AT OPERABLE ELEMENTS, AND TOILET ROOMS, THE MAX SLOPE SHALL BE 1:48 (2%), OTHER ACCESSIBLE ROUTE WALKING SURFACES SHALL NOT EXCEED A SLOPE OF 1:20 (5%), CROSS SLOPE NOT TO EXCEED SLOPE OF 1:48 (2%), OR SHALL MEET THE REQUIREMENTS FOR RAMPS OR STAIRS.
3. CHANGES IN LEVEL SUCH AS AT TRANSITIONS BETWEEN FLOOR MATERIALS AND DOOR THRESHOLDS SHALL NOT EXCEED 1/4" IN HEIGHT OR IF BEVELED 1/2" MAX WITH A SLOPE NOT STEEPER THAN 1:2.

EMPLOYEE WORK AREAS (2010 ADA SECTION 203 / 2024 IBC SECTION 1103.2.2):
1. AN EMPLOYEE WORK AREA IS ALL OR ANY PORTION OF A SPACE USED ONLY BY EMPLOYEES AND ONLY FOR WORK. **CORRIDORS, TOILET ROOMS, KITCHENETTES, AND BREAK ROOMS ARE NOT EMPLOYEE WORK AREAS.**
2. EMPLOYEE WORK AREAS SHALL BE DESIGNED AND CONSTRUCTED SO THAT INDIVIDUALS WITH DISABILITIES CAN APPROACH, ENTER AND EXIT THE EMPLOYEE WORK AREA AND COMPLY WITH ACCESSIBLE EGRESS REQUIREMENTS AT A MINIMUM. WHERE FEASIBLE THE EMPLOYEE WORK AREA SHALL BE CONSTRUCTED TO BE FULLY ACCESSIBLE INCLUDING NON-REQUIRE WHEELCHAIR TURNING CIRCLES AND AISLE WIDTH.
3. COMMON USE CIRCULATION PATHS WITHIN EMPLOYEE WORK AREAS SHALL BE ACCESSIBLE ROUTES WITH THE EXCEPTION OF COMMON USE CIRCULATION PATHS LOCATED WITHIN EMPLOYEE WORK AREAS THAT ARE LESS THAN 1,000SF (93m²) IN SIZE AND DEFINED BY PERMANENTLY INSTALLED PARTITIONS, COUNTERS, CASEWORK OR FURNISHINGS, WHICH SHALL NOT BE REQUIRED TO BE ACCESSIBLE ROUTES, BUT SHALL COMPLY WITH MINIMUM EGRESS WIDTH OF NON-PUBLIC AISLES.
4. ACCESSIBLE EMPLOYEE WORK STATIONS AND WORK SURFACES SHALL BE ON ACCESSIBLE ROUTES.

FITROOM (2010 ADA / 2009 ICC A117.1 SECTION 803):
1. SEAT/BENCH SHALL BE 17"H x 24"D x 48"L AND FIXED TO THE WALL
2. CLEAR FLOOR SPACE SHALL BE PROVIDED ALONGSIDE THE BENCH TO ALLOW A PERSON USING A WHEELCHAIR TO MAKE A PARALLEL TRANSFER ONTO THE SEAT
3. **NOTE: WHERE DOOR SWINGS INTO FITROOM A 30"x48" CLEAR FLOOR SPACE COMPLYING WITH SECTION 305.3 SHALL BE PROVIDED BEYOND THE ARC OF THE DOOR SWING.**

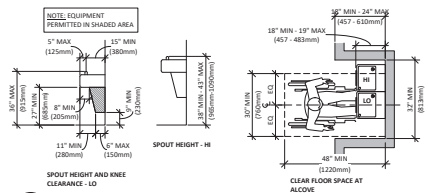
KITCHENETTES (2010 ADA / 2009 ICC A117.1 SECTION 804):
1. KITCHENETTE COUNTER HEIGHT: +/- 33 3/4" OR AS REQUIRED TO ENSURE HEIGHT OF SINK RIM PROVIDED BY GC DOES NOT EXCEED 34" MAXIMUM. **NOTE: AN ACCESSIBLE WORK SURFACE IS NOT REQUIRED IN SPACES THAT DO NOT PROVIDE A COOKTOP OR CONVENTIONAL RANGE.**
2. KITCHENETTE SINK (2010 ADA / 2009 ICC A117.1 SECTION 606):
HEIGHT: THE FRONT OF SINKS SHALL 34 INCHES MAXIMUM ABOVE THE FLOOR, MEASURED TO THE HIGHER OF THE RIM OR COUNTER SURFACE. **NOTE: A PARALLEL APPROACH COMPLYING WITH 305 AND CENTERED ON THE SINK, SHALL BE PERMITTED TO A KITCHEN SINK IN A SPACE WHERE A COOK TOP OR CONVENTIONAL RANGE IS NOT PROVIDED AND TO WET BARS**
3. BUILT-IN STORAGE (CABINETS AND SHELVES):
AT LEAST 50% OF SHELF SPACE IN STORAGE FACILITIES SHALL COMPLY WITH 811. ALL DRAWER HEIGHTS TO COMPLY WITH REACH RANGES. CABINETS SHALL PROVIDE ADJUSTABILITY FOR SHELF HEIGHTS WITHIN BASE CABINETS TO ALLOW FOR SHELVING ABOVE 15" AFF MINIMUM.
4. AT ALL KITCHENETTES PROVIDE A 40" MINIMUM CLEARANCE BETWEEN ALL OPPOSING BASE CABINETS, COUNTER TOPS, APPLIANCES, OR WALLS WITHIN WORK AREAS.

DOORS AND HARDWARE (2010 ADA / 2009 ICC A117.1 SECTION 404):
1. HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST TO OPERATE. OPERABLE PARTS OF SUCH HARDWARE SHALL BE 34 INCHES (865mm) MINIMUM AND 48 INCHES (1220mm) MAXIMUM ABOVE THE FLOOR. EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF KEY OR SPECIAL KNOWLEDGE OF EFFORT.
2. ALL PUBLIC ENTRANCE AND EXIT DOORS TO THE BUILDING ON TENANT SPACE SHALL BE MADE ACCESSIBLE TO INDIVIDUALS WITH DISABILITIES. IF A SERVICE OR LOADING ENTRANCE IS THE ONLY ENTRANCE/EXIT TO THE SPACE THIS ENTRANCE/EXIT MUST BE ACCESSIBLE. ANY ENTRANCE/EXIT NOT ACCESSIBLE BY PERSONS IN WHEELCHAIRS SHALL HAVE A SIGN CLEARLY INDICATING THE LOCATION OF THE ACCESSIBLE ENTRANCE/EXIT.
3. EVERY DOORWAY ON AN ACCESSIBLE ROUTE SHALL HAVE A CLEAR OPENING WIDTH 32 INCHES (815mm) MINIMUM OR THE REQUIRED WIDTH PER BUILDING EGRESS CODE, WHICHEVER IS LARGER. CLEAR OPENING WIDTH OF DOORWAYS WILL SWINGING DOORS SHALL BE MEASURED BETWEEN THE FACE OF DOOR AND STOP, WITH THE DOOR OPEN 90 DEGREES. OPENINGS MORE THAN 24 INCHES (610mm) IN DEPTH AT DOORS AND DOORWAYS WITHOUT DOORS SHALL PROVIDE A CLEAR OPENING OF 36 INCHES (915mm) MINIMUM. THERE SHALL BE NO PROJECTIONS INTO THE CLEAR OPENING WIDTH LOWER THAN 34 INCHES (865mm) ABOVE THE FLOOR. PROJECTION INTO THE CLEAR OPENING WIDTH BETWEEN 34 INCHES (865 mm) AND 80 INCHES (2030mm) ABOVE THE FLOOR SHALL NOT EXCEED 4 INCHES (100mm).
4. THE FORCE FOR PUSHING OR PULLING OPEN DOORS FOR OTHER THAN FIRE DOORS SHALL NOT EXCEED 5 POUNDS (22N) FOR INTERIOR DOORS, WITH SUCH PULL OR PUSH EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPENERS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. DOOR CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION OF 12 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM. FIRE DOORS SHALL HAVE THE MINIMUM OPENING FORCE ALLOWABLE BY THE LOCAL AUTHORITY HAVING JURISDICTION 15 POUNDS (67 N) PER 2024 IBC SECTION 1010.1.3.
5. THE BOTTOM 10" OF ALL DOORS, EXCEPT AUTOMATIC AND SLIDING, SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE ON THE PUSH SIDE EXTENDING THE FULL WIDTH OF THE DOOR TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION. TEMPERED GLASS DOORS WITHOUT STILES SHALL NOT BE REQUIRED TO MEET THE 10 INCH (255 MM) BOTTOM SMOOTH SURFACE HEIGHT REQUIREMENT IF THEIR BOTTOM RAIL OR SHOES HAS A TOP LEADING EDGE TAPERED AT 60 DEGREES MINIMUM FROM THE HORIZONTAL.
6. THE FLOOR OR LANDING ON EACH SIDE OF AN EXIT DOOR SHALL BE LEVEL. THE LEVEL AREA SHALL EXTEND FOR THE FULL REQUIRED MANEUVERING CLEARANCE AREA. THE REQUIRED LEVEL AREA EXTENT IS DEPENDENT ON APPROACH DIRECTION AND WHETHER OR NOT A LATCH AND CLOSER IS PROVIDED, SEE MANEUVERING CLEARANCE DIAGRAMS.

AUDIBLE AND VISUAL ALARMS (NFPA-72 / 2010 ADA SECTION 702 / 2024 IBC SECTION 907)
AUDIBLE AND VISUAL ALARMS AND NOTIFICATION APPLIANCES THAT ARE PART OF A BUILDING FIRE ALARM SYSTEM SHALL BE IN ACCORDANCE WITH NFPA-72, BE POWERED BY A COMMERCIAL LIGHT AND POWER SOURCE, BE PERMANENTLY CONNECTED TO THE WIRING OF THE PREMISE'S ELECTRIC SYSTEM, AND BE PERMANENTLY INSTALLED.

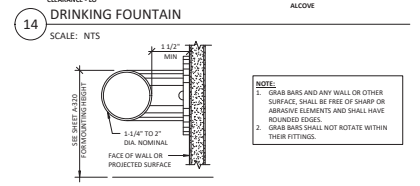
1. **AUDIBLE ALARMS:**
EMERGENCY ALARMS SHALL PRODUCE A SOUND THAT EXCEEDS THE AVERAGE AMBIENT SOUND LEVEL BY AT LEAST 15 DECIBELS OR EXCEEDS ANY MAXIMUM SOUND LEVEL WITH A DURATION OF AT LEAST 60 SECONDS BY 5 DECIBELS, WHICHEVER IS LOUDER. SOUND LEVELS FOR ALARM SIGNALS SHALL NOT EXCEED 110 DECIBELS AT THE MINIMUM HEARING DISTANCE FROM THE AUDIBLE APPLIANCE.
2. **VISUAL ALARMS:**
VISUAL ALARMS SHALL BE FLASHING LIGHTS ARRANGED TO FLASH IN CONJUNCTION WITH THE AUDIBLE EMERGENCY ALARMS. THE FLASHING FREQUENCY OF VISUAL ALARMS SHALL NOT EXCEED 2HZ NOR BE LESS THAN 1HZ.
3. **AUXILIARY ALARMS:**
SENSORY ALARMS PROVIDED FOR PERSONS WITH HEARING IMPAIRMENTS SHALL BE CONNECTED TO THE BUILDING EMERGENCY SYSTEM OR THERE SHALL BE A STANDARD 110-VOLT ELECTRICAL RECEPTACLE INTO WHICH AN ALARM UNIT CAN BE CONNECTED TO BE ACTIVATED BY THE BUILDING ALARM SYSTEM. INSTRUCTIONS FOR USE OF THE AUXILIARY ALARM SHALL BE PROVIDED.

SIGNS AND IDENTIFICATIONS (2010 ADA / 2009 ICC A117.1 SECTION 703):
1. SIGNS THAT IDENTIFY PERMANENT ROOMS AND SPACES SHALL HAVE TACTILE, RAISED, AND BRAILLE CHARACTERS AND PICTOGRAMS. THESE SIGNS SHALL BE MOUNTED 60" AFF TO THE BOTTOM OF THE TOP MOST LETTERS AND NOT LESS THAN 48" AFF TO THE BOTTOM OF THE LOWEST LETTERS OR CHARACTERS. SIGN SHALL BE LOCATED ON THE LATCH SIDE OF THE DOOR, APPROXIMATELY 9" FROM THE JAMB ON CENTER.
2. CHARACTERS, SYMBOLS, OR PICTOGRAPHS ON TACTILE SIGNS SHALL BE RAISED 1/32" (0.8mm) MINIMUM. RAISED LETTERS AND NUMBERS SHALL BE SANS SERIF UPPERCASE CHARACTERS. RAISED CHARACTERS OR SYMBOLS SHALL BE AT LEAST 5/8" (16mm) HIGH, BUT NO HIGHER THAN A NOMINAL 2" (51mm), EXCEPT WHERE SEPARATE RAISED AND VISUAL CHARACTERS WITH THE SAME INFORMATION ARE PROVIDED, RAISED CHARACTER HEIGHT SHALL BE PERMITTED TO BE 1/2 INCH (13mm) MINIMUM.
3. LETTERS AND NUMBERS ON SIGNS SHALL HAVE A CHARACTER HEIGHT MEASURED VERTICALLY FROM THE BASELINE OF THE CHARACTER SHALL BE 5/8 INCH (16mm) MINIMUM AND 2 INCHES (51mm) MAXIMUM BASED ON THE HEIGHT OF THE UPPERCASE LETTER "I" WIDTH-TO-HEIGHT RATIO BETWEEN 3:5 AND CHARACTERS SHALL BE SELECTED FROM FONTS WHERE THE WIDTH OF THE UPPERCASE LETTER "O" IS 55 PERCENT MINIMUM AND 110 PERCENT MAXIMUM OF THE HEIGHT OF THE UPPERCASE LETTER "I".



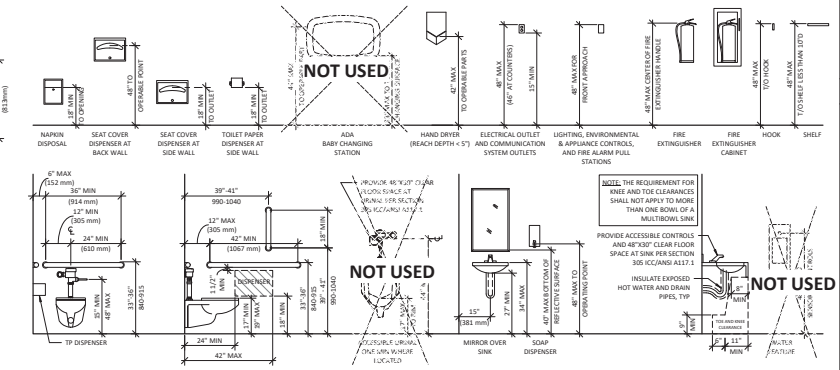
14 DRINKING FOUNTAIN

SCALE: NTS



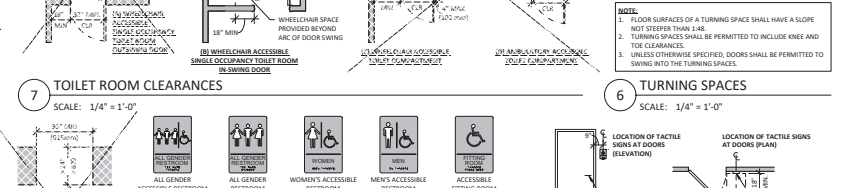
12 GRAB BAR DETAIL

SCALE: 6" = 1'-0"



11 MOUNTING HEIGHTS FOR PLUMBING FIXTURES, TOILET ACCESSORIES, AND MISCELLANEOUS FIXTURES

SCALE: 1/2" = 1'-0"

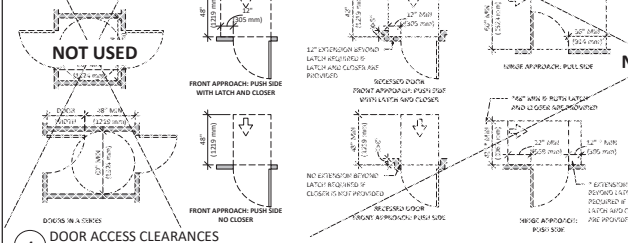


7 TOILET ROOM CLEARANCES

SCALE: 1/4" = 1'-0"

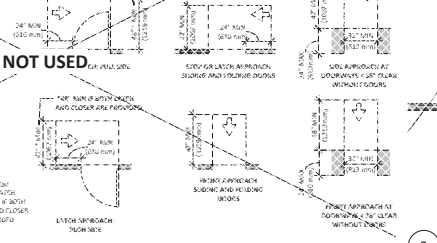
6 TURNING SPACES

SCALE: 1/4" = 1'-0"



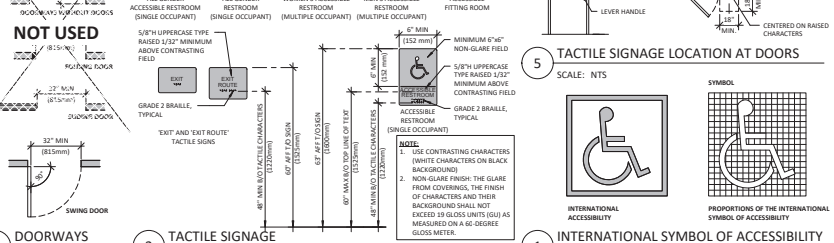
4 DOOR ACCESS CLEARANCES

SCALE: 1/4" = 1'-0"



3 DOORWAYS

SCALE: 3/8" = 1'-0"



2 TACTILE SIGNAGE

SCALE: NTS

5 TACTILE SIGNAGE LOCATION AT DOORS

SCALE: NTS

1 INTERNATIONAL SYMBOL OF ACCESSIBILITY

SCALE: NTS

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08/25/2025

DATE	DESCRIPTION
06/16/2025	ISSUED FOR DD REVIEW
08/05/2025	ISSUED FOR CD REVIEW
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DRAWING INFORMATION
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CHECKED BY: DM
DRAWN BY: CT

ACCESSIBILITY NOTES (2009 A117.1)

DRAWING NUMBER
A-030

2025-08-25 8:52:14 PM

LEGEND

(grey filled box)	EXISTING CONDITION TO REMAIN REPAIR AS REQUIRED TO MAINTAIN REQUIRED RATINGS AND ACCEPT FINAL TENANT FINISHES
(dashed box)	ITEM TO BE DEMOLISHED
(hatched box)	TRENCHING ZONE
(dotted dashed box)	CORING ZONE

GENERAL NOTES

DEMO PLAN - SEQUENCING & EXECUTION

A. SUBMIT FOR APPROVAL SELECTIVE DEMOLITION SCHEDULE, INCLUDING SCHEDULE AND METHODS FOR CAPPING AND CONTINUING UTILITY SERVICE.

B. ALL WORK SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE DIVISION OF INDUSTRIAL SAFETY AND ALL OTHER LOCAL, STATE/PROVINCIAL AND FEDERAL AGENCIES AND AUTHORITIES HAVING JURISDICTION.

C. DEMO CONTRACTOR TO OBTAIN AND PAY FOR ALL PERMITS REQUIRED TO PERFORM THE DEMOLITION WORK AS REQUIRED BY ALL AGENCIES AND AUTHORITIES HAVING JURISDICTION.

D. DEMOLITION CONTRACTOR SHALL COORDINATE AND BE RESPONSIBLE FOR ALL CITY REQUIREMENTS FOR PROTECTION OF PERSONS, PROPERTY, TRAFFIC CONTROL, BARRICADES, ETC. FOR THE DURATION OF THE DEMOLITION CONTRACT.

E. COORDINATE WITH GENERAL CONTRACTOR A SCHEDULE FOR DEMOLITION OF SPECIFIC ITEMS TO CONFORM WITH SCHEDULING FOR OTHER TRADES REQUIRED TO COMPLETE OR PERFORM A DIRECTLY RELATED PORTION OF THE WORK.

LANDLORD DEMOLITION SCOPE

DEMO PLAN - HANDLING

A. WHEN THE SCOPE OF DEMOLITION WORK REQUIRES THEIR USE, ERECT AND MAINTAIN DUST CHUTES FOR THE DISPOSAL OF MATERIALS, RUBBISH AND DEBRIS.

B. REMOVE DEBRIS FROM THE SITE AS IT ACCUMULATES. DO NOT STORE, SELL, BURN OR OTHERWISE DISPOSE OF DEBRIS ON THE SITE. REMOVE ALL MATERIALS IN SUCH MANNER AS TO PREVENT SPILLAGE. GC TO KEEP ALL PAVEMENT AND AREAS ADJACENT TO AND LEADING FROM THE SITE CLEAN AND FREE OF MUD, DIRT, AND DEBRIS AT ALL TIMES. ALL MATERIAL SHALL BE DISPOSED OF LEGALLY.

C. ERECT AND MAINTAIN TEMPORARY BRACING, SHORING, LIGHTS, BARRICADES, WARNING SIGNS, AND GUARDS NECESSARY TO PROTECT BUILDING OCCUPANTS, AND ADJOINING TENANTS FROM INJURY, AND/OR DAMAGE, ALL IN ACCORDANCE WITH APPLICABLE RULES AND REGULATIONS.

D. DO NOT DAMAGE BUILDING ELEMENTS AND IMPROVEMENTS INDICATED TO REMAIN. COORDINATE ITEMS OF SALVAGE VALUE NOT INCLUDED IN SCHEDULE OF SALVAGE ITEMS WITH OWNER PRIOR TO REMOVAL FROM PREMISES.

E. DO NOT CLOSE OR OBSTRUCT THE MEANS OF EGRESS, CORRIDORS, OR OTHER SPACES WITHOUT THE WRITTEN PERMISSION OF THE OWNER, LANDLORD, AND AUTHORITIES HAVING JURISDICTION.

F. UTILITIES TO BE MAINTAINED UNO INTERRUPTIONS/SHUT DOWNS SHALL BE COORDINATED WITH OWNER AND LANDLORD PRIOR TO COMMENCING THE WORK. PROVIDE TEMPORARY UTILITIES AS REQUIRED.

G. CEASE OPERATIONS IF PUBLIC SAFETY OR REMAINING STRUCTURES ARE ENDANGERED. PERFORM TEMPORARY CORRECTIVE MEASURES UNTIL OPERATIONS CAN BE CONTINUED SAFELY.

H. MAINTAIN EXISTING VAPOR BARRIERS AS APPLICABLE.

I. UNO, VERIFY FLOOR IS LEVEL THROUGHOUT, NOTIFY ARCHITECT AND OWNER OF ANY DISCREPANCIES.

DEMO PLAN - GENERAL

A. GC TO STUDY THE CONTRACT DOCUMENTS, DETERMINE THE LOCATION AND EXTENT OF SELECTIVE DEMOLITION TO BE PERFORMED.

B. GC TO FAMILIARIZE THEMSELVES WITH LANDLORD/OWNER RULES AND REGULATIONS PRIOR TO THE START OF DEMO.

C. COORDINATE WITH CONSTRUCTION PLANS FOR TOTAL EXTENT OF DEMOLITION/SELECTIVE DEMOLITION SCOPE. IDENTIFY ITEMS FOR DEMOLITION, SALVAGE, TO BE LEFT IN PLACE AND ITEMS TO BE SORTED FOR RECYCLING.

D. COORDINATE THE REMOVAL, RELOCATION, REPLACEMENT, STUB OFF, CAP OFF OR UPGRADE OF EXISTING POWER AND COMMUNCATION OUTLETS THROUGHOUT PER ELECTRICAL CODE REQUIREMENTS (WHERE REQUIRED).

E. COORDINATE THE REMOVAL, RELOCATION, REPLACEMENT, STUB OFF, CAP OFF OR UPGRADE OFMECHANICAL EQUIPMENT, DUCTS AND GRILLES WITH NEW WORK AND MECHANICAL DRAWINGS PER MECHANICAL CODE REQUIREMENTS.

F. COORDINATE THE REMOVAL, RELOCATION, REPLACEMENT, STUB OFF, CAP OFF OR UPGRADE OF PLUMBING FIXTURES PER PLUMBING CODE REQUIREMENTS.

G. COORDINATE THE REMOVAL, RELOCATION, REPLACEMENT, STUB OFF, CAP OFF OR UPGRADE OF EXISTING FIRE SUPPRESSION SYSTEMS.

H. EXECUTE DEMOLITION WORK TO ENSURE SAFETY OF PERSONS AND ADJACENT PROPERTY AGAINST DAMAGE BY FALLING DEBRIS.

I. FINISH NEW AND EXISTING SURFACES AS SCHEDULED. CLEAN EXISTING SURFACES OF DIRT, GREASE AND LOOSE PAINT BEFORE REFINISHING.

J. GENERAL CONTRACTOR IS RESPONSIBLE FOR FINAL TRENCHING OR CORING LAYOUT. COORDINATE WITH ARCHITECTURAL, ELECTRICAL, MECHANICAL, PLUMBING AND STRUCTURAL DRAWINGS. ALL TENCHING OR CORING IN FLOOR ASSEMBLIES IS TO BE COORDINATED AND APPROVED BY OWNER AND LANDLORD PRIOR TO WORK.

K. WHERE TRENCHING IS NOT PERMITTED AND CORING IS REQUIRED, GC IS RESPONSIBLE TO COORDINATE WORK WITH LOWER TENANT WHERE APPLICABLE AND INCLUDE ALL COSTS FOR COORDINATION/INSURANCE/PROTECTION/SECURITY/DRYWALL REPAIRS ETC. INCLUDING FINAL SIGNOFF FROM SAID TENANT.

KEYNOTES

- KEYNOTE SYMBOL

1 REMOVE EXISTING FINISH FLOOR IN ITS ENTIRETY TO THE SLAB INCLUDING IF APPLICABLE: TOPPER, TILE SETTING, CARPET, SUBFLOOR, AND RESILIENT FLOOR ADHESIVE RESIDUE. FILL LOW SPOTS AND GRIND HIGH SPOTS, PATCH AND REPAIR REMAINING SLAB AS REQUIRED TO RECEIVE NEW FINISHES

2 REMOVE EXISTING PARTITION IN ITS ENTIRETY. PATCH AND REPAIR ALL REMAINING ADJACENT PARTITIONS, FLOOR AND CEILING AS REQUIRED TO PROVIDE LIKE NEW CONDITION, COORDINATE WITH PLAN

3 EXISTING PARTITION TO REMAIN, SEE SHEET A-110 CONSTRUCTION PLAN FOR SCOPE OF NEW WORK

4 REMOVE EXISTING DOOR AND FRAME IN ITS ENTIRETY

5 REMOVE EXISTING PLUMBING FIXTURES. CUT AND CAP ALL ABANDONED FIXTURES. COORDINATE WITH PLAN

6 REMOVE EXISTING TOILET ROOM ACCESSORIES. PATCH AND REPAIR EXISTING WALLS TO PROVIDE LIKE NEW CONDITION, COORDINATE WITH PLAN

7 REMOVE ALL EXISTING GWB OR ACT CEILINGS, SOFFITS, AND CONNECTIONS TO STRUCTURE ABOVE

8 REMOVE ALL EXISTING CEILING SYSTEMS, LIGHTING, HVAC REGISTERS, DUCTWORK, AND ELECTRICAL CONDUITS, UNO TO REMAIN ON THIS SHEET OR THE ARCHITECTURAL RCP OR SHOWN IN THE MEP DWGS.

9 REMOVE ANY AND ALL ABANDONED ELECTRICAL WIRING FOR LIGHT FIXTURES, CONDUITS, OUTLETS, ETC. EXPOSED OR CONEALED IN THE CEILING AND OR PARTITIONS. SEE SPECIFICATIONS FOR DISPOSAL METHODS

10 REMOVE EXISTING LIFE SAFETY AND EXIT SIGNAGE

11 EXISTING FIRE SPRINKLERS SHALL BE RELOCATED, UNO

12 REMOVE AND OR RELOCATE EXISTING MECHANICAL EQUIPMENT PER MEP DWGS

13 REMOVE ALL FLOOR AND WALL MILLWORK FIXTURES FROM PREVIOUS TENANT UNO

14 EXISTING COLUMN TO REMAIN, GC TO PATCH AND REPAIR FIRE PROOFING AS REQUIRED

15 EXISTING STOREFRONT TO REMAIN IN ITS ENTIRETY. DO NOT DAMAGE BASE BUILDING UTILITIES, STRUCTURE, OR MALL SOFFIT AND NEUTRAL PIERS. PATCH AND REPAIR AS REQUIRED TO MATCH EXISTING

- KEYNOTE SYMBOL — NOT USED

16 NEW EAS EQUIPMENT AT NEW STOREFRONT OPENING, SAW CUT AND TRENCH EXISTING CONCRETE SLAB TO RECESS EQUIPMENT BELOW SLAB, 3" DEEP TYP; SEE SHEET A-140 AND ELECTRICAL DRAWINGS. COORDINATE WITH LANDLORD FOR REQUIREMENTS/RESTRICTIONS

17 1"x1"SAW CUT AT EXISTING CONCRETE SLAB FOR EAS CONDUIT TO WALL WHERE NEW EAS CONTROLLER IS TO BE LOCATED. SEE A-140, ELECTRICAL DRAWINGS, AND APPROVED VENDOR DRAWINGS. COORDINATE WITH LANDLORD FOR SAW CUTTING REQUIREMENTS/RESTRICTIONS

18 NEW PLUMBING LOCATION, SAW CUT AND TRENCH/CORE EXISTING CONCRETE SLAB AS REQUIRED TO PROVIDE PLUMBING BELOW SLAB; SEE PLUMBING DRAWINGS FOR REQUIRED PLUMBING PENETRATIONS; COORDINATE WITH LANDLORD FOR REQUIREMENTS/RESTRICTIONS

19 EXISTING SIGNAGE TO BE REMOVED. GC TO PATCH AND REPAIR AS REQUIRED.

20 NEW CASH DESK LOCATION, SAW CUT AND TRENCH EXISTING CONCRETE SLAB AS REQUIRED TO PROVIDE ELECTRICAL CONDUIT BELOW SLAB TO REQUIRED POWER AND DATA STUB-UPS; SEE SJEETS A-140, A141, AND ELECTRICAL DRAWINGS. COORDINATE WITH LANDLORD FOR REQUIREMENTS/RESTRICTIONS

21 EXISTING EXTERIOR LIGHTING TO BE RELOCATED.

22 EXISTING ELECTRICAL PANELS TO REMAIN

23 EXISTING CANOPY TO REMAIN. GC TO PROTECT THROUGHOUT CONSTRUCTION

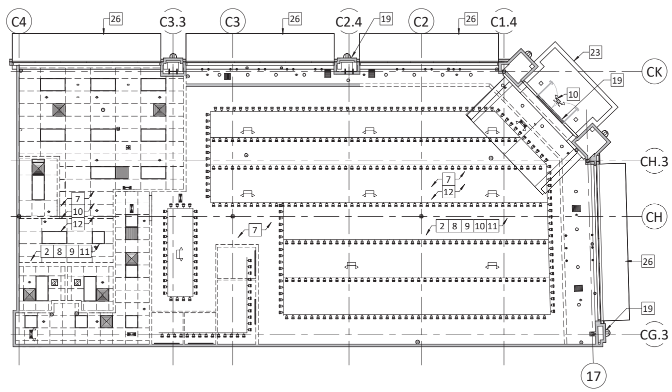
24 GC TO CONFIRM LEVEL CHANGE AT MALL FLOORING WITH NEW FLOORING SPEC (SEE A-120 AND A-121) AND GRIND DOWN SLAB AS REQUIRED AT FRONT OF STORE AT 1:48 MAX SLOPE TO ALLOW FOR FLUSH TRANSITION, COORDINATE EXTENT WITH NEW WORK DRAWINGS

25 EXISTING EXTERIOR LIGHTING TO REMAIN. GC TO PROTECT THROUGOUT CONSTRUCTION

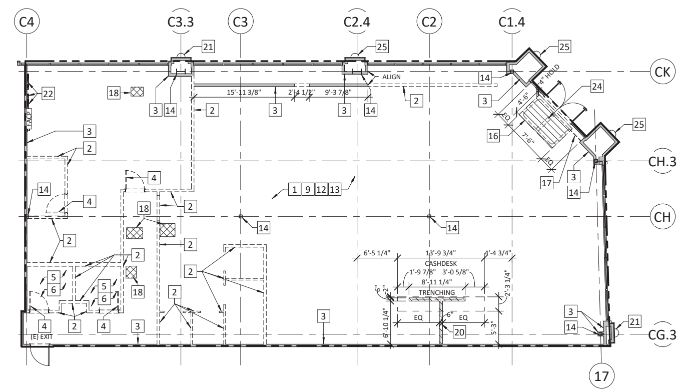
26 EXISTING AWNING AND FRAME TO BE REMOVED. REFER TO STOREFRONT ELEVATIONS FOR MORE DETAILS

27 EXISTING STOREFRONT FEATURE TO BE REMOVED. GC TO PATCH AND REPAIR AS REQUIRED

28 EXISTING DOOR PULLS TO BE REMOVED AND REPLACED WITH NEW. GC TO PATCH AND REPAIR HOLES AFTER EXISTING DOOR PULLS ARE REMOVED. REFER TO STOREFRONT ELEVATIONS FOR FURTHER DETAILS



2 DEMOLITION RCP
SCALE: 1/8" = 1'-0"



1 DEMOLITION FLOOR PLAN
SCALE: 1/8" = 1'-0"

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ISSUED FOR PERMIT & BID

08/25/2025

△	DATE	DESCRIPTION
	06/16/2025	ISSUED FOR DD REVIEW
	08/05/2025	ISSUED FOR CD REVIEW
	08/25/2025	ISSUED FOR PERMIT & BID

DRAWING INFORMATION
PROJECT #: 2412106
CHECKED BY: DM
DRAWN BY: VK

DEMO PLAN, RCP & ELEVATION

DRAWING NUMBER
A-040

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LEGEND

- EXISTING CONDITION TO REMAIN
  REPAIR AS REQUIRED TO MAINTAIN REQUIRED RATINGS AND ACCEPT FINAL TENANT FINISHES
- ITEM TO BE DEMOLISHED
- TRENCHING ZONE
- CORING ZONE

GENERAL NOTES

DEMO PLAN - SEQUENCING & EXECUTION

A. SUBMIT FOR APPROVAL SELECTIVE DEMOLITION SCHEDULE, INCLUDING SCHEDULE AND METHODS FOR CAPPING AND CONTINUING UTILITY SERVICE.

B. ALL WORK SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE DIVISION OF INDUSTRIAL SAFETY AND ALL OTHER LOCAL, STATE/PROVINCIAL AND FEDERAL AGENCIES AND AUTHORITIES HAVING JURISDICTION.

C. DEMO CONTRACTOR TO OBTAIN AND PAY FOR ALL PERMITS REQUIRED TO PERFORM THE DEMOLITION WORK AS REQUIRED BY ALL AGENCIES AND AUTHORITIES HAVING JURISDICTION.

D. DEMOLITION CONTRACTOR SHALL COORDINATE AND BE RESPONSIBLE FOR ALL CITY REQUIREMENTS FOR PROTECTION OF PERSONS, PROPERTY, TRAFFIC CONTROL, BARRICADES, ETC. FOR THE DURATION OF THE DEMOLITION CONTRACT.

E. COORDINATE WITH GENERAL CONTRACTOR A SCHEDULE FOR DEMOLITION OF SPECIFIC ITEMS TO CONFORM WITH SCHEDULING FOR OTHER TRADES REQUIRED TO COMPLETE OR PERFORM A DIRECTLY RELATED PORTION OF THE WORK.

LANDLORD DEMOLITION SCOPE

DEMO PLAN - HANDLING

A. WHEN THE SCOPE OF DEMOLITION WORK REQUIRES THEIR USE, ERECT AND MAINTAIN DUST CHUTES FOR THE DISPOSAL OF MATERIALS, RUBBISH AND DEBRIS.

B. REMOVE DEBRIS FROM THE SITE AS IT ACCUMULATES. DO NOT STORE, SELL, BURN OR OTHERWISE DISPOSE OF DEBRIS ON THE SITE. REMOVE ALL MATERIALS IN SUCH MANNER AS TO PREVENT SPILLAGE. GC TO KEEP ALL PAVEMENT AND AREAS ADJACENT TO AND LEADING FROM THE SITE CLEAN AND FREE OF MUD, DIRT, AND DEBRIS AT ALL TIMES. ALL MATERIAL SHALL BE DISPOSED OF LEGALLY.

C. ERECT AND MAINTAIN TEMPORARY BRACING, SHORING, LIGHTS, BARRICADES, WARNING SIGNS, AND GUARDS NECESSARY TO PROTECT BUILDING OCCUPANTS, AND ADJOINING TENANTS FROM INJURY, AND/OR DAMAGE, ALL IN ACCORDANCE WITH APPLICABLE RULES AND REGULATIONS.

D. DO NOT DAMAGE BUILDING ELEMENTS AND IMPROVEMENTS INDICATED TO REMAIN. COORDINATE ITEMS OF SALVAGE VALUE NOT INCLUDED IN SCHEDULE OF SALVAGE ITEMS WITH OWNER PRIOR TO REMOVAL FROM PREMISES.

E. DO NOT CLOSE OR OBSTRUCT THE MEANS OF EGRESS, CORRIDORS, OR OTHER SPACES WITHOUT THE WRITTEN PERMISSION OF THE OWNER, LANDLORD, AND AUTHORITIES HAVING JURISDICTION.

F. UTILITIES TO BE MAINTAINED UNO INTERRUPTIONS/SHUT DOWNS SHALL BE COORDINATED WITH OWNER AND LANDLORD PRIOR TO COMMENCING THE WORK. PROVIDE TEMPORARY UTILITIES AS REQUIRED.

G. CEASE OPERATIONS IF PUBLIC SAFETY OR REMAINING STRUCTURES ARE ENDANGERED. PERFORM TEMPORARY CORRECTIVE MEASURES UNTIL OPERATIONS CAN BE CONTINUED SAFELY.

H. MAINTAIN EXISTING VAPOR BARRIERS AS APPLICABLE.

I. UNO, VERIFY FLOOR IS LEVEL THROUGHOUT, NOTIFY ARCHITECT AND OWNER OF ANY DISCREPANCIES.

DEMO PLAN - GENERAL

A. GC TO STUDY THE CONTRACT DOCUMENTS, DETERMINE THE LOCATION AND EXTENT OF SELECTIVE DEMOLITION TO BE PERFORMED.

B. GC TO FAMILIARIZE THEMSELVES WITH LANDLORD/OWNER RULES AND REGULATIONS PRIOR TO THE START OF DEMO.

C. COORDINATE WITH CONSTRUCTION PLANS FOR TOTAL EXTENT OF DEMOLITION/SELECTIVE DEMOLITION SCOPE. IDENTIFY ITEMS FOR DEMOLITION, SALVAGE, TO BE LEFT IN PLACE AND ITEMS TO BE SORTED FOR RECYCLING.

D. COORDINATE THE REMOVAL, RELOCATION, REPLACEMENT, STUB OFF, CAP OFF OR UPGRADE OF EXISTING POWER AND COMMUNICATION OUTLETS THROUGHOUT PER ELECTRICAL CODE REQUIREMENTS (WHERE REQUIRED).

E. COORDINATE THE REMOVAL, RELOCATION, REPLACEMENT, STUB OFF, CAP OFF OR UPGRADE OFMECHANICAL EQUIPMENT, DUCTS AND GRILLES WITH NEW WORK AND MECHANICAL DRAWINGS PER MECHANICAL CODE REQUIREMENTS.

F. COORDINATE THE REMOVAL, RELOCATION, REPLACEMENT, STUB OFF, CAP OFF OR UPGRADE OF PLUMBING FIXTURES PER PLUMBING CODE REQUIREMENTS.

G. COORDINATE THE REMOVAL, RELOCATION, REPLACEMENT, STUB OFF, CAP OFF OR UPGRADE OF EXISTING FIRE SUPPRESSION SYSTEMS.

H. EXECUTE DEMOLITION WORK TO ENSURE SAFETY OF PERSONS AND ADJACENT PROPERTY AGAINST DAMAGE BY FALLING DEBRIS.

I. FINISH NEW AND EXISTING SURFACES AS SCHEDULED. CLEAN EXISTING SURFACES OF DIRT, GREASE AND LOOSE PAINT BEFORE REFINISHING.

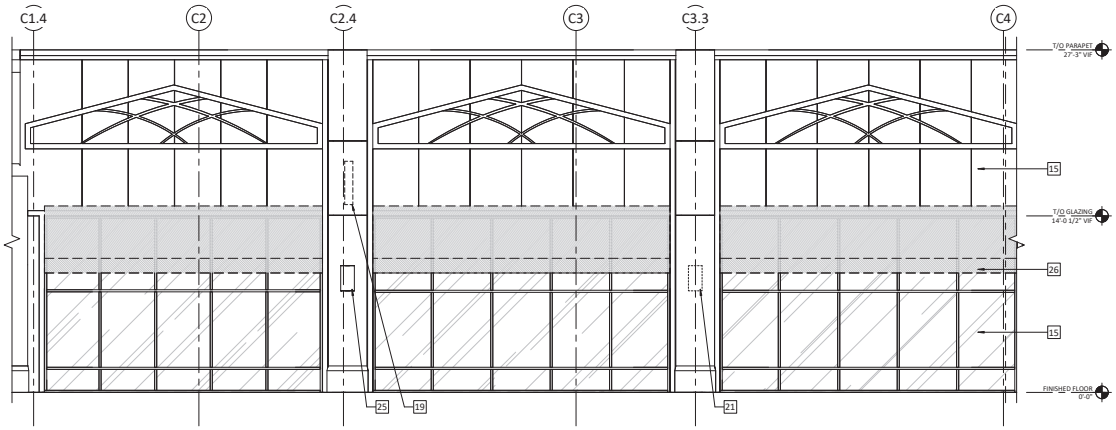
J. GENERAL CONTRACTOR IS RESPONSIBLE FOR FINAL TRENCHING OR CORING LAYOUT. COORDINATE WITH ARCHITECTURAL, ELECTRICAL, MECHANICAL, PLUMBING AND STRUCTURAL DRAWINGS. ALL TENCHING OR CORING IN FLOOR ASSEMBLIES IS TO BE COORDINATED AND APPROVED BY OWNER AND LANDLORD PRIOR TO WORK.

K. WHERE TRENCHING IS NOT PERMITTED AND CORING IS REQUIRED, GC IS RESPONSIBLE TO COORDINATE WORK WITH LOWER TENANT WHERE APPLICABLE AND INCLUDE ALL COSTS FOR COORDINATION/INSURANCE/PROTECTION/SECURITY/DRYWALL REPAIRS ETC. INCLUDING FINAL SIGNOFF FROM SAID TENANT.

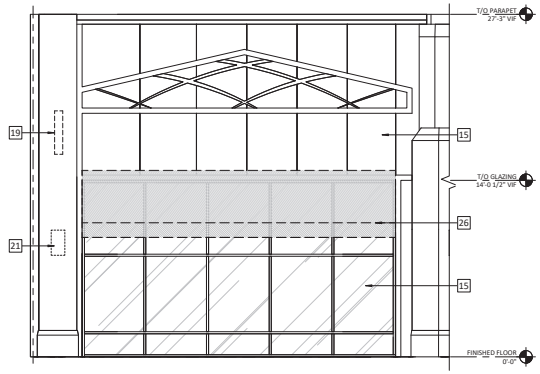
KEYNOTES

# - KEYNOTE SYMBOL	
1	REMOVE EXISTING FINISH FLOOR IN ITS ENTIRETY TO THE SLAB INCLUDING IF APPLICABLE: TOPPER, TILE SETTING, CARPET, SUBFLOOR, AND RESILIENT FLOOR ADHESIVE RESIDUE. FILL LOW SPOTS AND GRIND HIGH SPOTS, PATCH AND REPAIR REMAINING SLAB AS REQUIRED TO RECEIVE NEW FINISHES
2	REMOVE EXISTING PARTITION IN ITS ENTIRETY. PATCH AND REPAIR ALL REMAINING ADJACENT PARTITIONS, FLOOR AND CEILING AS REQUIRED TO PROVIDE LIKE NEW CONDITION, COORDINATE WITH PLAN
3	EXISTING PARTITION TO REMAIN, SEE SHEET A-110 CONSTRUCTION PLAN FOR SCOPE OF NEW WORK
4	REMOVE EXISTING DOOR AND FRAME IN ITS ENTIRETY
5	REMOVE EXISTING PLUMBING FIXTURES. CUT AND CAP ALL ABANDONED FIXTURES. COORDINATE WITH PLAN
6	REMOVE EXISTING TOILET ROOM ACCESSORIES. PATCH AND REPAIR EXISTING WALLS TO PROVIDE LIKE NEW CONDITION, COORDINATE WITH PLAN
7	REMOVE ALL EXISTING GWB OR ACT CEILINGS, SOFFITS, AND CONNECTIONS TO STRUCTURE ABOVE
8	REMOVE ALL EXISTING CEILING SYSTEMS, LIGHTING, HVAC REGISTERS, DUCTWORK, AND ELECTRICAL CONDUITS, UNO TO REMAIN ON THIS SHEET OR THE ARCHITECTURAL RCP OR SHOWN IN THE MEP DWGS.
9	REMOVE ANY AND ALL ABANDONED ELECTRICAL WIRING FOR LIGHT FIXTURES, CONDUITS, OUTLETS, ETC. EXPOSED OR CONEALED IN THE CEILING AND OR PARTITIONS. SEE SPECIFICATIONS FOR DISPOSAL METHODS
10	REMOVE EXISTING LIFE SAFETY AND EXIT SIGNAGE
11	EXISTING FIRE SPRINKLERS SHALL BE RELOCATED, UNO
12	REMOVE AND OR RELOCATE EXISTING MECHANICAL EQUIPMENT PER MEP DWGS
13	REMOVE ALL FLOOR AND WALL MILLWORK FIXTURES FROM PREVIOUS TENANT UNO
14	EXISTING COLUMN TO REMAIN, GC TO PATCH AND REPAIR FIRE PROOFING AS REQUIRED
15	EXISTING STOREFRONT TO REMAIN IN ITS ENTIRETY. DO NOT DAMAGE BASE BUILDING UTILITIES, STRUCTURE, OR WALL SOFFIT AND NEUTRAL PIERS. PATCH AND REPAIR AS REQUIRED TO MATCH EXISTING

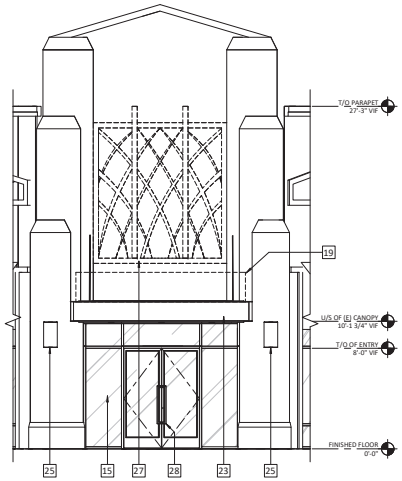
# - KEYNOTE SYMBOL	NOT USED
16	NEW EAS EQUIPMENT AT NEW STOREFRONT OPENING, SAW CUT AND TRENCH EXISTING CONCRETE SLAB TO RECESS EQUIPMENT BELOW SLAB, 3" DEEP TYP; SEE SHEET A-140 AND ELECTRICAL DRAWINGS. COORDINATE WITH LANDLORD FOR REQUIREMENTS/RESTRICTIONS
17	1"x1"SAW CUT AT EXISTING CONCRETE SLAB FOR EAS CONDUIT TO WALL WHERE NEW EAS CONTROLLER IS TO BE LOCATED. SEE A-140, ELECTRICAL DRAWINGS, AND APPROVED VENDOR DRAWINGS. COORDINATE WITH LANDLORD FOR SAW CUTTING REQUIREMENTS/RESTRICTIONS
18	NEW PLUMBING LOCATION, SAW CUT AND TRENCH/CORE EXISTING CONCRETE SLAB AS REQUIRED TO PROVIDE PLUMBING BELOW SLAB; SEE PLUMBING DRAWINGS FOR REQUIRED PLUMBING PENETRATIONS; COORDINATE WITH LANDLORD FOR REQUIREMENTS/RESTRICTIONS
19	EXISTING SIGNAGE TO BE REMOVED. GC TO PATCH AND REPAIR AS REQUIRED.
20	NEW CASH DESK LOCATION, SAW CUT AND TRENCH EXISTING CONCRETE SLAB AS REQUIRED TO PROVIDE ELECTRICAL CONDUIT BELOW SLAB TO REQUIRED POWER AND DATA STUB-UPS; SEE SIEETS A-140, A141, AND ELECTRICAL DRAWINGS. COORDINATE WITH LANDLORD FOR REQUIREMENTS/RESTRICTIONS
21	EXISTING EXTERIOR LIGHTING TO BE RELOCATED.
22	EXISTING ELECTRICAL PANELS TO REMAIN
23	EXISTING CANOPY TO REMAIN. GC TO PROTECT THROUGHOUT CONSTRUCTION
24	GC TO CONFIRM LEVEL CHANGE AT MALL FLOORING WITH NEW FLOORING SPEC (SEE A-120 AND A-121) AND GRIND DOWN SLAB AS REQUIRED AT FRONT OF STORE AT 1:48 MAX SLOPE TO ALLOW FOR FLUSH TRANSITION, COORDINATE EXTENT WITH NEW WORK DRAWINGS
25	EXISTING EXTERIOR LIGHTING TO REMAIN. GC TO PROTECT THROUGOUT CONSTRUCTION
26	EXISTING AWNING AND FRAME TO BE REMOVED. REFER TO STOREFRONT ELEVATIONS FOR MORE DETAILS
27	EXISTING STOREFRONT FEATURE TO BE REMOVED. GC TO PATCH AND REPAIR AS REQUIRED
28	EXISTING DOOR PULLS TO BE REMOVED AND REPLACED WITH NEW. GC TO PATCH AND REPAIR HOLES AFTER EXISTING DOOR PULLS ARE REMOVED. REFER TO STOREFRONT ELEVATIONS FOR FURTHER DETAILS



3 STOREFRONT DEMO ELEVATION
SCALE: 1/4" = 1'-0"



2 STOREFRONT DEMO ELEVATION
SCALE: 1/4" = 1'-0"



1 STOREFRONT DEMO ELEVATION
SCALE: 1/4" = 1'-0"

lululemon
1818 CORNWALL AVE.
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STRUCTURAL ENGINEER

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LICENSED NAME, ARCHITECT

ISSUED FOR PERMIT & BID

08/25/2025

DATE	DESCRIPTION
06/16/2025	ISSUED FOR DD REVIEW
08/05/2025	ISSUED FOR CD REVIEW
08/25/2025	ISSUED FOR PERMIT & BID

DRAWING INFORMATION
PROJECT #: 2412106
CHECKED BY: DM
DRAWN BY: VK

DEMO ELEVATION

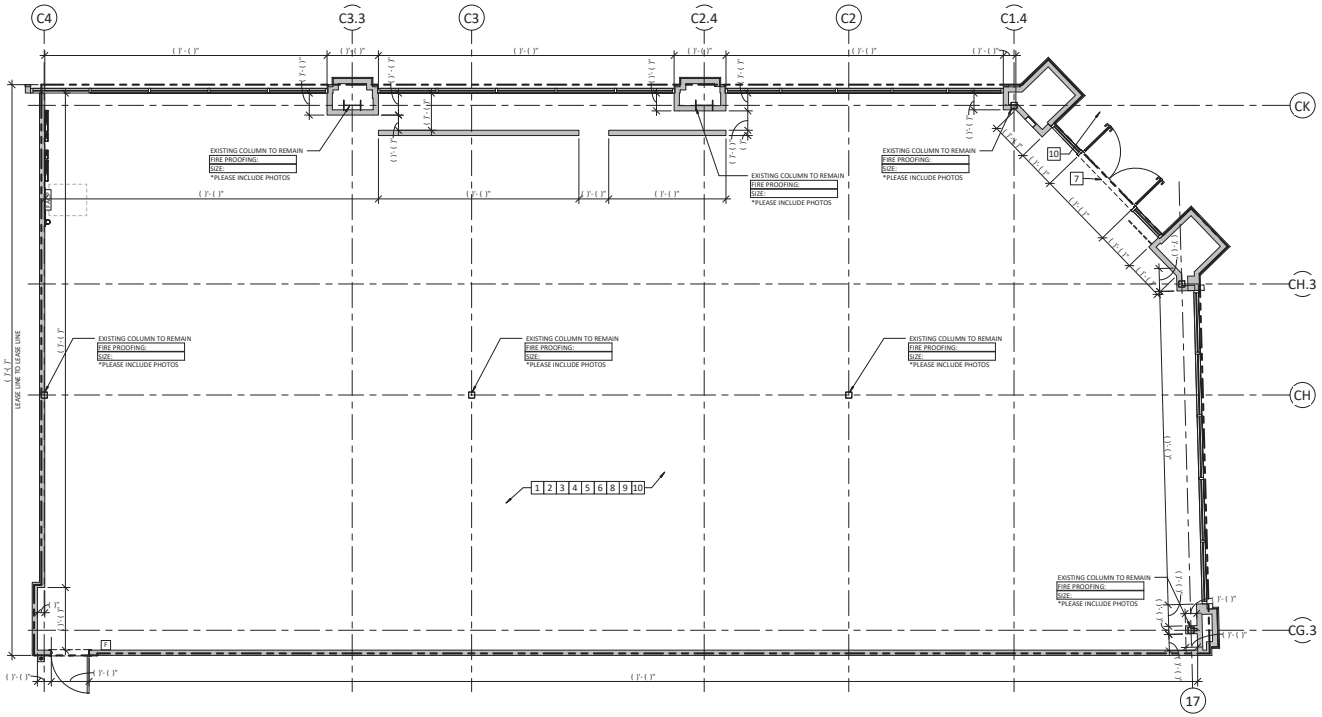
DRAWING NUMBER
A-041

2025-08-25 8:5:2:25 PM

KEYNOTES

# - KEYNOTE SYMBOL	NOT USED

1. GC TO VERIFY EXISTING SPACE, AFTER DEMOLITION AND PRIOR TO ANY NEW CONSTRUCTION
2. GC TO FILL IN REQUESTED INFORMATION ON PLAN ALONG WITH DOCUMENTATION FOR ANY CONDITION THAT DIFFERS FROM THESE PLANS AND FORWARD TO ARCHITECT AND LULULEMON CM
3. GC TO TAKE PHOTOS OF EXISTING SPACE INCLUDING COLUMNS, WALL, FLOOR, CEILING/STRUCTURE ABOVE
4. GC TO VERIFY HEIGHT AFF TO UNDERSIDE OF EXISTING STRUCTURE ABOVE
5. GC TO VERIFY HEIGHT TO UNDERSIDE OF EXISTING SPRINKER MAINS, UTILITIES, DUCTWORK, ETC. NOT DEMOLISHED OR RELOCATED FOR NEW WORK
6. GC TO VERIFY AND LOCATE ALL SLAB CONTROL JOINTS, SAWCUTS, CRACKS, FLOOR/WALL/CEILING EXPANSION JOINTS AND COORDINATE WITH PLANS AND ELEVATIONS
7. GC TO CONFIRM LEVEL CHANGE AT MALL FLOORING WITH NEW FLOORING SPEC (SEE A-120 AND A-121) AND GRIND DOWN SLAB AS REQUIRED AT FRONT OF STORE AT 1:48 MAX SLOPE TO ALLOW FOR FLUSH TRANSITION, COORDINATE EXTENT WITH NEW WORK DRAWINGS
8. GC TO CONFIRM HEIGHT OF EXISTING HVAC UNITS TO BE REUSED, IN CASES WHERE THE EXISTING UNIT LOCATION IS TOO HIGH ABOVE THE PROPOSED NEW CEILING HEIGHT TO SERVICE THE UNIT THROUGH CEILING ACCESS PANELS, GC TO CONFIRM IF A CATWALK WILL BE REQUIRED AND NOTIFY THE PROJECT TEAM IMMEDIATELY
9. GC TO VERIFY LOCATION AND DIMENSIONS OF ALL EXISTING COLUMNS, PIPES, ROOF DRAINS, OR SIMILAR AND NOTIFY OWNER AND ARCHITECT OF RECORD OF ANY CONFLICT WITH PROPOSED DESIGN AND CONSTRUCTION DOCUMENTS
10. GC TO VERIFY LEASE LINE WITH LANDLORD (LLD) AND ADVISE ARCHITECT IF ANY DISCREPANCY



1 FIELD VERIFICATION PLAN

SCALE: 1/4" = 1'-0"

lululemon

1818 CORNWALL AVE.
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08/05/2025	ISSUED FOR CD REVIEW
08/25/2025	ISSUED FOR PERMIT & BID

DRAWING INFORMATION

PROJECT #: 2412106
CHECKED BY: DM
DRAWN BY: CT

FIELD VERIFICATION PLAN, ELEVATION & SECTION

DRAWING NUMBER

A-042

2025-08-25 8:5:2:27 PM

BARRICADE RESPONSIBILITY SCHEDULE

NOT USED

DESCRIPTION	FURNISHED	INSTALLED	NOTES
BARRICADE	LLL-V	LLL-V	PAINT NOT REQUIRED IF BY LULULEMON VENDOR IF FURNISHED AND INSTALLED BY GC PAINT BENJAMIN MOORE - DECORATOR WHITE
BARRICADE DOORS	LLL-V	LLL-V	PAINT NOT REQUIRED IF BY LULULEMON VENDOR IF FURNISHED AND INSTALLED BY GC PAINT BENJAMIN MOORE - DECORATOR WHITE
BARRICADE PAINT	GC	GC	PAINT NOT REQUIRED IF BY LULULEMON VENDOR
BARRICADE GRAPHICS	LLL-V	LLL-V	LLL-BRAND TO CONFIRM WHICH OF 3 OPTIONS TO USE
BARRICADE REMOVAL	GC	GC	GC TO SCHEDULE BARRICADE REMOVAL FOR THE NIGHT BEFORE STORE OPENING
WINDOW GRAPHICS	LLL-V	LLL-V	
GRAPHICS REMOVAL AND CLEANING OF WINDOWS	GC	GC	
CONSTRUCTION PAPER REMOVAL AND CLEANING OF WINDOWS	GC	GC	
GRAPHIC CONSTRUCTION PAPER	LLL-V	GC	TO BE USED ONLY WHEN WINDOW GRAPHICS ARE NOT FEASIBLE DUE TO CITY REQUIREMENTS OR BUDGET CONSTRAINTS.
PLAIN BLACK CONSTRUCTION PAPER	GC	GC	TO BE USED WHEN BARRICADE NEEDS TO BE REMOVED EARLY, OR WHEN LLL TAKES EARLY POSSESSION (PRIOR TO GRAPHIC INSTALLATION)

GC PROVIDED BARRICADE NOTES

A. WHERE NO BARRICADE SPECIFICATION IS GIVEN BY THE MALL AND BOSTON BARRICADE IS NOT DOING THE BARRICADE, BARRICADES TO BE CONSTRUCTED WITH 3-5/8" METAL STUDS WITH 5/8" TYPE 'X' GYPSUM WALL BOARD, TYP. FOR BARRICADES TALLER THAN 18'-0" USE 6" METAL STUDS. FOR EXTERIOR BARRICADES USE 3/4" GRADE AC PLYWOOD WHERE PERMITTED OR SMOOTH WEATHERPROOF WALLBOARD SUCH AS HDF, CREZONE, HARDIEPANEL OR APPROVED EQUAL.

B. ALL SUBSTRATES MUST BE PRE-PRIMED WITH ONE COAT LATEX PRIMER AND TWO COATS SEMI GLOSS LATEX PAINT WITH FINISHED JOINTS, CLEAN, SMOOTH AND DRY, READY TO ACCEPT GRAPHIC VINYL.

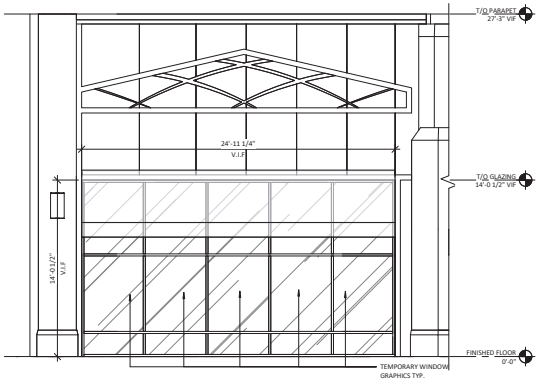
C. BARRICADE DOORS TO BE FLAT AND FLUSH TO ADJACENT WALL PREPPED THE SAME AS THE BARRICADE TO ACCEPT GRAPHIC.

D. GRAPHICS FOR EXTERIOR APPLICATION TO USE STRONG ADHESIVE MEANT FOR TEXTURED SURFACES AND EXTERIOR APPLICATIONS. GRAPHICS FOR INTERIOR BARRICADES PROVIDED BY HOLDING COMPANY OR LANDLORD TO USE REMOVALABLE ADHESIVE. GC TO ENSURE NO RESIDUE TO REMAIN ON REMOVAL OF GRAPHICS.

E. GC TO INSTALL TEMPORARY LULULEMON-FURNISHED GRAPHICS WITH MASKING TAPE OVER ALL CLEAR WINDOWS TO 7'-0" ABOVE GRADE AFTER REMOVAL OF BARRICADE. GC TO REMOVE TEMPORARY PAPER AND CLEAN WINDOWS PRIOR TO STORE OPENING.

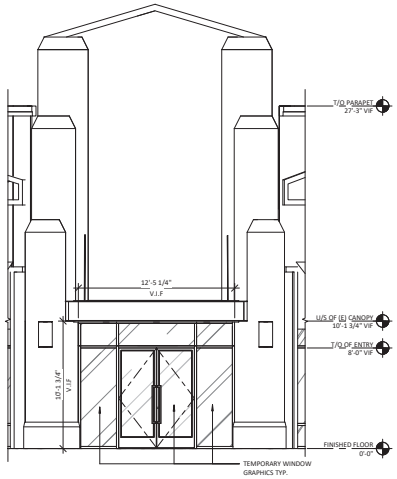
F. COORDINATE BARRICADE GRAPHICS WITH LLL STORE DEVELOPMENT

LANDLORD NOTES



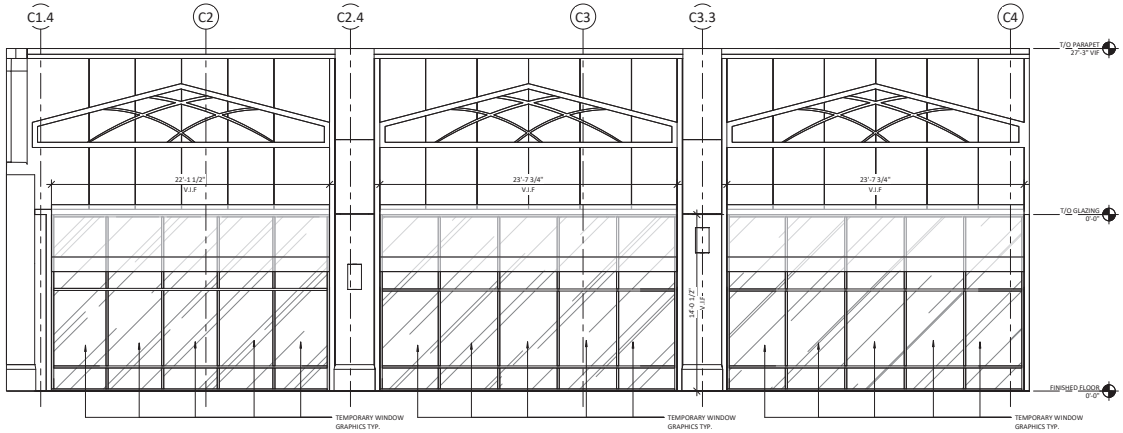
6 TEMPORARY BARRICADE ELEVATION A

SCALE: 1/4" = 1'-0"



7 TEMPORARY ELEVATION B

SCALE: 1/4" = 1'-0"



8 TEMPORARY ELEVATION C

SCALE: 1/4" = 1'-0"

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08/25/2025	ISSUED FOR PERMIT & BID

DRAWING INFORMATION

PROJECT #: 2412106
CHECKED BY: DM
DRAWN BY: VK

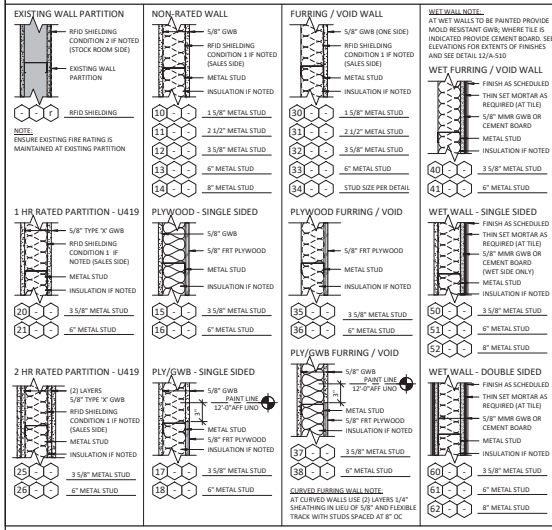
CONSTRUCTION BARRICADE AND WINDOW DIMS.

DRAWING NUMBER

A-050

2025-08-25 8:52:30 PM

PARTITION CONFIGURATION



NON-STRUCTURAL STUD HEIGHT CHART

TYPE 'A' WALLS - COMPOSITE WALLS, FULLY BRACED			
STUD DEPTH	FLANGE WIDTH	SSMA DESIGNATION	HEIGHT
2 1/2"	1 1/4"	250S125-33	UP TO 14' - 3"
3 5/8"	1 1/4"	362S125-33	UP TO 17' - 5"
6"	1 1/4"	600S125-33	UP TO 25' - 6"
ALL OTHER WALLS - NON-COMPOSITE WALLS, BRACED AT 48" OC*			
STUD DEPTH	FLANGE WIDTH	SSMA DESIGNATION	HEIGHT
2 1/2"	1 1/4"	250S125-33	UP TO 12' - 1"
3 5/8"	1 1/4"	362S125-33	UP TO 16' - 1"
6"	1 1/4"	600S125-33	UP TO 22' - 11"

1. USE MINIMUM 20 GAUGE METAL STUDS OR 7/8" METAL FURRING CHANNELS, SPACED AT 16" OC, UNO, *PROVIDE HORIZONTAL BRIDGING AT 48" OC
2. DESIGN BASED ON 2015 SSMA PRODUCT TECHNICAL GUIDE (ICC ESR #3064P) FOR INTERIOR NON-STRUCTURAL, ALLOWABLE DEFLECTION L/240, 5 PSF LATERAL LOAD

STUD DESIGNATION

EXAMPLE: 3 5/8", 20 GA. NON-STRUCTURAL METAL STUD

MEMBER DEPTH (1/100 INCHES) — 362 S 125 - 33 — MATERIAL THICKNESS (MILS)

MEMBER TYPE (S = STUD, T = TRACK, U = CHANNEL, F = FURRING) — FLANGE WIDTH (1/100 INCHES)

WALL LEGEND

- BASE BUILDING (E) WALL
- NEW WALLS
- NEW WALLS WITH RFID
- SOUND BATT IN WALL
- SOUND BATT/RFID IN WALL
- NEW 1-HR WALLS
- NEW 2-HR WALLS
- NOT IN SCOPE

PARTITION TAG

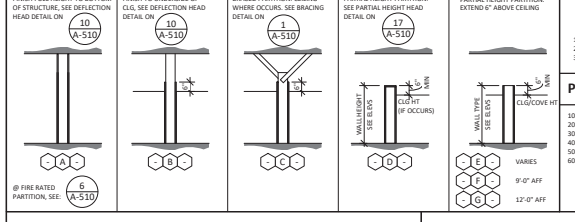
10 A - (1ST) (2ND) (3RD)

1ST - PARTITION CONFIGURATION
2ND - HEIGHT CONFIGURATION
3RD - INSULATION

PARTITION SERIES

10-SERIES: NON-RATED
20-SERIES: RATED
30-SERIES: FURRING
40-SERIES: WET FURRING
50-SERIES: WET WALL - SINGLE SIDED
60-SERIES: WET WALL - DOUBLE SIDED

HEIGHT CONFIGURATION

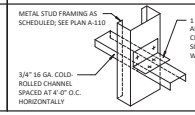


INSULATION

NOTE:
ENSURE EXISTING FIRE RATING IS MAINTAINED AT EXISTING PARTITIONS

- NO INSULATION
- a — ACOUSTICAL INSULATION
- 1hr — FIRE RATED - 1 HR MINERAL WOOL BATT
- r — RFID REFLECTIVE SHIELDING CONDITION 1 OR 2 AS NOTED SEE SPEC AS-160 APPENDIX B
- t — THERMAL INSULATION
- 2hr — FIRE RATED - 2 HR MINERAL WOOL BATT

HORZ. BRIDGING



GENERAL NOTES

A. FURNISH AND INSTALL PARTITIONS AND SIMILAR STRUCTURES IN ACCORDANCE WITH SPECIFICATIONS INCLUDING BUT NOT LIMITED TO DOOR TRIM, ROUGH / FINISH HARDWARE, DECORATIVE ELEMENTS AS INDICATED ON PLANS, ELEVATIONS, AND DETAILS, UNO.

B. GC TO VERIFY THAT ALL PENETRATIONS IN SLAB ARE FREE OF ALL OBSTRUCTIONS INCLUDING, BUT NOT LIMITED TO IN SLAB CONDUIT, REBAR, ETC. GC TO COORDINATE AND RETAIN APPROVAL FROM LANDLORD AS REQUIRED FOR ALL SLAB PENETRATIONS PRIOR TO COMMENCING WORK

C. SEE SHEET AS-140 GYPSUM BOARD SPECIFICATIONS AND SHEET A-120 FINISH SCHEDULE FOR GYPSUM BOARD FINISH LEVELS

D. DO NOT SCALE DRAWINGS. SUBMIT TO ARCHITECT ANY DISCREPANCIES FOR CLARIFICATION

E. APPROVED FIRE EXTINGUISHERS SHALL BE INSTALLED AS REQUIRED BY LOCAL AUTHORITY. SEE A-130 FIXTURE SCHEDULE FOR SPECIFICATION

F. GC TO FURNISH AND INSTALL ACCESS PANELS PER CODE FOR ACCESS TO HVAC, WATER CHILLERS, LED DRIVERS, SIGNAGE, AND SENSORMATIC ACCESS. IF ADDITIONAL ACCESS PANELS ARE REQUIRED FOR OVERHEAD GRILLE OR ADDITIONAL PLUMBING, MECHANICAL, OR ELECTRICAL ACCESS, ETC. GC TO COORDINATE PLACEMENT WITH ARCHITECT AND LULULEMON CM. IN-WALL ACCESS PANELS TO BE FLUSH FRAMELESS GYPSUM BOARD TYPE, CEILING ACCESS PANELS TO BE PUSH-UP TYPE 1. GC TO SPECIFY AND SUBMIT TO ARCHITECT FOR REVIEW AND APPROVAL. SEE AS-130 DIVISION 083100 FOR SPECIFICATIONS

G. USE NO COMBUSTIBLE MATERIALS ABOVE SUSPENDED CEILINGS. FIRE RETARDANT TREATMENTS WILL BE EXTENDED TO STRUCTURAL CEILING WHERE REQUIRED FOR CODE COMPLIANCE

H. USE MINIMUM 20 GAUGE METAL STUDS OR 7/8" METAL FURRING CHANNELS, TYPE AND SPACING IN ACCORDANCE WITH LOCAL BUILDING REQUIREMENTS, NORMAL SPACING OF 16" O.C., FOR FRAMING PARTITIONS AND SIMILAR CONSTRUCTION, UNO

I. ALL INTERIOR PARTITIONS SHALL EXTEND 6" MIN ABOVE HIGHEST ADJACENT FINISHED CEILING, UNO

J. ALL WALLS TO BE PREPARED FOR PAINT ON GYPSUM BOARD, UNO. FINISH LEVELS SPECIFIED ON SHEET A-120 FINISH SCHEDULE

K. PROVIDE DIAGONAL BRACING TO STRUCTURE ABOVE ALL DOORS, GLAZING HEADS AND JAMBS AS REQUIRED TO MAKE ASSEMBLY RIGID

L. GC IS RESPONSIBLE FOR MAINTAINING INTEGRITY OF RATED PARTITIONS AND STRUCTURE PARTICULARLY WHERE PENETRATED BY VARIOUS TRADES AND SERVICES

M. PROVIDE WATER PROOF MEMBRANE 5'-0" BEYOND ALL PLUMBING FIXTURES AND RESTROOMS WITH 6" MINIMUM UP ADJACENT WALLS

N. SEE ENLARGED STOREFRONT PLANS AND DETAILS ON A-410 FOR STOREFRONT DIMENSIONS AND OTHER CRITICAL INFORMATION

O. GC SHALL REVIEW ALL ELEVATIONS, FIXTURE PLANS AND DETAILS FOR LOCATIONS OF METAL STRAP BACKING IN WALLS AND MOUNTING REQUIREMENTS FOR FIXTURES, EQUIPMENT AND GRAPHIC/SIGN INSTALLATION PRIOR TO BEGINNING CONSTRUCTION. THE GC SHALL COORDINATE ALL SUCH BACKING WITH LULULEMON VENDOR INSTRUCTIONS

P. GC SHALL INSTALL MOISTURE RESISTANT GYPSUM BOARD (COORDINATE WITH WALL TYPES, 40 SERIES, 50 SERIES, AND 60 SERIES) ALL TOILET ROOMS, AROUND MOP SINKS, KITCHENETTE, LIMITED EXTERIOR EXPOSURES AND OTHER LOCATIONS SUSCEPTIBLE TO MOISTURE, UNO

Q. SEE 500 SERIES DETAILS AND 300 SERIES ENLARGED RESTROOMS FOR BLOCKING EXTENTS

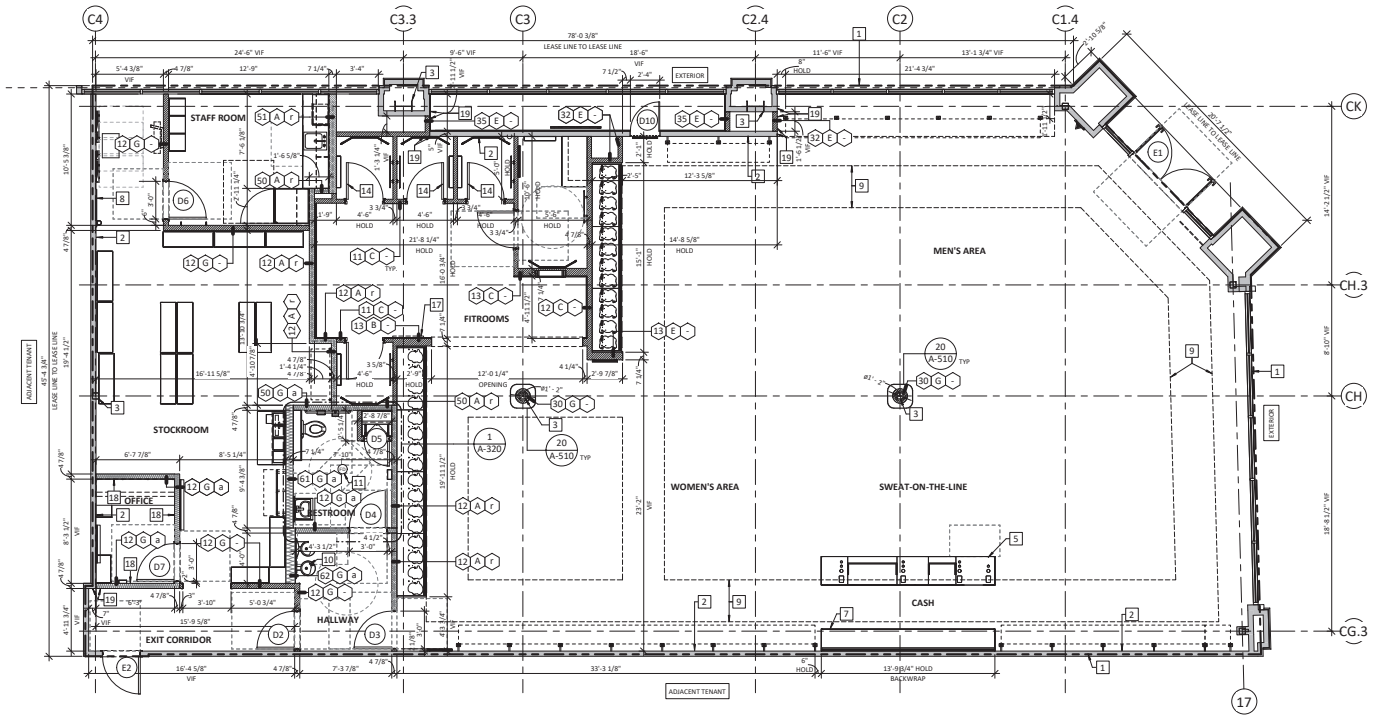
R. ALL WALL DIMENSIONS ARE FROM FACE OF FINISH, UNO

S. ALL DOORS TO BE LOCATED 4" FROM ADJACENT PERPENDICULAR WALL, UNO

T. SEE TYPICAL DETAILS A-030 FOR TYPICAL CLEARANCES AND MOUNTING HEIGHTS

KEYNOTES

#	KEYNOTE SYMBOL — NOT USED
1	DASH/DOT LINE AT PERIMETER INDICATES LEASE LINE
2	EXISTING PARTITION AND/OR DEMISING WALL, REMOVE AND REPLACE (E) GWB AS REQUIRED TO PROVIDE BLOCKING FOR WALL FIXTURES, SEE A-500 SERIES FOR BLOCKING DETAILS, PATCH, REPAIR, AND SEAL GAPS AS REQUIRED TO RESTORE REQUIRED FIRE RATING FOR FULL EXTENT OF PARTITION AND PREP AS REQUIRED TO PROVIDE 'LIKE NEW' SURFACE UP TO CEILING HEIGHT OR PAINT LINE AT 12'-0" AFF.
3	EXISTING COLUMN. LOCATION TO BE VERIFIED IN FIELD BY GC
4	ENTRY GRILLE LINE OF CLOSURE. REFER TO DOOR SCHEDULE
5	34" AFF COUNTER HEIGHT AT ACCESSIBLE TRANSACTION SPACE
6	NOT USED
7	SAFE TO BE INSTALLED IN BACKWRAP MILLWORK BY G.C.
8	EXISTING FRT PLYWOOD TELEPHONE BACKER BOARD, PAINT TO MATCH WALL. SEE SHEET A-140 AND ELECTRICAL DRAWINGS FOR BACKER BOARD DETAIL
9	LINE OF SOFFIT OR DROPPED CEILING ABOVE, SEE SHEET A-160 RCP FOR MORE INFORMATION
10	WATER FEATURE (BOTTLE FILLER)/DRINKING FOUNTAIN, SEE SHEET A-330 ENLARGED DRINKING FOUNTAIN PLANS AND A-320 ENLARGED RESTROOM PLANS FOR MORE INFORMATION
11	FLOOR DRAIN, CENTERED IN ROOM, REFER TO A-320 AND PLUMBING DRAWINGS FOR MORE DETAIL
12	NOT USED
13	FRT PLYWOOD ELECTRICAL PANEL BACKER BOARD, PAINT TO MATCH WALL. REFER TO A-140 AND ELECTRICAL DRAWINGS FOR BACKER BOARD DETAIL
14	FITROOM DOOR, TYPICAL. LLL-Y TO PROVIDE DOOR, JAMB, MIRROR, FRAME AND MARKER BOARD. GC TO PROVIDE LEVERS, SEE SHEET A-180 FOR DOOR SCHEDULE.
15	SEE A-400 SERIES STOREFRONT DETAILS AND STRUCTURAL DRAWINGS FOR STOREFRONT WALL CONFIGURATION
16	SEE A-540 FOR BACKWRAP WALL CONFIGURATION
17	GC TO PLACE GWB AFTER LLL-Y INSTALLATION. COORDINATE DETAILS WITH LLL-Y AS NECESSARY
18	GC TO INSTALL 2 LAYERS OF 5/8" TYPE X GWB TO INTERIOR SIDE OF OFFICE. STAGGER JOINTS FOR OPTIMAL ACOUSTIC ATTENUATION. SEE A120 FOR ACOUSTIC INSULATION SPEC.
19	FRONT FACE OF NEW CONSTRUCTION TO BE FLUSH WITH FRONT FACE OF EXISTING ADJACENT CONSTRUCTION



1 CONSTRUCTION PLAN
SCALE: 1/4" = 1'-0"

lululemon
1818 CORNWALL AVE.
VANCOUVER, B.C., V6J1C7

SUMMIT FAIR MALL
910 NW BLUE PKWY,
SUITE G, LEE'S SUMMIT
MO 64086

ARCHITECT
JOEL C. TORIELLI
422 BOGERT AVENUE
RIDGEWOOD, NJ 07450

MEP ENGINEER

STRUCTURAL ENGINEER

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SEAL
LICENSED NAME, ARCHITECT

ISSUED FOR PERMIT & BID

08/25/2025

DATE	DESCRIPTION
06/16/2025	ISSUED FOR DD REVIEW
08/05/2025	ISSUED FOR CD REVIEW
08/25/2025	ISSUED FOR PERMIT & BID

DRAWING INFORMATION
PROJECT #: 2412106
CHECKED BY: DM
DRAWN BY: VK

(SELECT) CONSTRUCTION PLAN

DRAWING NUMBER
A-110

2025-08-25 8:52:34 PM

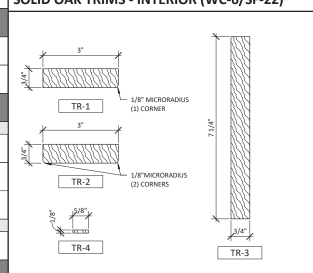
FINISH SCHEDULE

NOT USED (shaded rows)

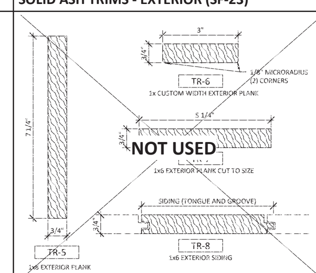
TAG	MATERIAL/LOCATION	MANUFACTURER	DESCRIPTION	REMARKS	FURNISHED	INSTALLED	AREA
PAINTS							
P-1	SALES - OPEN CEILING (DECKS OVER 16'-0"AFF)	BENJAMIN MOORE WATERBOURNE CEILING PAINT	COLOR: HC-166 KENDALL CHARCOAL, FINISH: ULTRA FLAT (508)	OPEN CEILING, HVAC , EXPOSED CEILING ITEMS , WALLS ABOVE 12'-0" PAINT LINE IF APPLICABLE FOR SALES FLOOR, USE BLACK TRACK LIGHTING, SPEAKERS, WAPS, TCS, CAMERAS	GC	GC	--
P-2	SALES AND BOH GWB CEILINGS	BENJAMIN MOORE WATERBOURNE CEILING PAINT	COLOR: OC-65 CHANTILLY LACE, FINISH: ULTRA FLAT (508), PRIMER: BENJAMIN MOORE FRESH START HIGH HIDING PRIMER (046)	GWB CEILINGS AND PERIMETER SOFFITS	GC	GC	--
P-3	DOORS/ TRIM	BENJAMIN MOORE ULTRA SPEC SCUFF-X	COLOR: HC-166 KENDALL CHARCOAL, FINISH: SATIN (486), PRIMER: BENJAMIN MOORE FRESH START HIGH HIDING PRIMER (046)		GC	GC	--
P-3A					GC	GC	--
P-4	SALES - WALLS	BENJAMIN MOORE REGAL SELECT INTERIOR	COLOR: OC-53 HORIZON, EGGSHELL (485), PRIMER: BENJAMIN MOORE FRESH START HIGH HIDING PRIMER (046)	SALES WALLS TO 12'-0" PAINT LINE	GC	GC	--
P-5	SALES - WALLS AT FITROOMS / HIGH TOUCH AREAS / HALLWAYS	BENJAMIN MOORE ULTRA SPEC SCUFF-X	COLOR: OC-53 HORIZON, FINISH: SATIN (486), PRIMER: BENJAMIN MOORE FRESH START HIGH HIDING PRIMER (046)	SEE SHEET A-310 FOR FITROOM PAINT SCOPE	GC	GC	--
P-6	BOH AND RESTROOM - WALLS	BENJAMIN MOORE ULTRA SPEC SCUFF-X	COLOR: HC-170 STONINGTON GRAY, FINISH: SATIN (486), PRIMER: BENJAMIN MOORE FRESH START HIGH HIDING PRIMER (046)	BOH WALLS FULL HEIGHT	GC	GC	--
P-7	BOH - OPEN CEILING SALES - OPEN CEILING (DECKS UNDER 14'-0"AFF)	BENJAMIN MOORE WATERBORNE CEILING PAINT	COLOR: HC-179 PLATINUM GRAY, FINISH: ULTRA FLAT (508)	WHEN USING FOR SALES FLOOR (OPEN CEILING, HVAC, EXPOSED CEILING ITEMS), USE WHITE TRACK LIGHTING, SPEAKERS, WAPS, TCS, CAMERAS	GC	GC	--
P-8	SALES HALLWAY TO BOH	BENJAMIN MOORE ULTRA SPEC SCUFF-X	COLOR: HC-166 KENDALL CHARCOAL, EGGSHELL (485), PRIMER: BENJAMIN MOORE FRESH START HIGH HIDING PRIMER (046)	SALES HALLWAY LEADING TO BOH	GC	GC	--
P-10	PRIMER FOR WC-2	BENJAMIN MOORE REGAL SELECT PRIMER	COLOR: STANDARD BASE WHITE (01), FINISH: SEMI-GLOSS (F551) NO TINT REQUIRED	NO PRE-PRIMER REQUIRED APPLY 2 COATS AT ALL WALLS TO BE PRIMED BEHIND WC-2 WALL COVERING AT STAFF WALLS WC-2 VENDOR REQUIRES MINIMUM 7 DAYS AFTER PRIMER APPLICATION TO ALLOW FOR OFF-GASSING PRIOR TO THEIR SCHEDULED WC-2 INSTALL DATE	GC	GC	--
P-11	SALES - OPEN CEILING (DECKS OVER 14'-0"AFF TO 16'-0"AFF)	BENJAMIN MOORE WATERBORNE CEILING PAINT	COLOR: AF-710 SECRET, FINISH: ULTRA FLAT (508)	WHEN USING FOR SALES FLOOR (OPEN CEILING, HVAC, EXPOSED CEILING ITEMS), USE WHITE TRACK LIGHTING; USE BLACK SPEAKERS, WAPS, TCS, CAMERAS, AND EMERGENCY LIGHTING	GC	GC	--
FLOORING							
CNC-1	(STANDARD) EXISTING CONCRETE FLOOR - SALES	GC	EXECUTION: PLANETARY GRINDER, CLASS B, LEVEL 2 (400 GRIT-HONED POLISH) DENSIFIER/GUARD - AMERIPOLISH 3DHS/AMERIPOLISH 3DSP OR APPROVED EQUAL CONTROL JOINTS: METZGER MCGUIRE RS88 OR EQUAL (COLOUR-DOVETAIL GRAY)	SEE SHEET AS-130 FOR PERFORMANCE SPECIFICATION ENSURE EXISTING THRESHOLDS TO ADJACENT SPACES OR MALL FLOORING IS ADA COMPLIANT, OTHERWISE IF DIFFERENCE IS 1/2" MAX: PROVIDE SCHLUTER RENO-EU STAINLESS STEEL TRANSITION STRIP, AND IF OVER 1/2"H: GC TO PROVIDE A 1:48 MAX SLOPE AS REQUIRED USING SELF-LEVELING CONCRETE, CUSTOM MATCH TO EXISTING SLAB BASED, COORDINATE WITH VENDOR AT BEGINNING OF CONSTRUCTION FOR ON SITE SAMPLE	GC	GC	--
CNC-2	(STANDARD) NEW SELF-LEVELLING POLISHED CONCRETE TOPPER	CTS CEMENT MANUFACTURING	PRIMER: RAPIDSET TXP FAST EPOXY PRIMER WITH SAND BROADCAST. 1/2" RAPIDSET TRU PC GRAY 3000 EXECUTION: PLANETARY GRINDER, CLASS B, LEVEL 2 (400 GRIT-HONED POLISH) DENSIFIER/GUARD - AMERIPOLISH 3DHS/AMERIPOLISH 3DSP OR APPROVED EQUAL CONTROL JOINTS: METZGER MCGUIRE RS88 OR EQUAL (COLOUR-DOVETAIL GRAY) FIXED JOINTS: NATIONAL METAL SHAPES: ZINC TZ1216G	SEE SHEET AS-130 FOR PERFORMANCE SPECIFICATION CONTACT REP.: JOE ZINGALE JZINGALE@CTSCEMENT.COM FOR MORE INFORMATION NO ALTERNATES	GC	GC	--
CNC-3	EXISTING CONCRETE FLOOR - BOH	ARDEX OR APPROVED EQUAL	SEALER: CLEAR, POLYURETHANE, REDUCED GLOSS, SEALER. ARDEX PC 60 REDUCED GLOSS OR EQUAL APPROVED ALTERNATE: ARDEX CG™ 2.0, COLOR: GRAY USE AT BOH TYPICAL, IF USED AT SALES FLOOR PROVIDE (2) LAYERS MATTE, ANTI-SLIP SACRIFICIAL WAX	SEE SHEET AS-130 FOR PERFORMANCE SPECIFICATION PREP SLAB PRIOR TO SEAL PER MANUFACTURER'S INSTRUCTIONS: MECHANICALLY REMOVE ANY FORM RELEASE, SEALERS OR PAINTS, DUST, DIRT, OILS OR ANY OTHER CONTAMINANT THAT COULD ACT AS A BOND BREAKER BY SHOT BLASTING OR SIMILAR. PATCH SLAB TO CREATE LEVEL SURFACE THROUGHOUT USING ONLY ARDEX APPROVED PATCHING MATERIALS	GC	GC	--
FT-1	PORCELAIN FLOOR TILE - RESTROOM & MOP SINK	DAL TILE	SERIES: PORTFOLIO, COLOR: ASH GREY PF05, FINISH: MATTE, 12" x 24" x 3/8", STACKED PATTERN GROUT: 1/8" ARDEX 22 - CAST IRON	PROVIDE UNCOUPLING MEMBRANE:SCHLUTER-DITRA OR ALTERNATE: LATICRETE FRACTURE BAN SC	GC	GC	--
FT-2	PORCELAIN EXTERIOR ENTRY	DAL TILE	DAL-TILE - THRU-BODY PORCELAIN 12" X24" X 5/16" SERIES: CLAY CANVAS COLOUR: COAL CC05 - MATTE(1) GROUT: 1/8" ARDEX: BLACK LICORICE 24 FINISH:HONED, NON-SLIP FINISH WITH CLEAR NON-SLIP TOP COAT	TO BE USED FOR EXTERIOR ENTRY VESTIBULES, UNLESS EXISTING LLD PAVERS OR CONCRETE CAN BE MAINTAINED	GC	GC	XX SF
FT-3	(SELECT-DIAL-UP) PORCELAIN "TERRAZZO" TILE-SALES	DAL TILE	SERIES: ASSEMBLE - 30" X30" X 3/8" - STACKED PATTERN COLOUR: PROXY AS10 GROUT: 3/16" ARDEX 19 SILVER SHIMMER CONTROL JOINTS: COLOUR MATCHED RESILIENT JOINTS 12' OC BOTH DIRECTIONS INCLUDING HONORING OF SLAB JOINTS	GC TO PROVIDE UNCOUPLING MEMBRANE. SCHLUTER-DITRA OR EQUAL. GC TO CONFIRM LEVEL CHANGE AT MALL FLOORING AND GRIND OR INFILL SLAB AS REQUIRED AT FRONT OF STORE AT 1:48 MAX SLOPE TO ALLOW FOR FLUSH TRANSITION	GC	GC	XX SF
MAT-3	WALK OFF MAT - ENTRY				GC	GC	--
WD-1	WOOD FLOOR - FITROOMS	RECLAIMED WOOD DESIGN WORKS, LLC	CIRCULAR SAWN WHITE OAK; ENGINEERED PLANK, STANDARD UV PREFINISHED; 6" WIDE PLANK, 1/2" THICK, RANDOM LENGTHS NOT LESS THAN 72 INCHES WD-1 APPROVED ALTERNATE: TERRAMAI 7" WIDE PLANK WHITE OAK ENGINEERED FLOORING SKU: 1005 THICKNESS: ½" FINISH: MATTE POLYURETHANE INSTALL: GLUE DOWN. GLUE (100% MOISTURE-CURING POLYURETHANE OR SILANE-MODIFIED POLYMER-AXIOS OR MS-POLYMER	SMOOTHED IN FIELD PER OWNER'S REQUEST. INSTALLATION: GLUE-DOWN. NOTE: BUILD UP SUBFLOOR IF REQUIRED TO ACHIEVE LEVEL TRANSITION WITH ADJACENT FINISHES, VERIFY FIELD CONDITIION AND PROVIDE VAPOR BARRIER UNDERLAYMENT IF REQUIRED, RECOMMENDED, APPROVED, OR ACCEPTED BY THE MANUFACTURER FOR THE INSTALLATION INDICATED	LLL-V	GC	380 SF
WALLS							
AB-1	ACOUSTIC BATTS - OFFICE	GC	ROCKWOOL AFB ACOUSTICAL/FIRE BATTS (THICKNESS PER STUD SIZE)	FOR OFFICE WALLS, USE 2 LAYERS 5/8" TYPE X GWB AND RESILIENT ISOLATING CHANNELS AT STEEL STUDS (INTERIOR SIDE ONLY) FOR SOUND TRANSMISSION CLASS (STC) RATING OF 57. SEE A-110 WALL TYP TAGES FOR LOCATION	GC	GC	--
FRP-1	FRP - BOH	MARLITE OR APPROVED EQUAL	COLOR: WHITE, FINISH: P100 - PEBBLE FINISH, 4' x 8' x 3/32", PROVIDE STAINLESS STEEL CORNER GUARDS AND WHITE PVC TRIM PIECES	SEE DETAILS 4, 9, 15, AND 19/A-510 ORIENT HORIZONTALLY WITH TOP OF PANEL @ 50"AFF BOTTOM EDGE TO BE CONCEALED BY WALL BASE	GC	GC	--
WC-2	STAFFROOM WALLCOVERING	LLL-V	DREAMSCAPE: CAVIAR - CUSTOM PRINTED WALLCOVERING WITH SELF-ADHESIVE BACKING APPLIED OVER FINISHED GC PRIMED WALL SURFACE (P-10)	SEE ELEVATIONS SHEET A-220, ALLOW 7 DAYS FOR GC PRIMER TO CURE PROR TO INSTALLATION	LLL-V	LLL-V	108.25 SF
WC-3	3RD TIER MANIFESTO	LLL-V	CUT VINYL GRAPHIC APPLIED OVER FINISHED GC PAINTED WALL SURFACE EXTEND FROM 5'-2 1/2"AFF TO TOP OF COVE (STANDARD 12'-2" AFF; SELECT 12'-8" AFF; DIAL-UP 13'-6" AFF) SEE CEILING PLANS FOR COVE HEIGHTS	SEE ELEVATIONS SHEET A-210, GC TO COORDINATE VENDOR INSTALL BEFORE OUTRIGGERS ARE INSTALLED, ALLOW 7 DAYS FOR GC PAINT TO CURE PRIOR TO INSTALLATION	LLL-V	LLL-V	893.50 SF
WC-5	INTERIOR WOOD VENEER PANEL CLADDING	LLL-V	1/2" THICK WHITE OAK VENEER PANEL WITH MATTE CLEAR COAT, PLAIN SAWN, BOOK AND END MATCHED, ALL EXPOSED EDGES TO BE FINISHED. VENEER PANELS TO BE HUNG BY GC ON LLL-V SUPPLIED Z-CLIPS TO FRT PLYWOOD SUBSTRATE PANEL	SEE SHEETS A-541, A-542, A-543 FOR DETAILS, SEE TRIM PROFILES BELOW FOR SOLID WOOD TRIMS, LLL-V TO PROVIDE SOLID WOOD BASE TR-3 WITH BRAKE METAL AT BASE REVEAL (B-4), LLL-V TO MITER ALL EXPOSED OUTSIDE CORNERS AND PROVIDE METAL CORNER TRIMS (WP-8) AS REQUIRED	LLL-V	GC	--
WC-6	INTERIOR SOLID WOOD	LLL-V	3/4" THICK WHITE OAK SOLID WOOD WITH MATTE CLEAR COAT, PLAIN SAWN, WHERE GRAIN DIRECTION IS NOTED AS PARALLEL TO ADJACENT VENEER PANELS MATCH GRAIN WITH VENEER, ALL EXPOSED EDGES TO BE FINISHED. SECURE TRIMS TO WALLS AND CEILINGS WITH ADHESIVE AND FINISHING NAILS AS REQUIRED, GC TO FILL HOLES WITH MATCHING FILLER	SEE SHEETS A-541, A542, A543 FOR DETAILS, SEE TRIM PROFILES BELOW FOR SOLID WOOD TRIMS, AT SOLID WOOD BASE (TR-3) LLL-V TO PROVIDE BRAKE METAL AT BASE REVEAL (B-4), LLL-V TO MITER ALL EXPOSED OUTSIDE CORNERS AND PROVIDE METAL CORNER TRIMS (WP-8) AS REQUIRED	LLL-V	GC	--
WT-1	CERAMIC TILE - RESTROOM AND KITCHEN BACKSPLASH	DALTILE	SERIES: RITTENHOUSE, COLOR: 0190 ARCTIC WHITE, FINISH: SEMI-GLOSS, 3" x 6" x 5/16", RUNNING BOND PATTERN 1/16" GROUT: ARDEX 22 CAST IRON	SEE DETAIL 12/A-510, PROVIDE RITTENHOUSE SQUARE 3x6 BULLNOSE AT WAINSCOT AND OUTSIDE CORNERS, AND PROVIDE RITTENHOUSE SQUARE 3x6 COVE TILE AT BASE	GC	GC	--
WT-2	CERAMIC TILE - SALES HALLWAY TO BOH AT DRINKING FOUNTAIN	DALTILE	SERIES: COLOR WHEEL LINEAR, COLOR: 0780 CHALKBOARD, FINISH: MATTE 2 1/8" x 8 9/16" X 5/16", HORIZONTAL STACKED PATTERN 1/16" GROUT: ARDEX 22 CAST IRON	SEE DETAIL 5/A-510, PROVIDE BLACK SCHLUTER JOLLY TRIM AT WAINSCOT AND OUTSIDE CORNERS, MITER WAINSCOT TRIM AT CORNERS, AND SEAL AT BASE WITH BLACK SEALANT, +/- 50"AFF (23 FULL TILES HIGH) UNO	GC	GC	--
WALL PROTECTION							
WP-1	CORNER GUARDS	LLL-V	METAL ANGLE FURNISHED BY LLL-V, INSTALLED BY GC FINISH: POWDER COATED TO MATCH BENJAMIN MOORE OC-53 HORIZON, 1" x 1" x HEIGHT AS NOTED	SEE DETAIL 2/A-510, SEE SHEET A-121 FINISH PLAN AND A-210 ELEVATIONS FOR HEIGHTS	LLL-V	GC	--
WP-4	WALL END PLATE	LLL-V	ALUMINIMUM PLATE FURNISHED BY LLL-V, INSTALLED BY GC, FINISH: PRE-FINISHED HRPO GREY M51 BY LLL-V 1/8" THICK, COORDINATE WIDTH WITH WALL THICKNESS	SEE DETAIL 13/A-510, SEE SHEET A-121 FINISH PLAN AND A-210 ELEVATIONS FOR HEIGHTS AND WIDTHS	LLL-V	GC	--
WP-5	MUD-IN CORNER GUARD	FRY REGLET	WALL COVERING TRIM WCT-OSC FINISH: POWDER COATED TO MATCH BENJAMIN MOORE HC-170 STONIGTON GRAY, 1" x 1"	SEE DETAIL 14/A-510, SEE ELEVATIONS FOR HEIGHTS	GC	GC	--
WP-6	BOH CORNER GUARD	GC	STAINLESS STEEL, 18 GA. 304 BRUSHED FINISH	SEE DETAIL 15/A-510, 50"H UNO, ALIGN WITH TOP OF FRP-1	GC	GC	--
WP-7	BOH WALL END CAP	GC	STAINLESS STEEL, 18 GA. 304 BRUSHED FINISH	SEE DETAIL 19/A-510, 50"H UNO, ALIGN WITH TOP OF FRP-1	GC	GC	--
WP-8	CORNER GUARD AT WOOD CORNER	LLL-V	ALUMINIMUM TRIM FURNISHED BY LLL-V, INSTALLED BY GC, FINISH: PRE-FINISHED HRPO GREY M51 BY LLL-V 1/8" THICK x 1" x HEIGHT PER PLANS	SEE DETAIL 16/A-543, LLL-V TO PRE-MITER ADJACENT WOOD PANELS, GC TO APPLY SILICONE ADHESIVE TO BACK EDGE OF TRIM AND EMBED IN CORNER SEAM	LLL-V	GC	--
BASES							
B-1	VINYL BASE - SALES AND GWB FITROOMS	TARKETT	MANDALAY, COLOR: 50 WHITE, 4 1/2"H x 3/8"THK	SEE DETAIL 3/A-510, JOINTS MITERED AT CORNERS IN FIELD	GC	GC	--
B-3	VINYL BASE - BOH	TARKETT	TRADITIONAL VINYL WALL BASE, COLOR: 40 BLACK, 4"H	SEE DETAIL 8/A-510, JOINTS MITERED AT CORNERS IN FIELD	GC	GC	--
B-4	METAL BASE - AT WOOD PANELS	LLL-V	ALUMINIMUM BASE FURNISHED BY LLL-V, INSTALLED BY GC FINISH: PRE-FINISHED HRPO GREY M51 BY LLL-V 1/16" THICK x 1 1/2"H x 10' LENGTHS	SEE DETAIL 1/A-543 INSTALL BEHIND WOOD BASE SO 5/8" METAL REVAL IS VISIBLE AT BASE	LLL-V	GC	--
CEILINGS							
ACT-1	ACOUSTIC CEILING TILE	ARMSTRONG	PRELUDE XL SUSPENSION SYSTEM, ULTIMA BEVELED TEGULAR TILE: WHITE, 2' x 4'	SEE DETAILS 10 AND 12 / A-520, AND AS-140 SPEC.	GC	GC	--
ACS-1	ACOUSTIC CEILING SPRAY	INTERNATIONAL CELLULOSE CORP	K-13 THERMAL & ACOUSTICAL SPRAY, COLOR: GRAY	--	GC	GC	--

TAG	MATERIAL/LOCATION	MANUFACTURER	DESCRIPTION	REMARKS	FURNISHED	INSTALLED	AREA
STOREFRONT							
SF-3	STOREFRONT PERFORATED PANELS - OMBRAE	LLL-V	OMBRAE CUSTOM PERFORATED METAL PANEL ASSEMBLY, SECURED TO GC STOREFRONT SUBSTRATE ASSEMBLY. PATTERN LAYOUT BY LLL-V	SEE A-400 SERIES STOREFRONT DETAILS; GC TO COORDINATE WITH LLL-V SHOP DRAWINGS FOR INTERIOR LOCATIONS, GC TO PAINT PLYWOOD SUBSTRATE SF-10. FOR EXTERIOR LOCATIONS, GC TO COAT PLYWOOD SUBSTRATE WITH BLACK, ELASTOMERIC, UV RESISTANT, VAPOUR PERMEABLE, AIR AND WEATHER MEMBRANE. HENRY AIR-BLOC 33 OR APPROVED EQUAL WITH NO VISIBLE BRANDING ON EXPOSED FACE	LLL-V	GC	--
SF-4	STOREFRONT INTERIOR GLAZING	GC'S VENDOR	1/2" THK TEMPERED GLAZING UNIT EXTRA CLEAR OR EQ WITH BEVELED & POLISHED EXPOSED EDGES & 1/8" MAX BUTT JOINTS. 1/4" FOR MALL CLIPS IF REQ'D	SEE A-400 SERIES DETAILS. IF MALL CLIPS REQ'D, USE CR LAURENCE MFC31 ROUND, BRUSHED STAINLESS OR EQ. COMPLETE WITH END WALL AND CORNER CONNECTORS AS REQ'D	GC	GC	--
SF-5	STOREFRONT GLAZING	GC'S VENDOR	1/2" THK TEMPERED GLAZING UNIT "CLARITY" ANTI REFLECTIVE GLASS EXTRA CLEAR OR EQ WITH BEVELED & POLISHED EXPOSED EDGES & 1/8" MAX BUTT JOINTS. 1/4" FOR MALL CLIPS IF REQ'D	SEE A-400 SERIES DETAILS. IF MALL CLIPS REQ'D, USE CR LAURENCE MFC31 ROUND, BRUSHED STAINLESS OR EQ. COMPLETE WITH END WALL AND CORNER CONNECTORS AS REQ'D	GC	GC	--
SF-6	STOREFRONT EXTERIOR GLAZING	GC'S VENDOR	1" THICK INSULATED GLAZING UNIT, SOLARBAN 60, INSULATED, EXTRA CLEAR OR EQ NOTE : IG UNITS MUST USE MINIMUM 1/4" PANELS	SEE A-400 SERIES STOREFRONT DETAILS	GC	GC	--
SF-6H	STOREFRONT EXTERIOR GLAZING-HAMMER GLASS	GC'S VENDOR	1" THICK INSULATED GLAZING UNIT INCLUDING EXTERIOR HAMMER GLASS LAYER, EXTRA CLEAR OR EQUAL AT INSIDE PANE	SEE A-400 SERIES STOREFRONT DETAILS	GC	GC	--
SF-10	STOREFRONT PAINT	BENJAMIN MOORE REGAL SELECT	COLOR: BM_HC-51_AUDUBON RUSSET INTERIOR FINISH: MATTE (484) / EXTERIOR FINISH: FLAT (400)	SEE A-400 SERIES STOREFRONT DETAILS USE EXTERIOR PAINT AT EXTERIOR LOCATIONS	GC	GC	--
SF-11	STOREFRONT BRAKE METAL - DARK GREY	GC	RAL 7043 TRAFFIC GREY - POWDER COAT FINISH 16 GA. ALUMINUM, MATTE FINISH, SCRIBE IN FIELD	SEE A-400 SERIES STOREFRONT DETAILS	GC	GC	--
SF-12	STOREFRONT BRAKE METAL - LIGHT GREY	GC	RAL 7035 LIGHT GREY - POWDER COAT FINISH 16 GA. ALUMINUM, MATTE FINISH, SCRIBE IN FIELD	SEE A-400 SERIES STOREFRONT DETAILS	GC	GC	--
SF-13	STOREFRONT PERFORATED METAL - DARK GREY	LLL-V	RAL 7043 TRAFFIC GREY - POWDER COAT FINISH, ANTI-GRAFFITI COAT AT EXTERIOR LOCATIONS 1/8" THK PERFORATED ALUMINUM PANEL FACE WITH 2 3/8"D RETURNS, MATTE FINISH BACK-PAN OF ASSEMBLY OUTSIDE FACES TO MATCH FINISH OF FRONT PANEL	SEE STOREFRONT DETAILS A-400 SERIES, LLL TO PROVIDE FINAL PATTERN FOR PERFORATION LLL-V TO SUPPLY HORIZONTAL MOUNTING BRACKETS, FASTENERS, AND BRAKE METAL REVEALS, GC TO COORDINATE LOCATIONS, WIRE ROUTING, AND DRIVER ACCESS WITH LLL-V SHOP DRAWINGS. SEE AS-160 APPENDIX C FOR GC PRE-INSTALL CHECKLIST	LLL-V	LLL-V	--
SF-14	STOREFRONT PERFORATED METAL - LIGHT GREY	LLL-V	RAL 7035 LIGHT GREY - POWDER COAT FINISH, ANTI-GRAFFITI COAT AT EXTERIOR LOCATIONS 1/8" THK PERFORATED ALUMINUM PANEL FACE WITH 2 3/8"D RETURNS, MATTE FINISH BACK-PAN OF ASSEMBLY OUTSIDE FACES TO MATCH FINISH OF FRONT PANEL	SEE STOREFRONT DETAILS A-400 SERIES, LLL TO PROVIDE FINAL PATTERN FOR PERFORATION GC TO PROVIDE REQUIRED HAT CHANNELS, FASTENERS, AND BRAKE METAL REVEALS, GC TO COORDINATE LOCATIONS, WIRE ROUTING, AND DRIVER ACCESS WITH LLL-V SHOP DRAWINGS. SEE AS-160 APPENDIX C FOR GC PRE-INSTALL CHECKLIST	LLL-V	LLL-V	--
SF-18	STOREFRONT BLACK TRIM AT WOOD CORNERS	GC	ANODIZED BLACK ALUMINIMUM TRIM 1/8" THICK x 1" x HEIGHT PER STOREFRONT DETAILS	EMBED INTO CORNERS AT INTERIOR WOOD EMBLEM SEE A-400 SERIES STOREFRONT DETAILS	GC	GC	--
SF-18B	(CANADA) BLACK TRIM AT WOOD CORNERS	GC	ANODIZED BLACK ALUMINIMUM TRIM 1/8" THICK x 3/4" x HEIGHT PER STOREFRONT DETAILS	EMBED INTO CORNERS AT INTERIOR WOOD EMBLEM SEE A-400 SERIES STOREFRONT DETAILS	GC	GC	--
SF-19	STOREFRONT MULLIONS - BLACK	YKK AP OR APPROVED EQUAL	ANODIZED BLACK (OR VENDOR'S STANDARD BLACK FINISH) STOREFRONT SYSTEM MULLIONS	SEE A-400 SERIES STOREFRONT DETAILS	GC	GC	--
SF-20	STOREFRONT BRAKE METAL - BLACK	GC	VENDOR'S STANDARD BLACK FINISH - STOREFRONT BRAKE METAL 16 GA. ALUMINUM, MATTE FINISH, SCRIBE IN FIELD	SEE A-400 SERIES STOREFRONT DETAILS	GC	GC	--
SF-21 MATCH WC-5	STOREFRONT PORTAL INTERIOR WOOD VENEER PANEL CLADDING	GC	(MATCH WC-5 CONTROL SAMPLE) 3/4" THICK x 5' X 10' WHITE OAK VENEER PANEL WITH MATTE CLEAR COAT, PLAIN SAWN, BOOK AND END MATCHED, ALL EXPOSED EDGES TO BE FINISHED. VENEER TO BE ADHERED TO FRT PLYWOOD SUBSTRATE PANEL, SECURE PANELS TO WALLS AND CEILINGS. LOCTITE PL ADHESIVE AND COUNTERSUNK SCREWS WITH MATCHING CAPS	SEE A-400 SERIES STOREFRONT DETAILS, SEE TRIM PROFILES BELOW FOR SOLID WOOD TRIMS SAMPLES REQUIRED FOR APPROVAL	GC	GC	--
SF-21B MATCH WC-5	(CANADA) STOREFRONT PORTAL INTERIOR WOOD VENEER PANEL CLADDING	GC	(MATCH WC-5 CONTROL SAMPLE) 1/2" THICK x 5' X 10' WHITE OAK VENEER PANELWITH MATTE CLEAR COAT, PLAIN SAWN, BOOK AND END MATCHED, ALL EXPOSED EDGES TO BE FINISHED. VENEER TO BE ADHERED TO FRT PLYWOOD SUBSTRATE PANEL, SECURE PANELS TO WALLS AND CEILINGS. LOCTITE PL ADHESIVE AND COUNTERSUNK SCREWS WITH MATCHING CAPS	SEE A-400 SERIES STOREFRONT DETAILS, SEE TRIM PROFILES BELOW FOR SOLID WOOD TRIMS COMBUSTIBLE FINISHES SHALL HAVE A FLAME SPREAD RATING OF NOT MORE THAN 150 ON ANY EXPOSED SURFACE. PROVIDE CAN/ULC S102 TESTED FR SUBSTATE AND FLAME RETARDANT MATTE CLEAR COAT	GC	GC	--
SF-22 MATCH WC-6	STOREFRONT PORTAL INTERIOR SOLID WOOD	GC	(MATCH WC-6 CONTROL SAMPLE) 3/4" THICK WHITE OAK WITH MATTE CLEAR COAT, PLAIN SAWN, WHERE GRAIN DIRECTION IS NOTED AS PARALLEL TO ADJACENT VENEER PANELS MATCH GRAIN WITH VENEER, ALL EXPOSED EDGES TO BE FINISHED. SECURE TRIMS TO WALLS AND CEILINGS. LOCTITE PL ADHESIVE AND COUNTERSUNK SCREWS WITH MATCHING CAPS	SEE A-400 SERIES STOREFRONT DETAILS, SEE TRIM PROFILES BELOW FOR SOLID WOOD TRIMS SAMPLES REQUIRED FOR APPROVAL	GC	GC	--
SF-22B MATCH WC-6	(CANADA) STOREFRONT PORTAL INTERIOR SOLID WOOD	GC	(MATCH WC-6 CONTROL SAMPLE) 1/2" THICK WHITE OAK, PLAIN SAWN WITH MATTE CLEAR COAT, WHERE GRAIN DIRECTION IS NOTED AS PARALLEL TO ADJACENT VENEER PANELS MATCH GRAIN WITH VENEER, ALL EXPOSED EDGES TO BE FINISHED. SECURE TRIMS TO WALLS AND CEILINGS. LOCTITE PL ADHESIVE AND COUNTERSUNK SCREWS WITH MATCHING CAPS	SEE A-400 SERIES STOREFRONT DETAILS, SEE TRIM PROFILES BELOW FOR SOLID WOOD TRIMS SUBMIT SAMPLE FOR APPROVAL COMBUSTIBLE FINISHES SHALL HAVE A FLAME SPREAD RATING OF NOT MORE THAN 150 ON ANY EXPOSED SURFACE. PROVIDE CAN/ULC S102 TESTED FR SUBSTATE AND FLAME RETARDANT MATTE CLEAR COAT	GC	GC	--
SF-23	STOREFRONT PORTAL EXTERIOR SOLID WOOD	ARBOR WOOD	THERMALLY MODIFIED ASH WITH PRE-APPLIED CUSTOM EXTERIOR U-V RESISTANT MATTE FINISH COAT TO MATCH LULULEMON INTERIOR WOOD CONTROL SAMPLE AT FACES (TR-6): 1x CUSTOM WIDTH PLANKS PER DETAILS, ORDER CONTINUOUS VERTICALS AT PORTAL RETURNS (TR-7): 1x6 PLANKS, COORDINATE LENGTHS WITH SEAMS PER ELEVATIONS AT PORTAL BASE (TR-5): 1x8 PLANKS AT PORTAL CEILING AND SIDES (TR-8): 1x6 TONGUE AND GROOVE SIDING, ALIGN SEAMS IF POSSIBLE WITH RECESSED DOOR CONCEAL FASTENERS AT GROOVE WHERE PERMITTED BY LOCAL CODE	SEE A-400 SERIES STOREFRONT DETAILS SAMPLES REQUIRED FOR APPROVAL MINIMIZE BUTT-JOINTS AT CORNERS, ADHERE TO EXTERIOR RATED FRT PLYWOOD SUBSTRATE AND SECURE WITH CORROSION RESISTANT FASTENERS AS REQUIRED, GC TO FILL HOLES WITH MATCHING FILLER	GC	GC	--
SF-24	STOREFRONT CONCRETE PLASTER COLOR: ORIGINAL GRAY COLOR: WHITE COLOR: NEW GRAY	TEXSTON VPC-8333D-082720 VPC-8903D-081522 CUPWHEEL VPC-9503D-101624 OLD MONTREAL	PRODUCT: TEXSTON TUSCANY CEMENT-LIME PLASTER WITH REINFORCED POLYMER ADDITIVE 10 OZ. ALKALI-RESISTANT FIBERGLASS MESH: EMBED FIBER MESH IN FIRST COAT OF CEMENT PLASTER TO RESIST CRACKING EIFS BASE COAT: ACRYLIC MODIFIED CEMENTITIOUS BASECOAT BY STO, DRYVIT, PAREX, SENERGY, FINESTONE, BASF OR EQUAL PRIMER: 2 COATS TEXSTON TEX PREP PRIMER GRIND: DIAMOND GRIND TO FINISH LEVEL 5/16" AND POLISH TO SMOOTH MATTE FINISH TO EXPOSE AGGREGATE PER CONTROL SAMPLE SEALER: 2 COATS TEXSTON TEXPROTECT SDS 7.5 REVEALS: PROVIDE CUSTOM COLOR TO MATCH PLASTER MUD-IN REVEALS AS REQUIRED	SEE SHEET AS-150 FOR PERFORMANCE SPEC AND SEE A-400 SERIES FOR STOREFRONT DETAILS USE TEXSTON CERTIFIED INSTALLER GC/INSTALLER TO SUBMIT SHOP DRAWING FOR LLL REVIEW INDICATING DESIGN JOINTS AND IF REQUIRED, ANY ADDITIONAL CONTROL JOINTS GC/INSTALLER TO SUBMIT 24" x 24" MOCK UP FOR APPROVAL OF COLOR AND TEXTURE PRIOR TO INSTALLATION	GC	GC	--
SF-25	STOREFRONT BRAKE METAL - GREY TO MATCH CONCRETE PLASTER	GC	RAL 7038 AGATE GREY - POWDER COAT FINISH 16 GA. ALUMINUM, MATTE FINISH, SCRIBE IN FIELD	SEE A-400 SERIES STOREFRONT DETAILS	GC	GC	--
SF-26	STOREFRONT BASE - GREY EXTERIOR TILE (USE WITH SF-14 LIGHT PERFORATED PANEL OR CONCRETE PLASTER)	DALTILE	DAL-TILE - THRU-BODY PORCELAIN 12" X24" X 5/16" SERIES: CLAY CANVAS COLOUR: STENCIL CC03 - MATTE(1) GROUT: 1/8" ARDEX: DOVE GRAY 18	SEE A-400 SERIES STOREFRONT DETAILS SCRIBE AT BASE AS REQUIRED, CUT LENGTHS AND MITER CORNERS AS REQUIRED IN FIELD	GC	GC	--
SF-27	STOREFRONT BASE - BLACK EXTERIOR TILE (USE AT BLACK MULLIONS, SF-13 DARK PERFORATED PANEL, WOOD SLATS)	DALTILE	DAL-TILE - THRU-BODY PORCELAIN 12" X24" X 5/16" SERIES: CLAY CANVAS COLOUR: COAL CC05 - MATTE(1) GROUT: 1/8" ARDEX: BLACK LICORICE 24	SEE A-400 SERIES STOREFRONT DETAILS SCRIBE AT BASE AS REQUIRED, CUT LENGTHS AND MITER CORNERS AS REQUIRED IN FIELD	GC	GC	--
MISCELLANEOUS							
FV-1	FLOOR VINYL	LLL-V	FLOORING GRADE VINYL DECAL	INSTALL ON FLOOR TO IDENTIFY BOX STORAGE AREA. SEE SHEET A-121	LLL-V	LLL-V	--
GL-1	MIRROR	GC	CLEAR 1/4" MIRROR GLAZING W/ STYLMARK ALUMINUM MIRROR 'J' TRIMS (AT TOP AND BOTTOM ONLY) #420107 AND #420068, COLOR: 118 BUFFED BRITE STAINLESS STEEL	GC TO PROVIDE ALL SURFACE APPLIED MIRROR AT WALLS AND AT LLL-V FEATURE MIRRORS SEE A-310 ELEVATIONS, DETAIL 11/A-510, AND AS-140 SPEC	GC	GC	--
MTL-1	BRAKE METAL - COLUMN WRAP	GC	CUSTOM COLOR POWDER COAT FINISH: MATCH BENJAMIN MOORE OC-53 HORIZON 16 GA. ALUMINUM, MATTE FINISH, SCRIBE IN FIELD	SEE SHEET ____	GC	GC	--
TRANS-1	MARBLE THRESHOLD - RESTROOM TO SALES	GC	WHITE CARRARA MARBLE THRESHOLD, 2" WIDE	SEE SHEET A-530, VERIFY HEIGHT REQUIRED IN FIELD PRIOR TO PURCHASE	GC	GC	--
TRANS-2	SALES - FLUSH TRANSITIONS	SCHLUTER	SCHIENE 1/8" THICK, FINISH: BRUSHED STAINLESS STEEL	SEE SHEET A-530, VERIFY HEIGHT REQUIRED IN FIELD PRIOR TO PURCHASE	GC	GC	--
TRANS-3	BOH - TRANSITIONS	SCHLUTER	RENO-RAMP 1/2"H MAX x 2 1/2", FINISH: CLEAR ANODIZED	SEE SHEET A-530, VERIFY HEIGHT REQUIRED IN FIELD PRIOR TO PURCHASE	GC	GC	--
TRANS-4	FITROOM WOOD TRANSITION	RECLAIMED WOOD DESIGN WORKS, LLC	(MATCH WD-1) 1/2"H TRANSITION PLANK WITH FINISHED BEVELED EDGE (1:2 BEVEL MAX)	SEE SHEET A-530, VERIFY HEIGHT REQUIRED IN FIELD PRIOR TO PURCHASE	LLL	GC	43 LF
WF-1	SECURITY FILM EXTERIOR GLAZING	GC	SAFE HAVEN DEFENSE : SW600 22MIL (0.022") THICKNESS. CLEAR (INTERIOR APPLICATION) C/W ANCHORING AND ANTI-GRAFITTI FILM ON EXTERIOR	INSTALL ON ALL EXTERIOR STORES, INSTALL ON INTERIOR SIDE OF GLASS, TYPICAL, IF NOT POSSIBLE USE EXTERIOR 3M SAFETY S70 FILM AND CAULK ALL EDGES	GC	GC	--
WF-2A	GLAZING SAFETY DECAL A	LLL-V	BRAND TECHNICAL DOT PATTERN - OPTION A (PREFERRED)	SEE A410 FOR DIMENSIONS. INSTALL ON INTERIOR SIDE OF GLASS WHERE REQUIRED BY CODE	LLL-V	LLL-V	--
WF-2B	GLAZING SAFETY DECAL B	LLL-V	BRAND TECHNICAL DOT PATTERN - OPTION B	SEE A410 FOR DIMENSIONS. INSTALL ON INTERIOR SIDE OF GLASS WHERE REQUIRED BY CODE	LLL-V	LLL-V	--
WF-2C	GLAZING SAFETY DECAL C	LLL-V	BRAND TECHNICAL DOT PATTERN - OPTION C	SEE A410 FOR DIMENSIONS. INSTALL ON INTERIOR SIDE OF GLASS WHERE REQUIRED BY CODE	LLL-V	LLL-V	--
WF-3A	VISUAL FILM	LLL-V	TECHNICAL DOT PATTERN - OPAQUE VINYL FILM - FULL HEIGHT	INSTALL ON INTERIOR SIDE OF GLASS (AFTER) SECURITY FILM	LLL-V	LLL-V	--
WF-3B	DECORATIVE FILM	LLL-V	TECHNICAL DOT PATTERN - SEMI-TRANSPARENT VINYL FILM - FULL HEIGHT	INSTALL ON INTERIOR SIDE OF GLASS (AFTER) SECURITY FILM	LLL-V	LLL-V	--
WF-3C	DECORATIVE FILM	LLL-V	TECHNICAL DOT PATTERN - SEMI-TRANSPARENT VINYL FILM - 80.5"H	INSTALL ON INTERIOR SIDE OF GLASS (AFTER) SECURITY FILM	LLL-V	LLL-V	--
WF-3D	DECORATIVE FILM	LLL-V	TECHNICAL DOT PATTERN - SEMI-TRANSPARENT VINYL FILM - 48"H	INSTALL ON INTERIOR SIDE OF GLASS (AFTER) SECURITY FILM	LLL-V	LLL-V	--
WF-3E	CUT VINYL FILM	LLL-V	TECHNICAL DOT PATTERN - WHITE CUT VINYL - HEIGHT AS SPECIFIED	INSTALL ON INTERIOR SIDE OF GLASS (AFTER) SECURITY FILM	LLL-V	LLL-V	--

SOLID OAK TRIMS - INTERIOR (WC-6/SF-22)



SOLID ASH TRIMS - EXTERIOR (SF-23)



GWB FINISH LEVELS

GWB FINISH	LOCATION
LEVEL 1	PLENUM AND NON-FINISH AREAS
LEVEL 2	AREAS COVERED WITH TILE, NON-VISIBLE GWB AT LIGHT COVES
LEVEL 4	NON-CUSTOMER ACCESSIBLE AREAS
LEVEL 5	CUSTOMER ACCESSIBLE AREAS GC TO USE SPRAY APPLIED WITH BENJAMIN MOORE FRESH START HIGH HIDING PRIMER (046) OR APPROVED EQUAL AT ALL PAINTED SURFACES

GLASS THICKNESS

PER IBC 2403.4 FOR FULLY TEMPERED GLASS FIXED AT TOP AND BOTTOM ONLY

GLASS HEIGHT	OPEN JOINTS	JOINTS WITH PERMANENT FASTENERS OR SILICONE
UP TO 8FT	5/8"	1/2"
OVER 8FT TO 9FT	5/8"	1/2"
OVER 9FT TO 10FT	3/4"	1/2"
OVER 10FT TO 11FT	3/4"	5/8"
OVER 11FT TO 12FT	3/4"	5/8"
OVER 12FT TO 13FT	7/8"	5/8"
OVER 13FT TO 14FT	7/8"	3/4"

lululemon
1818 CORNWALL AVE.
VANCOUVER, B.C., V6J1C7

SUMMIT FAIR MALL
910 NW BLUE PKWY,
SUITE G, LEE'S SUMMIT
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MEP ENGINEER

STRUCTURAL ENGINEER

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SEAL
LICENSED NAME, ARCHITECT

STATE OF MISSOURI
JOEL C. TORIELLI
NUMBER A-2008010408
ARCHITECT

ISSUED FOR PERMIT & BID
08/25/2025

△	DATE	DESCRIPTION
	06/16/2025	ISSUED FOR DD REVIEW
	08/05/2025	ISSUED FOR CD REVIEW
	08/25/2025	ISSUED FOR PERMIT & BID

DRAWING INFORMATION
PROJECT #: 2412106
CHECKED BY: DM
DRAWN BY: VK

FINISH SCHEDULE

DRAWING NUMBER
A-120

2025-08-25 8:52:39 PM

GENERAL NOTES

A. UNO, THE PAINT COLORS ARE ECO SPEC BY BENJAMIN MOORE (NO SUBSTITUTIONS).

B. ALL PRODUCTS, FINISHES AND MATERIALS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

C. ALWAYS PROVIDE BENJAMIN MOORE TINTED PRIMER. PROVIDE MINIMUM TWO COATS OF FINISH PAINT. PROVIDE MORE COATS IF REQUIRED.

D. FOR OVERALL CEILING - BENJAMIN MOORE REQUIRED TINTED PRIMER TO BE USED. GC TO PROVIDE THREE COATS OF PAINT MINIMUM.

E. GC TO ENSURE A SMOOTH LEVEL CONCRETE SUB-FLOOR AS NEEDED FOR WOOD INSTALLATION. PROVIDE LEVELASTIC (O.A.E.) WHERE REQUIRED TO ACHIEVE LEVEL SUB-FLOOR. REFER TO MANUFACTURER SPECIFICATIONS FOR MORE INFORMATION AND MOISTURE REQUIREMENTS. VERIFY IN FIELD PRIOR TO INSTALLATION OF FLOORING (TYP.)

F. TRANSITION PAINT COLORS ON AN INSIDE CORNER WHENEVER POSSIBLE UNO.

G. PROVIDE PAINTABLE CLEAR CAULKING BETWEEN WALL AND BASEBOARD. KEEP BEAD SMALL, CLEAN AND SMOOTH. PAINTER TO CUT IN WALL COLOUR AFTER APPLICATION AS REQUIRED. APPROVED BRAND IS DAP ALEX PLUS CLEAR. NO CAULKING SHOULD BE USED BETWEEN BASEBOARD AND FLOOR.

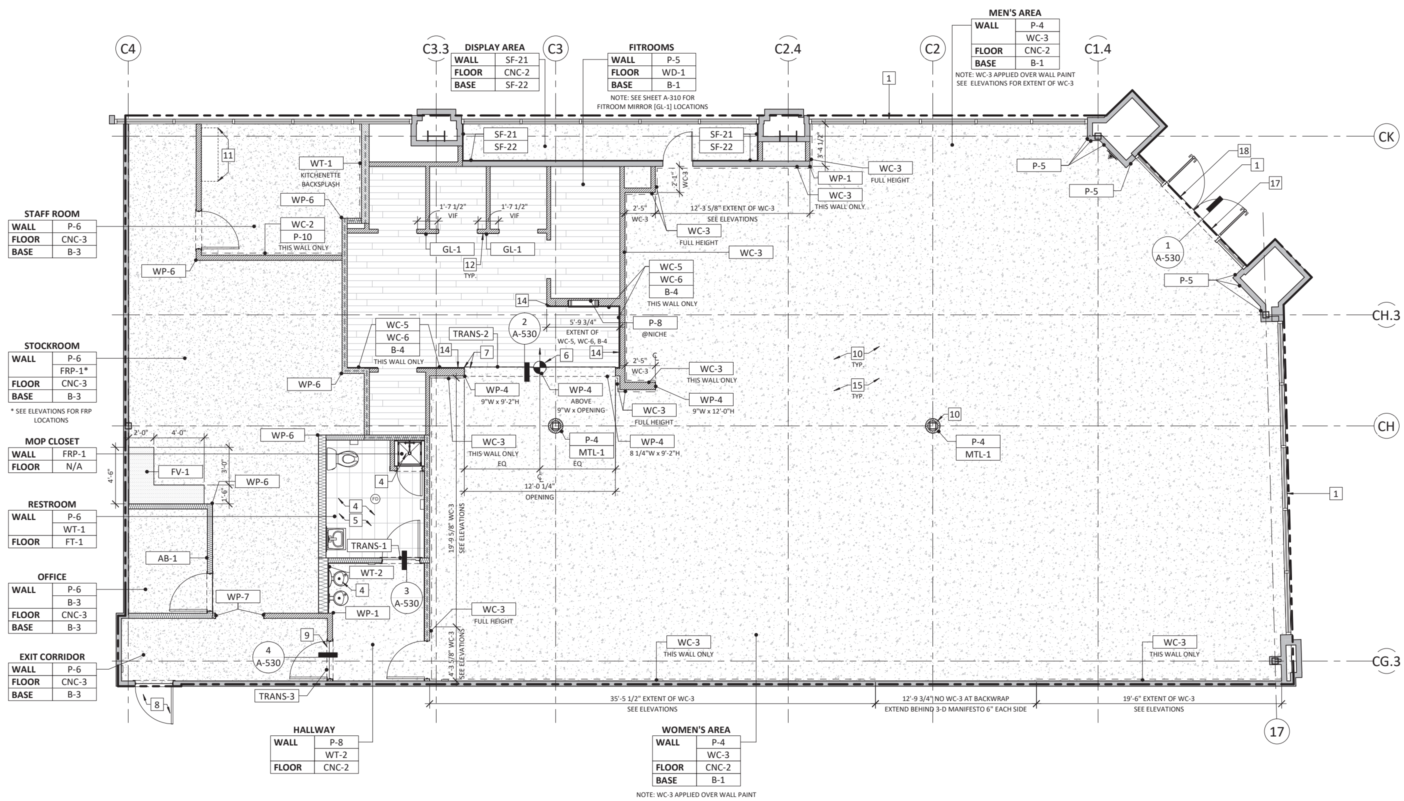
H. ALL AREAS AND QUANTITIES ARE FOR REFERENCE ONLY AND DOES NOT INCUDE OVERAGE

I. GC SHALL VERIFY DIMENSIONS ON SITE AND CONFIRM QUANTITIES OF ALL PROCURED ITEMS

KEYNOTES

[#] - KEYNOTE SYMBOL — NOT USED

1. SEE STOREFRONT SHEETS A-410 FOR STOREFRONT FINISHES
2. DISSIMILAR WALL FINISHES TERMINATE AT CORNER
3. SALES FLOOR TILE LAYOUT POINT CENTERED IN ENTRY PORTAL AT LEASE LINE
4. GC TO INSTALL WATERPROOF MEMBRANE UNDER TILE IN RESTROOMS AND OTHER WET AREAS, WATERPROOFING TO EXTEND UP WALLS 6" MIN, REFER TO DETAIL 12/A-510
5. RESTROOM TILE LAYOUT POINT AT FLOOR DRAIN, TILE TO NEVER BE CUT LESS THAN 6" WIDE
6. WOOD FLOOR LAYOUT POINT CENTERED IN TRANSITION
7. WOOD FLOOR AT TRANSITION TO ALIGN WITH FACE OF ADJACENT WALL PLATE
8. PAINT TO MATCH EXISTING AND/OR REQUIRED LANDLORD FINISH
9. INSTALL ADA COMPLIANT THRESHOLD AT BOH SIDE OF DOOR
10. PAINT LINE AT SALES AT 12'-0"AFF, PAINT EVERYTHING ABOVE 12'-0" P-1
11. GC TO WRAP STAFF CUBBY 3 EXPOSED KICKBASE SIDES WITH B-3
12. APPLIED MIRROR GL-1 BY GC SECURED WITH TOP AND BOTTOM CLIPS, SEE DETAILS 1/A-180, 2/A-180, 11/A-510
13. NOT USED
14. WALL PANELS AND SOLID WOOD BASE WITH METAL BASE REVEAL BY LLL-V, INSTALLED BY GC, SEE SHEET A-541 FOR DETAILS
15. GC TO COORDINATE AND INSTALL SLAB CONTROL JOINTS WITH NEW FLOOR FINISH
16. NOT USED
17. GC TO PROTECT FLOOR TRANSITION AT STOREFRONT REPLACE IF DAMAGED. SEE A-400 SERIES FOR DETAILS, COORDINATE WITH MALL MANAGEMENT FOR SPECIFICATION
18. GC TO CONFIRM LEVEL CHANGE AT MALL FLOORING AND GRIND DOWN SLAB AS REQUIRED AT FRONT OF STORE AT 1:48 MAX SLOPE TO ALLOW FOR FLUSH TRANSITION
19. WHERE LEVEL CHANGE BETWEEN ADJACENT FLOORING IS MORE THAN 1/2", GC TO POUR FEATHERED TRANSITION AT 1:48 SLOPE TO ALLOW 1/2" MAX THRESHOLD AT DOOR, PROVIDE SAW CUT AT EXISTING SLAB FOR FEATHER EDGE AT BOH SLAB
20. NOT USED



1 FLOOR AND WALL FINISH PLAN

SCALE: 1/4" = 1'-0"

lululemon

1818 CORNWALL AVE.
VANCOUVER, B.C., V6J1C7

SUMMIT FAIR MALL

910 NW BLUE PKWY,
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SEAL
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ISSUED FOR PERMIT & BID

08/25/2025

△	DATE	DESCRIPTION
	06/16/2025	ISSUED FOR DD REVIEW
	08/05/2025	ISSUED FOR CD REVIEW
	08/25/2025	ISSUED FOR PERMIT & BID

DRAWING INFORMATION
PROJECT #: 2412106
CHECKED BY: DM
DRAWN BY: VK

(STANDARD) FINISH PLAN

DRAWING NUMBER
A-121

2025-08-25 8:52:42 PM

FIXTURE & EQUIPMENT SCHEDULE

NOTE: ASTERISKS ADDED TO MILLWORK CODES (BEFORE & AFTER) INDICATE A CUSTOM OR MODIFIED COMPONENT. LULULEMON VENDOR TO PROVIDE SHOP DRAWINGS FOR ALL CUSTOM OR MODIFIED COMPONENTS)

NOT USED

FOH WALL FIXTURES

TAG	DESCRIPTION	FURN	INST	BLOCKING	REMARKS	CODE/SPECIFICATION
M-AP-X W-AP-X	APPLIED SLOTTED POSTS	LLL-V	GC	SEE DETAIL 6/A-551	OUTLETS: NO TRIM	NO TRIM: WF-AP.SL-RAW-V2 ACRYLIC TRIM: WF-AP.SL-RAW.AC-V2
M-FTW-125-X W-FTW-125-X	FLOOR TO WALL 125" OUTRIGGERS	LLL-V	GC	SEE DETAIL 3/A-551	STANDARD STORES - ACRYLIC TRIM	ACRYLIC TRIM: WF-OR-FTW.125.AC-V1
M-C-DBL-X W-C-DBL-X	'C' SHAPE OUTRIGGERS	LLL-V	GC	SEE DETAIL 1/A-551		WF-OR.C-RAW.AC-V4 STANDARD DOUBLE-SIDED
M-FTC-X	FLOOR TO CLG OUTRIGGERS	LLL-V	GC	SEE DETAIL 4/A-551		WF-OR.FTC-RAW.AC-V2 STANDARD DOUBLE SIDED
M-FTC-DBL-X W-FTC-DBL-X	DOUBLE SIDED FLOOR TO CLG OUTRIGGERS	LLL-V	GC	SEE DETAIL 4/A-551	CEILING AND FLOOR ATTACHMENTS WILL VARY PER SITE CONDITIONS	WF-OR.FTC.DBL-RAW.AC-V2
M-FTC-MW-X W-FTC-MW-X	MIDWALL FLOOR TO CLG OUTRIGGERS	LLL-V	GC	SEE DETAIL 4/A-551	CEILING AND FLOOR ATTACHMENTS WILL VARY PER SITE CONDITIONS TO BE USED AT LOCATIONS WITH MIDWALL PANELS	STANDARD DOUBLE-SIDED
M-FTW-X W-FTW-X	FLOOR TO WALL OUTRIGGERS	LLL-V	GC	SEE DETAIL 5/A-551	SEASONAL CONVERSION STORES - NO TRIM TO BE USED AT LOCATIONS AS REQUIRED BY SITE CONDITIONS (I.E. WINDOWS)	ACRYLIC TRIM: WF-OR.FTW-RAW.AC-V4 NO TRIM: WF-OR.FTW-RAW.V4 STANDARD DOUBLE SIDED
W-PW2.0-S-NL	WOMEN'S PANT WALL 2.0	LLL-V	GC	SEE DETAIL X/A-552	VENDOR TO DETERMINE REQUIRED MODULES BASED ON PLAN	STRAIGHT - 59"x29 3/16"x143" STRAIGHT - NO LIGHTBOX XS/S STORES ONLY
M-PW2.0-S-NL	MEN'S PANT WALL 2.0	LLL-V	GC	SEE DETAIL X/A-552	VENDOR TO DETERMINE REQUIRED MODULES BASED ON PLAN	STRAIGHT - 59"x29 3/16"x143" STRAIGHT - NO LIGHTBOX XS/S STORES ONLY
PW2.0-LB-S PW2.0-LB-C	M+W PW2.0 LIGHTBOX	LLL-V	LLL-V	SEE DETAIL X/A-552	POWER REQUIRED SEE SHEET A-140 AND ELECTRICAL DRAWINGS FOR MORE INFORMATION	STRAIGHT - 59"x80.5" (308 WATTS) CURVED - 75 5/16"x80.5" (396 WATTS)
BRA-OR-X	BRA WALL	LLL-V	GC	NA	BRA HARDWARE (BLACK) ON OUTRIGGERS	UNV-WW-BRA.DBL-OR V3
MI-24 *MI-129*	FEATURE MIRROR - WALL AND ADA FITROOM	LLL-V /GC	GC	SEE DETAIL 1/A-552	FRAME FURNISHED BY LLL-V AND INSTALLED BY GC. MIRROR GLASS FURNISHED AND INSTALLED BY GC, MIRROR TO BE (1) PIECE, NO SEAM. SEE SHEET AS-140 FOR MIRROR SPECIFICATIONS.	WF-MI.24.74-SPC-V2 *WF-MI.129.74-SPC-V2*
MI-A	FEATURE MIRROR ANGLED	LLL-V /GC	GC	SEE DETAIL 1/A-552	FRAME FURNISHED BY LLL-V AND INSTALLED BY GC. MIRROR GLASS FURNISHED AND INSTALLED BY GC, MIRROR TO BE (1) PIECE, NO SEAM.	WF-MI-A FEATURE FRAME WALL FIXTURE. SEE SHEET AS-140 FOR MIRROR SPECIFICATIONS.
AMBF-R-SM	AMBASSADOR RECESSED FRAME	LLL-V	GC	SEE DETAILS A-541	TRIMS USED TO FRAME NICHE FOR AMBASSADOR EXPRESSION	WF.AWF.S-RAW-V1 WF.AWF.M-RAW-V1 WF.AWF.L-RAW-V1
AMB-R-SM	AMBASSADOR EXPRESSION	LLL-V	LLL-V	SEE DETAILS A-541	USED AT COMMUNITY WALL, INSTALL IN NICHE WITH AMBASSADOR FRAME	SMALL MEDIUM LARGE
BW-3+1M	BACK WRAP STANDARD	LLL-V	GC	SEE DETAIL 2/A-540	POWER AND DATA REQUIRED. SEE SHEET A-140 AND ELECTRICAL DRAWINGS FOR MORE INFORMATION. BACKING BY G.C.	BW-3+1M
BW-FC-X+1M	BACK WRAP SELECT/DIAL UP FULL CABINET	LLL-V	GC	SEE DETAIL 2/A-540	POWER AND DATA REQUIRED. SEE SHEET A-140 AND ELECTRICAL DRAWINGS FOR MORE INFORMATION. BACKING BY G.C.	BW-FC-5+1M BW-FC-6+1M BW-FC-7+1M BW-FC-8+1M 152" CABINET FOR 12'-0" CEILINGS 162" CABINET FOR 12'-10" CEILINGS
CD-3+1M	CASH DESK	LLL-V	GC	N/A	POWER AND DATA REQUIRED. SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION. TO ARRIVE ON SITE AS FULL SIZE BACK PANEL WITH FRAME SHOP ATTACHED.	CD-3+1M
BW-OT-X+1M	BACKWRAP OUTLET	LLL-V	GC	SEE DETAILS A-540	POWER AND DATA REQUIRED. SEE SHEET A-140 AND ELECTRICAL DRAWINGS FOR MORE INFORMATION. BACKING BY G.C.	BW-OT-3+1M BW-OT-4+1M BW-OT-5+1M BW-OT-6+1M
BW-ART-3+1M	3D CASH MANIFESTO	LLL-V	GC	SEE DETAILS A-540		BW-ART-3+1M
ART	ART, POSTERS, PHOTOS	LLL-V	GC	N/A	TO BE INSTALLED AT TURNOVER	
BM-L	BRAND MOMENT LIT	LLL-V	LLL-V /GC	N/A	DESIGNER/BRAND TO CONFIRM QUOTE AND COLOR GC TO PROVIDE POWER CONCEALED ABOVE CEILING AND ACCESS AT WALL BEHIND FIXTURE, RUN INDIVIDUAL LOW VOLTAGE CONNECTIONS THROUGH WALL FINISH TO EACH SIGN LETTER	
HQ-NL	HYDRATION QUOTE NON-LIT	LLL-V	LLL-V	SEE A-330	DESIGNER/BRAND TO CONFIRM QUOTE AND COLOR	
XFRMI-24 XFRMI-48	EXPRESS MIRROR	LLL-V	GC	SEE SHEET A-551	GC TO PROVIDE DUPLEX OUTLET AT 18"AFF AT CENTERLINE	WAM CODE TBD

FOH FLOOR FIXTURES

TAG	DESCRIPTION	FURN	INST	BLOCKING	REMARKS	CODE/SPECIFICATION
MP-6	MANNEQUIN PLINTHS	LLL-V	GC	N/A	CUSTOM 6" MANNEQUIN PLINTH	FF-MP.EH.6-GW.AC-V1
CP-2646	CURVED PLINTH	LLL-V	GC	N/A	26"x46"x6" CURVED MANNEQUIN PLINTH	FF-CP-2646-GW.AC-V1
ACC-AFM	ACCESSORY A-FRAME	LLL-V	GC	N/A		FF-ACC.AFM-RAW-V1
SLF-AFM	SELFCARE A-FRAME	LLL-V	GC	N/A		FF-SLF.AFM-RAW-V1
W-TT-OS-RT W-TT-OS-ST M-TT-DS-PT M-TT-OS-RT	TIERED TABLE	LLL-V	GC	N/A	TIERED TABLE, ONE SIDE, RECTANGLE TABLE TIERED TABLE, ONE SIDE, SQUARE TABLE TIERED TABLE, DOUBLE SIDE, PICNIC TABLE TIERED TABLE, ONE SIDE, RECTANGLE TABLE	FF-TT.OS-RT-AC.RAW-V1 FF-TT-OS.ST-AC.RAW-V1 FF-TT-DS.PT-AC.RAW-V1 FF-TT.OS-RT-AC.RAW-V1
W-MIPFT M-MIPFT W-SPFT M-SPFT W-MPFT M-MPFT	PANT FOLDING TABLES	LLL-V	GC	N/A	MINI PANT FOLDING TABLE 26"W X 36"L (X=W OR M FOR WOMEN OR MEN) SMALL PANT FOLDING TABLE 26"W X 48"L (X=W OR M FOR WOMEN OR MEN) MEDIUM PANT FOLDING TABLE 26"W X 60"L (X=W OR M FOR WOMEN OR MEN)	FF-MPFT-NO.AC.PW-V3 (MINI) FF-JPFT-NO.AC.PW-V3 (SMALL) FF-SPFT-NO.AC.PW-V2 (MEDIUM)
W-CPFT-LH	PANT FOLDING TABLES	LLL-V	GC	N/A	CURVED PANT FOLDING TABLE LH 26"W X 60"L	FF-LH.CPFT-NO.AC.PW-V2
M-MR W-MR	MID RACK	LLL-V	GC	N/A		FF-MR-RAW.NO.BN-V2
MR-BRA	BRA MID RACK	LLL-V	GC	N/A	STANDARD MID RACK WITH BRA HARDWARE	FF-MR-RAW.NO.BN-V2
W-TST M-TST	T-STAND	LLL-V	GC	N/A		FF-TST56-RAW.BN-V1
W-AFM M-AFM	A-FRAME	LLL-V	GC	N/A	TO ARRIVE ON SITE IN ONE PIECE	FF-AFM-RAW.BN-V1
W-DT-S M-DT-S W-DT-L M-DT-L	DISPLAY TABLES	LLL-V	GC	SEE SHEET A-551	SMALL DISPLAY TABLE 30"W X 48"L X 20"H LARGE DISPLAY TABLE 30"W X 68"L X 20"H	FF-TT-AC.RAW-V1(R-01) (LARGE) FF-TT-AC.RAW-V1(R-01) (SMALL)
EH-4x4	ENTRY HUB	LLL-V	GC	N/A	ENTRY HUB - 4x4	FF-EH.4X4-RAW.AC-V2
SOTL-ST SOTL-DT	SWEAT ON THE LINE	LLL-V	GC	N/A	SINGLE TOPPER DOUBLE TOPPER	FF-SOTL.NO.ST.RAW-V1 FF-SOTL.NO.DT.RAW-V1
FW-S-LH FW-S-RH FW-M-LH FW-M-RH FW-L-ST-LH FW-L-ST-RH	FOOTWEAR - FRAME FIXTURE & FOOTWEAR - CANOPY FIXTURE NO BENCH	LLL-V	GC	N/A	SMALL FRAME FIXTURE (D) - LEFT HANDED SMALL FRAME FIXTURE (D) - RIGHT HANDED MEDIUM CANOPY FIXTURE (B/C) - LEFT HANDED MEDIUM CANOPY FIXTURE (B/C) - RIGHT HANDED LARGE STRAIGHT CANOPY FIXTURE (A/A+) - LEFT HANDED LARGE STRAIGHT CANOPY FIXTURE (A/A+) - RIGHT HANDED POWER REQUIRED. SEE LLL-V SHOP DRAWINGS AND ELECTRICAL DRAWINGS FOR MORE INFORMATION.	FF-FW.FRA.S.LH-NO.RAW-V1 FF-FW.FRA.S.RH-NO.RAW-V1 FF-FW.CAN.M.ST.LH-NO.RAW-V1 FF-FW.CAN.M.ST.RH-NO.RAW-V1 FF-FW.CAN.L.ST.LH-NO.RAW-V1 FF-FW.CAN.L.ST.RH-NO.RAW-V1
FW-C FW-QC FW-SB FW-LB FW-SC	FOOTWEAR SEAT	LLL-V	GC	N/A	FOOTWEAR SEATING CUBE - 18"W X 18"L X 18"H FOOTWEAR SEATING QUARTER CIRCLE - 18"W X 18"L X 18"H FOOTWEAR SEATING SHORT BENCH - 18"W X 36"L X 18"H FOOTWEAR SEATING LONG BENCH - 18"W X 54"L X 18"H FOOTWEAR SEATING SEMI CIRLCE - 18"W X 36"L X 18"H	FF-FW.STL-FLT-V2 FF-FW.QTR.STL-FLT-V2 FF-FW.2STL-FLT-V2 FF-FW.2STL-FLT-V2 FF-FW.HLF.STL-FLT-V2

FOH OUTRIGGER HARDWARE

TAG	DESCRIPTION	FURN	INST	BLOCKING	REMARKS	CODE/SPECIFICATION
H-MI	MIRROR	LLL-V	GC	N/A	MIRROR GLASS AND FRAME FURNISHED BY LLL-V	H-MI-RAW-V3
PNL-MW-2 PNL-MW-4	MIDWALL OUTRIGGER PANEL	LLL-V	GC	N/A	TO BE USED AT MIDWALL FLOOR TO CEILING OUTRIGGERS	FROSTED ACRYLIC
PNL-SF-T-4	STOREFRONT OUTRIGGER PANEL	LLL-V	GC	N/A	LLL TO ORDER FROM LLL-V TO BE USED AT DOUBLE FLOOR TO CEILING OUTRIGGERS AT THE STOREFRONT	ACRYLIC PANELS BY TI GROUP 4' TALL PANELS: 48"WX117"H
FW-OR-XX	FOOTWEAR ON OUTRIGGERS	LLL-V	GC	N/A	FOOTWEAR (75 WATTS) ON OUTRIGGERS (FOR USE AT STOREFRONT WINDOW), GC TO PROVIDE DUPLEX FLOOR OR CEILING BOX PER A140	WF-FTW.4FT.NO-V1
FW-LOOP	FOOTWEAR ON OUTRIGGERS	LLL-V	GC	N/A	FOOTWEAR LOOP (LIT ON OUTRIGGER PANELS) (75 WATTS) ON STANDARD OUTRIGGERS, GC TO PROVIDE DUPLEX AT 18" AFF CENTER BEHIND OUTRIGGER PER A140	-
BAG-LOOP	BAGS ON OUTRIGGERS	LLL-V	GC	N/A	BAG LOOP (LIT ON OUTRIGGER PANELS) (75 WATTS) ON STANDARD OUTRIGGERS, GC TO PROVIDE DUPLEX AT 18" AFF CENTER BEHIND OUTRIGGER PER A140	-
TTS-A	THIRD TIER SIGNAGE	LLL-V	GC	N/A	NON-LIT PRODUCT SIGNAGE. FRAME AND SEG GRAPHIC. NO POWER REQUIRED NON-LIT AMBASSADOR SIGNAGE. FRAME AND SEG GRAPHIC. NO POWER REQUIRED LIT PRODUCT SIGNAGE. LIGHTBOX. POWER REQUIRED LIT AMBASSADOR SIGNAGE. LIGHT BOX. POWER REQUIRED	WHERE POWER IS REQUIRED, SEE SHEET A-140 AND ELECTRICAL DRAWINGS FOR MORE INFO

FITROOM FIXTURES

TAG	DESCRIPTION	FURN	INST	BLOCKING	REMARKS	CODE/SPECIFICATION
FR-HB-3	FITROOM HANGBAR	LLL-V	GC	SEE DETAIL 10/A-550	FURNISHED BY LLL-V AND INSTALLED BY GC.	FR-HB.3-BPC-V1
FR-CS	CONVENIENCE SHELF	LLL-V	GC	SEE DETAIL 11/A-550	FURNISHED BY LLL-V AND INSTALLED BY GC.	FR-S.30-RAW.GW-V1
FR-3WAY	3 WAY MIRROR BACKLIT LED GWB FITROOMS	LLL-V	GC	SEE DETAIL 9/A-310	POWER REQUIRED AT EACH LOCATION; SEE SHEET E-120 FOR MORE INFO. ALL MIRROR GLASS FOR BACKLIT 3-WAY MIRROR FURNISHED BY LLL-V, SHIPPED LOOSE, AND INSTALLED BY GC WITH CONSTRUCTION ADHESIVE.	FR-BLDW-STD-MIR-V2
FR-BN-RH	ADA FITROOM BENCH	LLL-V	GC	SEE DETAIL 12/A-550	FURNISHED BY LLL-V AND INSTALLED BY GC.	RIGHT HAND: FR-ADA-BCH.RH.NO.V1
FR-WD-DR-35-RH FR-WD-DR-35-LH	FITROOM WOOD DOOR	LLL-V /GC	GC	N/A	LLL-V TO PROVIDE DOOR, JAMB, MIRROR FRAME WITH GLASS PACKAGED SEPARATELY, AND MARKER BOARD. GC TO PROVIDE LEVERS, SEE SHEET A-180 FOR DOOR SCHEDULE AND A-310 FOR DETAILS	SEE SHEET A-180 DOOR SCHEDULE. IN-SWING UNLESS OTHERWISE NOTED. FR-DR.35.RH-NO-BPC-V1 FR-DR.35.LH-NO-BPC-V1
MFRT-RH MFRT-LH	MINI FITROOM TABLES	LLL-V	GC	N/A	MINI FITTING ROOM TABLES	LEFT HAND: MINI-FF-MFRT.LH-NO.AC.BN-V1 RIGHT HAND: MINI-FF-MFRT.RH-NO.AC.BN-V1
FRT-LH	FITROOM TABLES	LLL-V	GC	N/A	STANDARD FITTING ROOM TABLES	LEFT HAND: FF-FRT.LH-NO.AC.BN-V3
HVFRT-LH HVFRT-RH	HIGH VOLUME FITROOM TABLE	LLL-V	GC	N/A	HIGH VOLUME FITTING ROOM TABLES TO ARRIVE ON SITE IN ONE PIECE	LEFT HAND: FF-HVT.LH-NO.AC.BN-V1 RIGHT HAND: FF-HVT.RH-NO.AC.BN-V1
FR-STL	FITROOM STOOL	LLL-V	GC	N/A	GRETA DE PERRY - CAMP STOOL (CUSTOM VERSION) INDUSTRIAL/ CHARCOAL SEAT, 1 PER FITROOM EXCLUDES ADA	
FRT-STL	FITROOM TABLE STOOL	LLL-V	GC	N/A	GRETA DE PERRY -27" COLEMAN STOOL INDUSTRIAL/ BLACK WOOD STAINED SEAT	
FR-HS	HEMMING STOOL	LLL-V	GC	N/A		FR-HS-BTPC.NO-V2
FR-UB-48	FITROOM UPHOLSTERED BENCH	LLL-V	GC	N/A		FR-UBNH.48-GR.RAW-V1

BOH FIXTURES

TAG	DESCRIPTION	FURN	INST	BLOCKING	REMARKS	CODE/SPECIFICATION
BOH-RD BOH-MO	RECEIVING DESK & MONITOR	LLL-V	LLL-V	SEE DETAIL 2/A-550	DESK SIZE: DESK 4'-3"W X 2'-2"D X 8'-6"H GC TO PROVIDE BLOCKING FOR MONITOR INSTALLATION	
BOH-HM-44-120	HANGER MANAGEMENT	LLL-V	LLL-V	SEE DETAIL 4/A-550	FOR EACH CONFIGURATION PROVIDE THE FOLLOWING: 44-120: (24) IHB-2100, (5) CFR-2100, (1) HBR	
BOH-AP-4	BOH APPLIED SLOTTED POSTS	LLL-V	GC	SEE DETAIL 1/A-550	APPLIED SLOTTED POSTS TO BE LOCATED ABOVE ROLLING RACK (AT 5'-6") WHEN SPACE ALLOWS	BOH-AP.SL-RAW-V1
BOH-RR	ROLLING RACK STORAGE	GC	GC	SEE DETAIL 1/A-550	AVAILABLE AT HOME DEPOT RAIL: LENGTH TO SUIT BOH-AP-X HOOKS: QUANTITY: 6	RUBBERMAID FASTRACK: 1. RAIL-MODEL 5E00 56" RAIL PART #FG5E00DWCS 2. HOOK - FASTRACK - MULTIPURPOSE HOOK.
FS-36-X FS-48-X	FIXED SHELVING	LLL-V	LLL-V	N/A	SEE PLAN FOR CONFIGURATIONS: H: HANG F: FOLD FT: FOOTWEAR HM: HEMMING OM: OMNI (HEMMING + BOPIS)	10'-0" HEIGHT X 15" DEPTH X VARIES IN LENGTH SEE PIPP (LLL-V) SHOP DRAWINGS
BOH-KC	KEY CABINET	GC	GC	N/A	LOCATED IN OFFICE, MOUNT T/O CABINET AT 48"AFF	SHURLOK 48
BOH-LH	LADDER HOOK	GC	GC	N/A	INSTALL @ 8'-0" AFF	CROWN BOLT 75 LB DOUBLE ARM SUPER HOOK, MODEL 18044
BOH-MD	MANAGER'S DESK	GC	GC	SEE DETAIL A-553	SEE ELEVATION 1/A-553 FOR MOUNTING HEIGHTS. GC TO PROVIDE (QTY:3) 2 1/2" PLASTIC GROMMET COVER FOR (3) HOLES.	GC TO PROVIDE MANAGERS DESK, ADJUSTABLE SHELVING AND GROMMETS PER DETAIL
BOH-PC	PRINTER CADDY	LLL-V	GC	N/A		BOH-PC-MBF-V1
BOH-OC	OFFICE CHAIR	GC	GC	N/A	SEE STAFF ROOM LAYOUT ON SHEET A-131 FOR LOCATION. GC TO CONFIRM IKEA SPECS, PRODUCTS, & DIMS. ALERT ARCHITECT OF ANY DISCREPANCIES.	IKEA: SMORKULL; COLOR: GRASNAS DARK GRAY; ARTICLE NO: 705.034.51
BOH-K	KITCHENETTE	GC	GC	SEE DETAIL 5/A-550	CABINET: FRAME AND DOORS TO BE MADE OF WHITE P-LAM PANELS. CABINET TO HAVE A 4"H TOE KICK WITH A (B-3) BASE ATTACHED TO THE TOE KICK PANEL. CABINET TO BE ADA COMPLIANT WITH THE TOP OF COUNTERTOP AT 34"H MAX AND BASE CAB UNDER SINK TO BE OPEN TO FINISH FLOOR WITH DOORS WITH INTEGRATED KICK - SEE DETAIL 5/A-550 FOR KITCHENETTE ELEVATION. HARDWARE: 1. LIBERTY, ESSENTIALS LOMBARD 5-1/16" SATIN NICKEL PULL, ALT: LIBERTY, ESSENTIALS 4" SATIN NICKEL STEEL BAR PULL COUNTERTOP: IKEA, STYLE: SALJAN, COLOR: WHITE, SIZE: 1 1/2" THK 24 MAX DEPTH WITH 4" X 1 1/2" BACKSPLASH" x 98". 2 X STAINLESS STEEL ROUND CHUTES ON CABINET FACE WITH 2X RUBBERMAID OR EQUAL BINS. 3X CHUTES & BINS FOR XL STORES. SEE DETAIL 5/A-550.	
BOH-SC	STAFF COUNTER	GC	GC	N/A	COUNTERTOP: CUT TO SIZE PER PLAN, SHEET A-131: 18"D x LENGTH OF WALL, MOUNT AT 29"H WITH STEEL WALL BRACKETS TO ANCHOR TO WALL, NO LEGS. ENSURE BRACKETS ARE SPACED AT LEAST 32" OC TO ALLOW FOR FORWARD WHEELCHAIR APPROACH. CAULK ALL WALL TRANSITIONS WITH WHITE CAULK PROVIDE BLOCKING IN WALL AS REQUIRED FOR MOUNTING BRACKETS IKEA, STYLE: (MATCH KITCHENETTE COUNTER) SALJAN, COLOR: WHITE, SIZE: 1 1/2" THK x 25 5/8" x 98"	
BOH-CU	STAFF CUBBY	LLL-V	GC	N/A	FOR SHIPPING PURPOSES EACH CUBBY UNIT WILL CONSIST OF (3) SECTIONS WITH 3Wx2H CUBBIES EACH, STACKED ON TOP OF EACH OTHER AND SECURED TOGETHER	SEE WAM (LLL-V) SHOP DRAWINGS
BOH-CR	COAT RACK	GC	GC		MOBILE COAT RACK WITH RAILS AND BOOT SHELF PLACED IN OASIS 33.5"W X 19.5"D X81"	IKEA: MITTZON COLOR: WHITE ARTICLE NO: 295.139.57
BOH-GR-48	BOH GOAL RAILS	GC	GC	SEE DETAIL 7/A-550	GC TO PROVIDE BACKING	IKEA:MALMBAECK-ARTICLE 204.462.36 SIZE 23 5/8" X 4 /34", COLOR: WHITE METAL, QTY:8
BOH-C	STAFF CHAIR	GC	GC	N/A	SEE STAFF AREA ROOM LAYOUT ON A-131 FIXTURE PLAN FOR LOCATION. GC TO CONFIRM IKEA SPECS, PRODUCTS, AND DIMENSIONS.	IKEA - JANINGE,COLOUR: WHITE, ARTICLE NO. 002.460.78 ALT: HOME DEPOT OR EQUAL - FLASH FURNITURE HERCULES SERIES 770 LB WHITE STACK CHAIR WITH LUMBAR SUPPORT AND SILVER FRAME (MANUF. SKU: RUT-288-WHITE-GG) COLOR: WHITE
BOH-CH	CHAIR HOOKS	GC	GC	DETAIL 3/A-550	WALL-MOUNTED FOLDING HOOKS. PLACED IN BOH WITH 48" CLEAR WALL SPACE MOUNT 2 HOOKS, 24" O.C. AT 60" AFF	IKEA: KLYKET (3-PACK) ARTICLE NO: 505.035.98
BOH-TT-1	STAFF TABLE - SMALL	GC	GC	N/A	DINING TABLE - EXTENDABLE 47"/71" W X 31" D X 29" H	IKEA: EKEDALEN COLOR: WHITE ARTICLE NO: 703.408.07
BOH-TT-2	STAFF TABLE - LARGE	GC	GC	N/A	DINING TABLE - EXTENDABLE 71"/94" W X 35" D X 29" H	IKEA: EKEDALEN COLOR: WHITE ARTICLE NO: 703.407.65
BOH-MP	MOBILE PEDESTAL	GC	GC	N/A	2-DRAWER MOBILE PEDESTAL UNIT WITH SEAT CUSHION. 15" W X 20" D X 24" H	ULINE MODEL: H-8261 COLOR: BLACK
BOH-LS	LAPTOP STAND	GC	GC	N/A	MOBILE LAPTOP STAND. PLACED IN OFFICE 25.75" W X 14" D X VARIABLE HEIGHT	IKEA: BOLLISDAN COLOR: WHITE ARTICLE NO: 305.743.70
BOH-SOFA	SOFA	GC	GC	N/A	SEE STAFF AREA ROOM LAYOUT ON A-131 FIXTURE PLAN FOR LOCATION. GC TO CONFIRM IKEA SPECS, PRODUCTS, AND DIMENSIONS.	IKEA: PÄRUP, ARTICLE NO. 994.655.90 SIZE: 81 1/8"L x 31 1/2"D x 33 7/8"H COLOR: VISSLE GRAY ALT: COLOR: GUNNARED DARK GREY, 394.655.88
BOH-WB	WHITE/CORK BOARD	LLL-V	GC	N/A	DDS TO SPECIFY WHITE/CORK BOARD	24"H x 36"W, 4'-0" AFF
BOH-LOVE	LOVESEAT	GC	GC	N/A	SEE STAFF ROOM LAYOUT ON A-131 FIXTURE PLAN FOR LOCATION	IKEA: PARUP, ARTICLE NO.794.655.86 SIZE: 65"L X 31.5"D X 34"H; COLOR:VISSLE GRAY ALT COLOR: GUNNARED DARK GRAY 294.655.84

MISCELLANEOUS FURNISHINGS / EQUIPMENT

TAG	DESCRIPTION	FURN	INST	BLOCKING	REMARKS	CODE/SPECIFICATION
REF	REFRIGERATOR	GC	GC	N/A	GC TO PROVIDE SWING AT WALL & 2" MIN CLEARANCE FOR DOOR SWING GC TO PROVIDE 2 x DOOR STOPS ON WALL AT POINT OF CONTACT OF REFRIGERATOR DOOR HANDLES, SEE A-180 STAFF ROOM DOOR HARDWARE SCHEDULE FOR SPEC.	WHIRLPOOL WRT311FZDZ, OR APPROVED EQ 20 CU FT TOP-FREEZER, FINISH: STAINLESS STEEL
MICRO	MICROWAVE	GC	GC	N/A	GC TO ADJUST MICROWAVE SHELF DIMS AS REQUIRED	PANASONIC NNST67S OR EQUAL. 1.2 CU/FT, 1200 W, STAINLESS STEEL FINISH 20 11/16" W X 12 1/4" H X 15 13/16" D
STAN	STANCHIONS	LLL-V	GC	N/A		TBD
MAT-3x14	ANTI-FATIGUE MAT	GC	GC	N/A	MATSINC: ANTI-STATIC ANTI-FATIGUE MATS. BEVELLED EDGES. COLOUR: GREY. WEB: HTTPS://MATSINC.COM/ANTI-STATIC-ANTI-FATIGUE	3+1M: 3'x14' BOH-RD: 2'x3' (QTY: 1)
SUR	LV SERVER RACK	LLL-V	LLL-V	N/A	FRAME RACK TO BE SECURELY BOLTED TO SLAB	SEE DETAIL 6/E-510 FOR EQUIPMENT SPECS.
SUR-CAB(E)	LV SERVER CAB	LLL-V	LLL-V	N/A	MOUNTED TO WALL, ENSURE CLEARANCE FOR DOOR SWING	SEE DETAIL 6/E-510 FOR EQUIPMENT SPECS.
FE	FIRE EXTINGUISHER	GC	GC	N/A	EXACT LOCATION TO BE DETERMINED ON SITE PER LOCAL CODES	LARSEN'S MP-5 W/ BRACKET 821
FE-R	RECESSED FIRE EXTINGUISHER	GC	GC	N/A	EXACT LOCATION TO BE DETERMINED ON SITE PER LOCAL CODES	LARSEN'S MP-5 W/ SEMI-RECESSED CABINET 24095R, STAINLESS STEEL W/ TEMPERED GLASS LITE
SW	SAFETY WALL	LLL-V	GC	N/A	CORK BOARD AND FRAME, INCLUDED WITH TURNOVER KIT	MIN 4'-0" X 4'-0" CLEAR WALL SPACE FOR OSHA AND HR DOCUMENTS AND FIRST AID
BS-XxX	BRAND SCREEN	LLL-V	LLL-V	SEE SHEET A-540	POWER AND DATA REQUIRED AT EACH LOCATION; PROVIDE TWO LAYERS OF 3/4" THK PLYWOOD FOR BLOCKING. SEE SHEET A-540, ELECREICAL DRAWINGS, AND LULULEMON VENDOR SHOP DRAWINGS FOR MORE INFO	DIVERSIFIED LED TILE MODULE: SAMSUNG LH025IER MOUNT: PREMIER FBWM BS: 4x3 BS: 5x3
DPO	DOOR PULL OFFSET	LLL-V	GC	N/A	36" BLACK OFFSET DOOR PULL WITH CUSTOM ETCHED NOTE. LLL-V TO PROVIDE TEMPLATE FOR MOUNTING LOCATION. AT EXISTING DOOR LOCATIONS, GC TO PROVIDE COVERPLATE TO PATCH PREVIOUS PULL MOUNTING HOLES, COVERPLATE TO MATCH DOOR FINISH	SEE SHEET A-180 DOOR SCHEDULE, STOREFRONT DOORS
LB-SF-CLG-9x6 LB-SF-CLG-8x5	STOREFRONT LIGHTBOX SUSPENDED	LLL-V	LLL-V	SEE DETAIL 1/A-520	SUSPEND FROM AIRCRAFT CABLE GC TO PROVIDE FRT BLOCKING ABOVE CEILING AND CEILING OUTLET PER A-140	
DT-SF-CLG	STOREFRONT DISPLAY HARDWARE	GC	GC	SEE DETAIL 1/A-521	RECESSED TRACK AND POWER FEED AT CEILING BY GC FOR LLL-V WINDOW DISPLAY (GRAPHICS AND HANGERS BY LLL-V) MANUF: ARAKAWA CRC RECESSED CEILING TRACK, SEE SHEET A-160 FOR REQUIRED LENGTHS: CLEAR ANODIZED FINISH	DT-SF-CLG
W-14 M-L	MANNEQUIN	LLL-V	LLL-V	N/A	DESIGNER/VM TO CONFIRM PLACEMENTS	WOMEN'S SIZE 14 MEN' SIZE LARGE

RESTROOM FIXTURES

TAG	DESCRIPTION	FURN	INST	BLOCKING	REMARKS	CODE/SPECIFICATION
RR-C	OVERHEAD RESTROOM CABINET	LLL-V	GC	SEE A-320	CONFIRM SIZE PER PLAN	BOH-RR-C

SEE A-320 FOR ALL GC PROVIDED PLUMBING FIXTURES AND RESTROOM ACCESSORIES

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LICENSED NAME, ARCHITECT

STATE OF MISSOURI
JOEL C. TORIELLI
NUMBER A-2008010408
ARCHITECT

ISSUED FOR PERMIT & BID

08/25/2025

DATE	DESCRIPTION
06/16/2025	ISSUED FOR DD REVIEW
08/05/2025	ISSUED FOR CD REVIEW
08/25/2025	ISSUED FOR PERMIT & BID

DRAWING INFORMATION
PROJECT #: 2412106
CHECKED BY: DM
DRAWN BY: VK

FIXTURE SCHEDULE

DRAWING NUMBER
A-130

USABLE SQUARE FOOT SUMMARY MATRIX

NOTE: MEASURE TO INSIDE FACE OF DEMISING WALLS AT ADJACENT TENANT SPACES AND PERIMETER WALLS. MEASURE TO C.L. OF WALLS WITHIN TENANT SPACE DO NOT INCLUDE VOIDS IN USABLE AREA

ROOM NAME	SF	%	LF IF APPLICABLE
SALES AREA			
WOMEN'S AREA	1,515 SF	38%	44'-0"
MEN'S AREA	829 SF	21%	30'-0"
FITROOMS	380 SF	10%	
SWEAT-ON-THE-LINE	110 SF	3%	
CASH	107 SF	3%	
HALLWAY	78 SF	2%	
RESTROOM	75 SF	2%	
DISPLAY AREA	74 SF	2%	
TOTAL SALES AREA	3,167 SF	80%	
BACK OF HOUSE			
STOCKROOM	484 SF	12%	
STAFF ROOM	139 SF	4%	
EXIT CORRIDOR	91 SF	2%	
OFFICE	58 SF	1%	
MOP CLOSET	7 SF	0%	
TOTAL BOH AREA	778 SF	20%	
TOTAL USABLE AREA	3,945 SF	100%	

GENERAL NOTES

A. ALL QUANTITIES SHOULD BE VERIFIED BY LULULEMON VENDOR. PRIOR TO ORDERING AND INSTALLATION. GC TO CHECK ALL QUANTITIES OF MILLWORK UPON DELIVERY.

B. ALL WOODWORK ATTACHED TO THE PREMISES, BLOCKING, GROUNDS, ETC. SHALL BE FIRE RETARDANT AND COMPLY WITH THE LANDLORD'S AND BUILDING CODE REQUIREMENTS GOVERNING FIREPROOFING.

C. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE AND NOTIFY LULULEMON'S CONSTRUCTION MANAGER AS TO ANY DISCREPANCIES IMMEDIATELY.

D. ALL MILLWORK HARDWARE TO BE FURNISHED BY LULULEMON VENDOR AND INSTALLED BY GC, UNO.

E. ALL MILLWORK IS TO BE HANDLED UNDER SEPARATE CONTRACT BY LULULEMON UNO. GC TO COORDINATE SCHEDULING WITH LULULEMON VENDOR. SEE SHEET A-010 RESPONSIBILITY SCHEDULE.

F. SEE SERIES 500 SHEETS AND SHEET A320 ENLARGED RESTROOM PLANS AND ELEVATIONS FOR BLOCKING EXTENTS BY GC.

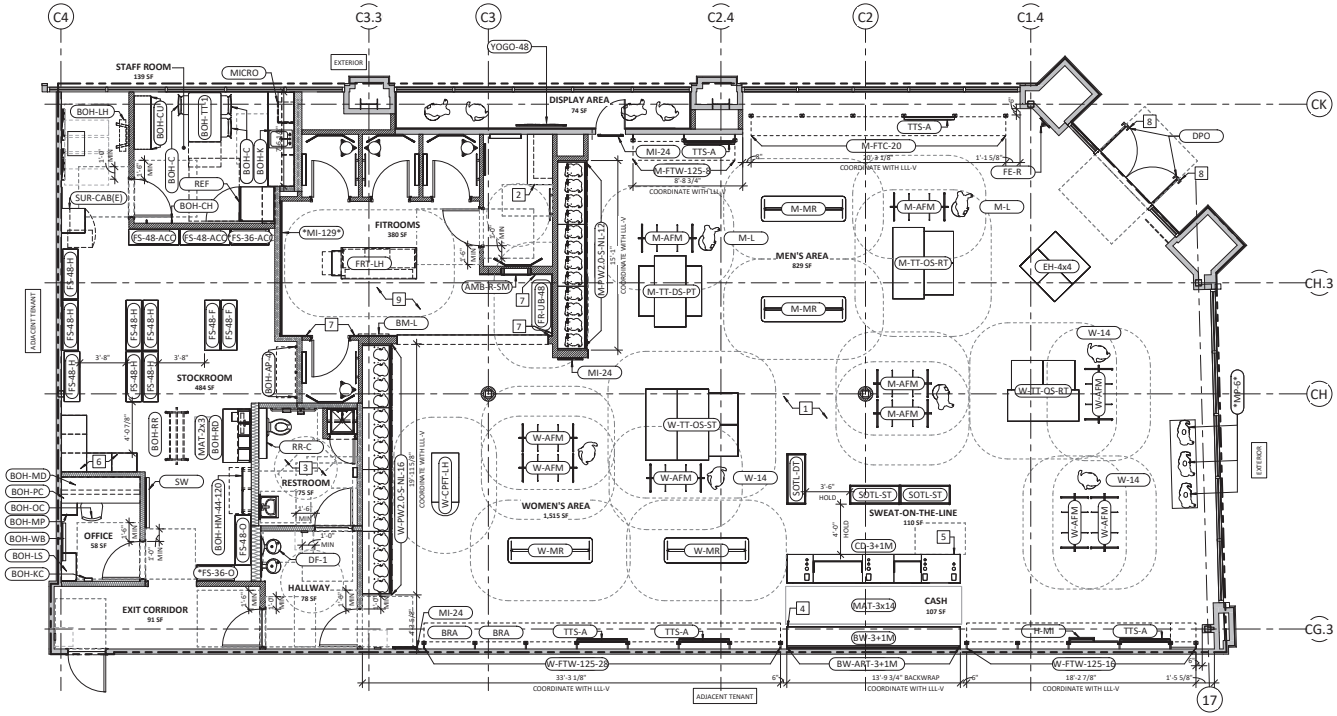
G. RECYCLING TO BE PROVIDED AT BOH. RECYCLING SHOULD INCLUDE PAPER, CARDBOARD, HANGARS, METAL, GLASS, BATTERIES, AND LAMPS.

H. DIMENSIONS ARE TAKEN FROM THE CENTER OF OUTRIGGER POSTS.

KEYNOTES

 # - KEYNOTE SYMBOL | **NOT USED**

1. GC TO VERIFY ALL FIELD DIMENSIONS AND COORDINATE WITH LLL-V.
2. 24" X 48" MIN ACCESSIBLE FITROOM BENCH TO BE SECURELY FASTENED TO WALL.
3. SEE A-320 FOR RESTROOM ACCESSORIES, SEE A-320 AND PLUMBING DRAWINGS FOR PLUMBING FIXTURES.
4. SAFE TO BE INSTALLED IN BACK WRAP BY GC.
5. 34" AFF COUNTER HEIGHT AT ACCESSIBLE TRANSACTION SPACE
6. CLEAR AREA FOR BOX DELIVERIES
7. WALL PANELS AND SOLID WOOD BASE WITH METAL BASE REVEAL BY LLL-V, SHIPPED LOOSE, AND INSTALLED BY GC, SEE SHEET A-120 FOR FINISH SCHEDULE.
8. CUSTOM ETCHED DOOR PULLS PROVIDED BY LLL-V, SEE SHEET A-180 FOR DOOR SCHEDULE
9. SEE SHEET A-310 FOR FITROOM FIXTURES



1 FIXTURE PLAN

SCALE: 1/4" = 1'-0"

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DRAWING INFORMATION

PROJECT #: 2412106
CHECKED BY: DM
DRAWN BY: VK

(STANDARD) FIXTURE PLAN

DRAWING NUMBER

A-131

2025-08-25 8:55:53 PM

LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	TRENCHED AREA	$	LIGHT SWITCH
	FLOOR MOUNTED DUPLEX	$3	THREE WAY LIGHT SWITCH
	WALL OUTLET, DATA	$D	DIMMER LIGHT SWITCH
	WALL OUTLET, DUPLEX	$OS	OCCUPANCY SENSOR/SWITCH
GFI	GFI WALL OUTLET, DUPLEX	$VS	VACANCY SENSOR/SWITCH
	WALL OUTLET, QUAD	$LV	LOW VOLTAGE SWITCH
	WALL OUTLET, USB		BUZZER PUSH BUTTON
ABV CLG	J BOX		BUZZER TRANSFORMER
	THERMOSTAT		BUZZER CHIME
	TEMPERATURE SENSOR	FACP	FIRE ALARM CONTROL PANEL
CLG	CEILING, DUPLEX	F	FIRE ALARM PULL STATION
	WALL WHIP, 6FT LENGTH MIN	+X"	HEIGHT ABOVE FINISHED FLOOR
	CO2 SENSOR		

GENERAL NOTES

A. ALL FIRE ALARM DEVICES INCLUDING ALARMS, SMOKE DETECTORS, STROBES, SPEAKERS, CHIMES, ETC. TO BE INSTALLED PER LANDLORDS SPECIFICATIONS.

B. GC TO COORDINATE REQUIREMENTS AND INSTALLATION WITH LANDLORD'S AUTHORIZED CONTRACTOR. PM TO COORDINATE INSTALL LOCATIONS, QUANTITIES AND SCHEDULES.

C. ALL OUTLETS AND COVER PLATES AT FOH AND BOH AREAS ARE TO BE WHITE IN COLOR, UNO.

D. DO NOT SCALE DRAWINGS. SUBMIT TO ARCHITECT ANY DISCREPANCIES FOR CLARIFICATION.

E. GC TO FURNISH AND INSTALL ACCESS PANELS PER CODE FOR ACCESS TO HVAC, WATER CHILLERS, LED DRIVERS, SIGNAGE, AND SENSORMATIC ACCESS. IF ADDITIONAL ACCESS PANELS ARE REQUIRED FOR OVERHEAD GRILLE OR ADDITIONAL PLUMBING, MECHANICAL, OR ELECTRICAL ACCESS, ETC., GC TO COORDINATE PLACEMENT WITH ARCHITECT AND LULULEMON CM. IN-WALL ACCESS PANELS TO BE FLUSH FRAMELESS GYPSUM BOARD TYPE, CEILING ACCESS PANELS TO BE PUSH-UP TYPE 1. GC TO SPECIFY AND SUBMIT TO ARCHITECT FOR REVIEW AND APPROVAL. SEE AS-130 DIVISION DB3100 FOR SPECIFICATIONS

F. ALL DIMENSIONS FOR OUTLETS ARE TO CENTERLINE, UNO.

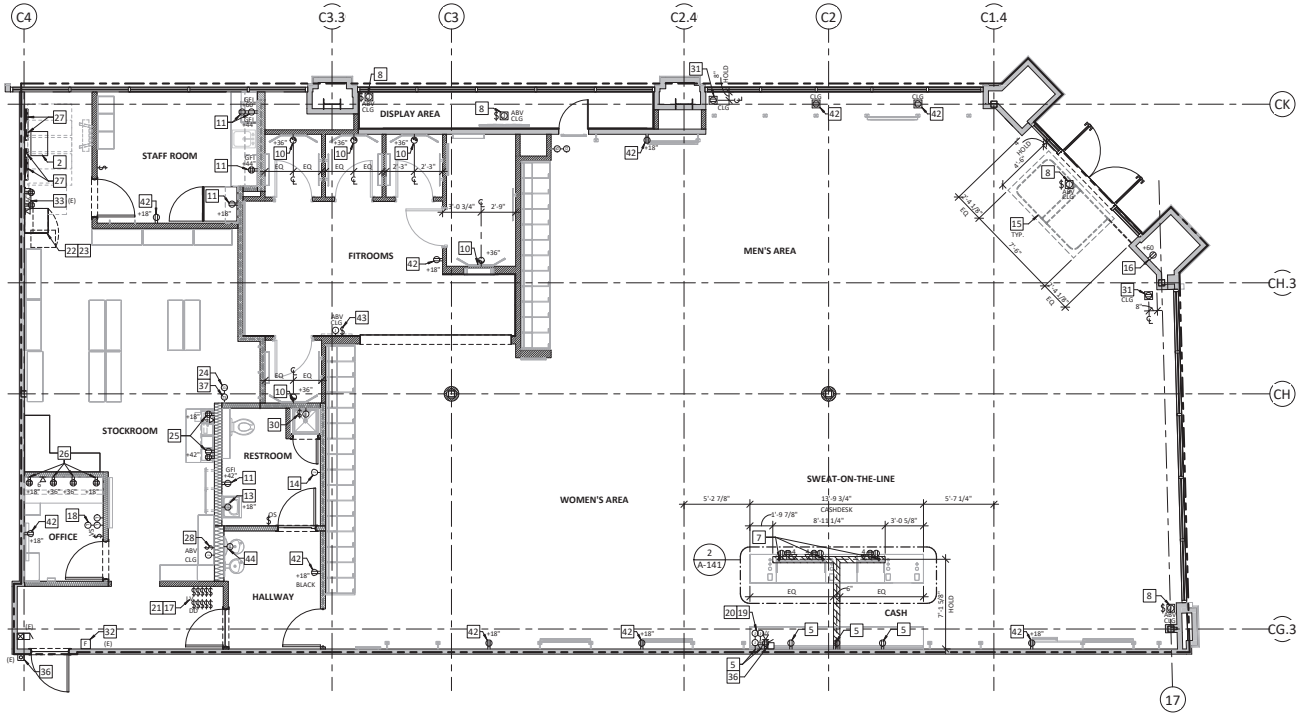
G. SEE INTERIOR ELEVATIONS AND ENLARGED DETAILS FOR SPECIFIC OUTLET DIMENSIONS

KEYNOTES

NOT USED

[#] - KEYNOTE SYMBOL

1. POWER OUTLETS FOR LIGHTBOXES/SALES CENTERED BEHIND OUTRIGGER, SEE DETAIL 1/A-141
2. TRANSFORMER LOCATION. COORDINATE FLOOR MOUNT OR SUSPENDED WITH ELECTRICAL SHEETS
3. POWER OUTLETS FOR BACKLIT PANT WALL CENTERED ON EVERY LIGHTBOX PANEL, SEE SHEET A-550 FOR DETAILS AND COORDINATE WITH LLL-V SHOP DWGS
4. NOT USED
5. POWER AND DATA OUTLETS IN BACKWRAP MILLWORK, SEE ELECTRICAL DWGS AND SHEET A-540 BACKWRAP DETAILS FOR MORE INFORMATION
6. POWER AND DATA OUTLETS FOR VIDEO WALL, SEE ELECTRICAL DWGS AND SHEET A-540 BACKWRAP DETAILS FOR MORE INFORMATION
7. POWER AND DATA OUTLETS SURFACE-MOUNTED ON SLAB, SEE LULULEMON VENDOR SHOP DWGS, SHEET A-040 DEMO PLAN, AND DETAIL 2/A-141 FOR TRENCHING/CORING LOCATION
8. J-BOX FOR STOREFRONT SIGNAGE LOCATED ABOVE CEILING OR ON WALLS, PROVIDE ACCESS PANEL, SEE SHEET A420 FOR STOREFRONT SECTIONS AND SEE ELECTRICAL SHEET E-110 AND AS160 APPENDIX C FOR GC PRE-INSTALL CHECKLIST
9. NOT USED
10. 6' -0" WHIP MINIMUM REQUIRED BEHIND MIRROR FOR ROUTING OF LOW VOLTAGE TO BOH MOUNTED DRIVERS. SEE A-151 FOR DRIVER LOCATION AND ELECTRICAL DRAWINGS FOR MORE INFORMATION
11. GFI POWER OUTLETS AT RESTROOMS, KITCHENETTE, AND WITHIN 5'-0" OF WET AREAS
12. NOT USED
13. J-BOX FOR RESTROOM AUTOMATIC FAUCET LOCATED UNDER SINK. PROVIDE STAINLESS STEEL COVER PLATE. SEE ELECTRICAL AND PLUMBING DWGS
14. IN-WALL J-BOX FOR HAND DRYER AT RESTROOM, COORDINATE EXACT LOCATION WITH MANUFACTURER INSTALLATION INSTRUCTIONS
15. SENSORMATIC AMS3031 EAS SENSORS WITH SHIELDED TILE RECESSED 3" INTO SLAB, SEE ELECTRICAL DWGS FOR MORE INFORMATION
16. SENSORMATIC AMS3031 EAS CONTROLLER LOCATED AT STOREFRONT VOID, SEE ELECTRICAL DWGS FOR MORE INFORMATION
17. SWITCH BANK, SEE ELEVATIONS, ELECTRICAL DRAWINGS. T/O SWITCHES MOUNTED AT 48" AFF MAX. SEE ELECTRICAL DWGS FOR MORE INFORMATION
18. THERMOSTAT, SEE ELEVATIONS, AND MECHANICAL DWGS
19. VOLUME CONTROL, SEE ELECTRICAL DWGS AND SHEET A-540 BACKWRAP DETAILS FOR MORE INFORMATION
20. BURGLAR ALARM SYSTEM (BAS) CONTROL, SEE ELECTRICAL DWGS AND SHEET A-540 BACKWRAP DETAILS FOR MORE INFORMATION.
21. 3-WAY SWITCH TO LIGHT SECONDARY BOH ENTRANCE, WIRE WITH SWITCH AT SWITCH BANK
22. AMPLIFIER TO BE LOCATED AT LOW VOLTAGE SERVER RACK IN NETWORK CLOSET/CABINET
23. MUSIC PLAYER TO BE LOCATED AT LOW VOLTAGE SERVER RACK IN NETWORK CLOSET/CABINET
24. PROVIDE J-BOX AT 54" AFF, PLASTER RING AND 1/2" CONDUIT WITH PULL STRING FROM TEMPERATURE SENSOR TO THERMOSTAT
25. POWER AND DATA OUTLETS FOR RECEIVING DESK, SEE ELECTRICAL DRAWINGS AND ENLARGED ELEVATION 2/A-550 FOR DETAILS.
26. POWER AND DATA OUTLETS FOR MANAGER'S OFFICE DESK, SEE ELECTRICAL DRAWINGS AND ENLARGED ELEVATION 3/A-550 FOR DETAILS.
27. ELECTRICAL PANELS, SEE ELECTRICAL DRAWINGS
28. J-BOX AND SWITCH AT REMOTE WATER CHILLER FOR BOTTLE FILLER/DRINKING FOUNTAIN PER PLAN AT 120" AFF UNO. SEE ELEVATIONS
29. J-BOX FOR VIDEO PRESENTATION INPUT, SEE ELECTRICAL LOW VOLTAGE DRAWINGS AND A-540
30. J-BOX AND SWITCH AT ELECTRIC WATER HEATER ABOVE MOP SINK
31. CEILING POWER OUTLETS. WHITE COVER PLATES ON GWB, BRUSHED STAINLESS STEEL ON WOOD PORTAL CEILING.
32. FIRE ALARM PULL STATION AT 48" AFF MAX, COORDINATE WITH FIRE ALARM DRAWINGS
33. EXISTING FIRE ALARM CONTROL PANEL. FA CONTRACTOR TO PROVIDE A N.O. (NORMALLY OPEN) DRY CONTACT CONNECTION FROM FACP TO THE NETWORK RACK FOR AUDIO SYSTEM MUTE DURING FIRE ALARM. COORDINATE WITH FA DRAWINGS
34. NOT USED
35. NOT USED
36. EXISTING DELIVERY BUZZER SYSTEM, SEE ELECTRICAL DRAWINGS
37. CO2 SENSOR, SEE ELECTRICAL DRAWINGS
38. NOT USED
39. NOT USED
40. FLUSH FLOOR BOX WITH POWER (1 DUPLEX) FOOTWEAR FIXTURE, COVERPLATE TO BE FLUSH WITH FINISH FLOOR AND BRUSHED ALUMINUM FINISH, COORDINATE EXACT LOCATION WITH LLL-V SHOP DRAWINGS
41. NOT USED
42. POWER OUTLET FOR CONVENIENCE AT 18"AFF, TYPICAL, AT OUTRIGGER LOCATIONS CENTER BEHIND OUTRIGGER, TYP.
43. LED BRAND MOMENT BY LLL-V. GC TO PROVIDE J-BOX CONCEALED ABOVE FITROOM CEILING, ACCESS PANEL, AND TO COORDINATE OPEN WALL ACCESS IN FITROOM UNTIL LLL-V COMPLETES LED INSTALL. SEE ELEVATION
44. POWER FOR DRINKING FOUNTAIN BOTTLE FILLER AUTOMATIC SENSOR. ACCESSIBLE THROUGH FRONT ACCESS PANEL. SEE ELEVATIONS AND PLUMBING DRAWINGS.



1 POWER, COMMUNICATIONS & LOW VOLTAGE PLAN

SCALE: 1/4" = 1'-0"

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DRAWING INFORMATION

PROJECT #: 2412106
CHECKED BY: DM
DRAWN BY: VK

(STANDARD) POWER, COMMUNICATIONS, AND LOW VOLTAGE PLAN

DRAWING NUMBER

A-140

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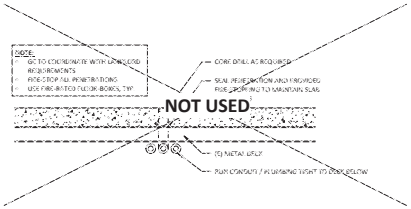
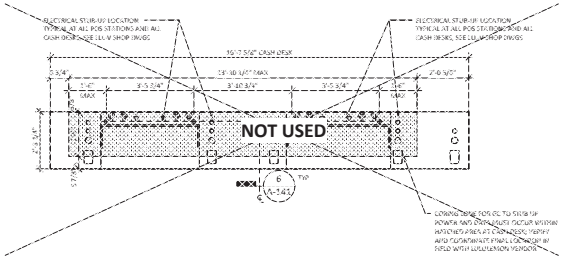


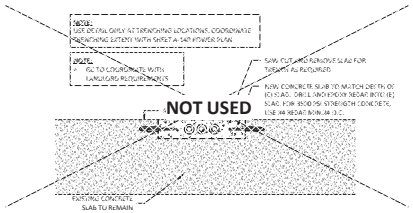
6 FLOOR SLAB CORING DETAIL

SCALE: 3/4" = 1'-0"



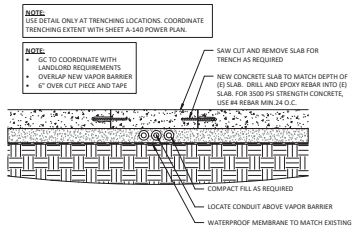
3 ELECTRICAL CORING AND STUB-UP ZONE @ CASH DESK

SCALE: 1/2" = 1'-0"



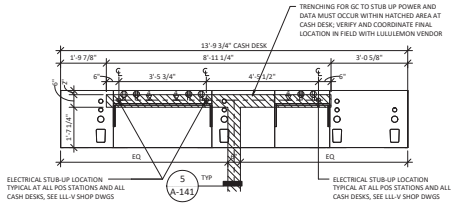
9 FLOOR SLAB PATCH DETAIL

SCALE: 3/4" = 1'-0"



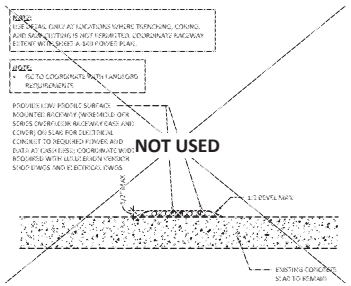
5 FLOOR SLAB (ON GRADE) PATCH DETAIL

SCALE: 3/4" = 1'-0"



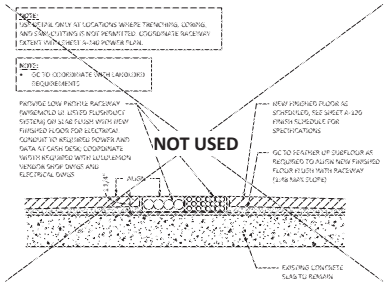
2 ELECTRICAL TRENCHING AND STUB-UP LOCATIONS @ CASH DESK

SCALE: 1/2" = 1'-0"



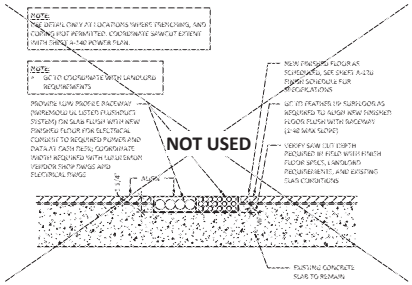
8 SURFACE MOUNTED RACEWAY DETAIL

SCALE: 3" = 1'-0"



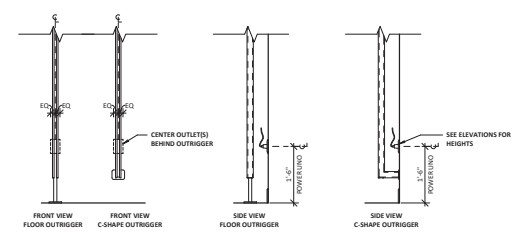
7 FLUSH MOUNTED RACEWAY DETAIL

SCALE: 3" = 1'-0"



4 SAW CUT FLOOR - RACEWAY DETAIL

SCALE: 3" = 1'-0"



1 POWER LOCATIONS AT OUTRIGGERS

SCALE: 3/4" = 1'-0"

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DRAWING INFORMATION

PROJECT #: 2412106
CHECKED BY: DM
DRAWN BY: VK

POWER AND TRENCHING / CORING DETAILS

DRAWING NUMBER

A-141

LIGHTING FIXTURE SCHEDULE

NOTE: SEE ELECTRICAL SHEET E120 FOR LIGHTING SPECIFICATIONS

NAME & SYMBOL	PROCUREMENT	QTY	INSTALL	FIXTURE	LAMP	HEIGHT AFF	INSTALL DIRECTIONS / NOTES
D5 (WALL)	LLL	5	WALL MOUNTED	CORE LED LINEAR LSM-60-30K-PF-24V DC WITH LED DRIVER	6 WATTS/LF LED 24V		MIRROR MILLWORK LIGHTS PROVIDED BY CSI
D6 (WALL)	LLL	1	WALL MOUNTED	WAC: WS-180327-30-BN	20 WATT LED	B/O FIXTURE @ 6'-6"	1 AT EACH TOILET ROOM MOUNTED ABOVE THE MIRROR AND CENTERED
FL	GC	1	RECESSED	BROAN AE80BL DELUXE FAN LIGHT COMBO	11 WATT LED	CEILING HT.	FAN LIGHT COMBO TO BE CENTERED IN ROOM; FAN: 27 WATT / 80 CFM
L4	LLL	1	SURFACE MOUNTED OR SUSPENDED	HUBBELL COLUMBIA MPS4-30LW-CW-EDU	27.3 WATT LED	12'-0" U.N.O. SURFACE MT AT BOH HALL	BACK OF HOUSE LED STRIP LIGHT, SUSPENDED UNO
L4-EM	LLL	0	SURFACE MOUNTED OR SUSPENDED	HUBBELL COLUMBIA MPS4-30LW-CW-EDU-ELL14	27.3 WATT LED	12'-0"	BACK OF HOUSE STRIP LIGHT WITH EM, SUSPENDED UNO
L8	LLL	2	SURFACE MOUNTED OR SUSPENDED	HUBBELL COLUMBIA MPS8-30LW-CW-EDU	54.6 WATT LED	12'-0"	BACK OF HOUSE LED STRIP LIGHT, SUSPENDED UNO
L8-EM	LLL	3	SURFACE MOUNTED OR SUSPENDED	HUBBELL COLUMBIA MPS8-30LW-CW-EDU-ELL14	54.6 WATT LED	12'-0"	BACK OF HOUSE STRIP LIGHT WITH EM, SUSPENDED UNO
L2 (WALL)	LLL	1	SURFACE MOUNTED	WAC:FM-07RN-930-WT	15 WATT LED	7'-9" @ CLOSET WALLS	
SF-L	LLL-V	0	PERFORATED PANEL ASSEMBLY	SLOAN POSTERBOX 3 - 'LONG' MODULE PROVIDE 1 POWER SUPPLYPER 10 MODULES: MEANWELL HLG-240H-24	14 WATT LED	SEE A-410 STOREFRONT ELEVATION	MTD ALONG LONG SIDE OF BACK PAN RETURN OF PANEL ASSEMBLY. SEE E-120 AND AS-160 APPENDIX C FOR GC PRE-INSTALL CHECKLIST
SF-S	LLL-V	0	PERFORATED PANEL ASSEMBLY	SLOAN POSTERBOX 3 - 'SHORT' MODULE PROVIDE 1 POWER SUPPLYPER 10 MODULES: MEANWELL HLG-240H-24	7.2 WATT LED	SEE A-410 STOREFRONT ELEVATION	MTD ALONG LONG SIDE OF BACK PAN RETURN OF PANEL ASSEMBLY. SEE E-120 AND AS-160 APPENDIX C FOR GC PRE-INSTALL CHECKLIST
LS2	LLL	REF RCP	SURFACE MOUNTED	CORE LED NEON (LNE-50-SB-35K-24V-XX-IP65EF-XX), MAX 30LF PER POWER FEED, SEE VOLTAGE DROP CHART ON E-121	5.3 WATTS/LF LED 24V	12"-2" COVE SEE A-151 _ 14'-2 1/2" COVE	MTD IN COVE BUILT OUT ON SITE BY GC. REMOTE DRIVERS. SEE A-160 FOR COVE DETAIL. SEE A-151 FOR DRIVER LOCATION
P1	LLL	1	SUSPENDED	LUMEN WERX - WHITE PENDANT RIMSP-XX-XX-ULO-LED90-MEDIUM OUTPUT-30-UNV-D1-1-RDB-W -POC-60IN-W	LED INCLUDED 7 WATTS/LF	8'-6"	CUSTOM SIZE LEAD TIME 3-4 WEEKS, SIZE ROUNDED TO THE CLOSEST FT INCREMENT, DIMMABLE
R2	LLL	2	SEMI-RECESSED	SOLAIS LUCIE: SAR12-PW-1-OF-PW-NFL-9-30-1600-UNV -NCW	16 WATTS/ HEAD TOTAL 32 WATTS	CEILING HT.	
R3	LLL	0	SEMI-RECESSED	AMERLUX HORNET - WHITE x 3 SPOTS HP-R/SR-NC-FRAME-T-3-120-LE/TE HP-SR-NC-TRIM-T-3-18-WT-120-277-MFL-MFL-MFL-309-LE/TE	18 WATTS/ HEAD TOTAL 54 WATTS	CEILING HT.	
R2S	LLL	0	RECESSED	AMERLUX HORNET - SILVER x 2 SPOTS HP-R/SR-NC-FRAME-T-2-120-LE/TE HP-R-NC-TRIM-T-2-18-SLV-120-277-MFL-MFL-309-LE/TE	18 WATTS/ HEAD TOTAL 36 WATTS	CEILING HT.	AT WOOD PORTAL ABOVE MANNEQUINS, OFFSET 8" FROM GLAZING, TYPICALLY SPACED AT 3'-0" O.C. CAN ALSO BE LOCATED ABOVE ENTRANCE. LLL DESIGNER TO MAKE FINAL DECISION. INTERIOR APPLICATION ONLY
R3S	LLL	0	RECESSED	AMERLUX HORNET - SILVER x 3 SPOTS HP-R/SR-NC-FRAME-T-3-120-LE/TE HP-R-NC-TRIM-T-3-18-SLV-120-277-MFL-MFL-MFL-309-LE/TE	18 WATTS/ HEAD TOTAL 54 WATTS	CEILING HT.	

NAME & SYMBOL	PROCUREMENT	QTY	INSTALL	FIXTURE	LAMP	HEIGHT AFF	INSTALL DIRECTIONS / NOTES
RF1-S	LLL	2	RECESSED	PRESCOLITE LTR-4SQD-H-SL-10L-DM1-LTR-4SQD-T-SL-30K-9-XW-SS-WT 4" SQUARE DOWN LIGHT - WHITE TRIM	12 WATT LED	CEILING HT.	HALLWAY: NON-DIMMING FITROOMS: DIMMABLE
RF1-S-EM	LLL	2	RECESSED	PRESCOLITE LTR-4SQD-H-SL-10L-DM1-EM LTR-4SQD-T-SL-30K-9-XW-SS-WT 4" SQUARE DOWN LIGHT - WHITE TRIM	12 WATT LED	CEILING HT.	EM: PROVIDE 90 MIN BATTERY BACKUP HALLWAY: NON-DIMMING FITROOMS: DIMMABLE
RF1-SB	LLL	3	RECESSED BLACK	PRESCOLITE LTR-4SQD-H-SL-10L-DM1 LTR-4SQD-T-SL-30K-9-XW-SS-BT 4" SQUARE DOWN LIGHT - BLACK TRIM	12 WATT LED	CEILING HT.	
RF1-SB-EM	LLL	0	RECESSED BLACK	PRESCOLITE LTR-4SQD-H-SL-10L-DM1-EM LTR-4SQD-T-SL-30K-9-XW-SS-BT 4" SQUARE DOWN LIGHT - BLACK TRIM	12 WATT LED	CEILING HT.	PROVIDE 90 MIN BATTERY BACKUP
RW1	LLL	11	RECESSED	AMERLUX HORNET HDL-HP-S-NC-A17-T-12-120-0-10V HDL-HP-SLW-A17-T-MWW-309 3 1/2" SQUARE WALL WASH - WHITE	12 WATT LED	CEILING HT.	FITROOM WALL WASHERS DIMMABLE
RF3-S	LLL	2	RECESSED	PRESCOLITE LTR-4SQD-H-ML-20L-DM1 -LTR-4SQD-T-ML-30K-9-XW-SS-WT 4" SQUARE DOWN LIGHT - WHITE TRIM	23 WATT LED	CEILING HT.	HALLWAY: NON-DIMMING FITROOMS: DIMMABLE
RF3-S-EM	LLL	1	RECESSED	PRESCOLITE LTR-4SQD-H-ML-20L-DM-EM -LTR-4SQD-T-ML-30K-9-XW-SS-WT 4" SQUARE DOWN LIGHT - WHITE TRIM	23 WATT LED	CEILING HT.	EM: PROVIDE 90 MIN BATTERY BACKUP HALLWAY: NON-DIMMING FITROOMS: DIMMABLE
RF4	LLL	4	RECESSED	WAC: R4DRDN-F-9CS-WT LED DOWN LIGHT - WHITE TRIM	12W LED	CEILING HT.	STAFF ROOM RECESSED IN GWB CEILING, SET TO 3000K TEMPERATURE
RF5	LLL	0	RECESSED	AMERLUX: HDL-HP-S-NC-A17-T-20-120-LE/TE HDL-HP-SA-A17-T-SLVS-MFL-309	20W LED	CEILING HT.	AT WOOD PORTAL ABOVE ENTRANCE, WHERE ROUND SPRINKLER HEADS ARE PRESENT. LLL DESIGNER TO MAKE FINAL DECISION. (DAMP RATED)
RF6	LLL	0	RECESSED SILVER TRIM	AMERLUX HORNET - SILVER TRIM HDL-HP-R-NC-A17-T-20-120-LE/TE HDL-HP-RA-A17-T-SLVS-MFL-309 3 1/2" ROUND ADJUSTABLE LIGHT	20 WATT LED	CEILING HT.	AT WOOD PORTAL ABOVE ENTRANCE, WHERE ROUND SPRINKLER HEADS ARE PRESENT. LLL DESIGNER TO MAKE FINAL DECISION. (DAMP RATED)
RF6-EM	LLL	0	RECESSED SILVER TRIM EMERGENCY	AMERLUX HORNET - SILVER TRIM HDL-HP-R-NC-A17-T-20-120-LE/TE-EM HDL-HP-RA-A17-T-SLVS-MFL-309 3 1/2" ROUND ADJUSTABLE LIGHT	20 WATT LED	CEILING HT.	AT WOOD PORTAL ABOVE ENTRANCE, WHERE ROUND SPRINKLER HEADS ARE PRESENT. LLL DESIGNER TO MAKE FINAL DECISION. PROVIDE 90 BATTERY BACKUP (DAMP RATED)
RF5-EM	LLL	0	RECESSED SILVER TRIM EMERGENCY	HDL-HP-S-NC-A17-T-20-120-LE/TE-EM HDL-HP-SA-A17-T-SLVS-MFL-309	20 WATT LED	CEILING HT.	AT WOOD PORTAL ABOVE ENTRANCE, WHERE ROUND SPRINKLER HEADS ARE PRESENT. LLL DESIGNER TO MAKE FINAL DECISION. PROVIDE 90 BATTERY BACKUP (DAMP RATED)
T1	LLL	REF RCP	SURFACE MOUNTED	CON TECH LT-4-P, LT-6-P, LT8-P, LT-12-P, 1 CIRCUIT WHITE TRACK, SURFACE MOUNT	-	CEILING HT.	TRACK TO BE SURFACE MOUNTED OR SET IN TAPED-IN REVEAL. SEE SHEET A-151 AND A-160. SEE PLANS FOR LENGTHS, PATTERNS, AND QTYS
T2	LLL	REF RCP	SUSPENDED	CON TECH LT-4-P, LT-6-P, LT8-P, LT-12-P, 1 CIRCUIT SUSPENDED WHITE TRACK, SUSPEND ON 1/16" GALVANIZED CABLE (GI-16TRK-44-120") FROM LLL-V CANOPY (Q5-14-W), SEE DETAIL 7/A-520	-	SUSPENDED 12'-0"	HANG FROM STRUCTURE, VERIFY MOUNTING WITH DESIGNER PRIOR TO INSTALL. SEE PLANS FOR LENGTHS, PATTERNS, AND QUANTITIES
T4	LLL	REF RCP	SUSPENDED	CON TECH LT-4-B, LT-6-B, LT8-B, LT-12-B, 1 CIRCUIT SUSPENDED BLACK TRACK, , SUSPEND ON 1/16" GALVANIZED CABLE (GI-16TRK-44-120") FROM LLL-V CANOPY (Q5-14-B), SEE DETAIL 7/A-520	-	SUSPENDED 12'-0"	HANG FROM STRUCTURE, VERIFY MOUNTING WITH DESIGNER PRIOR TO INSTALL. SEE PLANS FOR LENGTHS, PATTERNS, AND QUANTITIES

NAME & SYMBOL	PROCUREMENT	QTY	INSTALL	FIXTURE	LAMP	HEIGHT AFF	INSTALL DIRECTIONS / NOTES
TL1	LLL	69	TRACK MOUNTED	LUMENTURE T65-1500-30H-25-W-J WHITE TRACK HEAD - SPOT WITH T65-SNW SNOOT	16 WATT LED	TRACK MOUNTED	SEE PLANS FOR DIRECTION SET IN FIELD
TL2	LLL	0	TRACK MOUNTED	LUMENTURE T65-1500-30H-40-W-J WHITE TRACK HEAD - FLOOD	16 WATT LED	TRACK MOUNTED	SEE PLANS FOR DIRECTION SET IN FIELD
TL3	LLL	65	TRACK MOUNTED	LUMENTURE T65-1500-30H-25-B-J BLACK TRACK HEAD - SPOT WITH T65-SNB SNOOT	16 WATT LED	TRACK MOUNTED	SEE PLANS FOR DIRECTION SET IN FIELD
TL4	LLL	28	TRACK MOUNTED	LUMENTURE T65-1500-30H-40-B-J BLACK TRACK HEAD - FLOOD	16 WATT LED	TRACK MOUNTED	SEE PLANS FOR DIRECTION SET IN FIELD
TL5	LLL	26	TRACK MOUNTED	LUMENTURE TWW160-30H-1600-B-J TRACK HEAD - BLACK WALL WASHER	17 WATT LED	TRACK MOUNTED	DIRECT TOWARDS WALL
TL6	LLL	0	TRACK MOUNTED	LUMENTURE TWW160-30H-1600-W-J TRACK HEAD - WHITE WALL WASHER	17 WATT LED	TRACK MOUNTED	DIRECT TOWARDS WALL
TL7	LLL	0	TRACK MOUNTED	LUMENTURE TWW160-30H-1600-W-J3 TRACK HEAD - WHITE STEM WALL WASH	17 WATT LED	TRACK MOUNTED	WITH CUSTOM STEM DIRECT TOWARDS WALL
TL8	LLL	24	TRACK MOUNTED	LUMENTURE: T80-2000--30H-25-W-J HO WHT TRACK HEAD-SPOT WITH T80-SNW-SNOOT	20 WATT LED	TRACK MOUNTED	SEE PLANS FOR DIRECTION SET IN FIELD
TL8B	LLL	10	TRACK MOUNTED	LUMENTURE: T80-2000--30H-25-B-J HO BLK TRACK HEAD-SPOT WITH T80-SNB-SNOOT	20 WATT LED	TRACK MOUNTED	SEE PLANS FOR DIRECTION SET IN FIELD
TL9	LLL	20	TRACK MOUNTED	LUMENTURE: T80-2000-30H-40-W-J HO WHT TRACK HEAD - FLOOD	20 WATT LED	TRACK MOUNTED	SEE PLANS FOR DIRECTION SET IN FIELD
TL9B	LLL	7	TRACK MOUNTED	LUMENTURE: T80-2000-30H-40-B-J HO BLK TRACK HEAD - FLOOD	20 WATT LED	TRACK MOUNTED	SEE PLANS FOR DIRECTION SET IN FIELD
EX1	LLL	3	RECESSED CEILING	BEST RELZXTE-1-R-C-W-EM EDGE LIGHT EXIT SIGN W/BATTERY BACK-UP	5 WATT FOR BATTERY BACKUP (EM)	CEILING HT. 8'-6" TYP 13'-0" MAX SEE ELEVS	EXIT SIGNS TO BE RED, CLEAR PLEXI AND RECESSED BATTERY TYPE. USED ONLY AT SALES
EX2 (WALL)	LLL	1	SUSPENDED/ WALL MOUNTED	BEST ELXTEU-1-R-C-B-EM EDGE LIGHT EXIT SIGN W/BATTERY BACK-UP	5 WATT FOR BATTERY BACKUP (EM)	13'-0" MAX SEE ELEVS	EXIT SIGNS TO BE USED ONLY IN OPEN CEILINGS OR WALL MOUNTED AT SALES
EX3 (WALL)	LLL	2	WALL MOUNTED	BEST EZXTEU-2-R-W-EM BEST EXIT SIGN W/BATTERY BACK-UP	3.8 WATT LED	8'- 0" TYP 13'-0" MAX SEE ELEVS	EXIT SIGNS TO BE WHITE WITH RED LETTERS. USED ONLY IN BOH
EX4	LLL	1	SUSPENDED	BEST EZXTEU-2-R-W-EM BEST EXIT SIGN W/BATTERY BACK-UP - GCTO SUSPEND BY RIGID CONDUIT	3.8 WATT LED	13'-0" MAX SEE ELEVS	EXIT SIGNS TO BE WHITE WITH RED LETTERS. USED ONLY IN BOH
EX1-CA	LLL	0	SURFACE MOUNTED OR SUSPENDED	EMERGI-LITE EDE-1-W-A-UI SINGLE FACE EXIT	3.5 WATTS	13'-0" MAX	USE THIS SPEC FOR ALL CANADA PROJECTS
EX2-CA	LLL	0	SURFACE MOUNTED OR SUSPENDED	EMERGI-LITE EA3W1 UNIVERSAL EXIT	3 WATTS	13'-0" MAX	USE THIS SPEC FOR ALL CANADA PROJECTS
EM-CAN	LLL	0	SURFACE MOUNTED OR SUSPENDED	ELM6L-UVOLT-LTP-SDRT SUPPLY RIGID CONDUIT FOR SUSPENSION AS REQUIRED	10.6 WATTS	14'-0" TYP	USE THIS SPEC FOR CANADA PROJECTS WITH P-7 (LIGHT) OPEN TO DECK
EM-CANB	LLL	0	SURFACE MOUNTED OR SUSPENDED	ELM6L-B-UVOLT-LTP-SDRT SUPPLY RIGID CONDUIT FOR SUSPENSION AS REQUIRED	10.6 WATTS	14'-0" TYP	USE THIS SPEC FOR ALL CANADA PROJECTS WITH P-1/P-11 OPEN TO DECK
EM1	LLL	2	RECESSED	ISOLITE:MIGN2-SQ-WH-MR-L	9 WATTS	CEILING HT.	USE THIS SPEC FOR GWB CEILINGS AT SALES
EM2	LLL	0	SUSPENDED	DUAL LITE EV-2 WHITE ON STEM	2 x 1 WATT LED	14' - 0" TYP	USE THIS SPEC FOR PROJECTS WITH P-7 (LIGHT) OPEN TO DECK
EM2B	LLL	0	SUSPENDED	DUAL LITE EV-2B BLACK ON STEM	2 x 1 WATT LED	14' - 0" TYP	USE THIS SPEC FOR PROJECTS WITH P-1/P-11 OPEN TO DECK
EM3 (WALL)	LLL	1	SURFACE MOUNTED	DUAL LITE EV-2 WHITE	2 x 1 WATT LED	9' - 6" AFF	BUG EYE EMERGENCY LIGHT
EM3B (WALL)	LLL	0	SURFACE MOUNTED	DUAL LITE EV-2B BLACK	2X 1W LED	9' - 6" AFF	BUG EYE EMERGENCY LIGHT

2025-08-25 8:53:06 PM

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MEP ENGINEER

STRUCTURAL ENGINEER

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SEAL
LICENSED NAME, ARCHITECT

ISSUED FOR PERMIT & BID
08/25/2025

△	DATE	DESCRIPTION
	06/16/2025	ISSUED FOR DD REVIEW
	08/05/2025	ISSUED FOR CD REVIEW
	08/25/2025	ISSUED FOR PERMIT & BID

DRAWING INFORMATION
PROJECT #: 2412106
CHECKED BY: DM
DRAWN BY: VK

LIGHTING SCHEDULE

DRAWING NUMBER
A-150

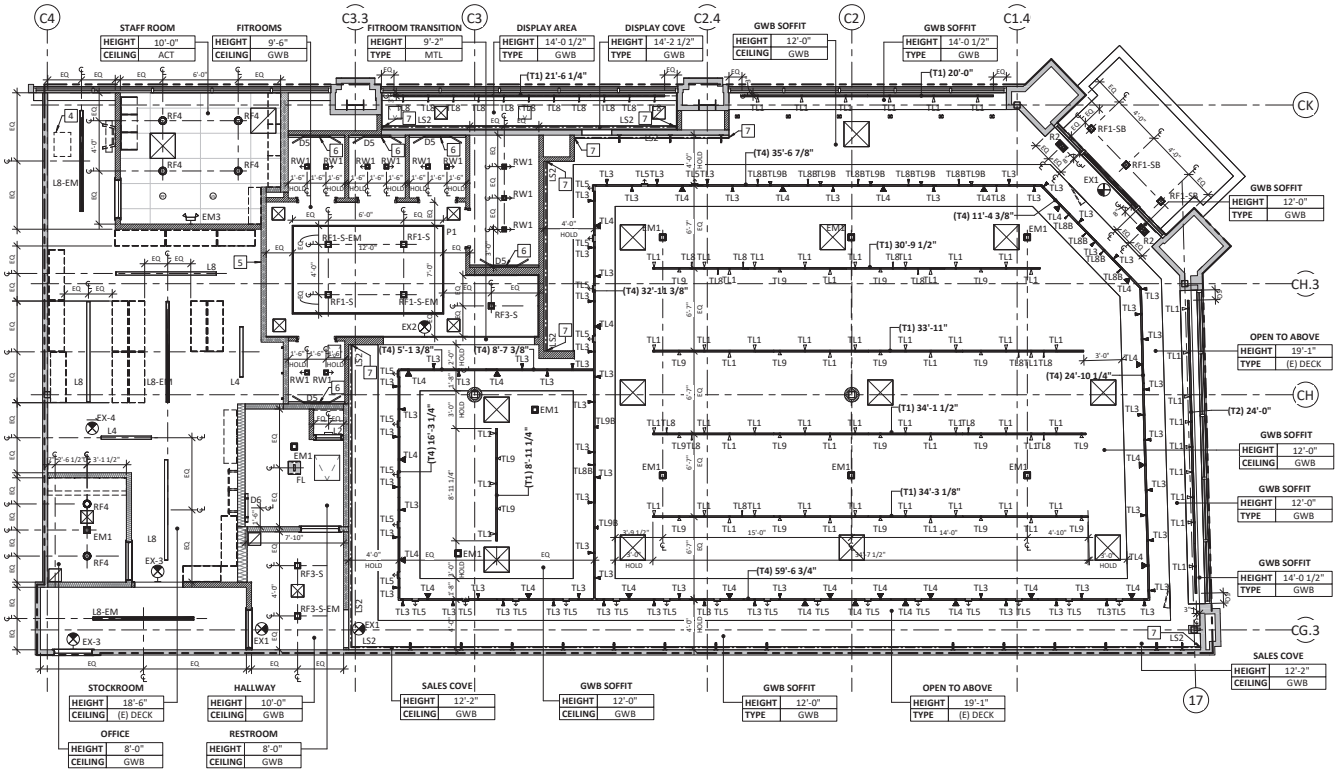
GENERAL NOTES

A. GC TO CONFIRM QUANTITY AND SPECIFICATION OF ALL LIGHTING FIXTURES UPON RECEIPT
B. SEE ELECTRICAL DRAWINGS FOR LIGHTING SPECIFICATIONS
C. COORDINATE AIMING OF LIGHT FIXTURES WITH OWNER. GC TO ENSURE LIGHTS ARE AIMED AT 30 DEGREES FROM NADIR IN THE LOCATION THAT THE LIGHTS ARE POINTED AT TIME OF HANDOVER.
D. MAINTAIN ACCESS TO EXISTING HVAC, ELECTRICAL, PLUMBING, AND FIRE SUPPRESSION SYSTEMS, INCLUDING CLEANOUTS, VALVES, DAMPERS, SMOKE DETECTORS ETC
E. SEE SHEET A-170 FOR SPEAKER, SECURITY AND OTHER MISCELLANEOUS ITEMS
F. CENTER HVAC AND LIGHTING ELEMENTS WITHIN ACOUSTIC CEILING TILE
G. ALL CONDUIT FOR CEILING ITEMS TO BE STAIGHT, PARALLEL/PERPENDICULAR AND TIGHT TO STRUCTURE. PAINT TO MATCH ADJACENT SURFACES
H. GC TO INFORM ARCHITECT OF ANY CONFLICT BETWEEN ARCHITECTUAL, MEP AND BASE BUILDING ELEMENTS
I. TRACK LIGHTING TO BE SUSPENDED WITH AIRCRAFT CABLE AND PROPERLY SUPPORTED AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS
J. GC TO FURNISH AND INSTALL ACCESS PANELS PER CODE FOR ACCESS TO HVAC, WATER CHILLERS, LED DRIVERS, SIGNAGE, AND SENSORMATIC ACCESS. IF ADDITIONAL ACCESS PANELS ARE REQUIRED FOR OVERHEAD GRILLE OR ADDITIONAL PLUMBING, MECHANICAL, OR ELECTRICAL ACCESS, ETC., GC TO COORDINATE PLACEMENT WITH ARCHITECT AND LULULEMON CM. IN-WALL ACCESS PANELS TO BE FLUSH FRAMELESS GYPSUM BOARD TYPE, CEILING ACCESS PANELS TO BE PUSH-UP TYPE 1. GC TO SPECIFY AND SUBMIT TO ARCHITECT FOR REVIEW AND APPROVAL. SEE AS-140 DIVISION 083100 FOR SPECIFICATIONS
K. ALL DIMENSIONS OF LIGHTING ARE TO CENTERLINE OF FIXTURE

KEYNOTES

- KEYNOTE SYMBOL — NOT USED

1. NOT USED
2. NOT USED
3. TRACK LIGHTS MOUNTED IN TAPED-IN REVEAL AT GWB CEILING, SEE DETAIL 8/A-520
4. LOCATION OF SUSPENDED OR FLOOR-MOUNTED TRANSFORMER, SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION, REFER TO STRUCTURAL DRAWINGS FOR SUSPENSION DETAILS
5. REMOTE DRIVERS FOR FITROOM MIRRORS AND SALES COVE LIGHTING. MOUNT 6" ABOVE TOP OF SHELVING ON PLYWOOD BACKER BOARD SIZED TO SUIT. PAINT TO MATCH WALL.
6. LIGHTS PRE-INSTALLED AT LLL-V FITROOM MIRROR. GC TO PROVIDE 6' -0" WHIP MINIMUM BEHIND MIRROR FOR ROUTING OF LOW VOLTAGE TO BOH MOUNTED DRIVERS, SEE SHEET A-140 AND ELECTRICAL DRAWINGS FOR MORE INFORMATION
7. TERMINATE COVE/COVELIGHT
8. NOT USED
9. LLL-V TO PROVIDE PRE-ASSEMBLED BACK-LIT PERFORATED PANEL INCLUDING LED MODULES AND POWER SUPPLIES, SEE SHEET A-410 STOREFRONT ELEVATION AND LLL-V DWGS
10. NOT USED
11. CONTINUOUS TAPED-IN LINEAR SLOT DIFFUSER, SEE MECHANICAL DRAWINGS, PROVIDE LIGHT SHIELDS AT ALL LENGTHS NOT USED FOR SUPPLY AIR



1 REFLECTED CEILING PLAN - LIGHTING
SCALE: 1/4" = 1'-0"

lululemon
1818 CORNWALL AVE.
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SEAL
LICENSED NAME, ARCHITECT

ISSUED FOR PERMIT & BID
08/25/2025

DATE	DESCRIPTION
06/16/2025	ISSUED FOR DD REVIEW
08/05/2025	ISSUED FOR CD REVIEW
08/25/2025	ISSUED FOR PERMIT & BID

DRAWING INFORMATION
PROJECT #: 2412106
CHECKED BY: DM
DRAWN BY: VK

(STANDARD) REFLECTED CEILING PLAN - LIGHTING

DRAWING NUMBER
A-151

2025-08-25 8:53:10 PM

GENERAL NOTES

A. SEE SHEET A-120 FOR FINISH SCHEDULE. NO SUBSTITUTIONS.

B. INSTALL ALL FINISHES, MATERIALS, AND PRODUCT/ EQUIPMENT PER MANUFACTURER RECOMMENDATIONS AND/OR SPECIFICATIONS.

C. PAINT ALL EXPOSED DECK, FRAMING, PIPING, MECHANICAL, CONDUIT, ETC. P-1 AT SALES FLOOR IF DECK ABOVE IS OVER 16'-0"AFF. P-11 IF DECK IS OVER 14' AND BELOW 16'. P-7 IF DECK IS UNDER 14'-0". P-7 AT BACK OF HOUSE UNO OR PROHIBITED BY CODE

D. ALL AREAS AND QUANTITIES ARE FOR REFERENCE ONLY AND DOES NOT INCLUDE OVERAGE.

E. GC SHALL VERIFY DIMENSIONS ON SITE AND CONFIRM QUANTITIES OF ALL PROCURED ITEMS.

F. SEE SHEET AS-140 FOR SUSPENDED ACT CEILING SPECIFICATIONS.

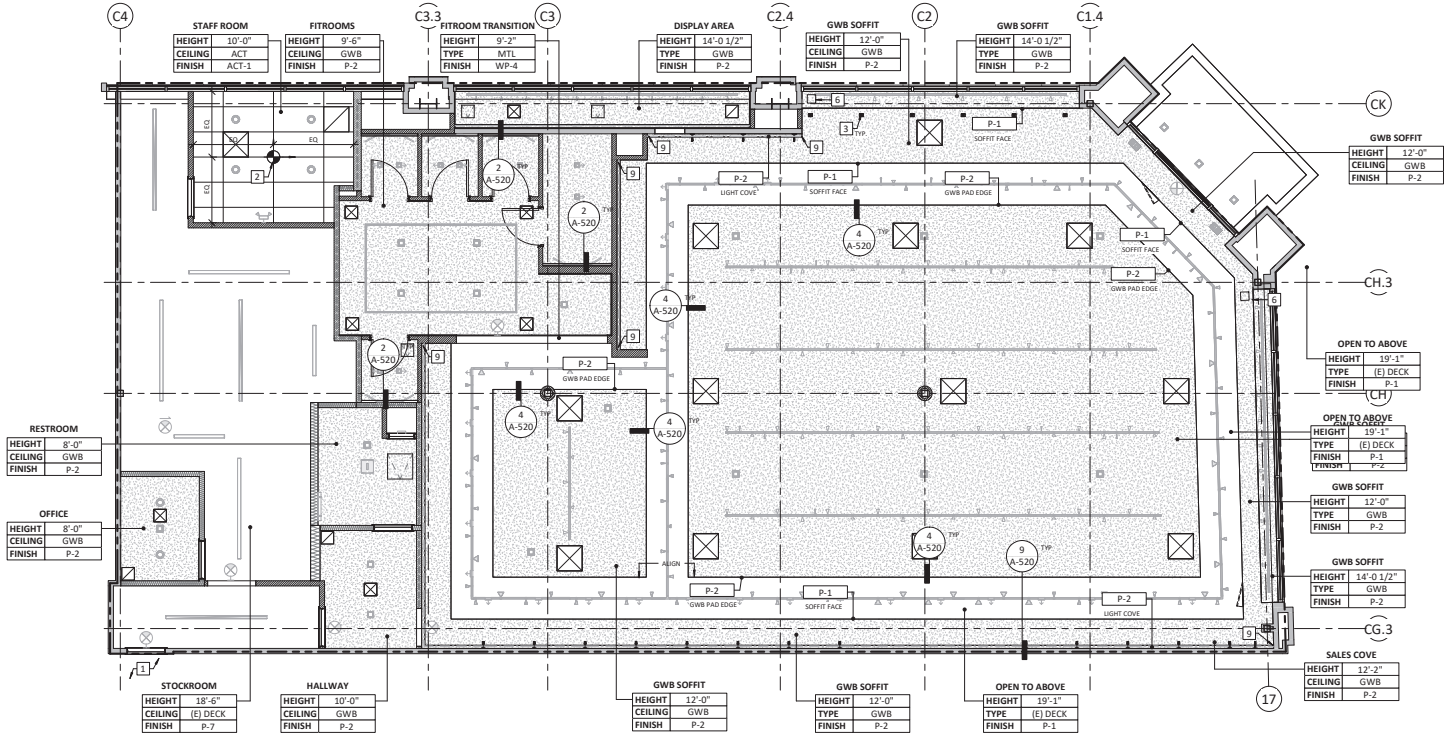
G. SEE DETAIL 11/AS20 FOR SUSPENDED GYP CEILING DETAILS.

H. REFER TO A170 FOR ACCESS PANEL COORDINATION

KEYNOTES

- KEYNOTE SYMBOL — NOT USED

1. PAINT TO MATCH EXISTING AND/OR REQUIRED LANDLORD FINISH
2. CEILING TILE LAYOUT POINT
3. 12" W X 5/8" FRT PLYWOOD ABOVE CEILING FOR FLOOR TO CEILING OUTRIGGERS REFER TO SHEET AS51
4. 12" W X 5/78" FRT PLYWOOD ABOVE CEILING FOR DISPLAY RAILS. REFER TO SHEET AS21
5. PANEL SEAM LINE AT PORTAL. PANEL EDGE AT DISPLAY RAIL OR GRILLE TRACK. NO OTHER VISIBLE SEAMS AT PORTAL.
6. POWER OUTLET AT STOREFRONT DISPLAY WINDOW
7. 12" W X 5/8" FRT PLYWOOD ABOVE GWB CEILING FOR LIGHTBOX REFER TO SHEET AS21. IF LIGHTBOX MOUNTED TO WOOD PORTAL THEN THE BLOCKING IS ALREADY THERE
8. 12" W X 5/8" FRT PLYWOOD ABOVE GWB CEILING FOR SUSPENDED LIGHTING. REFER TO SHEET AS20
9. TERMINATE COVE/COVELIGHT



1 REFLECTED CEILING PLAN - FINISH & CONSTRUCTION

SCALE: 1/4" = 1'-0"

lululemon

1818 CORNWALL AVE.
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08/25/2025	ISSUED FOR PERMIT & BID

DRAWING INFORMATION

PROJECT #: 2412106
CHECKED BY: DM
DRAWN BY: VK

(STANDARD) RCP - FINISH AND CONSTRUCTION

DRAWING NUMBER

A-160

2025-08-25 8:55:31:15 PM

SYMBOL LEGEND

DESCRIPTION	INSTALL	SYMBOL	DESCRIPTION	INSTALL	SYMBOL
SECURITY CAMERA	SURFACE MOUNTED OR SUSPENDED	FINISH: CMW = WHITE SURFACE MTD CMW-S = WHITE SUSPENDED @ 12'-0"AFF CMB = BLACK SURFACE MTD CMB-S = BLACK SUSPENDED @ 12'-0"AFF WITH SHROUD/TAND	ACCESS PANELS	CEILING OR WALL MOUNTED	SEE AS-140 DIVISION 083.1.16 FOR SPECIFICATIONS AP1212 = 12" x 12" AP1818 = 18" x 18" AP2424 = 24" x 24"
TRAFFIC COUNTER	CEILING MOUNTED OR SUSPENDED	FINISH: TCW = WHITE CEILING MOUNTED TCW-S = WHITE SUSPENDED @ 12'-0" TCB-S = BLACK SUSPENDED @ 12'-0"	SUPPLY GRILLE	CEILING OR DUCT MOUNTED	
WIRELESS ACCESS POINT	SURFACE MOUNTED OR SUSPENDED	FINISH: WAP-S-B SUSPENDED WAP = WHITE WAP-B = BLACK	RETURN GRILLE	CEILING OR DUCT MOUNTED	
SPEAKER *NOTE: SPEAKER PANS & BRIDGES SUPPLIED BY LLL-V AND INSTALLED BY GC. SPEAKER INSTALLED BY LLL-V. SEE E-011	SUSPENDED	SUB2 2x SUB3 2x SUB4 2x *REFER TO E-130 FOR SCHEDULE* S2 2x S3 2x S5 2x S6 2x	LINEAR SLOT	TAPED-IN AT GWB CEILING	LS
			FIRE ALARM SOUNDER / STROBE	CEILING / WALL MOUNTED OR SUSPENDED	FINISH: SUSPENDED = BLACK GWB CEILING = WHITE S
SPEAKER *NOTE: SPEAKER PANS & BRIDGES SUPPLIED BY LLL-V AND INSTALLED BY GC. SPEAKER INSTALLED BY LLL-V. SEE E-011	FLUSH RECESSED MOUNTED	SUB1 2x *REFER TO E-130 FOR SCHEDULE* S1 2x S4 2x	FIRE ALARM STROBE	CEILING MOUNTED OR SUSPENDED	FINISH: SUSPENDED = BLACK GWB CEILING = WHITE ST
			SMOKE DETECTOR	CEILING MOUNTED OR DECK MOUNTED	FINISH: DECK MOUNTED = BLACK GWB CEILING = WHITE SD
CONCEALED J-BOX AND SWITCH	MOUNTED ABOVE CEILING	CK ABV CLG	DISPLAY TRACK	RECESSED AT CEILING	DT-SF-CLG
CEILING DUPLEX	MOUNTED AT CEILING	FINISH: GWB CEILING = WHITE WOOD = BRUSHED STAINLESS CK CLG			

SPRINKLER LEGEND

DESCRIPTION	LOCATION	SYMBOL	COVERPLATE FINISH
FULLY RECESSED CONCEALED	GWB CEILINGS	●	WHITE UNO
	WOOD CEILINGS	SF●	BRUSHED CHROME (VENDOR'S STANDARD)
SEMI RECESSED	BACK OF HOUSE ACT CEILING	◍	N/A
UPRIGHT	AREAS OPEN TO DECK	○	N/A

GENERAL NOTES

A. THIS SHEET IS FOR COORDINATION BETWEEN MECHANICAL DUCTS, DIFFUSERS, ACCESS HATCHES AND LOW VOLTAGE LOCATIONS ONLY. SEE MEP AND APPROVED FIRE-ALARM/SPRINKLER VENDOR DRAWINGS FOR ALL OTHER REQUIRED INFORMATION

B. GC AND ALL TRADES SHALL COORDINATE REQUIRED ACCESS HATCH LOCATIONS WITH LANDLORD TO MAINTAIN ACCESS TO LANDLORD EQUIPMENT

C. GC TO FURNISH AND INSTALL ACCESS PANELS PER CODE FOR ACCESS TO HVAC, WATER CHILLERS, LED DRIVERS, SIGNAGE, AND SENSORMATIC ACCESS. IF ADDITIONAL ACCESS PANELS ARE REQUIRED FOR OVERHEAD GRILLE OR ADDITIONAL PLUMBING, MECHANICAL, OR ELECTRICAL ACCESS, ETC., GC TO COORDINATE PLACEMENT WITH ARCHITECT AND LULULEMON CM. IN-WALL ACCESS PANELS TO BE FLUSH FRAMELESS GYPSUM BOARD TYPE, CEILING ACCESS PANELS TO BE PUSH-UP TYPE 1. GC TO SPECIFY AND SUBMIT TO ARCHITECT FOR REVIEW AND APPROVAL. SEE AS-140 DIVISION 083100 FOR SPECIFICATIONS

D. GC TO COORDINATE SPRINKLER HEAD PLACEMENT WITH OWNER PRIOR TO INSTALLATION

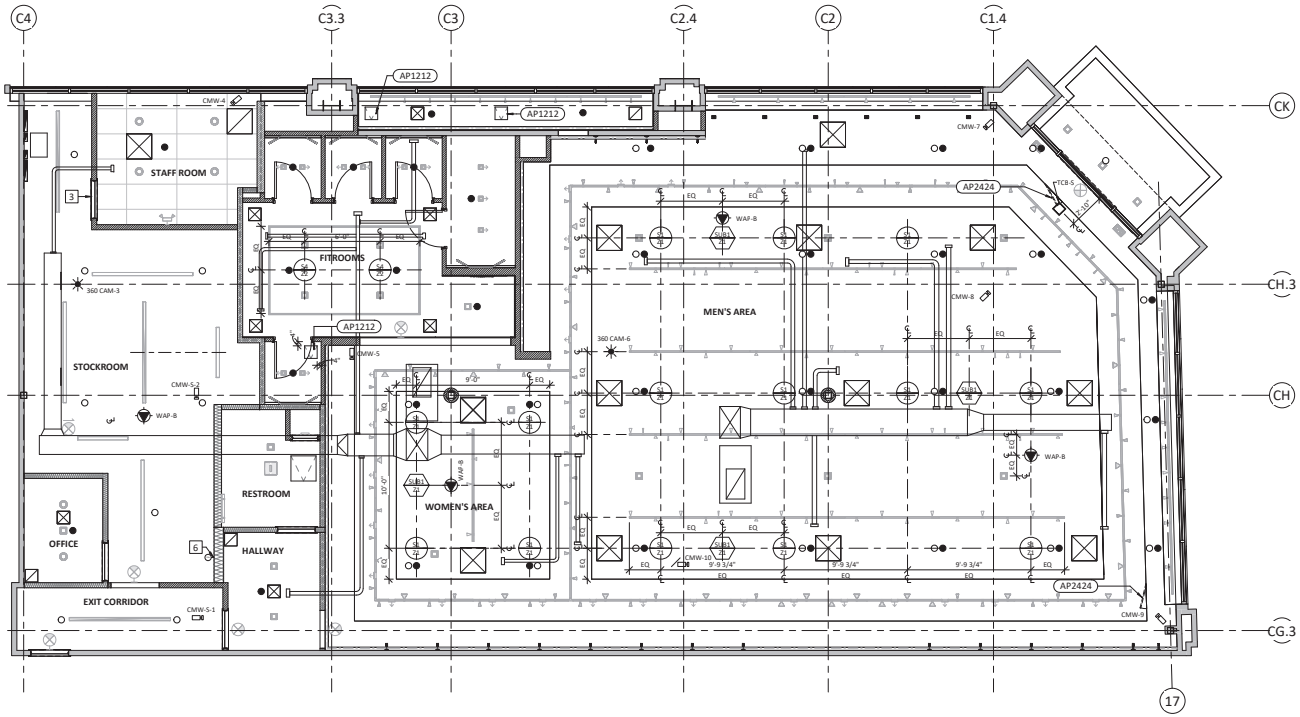
E. GC TO COORDINATE WAP QUANTITY AND LOCATION WITH VENDOR

F. HVAC DUCTWORK, DIFFUSERS AND ACCESS PANELS ARE FOR REFERENCE ONLY. SEE MECHANICAL DWGS FOR LOCATIONS, HEIGHTS, AND SIZING

G. GC TO PROVIDE CABLE TRAY SYSTEM TO ALL EXPOSED AREA IN A NEAT AND CLEAN MANNER

KEYNOTES

# - KEYNOTE SYMBOL	NOT USED
1	NOT USED
2	NOT USED
3	HVAC TRANSFER GRILLE, MOUNTED ABOVE PAINT LINE AND PAINTED TO MATCH ADJACENT WALL
4	NOT USED
5	NOT USED
6	BOTTLE FILLER CHILLER SUSPENDED/WALL MOUNTED IN VOID SPACE ABOVE CEILING, SEE DETAIL 6/A-520, PROVIDE ACCESS, SEE SHEET A-210 ELEVATION FOR HEIGHT OF WALL ACCESS PANEL IF REQUIRED OR A-170 PLAN FOR LOCATION OF CEILING ACCESS IF REQUIRED.
7	NOT USED
8	NOT USED
9	HVAC UNIT, SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION
10	NOT USED
11	NOT USED
12	HVAC DUCTWORK, PAINT-GRADE INTERNALLY LINED DUCTWORK AT EXPOSED SALES AREA, COORDINATE WITH MECHANICAL DWGS, FINISH TO MATCH OPEN CEILING PAINT COLOR
13	PROVIDE ACCESS FOR HVAC EQUIPMENT, GC TO PROVIDE 24" X 24" SQUARE CORNER TAPE-IN PUSH-UP TYPE ACCESS PANEL IN CEILING, REFER TO AS-130 FOR SPECIFICATION, FINISH TO MATCH CEILING
14	NOT USED
15	NOT USED
16	NOT USED
17	NOT USED
18	TAPED-IN LINEAR SLOT DIFFUSER, SEE MECHANICAL DRAWINGS, PROVIDE LIGHT SHIELDS AT ALL LENGTHS NOT USED FOR SUPPLY AIR.
19	NOT USED
20	NOT USED
21	NOT USED
22	NOT USED



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08/25/2025

DATE	DESCRIPTION
06/16/2025	ISSUED FOR DD REVIEW
08/05/2025	ISSUED FOR CD REVIEW
08/25/2025	ISSUED FOR PERMIT & BID

DRAWING INFORMATION
PROJECT #: 2412106
CHECKED BY: DM
DRAWN BY: VK

(STANDARD) RCP - FIXTURE REFERENCE

DRAWING NUMBER
A-170

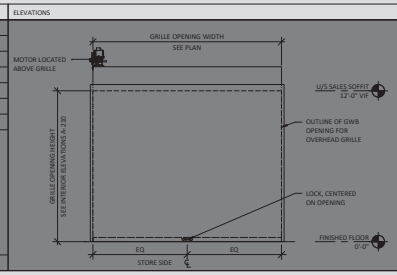
2025-08-25 8:53:18 PM

DOOR SCHEDULE

STOREFRONT DOOR: OVERHEAD GRILLE - MOTOR ABOVE GRILLE

SYMBOL	DOOR SPECIFICATIONS	
S1	LOCATION	MALL COMMON AREA TO SALES AREA
	TYPE	OVERHEAD ROLLING GRILLE
	MATERIAL	N/A
	FINISH	N/A
	GLAZING	N/A
	FRAME MATL	ALUMINUM
	FRAME FINISH	CLEAR ANODIZED
	HARDWARE	GRILLE: ALUMATEC PACIFIC PRODUCTS OVERHEAD ROLLING GRILLE MODEL AT-9 ALL HARDWARE PROVIDED BY MANUFACTURER: (1) MOTOR WITH KEYED ELECTRONIC OPERATING SWITCH AT INTERIOR AND EMERGENCY RELEASE PULL (1) LOCK W/ SFIC 7-PIN INSTAKEY CYLINDER AND STRIKE CENTERED AT OPENING
	NOTES	SEE STOREFRONT DETAILS A-400 SERIES - SUBMITTAL REQUIRED

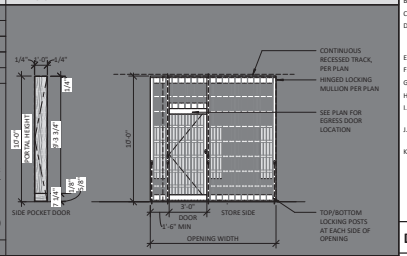
ELEVATIONS



STOREFRONT DOOR: SIDE-FOLDING GRILLE - SINGLE POCKET

SYMBOL	DOOR SPECIFICATIONS	
S2 S3	LOCATION	MALL COMMON AREA TO SALES AREA
	TYPE	SIDE FOLDING GRILLE WITH INTEGRATED EGRESS DOOR
	GLAZING	N/A
	FRAME MATL	ALUMINUM
	FRAME FINISH	CLEAR ANODIZED
	HARDWARE	(S2) GRILLE: ALUMATEC PACIFIC PRODUCTS, MODEL: PFS (PERFORATED PANELS) (CANADA MANUF: MOBIFLEX, MODEL: AEROFLEX) (1)LOCKING END POST W/ SFIC 7-PIN INTERCHANGEABLE KEYED CYLINDER ON EXTERIOR. MANUAL TOP & BOTTOM SHOOTBOLTS ON INTERIOR. ALL OTHER POSTS TO BE BLANK ON EXTERIOR WITH MANUAL TOP & BOTTOM SHOOTBOLTS ON INTERIOR (1) STANDARD HINGED LOCKING MULLION (GAP FLAP) BLACK ON EXTERIOR WITH MANUAL TOP & BOTTOM SHOOBOLTS ON INTERIOR. UNO (1) INTEGRATED 3'-0" EGRESS DOOR - OUT SWING WITH INTERMEDIATE POSTS EACH SIDE, BLANK ON EXTERIOR WITH MANUAL TOP &BOTTOM SHOOBOLTS ON INTERIOR FINAL POST QUANTITY AND LOCATION TBC WITH DOOR SUBMITTAL FOR REVIEW AND APPROVAL (S3) SIDE DOOR: CUSTOM SIDE POCKET DOOR BY GC - CONFIRM SIZE WITH VENDOR AT EACH DOOR PROVIDE CONCEALED HEAVY DUTY SOSS CABINET HINGES AND INVISIBLE PUSH-RELEASE LATCH, WITH BRUSHED CHROME CAM LOCK (NO INSTAKEY CYLINDER) FINISH DOOR WITH OAK VENEER TO MATCH PORTAL (SF21) SEE A-420 FOR DETAIL
	NOTES	SEE STOREFRONT DETAILS A-400 SERIES - SUBMITTAL REQUIRED FOR REVIEW AND APPROVAL

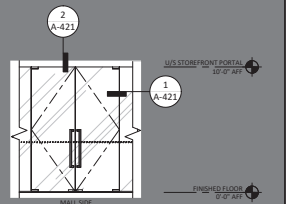
ELEVATIONS



STOREFRONT DOOR: SWING DOOR - INTERIOR

SYMBOL	DOOR SPECIFICATIONS	
S4	LOCATION	MALL COMMON AREA TO SALES AREA
	TYPE	STOREFRONT FRAMELESS DOORS (PAIR)
	MATERIAL	TEMPERED GLASS
	FINISH	SF-4
	GLAZING	PREMIUM CLARITY LOW IRON
	FRAME MATL	N/A
	FRAME FINISH	N/A
	HARDWARE (BY GC)	FITTINGS: (2) CR LAURENCE LOCKING PATCH FITTING KIT, MODEL PHA2LBS, FINISH: BRUSHED STAINLESS PIVOTS: (2) CENTER PIVOT SET CLOSER: (2) CR LAURENCE CONCEALED FLOOR CLOSER W/ TAPERED SPINDLE (105° BACK STOP - HOLD OPEN) COMPATIBLE W/ PATCH FITTINGS LOCKSET/CYLINDER: (2) SFIC 7-PIN INSTAKEY CYLINDER (AT EXTERIOR) (2) STANDARD THUMB TURNS (AT INTERIOR) (2) BRUSHED STAINLESS DUST PROOF STRIKES AT LOCKED POSITION ENSURE STRIKE LOCATION DOES NOT CONFLICT WITH CONCEALED EAS UNDER FLOORING
	HARDWARE (BY LLL-V)	PULLS: LLL-V CODE: DPO (2 PAIR) 36" BLACK PULLS STRONGAR - SH-PRO-316-OFR-B-36-1510 FOR GLASS DOORS (LULULEMON VENDOR TO FURNISH, GC TO INSTALL)
	NOTES	SEE STOREFRONT DETAILS A-400 SERIES, SEE ALSO GENERAL NOTE K

ELEVATIONS

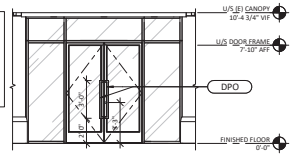


EXISTING STOREFRONT DOOR: BI-FOLD DOOR - EXTERIOR

SYMBOL	DOOR SPECIFICATIONS	
E1	LOCATION	EXTERIOR MALL AREA TO SALES AREA
	TYPE	EXISTING
	MATERIAL	EXISTING
	FINISH	EXISTING
	GLAZING	EXISTING
	FRAME MATL	EXISTING
	FRAME FINISH	EXISTING
	HARDWARE (BY GC)	PIVOTS: (2) x CENTER PIVOT SET LOCKSET: (1) ADAMS RITE DEADLOCK MS1850SN-45-0-335 WITH THUMBTURN AT INTERIOR (1) ADAMS RITE THRESHOLD BOLT 4015-18-IB (AT ACTIVE DOOR) (1) ADAMS RITE HEADER BOLT 4016-10-02 (AT ACTIVE DOOR) (1) ADAMS RITE FLUSH BOLT MS2180 (AT INACTIVE DOOR) CYLINDER: (1) BLACK SFIC 7-PIN INSTAKEY CYLINDER (AT EXTERIOR) CLOSER: CONCEALED OVERHEAD CLOSERS (105° BACK STOP - HOLD OPEN) SWEEPS: (2) BOTTOM DOOR RAIL SWEEPS THRESHOLD: STANDARD THRESHOLD AND WEATHER STRIPPING. VANDAL RESISTANT TRIM WITH INTEGRAL LATCH GUARD. ROCKWOOD VRT24 (BLACK FINISH) OR EQUAL
	HARDWARE (BY LLL-V)	PULLS: LLL-V CODE: DPO (2 PAIR) 36" BLACK PULLS STRONGAR - SH-PRO-316-OFR-B-36-1510 FOR METAL DOORS (LULULEMON VENDOR TO FURNISH, GC TO INSTALL)
	NOTES	SEE STOREFRONT DETAILS A-400 SERIES, SEE ALSO GENERAL NOTE K

ELEVATIONS

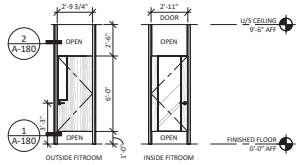
GC TO SITE VERIFY EXISTING HARDWARE AND REPLACE ANY MISSING OR DAMAGED HARDWARE WITH NEW AS REQUIRED. GC TO REPORT ANY ISSUES TO LLL PM IMMEDIATELY.



FITROOM DOOR (BY LLL-V): 35" SWING DOOR AT GWB FITROOMS - RIGHT HANDED

SYMBOL	DOOR SPECIFICATIONS	
	LOCATION	FITROOM
	TYPE	SOLID CORE WOOD DOOR (BY LLL-V), SEE FIXTURE SCHEDULE A-130 FR-DR-WD-35-RH
	MATERIAL	WOOD
	FINISH	NATURAL OAK (MATCH CONTROL SAMPLE)
	FRAME MATL	WOOD (BY LLL-V) - SIZED FOR 2 1/2" METAL STUD WALL BY GC
	FRAME FINISH	NATURAL OAK (MATCH CONTROL SAMPLE)
	HARDWARE (BY LLL-V)	FURNISHED BY LLL-V, INSTALLED BY GC: PIVOTS/HINGES: 1 1/2 PAIR SCHLAGE 1010-622, 3 1/2" x 3 1/2", MATTE BLACK PRIVACY LOCKSET/CYLINDER: PREP DOOR FOR LEVERSET BY GC DOOR STOP: RICHELIEU 221301278 HEAVY DUTY PIN STOP MARKER BOARD AND FRAME: BACK-PAINTED GLASS WITH BLACK METAL FRAME MIRROR FRAME: BLACK METAL FRAME FOR MIRROR BY LLL-V MIRROR GLASS: 1/4" TEMPERED MIRROR GLASS BY LLL-V
	HARDWARE (BY GC)	PRIVACY LOCKSET/CYLINDER: SCHLAGE LATITUDE LEVER IN MATTE BLACK (622), ALX40 SILENCERS: 3 x RICHELIEU 531211 CLEAR RUBBER BUMPER - 1/8"H
	NOTES	IN-SWING UNO, SEE FITROOM ENLARGED PLAN AND ELEVATIONS, A-310

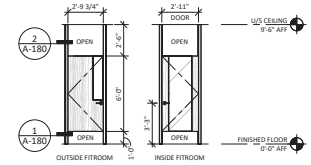
ELEVATIONS



FITROOM DOOR (BY LLL-V): 35" SWING DOOR AT GWB FITROOMS - LEFT HANDED

SYMBOL	DOOR SPECIFICATIONS	
	LOCATION	FITROOM
	TYPE	SOLID CORE WOOD DOOR (BY LLL-V), SEE FIXTURE SCHEDULE A-130 FR-DR-WD-35-LH
	MATERIAL	WOOD
	FINISH	NATURAL OAK (MATCH CONTROL SAMPLE)
	FRAME MATL	WOOD (BY LLL-V) - SIZED FOR 2 1/2" METAL STUD WALL BY GC
	FRAME FINISH	NATURAL OAK (MATCH CONTROL SAMPLE)
	HARDWARE (BY LLL-V)	FURNISHED BY LLL-V, INSTALLED BY GC: PIVOTS/HINGES: 1 1/2 PAIR SCHLAGE 1010-622, 3 1/2" x 3 1/2", MATTE BLACK PRIVACY LOCKSET/CYLINDER: PREP DOOR FOR LEVERSET BY GC DOOR STOP: RICHELIEU 221301278 HEAVY DUTY PIN STOP MARKER BOARD AND FRAME: BACK-PAINTED GLASS WITH BLACK METAL FRAME MIRROR FRAME: BLACK METAL FRAME FOR MIRROR BY LLL-V MIRROR GLASS: 1/4" TEMPERED MIRROR GLASS BY LLL-V
	HARDWARE (BY GC)	PRIVACY LOCKSET/CYLINDER: SCHLAGE LATITUDE LEVER IN MATTE BLACK (622), ALX40 SILENCERS: 3 x RICHELIEU 531211 CLEAR RUBBER BUMPER - 1/8"H
	NOTES	IN-SWING UNO, SEE FITROOM ENLARGED PLAN AND ELEVATIONS, A-310

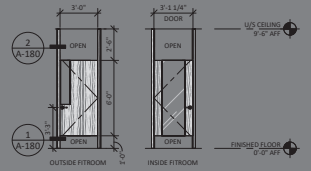
ELEVATIONS



FITROOM DOOR (BY LLL-V): 37 1/4" SWING DOOR AT ADA GWB FITROOMS (CANADA) - RIGHT HANDED

SYMBOL	DOOR SPECIFICATIONS	
	LOCATION	FITROOM
	TYPE	SOLID CORE WOOD DOOR (BY LLL-V), SEE FIXTURE SCHEDULE A-130 FR-DR-WD-37-RH
	MATERIAL	WOOD
	FINISH	NATURAL OAK (MATCH CONTROL SAMPLE)
	FRAME MATL	WOOD (BY LLL-V) - SIZED FOR 2 1/2" METAL STUD WALL BY GC
	FRAME FINISH	NATURAL OAK (MATCH CONTROL SAMPLE)
	HARDWARE (BY LLL-V)	FURNISHED BY LLL-V, INSTALLED BY GC: PIVOTS/HINGES: 1 1/2 PAIR SCHLAGE 1010-622, 3 1/2" x 3 1/2", MATTE BLACK PRIVACY LOCKSET/CYLINDER: PREP DOOR FOR LEVERSET BY GC DOOR STOP: RICHELIEU 221301278 HEAVY DUTY PIN STOP MARKER BOARD AND FRAME: BACK-PAINTED GLASS WITH BLACK METAL FRAME MIRROR FRAME: BLACK METAL FRAME FOR MIRROR BY LLL-V MIRROR GLASS: 1/4" TEMPERED MIRROR GLASS BY LLL-V
	HARDWARE (BY GC)	PRIVACY LOCKSET/CYLINDER: SCHLAGE LATITUDE LEVER IN MATTE BLACK (622), ALX40 SILENCERS: 3 x RICHELIEU 531211 CLEAR RUBBER BUMPER - 1/8"H
	NOTES	IN-SWING UNO, SEE FITROOM ENLARGED PLAN AND ELEVATIONS, A-310

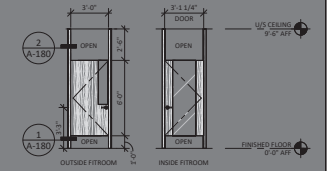
ELEVATIONS



FITROOM DOOR (BY LLL-V): 37 1/4" SWING DOOR AT ADA GWB FITROOMS (CANADA) - LEFT HANDED

SYMBOL	DOOR SPECIFICATIONS	
	LOCATION	FITROOM
	TYPE	SOLID CORE WOOD DOOR (BY LLL-V), SEE FIXTURE SCHEDULE A-130 FR-DR-WD-37-LH
	MATERIAL	WOOD
	FINISH	NATURAL OAK (MATCH CONTROL SAMPLE)
	FRAME MATL	WOOD (BY LLL-V) - SIZED FOR 2 1/2" METAL STUD WALL BY GC
	FRAME FINISH	NATURAL OAK (MATCH CONTROL SAMPLE)
	HARDWARE (BY LLL-V)	FURNISHED BY LLL-V, INSTALLED BY GC: PIVOTS/HINGES: 1 1/2 PAIR SCHLAGE 1010-622, 3 1/2" x 3 1/2", MATTE BLACK PRIVACY LOCKSET/CYLINDER: PREP DOOR FOR LEVERSET BY GC DOOR STOP: RICHELIEU 221301278 HEAVY DUTY PIN STOP MARKER BOARD AND FRAME: BACK-PAINTED GLASS WITH BLACK METAL FRAME MIRROR FRAME: BLACK METAL FRAME FOR MIRROR BY LLL-V MIRROR GLASS: 1/4" TEMPERED MIRROR GLASS BY LLL-V
	HARDWARE (BY GC)	PRIVACY LOCKSET/CYLINDER: SCHLAGE LATITUDE LEVER IN MATTE BLACK (622), ALX40 SILENCERS: 3 x RICHELIEU 531211 CLEAR RUBBER BUMPER - 1/8"H
	NOTES	IN-SWING UNO, SEE FITROOM ENLARGED PLAN AND ELEVATIONS, A-310

ELEVATIONS



GENERAL NOTES

A. ALL DOOR HARDWARE, INCLUDING LOCKS AND KEYING IS TO BE STANLEY/ BEST UNO - WITHOUT SUBSTITUTIONS
B. ALL WITHIN EACH STORE ARE KEYED ALIKE UNDER INSTAKEY SYSTEM
C. EACH STORE IS ISSUED 10 SERIALIZED PREMIUM KEYS
D. THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 1/2" IN HEIGHT. RAISED THRESHOLDS AT DOORWAYS SHALL BE BEVELED WITH A SLOPE NOT GREATER THAN ONE UNIT VERTICAL IN TWO UNITS HORIZONTAL (50%) SLOPE
E. NEW PAINTED WOOD DOORS ARE TO BE PAINT GRADE
F. IF EXISTING DOORS ARE IN GOOD CONDITION REFINISH AND REUSE
G. ALL "INSTAKEY" AND KEYS ARE FURNISHED BY LLL AND INSTALLED BY GC
H. REFER TO FITROOM PLANS AND ELEVATIONS SHEET A-310 FOR FITROOM DOOR DETAILS
I. REFER TO FINISH SCHEDULE ON SHEET A-120 FOR SPECIFICATION, PROCUREMENT AND INSTALLATION RESPONSIBILITY FOR ALL FINISH MATERIALS
J. REFER TO FIXTURE SCHEDULE ON SHEET A-130 FOR SPECIFICATION, PROCUREMENT AND INSTALLATION RESPONSIBILITY FOR ALL FIXTURE ELEMENTS
K. COORDINATE S4 AND S5 DOOR PULL INSTALLATION TEMPLATE AND INSTRUCTIONS WITH LULULEMON VENDOR. DOOR PULLS COME WITH CUSTOM ETCHED NOTES FOR INTERIOR AND EXTERIOR SIDES

DOOR SERIES

S1-S5	STOREFRONT DOOR; SEE SHEET A-410
D2	SALES TO STOCK ROOM DOOR
D3	SALES TO BOH FRAMELESS BLIND DOOR
D4	SALES TO BOH RESTROOM DOOR
D5	MOP CLOSET DOOR
D6	STAFF ROOM DOOR
D7	OFFICE ROOM DOOR
D8	NETWORK CLOSET DOOR
D9	EGRESS DOOR
D10	SALES BLIND DOOR/ACCESS PANEL
OTHER	LLL-V FITROOM DOOR (SEE A-130 FOR FIXTURE SCHEDULE AND A-310)

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06/16/2025	ISSUED FOR DD REVIEW
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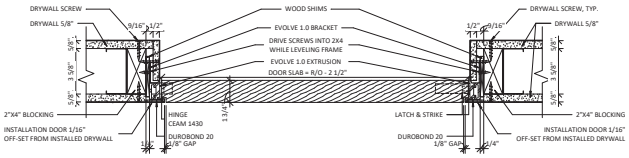
08/25/2025	ISSUED FOR PERMIT & BID

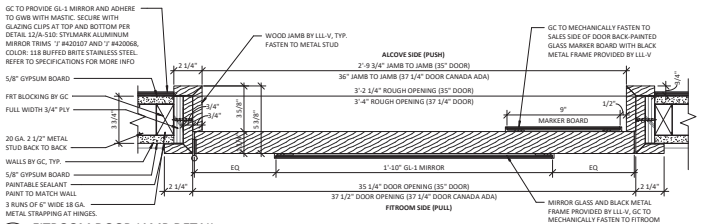
DRAWING INFORMATION
PROJECT #: 2412106
CHECKED BY: DM
DRAWN BY: VK

DOOR SCHEDULE & DETAILS

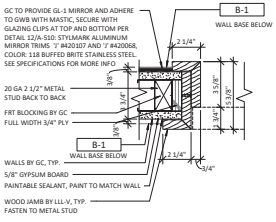
DRAWING NUMBER
A-180



3 BOH FRAMELESS BLIND DOOR JAMB DETAIL - D3
SCALE: 3" = 1'-0"



2 FITROOM DOOR JAMB DETAIL
SCALE: 3" = 1'-0"



1 FITROOM DOOR JAMB @ BASE
SCALE: 3" = 1'-0"

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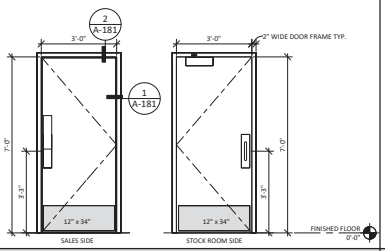
DOOR SCHEDULE

SALES TO STOCK ROOM DOOR

SYMBOL	DOOR SPECIFICATIONS	
D2	LOCATION	SALES AREA TO STOCK ROOM
	TYPE	HOLLOW METAL DOOR
	MATERIAL	METAL
	FINISH	P-3
	FRAME MATL	METAL - 16 GAUGE FOR HIGH TRAFFIC (STANDARD 3-PIECE KNOCK-DOWN)
	FRAME FINISH	P-3
	HARDWARE	PIVOTS/HINGES: (1 1/2) PAIR HAGER BB1279 4 1/2" x 4 1/2", L1 FLAT BLACK PULL/PUSH: (1) SET ROCKWOOD 110 X 73C/73CL BSP KICK PLATE: (1) IVES 12"x34" 8400 BLK (1) IVES 24"x34" 8400 BLK CLOSER: (1) YALE 4400-1-0-M-BSP NOTE: CLOSER SHOULD ALWAYS BE ATTACHED TO THE DOOR AT THE TOP JAMB ON THE SIDE FACING THE STOCK ROOM - USE STANDARD ARM. EMERGENCY LOCK*: (1) NIGHTLOCK.COM: LOCKDOWN 1 WITH LOW PROFILE FLOOR PLATE DOOR STOP: (1) ROCKWOOD 400 BSP (WALL MOUNTED) DOOR HOLD-OPEN: (1) ROCKWOOD 461-BSP SILENCERS: (3) HAGER - 307D SIGNAGE: (1) MYDOORSIGN 2"x6" (DP-0018) 'DIAMOND PLATE BLACK AND SILVER OR APPROVED EQUAL INSTALL 'EMPLOYEES ONLY' SIGN AT SALES/HALLWAY SIDE OF DOOR
	NOTES	

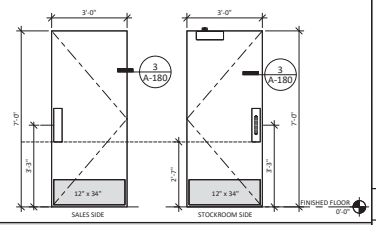
ELEVATIONS



SALES TO BOH - FRAMELESS BLIND DOOR

SYMBOL	DOOR SPECIFICATIONS	
D3	LOCATION	SALES AREA TO BOH - FRAMELESS BLIND DOOR
	TYPE	SOLID CORE WOOD DOOR
	MATERIAL	WOOD WITH 3 SIDE RABBET ON SALES SIDE
	FINISH	P-3 OR P-4 OR WC-5
	FRAME MATL	WWW.FLUSHDOORFRAME.COM
	FRAME FINISH	NO FRAME
	HARDWARE	PIVOTS/HINGES: (1) INSWING FRAMELESS DOOR. SWING DIRECTION PER PLAN. SYSTEM COMES COMPLETE WITH JAMB/FRAME AND SOSS HINGES. DOOR SLAB BY GC. NOTE: IF DOOR PART OF WC-5 WALL FINISH, REQUEST DOOR SLAB TO BE SUPPLIED BY WAM. SEE DETAIL ON SHEET A-180. KICK PLATE: (2) IVES 12"x34" 8400 US32D SATIN STAINLESS STEEL CLOSER: (1) YALE 4400-1-0-M-WSP NOTE: CLOSER SHOULD ALWAYS BE ATTACHED TO THE DOOR AT THE TOP JAMB ON THE SIDE FACING THE RESTROOM DOOR STOP: (1) ROCKWOOD 400 BSP (WALL MOUNTED) SILENCERS: (3) HAGER - 307D SIGNAGE: (1) MYDOORSIGN 2"x6" (DP-0018) 'DIAMOND PLATE BLACK AND SILVER OR APPROVED EQUAL INSTALL 'EMPLOYEES ONLY' SIGN AT SALES/HALLWAY SIDE OF DOOR
	NOTES	PROVIDE TACTILE ROOM SIGNAGE PER LOCAL CODE: BLACK WITH WHITE LETTERS

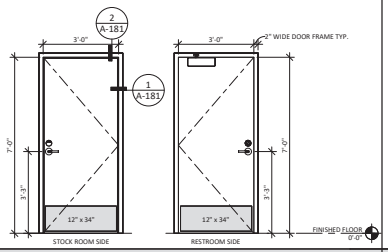
ELEVATIONS



STOCK ROOM TO RESTROOM

SYMBOL	DOOR SPECIFICATIONS	
D4	LOCATION	RESTROOM
	TYPE	SOLID CORE WOOD DOOR
	MATERIAL	WOOD
	FINISH	P-3
	FRAME MATL	METAL - 18 GAUGE FOR REGULAR TRAFFIC (STANDARD 3-PIECE KNOCK-DOWN)
	FRAME FINISH	P-3
	HARDWARE	PIVOTS/HINGES: (1 1/2) PAIR HAGER BB1279 4 1/2" x 4 1/2", L1 FLAT BLACK PRIVACY LEVER: (1) SCHLAGE LATITUDE LEVERSET IN MATTE BLACK(622), L9040 PRIVACY SET WITH ADA THUMBTURN 09-509 X L583-363 AT INTERIOR. SECTIONAL INDICATOR L283 'VACANT/OCCUPIED' WITH EMERGENCY BUTTOM KS10-330 AT EXTERIOR (BLACK 622). NOTE: IF LEAD TIME ISSUE, SATIN CHROME IS ACCEPTABLE KICK PLATE: (2) IVES 12X34 8400 BLK CLOSER: (1) YALE 4400-1-0-M-BSP NOTE: CLOSER SHOULD ALWAYS BE ATTACHED TO THE DOOR AT THE TOP JAMB ON THE SIDE FACING THE RESTROOM - USE STANDARD ARM. DOOR STOP: (1) ROCKWOOD 441H BSP (FLOOR MOUNTED) SILENCERS: (3) HAGER - 307D THRESHOLD: (1) TRANS-1: 2"W WHITE CARRARA MARBLE SEE DETAIL 3/A-S30
	NOTES	PROVIDE TACTILE ROOM SIGNAGE PER LOCAL CODE: BLACK WITH WHITE LETTERS

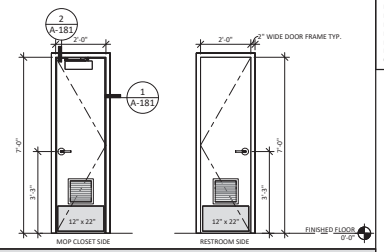
ELEVATIONS



MOP CLOSET DOOR

SYMBOL	DOOR SPECIFICATIONS	
D5	LOCATION	MOP CLOSET
	TYPE	HOLLOW METAL DOOR
	MATERIAL	METAL
	FINISH	P-3
	FRAME MATL	METAL - 18 GAUGE FOR REGULAR TRAFFIC (STANDARD 3-PIECE KNOCK-DOWN)
	FRAME FINISH	P-3
	HARDWARE	PIVOTS/HINGES: (1 1/2) PAIR x HAGER BB1279 4 1/2 X 4 1/2, L1 FLAT BLACK LEVER/LOCKSET/CYLINDER: SCHLAGE LATITUDE LEVER IN MATTE BLACK(622), ALX80B STOREROOM LOCK WITH BLACK SFIC 7-PIN INSTAKEY CYLINDER KICKPLATE: (2) IVES 12"x22" 8400 BLK DOOR STOP: (1) ROCKWOOD 441H BSP (FLOOR MOUNTED) SILENCERS: (3) x HAGER - 307D GRILLE: 12X12 TITUS CT-700
	NOTES	

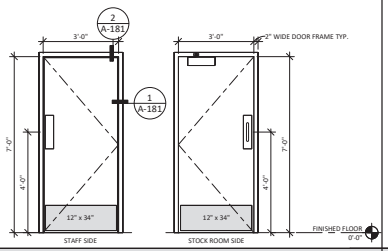
ELEVATIONS



STAFF ROOM DOOR

SYMBOL	DOOR SPECIFICATIONS	
D6	LOCATION	ENTRY TO STAFF ROOM
	TYPE	SOLID CORE WOOD DOOR
	MATERIAL	WOOD
	FINISH	P-3
	FRAME MATL	METAL - 18 GAUGE FOR REGULAR TRAFFIC (STANDARD 3-PIECE KNOCK-DOWN)
	FRAME FINISH	P-3
	HARDWARE	PIVOTS/HINGES: 1 1/2 PAIR x HAGER BB1279 4 1/2" x 4 1/2", L1 FLAT BLACK PULL/PUSH: 1 SET x ROCKWOOD 110 x 73C/73CL BSP KICKPLATE: 2 x IVES 12"x34" 8400 BLK CLOSER: 1 x YALE 4400-1-0-M-BSP NOTE: CLOSER SHOULD ALWAYS BE ATTACHED TO THE DOOR AT THE TOP JAMB ON THE PULL SIDE - USE STANDARD ARM. DOOR STOP: 1 x ROCKWOOD 400 BSP (WALL MOUNTED) 2 x ROCKWOOD US26D SATIN CHROME (LOCATE ON WALL ADJACENT TO REFRIGERATOR AT POINT OF CONTACT OF DOOR HANDLES.) SILENCERS: 3 x HAGER - 307D
	NOTES	

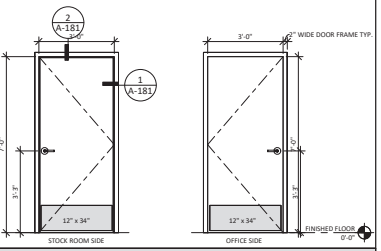
ELEVATIONS



OFFICE ROOM DOOR

SYMBOL	DOOR SPECIFICATIONS	
D7	LOCATION	ENTRY TO OFFICE
	TYPE	SOLID CORE WOOD DOOR
	MATERIAL	WOOD
	FINISH	P-3
	FRAME MATL	METAL - 18 GAUGE FOR REGULAR TRAFFIC (STANDARD 3-PIECE KNOCK-DOWN)
	FRAME FINISH	P-3
	HARDWARE	PIVOTS/HINGES: (1 1/2) PAIR x HAGER BB1279 4 1/2" x 4 1/2", L1 FLAT BLACK LEVER/LOCKSET/ CYLINDER: SCHLAGE LATITUDE LEVER IN MATTE BLACK(622), ALX50B OFFICE LOCK WITH BLACK SFIC 7-PIN INSTAKEY CYLINDER DOOR STOP: (1) ROCKWOOD 400 BSP (WALL MOUNTED) SILENCERS: (3) HAGER - 307D KICKPLATE: (2) IVES 12X34 8400 BLK
	NOTES	

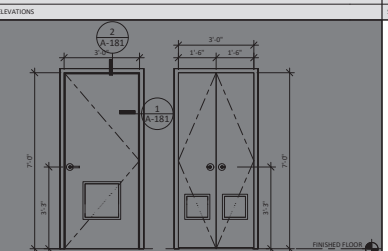
ELEVATIONS



NETWORK CLOSET DOOR

SYMBOL	DOOR SPECIFICATIONS	
D8A D8B	LOCATION	ENTRY TO NETWORK CLOSET
	TYPE	SOLID CORE WOOD DOOR/ PAIR
	MATERIAL	WOOD
	FINISH	P-3
	FRAME MATL	METAL - 18 GAUGE FOR REGULAR TRAFFIC (STANDARD 3-PIECE KNOCK-DOWN)
	FRAME FINISH	P-3
	HARDWARE	DBA: PIVOTS/HINGES: 1 1/2 PAIR x HAGER BB1279 4 1/2" x 4 1/2", L1 FLAT BLACK LEVER/LOCKSET/CYLINDER: SCHLAGE LATITUDE LEVER IN MATTE BLACK(622), ALX80B STOREROOM LOCK WITH BLACK SFIC 7-PIN INSTAKEY CYLINDER DOOR STOP: 1 x ROCKWOOD 400 BSP (WALL MOUNTED) SILENCERS: 3 x HAGER - 307D GRILLE: 18X18 TITUS CT-700 DBB: PIVOTS/HINGES: 3 PAIR HAGER BB1279 4 1/2 X 4 1/2, L1 FLAT BLACK LEVER/LOCKSET/CYLINDER: SCHLAGE LATITUDE LEVER IN MATTE BLACK(622), ALX80B STOREROOM LOCK WITH BLACK SFIC 7-PIN INSTAKEY CYLINDER DOOR STOP: 1 X ROCKWOOD 400 BSP (WALL MOUNTED) GRILLE: 2 x 12X12 TITUS CT-700
	NOTES	

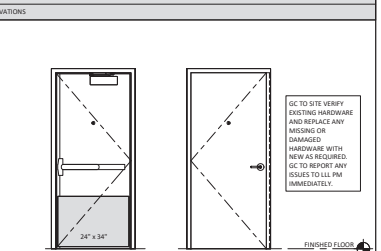
ELEVATIONS



EGRESS DOOR

SYMBOL	DOOR SPECIFICATIONS	
D9	LOCATION	EGRESS
	TYPE	HOLLOW METAL DOOR
	MATERIAL	METAL
	FINISH	P-3
	FRAME MATL	METAL - 16 GAUGE FOR HIGH TRAFFIC (STANDARD 3-PIECE KNOCK-DOWN)
	FRAME FINISH	P-3
	HARDWARE	PIVOTS/HINGES: 1 1/2 PAIR x HAGER BB1279 4 1/2 X 4 1/2, L1 FLAT BLACK CLOSER: 1 x YALE PA-4400-D-0-M-BSP (PARALLEL ARM, NON-HOLD OPEN) NOTE: CLOSER SHOULD ALWAYS BE ATTACHED TO THE TOP JAMB AT THE PUSH SIDE - USE PARALLEL ARM. KICKPLATE: 1 x IVES 24"x34" 8402 BLK PANIC BAR: DETEX V40XEB PANIC BAR W/ INTEGRATED ALARM BYPASS AND SFIC 7-PIN INSTAKEY CYLINDER PEEP HOLE: 1 x PHS SUPERVISION 45M3132 (MOUNTED AT 5'-0" A.F.F.) DOOR ALARM: DETEX V40XEB PANIC BAR W/ INTEGRATED ALARM BYPASS DOOR STOP: 1 x ROCKWOOD 400 BSP (WALL MOUNTED) DOOR HOLD-OPEN: ROCKWOOD 461-BSP (DO NOT INSTALL AT FIRE-RATED WALL) SILENCERS: 3 x HAGER - 307D FIRE/SMOKE SEAL: PEMKO PK33BL, COLOR: BLACK DOOR SHOE: PEMKO 216AV, MILL FINISH ALUMINUM (AT EXTERIOR / FIRE RATED ONLY) THRESHOLD: PEMKO 252X3AFG, MILL FIN ALUM, THERMAL BARRIER SADDLE (AT EXT) PEMKO 270, MILL FIN ALUM, SADDLE (AT INT NO FLOOR LEVEL CHANGE) PEMKO 229, MILL FIN ALUM, SADDLE (AT INT W/ FLOOR LVL CHANGE) SECURITY ASTRAGAL PEMKO 3572 OR EQUAL 10 GA #4 STAINLESS STEEL
	NOTES	

ELEVATIONS

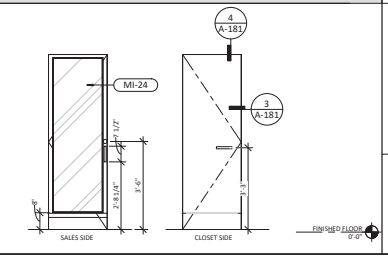


GC TO SITE VERIFY EXISTING HARDWARE AND REPLACE ANY MISSING OR DAMAGED HARDWARE WITH NEW AS REQUIRED. GC TO REPORT ANY ISSUES TO LLL PM IMMEDIATELY.

SALES - BLIND DOOR/ACCESS PANEL

SYMBOL	DOOR SPECIFICATIONS	
D10	LOCATION	SALES AREA TO STOREFRONT CLOSET
	TYPE	SOLID CORE WOOD DOOR
	MATERIAL	WOOD
	FINISH	P-4
	FRAME MATL	METAL - 18 GAUGE EZYJAMB CLASSIC ADJUST OUT-SWING DOOR FRAME
	FRAME FINISH	P-4 *MATCH ADJACENT FINISH*
	HARDWARE	CONCEALED HINGES: ROKYORK RY80, SATIN CHROME FINISH LEVER/LOCKSET/CYLINDER: 1 x SCHLAGE LATITUDE MORTISE LOCK WITH LEVER IN MATTE BLACK (622), L9026B EXIT LOCK WITH CYLINDER BLACK SFIC 7-PIN INSTAKEY CYLINDER, INSTALL WITH LEVER INSIDE - ALWAYS FREE FOR IMMEDIATE EGRESS PULL: 1 x HAFELE CONCEALED MOUNT PULL IN BLACK 902.00.703 CUSTOM FINISH: POWDER COAT TO MATCH P-S PUSH PLATE: 1 ROCKWOOD 73C BSP CLOSER: ROCYORK RVCS6950 (NOTE: CLOSER SHOULD ALWAYS BE ATTACHED TO THE DOOR ON THE PUSH/CLOSET SIDE AND ARM SHOULD BE ATTACHED TO THE TOP JAMB) DOOR STOP: 1 x ROCKWOOD 400 BSP (WALL MOUNTED) DOOR HOLD-OPEN: 1 x ROCKWOOD 461-BSP SILENCERS: 3 x HAGER - 307D
	NOTES	MIRROR FINISH ON SALES AREA SIDE

ELEVATIONS



*INSPECTOR NOTE:

EMERGENCY LOCKDOWN DEVICE:
NIGHTLOCK.COM: LOCKDOWN 1 WITH LOW PROFILE FLOOR PLATE

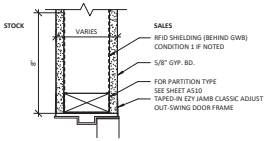
THIS DEVICE REQUIRES A STAFF MEMBER TO REMOVE IT FROM THE CASE AND MANUALLY ENGAGE IT INTO FLOOR. STAFF ARE TRAINED TO USE THIS DEVICE SPECIFICALLY AND ONLY DURING EMERGENCY "ACTIVE SHOOTER" EVENT.
FOR MORE INFORMATION PLEASE REFERENCE:
WWW.NIGHTLOCK.COM

GENERAL NOTES

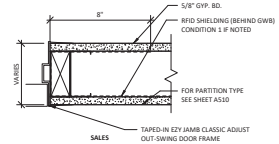
A. ALL DOOR HARDWARE, INCLUDING LOCKS AND KEYING IS TO BE STANLEY/ BEST UNO - WITHOUT SUBSTITUTIONS
B. ALL WITHIN EACH STORE ARE KEYED ALIKE UNDER INSTAKEY SYSTEM
C. EACH STORE IS ISSUED 10 SERIALIZED PREMIUM KEYS
D. THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 1/2" IN HEIGHT. RAISED THRESHOLDS AT DOORWAYS SHALL BE BEVELED WITH A SLOPE NOT GREATER THAN ONE UNIT VERTICAL IN TWO UNITS HORIZONTAL (50%) SLOPE
E. NEW PAINTED WOOD DOORS ARE TO BE PAINT GRADE
F. IF EXISTING DOORS ARE IN GOOD CONDITION REFINISH AND REUSE
G. ALL "INSTAKEY" AND KEYS ARE FURNISHED BY LLL AND INSTALLED BY GC
H. REFER TO FITROOM PLANS AND ELEVATIONS SHEET A-310 FOR FITROOM DOOR DETAILS
I. REFER TO FINISH SCHEDULE ON SHEET A-120 FOR SPECIFICATION, PROCUREMENT AND INSTALLATION RESPONSIBILITY FOR ALL FINISH MATERIALS
J. REFER TO FIXTURE SCHEDULE ON SHEET A-130 FOR SPECIFICATION, PROCUREMENT AND INSTALLATION RESPONSIBILITY FOR ALL FIXTURE ELEMENTS
K. COORDINATE S4 AND S5 DOOR PULL INSTALLATION TEMPLATE AND INSTRUCTIONS WITH LULULEMON VENDOR. DOOR PULLS COME WITH CUSTOM ETCHED NOTES FOR INTERIOR AND EXTERIOR SIDES

DOOR SERIES

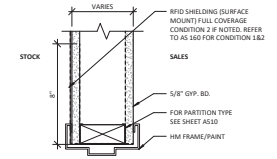
S1-S5	STOREFRONT DOOR; SEE SHEET A-410
D2	SALES TO STOCK ROOM DOOR
D3	SALES TO BOH FRAMELESS BLIND DOOR
D4	SALES TO BOH RESTROOM DOOR
D5	MOP CLOSET DOOR
D6	STAFF ROOM DOOR
D7	OFFICE ROOM DOOR
D8	NETWORK CLOSET DOOR
D9	EGRESS DOOR
D10	SALES BLIND DOOR/ACCESS PANEL
OTHER	LLL-V FITROOM DOOR (SEE A-130 FOR FIXTURE SCHEDULE AND A-310)



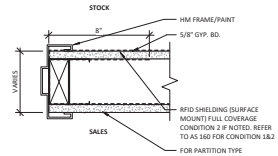
4 DOOR HEAD DETAIL - D10
SCALE: 3" = 1'-0"



3 DOOR JAMB DETAIL - D10
SCALE: 3" = 1'-0"



2 DOOR HEAD DETAIL - RFID COND. 1
SCALE: 3" = 1'-0"



1 DOOR JAMB DETAIL - RFID COND. 1
SCALE: 3" = 1'-0"

lululemon
1818 CORNWALL AVE.
VANCOUVER, B.C., V6J1C7

SUMMIT FAIR MALL
910 NW BLUE PKWY,
SUITE G, LEE'S SUMMIT
MO 64086

ARCHITECT
JOEL C. TORIELLI
422 BOGERT AVENUE
RIDGEWOOD, NJ 07450

MEP ENGINEER

STRUCTURAL ENGINEER

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SEAL
LICENSED NAME, ARCHITECT

ISSUED FOR PERMIT & BID

08/25/2025

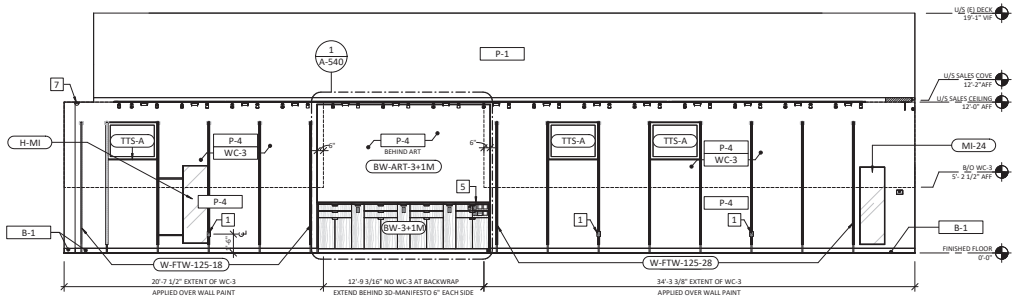
DATE	DESCRIPTION
06/16/2025	ISSUED FOR DD REVIEW
08/05/2025	ISSUED FOR CD REVIEW
08/25/2025	ISSUED FOR PERMIT & BID

DRAWING INFORMATION
PROJECT #: 2412106
CHECKED BY: DM
DRAWN BY: VK

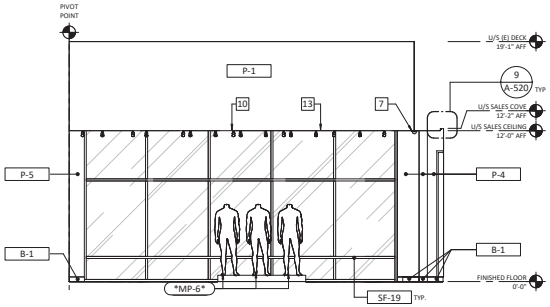
DOOR SCHEDULE & DETAILS

DRAWING NUMBER
A-181

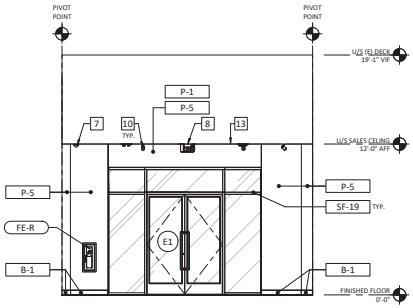
2025-08-25 8:53:25 PM



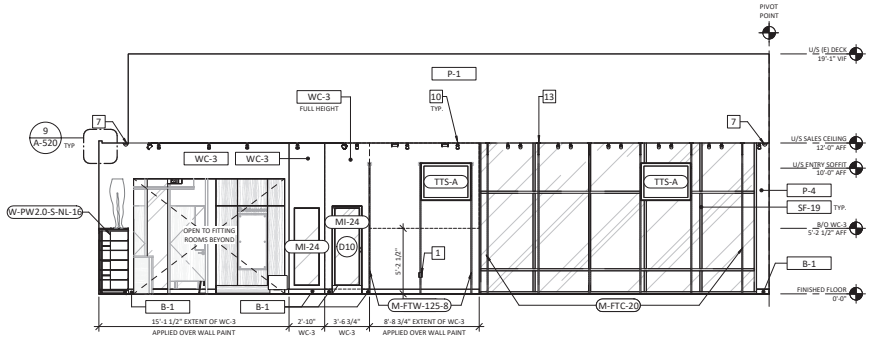
1F SALES AREA
SCALE: 1/4" = 1'-0"



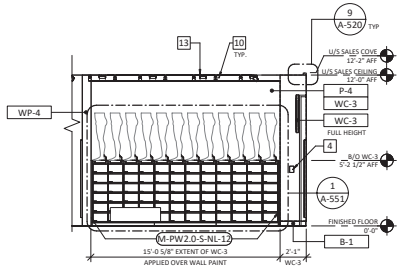
1E SALES AREA
SCALE: 1/4" = 1'-0"



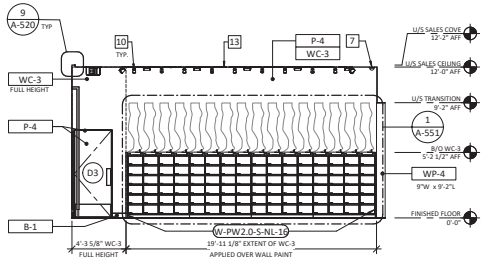
1D SALES AREA
SCALE: 1/4" = 1'-0"



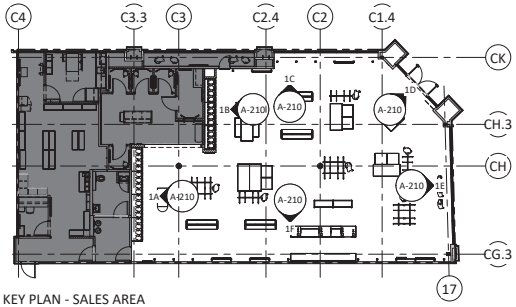
1C SALES AREA
SCALE: 1/4" = 1'-0"



1B SALES AREA
SCALE: 1/4" = 1'-0"



1A SALES AREA
SCALE: 1/4" = 1'-0"



1 KEY PLAN - SALES AREA
SCALE: 3/32" = 1'-0"

GENERAL NOTES

A. SEE SHEET A-131 FIXUTRE PLAN FOR SPACING AND EXACT LOCATIONS OF ALL WALL FIXTURES. ALL QUANTITIES SHOULD BE VERIFIED BY LULULEMON VENDOR. PRIOR TO ORDERING AND INSTALLATION. GC TO CHECK ALL QUANTITIES OF MILLWORK UPON DELIVERY.

B. PAINT FINISH BY GC - SEE SHEET A-120 FINISH SCHEDULE FOR PAINT SPECIFICATION. VERIFY ALL PAINT COLOR LOCATIONS ON SHEET A-121 FINISH PLAN. NOTIFY LULULEMON CONSTRUCTION MANAGER OF ANY CONFLICTS BEFORE PROCEEDING WITH PAINTING. PAINT ALL EXPOSED LULULEMON VENDOR PROVIDED FITROOM PANELS THAT ARE NOT OAK FINISH.

C. SEE SHEET A-150 REFLECTED CEILING PLAN FOR LIGHT FIXTURE LOCATIONS AND SHEET E-121 LIGHT FIXTURE SCHEDULE FOR SPECIFICATIONS.

D. ALL WOODWORK ATTACHED TO THE PREMISES, BLOCKING, GROUNDS, ETC. SHALL BE FIRE RETARDANT AND COMPLY WITH THE LANDLORD'S AND BUILDING CODE REQUIREMENTS GOVERNING FIREPROOFING.

E. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE AND NOTIFY LULULEMON CONSTRUCTION MANAGER AS TO ANY DISCREPANCIES IMMEDIATELY.

F. ALL MILLWORK HARDWARE TO BE FURNISHED BY LULULEMON VENDOR AND INSTALLED BY GC, UNO.

G. ALL MILLWORK IS TO BE HANDLED UNDER SEPARATE CONTRACT BY LULULEMON UNO. GC TO COORDINATE SCHEDULING WITH LULULEMON VENDOR. SEE SHEET A-010 RESPONSIBILITY SCHEDULE.

H. ALL MIRROR GLASS TO BE FURNISHED BY GC, UNO, AND INSTALLED WITH ADHESIVE. GC TO USE TOP CLIPS (STAINLESS) AT ALL FRAMELESS INSTALLATIONS INCLUDING OVER LULULEMON VENDOR PROVIDED FITROOM PANELS.

I. SEE LULULEMON VENDOR PROVIDED CUT SHEETS FOR ALL FIXTURE FINISHES.

J. SEE SHEET A-120 FINISH SCHEDULE FOR SPECIFICATION, PROCUREMENT, AND INSTALLATION RESPONSIBILITY FOR ALL FINISH MATERIALS.

K. SEE SHEET A-130 FIXTURE SCHEDULE FOR SPECIFICATION, PROCUREMENT, AND INSTALLATION RESPONSIBILITY FOR ALL FIXTURE ELEMENTS.

KEYNOTES

#	KEYNOTE SYMBOL — NOT USED
1	POWER OUTLETS CENTERED BEHIND OUTRIGGER 18"AFF
2	CONVENIENCE POWER OUTLETS 18"AFF
3	POWER OUTLETS FOR BACKLIT PANT WAL, SEE SHEET A-551 FOR DETAILS AND COORDINATE WITH LLL-V SHOP DWGS 72"AFF
4	TEMPERATURE & CO2 SENSORS AT 54"AFF. SEE ELECTRICAL DWGS
5	POWER AND DATA OUTLETS IN BACKWRAP MILLWORK, SEE ELECTRICAL DWGS AND SHEET A-540 BACKWRAP DETAILS FOR MORE INFORMATION
6	POWER AND DATA OUTLETS FOR VIDEO WALL, SEE ELECTRICAL DWGS AND SHEET A-540 BACKWRAP DETAILS FOR MORE INFORMATION
7	SECURITY CAMERA MOUNTED TO CEILING OR SUSPENDED AT 12'-0" AFF, SEE SHEET A-170 FOR SCHEDULE AND PLACEMENT
8	TRAFFIC COUNTER, SEE SHEET A-170 FOR PLACEMENT
9	SPEAKER SUSPENDED AT 14'-0" AFF, SEE SHEET A-170 FOR SCHEDULE AND PLACEMENT
10	TRACK LIGHTS, SEE A-150 FOR LIGHTING SCHEDULE AND LAYOUT
11	NOT USED
12	GC TO PROVIDE SQUARE CORNER TAPE-IN ACCESS PANEL, SEE SHEET AS-140 FOR SPECIFICATION, FINISH TO MATCH ADJACENT WALL. SIZE AS SHOWN.
13	PAINT LINE AT 12'-0" AFF
14	WALL MOUNTED ACCESSIBILITY SIGNAGE, SEE DETAIL 2/A-030 FOR MORE INFORMATION.
15	WALL MOUNTED EXIT OR EXIT ROUTE SIGNAGE, SEE DETAIL 2/A-030 FOR MORE INFORMATION.
16	GC TO CUT DOWN CORNER WALL BASE AT CORNER PANT WALL TO ALIGN WITH RECESSED KICK ON PANT WALL FIXTURE AS REQUIRED.
17	FIRE ALARM PULL STATION AT 48"AFF MAX, SEE APPROVED VENDOR DRAWINGS
18	FIRE ALARM DEVICE SUSPENDED FROM DECK, SEE APPROVED VENDOR DRAWINGS
19	WALL MOUNTED FIRE ALARM DEVICE AT 7'-6"AFF, SEE APPROVED VENDOR DRAWINGS
20	PROVIDE POWER FOR OVERHEAD GRILLE KEYED OPERATING SWITCH AND EMERGENCY RELEASE AT 48" MAX
21	RECESSED AMBASSADOR FRAME, SEE OWNER SUPPLIED FIXTURE DRAWINGS FOR NICHE SIZE. SEE DETAILS A-541.

lululemon
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MEP ENGINEER

STRUCTURAL ENGINEER

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SEAL
LICENSED NAME, ARCHITECT

ISSUED FOR PERMIT & BID

08/25/2025

DATE	DESCRIPTION
06/16/2025	ISSUED FOR DD REVIEW
08/05/2025	ISSUED FOR CD REVIEW
08/25/2025	ISSUED FOR PERMIT & BID

DRAWING INFORMATION
PROJECT #: 2412106
CHECKED BY: DM
DRAWN BY: CT

(STANDARD) INTERIOR ELEVATIONS - SALES AREA

DRAWING NUMBER
A-210

2025-08-25 8:53:35 PM

GENERAL NOTES

A. SEE SHEET A-131 FIXUTRE PLAN FOR SPACING AND EXACT LOCATIONS OF ALL WALL FIXTURES. ALL QUANTITIES SHOULD BE VERIFIED BY LULULEMON VENDOR. PRIOR TO ORDERING AND INSTALLATION. GC TO CHECK ALL QUANTITIES OF MILLWORK UPON DELIVERY.

B. PAINT FINISH BY GC - SEE SHEET A-120 FINISH SCHEDULE FOR PAINT SPECIFICATION. VERIFY ALL PAINT COLOR LOCATIONS ON SHEET A-121 FINISH PLAN. NOTIFY LULULEMON CONSTRUCTION MANAGER OF ANY CONFLICTS BEFORE PROCEEDING WITH PAINTING. PAINT ALL EXPOSED LULULEMON VENDOR PROVIDED FITROOM PANELS THAT ARE NOT OAK FINISH.

C. SEE SHEET A-150 REFLECTED CEILING PLAN FOR LIGHT FIXTURE LOCATIONS AND SHEET E-121 LIGHT FIXTURE SCHEDULE FOR SPECIFICATIONS.

D. ALL WOODWORK ATTACHED TO THE PREMISES, BLOCKING, GROUNDS, ETC. SHALL BE FIRE RETARDANT AND COMPLY WITH THE LANDLORD'S AND BUILDING CODE REQUIREMENTS GOVERNING FIREPROOFING.

E. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE AND NOTIFY LULULEMON CONSTRUCTION MANAGER AS TO ANY DISCREPANCIES IMMEDIATELY.

F. ALL MILLWORK HARDWARE TO BE FURNISHED BY LULULEMON VENDOR AND INSTALLED BY GC, UNO.

G. ALL MILLWORK IS TO BE HANDLED UNDER SEPARATE CONTRACT BY LULULEMON UNO. GC TO COORDINATE SCHEDULING WITH LULULEMON VENDOR. SEE SHEET A-010 RESPONSIBILITY SCHEDULE.

H. ALL MIRROR GLASS TO BE FURNISHED BY GC, UNO, AND INSTALLED WITH ADHESIVE. GC TO USE TOP CLIPS (STAINLESS) AT ALL FRAMELESS INSTALLATIONS INCLUDING OVER LULULEMON VENDOR PROVIDED FITROOM PANELS.

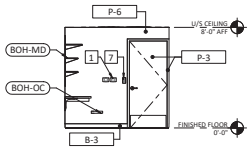
I. SEE LULULEMON VENDOR PROVIDED CUT SHEETS FOR ALL FIXTURE FINISHES.

J. SEE SHEET A-120 FINISH SCHEDULE FOR SPECIFICATION, PROCUREMENT, AND INSTALLATION RESPONSIBILITY FOR ALL FINISH MATERIALS.

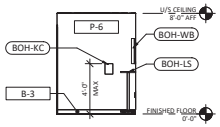
K. SEE SHEET A-130 FIXTURE SCHEDULE FOR SPECIFICATION, PROCUREMENT, AND INSTALLATION RESPONSIBILITY FOR ALL FIXTURE ELEMENTS.

KEYNOTES

#: KEYNOTE SYMBOL	■ - NOT USED
1	THERMOSTATS. SEE MECH DRAWING
2	CONVENIENCE OUTLET. SEE ELECTRICAL DRAWING
3	TEMPERATURE & CO2 SENSORS AT 54"AFF. SEE ELECTRICAL DRAWING
4	ELECTRICAL PANELS, SEE ELECTRICAL DRAWING
5	SECURITY CAMERA MOUNTED TO CEILING OR SUSPENDED AT 12'-0" AFF, SEE SHEET A-170 FOR SCHEDULE AND PLACEMENT
6	NOT USED
7	LIGHT SWITCH. SEE ELECTRICAL DRAWING
8	NOT USED
9	NOT USED
10	NOT USED
11	NOT USED
12	NOT USED
13	NOT USED
14	WALL MOUNTED ACCESSIBILITY SIGNAGE, SEE DETAIL 9/A-030 FOR MORE INFORMATION
15	WALL MOUNTED EXIT OR EXIT ROUTE SIGNAGE
16	NOT USED
17	FIRE ALARM PULL STATION AT 48"AFF MAX, SEE APPROVED VENDOR DWGS
18	FIRE ALARM STROBE LIGHT MOUNTED FROM DECK - SEE APPROVED VENDOR DWGS
19	WALL MOUNTED FIRE ALARM DEVICE AT 7'-6"AFF, SEE APPROVED VENDOR DWGS
20	FIRE ALARM CONTROL PANEL. SEE ELECTRICAL DRAWINGS
21	TRANSFORMER, SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION, SEE STRUCTURAL DRAWINGS FOR SUSPENSION/MOUNTING DETAILS
22	HVAC TRANSFER GRILLE. MOUNT MIN. 14" AFF. COLOR: FACTORY WHITE. IF EXPOSED ON SALES FLOOR, PAINT TO MATCH OPEN DECK. SEE MECH DRAWINGS FOR SPEC.
23	NOT USED



3D OFFICE
SCALE: 1/4" = 1'-0"



3C OFFICE
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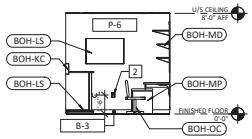

3B OFFICE
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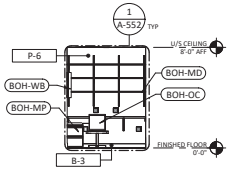

3A OFFICE
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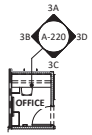

3 KEY PLAN - OFFICE
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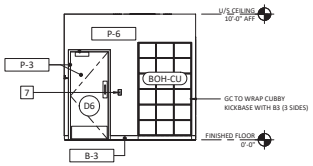
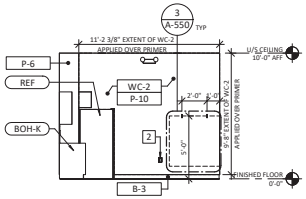
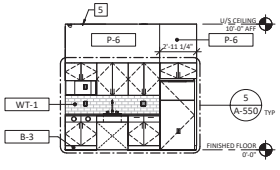


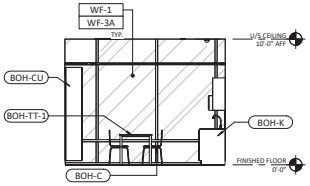
2D STAFF ROOM
SCALE: 1/4" = 1'-0"



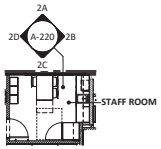
2C STAFF ROOM
SCALE: 1/4" = 1'-0"



2B STAFF ROOM
SCALE: 1/4" = 1'-0"



2A STAFF ROOM
SCALE: 1/4" = 1'-0"



2 KEY PLAN - STAFF ROOM
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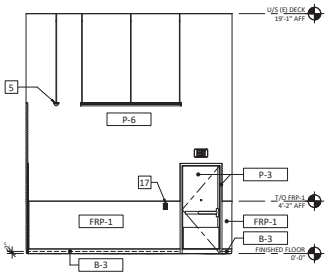
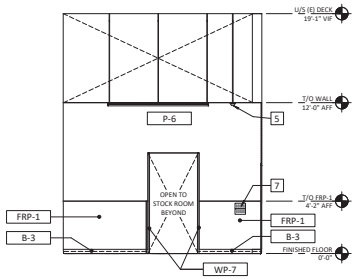
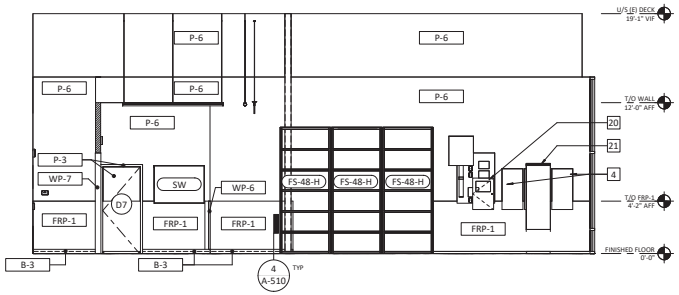


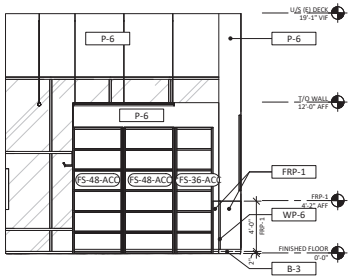
1F STOCK ROOM
SCALE: 1/4" = 1'-0"



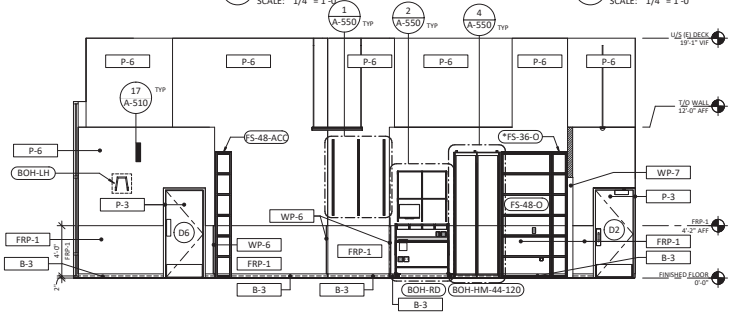
1E STOCK ROOM
SCALE: 1/4" = 1'-0"



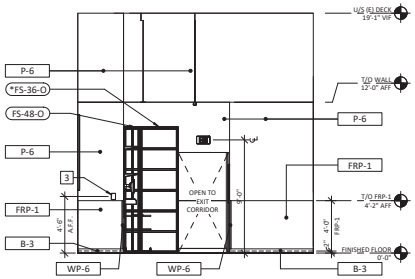
1D STOCK ROOM
SCALE: 1/4" = 1'-0"



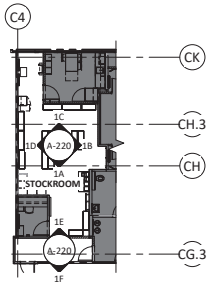
1C STOCK ROOM
SCALE: 1/4" = 1'-0"



1B STOCK ROOM
SCALE: 1/4" = 1'-0"



1A STOCK ROOM
SCALE: 1/4" = 1'-0"



1 KEY PLAN - STOCK ROOM
SCALE: 3/32" = 1'-0"

lululemon
1818 CORNWALL AVE.
VANCOUVER, B.C., V6J1C7

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910 NW BLUE PKWY,
SUITE G, LEE'S SUMMIT
MO 64086

ARCHITECT
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MEP ENGINEER

STRUCTURAL ENGINEER

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SEAL
LICENSED NAME, ARCHITECT

ISSUED FOR PERMIT & BID
08/25/2025

△	DATE	DESCRIPTION
	06/16/2025	ISSUED FOR DD REVIEW
	08/05/2025	ISSUED FOR CD REVIEW
	08/25/2025	ISSUED FOR PERMIT & BID

DRAWING INFORMATION
PROJECT #: 2412106
CHECKED BY: DM
DRAWN BY: CT

INTERIOR ELEVATIONS - BACK OF HOUSE

DRAWING NUMBER
A-220

2025-08-25 8:55:34 AM

FITROOM GENERAL NOTES

A. REFER TO A-131 FIXUTRE PLAN FOR SPACING AND EXACT LOCATIONS OF ALL WALL FIXTURES. ALL QUANTITIES SHOULD BE VERIFIED BY LULULEMON VENDOR. PRIOR TO ORDERING AND INSTALLATION. GC TO CHECK ALL QUANTITIES OF MILLWORK UPON DELIVERY.

B. PAINT FINISH BY GC - REFER TO A-120 FINISH SCHEDULE FOR PAINT SPECIFICATION. VERIFY ALL PAINT COLOR LOCATIONS ON SHEET A-121 FINISH PLAN. NOTIFY LULULEMON CONSTRUCTION MANAGER OF ANY CONFLICTS BEFORE PROCEEDING WITH PAINTING. PAINT ALL EXPOSED LULULEMON VENDOR PROVIDED FITROOM PANELS THAT ARE NOT OAK FINISH.

C. REFER TO SHEET A-150 REFLECTED CEILNG PLAN FOR LIGHT FIXTURE LOCATIONS AND E-121 LIGHT FIXTURE SCHEDULE FOR SPECIFICATIONS.

D. ALL WOODWORK ATTACHED TO THE PREMISES, BLOCKING, GROUNDS, ETC. SHALL BE FIRE RETARDANT AND COMPLY WITH THE LANDLORD'S AND BUILDING CODE REQUIREMENTS GOVERNING FIREPROOFING.

E. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE AND NOTIFY OWNER'S CONSTRUCTION MANAGER AS TO ANY DISCREPANCIES IMMEDIATELY.

F. ALL MILLWORK HARDWARE TO BE FURNISHED BY LULULEMON VENDOR AND INSTALLED BY GC UNO.

G. ALL MILLWORK IS TO BE HANDLED UNDER SEPARATE CONTRACT BY LULULEMON UNO. GC TO COORDINATE SCHEDULING WITH LULULEMON VENDOR. REFER TO A-010 RESPONSIBLITY SCHEDULE.

H. ALL MIRROR GLASS TO BE FURNISHED BY GC, UNO, AND INSTALLED WITH ADHESIVE. GC TO USE TOP CLIPS (STAINLESS) AT ALL FRAMELESS INSTALLATIONS INCLUDING OVER LULULEMON VENDOR PROVIDED FITROOM PANELS.

I. REFER TO LULULEMON VENDOR PROVIDED CUT SHEETS FOR ALL FIXTURE FINISHES.

J. REFER TO A-120 FINISH SCHEDULE FOR SPECIFICATION, PROCUREMENT, AND INSTALLATION RESPONSIBILITY FOR ALL FINISH MATERIALS.

K. REFER TO A-130 FIXTURE SCHEDULE FOR SPECIFICATION, PROCUREMENT, AND INSTALLATION RESPONSIBILITY FOR ALL FIXTURE ELEMENTS.

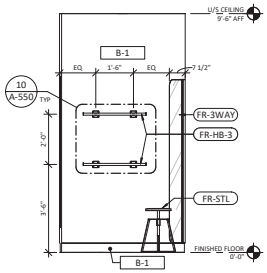
L. USE STANDARD SIZE FOR TYPICAL FITROOM 5'-0"x5'-0", MINUMUM FITROOM SIZE 4'-6"x4'-6".

M. USE STANDARD SIZE FOR ADA FITROOM 5'-6"x10'-0", PROVIDE 60" TURNING CIRCLE CLEARANCE WITHIN FITROOM

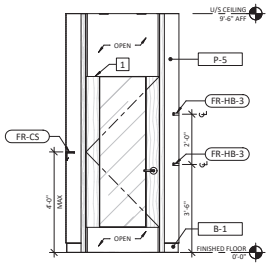
KEYNOTES

 # - KEYNOTE SYMBOL | **NOT USED**

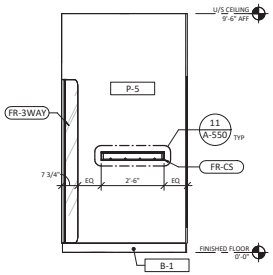
1. FITROOM DOOR, TYPICAL. LLL-V TO PROVIDE DOOR, JAMB, MIRROR FRAME AND GLASS, AND MARKER BOARD. GC TO INSTALL AND PROVIDE LEVERS, SEE SHEET A-180 FOR DOOR SCHEDULE. GC TO USE HINGE STOP TO PREVENT DOOR FROM OPENING TOO FAR
2. CONVENIENCE OUTLET. SEE ELECTRICAL DRAWING
3. 6' -0" WHIP MINIMUM REQUIRED BEHIND MIRROR FOR ROUTING OF LOW VOLTAGE TO BOH MOUNTED DRIVERS.
4. NOT USED
5. NOT USED
6. NOT USED
7. SHOW ADA CLEARANCE FOR FRONT APPROACH. RIGHT HAND IN-SWING ADA DOOR.
8. 30"x48" CLEAR TRANSFER SPACE PROVIDED AT END OF BENCH
9. 30"x48" WHEELCHAIR SPACE PROVIDED INSIDE FITROOM BEYOND THE SWING OF THE DOOR



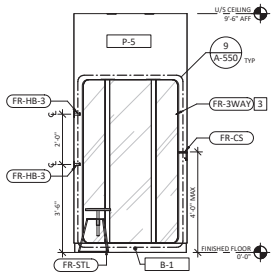
3D TYPICAL FITROOM
SCALE: 1/2" = 1'-0"



3C TYPICAL FITROOM
SCALE: 1/2" = 1'-0"



3B TYPICAL FITROOM
SCALE: 1/2" = 1'-0"



3A TYPICAL FITROOM
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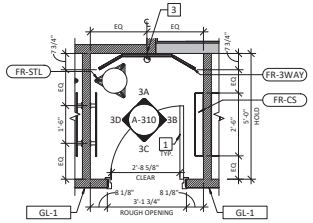

3 TYPICAL FITROOM
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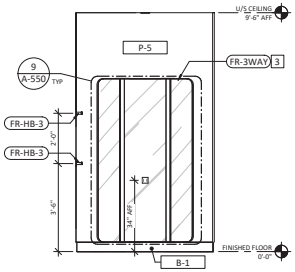
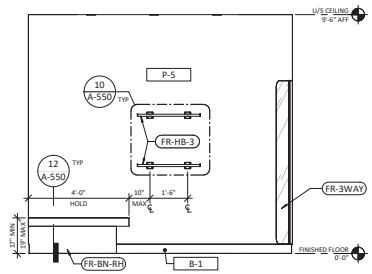
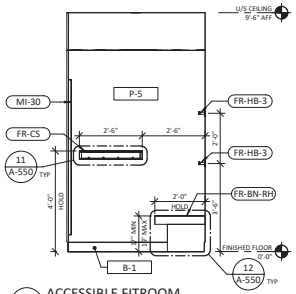


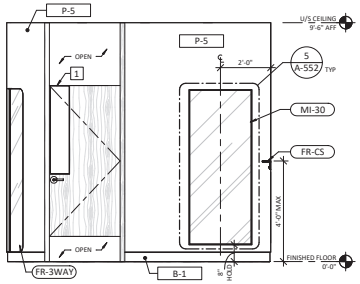
2D ACCESSIBLE FITROOM
SCALE: 1/2" = 1'-0"



2C ACCESSIBLE FITROOM
SCALE: 1/2" = 1'-0"



2B ACCESSIBLE FITROOM
SCALE: 1/2" = 1'-0"



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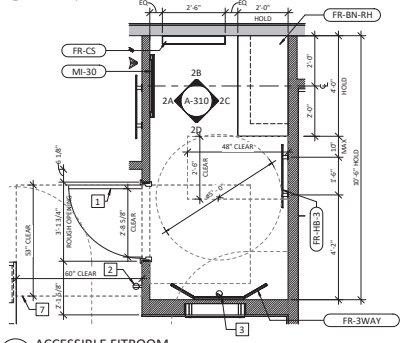

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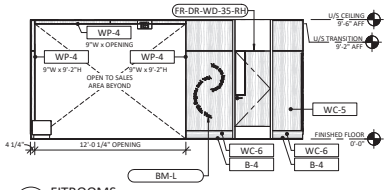
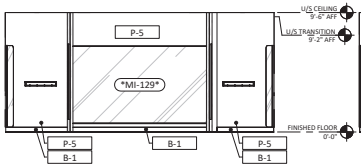
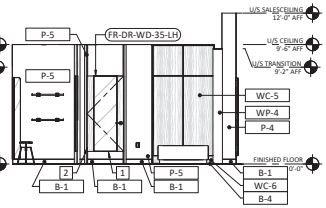


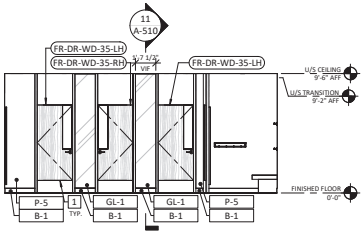
1D FITROOMS
SCALE: 1/4" = 1'-0"



1C FITROOMS
SCALE: 1/4" = 1'-0"



1B FITROOMS
SCALE: 1/4" = 1'-0"



1A FITROOMS
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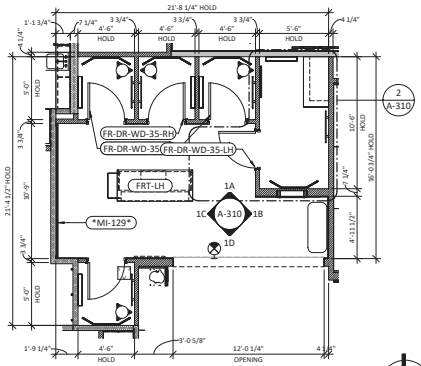

1 KEY PLAN - FITROOM AREA
SCALE: 1/4" = 1'-0"

lululemon
1818 CORNWALL AVE.
VANCOUVER, B.C., V6J1C7

SUMMIT FAIR MALL
910 NW BLUE PKWY,
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SEAL
LICENSED NAME, ARCHITECT

ISSUED FOR PERMIT & BID
08/25/2025

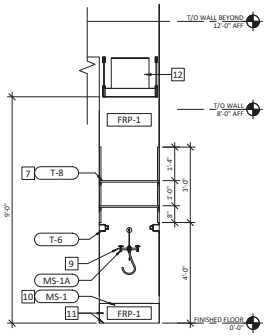
DATE	DESCRIPTION
06/16/2025	ISSUED FOR DD REVIEW
08/05/2025	ISSUED FOR CD REVIEW
08/25/2025	ISSUED FOR PERMIT & BID

DRAWING INFORMATION
PROJECT #: 2412106
CHECKED BY: DM
DRAWN BY: VK

ENLARGED FITROOM PLANS AND ELEVATIONS

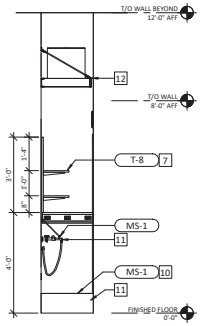
DRAWING NUMBER
A-310

2025-08-25 8:53:51 PM



2 MOP SINK ELEVATION - REAR

SCALE: 1/2" = 1'-0"



3 MOP SINK ELEVATION - SIDE

SCALE: 1/2" = 1'-0"

RESTROOM FIXTURES AND ACCESSORIES

TAG	DESCRIPTION	MANUF.	DIMENSION	MODEL	RESP.	FINISH	NOTES
T-1A	42" GRAB BAR	BOBRICK	42"L	B-5806-42	GC	BRUSHED STAINLESS STEEL	5/8" FRT PLY BLOCKING BEHIND GWB BLOCKING
T-1B	36" GRAB BAR	BOBRICK	36"L	B-5806-36	GC	BRUSHED STAINLESS STEEL	5/8" FRT PLY BLOCKING BEHIND GWB BLOCKING
T-1C	18" GRAB BAR	BOBRICK	18"L	BS806-18	GC	BRUSHED STAINLESS STEEL	5/8" FRT PLY BLOCKING BEHIND GWB BLOCKING
T-2	BABY CHANGING STATION	KOALA KARE	30"L x 20"W	KB300-SS (GRAY)	GC	GRAY / STAINLESS STEEL	5/8" FRT PLY BLOCKING BEHIND GWB BLOCKING, SURFACE MOUNTED, SEE MANUFACTURER'S INSTRUCTIONS
T-3	MIRROR WITH SS FRAME (PROVIDE TEMPERED GLASS FOR MIRROR WHERE REQUIRED)	BOBRICK	36"L x 24"W	B-290 2436	GC	MIRROR / STAINLESS STEEL	5/8" FRT PLY BLOCKING BEHIND GWB BLOCKING
T-4	COAT HOOK (ACCESSIBLE HEIGHT) DOOR MOUNTED	BOBRICK	4"W x 2 5/16"H	B-672	GC	BRUSHED STAINLESS STEEL	DOOR MOUNTED AT 48"AFF MAX 5/8" FRT PLY BLOCKING BEHIND GWB BLOCKING
T-5	TOILET TISSUE DISPENSER	BOBRICK	11"H x 6"W x 6"D	B-2888	GC	BRUSHED STAINLESS STEEL	5/8" FRT BLOCKING BEHIND GWB BLOCKING
T-6	MOP HANGER	BOBRICK	24"L	B-223 x 24 (QTY:2)	GC	BRUSHED STAINLESS STEEL	QTY: 2 MOP HANGERS TO BE INSTALLED 5/8" FRT PLY BLOCKING BEHIND GWB BLOCKING
T-7	HAND DRYER	DYSON	18"H x 10	DYSON AIRBLADE V5-AB-V-HV02	LLL-V / GC	BRUSHED STAINLESS STEEL	FURNISHED BY LLL-V, INSTALLED BY GC, GC TO PROVIDE POWER AS REQUIRED 5/8" FRT PLY BLOCKING BEHIND GWB BLOCKING
T-8	SHELVING OVER MOP SINK	GC	PER PLANS AND ELEVATIONS	N/A	GC	WHITE MELAMINE	36"HIGH HEAVY DUTY ZINC FINISHED WALL STANDARDS FASTENED TO STUDS OR SOLID BLOCKING. GC TO ENSURE ADEQUATE BLOCKING EXISTS FOR FASTENING. (QTY:2) 12" WHITE MELAMINE SHELVES WITH MATCH PVC TAPED EDGES (QTY: 4 TOTAL) AND ZINC FINISHED 10" SHELF BRACKETS SUPPLIED AND INSTALLED BY GC SCREWED TO UNDERSIDE OF SHELVES. LENGTH OF SELF EQUALS THE MAXIMUM LENGTH ALLOWED PER CLOSET WIDTH 5/8" FRT PLY BLOCKING BEHIND GWB BLOCKING
T-9	SANITARY NAPKIN DISPOSAL SURFACE MOUNTED	BOBRICK	10"H x 7 1/2"W x 3 3/4"D	B-270	GC	BRUSHED STAINLESS STEEL	5/8" FRT PLY BLOCKING BEHIND GWB BLOCKING, LOCATE IN ALL WOMEN'S OR UNISEX, GUEST AND EMPLOYEE RESTROOMS

PLUMBING SCHEDULE

TAG	DESCRIPTION	MANUF.	DIMENSION	MODEL	RESP.	FINISH	NOTES
BF-1	WATER FEATURE BOTTLE FILLER	FILTRINE	10"W x 3 3/4"D x 26"H	B103	GC	POWDER-COAT WHITE RAL 9016	RECESSED IN WALL, PROVIDE REMOTE CHILLER AND FILTER AT ACCESSIBLE LOCATION, SEE PLUMBING DRAWINGS
DF-1	BI-LEVEL DRINKING FOUNTAIN WITH BOTTLE FILLER AND ACCESS PANEL	ELKAY	38 1/2"W x 19"D x 34 5/8"H	EZWS-EDFPBM117K WITH ACCESS 12x38-S	GC	STAINLESS STEEL	RECESSED IN WALL, MIN 8" STUD REQUIRED, PROVIDE REMOTE CHILLER AND FILTER AT ACCESSIBLE LOCATION, AND POWER AS REQUIRED FOR BOTTLE FILLER SENSOR, SEE PLUMBING DRAWINGS
DF-2	BI-LEVEL DRINKING FOUNTAIN AND ACCESS PANEL	ELKAY	38 1/2"W x 19"D x 22"H	EDFPBM117K WITH ACCESS 12x38-S	GC	STAINLESS STEEL	PROVIDE REMOTE CHILLER AND FILTER AT ACCESSIBLE LOCATION, SEE PLUMBING DRAWINGS
KS-1	KITCHENETTE SINK	ELKAY	17"W x 22"D x 6"H	LRAD1722603	GC	STAINLESS STEEL	PROVIDE P-TRAP COVER WHERE PIPES ARE EXPOSED
KS-1A	KITCHENETTE FAUCET	ELKAY	8" OC x 8" x 12 1.8"H	LKD2432BHC	GC	STAINLESS STEEL	
L-1	WALL MOUNTED LAVATORY	AMERICAN STANDARD	20 1/2"W x 18 1/2"D x 12 1/8"H	0355.012	GC	VITREOUS CHINA	PROVIDE BLOCKING AS REQUIRED
L-1A	LAVATORY FAUCET	ZURN	6"W x 6 3/4"D x 5 1/4"H	26915-HWS-CWB-F-TMV-1	GC	CHROME	PROVIDE P-TRAP COVER
L-1B	P TRAP COVER	TRUEBRO	N/A	103 E-2	GC	WHITE	
MS-1	MOP SINK	FIAT	24"W x 24"D x 10"H	MSB-2424	GC	WHITE	
MS-1A	MOP SINK FAUCET, HOSE AND BRACKET	FIAT	N/A	830AA AND 832AA	GC	CHROME	PROVIDE HOSE AND HOSE HOLDER
WC-1	TOILET	KOHLER	17 5/8"W x 29 1/2"D x 30 3/4"H	K-3658	GC	VITREOUS CHINA	TANK AND BOWL COMBO, ORDER WITH LEVER AT ACCESSIBLE SIDE OF TOILET

RESTROOM GENERAL NOTES

A. SEE PLUMBING SCHEDULE ON SHEET P-520 FOR SPECIFICATION, PROCUREMENT AND INSTALLATION RESPONSIBILITY FOR ALL PLUMBING ELEMENTS. PLUMBING FIXTURES AND ACCESSORIES ARE TO BE REVIEWED BY THE GENERAL CONTRACTOR AND PLUMBING SUB-CONTRACTOR PRIOR TO THE ORDERING OF ANY FIXTURES FOR QUANTITIES, SPECIFICATIONS, AND LOCATIONS.

B. SEE SHEET A-030 FOR MORE INFORMATION ON ADA ACCESSIBLE / BARRIER FREE MOUNTING HEIGHTS AND CLEARANCES.

C. PROVIDE ALL NECESSARY BLOCKING AS REQUIRED FOR TOILET ROOM ACCESSORIES AND FIXTURES.

D. PROVIDE P-TRAP WRAPS AT ALL EXPOSED COLD WATER & HOT WATER SUPPLIES AT HANDICAP LAVATORY LOCATIONS.

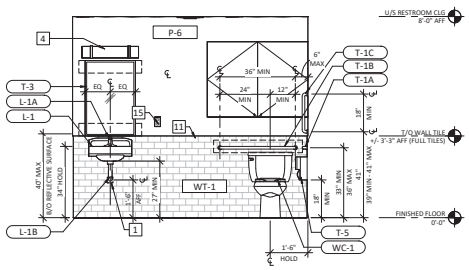
E. TOILET FLUSH HANDLE LOCATED ON OPEN SIDE OF RESTROOM

F. SEE SHEET A-120 FINISH SCHEDULE FOR SPECIFICATION, PROCUREMENT AND INSTALLATION RESPONSIBILITY FOR ALL FINISH MATERIALS.

KEYNOTES

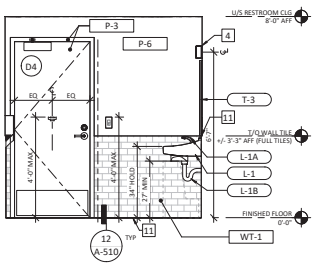
- KEYNOTE SYMBOL NOT USED

1. JBOX FOR AUTOMATIC FAUCET. PROVIDE STAINLESS STEEL COVERPLATE. SEE A140.
2. PROVIDE WATER PROOF MEMBRANE 5'-0" BEYOND ALL PLUMBING FIXTURES AND RESTROOMS, WITH 6" MINIMUM UP ADJACENT WALLS
3. DRAIN TO BE START POINT OF TILE PATTERN AND LOCATE IN CENTER OF ROOM. TILE TO NEVER BE CUT LESS THAN 6" WIDE. PITCH FLOOR A MIN. OF 1/4" REFER TO PLUMBING DWGS
4. WALL SCONCE TO BE CENTERED OVER MIRROR. SEE SHEET A-150
5. WALL MOUNTED ACCESSIBILITY SIGNAGE,SEE SHEET A-030 FOR MORE INFORMATION
6. 56"x60" CLEAR FLOOR AREA AT TOILET.
7. (2) 12" WHITE MELAMINE SHELVES WITH MATCHING PVC TAPED EDGES (4 TOTAL) AND ZINC FINISHED 10" SHELF BRACKETS SUPPLIED AND INSTALLED BY G.C. LENGTH OF SHELF EQUALS THE MAXIMUM LENGTH ALLOWED PER CLOSET DIMENSIONS. SHELVES MOUNTED TO 36" HIGH HEAVY DUTY ZINC FINISHED WALL STANDARDS FASTENED TO STUDS OR SOLID BLOCKING. G.C. TO ENSURE ADEQUATE BLOCKING EXISTS FOR FASTENING.
8. 30" X 48" CLEAR FLOOR AREA AT LAVATORY
9. VACUUM BREAKER FAUCET WITH HOSE FITTING. MOUNT AT 36" AFF
10. MOP SINK TO BE INSTALLED AGAINST BACK WALL AND CENTERED IN CLOSET. FRAME OUT GAPS BETWEEN THE EDGE OF THE SINK AND THE WALLS TO MATCH THE HEIGHT OF THE MOP SINK, COVER WITH FRP-1 AND PROVIDE SILICONE SEALANT AT TRANSITIONS WHERE SINK AND FRP MEET FLOOR/WALL
11. PROVIDE SILICONE SEALANT AT TRANSITIONS FROM TILE TO BASE AND TILE TO RIM OF SINK
12. ELECTRIC WATER HEATER WITH WALL-MOUNTED PLATFORM, SEE DETAIL 6/A-520 FOR MORE INFORMATION. MOUNT B/O WATER HEATER SHELF AS HIGH AS POSSIBLE. SEE ELECTRICAL DWGS FOR POWER REQUIREMENTS
13. ELECTRIC WATER HEATER WITH PLATFORM SUSPENDED FROM STRUCTURE ABOVE, SEE DETAIL 6/A-520 FOR MORE INFORMATION. MOUNT B/O WATER HEATER SHELF AS HIGH AS POSSIBLE.SEE ELECTRICAL DWGS FOR POWER REQUIREMENTS
14. MOUNT BOTTLE FILLER WITH PUSH BUTTON AT 48" AFF PER MANUFACTURER INSTRUCTIONS, GC TO USE MOISTURE RESISTANT GWB AT WATER FEATURE LOCATION
15. HATCHED ZONE BEHIND WALL MOUNTED ACCESSORY INDICATES LOCATION TO PACK OUT WITH PLYWOOD AT GWB ABOVE TILE WAINSCOT TO ALIGN WITH FACE OF TILE, PAINT AND SEAL EXPOSED PLYWOOD EDGE
16. 30"x48" WHEELCHAIR SPACE PROVIDED INSIDE RESTROOM BEYOND THE SWING OF THE DOOR



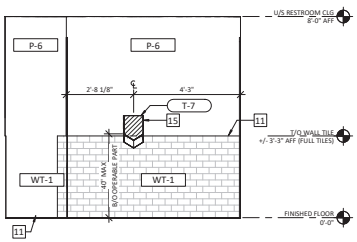
1D BOH RESTROOM

SCALE: 1/2" = 1'-0"



1C BOH RESTROOM

SCALE: 1/2" = 1'-0"



1B BOH RESTROOM

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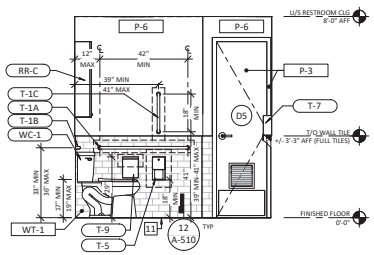
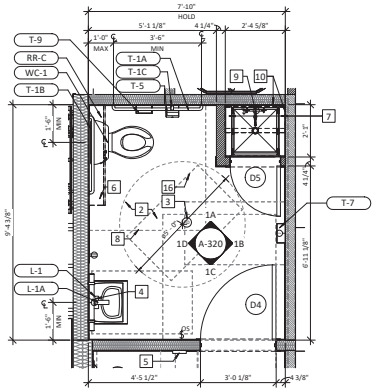


1A BOH RESTROOM

SCALE: 1/2" = 1'-0"



1 ENLARGED SALES RESTROOM PLAN

SCALE: 1/2" = 1'-0"

lululemon

1818 CORNWALL AVE.
VANCOUVER, B.C., V6J1C7

SUMMIT FAIR MALL

910 NW BLUE PKWY,
SUITE G, LEE'S SUMMIT
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ARCHITECT

JOEL C. TORIELLI
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MEP ENGINEER

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08/25/2025

△	DATE	DESCRIPTION
	06/16/2025	ISSUED FOR DD REVIEW
	08/05/2025	ISSUED FOR CD REVIEW
	08/25/2025	ISSUED FOR PERMIT & BID

DRAWING INFORMATION
PROJECT #: 2412106
CHECKED BY: DM
DRAWN BY: VK

ENLARGED RESTROOM PLANS AND ELEVATIONS

DRAWING NUMBER

A-320

2025-08-25 8:53:57 PM

DRINKING FOUNTAIN GENERAL NOTES

A. SEE PLUMBING SCHEDULE ON SHEET P-520 FOR SPECIFICATION, PROCUREMENT AND INSTALLATION RESPONSIBILITY FOR ALL PLUMBING ELEMENTS. PLUMBING FIXTURES AND ACCESSORIES ARE TO BE REVIEWED BY THE GENERAL CONTRACTOR AND PLUMBING SUB-CONTRACTOR PRIOR TO THE ORDERING OF ANY FIXTURES FOR QUANTITIES, SPECIFICATIONS, AND LOCATIONS.

B. SEE SHEET A-030 FOR MORE INFORMATION ON ADA ACCESSIBLE / BARRIER FREE MOUNTING HEIGHTS AND CLEARANCES.

C. PROVIDE ALL NECESSARY BLOCKING AS REQUIRED FOR TOILET ROOM ACCESSORIES AND FIXTURES.

D. PROVIDE P-TRAP WRAPS AT ALL EXPOSED COLD WATER AND HOT WATER SUPPLIES AT HANDICAP LAVATORY LOCATIONS.

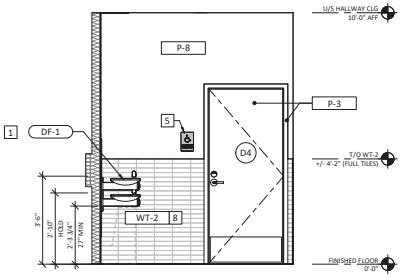
E. TOILET FLUSH HANDLE LOCATED ON OPEN SIDE OF RESTROOM.

F. SEE SHEET A-120 FINISH SCHEDULE FOR SPECIFICATION, PROCUREMENT AND INSTALLATION RESPONSIBILITY FOR ALL FINISH MATERIALS.

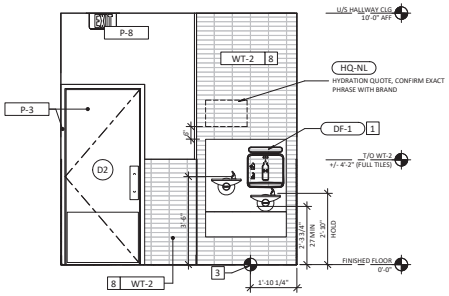
KEYNOTES

 # - KEYNOTE SYMBOL **NOT USED**

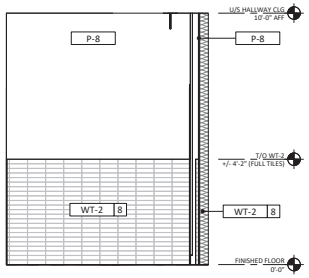
1. HIGH-LOW DRINKING FOUNTAIN, MEETING THE REQUIREMENTS FOR STANDING PERSONS AND PERSONS IN WHEELCHAIRS
2. PROVIDE WATER PROOF MEMBRANE 5'-0" AT FLOOR IN DRINKING FOUNTAIN AREA WITH 6" MINIMUM UP ADJACENT WALLS
3. START POINT OF TILE PATTERN CENTERED BELOW DRINKING FOUNTAIN
4. 30"x48" WHEELCHAIR SPACE PROVIDED AT DRINKING FOUNTAIN SERVING PERSONS IN WHEELCHAIRS
5. WALL MOUNTED ACCESSIBILITY SIGNAGE, SEE SHEET A-030 FOR MORE INFORMATION
6. 60" CLEAR TURNING SPACE
7. REMOTE WATER CHILLER AND FILTER FOR DRINKING FOUNTAIN TO BE LOCATED ABOVE ADJACENT CEILING, GC TO PROVIDE ACCESS PANELAS REQUIRED FOR MAINTENANCE
8. SEE DETAIL S/A-510 FOR HALLWAY TILE DETAILS AND TRIMS
9. PROVIDE BLACK OUTLETS AND COVERPLATES AT WT-2 LOCATIONS



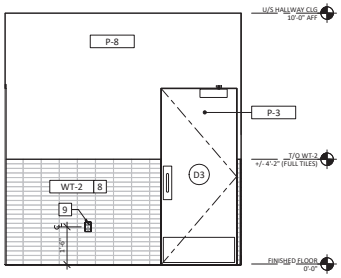
1D HALLWAY
SCALE: 1/2" = 1'-0"



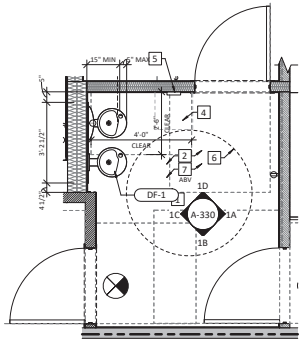
1C HALLWAY
SCALE: 1/2" = 1'-0"



1B HALLWAY
SCALE: 1/2" = 1'-0"



1A HALLWAY
SCALE: 1/2" = 1'-0"



1 ENLARGED DRINKING FOUNTAIN PLAN
SCALE: 1/2" = 1'-0"

2025-08-25 8:55:401 PM

lululemon
1818 CORNWALL AVE.
VANCOUVER, B.C., V6J1C7

SUMMIT FAIR MALL
910 NW BLUE PKWY,
SUITE G, LEE'S SUMMIT
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DATE	DESCRIPTION
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08/25/2025	ISSUED FOR PERMIT & BID

DRAWING INFORMATION
PROJECT #: 2412106
CHECKED BY: DM
DRAWN BY: CT

ENLARGED DRINKING FOUNTAIN PLANS AND ELEVATIONS

DRAWING NUMBER
A-330

8 3D STOREFRONT VIEW

SCALE:

GENERAL NOTES

A. SEE SHEET A-120 FINISH SCHEDULE FOR SPECIFICATIONS, PROCUREMENT AND INSTALLATION RESPONSIBILITIES OF ALL STOREFRONT MATERIAL.

B. SEE SHEET A-180 DOOR SCHEDULE FOR SIZES AND SPECIFICATION OF STOREFRONT DOORS.

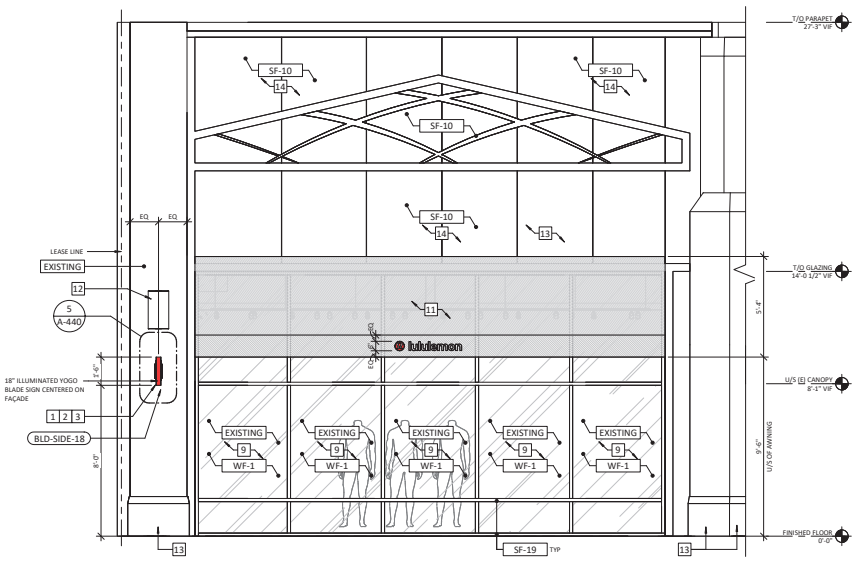
C. ARTWORK PROVIDED BY OWNER

D. SEE STRUCTURAL DWGS FOR STOREFRONT FRAMING

KEYNOTES

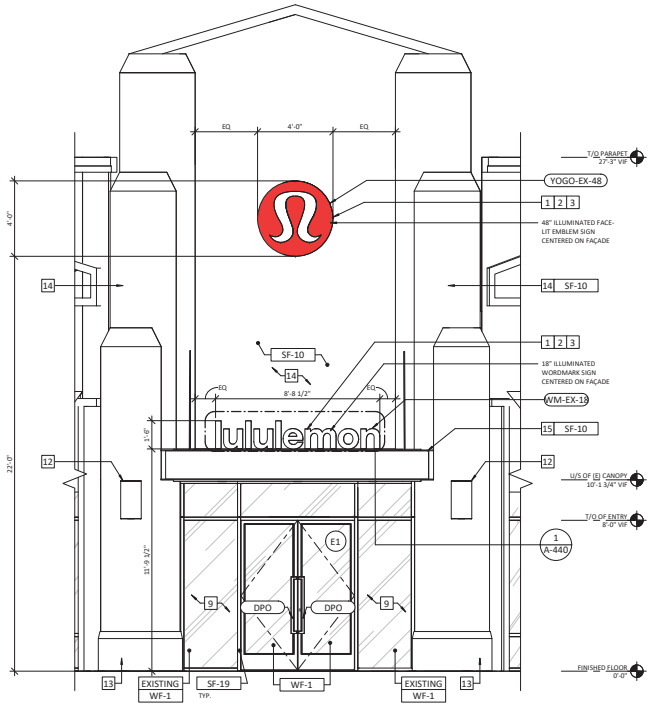
#/ - KEYNOTE SYMBOL — NOT USED

1. NEW SIGNAGE FURNISHED AND INSTALLED BY SIGN VENDOR. GC TO COORDINATE WITH SIGN VENDOR ALL ELECTRICAL AND STRUCTURAL REQUIREMENTS PRIOR TO INSTALLATION.
2. INSTALL BLOCKING AS REQUIRED FOR SIGNAGE. SEE VENDOR SHOP DRAWINGS FOR ADDITIONAL INFORMATION
3. JUNCTION BOX FOR STOREFRONT SIGNAGE CONCEALED ABOVE CEILING OR AT STOREFRONT VOID. SEE SHEET A-420 STOREFRONT SECTIONS AND E-110 FOR ADDITIONAL INFORMATION
4. EAS SENSORS RECESSED INTO SLAB, SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION
5. EAS CONTROLLER LOCATEDAT AT STOREFRONT VOID, SEE ELECTRICAL DWGS FOR MORE INFORMATION
6. CONCRETE PLASTER FINISH APPLIED OVER CEMENTITIOUS BACKER BOARD OVER SHEATHING PER DETAILS, INSTALL PER MANUFACTURER'S INSTRUCTIONS, SEE SHEET A-120 FINISH SCHEDULE. PROVIDE U-V RESISTANT SEALER AT EXTERIOR LOCATIONS
7. TRIM-TEX OR EQUAL, PVC 1/2"W X 1/2"D REVEAL-BEAD. PAINT TO MATCH SF-24. SEE DETAILS
8. TRIM-TEX OR EQUAL, PVC 3/4"W X 5/8"D Z-BEAD. PAINT TO MATCH SF-24. SEE DETAILS
9. EXTERIOR GLAZING ASSEMBLY TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION
10. VINYL GRAPHICS TO BE INSTALLED ON INTERIOR FACE OF GLAZING
11. NEW BLACK AWNING WITH WORKMARK OVER NEW FRAMING.
12. EXISTING EXTERIOR LIGHTING TO REMAIN. GC TO VERIFY IN GOOD WORKING CONDITION
13. EXISTING TILES TO BE CLEANED TO LIKE NEW CONDITION. GC TO REPLACE ANY DAMAGED OR MISSING TILES. REPLACED TILES TO MATCH EXISTING
14. EXISTING STOREFRONT TO BE PAINTED COLOR: BM_HC-51_AUDUBON
15. EXISTING CANOPY TO BE PAINTED BLACK. GC TO PROTECT THROUGHOUT CONSTRUCTION



5 STOREFRONT ELEVATION

SCALE: 3/8" = 1'-0"



6 STOREFRONT ELEVATION

SCALE: 3/8" = 1'-0"

lululemon

1818 CORNWALL AVE.
VANCOUVER, B.C., V6J1C7

SUMMIT FAIR MALL

910 NW BLUE PKWY,
SUITE G, LEE'S SUMMIT
MO 64086

ARCHITECT

JOEL C. TORIELLI
422 BOGERT AVENUE
RIDGEWOOD, NJ 07450

MEP ENGINEER

STRUCTURAL ENGINEER

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SEAL

LICENSED NAME, ARCHITECT

ISSUED FOR PERMIT & BID

08/25/2025

DATE	DESCRIPTION
06/16/2025	ISSUED FOR DD REVIEW
08/05/2025	ISSUED FOR CD REVIEW
08/25/2025	ISSUED FOR PERMIT & BID

DRAWING INFORMATION

PROJECT #: 2412106
CHECKED BY: DM
DRAWN BY: VK

STOREFRONT ELEVATIONS

DRAWING NUMBER

A-410

2025-08-25 8:56:00 PM

GENERAL NOTES

A. SEE SHEET A-120 FINISH SCHEDULE FOR SPECIFICATIONS, PROCUREMENT AND INSTALLATION RESPONSIBILITIES OF ALL STOREFRONT MATERIAL.
B. SEE SHEET A-180 DOOR SCHEDULE FOR SIZES AND SPECIFICATION OF STOREFRONT DOORS.
C. ARTWORK PROVIDED BY OWNER
D. SEE STRUCTURAL DWGS FOR STOREFRONT FRAMING

KEYNOTES

[#] - KEYNOTE SYMBOL

NOT USED

1. NEW SIGNAGE FURNISHED AND INSTALLED BY SIGN VENDOR. GC TO COORDINATE WITH SIGN VENDOR ALL ELECTRICAL AND STRUCTURAL REQUIREMENTS PRIOR TO INSTALLATION.
2. INSTALL BLOCKING AS REQUIRED FOR SIGNAGE. SEE VENDOR SHOP DRAWINGS FOR ADDITIONAL INFORMATION
3. JUNCTION BOX FOR STOREFRONT SIGNAGE CONCEALED ABOVE CEILING OR AT STOREFRONT VOID, SEE SHEET A-420 STOREFRONT SECTIONS AND E-110 FOR ADDITIONAL INFORMATION
4. EAS SENSORS RECESSED INTO SLAB, SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION
5. EAS CONTROLLER LOCATEDAT AT STOREFRONT VOID, SEE ELECTRICAL DWGS FOR MORE INFORMATION
6. CONCRETE PLASTER FINISH APPLIED OVER CEMENTITIOUS BACKER BOARD OVER SHEATHING PER DETAILS, INSTALL PER MANUFACTURER'S INSTRUCTIONS, SEE SHEET A-120 FINISH SCHEDULE. PROVIDE U-V RESISTANT SEALER AT EXTERIOR LOCATIONS
7. TRIM-TEX OR EQUAL, PVC 1/2"W X 1/2"D REVEAL-BEAD. PAINT TO MATCH SF-24. SEE DETAILS
8. TRIM-TEX OR EQUAL, PVC 3/4"W X 5/8"D Z-BEAD. PAINT TO MATCH SF-24. SEE DETAILS
9. EXTERIOR GLAZING ASSEMBLY TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION
10. VINYL GRAPHICS TO BE INSTALLED ON INTERIOR FACE OF GLAZING
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13. EXISTING TILES TO BE CLEANED TO LIKE NEW CONDITION. GC TO REPLACE ANY DAMAGED OR MISSING TILES. REPLACED TILES TO MATCH EXISTING
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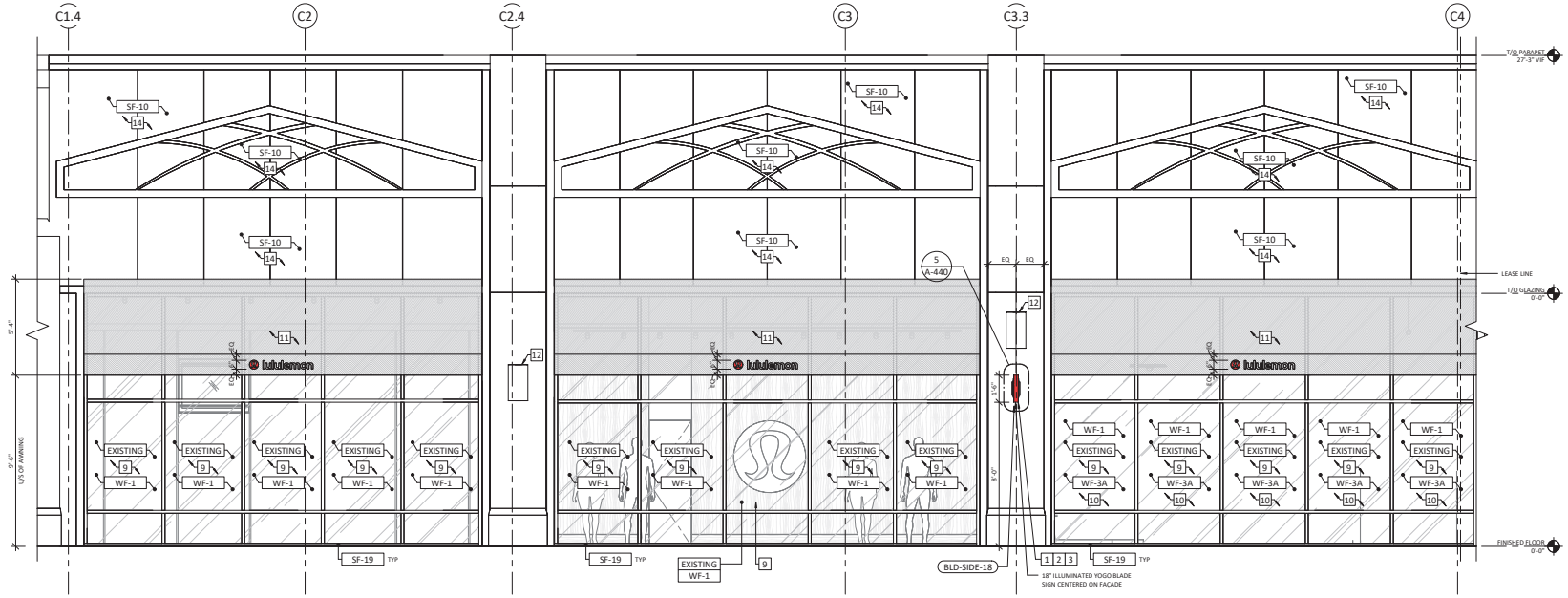

1 STOREFRONT ELEVATION

SCALE: 3/8" = 1'-0"

lululemon

1818 CORNWALL AVE.
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DRAWING INFORMATION

PROJECT #: 2412106
CHECKED BY: DM
DRAWN BY: VK

STOREFRONT ELEVATION

DRAWING NUMBER

A-411

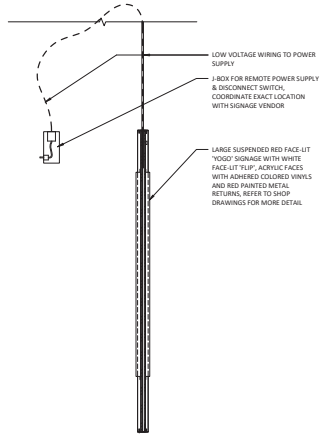
2025-08-25 8:56:03 PM

STANDARD SIGN SCHEDULE - INTERIOR

NOTE: ASTERISKS ADDED TO SIGN CODES (BEFORE & AFTER) INDICATE A CUSTOM OR MODIFIED COMPONENT. SIGN VENDOR TO PROVIDE SHOP DRAWINGS FOR ALL CUSTOM OR MODIFIED COMPONENTS)

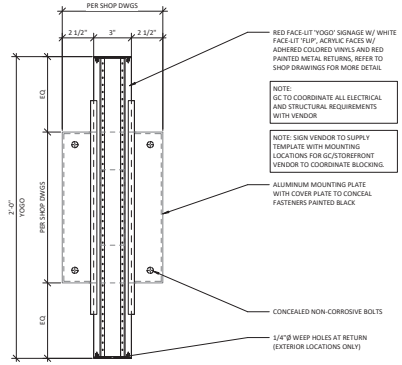
TAG	DESCRIPTION	FURN	INST	BLOCKING	REMARKS	CODE
WORDMARK (YOGO + LLL)						
WM-18	WORDMARK (YOGO + LLL) ILLUMINATED	LLL-V	LLL-V	BY GC SEE DETAIL A-440	SIGN VENDOR TO SUPPLY TEMPLATE OF MOUNTING POINTS TO GC. GC TO PROVIDE REQUIRED POWER.	LLL-WM-18
WM-RW-18 WM-RW-24 WM-RW-30 WM-RW-36 WM-RW-42 WM-RW-48	WORDMARK (YOGO + LLL) ILLUMINATED RACEWAY	LLL-V	LLL-V	BY GC SEE DETAIL A-440	SIGN VENDOR TO SUPPLY TEMPLATE OF MOUNTING POINTS TO GC. GC TO PROVIDE REQUIRED POWER.	LLL-WM-RW-18 LLL-WM-RW-24 LLL-WM-RW-30 LLL-WM-RW-36 LLL-WM-RW-42 LLL-WM-RW-48
WM-HALO-18 WM-HALO-24 WM-HALO-30 WM-HALO-36 WM-HALO-42 WMK-HALO-48	WORDMARK (YOGO + LLL) ILLUMINATED HALO	LLL-V	LLL-V	BY GC SEE DETAIL A-440	SIGN VENDOR TO SUPPLY TEMPLATE OF MOUNTING POINTS TO GC. GC TO PROVIDE REQUIRED POWER.	LLL-WM-HALO-18 LLL-WM-HALO-24 LLL-WM-HALO-30 LLL-WM-HALO-36 LLL-WM-HALO-42 LLL-WM-HALO-48
WM-HALO-BLK-18 WM-HALO-BLK-24 WM-HALO-BLK-30 WM-HALO-BLK-36 WM-HALO-BLK-42 WM-HALO-BLK-48	WORDMARK (YOGO + LLL) ILLUMINATED HALO BLACK	LLL-V	LLL-V	BY GC SEE DETAIL A-440	SIGN VENDOR TO SUPPLY TEMPLATE OF MOUNTING POINTS TO GC. GC TO PROVIDE REQUIRED POWER.	LLL-WM-HALO-BLK-18 LLL-WM-HALO-BLK-24 LLL-WM-HALO-BLK-30 LLL-WM-HALO-BLK-36 LLL-WM-HALO-BLK-42 LLL-WM-HALO-BLK-48
WM-NI-18 WM-NI-24 WM-NI-30 WM-NI-36 WM-NI-42 WM-NI-48	WORDMARK (YOGO + LLL) NON-ILLUMINATED	LLL-V	LLL-V	BY GC SEE DETAIL A-440	SIGN VENDOR TO SUPPLY TEMPLATE OF MOUNTING POINTS TO GC. NO POWER REQUIRED.	LLL-WM-NI-18 LLL-WM-NI-24 LLL-WM-NI-30 LLL-WM-NI-36 LLL-WM-NI-42 LLL-WM-NI-48
WM-NI-BLK-18 WM-NI-BLK-24 WM-NI-BLK-30 WM-NI-BLK-36 WM-NI-BLK-42 WM-NI-BLK-48	WORDMARK (YOGO + LLL) NON-ILLUMINATED BLACK	LLL-V	LLL-V	BY GC SEE DETAIL A-440	SIGN VENDOR TO SUPPLY TEMPLATE OF MOUNTING POINTS TO GC. NO POWER REQUIRED.	LLL-WM-NI-BLK-18 LLL-WM-NI-BLK-24 LLL-WM-NI-BLK-30 LLL-WM-NI-BLK-36 LLL-WM-NI-BLK-42 LLL-WM-NI-BLK-48
YOGO						
YOGO-48	YOGO ILLUMINATED	LLL-V	LLL-V	BY GC SEE DETAIL A-440	SIGN VENDOR TO SUPPLY TEMPLATE OF MOUNTING POINTS TO GC. GC TO PROVIDE REQUIRED POWER.	LLL-YOGO-36 LLL-YOGO-42 LLL-YOGO-48
YOGO-REC-36 YOGO-REC-42 YOGO-REC-48	YOGO ILLUMINATED RECESSED	LLL-V	LLL-V	BY GC SEE DETAIL A-440	USED AT LOACTIONS WHERE BOTTOM OF SIGN IS LOWER THAN 7'-0". GC TO PROVIDE REQUIRED POWER.	LLL-YOGO-REC-36 LLL-YOGO-REC-42 LLL-YOGO-REC-48
YOGO-HALO-36 YOGO-HALO-42 YOGO-HALO-48	YOGO ILLUMINATED HALO	LLL-V	LLL-V	BY GC SEE DETAIL A-440	SIGN VENDOR TO SUPPLY TEMPLATE OF MOUNTING POINTS TO GC. GC TO PROVIDE REQUIRED POWER.	LLL-YOGO-HALO-36 LLL-YOGO-HALO-42 LLL-YOGO-HALO-48
YOGO-NI-36 YOGO-NI-42 YOGO-NI-48	YOGO NON-ILLUMINATED	LLL-V	LLL-V	BY GC SEE DETAIL A-440	SIGN VENDOR TO SUPPLY TEMPLATE OF MOUNTING POINTS TO GC. NO POWER REQUIRED.	LLL-YOGO-NI-36 LLL-YOGO-NI-42 LLL-YOGO-NI-48
LARGE YOGO						
YOGO-LG-54 YOGO-LG-60 YOGO-LG-66 YOGO-LG-72	LARGE YOGO (OVER 48") ILLUMINATED	LLL-V	LLL-V	BY GC SEE DETAIL A-440	SIGN VENDOR TO SUPPLY TEMPLATE OF MOUNTING POINTS TO GC. GC TO PROVIDE REQUIRED POWER.	LLL-YOGO-LG-54 LLL-YOGO-LG-60 LLL-YOGO-LG-66 LLL-YOGO-LG-72
YOGO-LG-REC-54 YOGO-LG-REC-60 YOGO-LG-REC-66 YOGO-LG-REC-72	LARGE YOGO (OVER 48") ILLUMINATED RECESSED	LLL-V	LLL-V	BY GC SEE DETAIL A-440	USED AT LOACTIONS WHERE BOTTOM OF SIGN IS LOWER THAN 7'-0". GC TO PROVIDE REQUIRED POWER.	LLL-YOGO-REC-LG-54 LLL-YOGO-REC-LG-60 LLL-YOGO-REC-LG-66 LLL-YOGO-REC-LG-72
YOGO-LG-HALO-54 YOGO-LG-HALO-60 YOGO-LG-HALO-66 YOGO-LG-HALO-72	LARGE YOGO (OVER 48") ILLUMINATED HALO	LLL-V	LLL-V	BY GC SEE DETAIL A-440	SIGN VENDOR TO SUPPLY TEMPLATE OF MOUNTING POINTS TO GC. GC TO PROVIDE REQUIRED POWER.	LLL-YOGO-HALO-LG-54 LLL-YOGO-HALO-LG-60 LLL-YOGO-HALO-LG-66 LLL-YOGO-HALO-LG-72
BLADE - TOP MOUNTED						
BLD-TOP-18 BLD-TOP-20 BLD-TOP-22 BLD-TOP-24 BLD-TOP-30 BLD-TOP-36	BLADE - TOP MOUNT ILLUMINATED	LLL-V	LLL-V	BY GC SEE DETAIL A-440	SIGN VENDOR TO SUPPLY TEMPLATE OF MOUNTING POINTS TO GC. GC TO PROVIDE REQUIRED POWER.	LLL-BLD-TOP-18 LLL-BLD-TOP-20 LLL-BLD-TOP-22 LLL-BLD-TOP-24 LLL-BLD-TOP-30 LLL-BLD-TOP-36
BLD-TOP-NI-18 BLD-TOP-NI-20 BLD-TOP-NI-22 BLD-TOP-NI-24 BLD-TOP-NI-30 BLD-TOP-NI-36	BLADE - TOP MOUNT NON-ILLUMINATED	LLL-V	LLL-V	BY GC SEE DETAIL A-440	SIGN VENDOR TO SUPPLY TEMPLATE OF MOUNTING POINTS TO GC. NO POWER REQUIRED.	LLL-BLD-TOP-NI-18 LLL-BLD-TOP-NI-20 LLL-BLD-TOP-NI-22 LLL-BLD-TOP-NI-24 LLL-BLD-TOP-NI-30 LLL-BLD-TOP-NI-36
BLADE - SIDE MOUNTED						
BLD-SIDE-24	BLADE - SIDE MOUNT ILLUMINATED	LLL-V	LLL-V	BY GC SEE DETAIL A-440	SIGN VENDOR TO SUPPLY TEMPLATE OF MOUNTING POINTS TO GC. GC TO PROVIDE REQUIRED POWER.	LLL-BLD-TOP-24
BLD-SIDE-NI-18 BLD-SIDE-NI-20 BLD-SIDE-NI-22 BLD-SIDE-NI-24 BLD-SIDE-NI-30 BLD-SIDE-NI-36	BLADE - SIDE MOUNT NON-ILLUMINATED	LLL-V	LLL-V	BY GC SEE DETAIL A-440	SIGN VENDOR TO SUPPLY TEMPLATE OF MOUNTING POINTS TO GC. NO POWER REQUIRED.	LLL-BLD-SIDE-NI-18 LLL-BLD-SIDE-NI-20 LLL-BLD-SIDE-NI-22 LLL-BLD-SIDE-NI-24 LLL-BLD-SIDE-NI-30 LLL-BLD-SIDE-NI-36
BLADE - CABINET WITH PUSH-THROUGH WORDMARK						
BLD-CAB-XX-XX	BLADE - CABINET ILLUMINATED	LLL-V	LLL-V	BY GC SEE DETAIL A-440	SIGN VENDOR TO SUPPLY TEMPLATE OF MOUNTING POINTS TO GC. NO POWER REQUIRED.	LLL-BLD-CAB-XX-XX
BLADE - FIN						
BLD-FIN-XX-XX	BLADE - FIN NON-ILLUMINATED	LLL-V	LLL-V	BY GC SEE DETAIL A-440	SIGN VENDOR TO SUPPLY TEMPLATE OF MOUNTING POINTS TO GC. NO POWER REQUIRED.	LLL-BLD-FIN-XX-XX

NOT USED



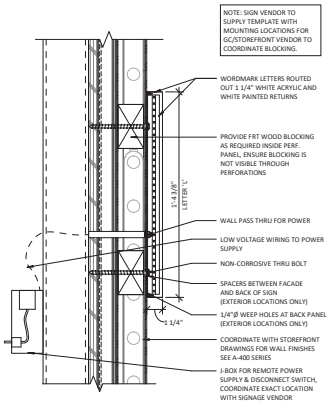
6 SUSPENDED FACE-LIT YOGO - SECTION

SCALE: 1 1/2" = 1'-0"



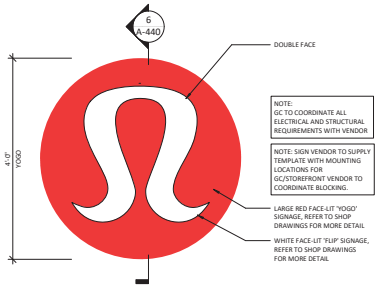
5 BLADE SIGN - SIDE MOUNTED - SECTION

SCALE: 3" = 1'-0"



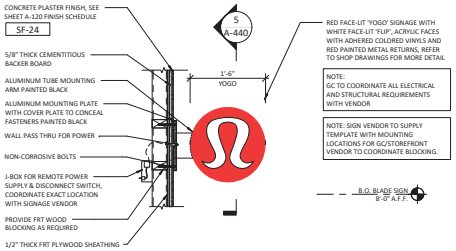
4 FACE-LIT WORDMARK - SECTION AT PERF.

SCALE: 3" = 1'-0"



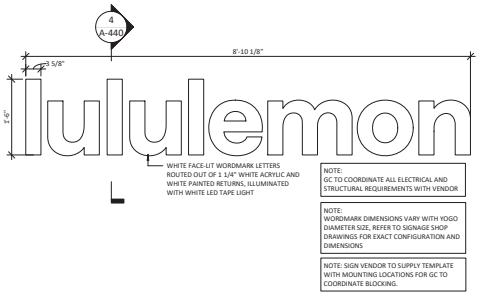
3 LARGE SURFACE MOUNTED FACE-LIT YOGO - WOOD EMBLEM

SCALE: 1" = 1'-0"



2 BLADE SIGN - SIDE MOUNTED AT CONCRETE PLASTER

SCALE: 1" = 1'-0"



1 FACE-LIT WORDMARK (LLL)

SCALE: 1" = 1'-0"

lululemon
1818 CORNWALL AVE.
VANCOUVER, B.C., V6J1C7

SUMMIT FAIR MALL
910 NW BLUE PKWY,
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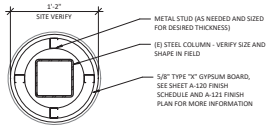
DRAWING INFORMATION
PROJECT #: 2412106
CHECKED BY: DM
DRAWN BY: UA

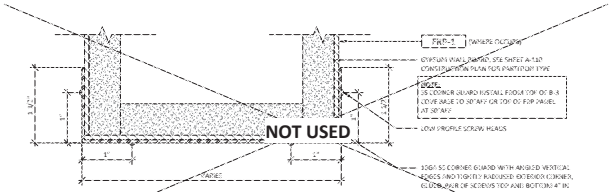
SIGNAGE DETAILS

DRAWING NUMBER
A-440

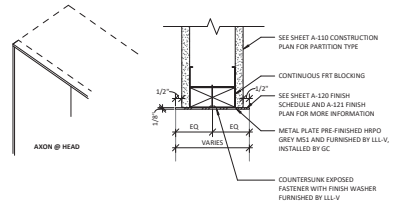
2025-08-25 8:56:06 PM



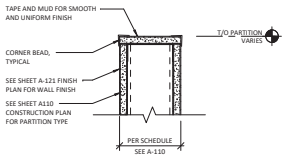
20 TYP. COLUMN WRAP DETAIL
SCALE: 1 1/2" = 1'-0"



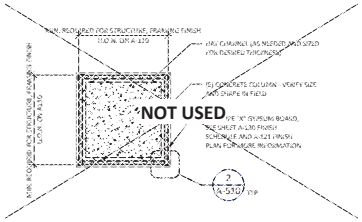
19 WP-7 BOH WALL END CAP
SCALE: 12" = 1'-0"



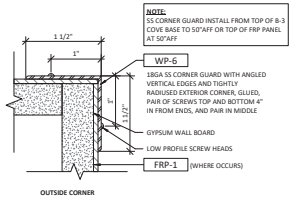
18 WP-4 END PLATE HEAD DETAIL
SCALE: 3" = 1'-0"



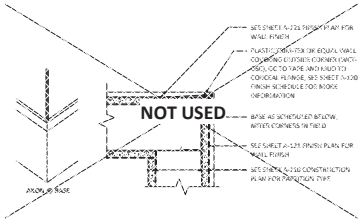
17 TOP OF PARTIAL HEIGHT PARTITION
SCALE: 3" = 1'-0"



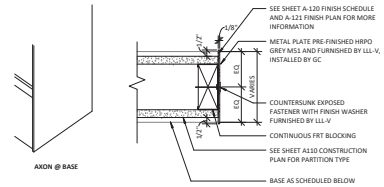
16 TYP. CONC COLUMN WRAP DETAIL
SCALE: 1 1/2" = 1'-0"



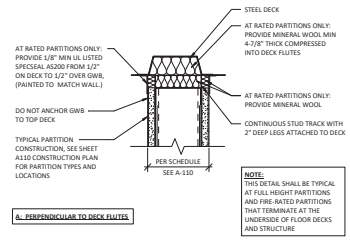
15 WP-6 BOH CORNER GUARDS
SCALE: 12" = 1'-0"

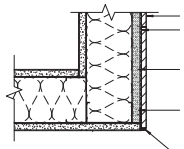


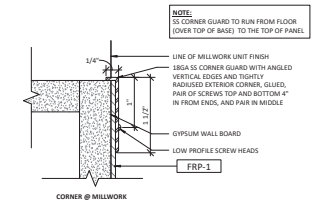
14 WP-5 MUD-IN CORNER GUARD
SCALE: 3" = 1'-0"

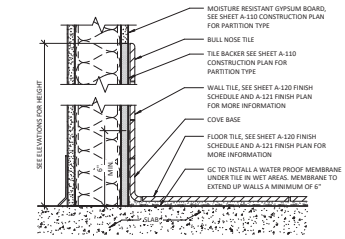


13 WP-4 END PLATE PLAN DETAIL
SCALE: 3" = 1'-0"

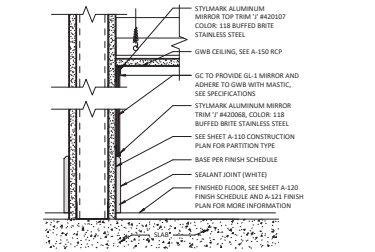




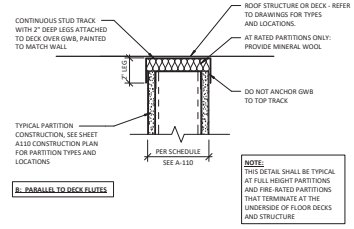




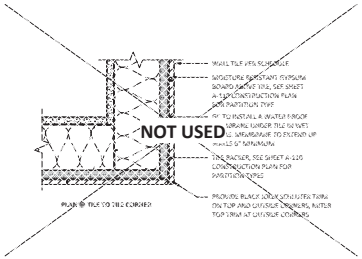
12 TOILET ROOM TILE DETAIL
SCALE: 3" = 1'-0"

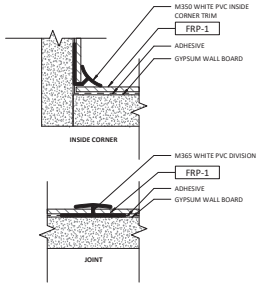


11 TYP. BASE AND HEAD DETAIL @ MIRROR
SCALE: 3" = 1'-0"

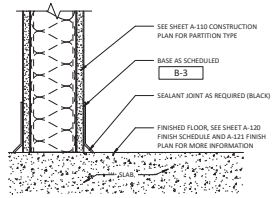


10 DEFLECTION HEAD DETAIL
SCALE: 3" = 1'-0"

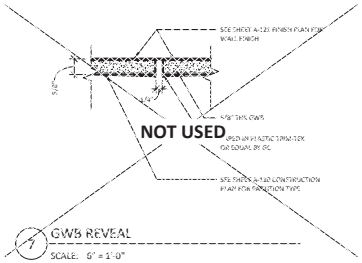




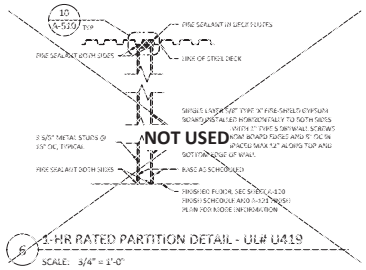
9 FRP-1 PANELING JOINTS & CORNERS
SCALE: 12" = 1'-0"



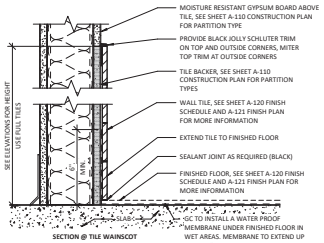
8 TYP. BASE DETAIL @ BOH
SCALE: 3" = 1'-0"



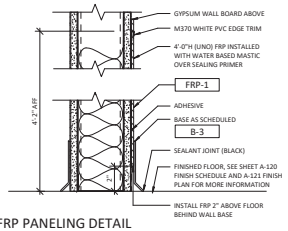
7 GWB REVEAL
SCALE: 6" = 1'-0"



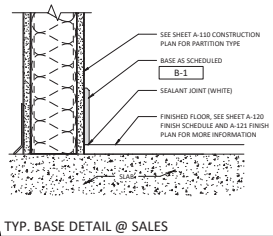
6 1-HR RATED PARTITION DETAIL - UL# U419
SCALE: 3/4" = 1'-0"



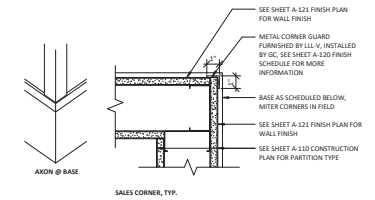
5 HALLWAY TILE DETAIL
SCALE: 3" = 1'-0"



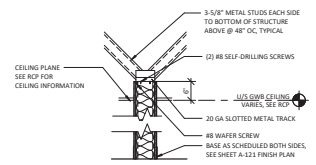
4 FRP PANELING DETAIL
SCALE: 3" = 1'-0"



3 TYP. BASE DETAIL @ SALES
SCALE: 3" = 1'-0"



2 WP-1 CORNER GUARD DETAIL
SCALE: 3" = 1'-0"



1 TYP. FULL HEIGHT BRACED PARTITION
SCALE: 3/4" = 1'-0"

2025-08-25 8:56:08 PM

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SEAL
LICENSED NAME, ARCHITECT

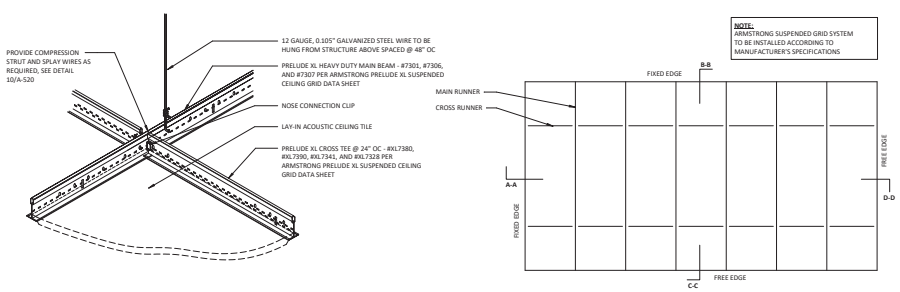
ISSUED FOR PERMIT & BID
08/25/2025

DATE	DESCRIPTION
06/16/2025	ISSUED FOR DD REVIEW
08/05/2025	ISSUED FOR CD REVIEW
08/25/2025	ISSUED FOR PERMIT & BID

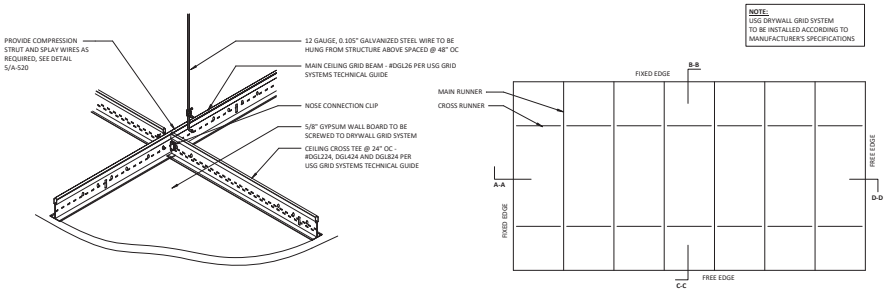
DRAWING INFORMATION
PROJECT #: 2412106
CHECKED BY: DM
DRAWN BY: CT

PARTITION AND WALL PROTECTION DETAILS

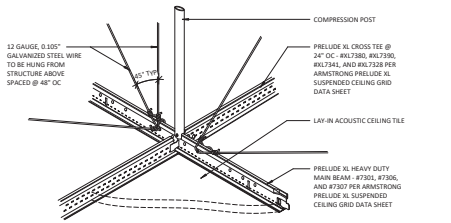
DRAWING NUMBER
A-510



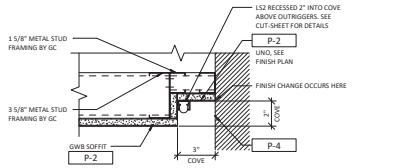
12 SUSPENDED ACOUSTIC CEILING TILE SYSTEM
SCALE: 3" = 1'-0"



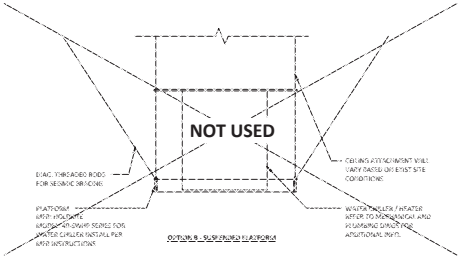
11 SUSPENDED GWB CEILING GRID SYSTEM
SCALE: 3" = 1'-0"



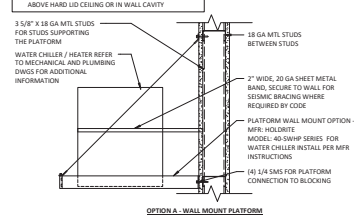
10 SUSPENDED ACT CEILNG COMPRESSION STRUT
SCALE: 3" = 1'-0"



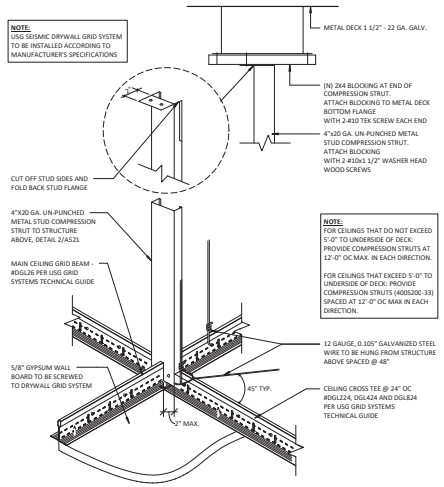
9 DIRECT WALL WASH @ PERIMETER COVE (STANDARD STORES)
SCALE: 3" = 1'-0"



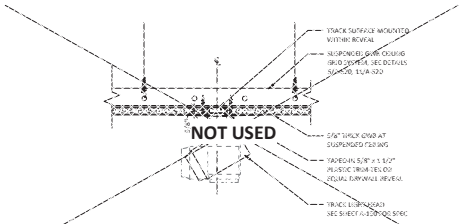
NOTES:
1. WATER CHILLER DISTANCE FROM WATER FEATURE TO BE 15'-0" MAX, AND BOTTOM OF WATER CHILLER TO BE 13'-0" AFF. GC TO COORD LOCATION WITH CONSTRUCTION MANAGER
2. GC TO PROVIDE ACCESS PANEL WHENEVER CHILLER IS ABOVE HARD LID CEILING OR IN WALL CAVITY



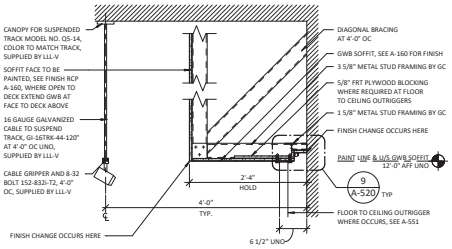
6 WATER CHILLER / HEATER MOUNTING DETAIL
SCALE: 1 1/2" = 1'-0"



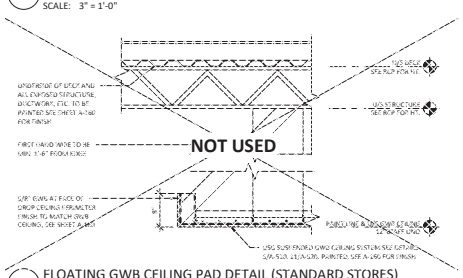
5 SUSPENDED GWB CEILNG COMPRESSION STRUT
SCALE: 3" = 1'-0"



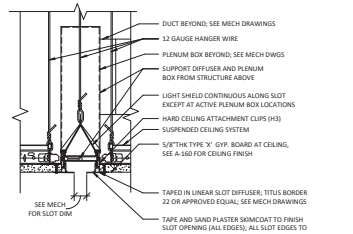
8 TAPED-IN RECESSED REVEAL DETAIL FOR TRACK LIGHTING
SCALE: 3" = 1'-0"



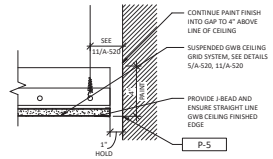
7 SOFFIT DETAIL WITH COVE (STANDARD STORES)
SCALE: 1" = 1'-0"



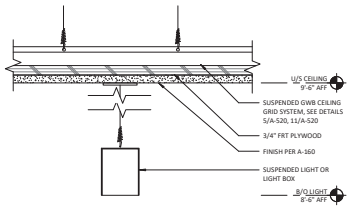
4 FLOATING GWB CEILING PAD DETAIL (STANDARD STORES)
SCALE: 1" = 1'-0"



3 TAPED-IN LINEAR SLOT DIFFUSER
SCALE: 3" = 1'-0"



2 RETURN SLOT AT FITROOM
SCALE: 3" = 1'-0"



1 SUSPENDED LIGHTING/LIGHT BOX
SCALE: 3" = 1'-0"

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ISSUED FOR PERMIT & BID
08/25/2025

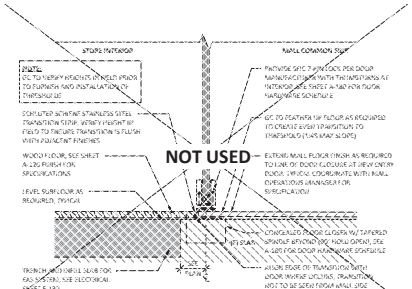
△	DATE	DESCRIPTION
	06/16/2025	ISSUED FOR DD REVIEW
	08/05/2025	ISSUED FOR CD REVIEW
	08/25/2025	ISSUED FOR PERMIT & BID

DRAWING INFORMATION
PROJECT #: 2412106
CHECKED BY: DM
DRAWN BY: CT

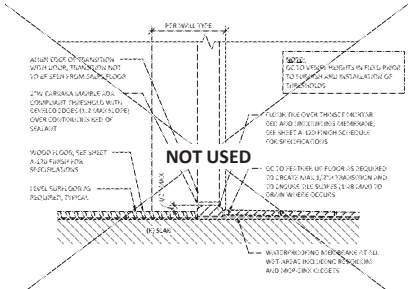
CEILING DETAILS

DRAWING NUMBER
A-520

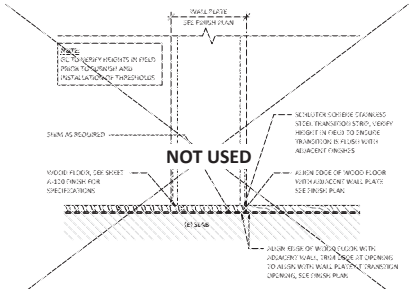
2025-08-25 8:56:11 PM



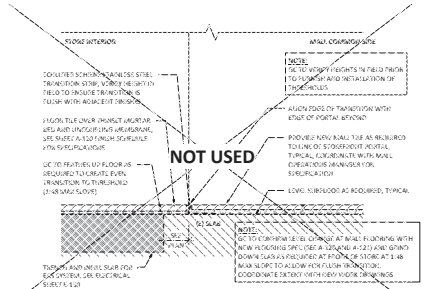
16 WOOD TO MALL TILE @ INTERIOR ENTRY DOOR
SCALE: 3" = 1'-0"



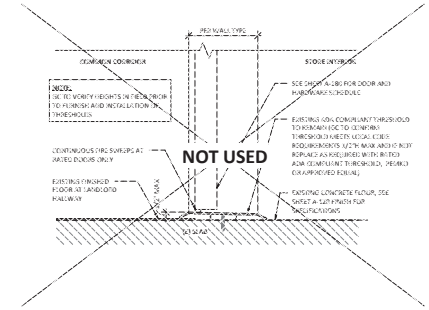
15 WOOD TO TILE @ RESTROOM
SCALE: 3" = 1'-0"



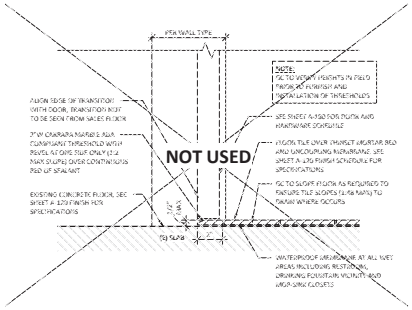
14 WOOD TO WOOD TRANSITION (CHANGE DIRECTION)
SCALE: 3" = 1'-0"



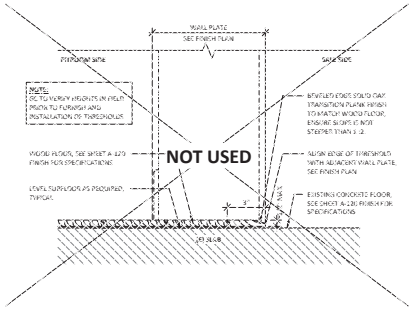
13 TILE TO MALL TILE @ INTERIOR ENTRY
SCALE: 3" = 1'-0"



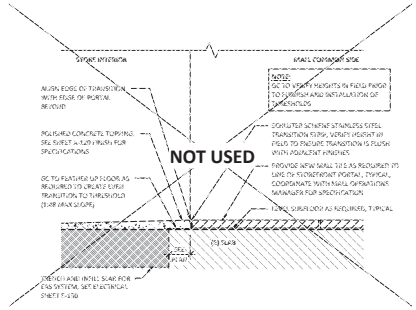
12 EXISTING CONCRETE TO COMMON CORRIDOR
SCALE: 3" = 1'-0"



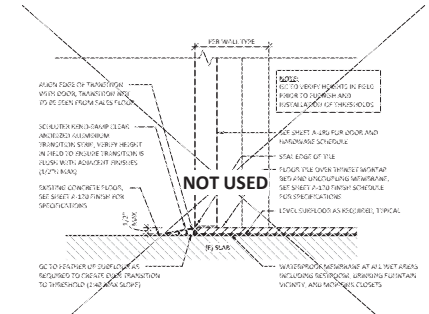
11 EXISTING CONCRETE TO TILE @ RESTROOM
SCALE: 3" = 1'-0"



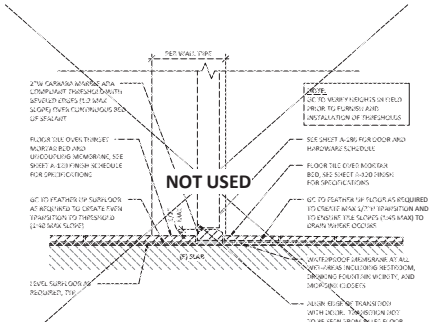
10 EXISTING CONCRETE TO WOOD
SCALE: 3" = 1'-0"



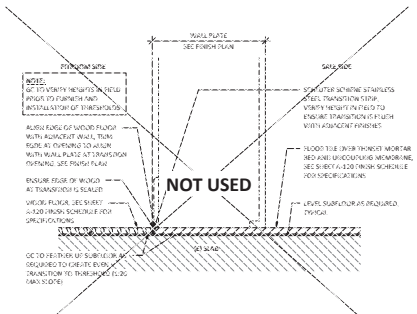
9 POLISHED CONCRETE TOPPING TO MALL TILE @ INTERIOR ENTRY
SCALE: 3" = 1'-0"



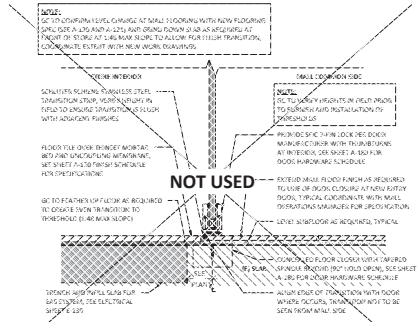
8 EXISTING CONCRETE TO TILE TRANSITION @ BOH
SCALE: 3" = 1'-0"



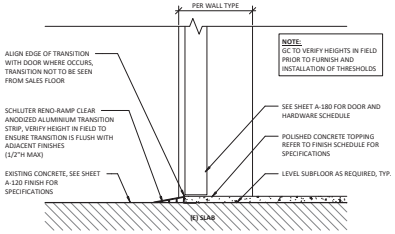
7 TILE TO TILE @ RESTROOM
SCALE: 3" = 1'-0"



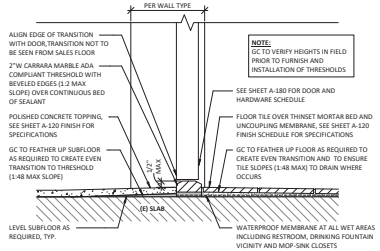
6 WOOD TO TILE @ SALES
SCALE: 3" = 1'-0"



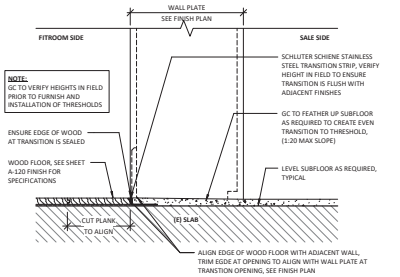
5 TILE TO MALL TILE @ INTERIOR ENTRY DOOR
SCALE: 3" = 1'-0"



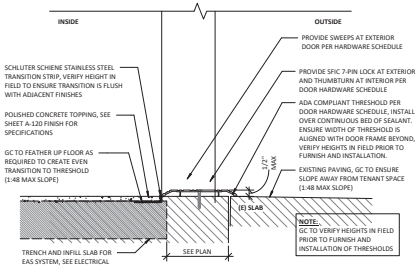
4 EXISTING CONCRETE TO POLISHED CONCRETE TOPPING @ BOH
SCALE: 3" = 1'-0"



3 POLISHED CONCRETE TOPPING TO TILE @ RESTROOM
SCALE: 3" = 1'-0"



2 WOOD TO POLISHED CONCRETE TOPPING @ SALES
SCALE: 3" = 1'-0"



1 POLISHED CONCRETE TOPPING TO EXTERIOR @ ENTRY DOOR
SCALE: 3" = 1'-0"

2025-08-25 8:56:13 PM

lululemon
1818 CORNWALL AVE.
VANCOUVER, B.C. V6J1C7

SUMMIT FAIR MALL
910 NW BLUE PKWY,
SUITE G, LEE'S SUMMIT
MO 64086

ARCHITECT
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	08/05/2025	ISSUED FOR CD REVIEW
	08/25/2025	ISSUED FOR PERMIT & BID

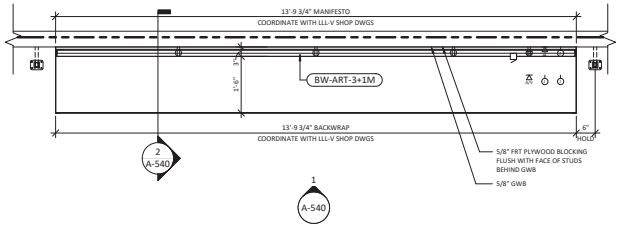
DRAWING INFORMATION
PROJECT #: 2412106
CHECKED BY: DM
DRAWN BY: CT

FLOOR DETAILS

DRAWING NUMBER
A-530

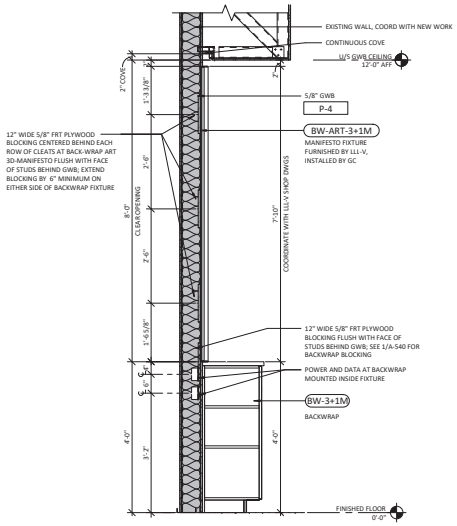
4 BACKWRAP 3D MANIFESTO

SCALE:



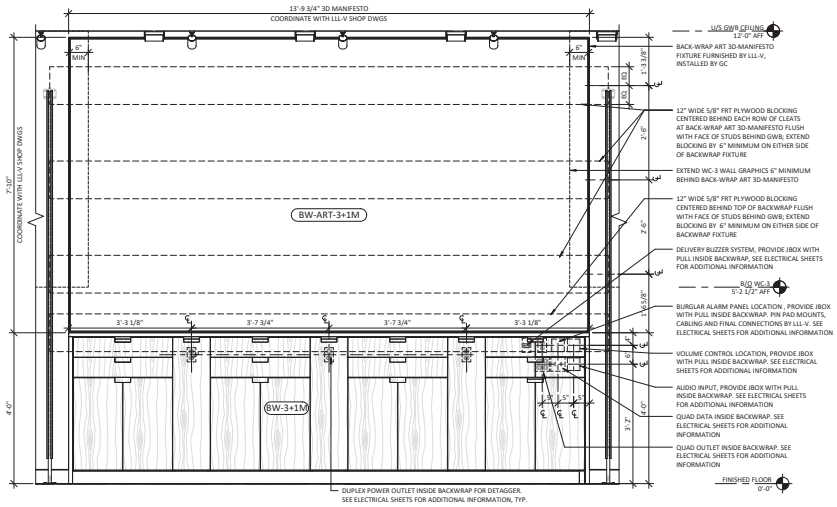
3 BACKWRAP 3D MANIFESTO PLAN VIEW

SCALE: 3/4" = 1'-0"



2 BACKWRAP 3D MANIFESTO SECTION

SCALE: 3/4" = 1'-0"



1 BACKWRAP 3D MANIFESTO ELEVATION

SCALE: 3/4" = 1'-0"

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DRAWING INFORMATION

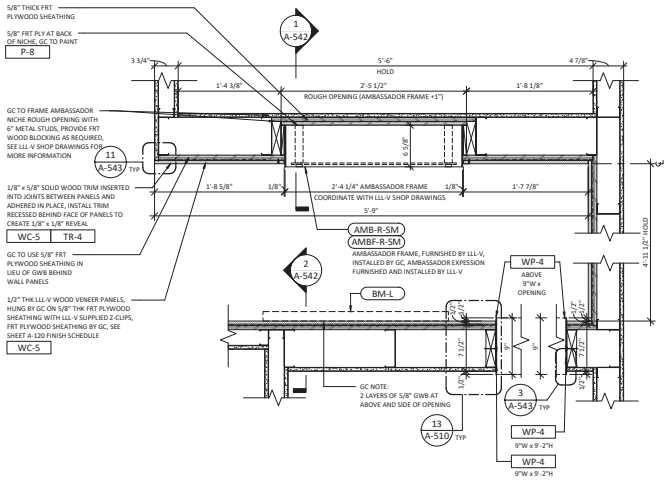
PROJECT #: 2412106
CHECKED BY: DM
DRAWN BY: CT

(STANDARD) BACKWRAP AND 3D MANIFESTO DETAILS

DRAWING NUMBER

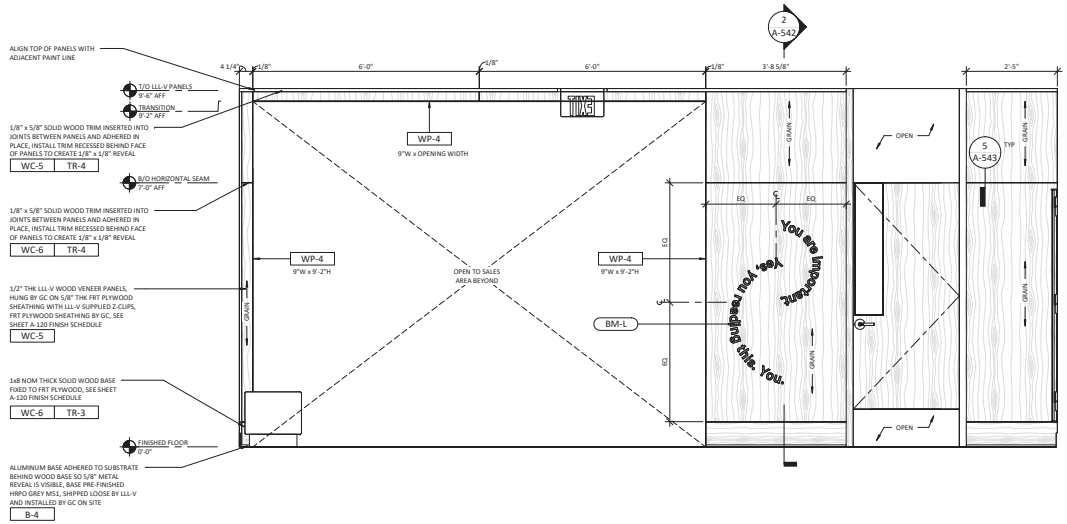
A-540

2025-08-25 8:58:31 PM



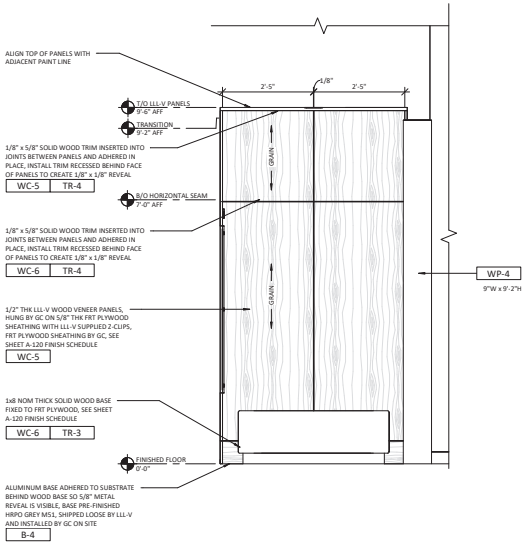
4 COMMUNITY WALL PLAN - STANDARD

SCALE: 1 1/2" = 1'-0"



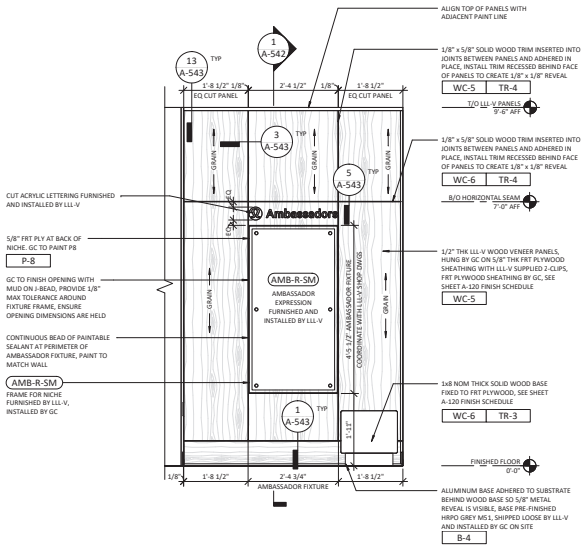
3 A541 COMMUNITY WALL ELEVATION

SCALE: 3/4" = 1'-0"



2 COMMUNITY WALL ELEVATION

SCALE: 3/4" = 1'-0"



1 COMMUNITY WALL ELEVATION - STANDARD

SCALE: 3/4" = 1'-0"

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08/05/2025	ISSUED FOR CD REVIEW
08/25/2025	ISSUED FOR PERMIT & BID

DRAWING INFORMATION

PROJECT #: 2412106
CHECKED BY: DM
DRAWN BY: CT

(STANDARD) - COMMUNITY WALL PLAN & ELEVATION

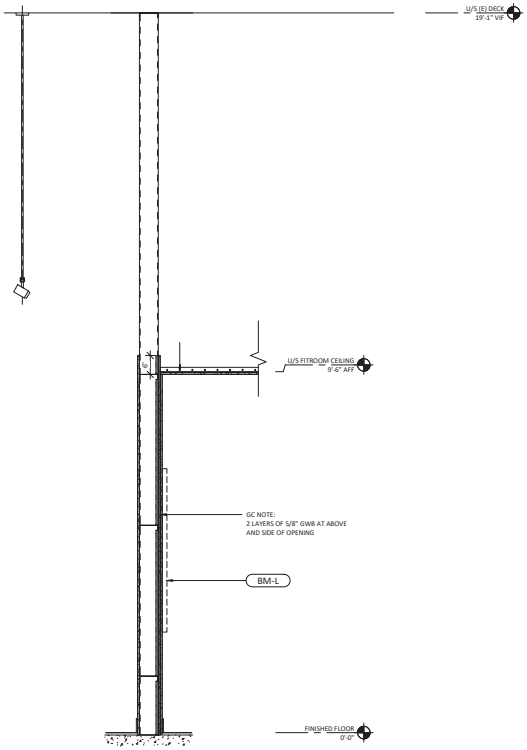
DRAWING NUMBER

A-541

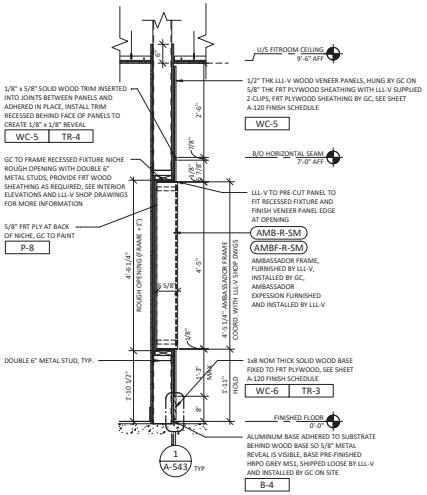
2025-08-25 8:58:34 PM

3 COMMUNITY WALL 3D VIEW
SCALE:

4 COMMUNITY WALL 3D VIEW
SCALE:



2 BRAND MOMENT SECTION - STANDARD
SCALE: 3/4" = 1'-0"



1 AMBASSADOR WALL SECTION - STANDARD
SCALE: 3/4" = 1'-0"

2025-08-25 9:02:02 PM

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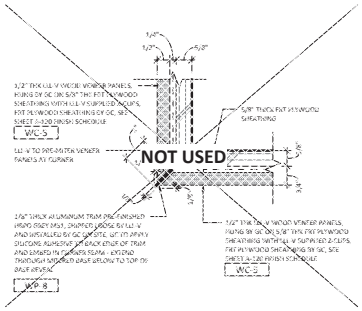
DRAWING INFORMATION
PROJECT #: 2412106
CHECKED BY: DM
DRAWN BY: CT

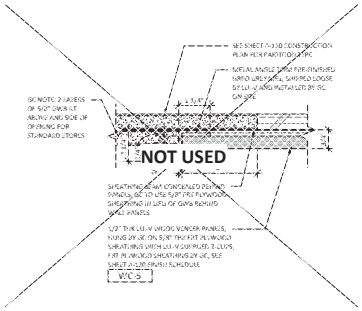
(STANDARD) COMMUNITY WALL DETAILS

DRAWING NUMBER
A-542



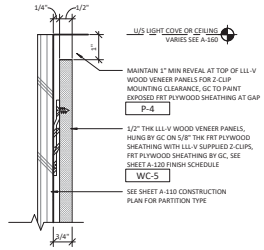
16 PLAN AT WOOD PANEL CORNER

SCALE: 6" = 1'-0"



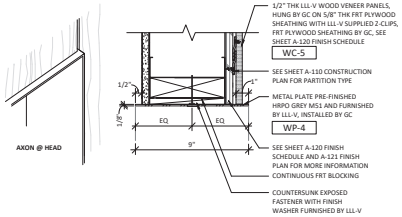
15 EDGE AT GWB TO WOOD PANEL ABOVE HEADER

SCALE: 6" = 1'-0"



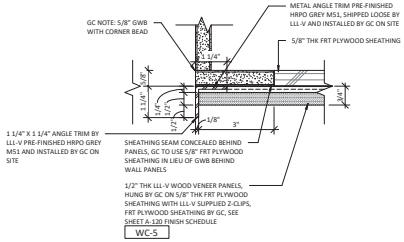
13 TOP AT WOOD VENEER PANELS AT CEILING / COVE

SCALE: 6" = 1'-0"



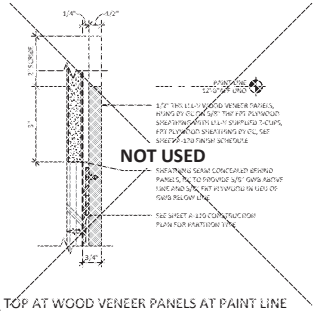
12 WP-4 HEAD DETAIL WITH WOOD VENEER PANELS ABOVE

SCALE: 3" = 1'-0"



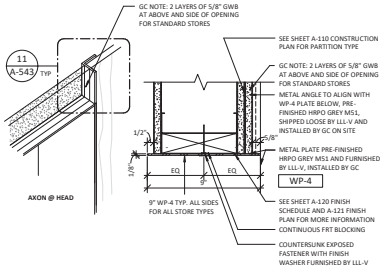
11 WOOD PANEL EDGE AT GWB CORNER

SCALE: 6" = 1'-0"



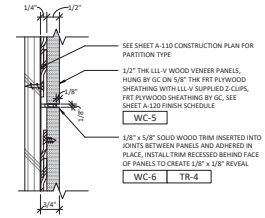
9 TOP AT WOOD VENEER PANELS AT PAINT LINE

SCALE: 6" = 1'-0"



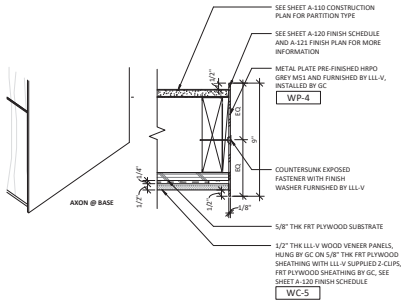
8 WP-4 HEAD DETAIL - GWB TO WOOD PANEL

SCALE: 3" = 1'-0"



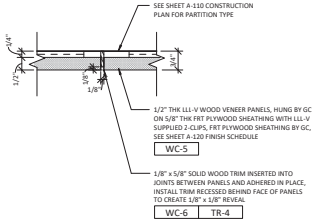
5 HORIZ. SEAM AT WOOD VENEER PANELS

SCALE: 6" = 1'-0"



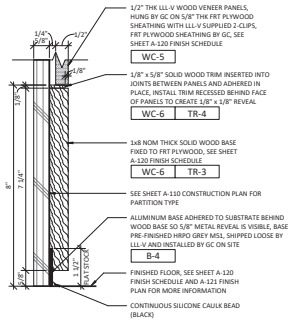
4 WP-4 END PLATE PLAN DETAIL AT WOOD VENEER PANELS

SCALE: 3" = 1'-0"



3 VERTICAL SEAM AT LLL-V PANELS (TYP.)

SCALE: 6" = 1'-0"



1 WOOD BASE AT WOOD VENEER PANELS

SCALE: 6" = 1'-0"

2025-08-25 9:02:04 PM

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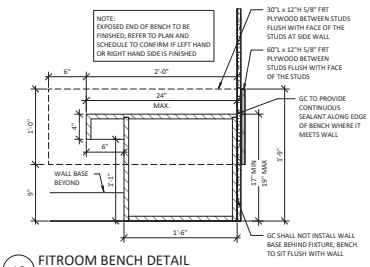
DRAWING INFORMATION

PROJECT #: 2412106
CHECKED BY: DM
DRAWN BY: CT

COMMUNITY WALL DETAILS

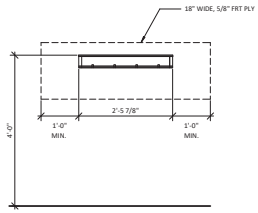
DRAWING NUMBER

A-543



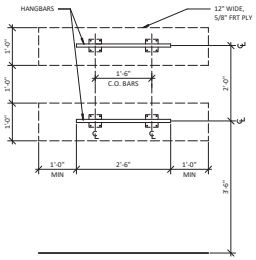
12 FITROOM BENCH DETAIL

SCALE: 1 1/2" = 1'-0"



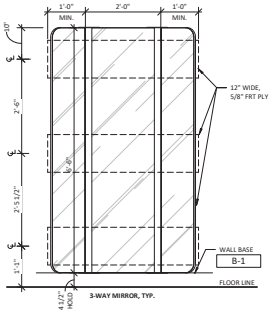
11 FITROOM SHELF DETAIL

SCALE: 3/4" = 1'-0"



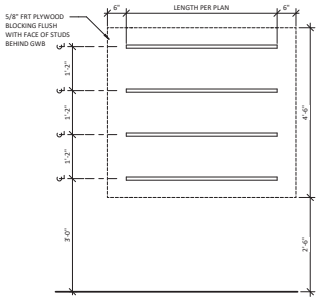
10 FITROOM HANGBAR DETAIL

SCALE: 3/4" = 1'-0"



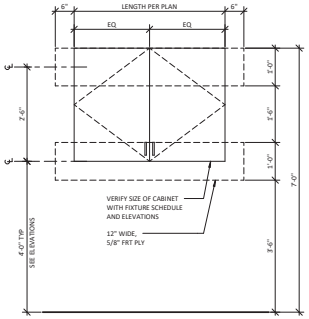
9 3-WAY MIRROR

SCALE: 3/4" = 1'-0"



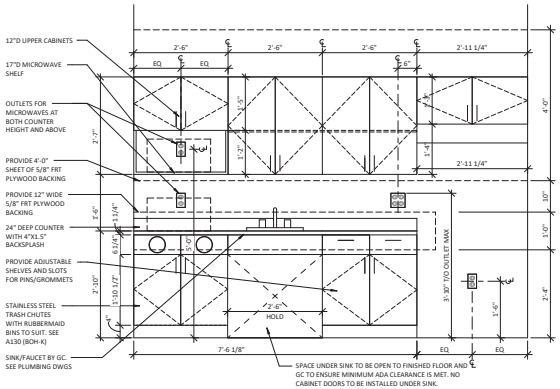
7 GOAL RAILS DETAIL

SCALE: 3/4" = 1'-0"



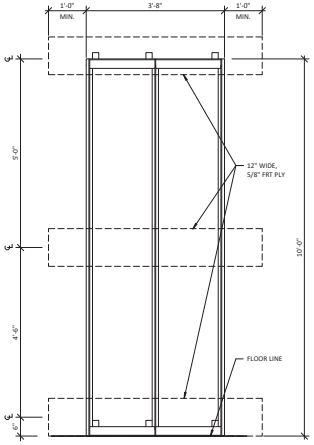
6 RESTROOM CABINET DETAIL

SCALE: 3/4" = 1'-0"



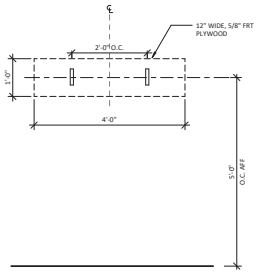
5 KITCHENETTE ENLARGED ELEVATION

SCALE: 3/4" = 1'-0"



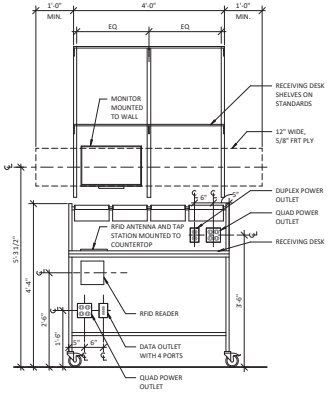
4 HANGER MANAGEMENT DETAIL

SCALE: 3/4" = 1'-0"



3 CHAIR HOOK DETAIL

SCALE: 3/4" = 1'-0"



2 RECEIVING DESK DETAIL

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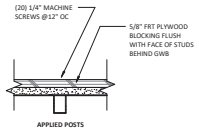
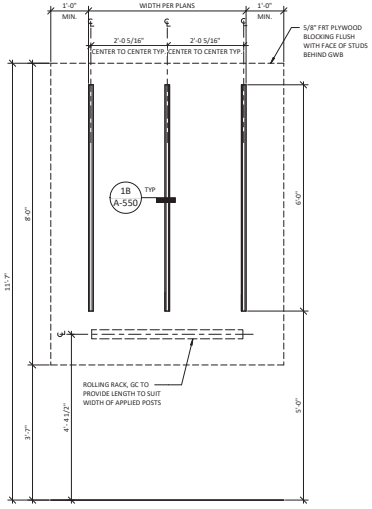


1B BOH APPLIED POSTS PLAN

SCALE: 3" = 1'-0"



1 BOH APPLIED POSTS BLOCKING DETAIL

SCALE: 3/4" = 1'-0"

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DRAWING INFORMATION

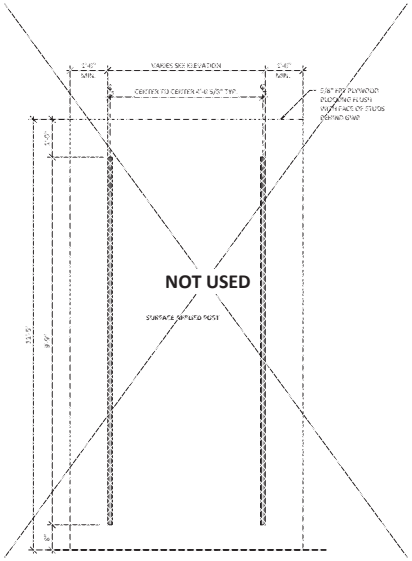
PROJECT #: 2412106
CHECKED BY: DM
DRAWN BY: CT

TYPICAL MILLWORK DETAILS

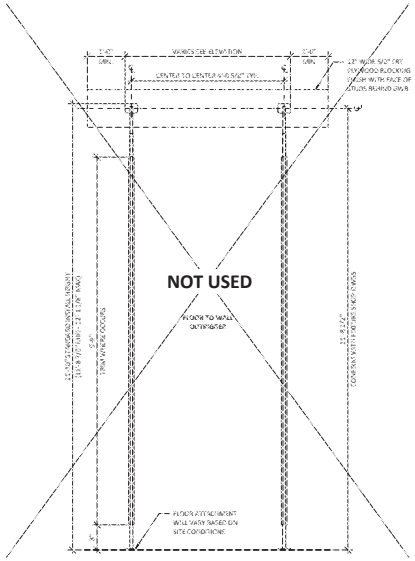
DRAWING NUMBER

A-550

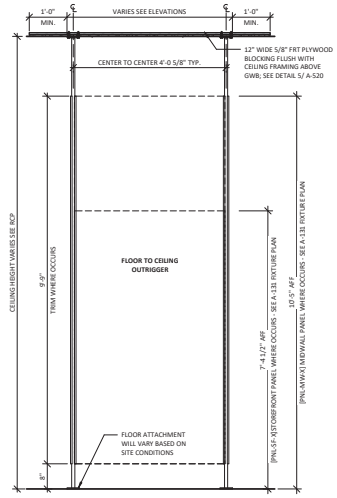
2025-08-26 8:32:01 AM



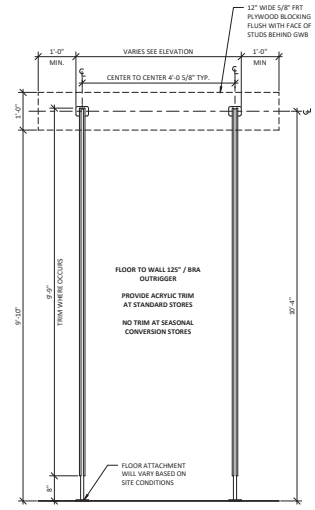
6 FOH APPLIED POSTS BLOCKING DETAIL
SCALE: 3/4" = 1'-0"



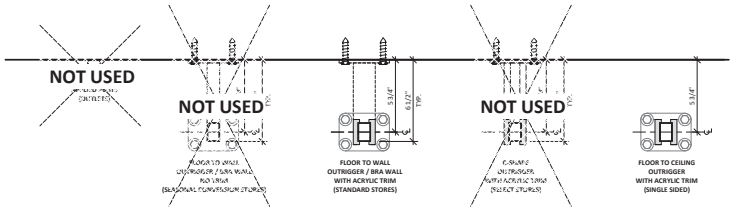
5 FLOOR TO WALL OUTRIGGER BLOCKING DETAIL
SCALE: 3/4" = 1'-0"



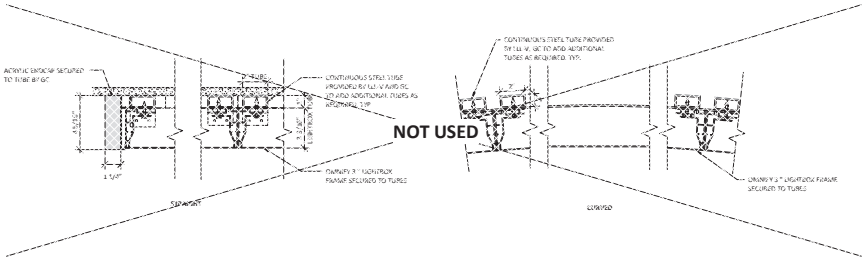
4 FLOOR TO CEILING OUTRIGGER BLOCKING DETAIL
SCALE: 3/4" = 1'-0"



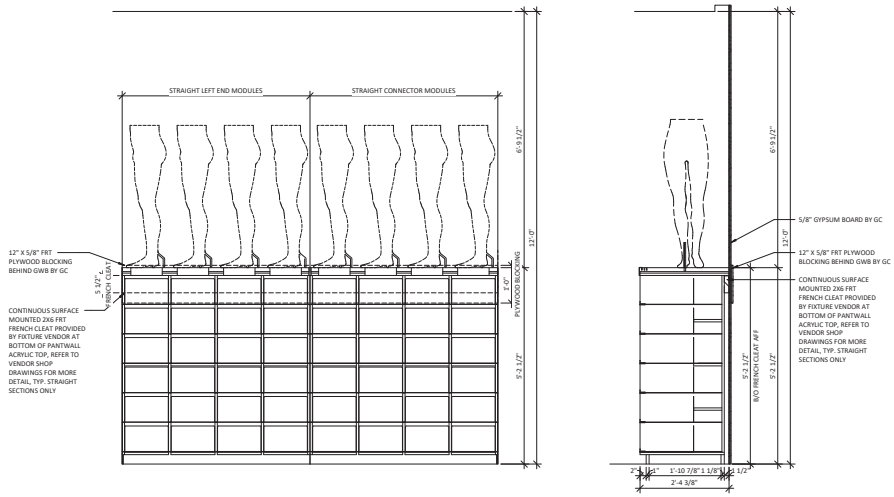
3 FLOOR TO WALL 125" OUTRIGGER BLOCKING DETAIL
SCALE: 3/4" = 1'-0"



7 OUTRIGGER OFFSET FROM WALL PLAN DETAIL, TYPICAL
SCALE: 3" = 1'-0"



2 BACKLIT PANT WALL PLAN DETAIL
SCALE: 3" = 1'-0"



1 PANT WALL BLOCKING DETAIL - NO LIGHTBOX (XS/S STORES ONLY)
SCALE: 3/4" = 1'-0"

2025-08-25 9:02:07 PM

lululemon
1818 CORNWALL AVE.
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SEAL
LICENSED NAME, ARCHITECT

ISSUED FOR PERMIT & BID

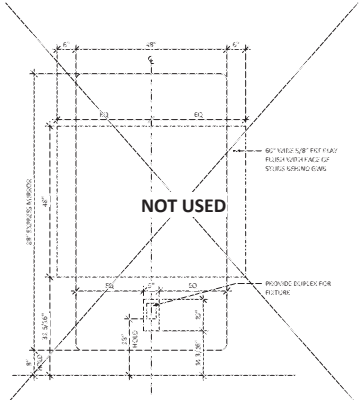
08/25/2025

DATE	DESCRIPTION
06/16/2025	ISSUED FOR DD REVIEW
08/05/2025	ISSUED FOR CD REVIEW
08/25/2025	ISSUED FOR PERMIT & BID

DRAWING INFORMATION
PROJECT #: 2412106
CHECKED BY: DM
DRAWN BY: CT

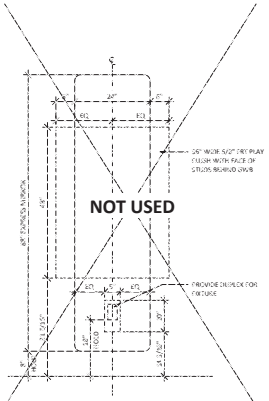
TYPICAL MILLWORK DETAILS

DRAWING NUMBER
A-551



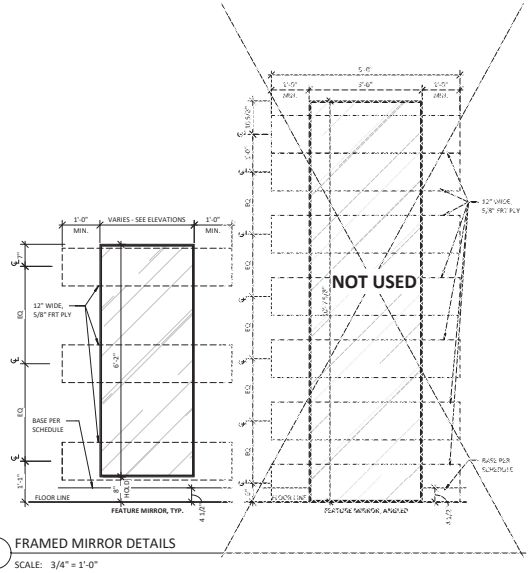
7 48" EXPRESS MIRROR - BLOCKING DETAIL

SCALE: 3/4" = 1'-0"



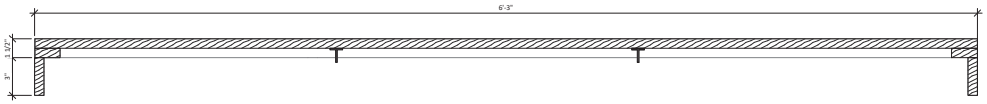
6 24" EXPRESS MIRROR - BLOCKING DETAIL

SCALE: 3/4" = 1'-0"



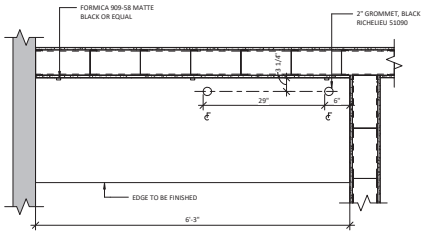
5 FRAMED MIRROR DETAILS

SCALE: 3/4" = 1'-0"



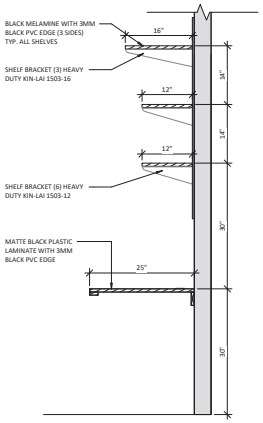
4 MANAGER DESK DRAWER DETAIL

SCALE: 3" = 1'-0"



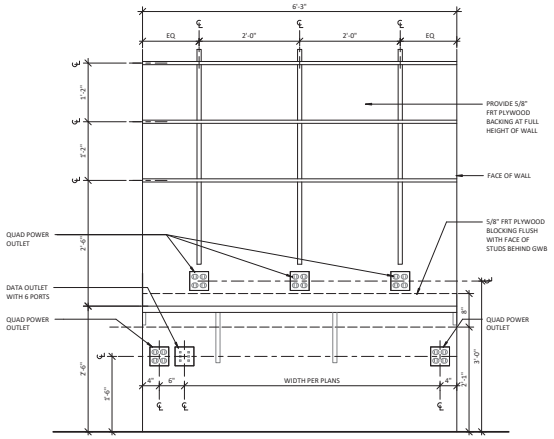
3 MANAGER DESK DRAWER DETAIL - PLAN

SCALE: 1" = 1'-0"



2 MANAGER DESK SECTION

SCALE: 1" = 1'-0"



1 MANAGER'S DESK DETAIL

SCALE: 1" = 1'-0"

lululemon

1818 CORNWALL AVE.
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DRAWING INFORMATION

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DRAWN BY: CT

TYPICAL MILLWORK DETAILS

DRAWING NUMBER

A-552

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SEE MECHANICAL, ELECTRICAL, PLUMBING, SPRINKLER, AND FIRE ALARM DRAWINGS FOR SPEIFICATION DIVISIONS RELATING TO THOSE DISCIPLINES

DIVISION 00 - GENERAL CONDITIONS
SECTION 007200 - GENERAL CONDITIONS:
OWNER'S STANDARD GENERAL CONDITIONS FOR CONSTRUCTION ARE INCORPORATED INTO THE CONTROLLING CONTRACT FOR CONSTRUCTION. A COPY WILL BE MADE AVAILABLE BY OWNER (LULULEMON) UPON REQUEST.

DIVISION 01 - GENERAL REQUIREMENTS
SECTION 011000 - SUMMARY
1.1 - CONTRACT DOCUMENTS
- DOCUMENTS
A. CONTRACTOR SHALL USE THE FOLLOWING OWNER (LULULEMON) PROVIDED DOCUMENTS IN THE NEGOTIATION AND EXECUTION OF THE WORK. CONTACT OWNER'S PROJECT MANAGER (PER PROJECT DIRECTORY SHEET A-000) FOR COPIES OF THESE DOCUMENTS:
1. LULULEMON ATHLETICA INSTRUCTIONS TO BIDDERS.

1.2 - CONSTRUCTION CONTRACT FOR LULULEMON
A. DEFINITIONS
1. THE TERM OWNER OR LLL USED IN THESE DOCUMENTS REFERS TO LULULEMON.
2. THE TERM LANDLORD OR LLD USED IN THESE DOCUMENTS REFERS TO THE SHELL BUILDING OWNER.
3. THE TERM CONTRACTOR OR GC USED IN THESE DOCUMENTS REFERS TO THE GENERAL CONTRACTOR (INCLUDING THEIR SUB-CONTRACTORS) CONTRACTED BY THE OWNER TO EXECUTE THE WORK INCLUDED IN THE CONTRACT DOCUMENTS.
4. THE TERM OWNER'S VENDOR OR LULULEMON VENDOR OR LLL-V REFERS TO OWNER'S VENDORS CONTRACTED BY THE OWNER OTHER THAN THE GENERAL CONTRACTOR.

2.1 - SUMMARY OF WORK
A. THE WORK SHALL INCLUDE CONSTRUCTION OF THE SITE AND BUILDING FACILITIES AS SHOWN AND SPECIFIED IN THESE SPECIFICATIONS AND DRAWINGS.
B. THE OWNER, WITHOUT INVALIDATING THE CONTRACT, MAY ORDER EXTRA WORK, ALTER, ADD TO, OR DEDUCT FROM THE CONTRACT WORK. THE CONTRACT SUM WILL BE ADJUSTED ACCORDINGLY. ALL CHANGES MUST BE INCORPORATED INTO THE CONSTRUCTION DOCUMENTS IN WRITING.
C. INITIATION OF WORK BY THE CONTRACTOR REPRESENTS THAT THE GENERAL CONTRACTOR AND DEMOLITION CONTRACTOR VISITED THE SITE PRIOR TO BIDDING, ARE FAMILIAR WITH THE SITE CONDITIONS AND INCORPORATED THE CONDITIONS INTO THE SCOPE OF WORK. LACK OF SITE VISIT DOES NOT REMOVE RESPONSIBILITY OF ACCEPTING VISIBLE EXISTING SITE CONDITIONS FROM CONTRACTOR.
D. CONCEALED UNFORESEEN CONDITIONS THAT ARE EXPOSED DURING WORK SHALL BE RESOLVED THROUGH THE RFI PROCESS, SECTION 013200
E. **APPENDIX A - RENOVATIONS AND RELOCATIONS**

END OF SECTION - 011000

SECTION 013000 - ADMINISTRATIVE REQUIREMENTS
1.1- COORDINATION
A. INFORM THE OWNER'S REPRESENTATIVE OF DISCREPANCIES BETWEEN THE INFORMATION INDICATED IN THE CONTRACT DOCUMENTS AND EXISTING PROJECT CONDITIONS, AND OF DISCREPANCIES BETWEEN INFORMATION INDICATED ON THE ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING, FIRE PROTECTION AND ELECTRICAL DOCUMENTS. UPON COMPLETION OF SELECTIVE DEMOLITION WORK, FIELD MEASURE THE PROPERTY AND CONFIRM IN WRITING USING SHEET TO THE OWNER'S PROJECT MANAGER. THE OVERALL DIMENSIONS MUST MATCH DIMENSIONS INDICATED ON THE DRAWINGS. CONTRACTOR TO MARK-UP ANY DISCREPANCIES ON CONSTRUCTION PLAN SHEET AND SEND TO THE OWNER'S PROJECT MANAGER. IMMEDIATELY INFORM THE ARCHITECT AND THE OWNER'S PROJECT MANAGER IF DISCREPANCIES OCCUR.
B. PRIOR TO FABRICATION AND INSTALLATION OF NEW COMPONENTS, FIELD VERIFY ALL EXISTING AND NEW DIMENSIONS AND INSTALLATION CONDITIONS THAT MAY AFFECT THE WORK. SUBMIT A REQUEST FOR INFORMATION (RFI) FOR ANY DISCREPANCY FOUND. DO NOT SCALE THE DRAWINGS TO ESTABLISH LOCATIONS OF ITEMS THAT ARE NOT LOCATED USING DIMENSIONS.
1. ALL DIMENSIONS ARE FACE OF FINISH TO FACE OF FINISH, UNLESS OTHERWISE INDICATED.
2. COORDINATE LOCATIONS OF REGISTERS, FIXTURES, AND OUTLETS WITH FINISH ELEMENTS.
C. COORDINATE NEW WORK INDICATED ON THE CONTRACT DOCUMENTS WITH NEW WORK THAT MAY BE PROVIDED BY THE LANDLORD AND OWNER UNDER SEPARATE CONTRACTS, AS IDENTIFIED BY LANDLORD WORK DRAWINGS OR WORK LETTER, GC TO REQUEST THESE ITEMS PRIOR TO BID.
D. COORDINATE THE WORK OF VENDORS, CONTRACTORS, AND SUBCONTRACTORS PROVIDING FIXTURES, FURNITURE, AND EQUIPMENT IDENTIFIED AS BY OWNER OR BY OWNER'S VENDOR IN THESE DRAWINGS AND SPECIFICATIONS.
1. NOTIFY THE OWNER'S PROJECT MANAGER WITHIN 24 HOURS IF ANY PROBLEMS DEVELOP WITH THE PERFORMANCE OF THESE VENDORS, CONTRACTORS, OR SUBCONTRACTORS.
E. COORDINATE THE SCHEDULING, SEQUENCING, AND THE WORK OF ALL TRADES AND SUBCONTRACTORS TO ASSURE EFFICIENT AND ORDERLY SEQUENCES OF INSTALLATION OF INTERDEPENDENT CONSTRUCTION ELEMENTS.
F. VERIFY THAT THE UTILITY REQUIREMENT CHARACTERISTICS OF OPERATING EQUIPMENT ARE COMPATIBLE WITH THE BUILDING UTILITY SERVICES. COORDINATE SUCH EQUIPMENT
G. COORDINATE THE INSTALLATION AND PHYSICAL SPACE REQUIREMENTS OF PLUMBING, MECHANICAL AND ELECTRICAL WORK THAT ARE INDICATED DIAGRAMMATICALLY ON THE DRAWINGS. FOLLOW ROUTING SHOWN FOR PIPING, DUCTS, AND CONDUIT AS CLOSELY AS PRACTICAL. INSTALL RUNS PARALLEL WITH AND PERPENDICULAR TO THE LINE OF THE BUILDING. UTILIZE SPACES AS EFFICIENTLY AS POSSIBLE TO MAXIMIZE ACCESSIBILITY FOR OTHER WORK INSTALLATION AND FOR MAINTENANCE AND REPAIR.
1. CONCEAL PIPING, DUCTS, AND CONDUIT WITHIN THE CONSTRUCTION, EXCEPT AS OTHERWISE NOTED.
H. COORDINATE COMPLETION AND CLEANUP WORK OF ALL TRADES AND SUBCONTRACTORS IN PREPARATION FOR CONSTRUCTION PUNCH. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE FINAL CLEAN UP OF THE ENTIRE PREMISES TO INCLUDE BUT NOT LIMITED TO FLOORS, MILLWORK, FIXTURES, ETC. PRIOR TO TURNOVER.
I. TO MINIMIZE DISRUPTION OF OWNER'S ACTIVITIES AFTER OWNER OCCUPANCY OF THE PROPERTY, COORDINATE ACCESS TO THE PROPERTY WITH THE OWNER'S PROJECT MANAGER FOR CORRECTION OF DEFECTIVE WORK AND WORK NOT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL WORK SHALL ALWAYS BE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL WORK SHALL ALWAYS BE ACCESSIBLE TO THE OWNER'S PROJECT MANAGER.
J. THE CONTRACTOR SHALL SCHEDULE AND COORDINATE WITH THE LANDLORD, THROUGH THEIR AUTHORIZED REPRESENTATIVE, ALL WORK WHICH MAY CAUSE INTERRUPTION TO THE EXISTING MECHANICAL, ELECTRICAL SYSTEM, OR BUILDING OPERATIONS. ADVANCED NOTICE SHALL ALSO BE GIVEN TO THE LANDLORD'S REPRESENTATIVE FOR ANY WORK WHICH WILL INTERFERE WITH THE FIRE SAFETY AND SECURITY SYSTEMS WITHIN THE BUILDING. GC TO REQUEST LANDLORD RULES AND REGULATIONS AT TIME OF BIDDING.
K. THE CONTRACTOR ALONE SHALL BE RESPONSIBLE FOR SAFETY OF THE EXISTING STRUCTURE AND ALTERATIONS TO THE EXISTING STRUCTURE DURING THE ENTIRE CONSTRUCTION. GC SHALL DOCUMENT CONDITIONS AT POSSESSION DATE AND REVIEW WITH LULULEMON PRIOR TO TAKING POSSESSION. THE CONTRACTOR SHALL TAKE ADEQUATE PRECAUTIONS TO PREVENT DAMAGE TO THE EXISTING STRUCTURE IN ANY WAY. DAMAGE TO THE EXISTING STRUCTURE, IF OCCURS, SHALL BE RECTIFIED TO THE SATISFACTION OF THE LANDLORD AT NO EXTRA COST TO THE LANDLORD OR THE OWNER.
L. THE CONTRACTOR SHALL NOT DETAIL, ORDER, AND/OR FABRICATE ANY MATERIAL WITHOUT COORDINATING SAME WITH THE ACTUAL FIELD CONDITIONS. THE CONTRACTOR ALONE IS RESPONSIBLE FOR THE PROPER FITTING AND CONNECTION OF THE NEW CONSTRUCTION TO THE EXISTING CONSTRUCTION.
M. THE CONTRACTOR SHALL ACCEPT AND UNLOAD DELIVERY OF ALL OWNER OR OWNER'S VENDOR FURNISHED CONSTRUCTION MATERIALS, AND FIXTURES UNLESS OTHERWISE SPECIFIED BY OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MATERIALS ONCE DELIVERED. UPON ARRIVAL, CONTRACTOR MUST CHECK THE CONDITION AND QUANTITIES OF THE MATERIALS DELIVERED AND CONTRACTOR MUST SIGN THE TRUCKER'S TICKET INDICATING ALL DAMAGES AND/OR SHORTAGES AND SEND THE SIGNED TICKETS TO THE OWNER WITHIN 48 HOURS. FAILURE TO DO SO WILL BE DEEMED THAT ALL MATERIALS ARRIVED WITHOUT DAMAGE AND QUANTITIES. ANY FUTURE CLAIMS OF DAMAGES TO MATERIALS OR SHORTAGES FURNISHED BY THE OWNER OR OWNER'S VENDOR WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
N. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY REDELIVERY CHARGES OF MATERIALS FURNISHED BY THE OWNER OR OWNER'S VENDOR IF CONTRACTOR REFUSES ORIGINAL SCHEDULED DELIVERY FOR REASONS NOT RELATED TO VIOLATIONS OF LANDLORD RULES AND REGULATIONS INCLUDING PPE, DELIVERY PROCEDURES, OSHA, AND PROPER DELIVERY EQUIPMENT (IE LIFT GATES, PALLER JACKS ETC)
O. IT IS THE INTENT OF THE OWNER TO HAVE LULULEMON PERSONNEL ON HAND TO RECEIVE DELIVERY OF STORE SUPPLIES, ETC. IF A DELIVERY ARRIVES AND STORE PERSONNEL ARE NOT ON SITE, THE DELIVERY IS NOT TO BE REFUSED WITHOUT FIRST CHECKING WITH THE OWNER'S PROJECT MANAGER. REFER TO LULULEMON VENDOR DELIVERY SHCEDULE (VDS).
P. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING BEHIND OTHER TRADES INCLUDING THE PATCHING OF FRAME WALLS, CEILING, OR PARTITIONS MADE NECESSARY BY THE SUBCONTRACTORS AND OWNER VENDORS FOR THE ABOVE MENTIONED ITEMS IN A FIRST CLASS WORKMANSHIP LIKE MANNER. PATCHING ONLY FOR WORK WITHIN THIS CONTRACT SHALL BE DONE.

END OF SECTION - 013000

SECTION 013100 - SUBMITTALS
A. WHEN INDICATED ON THE DRAWINGS, SUBMIT SHOP DRAWINGS, PRODUCT DATA, AND SAMPLES TO THE ARCHITECT (CC: OWNER'S PROJECT MANAGER AND STORE DESIGNER) FOR ACCEPTANCE. MAKE SUBMITTALS IN TIME TO ALLOW FIVE (5) DAYS FOR REVIEW AND RETURN, UNLESS MATERIAL SHORTAGES OR DELIVERY SCHEDULE NECESSITATE SPECIAL HANDLING FOR QUICKER TURN-AROUND TIME. NOTIFY ARCHITECT (CC: OWNER'S PROJECT MANAGER AND STORE DESIGNER) OF SPECIAL HANDLING REQUIREMENTS AT TIME OF SUBMITTAL. PROVIDE SUBMITTALS AS FOLLOWS:
1. SHOP DRAWINGS: SEND PDF FILES TO THE ARCHITECT (CC: OWNER'S PROJECT MANAGER AND STORE DESIGNER).
2. PRODUCT DATA: SEND PDF FILES TO THE ARCHITECT (CC: OWNER'S PROJECT MANAGER AND STORE DESIGNER).
3. ARCHITECT WILL REVIEW AND RETURN ACCEPTED SHOP DRAWINGS AND PRODUCT DATA TO THE CONTRACTORS AS A PDF FILE WITHIN THREE (3) DAYS.
4. SAMPLES: SUBMIT THREE (3) SETS EACH OF PHYSICAL SAMPLES, OR THREE SETS EACH OF MANUFACTURER'S COLOR AND FINISH SAMPLES, OR CHARTS, AND COLOR PLATES FOR ACCEPTANCE IMMEDIATELY FOLLOWING APPROVAL OF SUBCONTRACTOR'S FURNISHING THE REQUIRED MATERIALS. ONLY SUBMIT SAMPLES WHEN REQUESTED, WHEN REQUIRED WITHIN THE CONTRACT DOCUMENTS, OR IF SUBSTITUTION IS REQUESTED AND APPROVED.
B. ARCHITECT WILL RETAIN TWO (2) SETS OF PHYSICAL SAMPLES/COLOR AND FINISH SAMPLES/CHARTS AND COLOR PLATES AND RETURN ONE (1) SET TO THE CONTRACTOR FOR CONTRACTOR'S DOCUMENTS.
C. ARCHITECT TO FORWARD SAMPLE OF ALL APPROVED MATERIALS AND FINISHES TO THE OWNER'S PROJECT MANAGER AND STORE DESIGNER FOR FIELD VERIFICATION
D. THE OWNER WILL REQUIRE THAT THE CONTRACTOR REVIEW AND APPROVE SUBMITTALS BEFORE SUBMITTING THEM TO THE ARCHITECT AND THE CONTRACTOR SHALL INDICATE THAT IT HAS DONE SO BY SIGNING THE SUBMITTAL. CHANGES, IF ANY, SHALL BE SHOWN AND FLAGGED ON THE SUBMITTALS, BUT THE SUBMITTALS SHALL NOT BE USED AS A SUBSTITUTE FOR REQUESTS OR APPROVALS OF SUBSTITUTIONS OR OTHER CHANGES, OR OTHER PROCEDURES REQUIRED BY THE CONTRACT DOCUMENTS. THE OWNER AGREES THAT IF THE CONTRACTOR INTENDS TO MAKE A CLAIM BASED UPON THE SUBMITTALS OR NOTATIONS BY THE ARCHITECT ON RETURNED SUBMITTALS, THE CONTRACTOR SHALL BE REQUIRED TO SO NOTIFY THE ARCHITECT IMMEDIATELY (CC: OWNER'S PROJECT MANAGER AND STORE DESIGNER).

END OF SECTION - 013100

SECTION 013200 - REQUESTS FOR INFORMATION (RFI)
A. IN THE EVENT THAT THE GENERAL CONTRACTOR, OR A SUBCONTRACTOR, AT ANY TIER, DETERMINES THAT SOME PORTION OF THE DRAWINGS, SPECIFICATIONS, OR OTHER CONTRACT DOCUMENTS REQUIRES A CLARIFICATION OR INTERPRETATION BY THE ARCHITECT, THE GENERAL CONTRACTOR SHALL SUBMIT A REQUEST FOR INFORMATION (RFI) BY THE PROCESS SET FORTH BY THE OWNER. ALL RFIS SHALL BE DIRECTED TO THE ARCHITECT USING ONLINE RFI TOOLS, IE EMAIL, PLANGRID, PROCORE OR EQUAL (CC: OWNER'S PROJECT MANAGER AND STORE DESIGNER).
B. REQUESTS FOR INFORMATION MAY ONLY BE SUBMITTED BY THE GENERAL CONTRACTOR AND MAY ONLY BE SUBMITTED BY THE MEANS SET FORTH BY THE OWNER. THE GENERAL CONTRACTOR SHALL CLEARLY AND CONCISELY SET THE ISSUE FOR WHICH CLARIFICATION OR INTERPRETATION IS SOUGHT AND WHY A RESPONSE IS NEEDED FROM THE ARCHITECT, ARCHITECT'S CONSULTANTS, OR THE OWNER'S PROJECT MANAGER. IN THE REQUEST FOR INFORMATION, THE GENERAL CONTRACTOR SHALL SET FORTH AN INTERPRETATION OR UNDERSTANDING OF THE REQUIREMENT ALONG WITH AN EXPLANATION OF WHY SUCH AN UNDERSTANDING WAS REACHED, AS WELL AS SCHEDULE AND COST IMPLICATIONS. GC SHALL INCLUDE PHOTOS OF CONDITIONS IN QUESTION.
C. RESPONSES TO REQUESTS FOR INFORMATION SHALL BE REVIEWED AND RESPONDED TO UPON RECEIPT, BUT NO LATER THAN TWO (2) WORKING DAYS OF RECEIPT OF THE REQUEST FROM THE GENERAL CONTRACTOR; UNLESS THE ARCHITECT OR CONSTRUCTION MANAGER DETERMINES THAT A LONGER AMOUNT OF TIME IS NECESSARY TO PROVIDE AN ADEQUATE RESPONSE. IF A LONGER AMOUNT OF TIME THAN 24 HOURS IS DETERMINED NECESSARY BY THE ARCHITECT, THE ARCHITECT WILL, WITHIN 24 HOURS OF RECEIPT OF THE REQUEST, NOTIFY THE GENERAL CONTRACTOR OF THE ANTICIPATED RESPONSE TIME. IF THE GENERAL CONTRACTOR SUBMITS A REQUEST FOR INFORMATION ON AN ACTIVITY WITH THREE (3) WORKING DAYS OR LESS OF FLOAT ON THE CURRENT PROJECT SCHEDULE THE GENERAL CONTRACTOR SHALL NOT BE ENTITLED TO ANY TIME EXTENSION DUE TO THE TIME IT TAKES THE ARCHITECT OR THE OWNER'S PROJECT MANAGER TO RESPOND TO THE REQUEST PROVIDED THAT THE ARCHITECT OR THE OWNER'S PROJECT MANAGER RESPONDS WITHIN THE PARAMETERS SET FORTH ABOVE.
D. RESPONSES TO REQUESTS FOR INFORMATION FROM THE ARCHITECT WILL NOT CHANGE ANY REQUIREMENTS OF THE CONTRACT DOCUMENTS. IN THE EVENT THAT THE GENERAL CONTRACTOR BELIEVES THAT A RESPONSE TO A REQUEST FOR INFORMATION WILL CAUSE A CHANGE TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, THE GENERAL CONTRACTOR SHALL IMMEDIATELY GIVE WRITTEN NOTICE TO THE ARCHITECT (CC: THE OWNER'S PROJECT MANAGER) STATING THAT THE GENERAL CONTRACTOR CONSIDERS THE RESPONSE TO BE A CHANGE ORDER. FAILURE TO GIVE SUCH WRITTEN NOTICE IMMEDIATELY SHALL WAIVE THE GENERAL CONTRACTOR'S (OR ANY SUBCONTRACTOR'S) RIGHT TO SEEK ADDITIONAL TIME OR COST UNDER THE ADMINISTRATIVE REQUIREMENTS OF THESE CONTRACT DOCUMENTS.

END OF SECTION - 013200

013300 - REGULATORY REQUIREMENTS
1. REGION
A. USA - ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE LOCAL, STATE, AND FEDERAL BUILDING CODES, PLUMBING CODES, MECHANICAL CODES, ELECTRICAL CODES, ORDINANCES, AND RULES AND REGULATIONS. REFER TO LIST OF APPLICABLE CODES ON SHEET A-020.
B. CANADA - ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE LOCAL, MUNICIPAL, PROVINCIAL AND/OR FEDERAL BUILDING CODES, PLUMBING CODES, MECHANICAL CODES, ELECTRICAL CODES, ORDINANCES, AND RULES AND REGULATIONS. REFER TO LIST OF APPLICABLE CODES ON SHEET A-020.
2. REQUIREMENTS
A. COMPLY WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS GOVERNING ACCESSIBILITY. REFER TO SHEET A-030.
B. OBTAIN ALL REQUIRED DEMOLITION AND EROSION CONTROL PERMITS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
C. THE OWNER RESERVES THE RIGHT TO REJECT ITEMS INCORPORATED INTO THE WORK WHICH FAILED TO MEET THE SPECIFIED MINIMUM REQUIREMENTS. LULULEMON SHALL GIVE WRITTEN NOTICE TO THE CONTRACTOR AND COME TO AN AGREEMENT ON ACCEPTABLE TIMELINE TO CORRECT DEFICIENCES. IF THE DEFICIENCIES ARE NOT CORRECTED WITHIN THE AGGREED UPRON TIMELINE, THE OWNER FURTHER RESERVES THE RIGHT AND WITHOUT PREJUDICE FOR OTHER RECOURSE SO THAT THE OWNER MAY MAKE ACCEPTABLE ANY NON-COMPLIANT ITEMS SUBJECT TO AN ADJUSTMENT IN THE CONTRACT AMOUNT AS APPROVED BY THE OWNER.

END OF SECTION - 013300

013400 - QUALITY CONTROL
A. MAINTAIN QUALITY CONTROL OVER MANUFACTURERS, SUPPLIERS, PRODUCTS, SERVICES, SITE CONDITIONS, AND WORKMANSHIP, TO PRODUCE WORK OF SPECIFIED QUALITY.
B. COMPLY WITH MANUFACTURER'S INSTRUCTIONS AND APPLICABLE TRADE STANDARDS. HANDLE, INSTALL, CONNECT, CLEAN, CONDITION, AND ADJUST PRODUCTS IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND COMPLYING WITH SPECIFIED REQUIREMENTS. REQUEST CLARIFICATION FROM THE ARCHITECT IN THE FORM OF AN RFI BEFORE PROCEEDING, WHERE MANUFACTURER'S INSTRUCTIONS CONFLICT WITH THE CONTRACT DOCUMENTS.
C. ALL WORK SHALL BE PERFORMED IN THE BEST PROFESSIONAL MANNER AND CRAFTSMANSHIP.
D. PERFORM WORK BY PERSONS QUALIFIED TO PRODUCE WORKMANSHIP OF THE SPECIFIED QUALITY.
E. THE GENERAL CONTRACTOR AND SUPPLIERS OF LABOR AND MATERIALS SHALL PROVIDE A ONE (1) YEAR GUARANTEE ON ALL WORK AND MATERIALS FROM THE DATE OF STORE OPENING AND COMPLETION OF ALL PUNCH LIST ITEMS TO THE COMPLETE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
F. THE GENERAL CONTRACTOR AND SUPPLIERS OF LABOR AND MATERIALS INCLUDING ALL LULULEMON PROVIDED VENDORS SHALL ABIDE BY ALL THE BUILDING RULES AS SUPPLIED BY BUILDING MANAGEMENT.
G. THE GENERAL CONTRACTOR SHALL SUPPLY AND INSTALL PROPER AND ADEQUATE ANCHORS, FURRING, BLOCKING, STUDS, AND SIMILAR PROVISIONS TO SUPPORT ALL OWNER SUPPLIED AND MILLWORK CONTRACTOR ITEMS FOR FIRM, SECURE, AND CONCEALED SUPPORT OR ATTACHMENT OF WALL OR COLUMN FIXTURES, FITTING ROOMS, LIGHTING FIXTURES, TOILET ROOM ACCESSORIES, AND SERVICE FACILITIES AT LOCATIONS INDICATED BY PLANS AND/OR ELEVATIONS AND/OR DETAILS. GC SHALL COORDINATE WITH MILLWORK CONTRACTOR AND OWNER'S VENDORS FOR REQUIRED LOCATIONS:
1. ADEQUACY OF BLOCKING REQUIREMENT AND PROVIDE ALL SUCH BLOCKING PRIOR TO CLOSING UP ANY AND ALL WALLS, COLUMNS, ETC. IF REQUIRED BY CODE AND LOCAL BUILDING OFFICIAL, WOOD BLOCKING SHALL BE FIRE RETARDANT TREATED TO MEET SUCH REQUIREMENT.

END OF SECTION - 013400

013500 - TESTING
A. EMPLOY AND PAY FOR THE SERVICES OF AN INDEPENDENT TESTING LABORATORY TO PERFORM INSPECTIONS, TESTS AND OTHER SERVICES WHEN REQUIRED
B. INCLUDE INSPECTION AND TESTS AS INDICATED IN THE SPECIFICATION SECTIONS, DRAWINGS, AND AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
1. TEST CONCRETE IN ACCORDANCE WITH SECTION 03300 AND DRAWING REQUIREMENTS
2. TEST STRUCTURAL STEEL IN ACCORDANCE WITH SECTION 05110 AND DRAWING REQUIREMENTS

END OF SECTION - 013500

SECTION 015000 - TEMPORARY FACILITIES AND CONTROLS / IF REQUIRED
A. PROVIDE TEMPORARY FACILITIES AND CONTROLS AS SHOWN AND SPECIFIED
B. CODES AND STANDARDS: PROVIDE TEMPORARY CONSTRUCTION FACILITIES AND CONTROLS COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL LOCAL LAWS, REGULATIONS, AND CODES AND UTILITY COMPANY REQUIREMENTS.
C. TEMPORARY HEATING, VENTILATING AND COOLING
1. PROVIDE, PAY FOR, AND MAINTAIN ALL TEMPORARY HEATING, VENTILATING AND COOLING EQUIPMENT, AND FACILITIES REQUIRED DURING THE PROGRESS OF THE WORK TO PROTECT MATERIALS, FINISHED WORK, AND EQUIPMENT AGAINST DAMAGE FROM LOW AND HIGH TEMPERATURES AND HUMIDITY.
2. PROVIDE TEMPORARY HEATING, VENTILATING AND COOLING WHEN THE OUTSIDE TEMPERATURE AND HUMIDITY IS LOW/HIGH ENOUGH TO DAMAGE OR AFFECT IN ANY WAY THE PERFORMANCE OR QUALITY OF MATERIAL AND PRODUCT STORED IN THE BUILDING, IN ANY TEMPORARY STORAGE AREA, OR ANY MATERIAL OR PRODUCT TO BE INCORPORATED INTO THE WORK.
3. PROVIDE TEMPORARY HEATING, VENTILATING AND COOLING WHEN THE OUTSIDE TEMPERATURE AND HUMIDITY IS LOW/HIGH ENOUGH TO SIGNIFICANTLY SLOW OR HAMPER EFFECTIVENESS OF WORKERS AND TO PROVIDE SUITABLE WORKING CONDITIONS.
4. ENSURE MERV 8 FILTERS OR LOCAL MINIMUM REQUIREMENT (WHICHEVER IS HIGHER) ARE INSTALLED AND DUCT WORK IS PROTECTED FROM CONSTRUCTION POLLUTION IN ACCORDANCE WITH THE INDOOR AIR QUALITY MANAGEMENT PLAN.
D. TEMPORARY ELECTRICAL, LIGHTING, AND POWER
1. PROVIDE, PAY FOR, AND MAINTAIN ALL TEMPORARY ELECTRICAL SERVICE FOR LIGHTING AND POWER REQUIRED DURING THE PROGRESS OF THE WORK. INCLUDE ALL NECESSARY WIRING, FUSES, DISCONNECT SWITCHES, SAFETY DEVICES, JUNCTION BOXES, PANELS, GROUND FAULT PROTECTIONS, AND TRANSFORMER IF REQUIRED. INCLUDE COST FOR PROVIDING TEMPORARY ELECTRIC GENERATORS IN THE CONTRACT SUM, IF TEMPORARY ELECTRIC SERVICE IS NOT AVAILABLE FOR USE DURING PROGRESS OF THE WORK.
2. TEMPORARY SERVICE AND LIGHTING AND POWER ITEMS AND INSTALLATIONS SHALL CONFORM TO THE REQUIREMENTS OF THE NFPA NATIONAL ELECTRIC CODE AND OSHA OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970.
E. TEMPORARY WATER: PROVIDE, PAY FOR, AND MAINTAIN ALL TEMPORARY WATER REQUIRED DURING THE PROGRESS OF THE WORK. INCLUDE ALL NECESSARY STORAGE TANKS, PIPING, VALVES, FITTINGS, HOSE, AND HOSE CONNECTIONS DURING CONSTRUCTION AND TESTING.
F. BARRIERS AND ENCLOSURES, SEE SHEET --- .
1. PROVIDE TEMPORARY CONSTRUCTION BARRIERS IN ACCORDANCE WITH PROJECT REQUIREMENTS. EXERCISE ALL NECESSARY PRECAUTIONS TO PROTECT ADJACENT PROPERTIES OUTSIDE PROJECT CONTRACT LIMITS DURING PROGRESS OF THE WORK. TAKE SPECIAL PRECAUTIONS TO AVOID DAMAGE TO EXISTING OVERHEAD AND UNDERGROUND UTILITIES AND SERVICES OWNED OR OPERATED BY THE LANDLORD OR BY PUBLIC OR PRIVATE UTILITY COMPANIES.
2. ALL BARRICADES SHOULD BE CONSTRUCTED WITH A SMOOTH FINISH, FROM GROUND LEVEL TO TOP, TO ACCEPT OWNER'S VENDOR INSTALLED VINYL GRAPHICS
3. PROVIDE TEMPORARY WEATHER-TIGHT ENCLOSURES AT EXTERIOR OPENINGS TO PROVIDE ACCEPTABLE WORKING CONDITIONS AND PROTECTION OF MATERIALS AND TO ALLOW FOR TEMPORARY HEATING, VENTILATING, AND COOLING. CONTRACTOR TO APPLY TWO COATS OF PRIMER TO BARRIER WITH 48 HOURS DRYING TIME PRIOR TO SCHEDULED INSTALL OF GRAPHICS. CONTRACTOR TO PROVIDE DOUBLE DOORS IN BARRICADE FOR DELIVERY PURPOSES.
G. FIELD OFFICE, TELEPHONE, AND EMAIL
1. PROVIDE AND MAINTAIN A TEMPORARY FIELD OFFICE AREA AT THE PROJECT SITE DURING PROGRESS OF THE WORK.
2. MAINTAIN COPIES OF PERMITS, APPROVED SHOP DRAWINGS, SPECIFICATIONS, ADDENDA, AND RECORD DOCUMENTS ON SITE AT ALL TIMES.
3. PROVIDE ALL NECESSARY SECURITY BARRIERS AND ENCLOSURES TO PROTECT THE WORK AND OWNER'S OPERATIONS FROM UNAUTHORIZED ENTRY OF PERSONS, VANDALISM AND THEFT. PROVIDE DOORS, WHEN REQUIRED, WITH SELF-CLOSING HARDWARE AND LOCKS.
H. CLEANING
1. FOLLOW APPLICABLE CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT REQUIREMENTS AS DESCRIBED IN SECTION 018113 - SUSTAINABILITY REQUIREMENTS.
2. DURING CONSTRUCTION: PROVIDE AN APPROVED ON-SITE CONTAINER FOR THE USE OF ALL CONTRACTORS, SUBCONTRACTORS, AND OWNER'S VENDORS FOR THE COLLECTION OF WASTE MATERIALS, DEBRIS, AND RUBBISH. PROVIDE AN APPROVED ON-SITE CONTAINER FOR ALL RECYCLED MATERIALS. EXECUTE PERIODIC CLEANING TO KEEP THE WORK, THE SITE, AND ADJACENT PROPERTIES FREE FROM ACCUMULATIONS OF WASTE MATERIALS, RUBBISH, AND WIND BLOWN DEBRIS, RESULTING FROM CONSTRUCTION OPERATIONS. REMOVE CRATES AND CARTONS IN WHICH MATERIALS, EQUIPMENT, OR FIXTURES ARE RECEIVED TO ON-SITE CONTAINERS DAILY.
3. MAINTAIN THE PROPERTY IN A CLEAN AND ORDERLY CONDITION. REMOVE WASTE MATERIALS, DEBRIS, AND RUBBISH FROM THE SITE ON A DAILY BASIS AND DISPOSE OF AT LEGAL DISPOSAL AREAS AWAY FROM THE SITE.
4. GC IS TO SUPPLY ONE (1) EMPTY 30 YARD DUMPSTER FOR THE SOLE USE OF THE OWNER'S STORE OPERATIONS AT THE TIME OF TURNOVER UNLESS DIRECTED OTHERWISE,
I. DUST CONTROL
1. FOLLOW APPLICABLE INDOOR AIR QUALITY MANAGEMENT REQUIREMENTS AS DESCRIBED IN SECTION 018113 - SUSTAINABILITY REQUIREMENTS
2. REMOVE DEBRIS AND RUBBISH FROM PIPE CHASES, PLENUMS AND OTHER SIMILAR CLOSED OR REMOTE SPACES PRIOR TO COVERING OR ENCLOSING THE SPACE
3. SWEEP AND VACUUM CLEAN INTERIOR SURFACES BEFORE START OF SURFACE FINISHING AND PAINTING. CONTINUE CLEANING ON AN AS-NEEDED BASIS UNTIL FINISHING AND PAINTING IS COMPLETED
4. CLEANING OPERATIONS SHALL BE ACCEPTABLE TO THE TENANT'S CONSTRUCTION MANAGER
5. GC SHALL SUPPLY COVERS FOR ALL OPEN DUCTS AND OPENINGS IN STOREFRONT DURING CONSTRUCTION
J. THE CONTRACTOR SHALL UTILIZE THE AREAS WITHIN THE LIMITS OF THE SITE FOR STORAGE OF MATERIAL UNLESS NOTED OTHERWISE.

END OF SECTION - 015000

SECTION 016000 - PRODUCT REQUIREMENTS
016310 - SUBSTITUTIONS
A. SUBSTITUTIONS ARE GENERALLY NOT ALLOWED UNLESS OTHERWISE INDICATED THAT APPROVED EQUALS ARE PERMITTED, HOWEVER IF A SUBSTITUTION IS REQUESTED IT MUST BE DONE AT THE TIME OF BID AND PRIOR TO THE BIDS BEING DUE. THE SUBSTITUTION WILL BE REVIEWED BY THE OWNER'S PROJECT MANAGER AT THIS TIME AND MUST BE SUBMITTED IN WRITING AND WRITTEN APPROVAL MUST BE RECEIVED TO PROCEED WITH THE SUBSTITUTION.
B. PRODUCTS, INCLUDING MATERIALS, EQUIPMENT, AND SYSTEMS DESCRIBED IN THE CONTRACT DOCUMENTS ESTABLISH THE STANDARDS OF REQUIRED FUNCTION, DIMENSION, APPEARANCE, QUALITY AND PERFORMANCE OF THE WORK. BASE ALL BIDS ON THE STANDARDS INDICATED
C. REQUESTS BY THE CONTRACTOR FOR CHANGES IN PRODUCTS, MANUFACTURERS, FABRICATORS, SUPPLIERS, INSTALLERS, AND METHODS OF CONSTRUCTION REQUIRED BY THE CONTRACT DOCUMENTS ARE CONSIDERED REQUESTS FOR SUBSTITUTIONS: SUBSTITUTIONS WILL BE CONSIDERED ONLY UNDER THE FOLLOWING CONDITIONS:
1. THE INDICATED STANDARD CANNOT BE PROVIDED WITHIN THE CONTRACT TIME.
2. THE INDICATED STANDARD CANNOT RECEIVE NECESSARY APPROVAL BY THE GOVERNING AUTHORITY.
3. A SUBSTANTIAL ADVANTAGE IS OFFERED THE OWNER, IN TERMS OF COST, TIME, ENERGY CONSERVATION, OR OTHER CONSIDERATIONS OF MERIT AS DETERMINED BY THE ARCHITECT OR OWNER'S PROJECT MANAGER.
D. SUBMIT EACH REQUEST FOR SUBSTITUTION TO THE OWNER'S PROJECT MANAGER AND COPY THE ARCHITECT IN WRITING FOLLOWING SUBMITTAL REQUIREMENTS OF OTHER SECTIONS. IDENTIFY THE PRODUCT, MANUFACTURER, FABRICATOR, SUPPLIER, INSTALLER, OR THE FABRICATION OR INSTALLATION METHOD TO BE REPLACED IN EACH REQUEST. IDENTIFY RELATED SPECIFICATION SECTION AND DRAWING NUMBERS. PROVIDE DOCUMENTATION AS DIRECTED BY THE OWNER'S PROJECT MANAGER OR THE ARCHITECT.
E. SUBSTITUTIONS WILL NOT BE CONSIDERED WHEN INDICATED ON SHOP DRAWINGS OR PRODUCT DATA SUBMITTALS WITHOUT SEPARATE WRITTEN REQUEST, WHEN REQUESTED DIRECTLY BY SUBCONTRACTOR, MANUFACTURER, FABRICATOR, OR SUPPLIER, OR WHEN ACCEPTANCE WILL REQUIRE SUBSTANTIAL REVISION OF THE CONTRACT DOCUMENTS.
F. SUBSTITUTE PRODUCTS, MANUFACTURERS, FABRICATORS, SUPPLIERS, AND INSTALLERS SHALL NOT BE USED FOR THE PROJECT WITHOUT THE OWNER'S WRITTEN ACCEPTANCE.

END OF SECTION - 016000

SECTION 017000 - EXECUTION REQUIREMENTS
1.1 - PREPARATION
A. PROTECTION OF EXISTING CONSTRUCTION: USE ALL NECESSARY CARE AND APPROPRIATE MEANS AND METHODS TO PROTECT AND PREVENT DAMAGE TO EXISTING CONSTRUCTION AND PROPERTY NOT PART OF THE CONTRACT WORK. REPAIR AND REFINISH OR REPLACE CONSTRUCTION AND PROPERTY DAMAGED DURING CONSTRUCTION WORK AT CONTRACTOR'S EXPENSE.
B. ALL FIREPROOFING THAT IS DAMAGED AS A RESULT OF NEW CONSTRUCTION SHALL BE PATCHED WITH MATERIALS AND THICKNESS TO MATCH EXISTING AND ENSURE EXISTING FIRE-RATING IS MAINTAINED. THE CONTRACTRACTOR SHALL INCLUDE AN ALLOWANCE AS PART OF THEIR BID FOR THIS WORK.

2.1 - SELECTIVE DEMOLITION: PROVIDE SELECTIVE DEMOLITION AS SHOWN AND SPECIFIED
A. PREPARATION
1. COORDINATE WORK OF THIS SECTION WITH WORK OF VARIOUS CONTRACTORS AND OWNER'S STAFF.
2. THE CONTRACTOR SHALL MAINTAIN THE EXISTING EXITS, CORRIDORS, AISLES, AND DOORS FREE OF OBSTRUCTIONS AT ALL TIMES.
3. ERECT AND MAINTAIN WEATHERPROOF CLOSURES AT EXTERIOR OPENINGS.
4. ERECT AND MAINTAIN DUST-PROOF INTERIOR PARTITIONS TO PREVENT SPREAD OF DUST OR FUMES.
5. ERECT AND MAINTAIN BARRICADES, ENCLOSURES, BRACING, SHORING, LIGHTS, WARNING SIGNS, AND GUARDS NECESSARY FOR WORKER AND PUBLIC SAFETY AND PROTECTION OF PROPERTY.
6. DISCONNECT, REMOVE, AND CAP DESIGNATED UTILITY SERVICES. IDENTIFY AND MARK LOCATIONS OF DISCONNECTED AND CAPPED UTILITIES AT THE PROJECT SITE AND ON PROJECT RECORD DOCUMENTS.
7. NOTIFY AND COORDINATE WITH THE OWNER'S PROJECT MANAGER AND THE BUILDING OWNER (LLD) FOR ANY DEMOLITION OCCURRING OUTSIDE THE LEASE LIMIT.
8. COORDINATE HOURS OF OPERATION AND CONSTRUCTION ACCESS WITH THE OWNER'S PROJECT MANAGER AND THE BUILDING OWNER (LLD).
9. GENERAL CONTRACTOR SHALL CONFIRM WITH SHELL BUILDING OWNER (LANDLORD) OR MANAGEMENT REPRESENTATIVE THE ALLOWABLE HOURS FOR VARIOUS TYPES OF DEMOLITION PRIOR TO SUBMITTING BID. NO ADDITIONAL COMPENSATION WILL BE DUE THE CONTRACTOR FOR AFTER NORMAL BUSINESS HOURS WORK.
B. SELECTIVE DEMOLITION
1. REMOVE EXISTING CONSTRUCTION TO ACCOMMODATE NEW CONSTRUCTION AS INDICATED.
2. PERFORM SELECTIVE DEMOLITION IN AN ORDERLY, SYSTEMATIC, AND CAREFUL MANNER WITH LEAST POSSIBLE DISTURBANCE TO PUBLIC AND ADJACENT PROPERTY. USE OF EXPLOSIVES IS PROHIBITED.
3. IMMEDIATELY REMOVE FROM THE SITE AND LEGALLY DISPOSE OF DEMOLISHED MATERIALS, EXCEPT AS INDICATED OTHERWISE. DO NOT BURN OR BURY MATERIALS ON THE PROJECT SITE.

1.3 - CLEANING
A. FINAL CLEANING: PERFORM FINAL CLEANING UPON TURNOVER.
1. REMOVE WASTE AND SURPLUS MATERIALS, RUBBISH, TOOLS, EQUIPMENT, AND TEMPORARY CONSTRUCTION FACILITIES FROM THE SITE.
2. CLEAN EXTERIOR GROUNDS; REMOVE STAINS, SPILLS, AND FOREIGN MATERIALS FROM PAVED AREAS. POWER WASH, AND SWEEP CLEAN. RAKE CLEAN LANDSCAPED SURFACES OF THE GROUNDS. (CONFIRM AT TIME OF BID IF APPLICABLE)
3. REMOVE TEMPORARY PROTECTION AND LABELS NOT REQUIRED TO REMAIN.
4. CLEAN ALL FINISHED SURFACES. REMOVE GREASE, MASTIC, ADHESIVES, DUST, DIRT, STAINS, FINGERPRINTS, LABELS, AND OTHER FOREIGN MATERIALS FROM EXPOSED INTERIOR AND EXTERIOR SURFACES.
5. CLEAN ALL PLUMBING, FIRE PROTECTION, AND ELECTRICAL FIXTURES AND EQUIPMENT INCLUDING CEILING AREA ELEVATED DUCTWORK AND LIGHTING FIXTURES.
6. CLEAN PERMANENT EQUIPMENT FILTERS AND REPLACE TEMPORARY DISPOSABLE FILTERS IN MECHANICAL UNITS USED DURING CONSTRUCTION.
7. CLEAN DUCTS, BLOWERS, AND COILS IF MECHANICAL UNITS WERE OPERATED WITHOUT FILTERS DURING CONSTRUCTION.
8. CLEAN INTERIOR AND EXTERIOR GLAZING AND MIRRORS, POLISH TRANSPARENT, AND GLOSSY SURFACES, AND CLEAN FLOORS WITH APPROPRIATE MATERIALS AND EQUIPMENT.
9. REMOVE WASTE, FOREIGN MATERIAL, AND DEBRIS FROM ROOFS, AREAWAYS, AND DRAINAGE SYSTEMS.
10. BEFORE OWNER OCCUPANCY, CONDUCT AN INSPECTION WITH THE OWNER, OF EXPOSED INTERIOR AND EXTERIOR SURFACES AT ALL WORK AREAS, TO VERIFY THAT THE ENTIRE WORK AREA IS CLEAN.
11. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ANY AND ALL OWNER'S TEMPORARY GRAPHICS INSTALLED DURING CONSTRUCTION, INSTALLED TO ANY PERMANENT AND FINAL SURFACES INCLUDED BUT NOT LIMITED TO GLAZING, STOREFRONT SYSTEM, DOORS, AND NEUTRAL PIERS. ALL FINAL SURFACES SHALL BE CLEANED AND FREE OF VINYL GRAPHIC RESIDUE.
12. CLEAN ALL EXISTING CONCRETE SURFACES. REMOVE FROM JOB AND REPLACE ANY CONCRETE NOT COMPLYING WITH THE INTENT OF THESE DRAWINGS AND THESE SPECIFICATIONS, UNLESS PERMISSION IS GIVEN BY OWNER TO PATCH AND REPAIR. IF THE PATCHING DOES NOT SATISFACTORILY RESTORE THE QUALITY AND APPEARANCE OF THE WORK, THE DEFECTIVE WORK SHALL BE REMOVED, REGARDLESS OF THE PERMISSION TO PATCH. CONCRETE IS TO HAVE A SMOOTH, CLEAN, STEEL TROWEL FINISH AS REQUIRED TO RECEIVE FLOOR FINISHES.

1.4 - STARTING AND ADJUSTING
A. PRIOR TO SUBSTANTIAL COMPLETION, COORDINATE THE START-UP, TEST AND BALANCE, PLACEMENT IN OPERATION, AND ADJUSTMENT OF ALL SYSTEMS, CONTROLS, AND EQUIPMENT TO VERIFY PROPER OPERATION. ALL SYSTEMS SHALL BE COMPLETE AND OPERATING PRIOR TO FINAL INSPECTION AND/OR CONSTRUCTION PUNCH.

1.5 - CONTRACT CLOSEOUT
TO BE SUBMITTED WITHIN 30 DAYS OF TURNOVER. THE FOLLOWING ITEMS NEED TO BE INCLUDED IN THE CLOSEOUT PACKAGE TO THE OWNER AT PROJECT COMPLETION:
A. GC SIGNED FINAL PAY APPLICATION WITH CONTINUATION SHEETS (SIGNED WITH NOTARY)
B. COMPLETED PUNCH LIST WITH ALL REQUIRED SIGNATURES (GC, OWNER'S PROJECT MANAGER, OWNER'S OPERATIONS TEAM) WITH A COPY LEFT IN THE TURNOVER MANUAL
C. ALL FINAL REPORTS IN COMPLIANCE WITH THE FOLLOWING SUSTAINABILITY REQUIREMENTS:
1. FINAL WASTE HAUL REPORT IDENTIFYING DIVERSION RATE
2. CONFIRMATION 24 HR BUILDING FLUSH OUT WAS COMPLETED
3. CONFIRMATION OF FINAL CLEANING AND FILTER REPLACEMENT
D. BUILDING PERMIT (PROVIDE A COPY FOR CLOSEOUT) (ORIGINAL TO BE LEFT IN TURNOVER MANUAL)
E. CERTIFICATE OF OCCUPANCY OR JURISDICTION REQUIRED DOCUMENT IF APPLICABLE (PROVIDE A COPY FOR CLOSEOUT).
F. FULL SET OF AS-BUILT (REDLINED DWGS) UPLOADED TO LUCERNEX ONLY. (NOT TO BE MAILED)
G. FINAL PHOTOS UPLOADED TO LUCERNEX ONLY. (NOT TO BE MAILED)
H. SUB CONTRACTOR UNCONDITIONAL LIEN WAIVERS
I. GC UNCONDITIONAL LIEN WAIVERS

1.5.2 - CLOSEOUT PACKAGE DELIVERY
ALL DOCUMENTS TO BE SENT TO LULULEMON ATHLETICA OFFICES, ATTENTION: LULULEMON PROJECT MANAGER, AS ONE PACKAGE FOR GC FINAL PAY RELEASE. INCLUDE THE FOLLOWING:
A. GENERAL CONTRACTOR CONTACT INFORMATION
B. LIST OF SUBCONTRACTORS (TRADE, COMPANY NAME, CONTACT NAME, PHONE NUMBER)

END OF SECTION - 017000

SECTION 017419 - CONSTRUCTION WASTE MANAGEMENT

PART 1 GENERAL

1.1 - SUMMARY
A. SECTION INCLUDES:
1. SPECIAL REQUIREMENTS FOR WASTE MANAGEMENT DURING DECONSTRUCTION, RENOVATION, AND CONSTRUCTION OPERATIONS.
2. PROTECT THE ENVIRONMENT, BOTH ON-SITE AND OFF-SITE, DURING DECONSTRUCTION, RENOVATION, AND CONSTRUCTION OPERATIONS.
3. PREVENT ENVIRONMENTAL POLLUTION AND DAMAGE.
4. MAXIMIZE SOURCE REDUCTION, REUSE AND RECYCLING OF SOLID WASTE.
B. RELATED SECTIONS:
1. 018000 - SUSTAINABILITY
2. 019000 - COMMISSIONING / TURNOVER

1.2 - DEFINITIONS
A. DEFINITIONS PERTAINING TO SUSTAINABLE DEVELOPMENT: AS DEFINED IN ASTM E2114.
B. DECONSTRUCTION: DISASSEMBLY OF BUILDINGS FOR THE PURPOSE OF RECOVERING MATERIALS.

1.3 - QUALITY ASSURANCE
A. MAXIMIZE USE OF SOURCE REDUCTION AND RECYCLING PROCEDURES.
B. DIVERSION GOALS: DIVERT AT LEAST MINIMUM PERCENT BY WEIGHT OF TOTAL PROJECT SOLID WASTE TO BE DIVERTED FROM LANDFILL AS REQUIRED BY LOCAL CODE.

1.4 - PRECONSTRUCTION MEETING
A. SEE REQUIREMENTS PER SECTION 018113.1.4 - SUSTAINABILITY ADMINISTRATIVE REQUIREMENTS

1.5 - SUBMITTALS
A. SOLID WASTE MANAGEMENT PLAN: NOT LESS THAN 10 DAYS BEFORE THE PRE-CONSTRUCTION MEETING, PREPARE AND SUBMIT A SOLID WASTE MANAGEMENT PLAN INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING:
1. LIST OF THE RECYCLING FACILITIES, REUSE FACILITIES, MUNICIPAL SOLID WASTE LANDFILLS AND OTHER DISPOSAL AREA(S) TO BE USED. INCLUDE:
a. NAME, LOCATION, AND PHONE NUMBER.
b. COPY OF PERMIT OR LICENSE FOR EACH FACILITY.
2. IDENTIFY MATERIALS THAT CANNOT BE RECYCLED OR REUSED. PROVIDE EXPLANATION OR JUSTIFICATION.
3. REVISE AND RESUBMIT PLAN AS REQUIRED BY OWNER.
4. APPROVAL OF CONTRACTOR'S PLAN WILL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS.
B. RECORD SUBMITTALS: WITH RECORD SUBMITTALS AS SPECIFIED IN SECTION 017000 - CLOSEOUT DOCUMENTS, SUBMIT THE FOLLOWING:
1. SUMMARY OF SOLID WASTE DISPOSAL AND DIVERSION, INCLUDE THE QUANTITY BY WEIGHT OF WASTE GENERATED; WASTE DIVERTED THROUGH SALE, REUSE, OR RECYCLING; AND WASTE DISPOSED BY LANDFILL OR INCINERATION. IDENTIFY LANDFILLS, RECYCLING CENTERS, WASTE PROCESSORS, AND OTHER ORGANIZATIONS THAT PROCESS OR RECEIVE THE SOLID WASTE.

PART 3 - EXECUTION

3.1 - SOLID WASTE MANAGEMENT
A. DEVELOP AND IMPLEMENT A WASTE MANAGEMENT PROGRAM IN ACCORDANCE WITH ASTM E1609 AND AS SPECIFIED HEREIN.
B. COLLECTION: IMPLEMENT A RECYCLING/REUSE PROGRAM THAT INCLUDES SEPARATE COLLECTION OF WASTE MATERIALS OF THE FOLLOWING TYPES AS APPROPRIATE TO THE PROJECT WASTE AND TO THE AVAILABLE RECYCLING AND REUSE PROGRAMS IN THE PROJECT AREA:
1. LAND CLEARING DEBRIS.
2. ASPHALT.
3. CONCRETE AND MASONRY.
4. METAL.
a. FERROUS
b. NON-FERROUS.
5. WOOD, NAILS AND STAPLES ALLOWED.
6. DEBRIS.
7. GLASS, COLORED GLASS ALLOWED.
8. PAPER.
a. BOND.
b. NEWSPRINT.
c. CARDBOARD AND PAPER PACKAGING MATERIALS.
9. PLASTIC
a. TYPE 1: POLYETHYLENE TEREPHTHALATE (PET, PETE).
b. TYPE 2: HIGH DENSITY POLYETHYLENE (HDPE).
c. TYPE 3: VINYL (POLYVINYL CHLORIDE OR PVC).
d. TYPE 4: LOW DENSITY POLYETHYLENE (LDPE).
e. TYPE 5: POLYPROPYLENE (PP).
f. TYPE 6: POLYSTYRENE (PS).
g. TYPE 7: OTHER. USE OF THIS CODE INDICATES THAT THE PACKAGE IN QUESTION IS MADE WITH A RESIN OTHER THAN THE SIX LISTED ABOVE, OR IS MADE OF MORE THAN ONE RESIN LISTED ABOVE, AND USED IN A MULTI-LAYER COMBINATION.
10. GYPSUM.
11. NON-HAZARDOUS PAINT AND PAINT CANS.
12. FLOORING.
a. CARPET.
b. RESILIENT FLOORING.
13. INSULATION.
14. CEILING TILES
15. OTHERS AS APPROPRIATE
C. RECYCLING/REUSE: MAXIMIZE RECYCLING AND REUSE OF MATERIALS.
1. RECYCLING/REUSE ON PROJECT SITE: COORDINATE WITH ARCHITECT.
2. RECYCLING/REUSE OFF PROJECT SITE: FOR MORE INFORMATION, CONTACT THE STATE DEPARTMENT OF ENVIRONMENTAL QUALITY AND THE LOCAL INTEGRATED SOLID WASTE MANAGEMENT OFFICE.
D. HANDLING:
1. CLEAN MATERIALS THAT ARE CONTAMINATED PRIOR TO PLACING IN COLLECTION CONTAINERS. DELIVER MATERIALS IN ACCORDANCE WITH RECYCLING OR REUSE FACILITY REQUIREMENTS (E.G., FREE OF DIRT, ADHESIVES, SOLVENTS, PETROLEUM CONTAMINATION, AND OTHER SUBSTANCES DELETERIOUS TO RECYCLING PROCESS).
2. ARRANGE FOR COLLECTION BY OR DELIVERY TO THE APPROPRIATE RECYCLING OR REUSE FACILITY.
3. HAZARDOUS WASTE AND HAZARDOUS MATERIALS: HANDLE IN ACCORDANCE WITH APPLICABLE REGULATIONS.

END OF SECTION - 017419

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SEAL
LICENSED NAME, ARCHITECT

STATE OF MISSOURI
JOEL C. TORIELLI
NUMBER A-2008010408
ARCHITECT

ISSUED FOR PERMIT & BID
08/25/2025

△	DATE	DESCRIPTION
	06/16/2025	ISSUED FOR DD REVIEW
	08/05/2025	ISSUED FOR CD REVIEW
	08/25/2025	ISSUED FOR PERMIT & BID

DRAWING INFORMATION
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INDEX / ARCHITECTURAL SPECIFICATIONS

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SECTION 018000 - SUSTAINABILITY
SECTION 018113 - SUSTAINABILITY REQUIREMENTS (SUS)

PART 1 - GENERAL

1.1 - SUMMARY

A. THIS SECTION INCLUDES GENERAL REQUIREMENTS AND PROCEDURES FOR COMPLIANCE WITH CERTAIN LULULEMON SUSTAINABILITY AND ETHICAL POLICIES INCLUDING LULULEMON ATHLETICA VENDOR CODE OF ETHICS AS WELL AS THOSE REFERENCED IN THE 'KNOW THE CHAIN APPAREL AND FOOTWEAR BENCHMARK'.
B. THE CONTRACTOR WILL IMPLEMENT PRACTICES AND PROCEDURES TO MEET THE PROJECT'S SUSTAINABILITY REQUIREMENTS OR LOCAL REQUIREMENTS, WHICHEVER ARE MORE STRINGENT. ASSURE THAT ALL PROJECT TEAM MEMBERS ARE AWARE OF THE OWNER'S SUSTAINABILITY POLICIES AND COMPLY WITH DOCUMENTATION REQUIREMENTS.
C. THE CONTRACTOR AND SUBCONTRACTORS ARE REQUIRED TO FURNISH DOCUMENTATION TO MEET THE OWNER'S SUSTAINABILITY POLICIES. NOT PROVIDING THE NECESSARY DOCUMENTATION MAY LEAD TO A REQUEST FOR RE-SUBMITTAL. PERIODIC MEETINGS SHOULD BE CONDUCTED WITH PROJECT TEAM AND SUBCONTRACTORS TO ENSURE ALL UNDERSTAND THE DOCUMENTATION REQUIREMENTS, AND THAT THE APPROPRIATE DOCUMENTATION IS BEING COLLECTED.

1.2 - RELATED SECTIONS

RELATED SECTIONS INCLUDE THE FOLLOWING:
A. SECTION 017419 - CONSTRUCTION WASTE MANAGEMENT
B. SECTION 018113.1.5.0 – CONSTRUCTION INDOOR AIR QUALITY REQUIREMENTS
C. SECTION 019100 – COMMISSIONING REQUIREMENTS (TURNOVER)

1.3 - DEFINITIONS

A. **CDPH STANDARD METHOD V1.2 - 2017:** CALIFORNIA DEPARTMENT OF PUBLIC HEALTH (CDPH) STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS, V. 1.2–2017, FOR THE EMISSIONS TESTING AND REQUIREMENTS OF PRODUCTS AND MATERIALS.
B. **CHAIN-OF-CUSTODY CERTIFICATE:** A CERTIFICATE SIGNED BY MANUFACTURERS AND FABRICATORS CERTIFYING THAT WOOD USED TO MAKE PRODUCTS WAS OBTAINED FROM FORESTS CERTIFIED BY AN FSC-ACCREDITED CERTIFICATION BODY TO COMPLY WITH FSC STD-01-001.
C. **COMPOSITE WOOD AND AGRIFIBER:** PRODUCTS MADE OF WOOD PARTICLES AND/OR PLANT MATERIAL PRESSED AND BONDED WITH ADHESIVE OR RESIN SUCH AS PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF), PLYWOOD, WHEATBOARD, STRAWBOARD, PANEL SUBSTRATES, AND DOOR CORES.
D. **CORPORATE SUSTAINABILITY REPORT:** A THIRD-PARTY VERIFIED REPORT THAT OUTLINES THE ENVIRONMENTAL IMPACTS OF EXTRACTION OPERATIONS AND ACTIVITIES ASSOCIATED WITH THE MANUFACTURER'S PRODUCT AND THE PRODUCT'S SUPPLY CHAIN.
E. **ENVIRONMENTAL PRODUCT DECLARATION (EPD):** AN INDEPENDENTLY VERIFIED REPORT BASED ON LIFE-CYCLE ASSESSMENT STUDIES THAT HAVE BEEN CONDUCTED ACCORDING TO A SET OF COMMON RULES FOR EACH PRODUCT CATEGORY AND PEER-REVIEWED.
F. **PRODUCT-SPECIFIC TYPE III EPD:** A PRODUCT WITH A THIRD-PARTY CERTIFICATION, INCLUDING EXTERNAL VERIFICATION, IN WHICH THE MANUFACTURER IS EXPLICATED RECOGNIZED BY THE PROGRAM OPERATOR. EPD MUST CONFORM TO ISO 14025, 14040, 14044, AND EN 15804 OR ISO 21930 AND HAVE AT LEAST A CRADLE TO GATE SCOPE.
G. **INDUSTRY-WIDE (GENERIC) EPD:** PROVIDE PRODUCTS WITH THIRD-PARTY CERTIFICATION (TYPE III), INCLUDING EXTERNAL VERIFICATION, IN WHICH THE MANUFACTURER IS EXPLICITLY RECOGNIZED AS A PARTICIPANT BY THE PROGRAM OPERATOR. EPD MUST CONFORM TO ISO 14025, 14040, 14044, AND EN 15804 OR ISO 21930 AND HAVE AT LEAST A CRADLE TO GATE SCOPE.
H. **PRODUCT-SPECIFIC DECLARATION:** A PRODUCT WITH A PUBLICLY AVAILABLE, CRITICALLY REVIEWED LIFE-CYCLE ASSESSMENT CONFORMING TO ISO 14044 THAT HAS AT LEAST A CRADLE TO GATE SCOPE.
I. **EXTENDED PRODUCER RESPONSIBILITY (EPR):** MEASURES UNDERTAKEN BY THE MAKER OF A PRODUCT TO ACCEPT ITS OWN AND SOMETIMES OTHER MANUFACTURERS' PRODUCTS AS POSTCONSUMER WASTE AT THE END OF THE PRODUCTS' USEFUL LIFE. PRODUCERS RECOVER AND RECYCLE THE MATERIALS FOR USE IN NEW PRODUCTS OF THE SAME TYPE. TO COUNT TOWARD CREDIT COMPLIANCE, A PROGRAM MUST BE WIDELY AVAILABLE. FOR CARPET, EXTENDED PRODUCER RESPONSIBILITY MUST BE CONSISTENT WITH NSF/ANSI 140–2007. ALSO KNOWN AS CLOSED-LOOP PROGRAM OR PRODUCT TAKE-BACK.
J. **FURNITURE EVALUATION:** FURNITURE TESTED IN ACCORDANCE WITH ANSI/BIFMA STANDARD METHOD M7.1-2011 USING THE OPEN PLAN, PRIVATE OFFICE, OR SEATING SCENARIO, AS APPLICABLE AND COMPLY WITH ANSI/BIFMA E3-2011 FURNITURE SUSTAINABILITY STANDARD, SECTIONS 7.6.1 AND 7.6.2, USING EITHER THE CONCENTRATION MODELING APPROACH OR THE EMISSIONS FACTOR APPROACH.
K. **HEALTH PRODUCT DECLARATION OPEN STANDARD (HPD):** A STANDARD FORMAT FOR REPORTING PRODUCT CONTENT AND ASSOCIATED HEALTH INFORMATION FOR BUILDING PRODUCTS AND MATERIALS. MANUFACTURERS THAT USE HPDS MUST PROVIDE THE FOLLOWING INFORMATION FOR EVERY INGREDIENT, NOT JUST THOSE WHOSE NAMES HAVE BEEN WITHHELD:
   1. ROLE OR FUNCTION IN THE PRODUCT
   2. AMOUNT, AS A PERCENTAGE OF TOTAL PRODUCT CONTENT OR PPM, AND
   3. ANY POTENTIAL HEALTH HAZARDS ASSOCIATED WITH THE INGREDIENTS AS DEFINED IN AUTHORITATIVE HAZARD LISTS FROM GREENSCREEN
L. **INDOOR AIR QUALITY (IAQ) MANAGEMENT PLAN:** PLAN DEVELOPED BY THE CONTRACTOR TO PROVIDE A HEALTHY INDOOR ENVIRONMENT FOR WORKERS AND BUILDING OCCUPANTS DURING CONSTRUCTION. PLAN MUST MEET OR EXCEED THE RECOMMENDATIONS OF THE SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION (SMACNA): "IAQ GUIDELINES FOR OCCUPIED BUILDINGS UNDER CONSTRUCTION."
M. **LEADERSHIP EXTRACTION PRACTICES:** PRODUCTS THAT MEET AT LEAST ONE OF THE FOLLOWING RESPONSIBLE EXTRACTION CRITERIA:
   1. EXTENDED PRODUCER RESPONSIBILITY
   2. BIO-BASED MATERIALS
   3. FSC WOOD PRODUCTS
   4. MATERIALS REUSE
   5. RECYCLED CONTENT
   6. REGIONALLY SOURCED MATERIALS
N. **MULTI-ATTRIBUTE OPTIMIZATION:** THIRD PARTY CERTIFIED PRODUCTS THAT DEMONSTRATE IMPACT REDUCTION BELOW INDUSTRY AVERAGE IN AT LEAST THREE (3) OF THE FOLLOWING SIX (6) CATEGORIES:
   1. GLOBAL WARMING POTENTIAL
   2. STRATOSPHERIC OZONE DEPLETION
   3. ACIDIFICATION
   4. EUTROPHICATION
   5. TROPOSPHERIC OZONE CREATION
   6. NONRENEWABLE RESOURCE DEPLETION
O. **RECYCLED CONTENT:** RECYCLED CONTENT IS THE SUM OF POSTCONSUMER RECYCLED CONTENT PLUS ONE-HALF THE PRECONSUMER RECYCLED CONTENT, BASED ON COST.
P. **"POSTCONSUMER" MATERIAL:** WASTE MATERIAL GENERATED BY HOUSEHOLDS OR BY COMMERCIAL, INDUSTRIAL, AND INSTITUTIONAL FACILITIES IN THEIR ROLE AS END USERS OF THE PRODUCT, WHICH CAN NO LONGER BE USED FOR ITS INTENDED PURPOSE.
Q. **"PRECONSUMER" MATERIAL:** MATERIAL DIVERTED FROM THE WASTE STREAM DURING THE MANUFACTURING PROCESS. EXCLUDED IS RE-UTILIZATION OF MATERIALS, SUCH AS REWORK, REGRIND, OR SCRAP, GENERATED IN A PROCESS AND CAPABLE OF BEING RECLAIMED WITHIN THE SAME PROCESS THAT GENERATED IT. SCRAPS, SPILLS OR OTHER WASTE FROM THE ORIGINAL MANUFACTURING PROCESS THAT ARE COMBINED WITH OTHER CONSTITUENTS AFTER A MINIMAL AMOUNT OF REPROCESSING FOR USE IN THE FURTHER PRODUCTION OF THE SAME PRODUCT ARE NOT RECYCLED MATERIALS.
R. **SUSTAINABILITY PRODUCT DATA MATRIX:** TOOL TO IDENTIFY WHAT SUSTAINABILITY CRITERIA IS PREFERRED AND ALTERNATE FOR GENERAL CONTRACTOR MATERIAL PURCHASES, INCLUDING A SUBMITTAL SHEET TO BE COMPLETED IDENTIFYING APPLICABLE SUSTAINABILITY CRITERIA
S. **VOLATILE ORGANIC COMPOUNDS (VOC) CONTENT:** REFERS TO VOCS FOUND IN ON-SITE WET-APPLIED PRODUCTS INCLUDING ADHESIVES, SEALANTS, PAINTS AND COATINGS WHICH MUST MEET APPLICABLE VOC REGULATIONS.
T. **VOLATILE ORGANIC COMPOUNDS (VOC) EMISSIONS:** REFER TO CDPH STANDARD METHOD V1.2 - 2017 DEFINITION.

1.4 - ADMINISTRATIVE REQUIREMENTS

A. PROVIDE MATERIALS AND PROCEDURES NECESSARY TO SUSTAINABILITY GOALS REQUIRED IN THIS SECTION.
B. RESPOND TO QUESTIONS AND REQUESTS FOR ADDITIONAL INFORMATION FROM ARCHITECT AND OWNER.
C. SCHEDULE AND CONDUCT A CONFERENCE AT A TIME CONVENIENT TO OWNER'S PROJECT MANAGER AND ARCHITECT WITHIN **21 DAYS** PRIOR TO COMMENCEMENT OF THE WORK. ADVISE ARCHITECT, GENERAL CONTRACTOR, OWNER'S COMMISSIONING AUTHORITY (IF APPLICABLE), AND OWNER'S PROJECT MANAGER OF SCHEDULED MEETING DATES.
   1. ATTENDEES: AUTHORIZED REPRESENTATIVES OF OWNER, OWNER'S COMMISSIONING AUTHORITY (IF APPLICABLE), OWNER'S PROJECT MANAGER, ARCHITECT, AND THEIR CONSULTANTS; GENERAL CONTRACTOR AND ITS SUPERINTENDENT; MAJOR SUBCONTRACTORS; SUPPLIERS; AND OTHER CONCERNED PARTIES SHALL ATTEND THE CONFERENCE. PARTICIPANTS AT THE CONFERENCE SHALL BE FAMILIAR WITH PROJECT AND AUTHORIZED TO CONCLUDE MATTERS RELATING TO THE WORK.
   2. AGENDA: SUSTAINABILITY GOALS FOR THE PROJECT, CONTRACTOR'S ACTION PLANS, AND DISCUSSION OF DESIRED SUSTAINABILITY SUBMITTALS.
   3. MINUTES: RECORD AND DISTRIBUTE MINUTES TO ATTENDEES AND OTHER ENTITIES WITH RESPONSIBILITIES FOR MEETING SUSTAINABILITY GOALS.

1.5 - SUBMITTALS

A. **GENERAL**: SUBMIT ADDITIONAL SUSTAINABILITY RELATED SUBMITTALS INCLUDED IN OTHER SECTIONS OF THE SPECIFICATIONS.
   1. SUSTAINABILITY SUBMITTALS MAY BE SUBMITTED SIMULTANEOUSLY WITH PRODUCT DATA SUBMITTALS. INCLUDE DOCUMENTATION TO VERIFY COMPLIANCE WITH INDICATED SUSTAINABILITY REQUIREMENTS.
B. **SUSTAINABILITY PRODUCT DATA MATRIX**: REFER TO THE PRODUCT DATA MATRIX TO DETERMINE WHICH SUSTAINABILITY CRITERIA APPLIES TO A MATERIAL. SUSTAINABILITY CRITERIA IS IDENTIFIED BY PRODUCT/MATERIAL TYPE AND INCLUDE A PREFERRED AND ALTERNATE LISTING.
C. **SUSTAINABILITY PRODUCT DATA SUBMITTAL FORM**: PROJECT SUBMITTALS MUST BE ACCOMPANIED BY A COMPLETED MATRIX AND HIGHLIGHTED MANUFACTURER DOCUMENTATION SUPPORTING THE SUSTAINABILITY CLAIMS MADE.
D. **PROVIDE LOCATION AND DISTANCE FROM PROJECT OF MATERIAL MANUFACTURER AND POINT OF EXTRACTION, HARVEST, OR RECOVERY FOR EACH RAW MATERIAL**.
E. **SUSTAINABILITY PLANS**: SUBMIT THE FOLLOWING PLANS WITHIN **FOURTEEN** DAYS OF DATE ESTABLISHED FROM [**THE NOTICE OF AWARD**]:
   1. CONSTRUCTION WASTE MANAGEMENT PLAN
   2. PROVIDE CONSTRUCTION INDOOR AIR QUALITY (IAQ) MANAGEMENT PLAN
   3. SUSTAINABILITY PROGRESS REPORTS: SUBMIT REPORTS SUMMARIZING PROGRESS IN CONSTRUCTION ACTIVITIES RELATED TO THE AFOREMENTIONED PLANS ON TWO SEPARATE OCCASIONS DURING CONSTRUCTION
F. **SUSTAINABILITY DOCUMENTATION SUBMITTALS:** FOR EACH SECTION OF THE SPECIFICATION, SUBMIT THE FOLLOWING FOR EACH APPLICABLE SUSTAINABILITY GOAL.
   1. INDOOR WATER USE REDUCTION - PROVIDE THE FOLLOWING:
      - CUT SHEETS FOR ALL TOILETS (WATER CLOSETS), URINALS, PUBLIC AND PRIVATE LAVATORY FAUCETS, KITCHEN FAUCETS, AND SHOWERHEADS INDICATING FLOW RATES (GALLONS/MINUTE) AND FLUSH VOLUMES (GALLONS/FLUSH).
      - PRODUCT DATA DEMONSTRATING PRODUCT MEETS THE EPA WATERSENSE LABEL FOR ALL TOILETS (WATER CLOSETS), URINALS, AND SHOWERHEADS.
      - PRODUCT DATA FOR APPLIANCES INCLUDING DISHWASHERS DEMONSTRATING THE PRODUCT MEETS ENERGY STAR OR PERFORMANCE EQUIVALENT
G. **ENVIRONMENTAL PRODUCT DECLARATIONS (EPD)**: PROVIDE MANUFACTURER AND PRODUCT INFORMATION FOR ALL REQUIRED MATERIALS:
   1. <u>PREFERRED:</u> PROVIDE PRODUCT EPD FORM.
H. **SOURCING OF RAW MATERIALS**: PROVIDE MANUFACTURER AND PRODUCT INFORMATION FOR ALL REQUIRED MATERIALS:
   1. <u>PREFERRED:</u> PROVIDE CURRENT CORPORATE SUSTAINABILITY REPORTS (CSR).
   2. <u>ALTERNATE:</u> PROVIDE MANUFACTURER AND PRODUCT INFORMATION THAT MEETS ONE OF THE FOLLOWING EXTRACTION CRITERIA.
      a. EXTENDED PRODUCER RESPONSIBILITY: PRODUCTS PURCHASED FROM A MANUFACTURER (PRODUCER) THAT PARTICIPATES IN AN EXTENDED PRODUCER RESPONSIBILITY PROGRAM OR IS DIRECTLY RESPONSIBLE FOR EXTENDED PRODUCER RESPONSIBILITY.
      b. WOOD PRODUCTS: FOREST STEWARDSHIP COUNCIL (FSC) FOR CERTIFIED WOOD PRODUCTS. PRODUCT DATA AND CHAIN-OF-CUSTODY CERTIFICATES FOR PRODUCTS CONTAINING CERTIFIED WOOD. INCLUDE STATEMENT INDICATING COST FOR EACH CERTIFIED WOOD PRODUCT.
      c. RECYCLED CONTENT: PROVIDE DOCUMENTATION OR POST CONSUMER (PC%) AND PRE-CONSUMER/POST INDUSTRIAL (PI%) RECYCLED CONTENT.
I. **MATERIAL INGREDIENTS**: PROVIDE MANUFACTURER AND PRODUCT INFORMATION FOR ALL REQUIRED MATERIALS:
   1. <u>PREFERRED:</u> PROVIDE CURRENT HEALTH PRODUCT DECLARATION (HPD).
   2. <u>ALTERNATE:</u> PROVIDE MANUFACTURER AND PRODUCT INFORMATION THAT COMPLIES WITH ONE OF THE FOLLOWING:
      a. A PUBLICLY AVAILABLE INVENTORY OF ALL INGREDIENTS IDENTIFIED BY NAME AND CHEMICAL ABSTRACT SERVICE REGISTRATION NUMBER (CASRN)
      b. CRADLE TO CRADLE
      c. GREEN SCREEN V1.2 BENCHMARK
      d. DECLARE PRODUCT LABELS
      e. ANSI/BIFMA E3 FURNITURE SUSTAINABILITY STANDARD
      f. PRODUCT LENS CERTIFICATION
      g. REACH OPTIMIZATIONS
      h. MANUFACTURERS WITH SUPPLY CHAIN OPTIMIZATION REPORTS
J. **CONSTRUCTION WASTE MANAGEMENT PLAN:**
   A. PROVIDE CONSTRUCTION WASTE MANAGEMENT PLAN
   B. PROVIDE IMAGES OF ON-SITE WASTE CONTAINERS AND APPLICABLE SIGNAGE.
   C. PROVIDE FINAL WASTE HAUL DIVERSION REPORT FOR ALL WASTE REMOVED FROM THE PROJECT SITE AND DOCUMENTATION OF RECYCLING RECOVERY RATE FOR OFF-SITE SORTING FACILITIES (IF WASTE IS COMMINGLED).
K. **ENHANCED INDOOR AIR QUALITY STRATEGIES:**
   1. PROVIDE CUT SHEET OF PERMANENT ENTRY WAY SYSTEMS (WALK-OFF MATS).
   2. PROVIDE CUT SHEETS INDICATING MERV VALUES FOR FILTRATION MEDIA USED DURING CONSTRUCTION.
L. **LOW-EMITTING MATERIALS:**
   1. PAINTS, COATINGS, ADHESIVES AND SEALANTS:
      A. <u>PREFERRED:</u> SUBMIT GENERAL EMISSIONS EVALUATION USING CALIFORNIA DEPARTMENT OF PUBLIC HEALTH (CDPH) STANDARD METHOD V1.2 - 2017 FOR VOC EMISSIONS THROUGH ONE OF THE CERTIFICATIONS LISTED BELOW. MANUFACTURERS' CLAIMS OF COMPLIANCE FOR LEED DOCUMENTATION MUST STATE THE EXPOSURE SCENARIO USED AND MUST ALSO STATE THE RANGE OF TOTAL VOCS AFTER 14 DAYS (336 HOURS), MEASURED AS SPECIFIED IN THE CDPH STANDARD METHOD V1.2 - 2017. LOW-EMITTING MATERIALS THIRD PARTY CERTIFICATIONS AND LABELS MAY INCLUDE:
         - INTERTEK ETL ENVIRONMENTAL VOC+
         - MAS CERTIFIED GREEN
         - SCS INDOOR ADVANTAGE GOLD
         - UL GREENGUARD GOLD OR OTHER LEVEL
         - BERKELEY ANALYTICAL CLEARCHEM
         - COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS)
      B. <u>PREFERRED:</u> PRODUCT DATA AND MATERIAL SAFETY DATA SHEETS (MSDS) FOR ALL PAINTS, COATINGS, ADHESIVES AND SEALANTS USED INSIDE THE BUILDING'S MOISTURE BARRIER INDICATING THE VOLATILE ORGANIC COMPOUND (VOC) CONTENT OF EACH PRODUCT IN GRAMS PER LITER (G/L).
      C. ADHESIVES AND SEALANTS USED ON THE INTERIOR OF THE BUILDING DURING CONSTRUCTION SHALL COMPLY WITH THE VOC LIMITS OF THE SOUTH COAST RULE #1168 BY THE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT, AS AMENDED OCTOBER 6, 2017.
      D. ALL PAINTS AND COATINGS WET-APPLIED ON SITE MUST MEET THE APPLICABLE VOC LIMITS OF THE CALIFORNIA AIR RESOURCES BOARD (CARB) 2020, SUGGESTED CONTROL MEASURE (SCM) FOR ARCHITECTURAL COATINGS, OR THE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQMD) RULE 1113 AS AMENDED FEBRUARY 5, 2016. SEE SECTION 2.1 SUMMARY OF REFERENCED STANDARDS.
   2. FLOORING SYSTEMS:
      a. PREFERRED: SUBMIT GENERAL EMISSIONS EVALUATION USING CALIFORNIA DEPARTMENT OF PUBLIC HEALTH (CDPH) STANDARD METHOD V1.2 - 2017 FOR VOC EMISSIONS THROUGH ONE OF THE FOLLOWING CRITERIA:
         - FLOORSCORE
         - GREEN LABEL PLUS
         - NSF/ ANSI 332-2015
         - COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS)

3. COMPOSITE WOOD:
<u>PREFERRED:</u> SUBMIT DOCUMENTATION SHOWING COMPLIANCE WITH CALIFORNIA AIR RESOURCES BOARD (CARB) 93120 AIRBORNE TOXIC CONTROL MEASURE (ATCM) FOR ULTRA-LOW EMITTING FORMALDEHYDE RESINS, NO ADDED FORMALDEHYDE, OR NO ADDED UREA FORMALDEHYDE FROM COMPOSITE WOOD PRODUCTS.
<u>ALTERNATE:</u> SUBMIT DOCUMENTATION SHOWING COMPLIANCE WITH ULTRA-LOW EMITTING FORMALDEHYDE RESINS, NO ADDED FORMALDEHYDE, OR NO ADDED UREA FORMALDEHYDE FROM COMPOSITE WOOD PRODUCTS.
1. CEILING SYSTEMS, INTERIOR WALL SYSTEMS, THERMAL INSULATION AND ACOUSTIC INSULATION.
   <u>PREFERRED:</u> SUBMIT GENERAL EMISSIONS EVALUATION USING CALIFORNIA DEPARTMENT OF PUBLIC HEALTH (CDPH) STANDARD METHOD V1.2-2017 FOR VOC EMISSIONS THROUGH ONE OF THE FOLLOWING CRITERIA:
   - INTERTEK ETL ENVIRONMENTAL VOC+
   - MAS CERTIFIED GREEN
   - SCS INDOOR ADVANTAGE GOLD
   - UL GREENGUARD GOLD
   - BERKELEY ANALYTICAL CLEARCHEM
   - COLLABORATIVE FOR HIGH PERFORMING SCHOOLS (CHPS)
1. **FURNITURE**
   A. <u>PREFERRED:</u> SUBMIT GENERAL EMISSIONS EVALUATIONS MEETING THROUGH ONE OF THE FOLLOWING CRITERIA:
      - ANSI/BIFMA E3-2011 FURNITURE SUSTAINABILITY STANDARD, SECTIONS 7.6.1 AND/OR 7.6.2
      - INTERTEK ETL ENVIRONMENTAL VOC OR VOC+
      - MAS CERTIFIED GREEN
      - SCS INDOOR ADVANTAGE OR GOLD – FURNITURE
      - UL GREENGUARD GOLD
   B. <u>ALTERNATE:</u> SUBMIT DOCUMENTATION SHOWING COMPLIANCE WITH ULTRA-LOW EMITTING FORMALDEHYDE RESINS, NO ADDED FORMALDEHYDE, OR NO ADDED UREA FORMALDEHYDE FROM COMPOSITE WOOD PRODUCTS
2. **CONSTRUCTION IAQ MANAGEMENT PLAN:**
   1. PROVIDE CONSTRUCTION INDOOR AIR QUALITY (IAQ) MANAGEMENT PLAN THAT COMPLIES WITH THE SMACNA IAQ GUIDELINES FOR OCCUPIED BUILDINGS UNDER CONSTRUCTION, 2ND EDITION, 2007, ANSI/SMACNA 008–2008, CHAPTER 3.
   2. PHOTOGRAPHS HIGHLIGHTING THE IAQ MANAGEMENT PLAN PRACTICES, LABELED TO IDENTIFY THE HIGHLIGHTED APPROACH. AT LEAST 12 PHOTOGRAPHS – SIX PHOTOGRAPHS TAKEN ON TWO SEPARATE OCCASIONS DURING CONSTRUCTION DEMONSTRATING ALL OF THE FOLLOWING ITEMS:
      a. PROTECTION OF ABSORPTIVE MATERIALS DURING CONSTRUCTION
      b. HVAC PROTECTION
      c. SOURCE CONTROL
      d. PATHWAY INTERRUPTION
      e. HOUSEKEEPING
      f. SCHEDULING
   3. PROVIDE PHOTOS OF SIGNAGE DEMONSTRATING THE PROHIBITION OF ALL TOBACCO PRODUCTS INSIDE OF THE BUILDING AND WITHIN 25 FEET OF ALL STORE ENTRIES DURING CONSTRUCTION.
3. **INDOOR AIR QUALITY - FLUSH OUT REPORT:**
   1. FLUSH-OUT, BEFORE OCCUPANCY: COMPLETE A BUILDING FLUSH OUT FOR 24 HOURS AND PROVIDE A NARRATIVE OUTLINING THE BUILDING FLUSH-OUT PROCEDURES, INCLUDING ALL OF THE FOLLOWING:
      a. CONFIRMATION THAT ALL INTERIOR FINISHES, SUCH AS MILLWORK, DOORS, PAINT, CARPET, ACOUSTIC TILES, AND MOVABLE FURNISHINGS WERE INSTALLED AND MAJOR PUNCH LIST ITEMS WERE COMPLETED BEFORE THE FLUSH-OUT BEGAN.
      b. FILTER LOG DEMONSTRATING NEW FILTERS ON THE AHU WERE INSTALLED BEFORE THE FLUSH-OUT BEGAN AND AFTER THE FLUSH-OUT/BEFORE OCCUPANCY. PROVIDE CUTSHEETS OF THE FILTRATION MEDIA USED.
      c. DESCRIBE THE FLUSH-OUT PROCEDURE. INCLUDE THE FLUSH-OUT DATE(S), OUTDOOR AIR DELIVERY RATES, INTERNAL TEMPERATURE AND RELATIVE HUMIDITY.

PART 2 - PRODUCTS

2.1 - SUMMARY OF REFERENCED STANDARDS
REFERENCED STANDARDS FOR SUSTAINABILITY GOALS ARE AS FOLLOWS
(OR PER LOCAL REQUIREMENTS, WHICHEVER IS STRICTER):

A. **WATER USE REDUCTION:**
   1. PLUMBING FIXTURES MUST NOT EXCEED THE FOLLOWING RATES, WHEN PRACTICAL:
      - LOW-FLOW TOILET (≤ 1.28 GPF)
      - LOW-FLOW URINAL (≤ 0.125 GPF)
      - LOW-FLOW SHOWERHEAD (≤ 1.0 GPM)
      - AERATORS ON LAVATORIES (≤0.5 GPM)
      - AERATORS ON KITCHEN SINKS (≤1.0 GPM)
   2. PLUMBING FIXTURES MUST HAVE A EPA WATER SENSE LABEL, WHEN PRACTICAL
B. **LOW EMITTING MATERIALS:** GENERAL EMISSIONS EVALUATION USING CALIFORNIA DEPARTMENT OF PUBLIC HEALTH (CDPH) STANDARD METHOD V1.2 - 2017 FOR VOC EMISSIONS:
   1. VOC LIMITS IN GRAMS PER LITER FOR ADHESIVES AND SEALANTS USED ON INTERIOR OF BUILDING SHALL COMPLY WITH THE FOLLOWING:
      - SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE #1168, AS AMENDED OCTOBER 6, 2017. (HTTP://WWW.AQMD.GOV/DOCS/DEFAULT-SOURCE/RULE-BOOK/REG-XI/RULE-1168.PDF?SFVRSN=4).
   2. THE GREEN SEAL STANDARD FOR COMMERCIAL ADHESIVES GS-36 V2.1 REQUIREMENTS DATED JULY 12, 2013 AND RULE AMENDMENT DATE OF APRIL 30, 2021. (HTTPS://GREENSEAL.ORG/STANDARDS/GS-36-ADHESIVES-FOR-COMMERCIAL-USE/)
   3. VOC LIMITS IN GRAMS PER LITER FOR PAINTS AND ANTI-CORROSIVE PAINTS INCLUDING CLEAR WOOD FINISHES, FLOOR COATINGS, STAINS, SEALERS, AND SHELLACS APPLIED TO INTERIOR ELEMENTS AND ANTI-CORROSIVE PAINTS APPLIED TO INTERIOR FERROUS METAL DURING CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING:
   4. THE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQMD) RULE 1113, ARCHITECTURAL COATINGS, AS AMENDED FEBRUARY 5, 2016. (HTTP://WWW.AQMD.GOV/DOCS/DEFAULT-SOURCE/RULE-BOOK/REG-XI/R1113.PDF?SFVRSN=24)
      - THE GREEN SEAL STANDARD FOR PAINTS, COATINGS, STAINS, AND SEALERS GS-11 V 4.0, DATED SEPTEMBER 7, 2021. THE GREEN SEAL STANDARD IS INTENDED FOR PAINTS AND ANTI-CORROSIVE PAINTS. BOTH INTERIOR AND EXTERIOR PAINTS ARE ADDRESSED BY THE STANDARD, BUT ONLY LIMITS FOR INTERIOR PAINTS APPLY TO AN INTERIOR PROJECT. (HTTPS://GREENSEAL.ORG/WP-CONTENT/UPLOADS/GS-11-STANDARD-ED-4.0_04.2022.PDF)

SECTION 01.90.0 - COMMISSIONING / TURNOVER
01.91.0 REQUIREMENTS

SECTION 019100 – COMMISSIONING REQUIREMENTS (CX)

PART 1 - GENERAL

1.1 - GENERAL

A. COMMISSIONING (CX) IS A COMPREHENSIVE AND SYSTEMATIC QUALITY ASSURANCE PROCESS TO VERIFY THAT THE BUILDING'S ENERGY RELATED SYSTEMS ARE INSTALLED, CALIBRATED, AND PERFORM PER THE OWNER'S PROJECT REQUIREMENTS (OPR), ENGINEER'S BASIS OF DESIGN (BOD), AND CONSTRUCTION DOCUMENTS.
B. THE INTENT OF THE COMMISSIONING PROCESS IS TO SUPPORT THE DESIGN, CONSTRUCTION, AND EVENTUAL OPERATION OF THE PROJECT THAT MEETS THE OWNER'S PROJECT REQUIREMENTS FOR ENERGY, WATER, INDOOR ENVIRONMENTAL QUALITY AND DURABILITY. THIS IS ACCOMPLISHED WITH THE FOLLOWING ACTIVITIES:
   1. DEVELOP THE OWNER'S PROJECT REQUIREMENTS (OPR)
   2. DEVELOP THE BASIS OF DESIGN (BOD)
   3. DEVELOP A COMMISSIONING PLAN
   4. COMMISSIONING FOCUSED REVIEW OF THE OPR, BOD AND DESIGN DOCUMENTS
   5. CONDUCTING COMMISSIONING MEETINGS
   6. COMMISSIONING FOCUSED REVIEW OF CONTRACTOR SUBMITTALS
   7. DEVELOPING AND CONDUCTING PREFUNCTIONAL/START-UP CHECKS AND TESTS
   8. DEVELOPING AND EXECUTING FUNCTIONAL ACCEPTANCE TESTS
   9. DOCUMENTING FINDINGS AND MAINTAINING A COMMISSIONING OBSERVATIONS LOG
   10. TRAINING THE OWNER'S STAFF
   11. PREPARING A SUMMARY COMMISSIONING REPORT
   12. COMPILING CURRENT FACILITY REQUIREMENTS AND AN OPERATIONS AND MAINTENANCE PLAN
   13. DEVELOPING AND COMPILING A SYSTEMS MANUAL
   14. DEVELOPING AN ONGOING COMMISSIONING PLAN
C. CONDUCTING SEASONAL TESTING IF REQUIRED AND CONDUCTING A REVIEW OF BUILDING OPERATIONS WITHIN 10-MONTHS OF SUBSTANTIAL COMPLETION
D. THE COMMISSIONING PROCESS DOES NOT TAKE AWAY FROM OR REDUCE THE RESPONSIBILITY OF THE SYSTEM DESIGNERS OR INSTALLING CONTRACTORS TO PROVIDE A FINISHED AND FULLY FUNCTIONING PRODUCT.
E. COMMISSIONING PROCESS ACTIVITIES SHALL BE COMPLETED FOR THE FOLLOWING BUILDING ENERGY SYSTEMS (AS APPLICABLE):
   1. MECHANICAL, INCLUDING HVAC AND R EQUIPMENT AND CONTROLS
   2. PLUMBING, INCLUDING DOMESTIC HOT WATER SYSTEMS, PUMPS, AND CONTROLS
   3. ELECTRICAL, INCLUDING SERVICE, DISTRIBUTION, LIGHTING, AND CONTROLS, INCLUDING DAYLIGHTING CONTROLS
   4. RENEWABLE ENERGY SYSTEMS DEDICATED TO THE PROJECT SPACE

DIVISION 01, GENERAL REQUIREMENTS, ARE HEREBY MADE A PART OF THIS SECTION AS IF FULLY REPEATED HEREIN

1.2 - COORDINATION

A. **COMMISSIONING TEAM (ABBREVIATION):**
   1. ARCHITECT AND DESIGN ENGINEERS – DESIGN TEAM (A/E)
   2. CONTROLS CONTRACTOR (CC)
   3. COMMISSIONING AUTHORITY (CXA)
   4. DESIGN BUILD CONTRACTORS (DBC)
   5. ELECTRICAL CONTRACTOR (EC)
   6. GENERAL CONTRACTOR (GC)
   7. MECHANICAL, ELECTRICAL AND PLUMBING CONTRACTORS (MEP)
   8. OWNER / OWNER'S TECHNICAL STAFF (LLL)
   9. OWNER'S DESIGNATED PROJECT MANAGER (PM)
   10. TEST AND BALANCE CONTRACTOR (TAB)
B. **CXA QUALIFICATIONS**: BY THE END OF THE DESIGN DEVELOPMENT PHASE, ENGAGE A COMMISSIONING AUTHORITY WITH THE FOLLOWING QUALIFICATIONS:
   1. THE CXA MUST HAVE DOCUMENTED COMMISSIONING PROCESS EXPERIENCE ON AT LEAST TWO BUILDING PROJECTS WITH A SIMILAR SCOPE OF WORK. THE EXPERIENCE MUST EXTEND FROM EARLY DESIGN PHASE THROUGH AT LEAST 10 MONTHS OF OCCUPANCY.
   2. THE CXA MAY NOT BE AN EMPLOYEE OF THE DESIGN OR CONSTRUCTION FIRM NOR A SUBCONTRACTOR TO THE CONSTRUCTION FIRM.
C. **MANAGEMENT:** THE CXA IS HIRED BY THE OWNER OR THE OWNER'S REPRESENTATIVE. THE CXA DIRECTS AND COORDINATES THE COMMISSIONING ACTIVITIES. ALL MEMBERS WORK TOGETHER TO FULFILL THEIR CONTRACTED RESPONSIBILITIES AND MEET THE OBJECTIVES OF THE CONTRACT DOCUMENTS. THE CXA'S RESPONSIBILITIES ARE THE SAME REGARDLESS OF WHO HIRED THE CXA.
D. **SCHEDULING:** THE CXA WILL WORK WITH AND PROVIDE SUFFICIENT NOTICE TO THE PM AND GC TO SCHEDULE COMMISSIONING ACTIVITIES. THE GC WILL INTEGRATE ALL COMMISSIONING ACTIVITIES INTO THE MASTER SCHEDULE. ALL PARTIES WILL ADDRESS SCHEDULING ON AN ONGOING BASIS AND MAKE NECESSARY NOTIFICATIONS IN A TIMELY MANNER TO EXPEDITE THE COMMISSIONING PROCESS.

1.3 - RELATED WORK

RELATED SPECIFICATION SECTIONS, DRAWINGS OF THE CONTRACT, INCLUDING SUPPLEMENTARY CONDITIONS, AND OTHER DIVISION / SPECIFICATION, APPLY TO THE WORK OF THIS SECTION.

1.4 - COMMISSIONING PROCESS

COMMISSIONING DURING DESIGN, CONSTRUCTION, ACCEPTANCE, AND WARRANTY PHASES IS INTENDED TO ACHIEVE THE FOLLOWING OBJECTIVES:
A. VERIFY AND DOCUMENT EQUIPMENT AND SYSTEMS ARE INSTALLED AND STARTED PER MANUFACTURER'S RECOMMENDATIONS AND TO INDUSTRY ACCEPTED MINIMUM STANDARDS.
B. VERIFY AND DOCUMENT EQUIPMENT AND SYSTEMS RECEIVE COMPLETE OPERATIONAL CHECKOUT BY INSTALLING CONTRACTORS.
C. VERIFY AND DOCUMENT EQUIPMENT AND SYSTEM PERFORMANCE.

1.5 - COMMISSIONING TEAM RESPONSIBILITIES

THE RESPONSIBILITIES OF VARIOUS PARTIES IN THE COMMISSIONING PROCESS ARE PROVIDED IN THIS SECTION TO CLARIFY THE COMMISSIONING PROCESS. IT IS NOTED THAT THE SERVICES FOR THE PROJECT MANAGER, CONSTRUCTION MANAGER, ARCHITECT, MECHANICAL AND ELECTRICAL DESIGNERS/ENGINEERS ARE NOT PROVIDED FOR IN THIS CONTRACT (THE CONTRACTOR IS NOT RESPONSIBLE FOR PROVIDING THEIR SERVICES).
A. **DESIGN TEAM (A/E) RESPONSIBILITIES (DESIGN, CONSTRUCTION, AND ACCEPTANCE PHASE):**
   1. ATTEND COMMISSIONING SCOPING MEETING, CONTROLS INTEGRATION MEETING AND ADDITIONAL MEETINGS, AS NECESSARY.
   2. COMPLETE THE BASIS OF DESIGN (BOD) DOCUMENTATION, ASSIST WITH DEVELOPMENT OF THE OWNER'S PROJECT REQUIREMENTS (OPR) DOCUMENT AND SEQUENCE OF OPERATION DOCUMENTATION AS REQUIRED BY CXA.
   3. PERFORM NORMAL SUBMITTAL REVIEW, CONSTRUCTION OBSERVATION, AS-BUILT DRAWING PREPARATION, ETC., AS CONTRACTED.
   4. ASSIST IN RESOLUTION OF SYSTEM DEFICIENCIES IDENTIFIED DURING COMMISSIONING.
   5. REVIEW AND APPROVE OPERATIONS AND MAINTENANCE MANUALS (O&M).
   6. WARRANTY PERIOD: REFER TO SECTION 3.12, BUILDING OPERATIONS REVIEW
B. **COMMISSIONING AGENT (CXA) RESPONSIBILITIES (DESIGN, CONSTRUCTION, AND ACCEPTANCE PHASE):**
   1. DEVELOP AND COORDINATE EXECUTION OF TESTING PLAN AND COMMISSIONING ACTIVITIES TO VERIFY AND DOCUMENT SYSTEMS ARE FUNCTIONING IN ACCORDANCE WITH DESIGN INTENT AND CONTRACT DOCUMENTS.
   2. MAY ASSIST WITH PROBLEM-SOLVING OF DEFICIENCIES, BUT ULTIMATELY THAT RESPONSIBILITY LIES WITH THE CONTRACTORS AND DESIGN ENGINEER OF RECORD.
   3. NOT RESPONSIBLE FOR DESIGN CONCEPT, DESIGN CRITERIA, CODE COMPLIANCE, GENERAL CONSTRUCTION SCHEDULING, COST ESTIMATING, OR CONSTRUCTION MANAGEMENT.
   4. REVIEW THE OPR, BOD AND DESIGN DOCUMENTS
   5. DEVELOP AND MAINTAIN A PROJECT COMMISSIONING PLAN AND CONDUCT A COMMISSIONING SCOPING MEETING AND OTHER COMMISSIONING MEETINGS.
   6. ASSIST THE OWNER AND DESIGN TEAM WITH DEVELOPMENT OF TRAINING REQUIREMENTS FOR COMMISSIONED EQUIPMENT AND SYSTEMS.
   7. COORDINATE THE COMMISSIONING WORK AND, WITH THE GC AND PM, ENSURE THAT COMMISSIONING ACTIVITIES ARE BEING SCHEDULED INTO THE MASTER SCHEDULE.
   8. REQUEST AND REVIEW ADDITIONAL INFORMATION REQUIRED TO PERFORM COMMISSIONING TASKS, INCLUDING O&M MATERIALS, CONTRACTOR START-UP AND CHECKOUT PROCEDURES.
   9. CONCURRENT WITH THE A/E REVIEWS, REVIEW CONTRACTOR SUBMITTALS OF SYSTEMS BEING COMMISSIONED FOR COMPLIANCE WITH COMMISSIONING PROCESS.
   10. PERFORM SITE VISITS TO OBSERVE COMPONENT AND SYSTEM INSTALLATIONS.
   11. ATTEND CONSTRUCTION JOB-SITE MEETINGS AS SCHEDULED BY THE GC OR REQUESTED BY THE OWNER TO MONITOR CONSTRUCTION AND COMMISSIONING PROGRESS.
   12. DEVELOP START-UP AND INITIAL SYSTEMS CHECKOUT PLAN WITH SUBCONTRACTORS.
   13. APPROVE SYSTEMS STARTUP BY REVIEWING START-UP REPORTS AND BY SELECTED SITE OBSERVATION.
   14. REVIEW TAB EXECUTION PLAN.
   15. OVERSEE SUFFICIENT FUNCTIONAL TESTING OF THE CONTROL SYSTEM AND APPROVE IT TO BE USED FOR TAB, BEFORE TAB IS EXECUTED.
   16. WITH NECESSARY ASSISTANCE AND REVIEW FROM INSTALLING CONTRACTORS, WRITE THE FUNCTIONAL PERFORMANCE TEST PROCEDURES FOR EQUIPMENT AND SYSTEMS. SUBMIT TO PM FOR REVIEW, AND FOR APPROVAL IF REQUIRED.
   17. COORDINATE, WITNESS, DOCUMENT AND APPROVE FUNCTIONAL PERFORMANCE TESTS PERFORMED BY INSTALLING CONTRACTORS. COORDINATE RETESTING AS NECESSARY.
   18. WITH THE GC AND SUBCONTRACTORS, MAINTAIN MASTER DEFICIENCY AND RESOLUTION RECORD AND PROVIDE OWNER WITH WRITTEN PROGRESS REPORTS AND RECOMMENDED ACTIONS. ADDITIONAL COSTS TO OVERSEE, RETEST AND CORRECT DEFICIENCIES SHALL BE PAID BY THE GC.
   19. REVIEW THE O&M MANUALS
   20. COORDINATE CURRENT FACILITY REQUIREMENTS AND OPERATIONS AND MAINTENANCE PLAN DOCUMENTATION
   21. CONFIRM THAT THE OWNER TRAINING PROGRAM HAS BEEN COMPLETED PER THE OWNER'S PROJECT REQUIREMENTS FOR ALL COMMISSIONED EQUIPMENT.
   22. COORDINATE SYSTEMS MANUAL DOCUMENTATION DEVELOPMENT
   23. PREPARE A FINAL COMMISSIONING REPORT
   24. DEVELOP ONGOING COMMISSIONING PLAN
C. **GENERAL CONTRACTOR (GC) RESPONSIBILITIES (CONSTRUCTION AND ACCEPTANCE PHASE):**
   1. FACILITATE COORDINATION OF COMMISSIONING WORK BY CXA AND INTEGRATE COMMISSIONING ACTIVITIES INTO THE MASTER SCHEDULE.
   2. ATTEND COMMISSIONING SCOPING MEETING AND ADDITIONAL MEETINGS, AS NECESSARY.
   3. FURNISH COPIES OF CONSTRUCTION DOCUMENTS, ADDENDA, CHANGE ORDERS, RFI, SUBMITTALS, AND SHOP DRAWINGS OF COMMISSIONED EQUIPMENT AND SYSTEMS TO CXA.
   4. ENSURE SUBCONTRACTORS EXECUTE THEIR COMMISSIONING RESPONSIBILITIES PER THE CONTRACT DOCUMENTS, SPECIFICATIONS AND COMMISSIONING PLAN.
   5. SUBMIT OWNER TRAINING AGENDA AND PLAN TO CXA PRIOR TO TRAINING AND COORDINATE TRAINING WITH OWNER AND INSTALLING CONTRACTORS.
   6. WORK WITH SUBCONTRACTORS TO PREPARE O&M MANUALS, PER SPECIFICATIONS, INCLUDING UPDATING ORIGINAL SEQUENCES OF OPERATION AND PLANS TO RECORD CONDITIONS.
   7. WORK WITH DESIGN TEAM AND SUBCONTRACTORS TO PREPARE CURRENT FACILITY REQUIREMENTS AND OPERATIONS AND MAINTENANCE PLAN AND SYSTEMS MANUAL DOCUMENTATION, PER SPECIFICATIONS,
   8. ASSIST IN RESOLUTION OF SYSTEM DEFICIENCIES IDENTIFIED DURING COMMISSIONING. CORRELATE THE RESOLUTION OF ALL DEFICIENCIES WITH FINAL PAYMENT TO ASSOCIATED CONTRACTOR LESS WARRANTY RETENTION.
   9. WARRANTY PERIOD: REFER TO SECTION 3.12, BUILDING OPERATIONS REVIEW
D. **CONTROLS CONTRACTOR (CC) RESPONSIBILITIES:**
   1. SEQUENCES OF OPERATION SUBMITTALS: TEMPERATURE CONTROLS SUBMITTALS TO INCLUDE COMPLETE AND DETAILED SEQUENCES OF OPERATION FOR EACH PIECE OF EQUIPMENT.
   2. CONTROL DRAWINGS SUBMITTAL SHALL INCLUDE:
      a. GRAPHIC SCHEMATIC DEPICTIONS OF SYSTEMS AND INDIVIDUAL COMPONENTS ASSOCIATED WITH THE CONTROL SYSTEM, INCLUDING EQUIPMENT PRIMARILY CONTROLLED BY PACKAGED CONTROLS. ALL CONTROL INTERFACES TO EMBEDDED CONTROLS WITHIN PACKAGED SYSTEMS WILL BE FULLY DETAILED.
      b. FULL POINTS LIST INCLUDING FOR EACH POINT: SYSTEM NAME, POINT ABBREVIATION AND DESCRIPTION, POINT TYPE, AND DISPLAY UNIT.
      c. RECORD DRAWING VERSION OF CONTROL DRAWINGS AND SEQUENCES OF OPERATION TO BE INCLUDED IN FINAL CONTROLS O&M MANUAL SUBMITTAL.
      d. CONTROLS CONTRACTOR TO PREPARE AND SUBMIT TO THE CXA A WRITTEN PLAN THAT WILL BE FOLLOWED TO TEST, CHECKOUT AND ADJUST CONTROL SYSTEM PRIOR TO FUNCTIONAL PERFORMANCE TESTING.
      e. SIGNED AND DATED CERTIFICATION TO CXA AND OWNER UPON COMPLETION OF CONTROL SYSTEM CHECKOUT.
   3. WARRANTY PERIOD: REFER TO SECTION 3.12, BUILDING OPERATIONS REVIEW
E. **MECHANICAL, ELECTRICAL, CONTROLS, AND TEST AND BALANCE (TAB) CONTRACTOR (SUBCONTRACTORS) RESPONSIBILITIES:**
   <u>CONSTRUCTION AND ACCEPTANCE PHASES:</u>
   1. ATTEND COMMISSIONING KICK-OFF MEETING, ADDITIONAL COMMISSIONING COORDINATION MEETINGS AND DEFICIENCY RESOLUTION MEETINGS, AS NECESSARY.
   2. PROVIDE ADDITIONAL REQUESTED DOCUMENTATION, PRIOR TO NORMAL O&M MANUAL SUBMITTALS, TO CXA FOR DEVELOPMENT AND REVIEW OF START-UP AND FUNCTIONAL TESTING PROCEDURES.
   3. ASSIST IN CLARIFICATION OF OPERATION AND CONTROL OF COMMISSIONED EQUIPMENT AS NECESSARY FOR WRITING DETAILED TESTING PROCEDURES.
   4. DEVELOP START-UP AND CHECKOUT PLAN FOR COMMISSIONED EQUIPMENT BASED ON MANUFACTURER'S RECOMMENDATIONS AND VENDOR'S IN-HOUSE CHECKLISTS. SUBMIT TO CXA FOR REVIEW AND APPROVAL PRIOR TO START-UP.
   5. DURING STARTUP AND CHECKOUT PROCESS, EXECUTE PFAT FOR COMMISSIONED EQUIPMENT. PERFORM AND DOCUMENT COMPLETED STARTUP AND SYSTEM OPERATIONAL CHECKOUT PROCEDURES. BE PRESENT ON THE JOB SITE TO REVIEW PFAT RESULTS WITH THE CXA AS REQUESTED.
   6. RESOLVE A/E PUNCH LIST ITEMS BEFORE IMPLEMENTATION OF FAT.
   7. AIR AND WATER TAB TO BE COMPLETED WITH DISCREPANCIES AND PROBLEMS RESOLVED BEFORE FAT.
   8. PERFORM FAT, UNDER DIRECTION OF CXA, FOR COMMISSIONED EQUIPMENT.
   9. RESOLVE EQUIPMENT OR SYSTEM DEFICIENCIES BY MAKING HARDWARE OR SOFTWARE CHANGES NECESSARY TO SATISFY PROJECT PLANS AND SPECIFICATIONS AND RETEST AS REQUIRED.
   10. PREPARE O&M MANUALS PER SPECIFICATIONS, INCLUDING UPDATING ORIGINAL SEQUENCES OF OPERATION AND PLANS TO RECORD CONDITIONS.
   11. PROVIDE TRAINING OF OWNER'S OPERATING PERSONNEL FOR ALL INSTALLED EQUIPMENT AND/OR EQUIPMENT THE OWNER REQUESTS TRAINING FOR.
   12. COORDINATE WITH EQUIPMENT MANUFACTURERS TO DETERMINE REQUIREMENTS TO MAINTAIN VALIDITY OF WARRANTIES.
   13. PROVIDE ALL NECESSARY HANDHELD INSTRUMENTS TO PERFORM STARTUP, CHECKOUT, PFATS, FATS AND DEFICIENCY RESOLUTION.
   14. TAB TO PROVIDE TEST AND BALANCE PLAN TO CXA FOR REVIEW BEFORE BALANCING BEGINS.
   15. TAB TO MAINTAIN A DEFICIENCY LOG (INCLUDING AIR, WATER & CONTROLS ISSUES) PROVIDED TO THE CXA ON A WEEKLY BASIS.
   16. TAB TO SUBMIT FINAL TEST AND BALANCE DATA TO CXA FOR REVIEW.
   17. EACH CONTRACTOR SHALL PROVIDE A WRITTEN DETAILED DESCRIPTION OF ALL MAJOR COMPONENTS THEY PROVIDE OR INSTALL THAT ARE PART OF THE COMMISSIONED SYSTEMS. THE MC SHALL PROVIDE A DESCRIPTION OF ALL HYDRONIC AND AIR SYSTEMS THAT ARE INSTALLED, WHILE THE EC SHALL PROVIDE A DESCRIPTION OF ANY LIGHTING CONTROL SYSTEMS. THE CC IS REQUIRED TO SUBMIT A NARRATIVE DESCRIPTION OF THE HVAC CONTROL SYSTEM. ALL WRITTEN SYSTEM DESCRIPTIONS SHALL BE SUBMITTED ELECTRONICALLY IN MICROSOFT WORD OR PDF FORMAT TO THE CXA ACCOMPANYING PFAT SUBMISSIONS TO THE CXA.
   18. SINGLE LINE DIAGRAMS OF EACH COMMISSIONED SYSTEM SHALL BE PROVIDED BY MECHANICAL CONTRACTOR OR SUBCONTRACTORS AND SUBMITTED TO CXA FOR REVIEW. DIAGRAMS SHALL BE UNTANGLED TO REFLECT THE SIMPLEST DISPLAY OF DUCTING, PIPING LINES OR CIRCUITRY POSSIBLE. EQUIPMENT CAPACITIES AND FLOW RATES SHALL BE DISPLAYED ON DIAGRAM ADJACENT TO ASSOCIATED EQUIPMENT.
   19. WARRANTY PERIOD: REFER TO SECTION 3.12, BUILDING OPERATIONS REVIEW
F. **OWNER'S TECHNICAL STAFF (LLL) RESPONSIBILITIES:**
   1. DESIGN, CONSTRUCTION AND ACCEPTANCE PHASE:
   2. PROVIDE OWNER'S PROJECT REQUIREMENTS (OPR)
   3. ARRANGE FOR REQUIRED FACILITY OPERATING AND MAINTENANCE PERSONNEL TO PARTICIPATE IN COMMISSIONING ACTIVITIES AND TRAINING SESSIONS.
   4. PROVIDE FINAL ACCEPTANCE OF BUILDING CONTINGENT UPON THE RESOLUTION OF ALL DEFICIENCIES IDENTIFIED DURING THE COMMISSIONING PROCESS.
   5. WARRANTY PERIOD: REFER TO SECTION 3.12, BUILDING OPERATIONS REVIEW
G. **MANUFACTURER'S REPRESENTATIVES AND EQUIPMENT SUPPLIERS RESPONSIBILITIES:**
   1. PROVIDE REQUESTED SUBMITTAL DATA, INCLUDING DETAILED START-UP PROCEDURES AND SPECIFIC RESPONSIBILITIES OF OWNER TO KEEP WARRANTIES IN EFFECT.
   2. PROVIDE INFORMATION REQUESTED BY CXA REGARDING EQUIPMENT SEQUENCE OF OPERATION AND TESTING PROCEDURES.
H. ASSIST IN EQUIPMENT TESTING AND TRAINING PER AGREEMENTS WITH CONTRACTORS.

PART 2 - PRODUCTS

2.1 TEST EQUIPMENT

A. GC AND SUBCONTRACTORS, INCLUDING THE TAB CONTRACTOR, TO PROVIDE ALL STANDARD TESTING EQUIPMENT REQUIRED TO PERFORM STARTUP AND INITIAL CHECKOUT AND REQUIRED PFAT AND FAT FOR EQUIPMENT BEING TESTED. ANY SPECIALIZED TESTING EQUIPMENT WILL BE PROVIDED BY THE INSTALLING CONTRACTOR.
B. ALL TESTING EQUIPMENT SHALL BE OF SUFFICIENT QUALITY AND ACCURACY TO TEST AND/OR MEASURE SYSTEM PERFORMANCE WITH THE TOLERANCES SPECIFIED IN THE SPECIFICATIONS. ALL EQUIPMENT SHALL BE CALIBRATED PER THE MANUFACTURER'S RECOMMENDED INTERVALS AND WHEN DROPPED OR DAMAGED. CALIBRATION TAGS SHALL BE AFFIXED OR CERTIFICATES READILY AVAILABLE.
C. FIELD-INSTALLED SENSORS AND GAGES SHALL BE CALIBRATED USING THE METHODS DESCRIBED BELOW. CALIBRATION PROCEDURES ARE DOCUMENTED DURING EXECUTION OF THE START-UP PLAN ON THE PREFUNCTIONAL CHECKLISTS. SENSORS INSTALLED IN PACKAGED UNITS AT THE FACTORY WITH CALIBRATION CERTIFICATION PROVIDED NEED NOT BE FIELD CALIBRATED. ALTERNATE METHODS MAY BE USED, IF APPROVED BY THE OWNER AND CXA.
D. CC OR SUBCONTRACTORS TO VERIFY CALIBRATION OF SENSORS AS FOLLOWS: PUT THE EQUIPMENT IN OPERATION. MAKE A READING WITH A CALIBRATED TEST INSTRUMENT WITHIN SIX INCHES OF THE SITE SENSOR. VERIFY THAT THE SENSOR READING IS WITHIN THE TOLERANCE LISTED IN THE PROJECT SPECIFICATIONS FOR THE ASSOCIATED SENSOR. IF NOT, CALIBRATE OR REPLACE SENSOR.

PART 3 - EXECUTION

3.1 - MEETINGS

A. KICK-OFF MEETING: MEMBERS OF DESIGN AND CONSTRUCTION TEAM INVOLVED IN THE COMMISSIONING PROCESS MEET AND DISCUSS SCOPE OF WORK, TASKS, SCHEDULES, DELIVERABLES, AND RESPONSIBILITIES FOR IMPLEMENTATION OF COMMISSIONING PLAN. ADDITIONAL SCHEDULED MEETINGS WILL BE REQUIRED THROUGHOUT CONSTRUCTION TO PLAN, SCOPE, COORDINATE AND SCHEDULE FUTURE ACTIVITIES AND RESOLVE ISSUES.
B. OTHER MEETINGS TO BE PLANNED AND CONDUCTED BY CXA AS CONSTRUCTION PROGRESSES:
   1. MEETINGS TO COVER COORDINATION AND DEFICIENCY RESOLUTION (INCLUDING TAB WEEKLY DEFICIENCY LOGS) AS REQUIRED.
   2. COST OF DEFICIENCY RESOLUTION MEETINGS MAY BE BORNE BY THE CONTRACTORS AS JUDGED BY THE CXA.

3.2 - COMMISSIONING PLAN:

A. THE COMMISSIONING PLAN IS DEVELOPED BY THE CXA TO PROVIDE GUIDANCE TO THE TEAM IN EXECUTION OF THE COMMISSIONING PROCESS.
   1. COMMISSIONING PLAN SHALL INCLUDE THE FOLLOWING:
      A. GOALS AND OBJECTIVES
      B. GENERAL PROJECT INFORMATION
      C. SYSTEMS TO BE COMMISSIONED
      D. TEAM MEMBERS AND ROLES
      E. COMMUNICATION PROTOCOL, MEETINGS AND MANAGEMENT OF THE PROCESS
   2. SUMMARY FOR THE COMMISSIONING ACTIVITIES

3.3 - SUBMITTALS AND SUBMITTAL REVIEW PROCEDURES

A. CONTRACTORS TO PROVIDE ONE COPY OF SUBMITTALS TO CXA CONGRUENT TO A/E TEAM SUBMITTAL REVIEW. CXA MAY REQUEST THAT ALL SUBMITTALS FOR COMMISSIONED SYSTEMS TAKE THE FORM OF ELECTRONIC FILES IN PDF FORMAT. SUBMITTED FILES SHALL ONLY CONTAIN DESIGN, INSTALLATION, OPERATION AND MAINTENANCE MANUALS PERTINENT TO THE SPECIFIC EQUIPMENT BEING PROVIDED.
B. CXA REVIEWS SUBMITTALS RELATED TO COMMISSIONED EQUIPMENT FOR CONFORMANCE TO CONSTRUCTION DOCUMENTS AS IT RELATES TO COMMISSIONING PROCESS.
C. AFTER THE SUBMITTAL IS APPROVED BY THE DESIGNER THE CXA WILL REQUEST ADDITIONAL INFORMATION FROM DESIGN TEAM, CONTRACTORS AND SUBCONTRACTORS SUCH AS O & M AND INSTALLATION LITERATURE OR OTHER TECHNICAL DATA TO FACILITATE THE COMMISSIONING PROCESS.
D. CXA MAY REQUEST ADDITIONAL DESIGN AND OPERATIONS NARRATIVE FROM SUBCONTRACTORS AND A/E.
E. A DRAFT O&M MANUAL SUBMITTAL WILL BE REQUIRED A MONTH PRIOR TO SITE COMMISSIONING AND SCHEDULED TRAINING.

3.4 - START-UP, PREFUNCTIONAL INSPECTION CHECKLISTS / PREFUNCTIONAL ASSURANCE TESTS (PFAT)

A. PREFUNCTIONAL CHECKLISTS ARE IMPORTANT TO ENSURE THAT THE EQUIPMENT AND SYSTEMS ARE PROPERLY INSTALLED AND OPERATIONAL AND TO ENSURE THAT FUNCTIONAL PERFORMANCE TESTING MAY PROCEED WITHOUT UNNECESSARY DELAYS. EACH PIECE OF EQUIPMENT RECEIVES FULL PREFUNCTIONAL CHECKOUT BY THE RESPONSIBLE CONTRACTOR. THE PREFUNCTIONAL TESTING FOR A GIVEN SYSTEM MUST BE SUCCESSFULLY COMPLETED PRIOR TO FORMAL FUNCTIONAL PERFORMANCE TESTING OF EQUIPMENT OR SUBSYSTEMS OF THE GIVEN SYSTEM.
B. START-UP AND INITIAL CHECKOUT PLAN: THE CXA SHALL ASSIST THE CONTRACTOR IN DEVELOPING PRE-FUNCTIONAL CHECKLISTS AND A DETAILED START-UP PLAN FOR ALL COMMISSIONED EQUIPMENT SO THAT THERE IS WRITTEN DOCUMENTATION THAT THE MANUFACTURER-RECOMMENDED PROCEDURES HAVE BEEN COMPLETED:
   1. THE SUBCONTRACTOR RESPONSIBLE FOR THE PURCHASE OF THE EQUIPMENT SHALL DEVELOP THE FULL START-UP PLAN OR PREFUNCTIONAL ASSURANCE TESTS (PFAT). THE PLAN WILL INCLUDE CHECKLISTS AND PROCEDURES WITH SPECIFIC BOXES OR LINES FOR RECORDING AND DOCUMENTING THE CHECKING AND INSPECTIONS OF EACH PROCEDURE AND A SUMMARY STATEMENT WITH A SIGNATURE BLOCK AT THE END OF THE PLAN.
   2. THE SUBCONTRACTOR TO SUBMIT THE FULL STARTUP PLAN TO THE CXA FOR REVIEW AND APPROVAL FOUR WEEKS PRIOR TO FIELD USE.
   3. THE CXA TO REVIEW AND APPROVE THE PROCEDURES AND THE FORMAT FOR DOCUMENTING THEM, NOTING ANY PROCEDURES THAT NEED TO BE ADDED.
   4. THE FULL START-UP PROCEDURES AND THE APPROVAL FORM MAY BE PROVIDED TO THE PM FOR REVIEW AND APPROVAL, DEPENDING ON MANAGEMENT PROTOCOL.
   5. WHERE SPECIFIED, START-UP IS ONLY TO BE PERFORMED BY CERTIFIED MANUFACTURER'S REPRESENTATIVES.
C. CONTRACTOR TO SCHEDULE PFAT ACTIVITIES AND INFORM CXA OF THIS SCHEDULE TO ENABLE THE CXA TO ATTEND IF DESIRED. CONTRACTOR TO COMPLETE ALL PFAT(S) IN THEIR ENTIRETY AND SUBMITS COMPLETED PFAT REPORT(S) TO THE CXA FOR REVIEW.
D. PFAT SHALL VERIFY ALL ASPECTS OF EQUIPMENT INCLUDING BUT NOT LIMITED TO EQUIPMENT MANUFACTURER, MODEL, CAPACITY, EFFICIENCY, ACCURACY, STATUS, FULL MODULATION CAPABILITY, TYPE, RATINGS, ACCESSORIES, COMPATIBILITY, INSTALLATION METHODS AND ALL OTHER PROJECT SPECIFICATION REQUIREMENTS.
E. TAB TO SUBMIT TEST AND BALANCE PLAN AND DEFICIENCY LOG FORM TO CXA FOR REVIEW AND COMMENT THREE (3) WEEKS BEFORE BALANCING IS TO BEGIN. INCORPORATE CXA COMMENTS INTO FINAL TEST AND BALANCE PLAN. COMPLETED FINAL TEST AND BALANCE PLANS AND DATA SHALL INCLUDE SUFFICIENT DESCRIPTIONS OF HOW THE RESULTS WERE ACHIEVED INCLUDING A FULL DESCRIPTION OF THE SYSTEM CONDITIONS AT THE TIME MEASUREMENTS WERE TAKEN AND WHERE WITHIN THE SYSTEM THE MEASUREMENTS WERE TAKEN. TAB FINAL TEST AND BALANCE RESULTS WILL IDENTIFY THE LOWEST POSSIBLE AIR OR WATER PRESSURE NECESSARY TO SATISFY SYSTEM DESIGN FLOW RATES / HEATING OR COOLING CAPACITY.

D. TAB TO SUBMIT TEST AND BALANCE PLAN AND DEFICIENCY LOG FORM TO CXA FOR REVIEW AND COMMENT THREE (3) WEEKS BEFORE BALANCING IS TO BEGIN. INCORPORATE CXA COMMENTS INTO FINAL TEST AND BALANCE PLAN. COMPLETED FINAL TEST AND BALANCE PLANS AND DATA SHALL INCLUDE SUFFICIENT DESCRIPTIONS OF HOW THE RESULTS WERE ACHIEVED INCLUDING A FULL DESCRIPTION OF THE SYSTEM CONDITIONS AT THE TIME MEASUREMENTS WERE TAKEN AND WHERE WITHIN THE SYSTEM THE MEASUREMENTS WERE TAKEN. TAB FINAL TEST AND BALANCE RESULTS WILL IDENTIFY THE LOWEST POSSIBLE AIR OR WATER PRESSURE NECESSARY TO SATISFY SYSTEM DESIGN FLOW RATES / HEATING OR COOLING CAPACITY.
E. TAB TO PROVIDE LABOR AND HANDHELD INSTRUMENTS NECESSARY TO CALIBRATE ALL PROJECT AIR AND HYDRONIC FLOW SENSORS AND PRESSURE SENSORS. CC TO BE PRESENT AS NECESSARY TO MANIPULATE CONTROL SYSTEM AND RECORD RESULTS OF CALIBRATION PROCESS AND ENTER RESULTS INTO CONTROL SYSTEM SOFTWARE OR EQUIPMENT SOFTWARE.
F. CC TO SUBMIT CONTROL SYSTEM CHECKOUT PLAN TO CXA FOR REVIEW AND COMMENT THREE (3) WEEKS BEFORE CONTROL SYSTEM CHECKOUT IS TO COMMENCE. CONTROL SYSTEM CHECKOUT PLAN IS TO VERIFY ALL INSTALLATION OF END DEVICE, WIRING BETWEEN DEVICE AND CONTROLLER AND CONTROLLER SOFTWARE IS CONFIGURED CORRECTLY SUCH THAT A CHANGE IN THE END DEVICE CONDITION IS CORRECTLY REFLECTED IN THE SOFTWARE. CALIBRATION OF ALL ANALOG INPUTS SHALL BE A PART OF CONTROL SYSTEM CHECKOUT. VERIFICATION OF ALL END DEVICE FULL RANGE OF MOTION ASSOCIATED WITH ANALOG OUTPUTS SHALL BE A PART OF CONTROL SYSTEM CHECKOUT. VERIFICATION OF END DEVICE CORRECT ON/OFF STATUS ASSOCIATED WITH APPROPRIATE DIGITAL OUTPUT COMMAND SIGNAL STATUS SHALL BE A PART OF CONTROL SYSTEM CHECKOUT. INCORPORATE CXA COMMENTS INTO FINAL CONTROL SYSTEM CHECKOUT DOCUMENTATION. PROVIDE ALL CONTROL SYSTEM DOCUMENTATION TO CXA UPON COMPLETION FOR REVIEW AND COMMENT. CONTROL SYSTEM CHECKOUT IS A COMPONENT OF PFAT AND ALL SPECIFICATION REQUIREMENTS OF PFAT APPLY.
G. LIGHTING ELECTRICAL CONTRACTOR SHALL CREATE AND SUBMIT PFAT FOR ALL LIGHTING CONTROL SYSTEMS OR LIGHTING CONTROL COMPONENTS INCLUDING BUT NOT LIMITED TO MOTION SENSOR CONTROLS, PHOTOCELL CONTROLS, TIME CLOCK OR ASTRONOMICAL CLOCK CONTROLS OR SWEEP FUNCTION CONTROLS. AT MINIMUM, PHOTOCELL OPTIMAL PLACEMENT AND SENSITIVITY ADJUSTED SHALL BE VERIFIED. FOR MOTION SENSORS: PLACEMENT, ANGLE, DELAY TIMES, LENS ADJUSTMENT AND SENSITIVITY ADJUSTMENTS SHALL BE MADE TO CONFIRM 100% COVERAGE IN THE SPACE. SENSITIVITY ADJUSTMENTS SHALL BE MADE SUCH THAT AIR-MOVEMENT DOES NOT RESULT IN THE LIGHTS BEING TRIPPED ON.
H. COMPLETION OF PREFUNCTIONAL CHECKLISTS AND STARTUP:
   1. FOUR WEEKS PRIOR TO STARTUP, THE SUBCONTRACTORS AND VENDORS SCHEDULE STARTUP AND CHECKOUT WITH THE PM, GC AND CXA. THE PERFORMANCE OF THE PREFUNCTIONAL CHECKLISTS, STARTUP AND CHECKOUT ARE DIRECTED AND EXECUTED BY THE SUB OR VENDOR. WHEN CHECKING OFF PREFUNCTIONAL CHECKLISTS, SIGNATURES MAY BE REQUIRED OF OTHER SUBCONTRACTORS FOR VERIFICATION OF COMPLETION OF THEIR WORK.
   2. SUBCONTRACTORS AND VENDORS EXECUTE STARTUP AND CHECKOUT AND PROVIDE CXA WITH SIGNED AND DATED COPY OF COMPLETED START-UP AND PFAT. THE CXA WILL WITNESS SOME, BUT NOT ALL START-UP.
   3. ONLY INDIVIDUALS THAT HAVE <u>DIRECT</u> KNOWLEDGE AND WITNESSED THAT A LINE ITEM TASK ON THE PREFUNCTIONAL CHECKLIST WAS PERFORMED SHALL INITIAL OR CHECK THAT ITEM. IT IS NOT ACCEPTABLE FOR WITNESSING SUPERVISORS TO FILL OUT THESE FORMS.
I. DEFICIENCIES, NON-CONFORMANCE AND APPROVAL IN CHECKLISTS AND STARTUP.
   1. AT THE REQUEST OF THE CXA, THE CONTRACTOR WILL BE AVAILABLE ON THE JOBSITE AND WITH THE SAME PORTABLE MEASUREMENT INSTRUMENT USED DURING BALANCING, START-UP AND CHECKOUT OR WHILE COMPLETING PFAT, TO PERFORM SAMPLE MEASUREMENTS OR MAKE SYSTEM ADJUSTMENTS TO CONFIRM THE RESULTS OF ANY DOCUMENTATION SUBMITTED TO THE CXA. THE QUANTITY OF SAMPLE MEASUREMENTS TAKEN SHALL BE DETERMINED BY THE CXA BUT WILL NOT CONSTITUTE OVER 20% OF THE TOTAL MEASUREMENTS MADE BY THE CONTRACTOR. SHOULD THE MEASUREMENTS OR RESULTS NOT AGREE WITH THOSE TAKEN PREVIOUSLY BY THE CONTRACTOR, THE CXA WILL RESERVE THE RIGHT TO REJECT ALL PREVIOUSLY SUBMITTED TESTS OR CHECKLISTS FORCING THE CONTRACTOR TO REPEAT THE TEST / CHECKLIST.
J. PROCEDURES RESOLVING ANY OUTSTANDING DEFICIENCIES ARE PROVIDED TO CXA WITHIN TWO (2) DAYS OF TEST
K. SCHEDULING THE PFAT, TAB, START-UP, AND CHECKOUTS WILL BE CONDUCTED BY THE GC WITH THE APPROPRIATE SUB AND CXA. EFFORTS WILL BE MADE BY THE CXA TO BE ON-SITE WITNESSING CONTRACTOR REQUIRED MEASUREMENTS AND ACTIVITIES LISTED ABOVE. WHEN THE CXA IS ON-SITE WITNESSING THE ACTIVITIES AND MEASUREMENTS DETAILED ABOVE THIS WILL BE INCLUDED IN THE 20% SAMPLE.
L. CXA TO REVIEW PFAT, TAB, AND START-UP REPORTS AND SUBMIT TO OWNER.

3.5 - FUNCTIONAL ASSURANCE TESTING (FAT)

A. OBJECTIVES AND SCOPE:
   1. DEMONSTRATE EACH SYSTEM IS OPERATING PER DOCUMENTED DESIGN INTENT, CONSTRUCTION DOCUMENTS, AND/OR BIDDER DESIGN PACKAGE.
   2. FAT VERIFIES COMPONENTS, EQUIPMENT, SYSTEMS, AND INTERFACES BETWEEN SYSTEMS OPERATE CORRECTLY AND INCLUDE OPERATING MODES, INTERLOCKS, CONTROL SEQUENCES, AND RESPONSES TO EMERGENCY/LIFE SAFETY CONDITIONS.
   3. FUNCTIONAL TESTING FACILITATES BRINGING THE SYSTEMS FROM A STATE OF SUBSTANTIAL COMPLETION TO FULL DYNAMIC OPERATION. ALSO,DURING THE TESTING PROCESS, AREAS OF DEFICIENT PERFORMANCE ARE IDENTIFIED AND CORRECTED, IMPROVING THE OPERATION AND FUNCTIONING OF THE SYSTEMS.
   4. VERIFICATION PROCEDURES ARE REVIEWED, WITNESSED, AND DOCUMENTED BY CXA.
B. FUNCTIONAL TESTING WILL NOT BE SCHEDULED UNTIL ALL CONTROL SYSTEM START-UP AND CHECKOUT PLANS, ALL TESTING AND BALANCING REPORTS AND ALL PFAT HAVE BEEN COMPLETED, AND SUBMITTED TO THE CXA FOR REVIEW AND APPROVAL. FUNCTIONAL TESTING MAY COVER COMPLETE COMPONENT AND SYSTEM INSTALLATION, SETUP AND PROGRAMMING OF EQUIPMENT, ALL FACETS OF THE CONTROL SYSTEM AND EFFICIENCY AND CAPACITY OF COMPONENTS AND SYSTEMS.
C. DEVELOPMENT OF TEST PROCEDURES:
   1. CXA TO CREATE TEST PROCEDURES AND FORMS BASED ON PROJECT PLANS AND SPECIFICATIONS, CONTRACTOR APPROVED SUBMITTALS AND CONTRACTOR SUBMITTED INSTALLATION, OPERATION AND MAINTENANCE MANUALS. O&M MANUALS WILL BE REQUIRED TO BE SUBMITTED TO THE CXA DURING PFAT DEVELOPMENT.
      A. TEST METHODS: FUNCTIONAL PERFORMANCE TESTING AND VERIFICATION MAY BE ACHIEVED BY DIRECT MANIPULATION OF SYSTEM INPUTS SUCH AS TEMPERATURE SENSORS, SETPOINTS, OR SHORT-TERM MONITORING OF PARAMETERS USING STAND ALONE DATA LOGGERS.
      B. A COMBINATION OF METHODS MAY BE REQUIRED TO TEST COMPLETE SEQUENCE OF OPERATIONS.
      C. CXA TO CREATE TESTS AND DECIDE WHICH METHOD, OR COMBINATION, IS MOST APPROPRIATE.
   2. CXA TO SUBMIT TEST PROCEDURES TO ASSOCIATED CONTRACTORS AND EQUIPMENT MANUFACTURER WHO ARE RESPONSIBLE TO REVIEW THE TESTS FOR FEASIBILITY, SAFETY, EQUIPMENT AND WARRANTY PROTECTION PRIOR TO EXECUTION. IF DAMAGE TO EQUIPMENT OR SYSTEM RESULTS FROM THE IMPLEMENTATION OF A FUNCTIONAL PERFORMANCE TEST THAT WAS SENT TO THE CONTRACTORS FOR REVIEW, IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL EQUIPMENT AND LABOR NECESSARY TO MAKE REPAIRS.
   3. CXA MAY SUBMIT TESTS TO OWNER OR A/E TEAM FOR REVIEW.
   4. TEST PROCEDURE FORMS, DEVELOPED BY THE CXA, TO INCLUDE THE FOLLOWING INFORMATION:
      1. SYSTEM AND EQUIPMENT OR COMPONENT NAME(S)
      2. EQUIPMENT LOCATION AND ID NUMBER
      3. DATE
      4. PARTICIPATING PARTIES
      5. INSTRUCTIONS FOR SETTING UP TEST, INCLUDING SPECIAL CAUTIONS AND LIMITS
      6. SPECIFIC PROCEDURES TO EXECUTE TEST
      7. ACCEPTANCE CRITERIA OF PROPER PERFORMANCE WITH DATE PASSED AND INITIALS BOXES
      8. SECTION FOR COMMENTS OR NOTES
   5. EXECUTION OF FUNCTIONAL ASSURANCE TESTS:
      1. SETUP: EACH TEST PROCEDURE IS PERFORMED UNDER CONDITIONS THAT SIMULATE NORMAL BUILDING OPERATING CONDITIONS AS CLOSELY AS POSSIBLE.
      2. CONTRACTOR EXECUTING TEST TO PROVIDE NECESSARY SYSTEM MODIFICATIONS TO PRODUCE SPECIFIED CONDITIONS SUCH AS FLOWS, PRESSURES AND TEMPERATURES AS NECESSARY TO EXECUTE TEST.
      3. AT COMPLETION OF TEST, SUB-CONTRACTOR TO RETURN AFFECTED BUILDING EQUIPMENT AND SYSTEMS TO THEIR PRE-TEST CONDITIONS.
      4. CXA WILL PROVIDE THE CONTRACTOR FATS FOR DRY RUN TESTING BY THE CONTRACTOR. THE CONTRACTOR WILL EXECUTE ALL FUNCTIONAL TESTS IN ADVANCE OF FORMAL FUNCTIONAL TESTING WITH THE CXA, OWNER AND CONSTRUCTION TEAM. IN ADDITION, THE CONTRACTOR WILL REVIEW THEIR ASSOCIATED APPROVED SUBMITTAL TO ENSURE THAT THE INSTALLED SYSTEM MEETS THE REQUIREMENTS OF THE APPROVED SUBMITTAL PRIOR TO FUNCTIONAL TESTING.
D. COORDINATION AND SCHEDULING: CONTRACTOR TO PROVIDE SUFFICIENT NOTICE TO CXA REGARDING COMPLETION SCHEDULE FOR PRE-FUNCTIONAL CHECKLISTS AND STARTUP OF EQUIPMENT AND SYSTEMS.
   1. CXA TO SCHEDULE FUNCTIONAL TESTS THROUGH OWNER, CONTRACTOR AND APPROPRIATE SUBCONTRACTORS AND THE FOLLOWING SEQUENTIAL PRIORITIES FOLLOWED:
      a. EQUIPMENT IS NOT 'TEMPORARILY" STARTED (FOR HEATING OR COOLING), UNTIL PRE-START CHECKLIST ITEMS AND MANUFACTURER'S PRE-START PROCEDURES ARE COMPLETED AND MOISTURE, DUST AND OTHER ENVIRONMENTAL AND BUILDING INTEGRITY ISSUES HAVE BEEN ADDRESSED.
      b. FUNCTIONAL PERFORMANCE TESTING ONLY BEGINS AFTER PRE-FUNCTIONAL, START-UP AND TAB IS COMPLETED FOR GIVEN SYSTEM.
      c. CONTRACTOR AND SUBCONTRACTORS ARE RESPONSIBLE TO ASSURE THAT THE FUNCTIONAL TEST PLAN AND ITS EXECUTION IS COORDINATED WITH THE EQUIPMENT MANUFACTURER AND WILL NOT NEGATIVELY AFFECT THE EQUIPMENT OR ASSOCIATED WARRANTY.
      d. CONTROLS SYSTEM AND EQUIPMENT IT CONTROLS ARE NOT FUNCTIONALLY TESTED UNTIL POINTS HAVE BEEN CALIBRATED AND PRE-FUNCTIONAL CHECKLISTS ARE COMPLETED.
      e. LIGHTING CONTROL SYSTEM OR LIGHTING CONTROL COMPONENT PFATS MUST BE COMPLETE BEFORE FAT IS SCHEDULED FOR LIGHTING CONTROLS.
      f. PROBLEM SOLVING: THE CXA MAY RECOMMEND SOLUTIONS TO PROBLEMS OR DEFICIENCIES FOUND, HOWEVER THE BURDEN OF RESPONSIBILITY TO SOLVE, CORRECT AND RETEST PROBLEMS IS WITH THE GC, SUBCONTRACTORS, AND A/E.

3.6 - DOCUMENTATION, NON-CONFORMANCE AND APPROVAL OF TESTS

A. DOCUMENTATION: CXA TO WITNESS AND DOCUMENT THE RESULTS OF FUNCTIONAL PERFORMANCE TESTS.
B. NON-CONFORMANCE: CXA TO RECORD RESULTS OF FUNCTIONAL TEST ON PROCEDURE OR TEST FORM.
   1. DEFICIENCIES IDENTIFIED DURING VERIFICATION TESTING TO BE DOCUMENTED ON AN OBSERVATION OR ISSUES LOG AND REPORTED TO OWNER, CONTRACTORS AND SUBCONTRACTORS.
      a. DEFICIENCY REPORT / OBSERVATION LOG SHALL INCLUDE DETAILS OF COMPONENTS OR SYSTEMS FOUND TO BE NON-COMPLIANT WITH PARAMETERS OF TEST PLANS OR PROJECT DOCUMENTS.
      b. OBSERVATION LOG TO DETAIL REQUIREMENT ITEM(S) IN NEED OF CORRECTION AND ATTEMPTS TO IDENTIFY RESPONSIBLE PARTY.
      c. CORRECTIONS OF MINOR DEFICIENCIES IDENTIFIED MAY BE MADE DURING TESTS AT DISCRETION OF CXA AND WITH RESOLUTION DOCUMENTED ON PROCEDURE FORM.
C. IDENTIFIED DEFICIENCY RESOLUTION:
   1. WHERE NO DISPUTE ON DEFICIENCY AND RESPONSIBILITY TO CORRECT IT:
      1. CXA TO DOCUMENT DEFICIENCY AND ADJUSTMENTS OR ALTERATIONS REQUIRED TO CORRECT IT.
      2. SUBCONTRACTOR TO CORRECT DEFICIENCY AND NOTIFY CXA WHEN READY TO BE RETESTED.
      3. CXA TO RESCHEDULE TEST AND TEST IS REPEATED.
   2. WHERE DISPUTE ABOUT DEFICIENCY OR RESPONSIBILITY:
      1. DEFICIENCY SHALL BE DOCUMENTED ON NON-COMPLIANCE FORM AND A COPY GIVEN TO OWNER AND CONTRACTOR.
      2. RESOLUTIONS TO BE MADE AT THE LOWEST MANAGEMENT LEVEL POSSIBLE. OTHER PARTIES TO BE BROUGHT INTO THE DISCUSSIONS AS NEEDED. FINAL INTERPRETIVE AUTHORITY IS WITH THE A/E. FINAL ACCEPTANCE AUTHORITY IS WITH THE OWNER'S PROJECT MANAGER.
      3. CXA DOCUMENTS RESOLUTION PROCESS.
      4. ONCE INTERPRETATION AND RESOLUTION HAVE BEEN DECIDED, APPROPRIATE PARTY CORRECTS DEFICIENCY, DOCUMENTS REQUIRED ACTION ON THE ISSUES LOG AND NOTIFIES CXA THAT EQUIPMENT IS READY TO BE RETESTED, THE CXA SHALL RESCHEDULE THE TEST AND THE TEST SHALL BE REPEATED UNTIL SATISFACTORY PERFORMANCE IS ACHIEVED.
   3. COSTS OF RETESTING:
      1. IF THE COST TO RETEST A PREFUNCTIONAL OR FUNCTIONAL TEST IS BEYOND 10% OF THE TOTAL NUMBER OF TESTS, THE COST WILL BE BACK-CHARGED TO THE RESPONSIBLE SUB-CONTRACTOR.
      2. FOR A DEFICIENCY IDENTIFIED, NOT RELATED TO ANY PREFUNCTIONAL CHECKLIST OR START-UP FAULT, THE FOLLOWING SHALL APPLY: THE CXA AND PM WILL DIRECT THE RETESTING OF THE EQUIPMENT ONCE AT NO "CHARGE" TO THE GC FOR THEIR TIME. HOWEVER, THE CXA'S TIME FOR A SECOND RETEST WILL BE CHARGED TO THE GC, WHO MAY CHOOSE TO RECOVER COSTS FROM THE RESPONSIBLE SUBCONTRACTOR.

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SEAL
LICENSED NAME, ARCHITECT

ISSUED FOR PERMIT & BID
08/25/2025

△ DATE	DESCRIPTION
06/16/2025	ISSUED FOR DD REVIEW
08/05/2025	ISSUED FOR CD REVIEW
08/25/2025	ISSUED FOR PERMIT & BID

DRAWING INFORMATION
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CHECKED BY: DM
DRAWN BY: CT

ARCHITECTURAL SPECIFICATIONS

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DIVISION 03 - CONCRETE

SECTION 033000 - CAST-IN-PLACE CONCRETE

A. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3500 PSI AT 28 DAYS, WITH A WATER CEMENT RATIO = .50 (MAXIMUM). CONCRETE EXPOSED TO WEATHER SHALL BE AIR-ENTRAINED AT 6% ± 1.5% , UNLESS OTHERWISE INDICATED ON STRUCTURAL DRAWINGS.
B. LL REINFORCING STEEL SHALL BE NEW DOMESTIC DEFORMED BILLET STEEL CONFORMING TO ASTM A-615 GRADE 60.
C. WELDED WIRE REINFORCEMENT SHALL CONFORM TO ASTM A-185 DELIVERED IN FLAT SHEETS.
D. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH "THE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" ACI 318-XX.
E. ALL REINFORCING DETAILS SHALL CONFORM TO "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" ACI 315-94, UNLESS DETAILED OTHERWISE ON THE STRUCTURAL DRAWINGS.
F. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL OPENINGS, SLEEVES, ANCHOR BOLTS, INSERTS, ETC., AS REQUIRED BY OTHER TRADES BEFORE CONCRETE IS PLACED.
G. CONTRACTOR SHALL PROVIDE SPACERS, CHAIRS, BOLSTERS, ETC., NECESSARY TO SUPPORT REINFORCING STEEL. CHAIRS WHICH BEAR ON EXPOSED CONCRETE SURFACES SHALL HAVE ENDS WHICH ARE PLASTIC TIPPED OR STAINLESS STEEL. CHAIRS WHICH BEAR ON EXPOSED CONCRETE SURFACES TO RECEIVE SANDBLAST FINISH SHALL BE STAINLESS STEEL.
H. MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCEMENT: (REFER TO THE STRUCTURAL DRAWINGS & SPECIFICATIONS).
I. REFER TO STRUCTURAL SPECIFICATIONS.

END OF SECTION 033000

DIVISION 03 - CONCRETE - CONTINUED

SECTION 033500 – POLISHED CONCRETE FLOOR FINISH [CNC-1]

PART 1 – GENERAL

1.1 - SUMMARY
A. SECTION INCLUDES: THIS SECTION SPECIFIES POLISHED CONCRETE
B. RELATED SECTIONS:
1. SECTION 079200 "JOINT SEALANTS" FOR SEALANTS IN CONCRETE FLOOR SURFACES

1.2 - REFERENCES
A. AMERICAN CONCRETE INSTITUTE (ACI)
B. ACI 302.1R – GUIDE FOR CONCRETE FLOOR AND SLAB CONSTRUCTION
C. ASTM INTERNATIONAL
1. ASTM C309 – STANDARD SPECIFICATION FOR LIQUID MEMBRANE FORMING COMPOUNDS FOR CURING CONCRETE
2. ASTM C171 – STANDARD SPECIFICATION FOR SHEET MATERIALS FOR CURING CONCRETE
3. ASTM C779 – STANDARD TEST METHOD FOR ABRASION RESISTANCE OF HORIZONTAL CONCRETE SURFACES
4. ASTM C805 – STANDARD TEST METHOD FOR REBOUND NUMBER OF HARDENED CONCRETE
5. ASTM E 1155 – STANDARD TEST METHOD FOR DETERMINING FLOOR FLATNESS AND LEVELNESS USING THE F NUMBER SYSTEM
6. RILEM TEST METHOD 11.4 STANDARD MEASUREMENT OF REDUCTION OF MOISTURE PENETRATION THROUGH HORIZONTAL CONCRETE SURFACES

1.3 PERFORMANCE REQUIREMENTS
A. PERFORMANCE REQUIREMENTS: PROVIDE POLISHED FLOORING THAT HAS BEEN SELECTED, MANUFACTURED AND INSTALLED TO ACHIEVE THE FOLLOWING:
1. ABRASION RESISTANCE: ASTM C779, UP TO 400% INCREASE IN ABRASION RESISTANCE
2. REFLECTIVITY: INCREASE OF 45% AS DETERMINED BY GLOSS METER
3. WATERPROOF PROPERTIES: RILEM TEST METHOD 11.4, 70% OR GREATER REDUCTION IN ABSORPTION
4. IMPACT STRENGTH: ASTM C805, UP TO 21% INCREASED IMPACT STRENGTH
5. MUST MEET OR EXCEED ADA/OSHA SUGGESTED 0.5 STANDARD VALUE FOR THE STATIC CO-EFFICIENT OF FRICTION
B. DESIGN REQUIREMENTS
1. HARDENED CONCRETE PROPERTIES:
a. MINIMUM CONCRETE COMPRESSIVE STRENGTH: 3500 PSI
b. NORMAL WEIGHT CONCRETE, NO LIGHT WEIGHT AGGREGATES
c. NON-AIR ENTRAINED CONCRETE
2. PLACEMENT PROPERTIES FOR NEW CONCRETE
a. NATURAL CONCRETE SLUMP OF 4 1/2 INCHES – 5 INCHES, ADMIXTURES MAY BE USED
b. FLATNESS REQUIREMENTS
1) OVERALL FF 40
2) LOCAL FF 35
3) FLATNESS TESTING COST AND SCHEDULING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR
3. HARD-STEEL TROWELED (3 PASSES) CONCRETE
a. NO BURN MARKS. FINISH TO ACI 302.1R, CLASS 5 FLOOR
4. CURING OPTIONS
a. CURING AGENT
1) E-CURE; SPECCHEM
2) MED-CURE; WR MEADOWS
3) PCA-CURING AGENT; AMERIPOLISH
b. MOISTURE RETAINING CURE COVER (REQUIRED FOR FLORIDA AND WYOMING) - SUBSTITUTIONS: NOT PERMITTED
1) ULTRACURE; SIKA CORPORATION
2) RELIABLECURE SOG; RELIABLE CONCRETE ACCESSORIES
c. MOISTURE-RETAINING SHEET: ASTM C171 (CONCRETE TO RECEIVE COATINGS OR FLOOR COVERINGS ONLY)
1) POLYETHYLENE FILM, CLEAR OR OPAQUE, MINIMUM NOMINAL THICKNESS OF 0.0040 IN.

1.4 - PRE-INSTALLATION MEETINGS
A. PRE INSTALLATION CONFERENCE: CONDUCT CONFERENCE AT PROJECT SITE.

1.5 - SUBMITTALS
A. GENERAL: SUBMIT SAMPLES AND MANUFACTURER'S PRODUCT DATA SHEETS, INSTALLATION INSTRUCTIONS, MAINTENANCE PROCEDURES, PROJECT REFERENCES, ETC. IN ACCORDANCE WITH DIVISION 01 GENERAL REQUIREMENTS SUBMITTAL SECTION.
B. TEST DATA: SUBMIT QUALIFIED TESTING DATA THAT CONFIRMS COMPLIANCE WITH SPECIFIED PERFORMANCE REQUIREMENTS.
C. MAINTENANCE DATA: FOR INCLUSION IN MAINTENANCE MANUAL REQUIRED BY DIVISION 01.
1. INCLUDE MANUFACTURER'S INSTRUCTIONS FOR MAINTENANCE OF INSTALLED WORK, INCLUDING METHODS FREQUENCY RECOMMENDED FOR MAINTAINING OPTIMUM CONDITION UNDER INTENDED USE.
2. INCLUDE PRECAUTIONS AGAINST CLEANING PRODUCTS AND METHODS WHICH MAY BE DETRIMENTAL TO FINISHES AND PERFORMAN

1.6 - QUALITY ASSURANCE
A. MANUFACTURERS QUALIFICATIONS:
1. MANUFACTURER HAS A MINIMUM OF FIVE (5) YEARS' EXPERIENCE IN MANUFACTURING COMPONENTS SIMILAR TO OR EXCEEDING REQUIREMENTS OF PROJECT
2. MANUFACTURER MUST BE ABLE TO PROVIDE TECHNICALLY TRAINED FIELD REPRESENTATIVE DURING CONSTRUCTION AND APPROVING APPLICATION METHOD
B. INSTALLER QUALIFICATIONS
1. INSTALLER AT LEAST FIVE (5) YEARS EXPERIENCE IN PERFORMING WORK OF THIS SECTION WHO HAS SPECIALIZED IN INSTALLATION WORK SIMILAR TO THAT REQUIRED FOR THIS PROJECT
2. INSTALLER TRAINED AND HAVING CURRENT CERTIFICATION FOR RETROPLATE CONCRETE POLISHING SYSTEM. FOR APPROVED CONTRACTORS SEE BELOW:

XRQ CORP
3600 ALLISON DR.
ROSEVILLE, CA 95661
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C. MOCK-UPS
AGGREGATE APPEARANCE CLASS PER ASCC CONCRETE POLISHING COUNCIL
SURFACE CLASS B FINE AGGREGATE:
85-95% FINE AGGREGATE 5-15% BLEND OF CEMENT FINES AND COARSE AGGREGATE.
AGGREGATE RANGE 1/16 – 1/8 IN. – CONSISTENT THROUGHOUT ENTIRE FLOOR

POLISHED CONCRETE APPEARANCE LEVEL PER ASCC CONCRETE POLISHING COUNCIL:
LEVEL 2 – SATIN [HONED]:
MATTE APPEARANCE; UP TO 200-400 GRIT POLISH; A DOI (IMAGE CLARITY) READING OF 10-39; HAZE READING <70; REFLECTIVE SHEEN: LOW TO MEDIUM
FINAL FINISH TO BE LEVEL 1: (100 GRIT)

A. SEQUENCE WITH OTHER WORK:
1. COMPLY WITH MANUFACTURER'S WRITTEN RECOMMENDATIONS FOR SEQUENCING CONSTRUCTION OPERATIONS, IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL OTHER TRADES ARE AWARE OF NECESSARY SEQUENCING AND PROTECTION REQUIRED PRIOR TO, DURING AND AFTER THE INSTALLATION OF THE POLISHED CONCRETE FLOOR FINISH

1.9 - DELIVERY, STORAGE & HANDLING
A. ORDERING:
1. COMPLY WITH MANUFACTURER'S ORDERING INSTRUCTIONS AND LEAD TIME REQUIREMENTS TO AVOID CONSTRUCTION DELAYS
B. DELIVERY:
1. DELIVER MATERIALS IN MANUFACTURER'S ORIGINAL PACKAGING WITH IDENTIFICATION LABELS AND SEALS INTACT
C. STORAGE AND PROTECTION:
1. STORE MATERIALS PROTECTED FROM EXPOSURE TO HARMFUL WEATHER CONDITIONS AND AT TEMPERATURE CONDITIONS RECOMMENDED BY MANUFACTURER
2. PROTECT CONCRETE SLAB
a. PROTECT FROM PETROLEUM STAINS DURING CONSTRUCTION
b. DIAPER ALL HYDRAULIC LIFTS AND POWER EQUIPMENT
c. RESTRICT VEHICULAR PARKING. DROP CLOTHS WILL BE PLACED UNDER VEHICLES PARKED ON SLAB
d. NO PIPE CUTTING MACHINERY WILL BE USED ON INTERIOR FLOOR SLAB
e. STEEL WILL NOT BE PLACED ON INTERIOR FLOOR SLAB TO AVOID RUST STAINING
f. NO ACIDS OR ACIDIC DETERGENTS WILL COME INTO CONTACT WITH SLAB
g. ENTIRE FLOOR SHALL BE COVERED WITH RAMBOARD FLOOR PROTECTION OR EQUAL

1.10 - PROJECT CONDITIONS
A. ENVIRONMENTAL LIMITATIONS: DO NOT INSTALL WORK UNTIL AMBIENT TEMPERATURE AND HUMIDITY CONDITIONS ARE MAINTAINED AT LEVELS INDICATED IN REFERENCE STANDARDS

1.11 - WARRANTY
A. PROJECT WARRANTY- REFER TO CONTRACT CONDITIONS FOR PROJECT WARRANTY PROVISIONS
B. MANUFACTURER'S WARRANTY: SUBMIT FOR OWNER'S ACCEPTANCE, MANUFACTURER'S STANDARD WARRANTY DOCUMENT EXECUTED BY AUTHORIZED COMPANY OFFICIAL; MANUFACTURER'S WARRANTY IS IN ADDITION TO AND DOES NOT LIMIT OTHER RIGHTS OWNER MAY HAVE UNDER CONTRACT DOCUMENTS

PART 2 – PRODUCTS

2.1 - PRODUCTS, GENERAL
A. ENSURE CONCRETE FINISHING COMPONENTS AND MATERIALS ARE FROM SINGLE SOURCE, FROM SINGLE MANUFACTURER

2.2 - POLISHED CONCRETE DENSIFIER - CNC-1, CNC-2, CNC-3 SEE SHEET A120
1. AMERIPOLISH 3D HS
2. PROSOCO LS
3. RETROPLATE
4. EUCLID DIAMOND HARD

2.3 STAIN PROTECTANT/GUARD
1. AMERIPOLISH 3DSP
2. PROSOCO LS GUARD
3. RETRO GUARD
4. EUCLID POLISH GUARD

2.4 JOINT FILLER
1. METZGER MCGUIRE RSB8
2. METZGER MCGUIRE EPOX PRO 90
3. CURECRETE CRETEFILL PRO 85
4. EUCO QWIKJOINT UVR
5. HI-TECH PEBS

2.5 PATCH MATERIAL
1. HI-TECH SPALPRO TX-3
2. RAPID SET TRU GRAY
3. ARDEX SD-M
4. SIMILAR EPOXY/CEMENTITIOUS PATCH MATERIAL

PART 3 – EXECUTION

3.1 SURFACE PREPARATION - CNC-1, CNC-2, CNC-3 SEE SHEET A120
A. REMOVE EXISTING ANCHOR BOLTS AND PLATES EMBEDDED IN CONCRETE SLAB IF PRESENT.
1. CUT EXISTING ANCHOR BOLTS FLUSH WITH ADJACENT FLOOR SURFACES AND GRIND SMOOTH.
B. REMOVE JOINT FILLER AT EXISTING CONSTRUCTION AND CONTROL JOINTS
C. REMOVE ANY EXISTING GLUE AND MASTIC.
D. CLEAN AND GRIND EXISTING FLOOR SURFACE: INTENDED FOR EXISTING CONCRETE FLOORS WITH COATINGS, GLUES, AND PREVIOUS TILE THAT REQUIRE REMOVAL FOR POLISHING.
1. REMOVE BY SCARIFYING, HAMMER, GRINDING, SCRAPING OR A MECHANICAL DUST-FREE METHOD TO REMOVE EXISTING COATING, SEALERS, AND OVERLAYS FROM THE FLOOR SURFACE, AS WELL AS CRACKS, HOLES, JOINTS, OR OTHER DEPRESSIONS.
2. CLEAN THE EXISTING SURFACE, INCLUDING CRACKS, HOLES, DIVOTS, DEPRESSIONS, AND IMPERFECTIONS TO ALLOW ADHESION OF PATCHING MATERIALS, INCLUDING AT SLAB EDGES, COLUMNS, BOLLARDS, CURBS, WALLS, USING SMALL HAND EQUIPMENT AS NECESSARY
3. VACUUM CLEAN AS NECESSARY TO REMOVE ALL LOOSE MATERIALS
E. REPAIR SPALLED, WORN, AND DETERIORATED SHOULDERS OF EXISTING CONSTRUCTION OR CONTROL JOINTS.
1. LESS THAN 3/4 INCH WIDE: CUT BACK TO A NINETY DEGREE ANGLE AND FILL WITH POLYUREA JOINT FILLER WITH A SHORE HARDNESS OF 85 OR GREATER.
2. GREATER THAN 3/4 INCH WIDE:
A. CUT JOINT BACK TO FURTHEST EDGE OF THE SPALL/DETERIORATION.
3. REBUILD THE JOINT EDGE WITH HIGH PERFORMANCE CEMENTITIOUS MATERIAL, RE-SAW CUT THE JOINT AND FILL WITH POLYUREA JOINT FILLER.
F. REPAIR EXISTING CRACKS IN THE CONCRETE SLAB:
1. ROUTE OUT EXISTING CRACKS THAT ARE A MINIMUM OF ¼ INCH WIDE AND ¼ INCH DEEP.
2. CLEAN WITH WIRE BRUSH AND REMOVE ALL LOOSE MATERIALS.
3. FILL LARGE CRACKS WITH PATCH MATERIAL DESIGNED TO MATCH THE SLAB COLOR AS CLOSE AS POSSIBLE.
4. SMALLER CRACKS WILL BE PROCESSED BACK INTO FLOOR MATRIX THROUGH REFINEMENT OF SLAB.
G. REPAIR HOLES AND DIVOTS IN THE CONCRETE SLAB:
1. CLEAN HOLES WITH WIRE BRUSH AND REMOVE ALL LOOSE MATERIALS.
2. FILL WITH PATCH MATERIAL DESIGNED TO MATCH THE SLAB COLOR AS CLOSE AS POSSIBLE.
H. INSTALL JOINT FILLER AT NEW AND EXISTING CONSTRUCTION AND CONTROL JOINTS.
I. INSPECT AREA TO BE POLISHED FOR UNFILLED HOLES AND REMAINING FLOOR COATINGS. REPAIR/REMOVE AS NECESSARY.

3.2 CONCRETE POLISHING:
A. CONVENTIONAL MECHANICAL POLISHING: MULTI-STEP OPERATION OF MECHANICALLY GRINDING WITH BONDED ABRASIVES TO CUT AND REFINE THE SURFACE TO ACHIEVE SPECIFIED REFINEMENT AND READINGS.
a. GRINDING: PROCESS IS INTENDED TO BEGIN WITH A DIAMOND GRIND USING WET OR DRY METHOD TO REMOVE 1/64" TO 1/32" OF CONCRETE SURFACE FOR A "SALT AND PEPPER" AGGREGATE EXPOSURE SURFACE FINISH.
1) POLISHING TRADES SHALL EVALUATE SLAB SURFACE TO CONFIRM APPROPRIATE INITIAL REFINEMENT STEP THAT MUST BE CONSISTENT ACROSS THE BASIC SURFACE PREPARATION HAS BEEN COMPLETED.
2) ACHIEVE MAXIMUM REFINEMENT WITH EACH SEQUENTIAL PASS BEFORE PROCEEDING TO THE NEXT STEP:
3) CLEAN FLOOR THOROUGHLY AFTER EACH PASS BEFORE PROCEEDING TO HIGHER LEVELS OF REFINEMENT.
4) APPLY DENSIFIER AFTER GRINDING PROCESSES ARE COMPLETE
b. POLISHING: DIAMOND GRIND USING APPROVED DENSIFIER AND CONTINUE REFINEMENT.
1) ACHIEVE MAXIMUM REFINEMENT WITH EACH SEQUENTIAL STEP BEFORE PROCEEDING TO THE NEXT STEP AND DOCUMENT THROUGH GLOSS LEVEL READINGS.
2) CLEAN FLOOR THOROUGHLY AFTER EACH PASS BEFORE PROCEEDING TO HIGHER REFINEMENT.
3) APPLY NANO PENETRATING SEALER/STAIN PROTECTION.
c. HAND GRIND/POLISH AROUND COLUMNS, BOLLARDS, CURBS, WALLS, AND OTHER OBSTRUCTIONS WHERE LARGE GRINDING/POLISHING EQUIPMENT USE IS NOT POSSIBLE. FINISH AT HAND GROUND/POLISHED AREAS TO MATCH ADJACENT GROUND/POLISHED FINISHES.
D. ALL EXISTING COATINGS SHALL BE REMOVED IN GRINDING AND POLISHING PROCESS.
E. PROTECT POLISHED CONCRETE FLOOR FINISH FROM PHYSICAL DAMAGE DURING CONSTRUCTION.
G. PROTECT FINISH PAINTED SURFACES FROM DAMAGE OR STAINING CAUSED BY POLISHING PROCESS.
H. FINAL POLISHED CONCRETE FLOOR FINISH: AGGREGATE EXPOSURE WILL MEET SPECIFICATIONS IF POSSIBLE - HEAVIER AGGREGATE IS EXPECTED IF LEGACY COATINGS REQUIRE DEEPER GRINDING TO REMOVE. GLOSS APPEARANCE MEETING SPECIFIED LEVEL 2 POLISH, FREE OF SCRATCHES FROM THE POLISHING PROCESS.
I. FINAL INSPECTION: VERIFY ACCEPTANCE OF POLISHING AREA WITH OWNER PRIOR TO TURNOVER AND USE BY OTHER TRADES.

END OF SECTION - 033543

SECTION 035300 – POLISHED CONCRETE FLOOR TOPPINGS [CNC-2]

PART 1 - GENERAL

1.1 - SUMMARY
A. SECTION INCLUDES: SUPPLY AND INSTALLATION OF A FAST-SETTING, HIGH STRENGTH, CEMENTITIOUS, NON-SHRINK, DECORATIVE, EXPOSED AGGREGATE POLISHABLE ARCHITECTURAL TOPPING AND RESURFACER FOR INTERIOR AND EXTERIOR FLOORING INSTALLATIONS.
B. RELATED SECTIONS:
1. SECTION 03 01 00 - MAINTENANCE OF CONCRETE
2. SECTION 03 01 40 - MAINTENANCE OF PRECAST CONCRETE
3. SECTION 03 30 00 - CAST-IN-PLACE CONCRETE
4. SECTION 03 40 00 - PRECAST CONCRETE
5. SECTION 07 91 29 - JOINT FILLERS
6. SECTION 09 61 00 - FLOORING TREATMENTS

1.2 - REFERENCES
A. AMERICAN CONCRETE INSTITUTE (ACI)
1. ACI 302.1R-04 GUIDE FOR CONCRETE FLOOR AND SLAB CONSTRUCTION
B. ASTM INTERNATIONAL
1. ASTM C109 STANDARD TEST METHOD FOR COMPRESSIVE STRENGTH OF HYDRAULIC CEMENT MORTARS
2. ASTM C 309 STANDARD SPECIFICATION FOR LIQUID MEMBRANE-FORMING COMPOUNDS FOR CURING CONCRETE
3. ASTM C348 STANDARD TEST METHOD FOR FLEXURAL STRENGTH OF HYDRAULIC-CEMENT MORTARS
4. ASTM C 779 STANDARD TEST METHOD FOR ABRASION RESISTANCE OF HORIZONTAL CONCRETE SURFACES
5. ASTM C1028 STANDARD TEST METHOD FOR DETERMINING THE STATIC COEFFICIENT OF FRICTION OF CERAMIC TILE AND OTHER LIKE SURFACES BY THE HORIZONTAL DYNAMOMETER PULL-METER METHOD
6. ASTM C 1315 LIQUID MEMBRANE-FORMING COMPOUNDS HAVING SPECIAL PROPERTIES OF CURING AND SEALING CONCRETE
7. ASTM E430 STANDARD TEST METHOD FOR MEASUREMENT OF GLOSS OF HIGH-GLOSS SURFACES BY ABRIDGED GONIOPHOTOMETRY
8. ASTM F710 STANDARD PRACTICE FOR PREPARING CONCRETE FLOORS TO RECEIVE RESILIENT FLOORING
9. ASTM F1869 STANDARD TEST METHOD FOR MEASURING MOISTURE VAPOR EMISSION RATE OF CONCRETE SUBFLOOR USING ANHYDROUS CALCIUM CHLORIDE
10. ASTM F2170 STANDARD TEST METHOD FOR DETERMINING RELATIVE HUMIDITY IN CONCRETE FLOOR SLABS USING IN SITU PROBES

1.3 - SUBMITTALS
A. GENERAL: SUBMIT SAMPLES AND MANUFACTURER'S PRODUCT DATA SHEETS, INSTALLATION INSTRUCTIONS, MAINTENANCE PROCEDURES, PROJECT REFERENCES, ETC. IN ACCORDANCE WITH DIVISION 01 GENERAL REQUIREMENTS SUBMITTAL SECTION.
B. TEST DATA: SUBMIT QUALIFIED TESTING DATA THAT CONFIRMS COMPLIANCE WITH SPECIFIED PERFORMANCE REQUIREMENTS.
C. MAINTENANCE DATA: FOR INCLUSION IN MAINTENANCE MANUAL REQUIRED BY DIVISION 01.
1. INCLUDE MANUFACTURER'S INSTRUCTIONS FOR MAINTENANCE OF INSTALLED WORK, INCLUDING METHODS AND FREQUENCY RECOMMENDED FOR MAINTAINING OPTIMUM CONDITION UNDER INTENDED USE.
2. INCLUDE PRECAUTIONS AGAINST CLEANING PRODUCTS AND METHODS WHICH MAY BE DETRIMENTAL TO FINISHES AND PERFORMANCE.

1.4 - QUALITY ASSURANCE
A. QUALIFICATIONS:
A. MANUFACTURER:
a. MUST HAVE MARKETED FAST-SETTING, HIGH STRENGTH, CEMENTITIOUS, POLISHABLE MATERIALS IN THE UNITED STATES FOR AT LEAST FIVE (5) YEARS AND MUST HAVE COMPLETED PROJECTS OF THE SAME GENERAL SCOPE AND COMPLEXITY.
b. OVERLAY AND COMPLEMENTARY MATERIALS MUST BE MANUFACTURED BY OR APPROVED FOR USE BY CTS CEMENT MANUFACTURING CORP. (800-929-3030, WWW.CTSCEMENT.COM) AND DISTRIBUTED BY THE SAME OR AN AUTHORIZED CTS CEMENT DEALER.
2. APPLICATOR:
a. MUST BE EXPERIENCED AND COMPETENT IN INSTALLATION OF FAST-SETTING, HIGH STRENGTH, CEMENTITIOUS, POLISHABLE MATERIALS AND PROVIDE EVIDENCE OF A MINIMUM OF FIVE YEARS EXPERIENCE IN WORK SIMILAR IN SIZE AND SCOPE TO THAT REQUIRED BY THIS SECTION.
b. BUST RETAIN SUFFICIENT PRODUCTION CAPABILITY, FACILITIES, AND PERSONNEL TO PRODUCE SPECIFIED WORK.
c. MUST PROVIDE PROOF OF CURRENT PLACEMENT ON THE CTS PREFERRED APPLICATOR LIST. TEMPORARY APPROVALS MUST BE APPROVED IN WRITING BY AN AUTHORIZED CTS CEMENT MANUFACTURING REPRESENTATIVE AT LEAST 15 DAYS PRIOR TO INSTALLATION AND ARE REQUIRED TO HAVE AN AUTHORIZED CTS REPRESENTATIVE ON SITE FOR INITIAL APPLICATION.
3. APPLY DENSIFIERS, SEALERS, GUARDS OR STAIN PROTECTORS PER MANUFACTURERS' INSTRUCTIONS.
4. ACHIEVE WATERPROOFING, WEARPROOFING, DUST-PROOFING, AND ABRASION RESISTANCE OF THE SURFACE WITHOUT CHANGING THE DESIGNED AESTHETICS OF THE FINISH.

A. COEFFICIENT OF FRICTION:
1. ACHIEVE FOLLOWING COEFFICIENT OF FRICTION BY FIELD QUALITY CONTROL TESTING IN ACCORDANCE TO THE FOLLOWING STANDARDS:
a. ANSI B101.1 STATIC COEFFICIENT OF FRICTION - ACHIEVE A MINIMUM OF [.5] FOR LEVEL FLOOR SURFACES.
b. ANSI B101.3 DYNAMIC COEFFICIENT OF FRICTION - ACHIEVE A MINIMUM OF [.35] FOR LEVEL FLOOR SURFACES

1.5 - PRE-INSTALLATION MEETINGS
A. PRE-INSTALLATION CONFERENCE: CONDUCT CONFERENCE AT THE PROJECT SITE PRIOR TO INITIAL OVERLAY PLACEMENT.
B. ORGANIZE MEETING TO REVIEW SPECIFICATION REQUIREMENTS AND FINISHED AESTHETICS. REQUIRE REPRESENTATIVES OF EACH CONTRACTOR DIRECTLY CONCERNED TO ATTEND, INCLUDING THE FOLLOWING:
1. CONTRACTOR'S SUPERINTENDENT/SUPERVISOR.
2. OVERLAY AND POLISHING SUBCONTRACTOR(S), INCLUDING FINISHERS AND SUPERVISOR.

1.6 - DELIVERY, STORAGE, AND HANDLING
A. DELIVERY: DELIVER PRODUCTS IN ORIGINAL, UNOPENED, UNDAMAGED PACKAGING WITH MANUFACTURER'S IDENTIFICATION (I.E., BRAND LOGO, PRODUCT NAME, WEIGHT OF PACKAGED UNIT, LOT NUMBER). MAINTAIN RECORDS OF MANUFACTURER'S PRODUCT LOT NUMBERS.
B. STORAGE: STORE PRODUCTS IN A DRY LOCATION, COVERED, OUT OF DIRECT SUNLIGHT, OFF THE GROUND, AND PROTECTED FROM MOISTURE. MAINTAIN STORAGE TEMPERATURE REQUIRED BY THE MANUFACTURER. KEEP MATERIALS DRY UNTIL USED. STORE BULK SAND IN A WELL-DRAINED AREA ON A CLEAN, SOLID SURFACE. COVER SAND TO PREV ENT CONTAMINATION. PROTECT MATERIALS FROM TEMPERATURE EXTREMES.
C. HANDLING: HANDLE PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S PUBLISHED RECOMMENDATIONS.

1.7 - SITE / ENVIRONMENTAL CONDITIONS
A. TEMPERATURE: MAINTAIN AMBIENT AND SURFACE TEMPERATURES BETWEEN 50°F (10°C) AND 90°F (32°C). DO NOT APPLY MATERIALS IF AMBIENT TEMPERATURE FALLS BELOW 50°F (10°C) WITHIN 24 HOURS OF APPLICATION. PROTECT MATERIALS FROM UNEVEN AND EXCESSIVE EVAPORATION DURING DRY WEATHER, WINDY CONDITIONS AND STRONG BLASTS OF DRY AIR.
B. INCLEMENT WEATHER: DO NOT APPLY MATERIALS DURING INCLEMENT WEATHER UNLESS APPROPRIATE PROTECTION IS EMPLOYED.
C. SUNLIGHT EXPOSURE: AVOID, WHENEVER POSSIBLE, INSTALLATION OF MATERIALS IN DIRECT SUNLIGHT WHICH COULD ADVERSELY AFFECT AESTHETICS.
D. SUBSTRATE: PRIOR TO INSTALLATION, THE SUBSTRATES MUST BE INSPECTED FOR SURFACE CONTAMINATION OR OTHER CONDITIONS THAT MAY ADVERSELY AFFECT THE PERFORMANCE OF THE MATERIALS AND BE FREE OF RESIDUAL MOISTURE.
E. COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS FOR SUBSTRATE TEMPERATURE AND MOISTURE CONTENT, AMBIENT TEMPERATURE AND HUMIDITY, VENTILATION AND OTHER CONDITIONS AFFECTING PRODUCT PERFORMANCE.
F. DAMAGE AND STAIN PREVENTION: TAKE PRECAUTIONS TO PREVENT DAMAGE AND STAINING OF SUBSTRATES AND SURFACES TO BE POLISHED BEFORE AND AFTER INSTALLATION.
1. PROTECT AREAS TO RECEIVE POLISHED TOPPING AT ALL TIMES TO PREVENT OILS, DIRT, METAL, EXCESSIVE WATER AND OTHER POTENTIALLY DAMAGING MATERIALS FROM AFFECTING THE FINISHED SURFACE.
2. PROHIBIT USE OF MARKERS, SPRAY PAINT, AND SOAPSTONE.
3. PROHIBIT VEHICLE TRAFFIC OVER SURFACES. IF NECESSARY TO COMPLETE A SCOPE OF WORK, DROP CLOTHS OR OTHER SUITABLE MATERIALS MUST BE PLACED UNDER VEHICLES AT ALL TIMES.
4. PREVENT STAINING BY HYDRAULIC-POWERED EQUIPMENT FLUIDS.
5. PROHIBIT STEEL FROM BEING PLACED ON THE FINISHED SURFACE TO AVOID RUSTING.
6. PROHIBIT PIPE-CUTTING OPERATIONS OVER SURFACES.
7. PROHIBIT FERROUS METALS STORAGE OVER SURFACES.
8. PROTECT FROM PETROLEUM, OIL, HYDRAULIC FLUID, OR OTHER LIQUID DRIPPING FROM EQUIPMENT WORKING OVER SURFACES.
9. PROTECT FROM ACIDS AND ACIDIC DETERGENTS CONTACTING SUBSTRATES AND SURFACES TO BE POLISHED.
10. PROTECT FROM PAINTING ACTIVITIES.
11. ALL TRADES MUST BE INFORMED THAT THE SURFACES MUST BE PROTECTED AT ALL TIMES.
12. INSTALLED TOPPING AREA MUST BE CLOSED TO TRAFFIC DURING FINISH FLOOR APPLICATION AND AFTER APPLICATION FOR THE LENGTH OF TIME RECOMMENDED BY THE MANUFACTURER.

1.8 - COORDINATION AND SCHEDULING
A. COORDINATE INSTALLATION OF MATERIALS WITH ALL OTHER TRADES TO AVOID IMPEDING OTHER CONSTRUCTION.
B. SUFFICIENT MANPOWER MUST BE PROVIDED TO ENSURE CONTINUOUS APPLICATION AND TIMELY FINISHING.

PART 2 - PRODUCTS

2.1 - MANUFACTURERS
A. BASIS OF DESIGN:
CTS CEMENT MANUFACTURING CORP.
12442 KNOTT STREET
GARDEN GROVE, CA 92841
TELEPHONE: (800) 929-3030
WWW.CTSCEMENT.COM
B. COMPONENTS: OBTAIN OVERLAY AND COMPLEMENTARY MATERIALS MANUFACTURED BY CTS CEMENT FROM AUTHORIZED DISTRIBUTORS. NO SUBSTITUTIONS OR ADDITIONS OF OTHER MATERIALS ARE PERMITTED WITHOUT PRIOR WRITTEN PERMISSION FROM THE MANUFACTURER FOR THIS PROJECT.

2.2 - MATERIALS - NO SUBSTITUTIONS - [CNC-2] - SEE SHEET A-120
A. FAST SETTING, HIGH STRENGTH, CEMENTITIOUS POLISHABLE OVERLAY:
1. RAPID SET® TRU PC [GRAY]: A PRE-PACKAGED, HIGH-PERFORMANCE, FAST-SETTING, HIGH-FLOW, SELF-LEVELING CEMENTITIOUS, POLISHABLE OVERLAY MATERIAL MIXED WITH WATER ON SITE. SUITABLE FOR USE INTERIOR AND EXTERIOR, IN WET AND DRY CONDITIONS, FOR FLOORING APPLICATIONS WHERE HIGH DURABILITY, RAPID STRENGTH GAIN AND POLISHED AESTHETICS ARE DESIRED. IDEAL FOR FAST-TRACK PROJECTS READY FOR FOOT TRAFFIC IN 2 TO 3 HOURS; COATINGS IN 12 HOURS; GRIND AND POLISH IN 24 HOURS. ONDEX PRODUCT NO. 3000 EXTENDED 25% WITH 1/4" TRU AGGREGATE.
B. PRIMER:
1. RAPID SET® TXP™ FAST: A HIGH-PERFORMANCE, 100% SOLIDS, NO VOC, FAST-CURING, MOISTURE TOLERANT, INTERIOR EPOXY PRIMER DESIGNED FOR USE WITH CEMENTITIOUS OVERLAYS. PROVIDES HIGH BOND STRENGTH TO ENSURE STRONG ADHESION. ACCEPTABLE MVER ≤ 10 LBS/1000 SQ. FT. PER 24 HR. AND RH ≤100%. READY FOR OVERLAY IN 4-6 HOURS.
C. ADDITIVES AND ADMIXTURE MATERIALS MUST BE APPROVED FOR USE BY CTS CEMENT MANUFACTURING CORP. PRIOR TO USE.
1. 1/4" TRU AGGREGATE.
D. WATER: CLEAN, POTABLE WATER FREE OF DELETERIOUS AMOUNTS OF SILT AND DISSOLVED SALTS.

2.3 MATERIAL PERFORMANCE
A. FAST SETTING, HIGH STRENGTH, NON-SHRINK CEMENTITIOUS POLISHABLE OVERLAY
1. MINIMUM PERFORMANCE REQUIREMENTS:
a. FINISHED SHEEN/GLOSS LEVEL:
POLISHED CONCRETE LEVEL 2 – (400 GRIT) HONED: AT A DISTANCE OF 30 TO 50 FEET, THE FLOOR WILL CLEARLY REFLECT FROM SIDE AND OVERHEAD LIGHTING AND ACHIEVE GLOSS METER READINGS OF 41 TO 55.
b. FLOOR FLATNESS AND LEVELNESS REQUIREMENTS ARE:
FF = 40, SPECIFIED OVERALL VALUE IN
FF = 35, MINIMUM LOCAL VALUE

SUBSTRATE FLOOR FLATNESS AND LEVELNESS SHOULD BE TESTED PRIOR TO INSTALLATION OF THE OVERLAY ACCORDING TO ASTM E1155 *STANDARD TEST METHOD FOR DETERMINING FF FLOOR FLATNESS AND FL FLOOR LEVELNESS NUMBERS* BY AN INDEPENDENT TESTING AGENCY EXPERIENCED WITH THE TESTING PROCEDURE AND POSSESSING THE NECESSARY EQUIPMENT

2.4 - AGGREGATES
A. FINE AND COARSE AGGREGATES MUST CONFORM TO ASTM C33/C33M.
B. LIGHTWEIGHT AGGREGATES MUST CONFORM TO ASTM C330/C330M

DIVISION 5 - METALS

SECTION 054000 - COLD FORMED METAL FRAMING

PART 1 - GENERAL
1.1 - SUBMITTALS
A. SHOP DRAWINGS: INCLUDE PLANS, ELEVATIONS, SECTIONS & DETAILS OF METAL FABRICATIONS AND THEIR CONNECTIONS. SHOW ANCHORAGE AND ACCESSORY ITEMS
B. TEMPLATES: FOR ANCHORS AND BOLTS
C. SUSTAINABILITY PRODUCT DATA SUBMITTAL FORM: INCLUDE DOCUMENTATION SUPPORTING AT LEAST ONE PREFERRED OR ALTERNATE SUSTAINABLE CRITERIA

PART 2 - PRODUCTS
2.1 - PRODUCTS - STEEL FRAMING
A. C-SHAPED, GALVANIZED, STANDARD STEEL STUDS AND JOISTS OF SIZE, SHAPE, AND GAUGE AS RECOMMENDED BY MANUFACTURER. INCLUDE MANUFACTURER'S STANDARD ACCESSORIES, INCLUDING RUNNERS, TRACKS, CLIPS, STIFFENERS, AND BRACING
B. OPEN-WEB, TRIANGULAR SECTION STEEL STUD (DESIGNED TO MINIMIZE THERMAL BRIDGING) 054.2.2
C. RELATED MATERIALS:
1. FASTENERS: PROVIDE SCREWS AS RECOMMENDED BY MANUFACTURER. TO FACILITATE DISMANTLING, THE USE OF NAILS IS NOT RECOMMENDED
2. INSULATION: PROVIDE RIGID INSULATION OVER THE FRAMING, IN LOCATIONS SHOWN BY DRAWINGS, TO PREVENT THERMAL BRIDGING AT STEEL FRAMING. THICKNESS TO BE DETERMINED BY CLIMATE CONDITIONS. FOR FULL WALL COVERAGE, AVOID RIGID INSULATION PRODUCED WITH OZONE-DEPLETING HCFC BLOWING AGENTS
3. INDIVIDUAL FRAMING MEMBER INSULATORS: EXTRUDED POLYSTYRENE CHANNELS ATTACH TO FRAMING MEMBER WITH FRICTION FIT OR PEEL-AND-STICK FOR CORNERS AND TOP AND BOTTOM CHANNELS
4. RIGID FOAM SHEETS APPLIED TO EXTERIOR OF FRAMING ASSEMBLY
5. EXPANDED POLYSTYRENE FOAM
6. EXTRUDED POLYSTYRENE FOAM (MADE WITH OZONE-DEPLETING BLOWING AGENTS)
7. POLYISOCYANURATE FOAMS EXPANDED WITH HYDROCARBONS RATHER THAN HCFCS

PART 3 - EXECUTION
3.1 - INSTALLATIONGENERAL
A. FIT EXPOSED CONNECTIONS ACCURATELY TOGETHER. WELD CONNECTIONS THAT ARE NOT TO BE LEFT AS EXPOSED JOINTS BUT CANNOT BE SHOP WELDED. DO NOT WELD, CUT, OR ABRADE SURFACES OF EXTERIOR UNITS THAT HAVE BEEN HOT-DIP GALVANIZED AFTER FABRICATION
B. PROVIDE ANCHORAGE DEVICES AND FASTENERS WHERE METAL FABRICATIONS ARE REQUIRED TO BE FASTENED TO IN-PLACE CONSTRUCTION
C. TOUCH UP SURFACES AND FINISHES AFTER ERECTION
1. GALVANIZED SURFACES: CLEAN FIELD WELDS, BOLTED CONNECTIONS, AND ABRADED AREAS AND REPAIR GALVANIZING TO COMPLY WITH ASTMA 780

END OF SECTION - 054000

DIVISION 6 - WOOD AND PLASTIC

SECTION 062100 - FINISH CARPENTRY AND MILLWORK

PART 1 - GENERAL
1.1 - SUBMITTALS
A. PRODUCT DATA: FOR EACH TYPE OF PROCESS AND FACTORY- FABRICATED PRODUCT
1. INCLUDE DATA FOR WOOD-PRESERVATIVE AND FIRE-RETARDANT TREATMENT FROM CHEMICAL TREATMENT MANUFACTURER AND CERTIFICATION BY TREATING PLANT THAT TREATED MATERIALS COMPLY WITH REQUIREMENTS
B. SUSTAINABILITY PRODUCT DATA SUBMITTAL FORM: INCLUDE DOCUMENTATION SUPPORTING AT LEAST ONE PREFERRED OR ALTERNATE SUSTAINABLE CRITERIA

PART 2 - PRODUCTS
2.1 - INTERIOR MILLWORK
A. WOOD USED FOR TRIM AND DECORATIVE COMPONENTS SHALL BE FIRST CLASS TRIM STOCK, FREE OF ANY BLEMISH WHICH WILL BE EVIDENT AFTER FINISHING
B. BASE, CASING, TRIM, INTERIOR RAIL AND WALL CAPS, AND MISCELLANEOUS MILLWORK
C. PANELING
1. PLYWOOD
2. FACED VENEERS OVER MDF CORE
D. VENEER PANELS, [WC-5, SF-21], SEE SHEET A-120
1. SUBSTRATE - WHERE CLASS A OR B MATERIAL IS REQUIRED USE CLASS A SUBSTRATE
2. MDF - WHERE CLASS A OR B MATERIAL IS REQUIRED USE CLASS A SUBSTRATE
3. VENEERS [WC-5, WC-21], SEE SHEET A-120
a. WHITE OAK, PLAIN SAWN, BOOK AND END MATCH, MATTE CLEAR COAT
b. THICKNESS AND ATTACHMENT METHOD PER DRAWINGS, SEE SHEET A-120
c. FIRE RETARDENT TREATMENT:
WHERE CLASS A OR B MATERIAL IS REQUIRED PROVIDE PROVIDE ASTM E84 AND/OR CAN/ULC S102 TESTED FR SUBSTRATE AND FLAME RETARDANT MATTE CLEAR COAT
USA: (CLASS B) WTC-103 / CAN: (CLASS A) FRCT FX LUMBER GUARD
E. SOLID WOOD TRIM [WC-6, SF-22], SEE SHEET A-120
a. WHITE OAK, PLAIN SAWN, BOOK AND END MATCH, MATTE CLEAR COAT
b. THICKNESS AND ATTACHMENT METHOD PER DRAWINGS, SEE SHEET A-120
c. FIRE RETARDENT TREATMENT:
WHERE CLASS A OR B MATERIAL IS REQUIRED PROVIDE PROVIDE ASTM E84 AND/OR CAN/ULC S102 TESTED FR SUBSTRATE AND FLAME RETARDANT MATTE CLEAR COAT
USA: (CLASS B) WTC-103 / CAN: (CLASS A) FRCT FX LUMBER GUARD

2.2 - CASEWORK
A. CARCASSES AND SUBSTRATES
1. MEDIUM-DENSITY FIBERBOARD
2. PLYWOOD
3. SOLID DIMENSIONAL LUMBER
B. SYNTHETIC CAST SLABS
1. CAST, LIGHTWEIGHT MATERIAL
2. CAST, TERRAZZO-LIKE MATERIAL
C. TILE: SEE SECTION 09300

PART 3 - EXECUTION
3.1 - INSTALLATION
A. SET CARPENTRY TO REQUIRED LEVELS AND LINES, WITH MEMBERS PLUMB, TRUE TO LINE, CUT, AND FITTED. FIT CARPENTRY TO OTHER CONSTRUCTION; SCRIBE AND COPE AS NEEDED FOR ACCURATE FIT. LOCATE FURRING, NAILERS, BLOCKING, GROUNDS, AND SIMILAR SUPPORTS TO COMPLY WITH REQUIREMENTS FOR ATTACHING OTHER CONSTRUCTION
B. FRAMING STANDARD: COMPLY WITH AF AND PA'S DETAILS FOR CONVENTIONAL WOOD FRAME CONSTRUCTION, UNLESS OTHERWISE INDICATED
C. DO NOT SPLICE STRUCTURAL MEMBERS BETWEEN SUPPORTS, UNLESS OTHERWISE INDICATED
D. COMPLY WITH AWPA M4 FOR APPLYING FIELD TREATMENT TO CUT SURFACES OF PRESERVATIVE-TREATED LUMBER
E. SECURELY ATTACH CARPENTRY WORK TO SUBSTRATE BY ANCHORING AND FASTENING AS INDICATED, COMPLYING WITH THE FOLLOWING
1. TABLE 2304.9.1, FASTENING SCHEDULE, IN ICC'S INTERNATIONAL BUILDING CODE

3.2 - PROTECTION
A. PROTECT WOOD THAT HAS BEEN TREATED WITH INORGANIC BORON (SBX) FROM WEATHER. IF, DESPITE PROTECTION, INORGANIC BORON-TREATED WOOD ECOMES WET, APPLY EPA-REGISTERED BORATE TREATMENT. APPLY BORATE SOLUTION BY SPRAYING TO COMPLY WITH EPA-REGISTERED LABEL

END OF SECTION - 062100

SECTION 074600 - THERMALLY MODIFIED WOOD RAIN SCREEN SIDING SYSTEM [SF-23]

PART 1 - GENERAL
1.1 - SUMMARY
A. PROVIDE RAIN SCREEN THERMALLY MODIFIED WOOD SIDING SYSTEM AND ACCESSORIES.
1. HORIZONTAL RAIN SCREEN THERMALLY MODIFIED WOOD SIDING APPLICATION WITH FURRING STRIPS AND EXPOSED FASTENERS.
2. VERTICAL RAIN SCREEN THERMALLY MODIFIED WOOD SIDING APPLICATION WITH FURRING STRIPS AND EXPOSED FASTENERS.

1.2 - SUBMITTALS - REQUIRED SEE SECTION 013000

1.3 - QUALITY ASSURANCE
A. SINGLE SOURCE: TO ENSURE FUNCTIONAL AND APPEARANCE COMPATIBILITY, SIDING, FURRING STRIPS, CONCEALED FASTENERS AND ALL TRIM PIECES SHALL BE PRODUCTS BY ARBOR WOOD CO.
B. REGULATORY REQUIREMENTS: COMPLY WITH REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION AND APPLICABLE CODES AT THE LOCATION OF THE PROJECT.

1.4 - DELIVERY, STORAGE, AND HANDLING
A. STORE AND HANDLE MATERIALS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
B. STORE THERMALLY MODIFIED WOOD SIDING ON FLAT, LEVEL SURFACE, RAISED ABOVE FLOOR OR GROUND, WITH ADEQUATE SUPPORT TO PREVENT SAGGING.
C. KEEP THERMALLY MODIFIED WOOD SIDING COVERED AND FREE OF DIRT, DEBRIS, AND MOISTURE UNTIL INSTALLATION.
D. PROTECT MATERIALS AND FINISH DURING STORAGE, HANDLING, AND INSTALLATION TO PREVENT DAMAGE.

1.5 - WARRANTY
A. MANUFACTURER'S WARRANTY: PROVIDE MANUFACTURER'S STANDARD 20- YEAR WARRANTY FOR THERMALLY MODIFIED WOOD SIDING (WHEN INSTALLED PER MANUFACTURER RECOMMENDATIONS).

PART 2 - PRODUCTS
2.1 - MANUFACTURERS
A. MANUFACTURER: ARBOR WOOD CO.
1025 LONDON RD, DULUTH, MN 55802
TOLL FREE TEL: 1-855-414-2727; EMAIL: HELLO@ARBORWOODCO.COM;
WEB: ARBORWOODCO.COM
B. SIDING, TRIM, AND FURRING SHALL BE MANUFACTURED FROM ARBOR WOOD CO. THERMALLY MODIFIED WOOD, CERTIFIED CONFORMING TO AWPA USE-CLASS UC3B, ABOVE GROUND, EXPOSED (SEE AWPA GUIDANCE N FOR REQUIRED TESTS).
C. MANUFACTURER SHOULD BE ABLE TO PRESENT CERTIFICATION, AND DOCUMENTATION OF THE QUALITY PROCESSES USED DURING THERMAL MODIFICATION. WOOD SHALL BE SOURCED & PROCESSED ENTIRELY IN THE U.S. - SUBSTITUTIONS: NOT PERMITTED.

2.2 - THERMALLY MODIFIED WOOD SIDING [SF-23] - SEE SHEET A-120
A. ARBOR WOOD CO. THERMALLY MODIFIED WOOD SIDING AND TRIM:
1. SIDING USED AS EXTERIOR RAINSCREEN SYSTEM OVER WOOD FURRING STRIPS
2. SPECIES: WHITE ASH
3. GRADE: FAS / SELECT & BETTER
4. SIZES PER DRAWINGS, 1 X NOMINAL PLANKS AND SIDING, WITH TONGUE & GROOVE:
a. AT PORTAL FACES (TR-6): 1X CUSTOM WIDTH PLANKS PER DETAILS, ORDER CONTINUOUS VERTICALS
b. AT PORTAL RETURNS (TR-7): 1X6 PLANKS, COORDINATE LENGTHS WITH SEAMS PER ELEVATIONS
c. AT PORTAL BASE (TR-5): 1X8 PLANKS
d. AT PORTAL CEILING AND SIDES (TR-8): 1X6 TONGUE AND GROOVE SIDING
5. LENGTH: 6'-0" OR LONGER.
6. EXPOSED TEXTURE: SMOOTH.
7. FINISH: CUSTOM LULULEMON APPROVED STANDARD PRE-FINISH WIHT UV-RESISTANT EXTERIOR COAT

2.3 - ADDITIONAL ACCESSORIES AND FASTENERS
A. PROVIDE THERMALLY MODIFIED FURRING STRIPS AS REQUIRED FOR INSTALL INCLUDING AROUND DOOR AND WINDOW OPENINGS AND ALL REQUIRED FASTENERS
B. FASTENERS, SCREWS. #8 STAINLESS STEEL W/ TRIM HEAD, MINIMUM 2 ½" RECOMMENDED, UNLESS OTHERWISE NOTED OR REQUIRED BY LOCAL CODE

PART 3 - EXECUTION
3.1 - EXAMINATION
A. CONFIRM THAT ALL CRITICAL DIMENSIONS ARE AS SPECIFIED ON THE DRAWINGS. EXAMINE WOOD FRAMING MEMBERS TO RECEIVE ARBOR WOOD CO. THERMALLY MODIFY WOOD RAINSCREEN SIDING SYSTEM.
B. NOTIFY ARCHITECT OF CONDITIONS THAT WOULD ADVERSELY AFFECT INSTALLATION. DO NOT BEGIN INSTALLATION UNTIL UNACCEPTABLE CONDITIONS ARE CORRECTED.

3.2 - PREPARATION
A. REPAIR SUBSTRATE FLAWS OR DEFECTS BEFORE APPLYING SIDING OR SOFFITS.
B. WHERE NECESSARY, FUR SURFACES TO AN EVEN PLANE AND FREE FROM OBSTRUCTIONS BEFORE APPLICATION.

3.3 - INSTALLATION
A. INSTALL ARBOR WOOD CO. SIDING AND TRIM IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AT LOCATIONS INDICATED ON THE DRAWINGS.
B. CLIMATE-SHIELD RAIN SCREEN WOOD SIDING SYSTEM INSTALLATION GUIDELINES ARE AVAILABLE FROM MANUFACTURER. INSTALL IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS
C. DO NOT INSTALL ARBOR WOOD CO. SIDING OR TRIM IN STRUCTURAL OR LOAD-BEARING APPLICATIONS.
D. INSTALL ARBOR WOOD CO. SIDING AND TRIM PLUMB, LEVEL, SQUARE, AND TRUE TO LINE.
E. INSTALL EXTERIOR ARBOR WOOD CO. SIDING AND TRIM WITH FLUSH, TIGHT JOINTS.
F. FASTENING: INSTALL FASTENERS IN ACCORDANCE WITH LOCAL BUILDING CODE AND:
1. RAINSCREEN INSTALLATION WITH FURRING STRIPS:
a. MAXIMUM OF 16 INCHES ON CENTER.
b. AT BUTT JOINTS PROVIDE 1" OVERLAP ON FURRING STRIP.
c. INSTALL SIDING, SOFFITS, AND ACCESSORIES IN ACCORDANCE WITH BEST PRACTICE, WITH ALL JOINT MEMBERS PLUMB AND TRUE.
d. FILL ANY NAIL AND SCREW HOLES WITH WOOD FILLER TO MATCH FINISHED COLOR.

3.4 - ADJUSTING
A. REPAIR MINOR DAMAGES TO ARBOR WOOD CO. SIDING IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND AS APPROVED BY ARCHITECT.
B. REMOVE AND REPLACE WITH NEW MATERIAL, DAMAGED ARBOR WOOD CO. SIDING THAT CANNOT BE SUCCESSFULLY REPAIRED, AS DETERMINED BY ARCHITECT.

3.5 - CLEANING AND PROTECTION
A. AFTER APPLICATION OF SIDING AND TRIM, CLEAN AS NECESSARY TO REMOVE ALL FINGERPRINTS AND SOILED AREAS. REMOVING ALL SCRAP, PACKAGING, AND UNUSED MATERIALS RELATED TO THIS WORK.
B. PROTECT INSTALLED ARBOR WOOD CO. SIDING TO ENSURE THAT, EXCEPT FOR NORMAL WEATHERING, SIDING WILL BE WITHOUT DAMAGE OR DETERIORATION AT TIME OF SUBSTANTIAL COMPLETION.

END OF SECTION - 074600

DIVISION 7 - THERMAL AND MOISTURE PROTECTION

SECTION 079200 - JOINT SEALANT
1. GENERAL: PROVIDE EXTERIOR AND INTERIOR JOINT SEALERS NOT PROVIDED ELSEWHERE; TYPE SUITABLE FOR APPLICATION INDICATED WITH ACCESSORIES AS REQUIRED FOR COMPLETE INSTALLATION.
2. INSTALLER QUALIFICATIONS: FIRM WITH MINIMUM FIVE YEAR'S SUCCESSFUL EXPERIENCE ON PROJECTS OF SIMILAR TYPE AND SIZE, USING SPECIFIED PRODUCTS
3. SUBMITTALS: FURNISH PRODUCT DATA AND SAMPLES OF EXPOSED JOINT SEALERS IN REQUIRED COLORS.
4. EXTERIOR NON-TRAFFIC JOINTS: GE/SILPRUF, DOW/790-795, PECORA/864 NST, OR TREMCO/SPECTRUM 3 LOW MODULUS SILICONE SEALANT.
5. TRAFFIC BEARING JOINTS: TREMCO/VULKEM 345, PECORA/NR-200 UREXPAN, OR SONNEBORN DIVISION CHEMREX/SL 2 MULTI-COMPONENT POLYURETHANE, SELF-LEVELING JOINT SEALER.
6. MILDEW-RESISTANT SANITARY SEALANTS: GE/SCS 1700 SANITARY SEALANT, DOW/786 BATHTUB CAULK, PECORA/863 #345 WHITE, OR TREMCO/TREMSIL 200; PROVIDE AT INTERIOR AREAS WHERE SEALANT WILL BE EXPOSED TO WATER.
7. GENERAL INTERIOR JOINT SEALER: PECORA/AC-20, SONNEBORN/SONOLAC, OR LATEX EMULSION.
8. MISCELLANEOUS MATERIALS: PRIMERS, SEALERS, JOINT CLEANERS, BOND BREAKER TAPE, AND SEALANT BACKER RODS AS RECOMMENDED BY SEALANT MANUFACTURER FOR APPLICATIONS INDICATED.
A. OVERSIZE BACKER ROD MINIMUM 30% TO 50% OF SIZE OF JOINT OPENING AS INDICATED IN THE DRAWINGS HEREIN.
9. PREPARATION: CLEAN JOINT SURFACES IMMEDIATELY BEFORE INSTALLATION OF JOINT SEALER, AND PRIME OR SEAL JOINT SURFACES AS RECOMMENDED BY MANUFACTURER.
10. INSTALLATION: COMPLY WITH MANUFACTURER'S INSTRUCTIONS AND ASTM C1193.
A. EMPLOY INSTALLATION TECHNIQUES WHICH WILL ENSURE JOINT SEALERS ARE DEPOSITED IN UNIFORM, CONTINUOUS RIBBONS WITHOUT GAPS OR AIR POCKETS, WITH COMPLETE "WETTING" OF BOND SURFACES.

END OF SECTION - 079200

DIVISION 8 - DOORS, WINDOWS, AND MIRRORS

SECTION 082000 - DOORS

PART 1 - GENERAL
1.1 - SUBMITTALS
A. SUSTAINABILITY PRODUCT DATA SUBMITTAL FORM: INCLUDE DOCUMENTATION SUPPORTING AT LEAST ONE PREFERRED OR ALTERNATE SUSTAINABLE CRITERIA

1.2 - INDOOR AIR QUALITY
A. INTERIOR GLUES OFTEN CONTAIN UREA-FORMALDEHYDE. DO NOT USE WOOD PRODUCTS CONTAINING UREA-FORMALDEHYDE BINDERS, OR SEAL ALL SURFACES. AROMATIC WOODS MAY OFF GAS AND CAUSE PROBLEMS FOR INDIVIDUALS WITH CHEMICAL SENSITIVITIES
B. MEET SUSTAINABILITY REQUIREMENTS FOR COMPOSITE WOOD AND APPLICABLE ADHESIVES, SEALANTS, PAINTS AND COATINGS
C. MACHINING PLASTIC PRODUCTS PRODUCES HAZARDOUS DUST. PROTECT SURROUNDING AREAS FROM DUST. WEAR APPROPRIATE PROTECTION

PART 2 - PRODUCTS
2.1 - MATERIALS
A. WOOD DOORS AND FRAMES SHALL MEET ALL APPLICABLE REQUIREMENTS OF THE AMERICAN WOODWORK INSTITUTE QUALITY STANDARDS AND NATIONAL WOODWORK MANUFACTURERS ASSOCIATION SPECIFICATION UNLESS OTHERWISE SPECIFIED
B. SOLID CORE WOOD
1. VENEER
2. CORE
3. MEDIUM-DENSITY FIBERBOARD
4. SOLID OR LAMINATED WOOD
5. FINISH: FACTORY-APPLIED FINISH

PART 3 - EXECUTION
3.1 - INSTALLATION
A. HOLLOW METAL FRAMES: COMPLY WITH ANSI/SDI A250.11
B. SET FRAMES ACCURATELY IN POSITION, PLUMBED, ALIGNED, AND BRACED SECURELY UNTIL PERMANENT ANCHORS ARE SET. AFTER WALL CONSTRUCTION IS COMPLETE, REMOVE TEMPORARY BRACES, LEAVING SURFACES SMOOTH AND UNDAMAGED
C. AT FIRE-PROTECTION-RATED OPENINGS, INSTALL FRAMES ACCORDING TO NFPA 80
D. WHERE FRAMES ARE FABRICATED IN SECTIONS BECAUSE OF SHIPPING OR HANDLING LIMITATIONS, FIELD SPLICE AT APPROVED LOCATIONS BY WELDING FACE JOINT CONTINUOUSLY; GRIND, FILL, DRESS, AND MAKE SPLICE SMOOTH, FLUSH, AND INVISIBLE ON EXPOSED FACES
E. INSTALL DOOR SILENCERS IN FRAMES BEFORE GROUTING
F. REMOVE TEMPORARY BRACES NECESSARY FOR INSTALLATION ONLY AFTER FRAMES HAVE BEEN PROPERLY SET AND SECURED
G. CHECK PLUMBNESS, SQUARENESS, AND TWIST OF FRAMES AS WALLS ARE CONSTRUCTED. SHIM AS NECESSARY TO COMPLY WITH INSTALLATION TOLERANCES
H. FIELD APPLY BITUMINOUS COATING TO BACKS OF FRAMES THAT ARE FILLED WITH GROUT CONTAINING ANTIFREEZING AGENTS
I. FLOOR ANCHORS: PROVIDE FLOOR ANCHORS FOR EACH JAMB THAT EXTENDS TO FLOOR, AND SECURE WITH POST INSTALLED EXPANSION ANCHORS
J. FLOOR ANCHORS MAY BE SET WITH POWDER-ACTUATED FASTENERS INSTEAD OF POST INSTALLED EXPANSION ANCHORS IF SO INDICATED AND APPROVED ON SHOP DRAWINGS
K. METAL-STUD PARTITIONS: SOLIDLY PACK MINERAL-FIBER INSULATION BEHIND FRAMES MASONRY WALLS: COORDINATE INSTALLATION OF FRAMES TO ALLOW FOR SOLIDLY FILLING SPACE BETWEEN FRAMES AND MASONRY WITH GROUT
L. IN-PLACE CONCRETE OR MASONRY CONSTRUCTION: SECURE FRAMES IN PLACE WITH POST INSTALLED EXPANSION ANCHORS. COUNTERSINK ANCHORS, AND FILL AND MAKE SMOOTH, FLUSH, AND INVISIBLE ON EXPOSED FACES
M. IN-PLACE GYPSUM BOARD PARTITIONS: SECURE FRAMES IN PLACE WITH POST INSTALLED EXPANSION ANCHORS THROUGH FLOOR ANCHORS AT EACH JAMB. COUNTERSINK ANCHORS, AND FILL AND MAKE SMOOTH, FLUSH, AND INVISIBLE ON EXPOSED FACES
N. CEILING STRUTS: EXTEND STRUTS VERTICALLY FROM TOP OF FRAME AT EACH JAMB TO OVERHEAD STRUCTURAL SUPPORTS OR SUBSTRATES ABOVE FRAME UNLESS FRAME IS ANCHORED TO MASONRY OR TO OTHER STRUCTURAL SUPPORT AT EACH JAMB. BEND TOP OF STRUTS TO PROVIDE FLUSH CONTACT FOR SECURING TO SUPPORTING CONSTRUCTION. PROVIDE ADJUSTABLE WEDGED OR BOLTED ANCHORAGE TO FRAME JAMB MEMBERS
1. INSTALLATION TOLERANCES: ADJUST HOLLOW METAL DOOR FRAMES FOR SQUARENESS, ALIGNMENT, TWIST, AND PLUMB TO THE FOLLOWING TOLERANCES
2. SQUARENESS: PLUS OR MINUS 1/16 INCH, MEASURED AT DOOR RABBET ON A LINE 90 DEGREES FROM JAMB PERPENDICULAR TO FRAME HEAD
3. ALIGNMENT: PLUS OR MINUS 1/16 INCH, MEASURED AT JAMBS ON A HORIZONTAL LINE PARALLEL TO PLANE OF WALL
4. TWIST: PLUS OR MINUS 1/16 INCH, MEASURED AT OPPOSITE FACE CORNERS OF JAMBS ON PARALLEL LINES, AND PERPENDICULAR TO PLANE OF WALL
5. PLUMBNESS: PLUS OR MINUS 1/16 INCH, MEASURED AT JAMBS AT FLOOR
O. HOLLOW METAL DOORS: FIT HOLLOW METAL DOORS ACCURATELY IN FRAMES, WITHIN CLEARANCES SPECIFIED BELOW. SHIM AS NECESSARY
1. NON-FIRE-RATED STANDARD STEEL DOORS
2. JAMBS AND HEAD: 1/8 INCH PLUS OR MINUS 1/16 INCH
3. BETWEEN EDGES OF PAIRS OF DOORS: 1/8 INCH PLUS OR MINUS 1/16 INCH
4. BETWEEN BOTTOM OF DOOR AND TOP OF THRESHOLD: MAXIMUM 3/8 INCH
5. BETWEEN BOTTOM OF DOOR AND TOP OF FINISH FLOOR (NO THRESHOLD): MAXIMUM 3/4 INCH
6. FIRE-RATED DOORS: INSTALL DOORS WITH CLEARANCES ACCORDING TO NFPA 80

3.2 - ADJUSTING AND CLEANING
A. FINAL ADJUSTMENTS: CHECK AND READJUST OPERATING HARDWARE ITEMS IMMEDIATELY BEFORE FINAL INSPECTION. LEAVE WORK IN COMPLETE AND PROPER OPERATING CONDITION. REMOVE AND REPLACE DEFECTIVE WORK, INCLUDING HOLLOW METAL WORK THAT IS WARPED, BOWED, OR OTHERWISE UNACCEPTABLE
B. IMMEDIATELY AFTER ERECTION, SAND SMOOTH RUSTED OR DAMAGED AREAS OF PRIME COAT AND APPLY TOUCH UP OF COMPATIBLE AIR-DRYING, RUST-INHIBITIVE PRIMER

END OF SECTION - 082000

SECTION 083116 - ACCESS PANELS AND FRAMES

PART 1 - GENERAL
1.0 - SUMMARY
A. SECTION INCLUDES
1. METAL ACCESS PANEL ASSEMBLIES
2. SUPPLEMENTARY COMPONENTS AND ACCESSORIES NECESSARY FOR A COMPLETE INSTALLATION WHETHER OR NOT SUCH ITEMS ARE INDICATED ON THE DRAWINGS OR INCLUDED IN THE SPECIFICATIONS

1.1 - REQUIREMENTS
A. SUBMITTALS: PRODUCT DATA AND SHOP DRAWINGS
B. SUSTAINABILITY PRODUCT DATA SUBMITTAL FORM: INCLUDE DOCUMENTATION SUPPORTING AT LEAST ONE PREFERRED OR ALTERNATE SUSTAINABLE CRITERIA

PART 2 - PRODUCTS
2.0 - METAL ACCESS PANEL ASSEMBLIES
A. DESCRIPTION: NON-RATED RECESSED ACCESS DOORS WITH CONCEALED HARDWARE AND GYPSUM BOARD INLAY FOR FLUSH INSTALLATION
B. BASIS OF DESIGN MANUFACTURER: DESIGN IS BASED ON PRODUCTS MANUFACTURED BY THE FOLLOWING
1. ACCESS PANEL SOLUTIONS, INC
C. ACCEPTABLE MANUFACTURERS: OTHER ACCEPTABLE SOURCES OF COMPARABLE PRODUCTS INCLUDE THE FOLLOWING
1. JL INDUSTRIES
2. KARP ASSOCIATES, INC
3. MILCOR, INC
4. NYSTROM BUILDING PRODUCTS
D. PRODUCT: PROVIDE BAUCOPLUS-II, OR EQUAL
E. ACCESSORIES: PROVIDE ACCESSORIES AND OTHER SIMILAR SECONDARY ITEMS SUPPLIED, REQUIRED, RECOMMENDED, APPROVED, OR ACCEPTED BY THE MANUFACTURER

PART 3 - EXECUTION
3.0 - INSTALLATION
A. GENERAL
1. COMPLY WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS
2. USE MATERIALS AND METHODS REQUIRED, RECOMMENDED, APPROVED, OR ACCEPTED BY THE MANUFACTURER, ALONG WITH MANUFACTURER-RECOMMENDED ACCESSORIES AND TECHNIQUES
3. SET UNITS TRUE TO LINE, TO REQUIRED LEVELS AND LINES, PLUMB, LEVEL, SQUARE, AND FITTED WITHOUT WARP OR RACK OF FRAMES AND PANELS; WITH FLUSH WELL-FITTED JOINTS; AND IN ALIGNMENT WITH ADJACENT CONSTRUCTION, WITHOUT WARPING, JOGS IN ALIGNMENT, EXCESSIVE OIL CANNING, BUCKLING, OR TOOL MARKS
4. INSTALL THE WORK OF THIS SECTION AS NECESSARY FOR AN ACCURATE FIT. PERFORM REQUIRED DRILLING AND FITTING FOR A COMPLETE INSTALLATION
B. SPECIAL TECHNIQUES
1. SECURELY FASTEN ACCESS PANEL ASSEMBLIES IN PLACE, USING FASTENERS, SEPARATORS, SEALANTS, AND OTHER MISCELLANEOUS ITEMS AS REQUIRED FOR A COMPLETE INSTALLATION
2. WHERE DISSIMILAR METALS WILL CONTACT EACH OTHER OR CORROSIVE SUBSTRATES, PROTECT AGAINST GALVANIC ACTION BY PAINTING CONTACT SURFACES WITH BITUMINOUS COATING OR BY OTHER PERMANENT SEPARATION AS RECOMMENDED BY MANUFACTURER
3. COAT CONCEALED SIDE OF ACCESS PANEL WITH BITUMINOUS COATING SPECIFIED IN SECTION 05 50 00 WHERE IN CONTACT WITH WOOD, FERROUS METAL, OR CEMENTITIOUS CONSTRUCTION
4. SEAL JOINTS WITH ELASTOMERIC SEALANT AS RECOMMENDED OR APPROVED BY THE MANUFACTURER
5. ATTACHMENT: SECURELY ATTACH ACCESS PANEL ASSEMBLIES AND ACCESSORIES IN PLACE TO SUPPORT

END OF SECTION - 083116

SECTION 083326 - OVERHEAD ROLLING GRILLES

PART 1 - GENERAL
1.1 - SECTION INCLUDES
A. ALUMINUM OVERHEAD COILING GRILLES.

1.2 - SUBMITTALS: SEE SECTION 013000

1.3 - SUMMARY
GENERAL CONTRACTOR TO VERIFY GRILLE IS TRUE, PLUMB, AND OPERATING PROPERLY, BEFORE INSTALLER LEAVES PREMISES

PART 2 - PRODUCT
2.1 - MANUFACTURER
A. USA: ALUMATEC PACIFIC PRODUCTS
1155 WEST 500 NORTH, CENTERVILLE, UT 84014 – WWW.ALUMATECPP.COM
SALES DEPARTMENT: 801-298-0181 EXT. 1 OR TOLL FREE 877-770-0181 EXT. 1
B. CANADA: MOBILFLEX/ MODEL: AEROFLEX

2.2 - MATERIALS
A. USA: ALUMATEC AT-9
1. CURTAIN IS ASSEMBLED FROM HORIZONTAL RODS TO CONSIST OF EXTRUDED ALUMINUM, 5/16" ROUND 6063, SPACED AT 2" ON CENTER. VERTICAL LINK TO CONSIST OF .083 STAMPED ALUMINUM LINKS DOUBLE TO SINGLE CONNECTED WITH HEAVY-DUTY EYELETS, SPACED AT 9" ON CENTER.
2. BOTTOM BAR IS A RECTANGULAR SHAPE EXTRUDED FROM 6063-ALLOY ALUMINUM, ATTACHED TO THE BOTTOM OF THE CURTAIN WITH ADAPTOR, AND 3 5/8" WIDE CAP TO FINISH AND FLUSH WITH OPENING IN SOFFIT.
3. BARREL IS STEEL TUBING OR PIPE, 6" MINIMUM DIAMETER, TO CONTAIN COUNTERBALANCE ASSEMBLY AND SUPPORT THE CURTAIN WITH A MAXIMUM DEFLECTION OF 0.03 PER FT. OF WIDTH. COUNTERBALANCE ASSEMBLY CONSISTS OF COIL TEMPERED HELICAL TORSION SPRING(S) MOUNTED ON A COLD ROLLED STEEL SHAFT, ROTATING THOUGH A SEALED BEARING. WELDING IS NOT TO BE USED TO ATTACH PLUG TO BARREL AT SPRING END. SPRING TENSIONS ADJUSTABLE BY A TENSION WHEEL OUTSIDE OF BRACKET.
4. BRACKETS ARE STEEL PLATES, 3/16" MINIMUM THICKNESS, BOLTED TO SUPPORT STEEL, TO SUPPORT BARREL. BRACKET ON OPERATOR SIDE IS FITTED WITH A FLANGE OR SEALED ROLLER BEARING.
5. GUIDES ARE RECTANGULAR SHAPES EXTRUDED FROM 6063-ALLOY ALUMINUM, FORMED TO RETAIN CURTAIN AND FITTED WITH WOOL PILE STRIPS. GUIDES ARE ATTACHED TO JAMBS WITH ¼" MINIMUM BOLTS SPACED NOT MORE THAN 24" ON CENTER. REMOVABLE AND ADJUSTABLE CURTAIN STOPS ARE PROVIDED ON GUIDES AT PRE-DETERMINED STOP HEIGHT.
6. OPERATION IS MOTOR – KEY ACTIVATION OF AN ELECTRIC OPERATER, AS SHOWN ON THIS SUBMITTAL.
7. LOCKING: CYLINDER LOCK ON THE BOTTOM BAR (DOUBLE THROW-BOLT ACTIVATED BY CENTER THUMB TURN OR KEY, OPERABLE FROM BOTH SIDES OF DOOR, BEST INTERCHANGEABLE CORE CYLINDER EXTERIOR AND THUMB-TURN CYLINDER INTERIOR

2.3 - FINISHES
A. ALUMINUM CURTAIN FINISH, CLEAR ANODIZED
B. BOTTOM BAR, CLEAR ANODIZED
C. EXPOSED STEEL SURFACES ARE PAINTED WITH A RUST-INHIBITING GRAY OR BLACK PRIMER ON EXTERIOR APPLICATIONS.

PART 3 EXECUTIONS
3.1 - PREPARATION
A. PREPARE OPENING(S) TO RECEIVE GRILLE(S) AS REQUIRED BY MANUFACTURER.
B. GENERAL CONTRACTOR TO SUPPLY GRILLE INSTALLERS WITH FINISH FLOOR ELEVATION FOR PROPER INSTALLATION OF GRILLE LOCK AS WELL AS PRECISE GRILLE LOCATION ON FLOOR LAYOUT.
C. CAREFULLY COORDINATE INSTALLATION AND HOOK-UP OF ROLLING GRILLE WITH ALL AFFECTED TRADES. REFER TO DOOR SCHEDULE, SHEET A-180

3.2 - INSTALLATION
A. DOORS ARE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTUER'S INSTALLATION INSTRUCTIONS AND BY AUTHORIZED, AND CERTIFIED PROFESSIONAL MANUFACTURER'S DOOR DEALER.
B. INSTALL AS SHOWN ON DRAWINGS IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS ADJUST FOR SMOOTH AND EASY OPERATION.

END OF SECTION - 083326

SECTION 083516 - SIDE FOLDING GRILLES

PART 1 - GENERAL
1.1 - SECTION INCLUDES
A. MANUALLY OPERATED ALUMINUM SIDE-FOLDING ACCORDION DOOR

1.2 - SUBMITTALS: REQUIRED, SEE SECTION 013000

1.3 - SUMMARY
GENERAL CONTRACTOR TO VERIFY GRILLE IS TRUE, PLUMB, AND OPERATING PROPERLY, BEFORE INSTALLER LEAVES PREMISES

PART 2 - PRODUCT
2.1 - MANUFACTURER
A. USA: ALUMATEC PACIFIC PRODUCTS
1155 WEST 500 NORTH, CENTERVILLE, UT 84014 – WWW.ALUMATECPP.COM
SALES DEPARTMENT: 801-298-0181 EXT. 1 OR TOLL FREE 877-770-0181 EXT. 1
B. CANADA: MOBILFLEX / MODEL: AEROFLEX

2.2 - MATERIALS
A. ALUMATEC - PFS (PERFORATED PANELS)
1. CURTAIN IS ASSEMBLED FROM CUSTOM DESIGNED, EXTRUDED, FULL HEIGHT INTERLOCKING HINGE SYSTEM, USING PURE US BILLET ALUMINUM. STANDARD FINISH TO BE COMMERCIAL CLEAR SATIN ANODIZED. EXTRUDED INTERLOCKING HINGE SYSTEM EVERY 7" ON HORIZONTAL CENTERS. EACH PANEL IS FABRICATED TO OPENING SIZE LESS 1½" GAP AT TOP OF CURTAIN (BETWEEN CURTAIN AND TRACK), AND 1½" GAP BETWEEN FLOOR AND BOTTOM OF CURTAIN SLAT. ALUMINUM PANELS TO BE EXTRUDED AT 1/8" THICK BY 2" TALL BY 5¼" WIDE, AND SPACED 12 INCHES APART. WITH 5/16" SOLID ALUMINUM ROD CONNECTING CENTER OF PANELS, CONCEALED BY ALUMINUM HOLLOW SLEEVE. CLEAR OPENING APERTURE OF 12" TALL BY 2¼" WIDE.
2. LOCKING MULLION IS A RECTANGULAR SHAPE EXTRUDED FROM 6063-ALLOY ALUMINUM, AND CONSTRUCTED WITH A LOCKING SYSTEM TO PREVENT ACCESS BY PULLING OUT OR PUSHING IN ON THE CURTAIN
3. TOP TRACK V3 (1½" WIDE BY 1½" TALL – STANDARD (BLACK ROLLER / WHEEL BEARINGS).
4. OPERATION: MANUAL PUSH / PULL
5. LOCKING: CYLINDER LOCK ON THE LEAD POST WITH BEST INTERCHANGEABLE CORE CYLINDER EXTERIOR AND THUMB-TURN CYLINDER INTERIOR. ALL OTHER POSTS TO BE SECURED WITH THUMBTURNS AT THE INTERIOR ONLY

2.3 - FINISHES
A. ALUMINUM CURTAIN FINISH, CLEAR ANODIZED

PART 3 EXECUTIONS
3.1 - PREPARATION
A. PREPARE OPENING(S) TO RECEIVE GRILLE(S) AS REQUIRED BY MANUFACTURER.
B. GENERAL CONTRACTOR TO SUPPLY GRILLE INSTALLERS WITH FINISH FLOOR ELEVATION FOR PROPER INSTALLATION OF GRILLE LOCK AS WELL AS PRECISE GRILLE LOCATION ON FLOOR LAYOUT.
C. CAREFULLY COORDINATE INSTALLATION AND HOOK-UP OF ROLLING GRILLE WITH ALL AFFECTED TRADES. REFER TO DOOR SCHEDULE, SHEET A-180

3.2 - INSTALLATION
A. DOORS ARE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTUER'S INSTALLATION INSTRUCTIONS AND BY AUTHORIZED, AND CERTIFIED PROFESSIONAL MANUFACTURER'S DOOR DEALER.
B. INSTALL AS SHOWN ON DRAWINGS IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS ADJUST FOR SMOOTH AND EASY OPERATION.

END OF SECTION - 083516

SECTION 084113 - ALUMINUM FRAMED ENTRANCE AND STOREFRONTS

PART 1 - GENERAL
1.0 - PERFORMANCE REQUIREMENTS
A. GENERAL: PROVIDE ALUMINUM-FRAMED SYSTEMS, INCLUDING ANCHORAGE, CAPABLE OF WITHSTANDING, WITHOUT FAILURE, THE EFFECTS OF THE FOLLOWING
1. STRUCTURAL LOADS
2. THERMAL MOVEMENTS
3. MOVEMENTS OF SUPPORTING STRUCTURE INDICATED ON DRAWINGS INCLUDING, BUT NOT LIMITED TO, STORY DRIFT AND DEFLECTION FROM UNIFORMLY DISTRIBUTED AND CONCENTRATED LIVE LOADS
4. DIMENSIONAL TOLERANCES OF BUILDING FRAME AND OTHER ADJACENT CONSTRUCTION
5. FAILURE INCLUDES THE FOLLOWING
6. DEFLECTION EXCEEDING SPECIFIED LIMITS
7. THERMAL STRESSES TRANSFERRED TO BUILDING STRUCTURE
8. FRAMING MEMBERS TRANSFERRING STRESSES, INCLUDING THOSE CAUSED BY THERMAL AND STRUCTURAL MOVEMENTS, TO GLAZING
9. NOISE OR VIBRATION CREATED BY WIND AND THERMAL AND STRUCTURAL MOVEMENTS
10. LOOSENING OR WEAKENING OF FASTENERS, ATTACHMENTS, AND OTHER COMPONENTS
11. SEALANT FAILURE
12. FAILURE OF OPERATING UNITS TO FUNCTION PROPERLY
B. DEFLECTION OF FRAMING MEMBERS NORMAL TO WALL PLANE: LIMITED TO 1/175 OF CLEAR SPAN FOR SPANS UP TO 13 FEET 6 INCHES AND TO 1/240 OF CLEAR SPAN PLUS 1/4 INCH FOR SPANS GREATER THAN 13 FEET 6 INCHES OR AN AMOUNT THAT RESTRICTS EDGE DEFLECTION OF INDIVIDUAL GLAZING LITES TO 3/4 INCH, WHICHEVER IS LESS
C. TEMPERATURE CHANGE (RANGE): SYSTEMS ACCOMMODATE 120°F, AMBIENT; 180°F, MATERIAL SURFACES
D. CONDENSATION RESISTANCE: FIXED GLAZING AND FRAMING AREAS OF SYSTEMS HAVE CONDENSATION-RESISTANCE FACTOR (CRF) OF NOT LESS THAN 53 WHEN TESTED ACCORDING TO AAMA 1503.
E. AFTER FABRICATION, CLEARLY MARK COMPONENTS TO IDENTIFY THEIR LOCATIONS IN PROJECT ACCORDING TO SHOP DRAWINGS

1.1 - SUBMITTALS
A. PRODUCT DATA: FOR EACH TYPE OF PRODUCT INDICATED
B. SHOP DRAWINGS: INCLUDE PLANS, ELEVATIONS, SECTIONS, DETAILS, AND ATTACHMENTS TO OTHER WORK
1. FOR ENTRANCES, INCLUDE HARDWARE SCHEDULE AND INDICATE OPERATING HARDWARE TYPES, FUNCTIONS, QUANTITIES, AND LOCATIONS
C. SUSTAINABILITY PRODUCT DATA SUBMITTAL FORM: INCLUDE DOCUMENTATION SUPPORTING AT LEAST ONE PREFERRED OR ALTERNATE SUSTAINABLE CRITERIA

1.2 - QUALITY ASSURANCE
A. INSTALLER QUALIFICATIONS: ACCEPTABLE TO MANUFACTURER AND CAPABLE OF PREPARATION OF DATA FOR ALUMINUM-FRAMED SYSTEMS INCLUDING SHOP DRAWINGS BASED ON TESTING AND ENGINEERING ANALYSIS OF MANUFACTURER'S STANDARD UNITS IN ASSEMBLIES SIMILAR TO THOSE INDICATED FOR THIS PROJECT

1.3 - WARRANTY
A. SPECIAL ASSEMBLY WARRANTY: MANUFACTURER'S STANDARD FORM IN WHICH MANUFACTURER AGREES TO REPAIR OR REPLACE COMPONENTS OF ALUMINUM-FRAMED SYSTEMS THAT DO NOT COMPLY WITH REQUIREMENTS OR THAT DETERIORATE AS DEFINED IN THIS SECTION WITHIN SPECIFIED WARRANTY PERIOD
1. FAILURES INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING
2. STRUCTURAL FAILURES INCLUDING, BUT NOT LIMITED TO, EXCESSIVE DEFLECTION
3. NOISE OR VIBRATION CAUSED BY THERMAL MOVEMENTS
4. DETERIORATION OF METALS, METAL FINISHES, AND OTHER MATERIALS BEYOND NORMAL WEATHERING
5. FAILURE OF OPERATING COMPONENTS TO FUNCTION PROPERLY
B. WARRANTY PERIOD: TWO YEARS FROM DATE OF SUBSTANTIAL COMPLETION
1. SPECIAL FINISH WARRANTY: MANUFACTURER'S STANDARD FORM IN WHICH MANUFACTURER AGREES TO REPAIR OR REPLACE COMPONENTS ON WHICH FINISHES FAIL WITHIN SPECIFIED WARRANTY PERIOD. WARRANTY DOES NOT INCLUDE NORMAL WEATHERING

PART 2 - PRODUCTS
2.1 - MANUFACTURERS
A. BASIS OF DESIGN: BASIS OF DESIGN FOR THE STOREFRONT SYSTEM IS YKK AP YES 20 SERIES, SUBJECT TO COMPLIANCE WITH REQUIREMENTS PROVIDE THE NAMED PRODUCT OR A COMPARABLE PRODUCT BY AN AVAILABLE MANUFACTURER

2.2 - MATERIALS
A. ALUMINUM: ALLOY AND TEMPER RECOMMENDED BY MANUFACTURER FOR TYPE OF USE AND FINISH INDICATED
1. SHEET AND PLATE: ASTM B 209
2. EXTRUDED BARS, RODS, PROFILES, AND TUBES: ASTM B 221
3. EXTRUDED STRUCTURAL PIPE AND TUBES: ASTM B 429
4. STRUCTURAL PROFILES: ASTM B 308/B 308M
B. STEEL REINFORCEMENT: WITH MANUFACTURER'S STANDARD CORROSION-RESISTANT PRIMER
1. STRUCTURAL SHAPES, PLATES, AND BARS: ASTM A 36/A 36M
2. COLD-ROLLED SHEET AND STRIP: ASTM A 1008/A 1008M
3. HOT-ROLLED SHEET AND STRIP: ASTM A 1011/A 1011M

2.3 - FRAMING SYSTEMS
A. FRAMING MEMBERS: MANUFACTURER'S STANDARD EXTRUDED-ALUMINUM FRAMING MEMBERS OF THICKNESS REQUIRED AND REINFORCED AS REQUIRED TO SUPPORT IMPOSED LOADS
1. CONSTRUCTION: NONTHERMAL
B. BRACKETS AND REINFORCEMENTS: MANUFACTURER'S STANDARD HIGH-STRENGTH ALUMINUM WITH NONSTAINING, NONFERROUS SHIMS FOR ALIGNING SYSTEM COMPONENTS

A. FASTENERS AND ACCESSORIES: MANUFACTURER'S STANDARD CORROSION-RESISTANT, NONSTAINING, NONBLEEDING FASTENERS AND ACCESSORIES COMPATIBLE WITH ADJACENT MATERIALS
1. WHERE FASTENERS ARE SUBJECT TO LOOSENING OR TURNING OUT FROM THERMAL AND STRUCTURAL MOVEMENTS, WIND LOADS, OR VIBRATION, USE SELF-LOCKING DEVICES
2. REINFORCE MEMBERS AS REQUIRED TO RECEIVE FASTENER THREADS
3. USE EXPOSED FASTENERS WITH COUNTERSUNK PHILLIPS SCREW HEADS, FINISHED TO MATCH FRAMING SYSTEM
B. CONCRETE AND MASONRY INSERTS: HOT-DIP GALVANIZED CAST-IRON, MALLEABLE-IRON, OR STEEL INSERTS COMPLYING WITH ASTM A 123/A 123M OR ASTM A 153/A 153M REQUIREMENTS
C. FLASHING: MANUFACTURER'S STANDARD CORROSION-RESISTANT, NONSTAINING, NONBLEEDING FLASHING COMPATIBLE WITH ADJACENT MATERIALS. FORM EXPOSED FLASHING FROM SHEET ALUMINUM FINISHED TO MATCH FRAMING AND OF SUFFICIENT THICKNESS TO MAINTAIN A FLAT APPEARANCE WITHOUT VISIBLE DEFLECTION
D. FRAMING SYSTEM GASKETS AND SEALANTS: AS RECOMMENDED BY MANUFACTURER FOR JOINT TYPE

2.4 - GLAZING SYSTEMS
A. GLAZING: AS SPECIFIED IN DIVISION 08 SECTION GLAZING.
B. GLAZING GASKETS: MANUFACTURER'S STANDARD COMPRESSION TYPES, REPLACEABLE, MOLDED OR EXTRUDED, THAT MAINTAIN UNIFORM PRESSURE AND WATERTIGHT SEAL
C. SPACERS AND SETTING BLOCKS: MANUFACTURER'S STANDARD ELECTROMETRIC TYPES

2.5 - DOORS
A. DOORS: MANUFACTURER'S STANDARD GLAZED DOORS, FOR MANUAL SWING OPERATION
1. DOOR CONSTRUCTION: 1-3/4-INCH OVERALL THICKNESS, WITH MINIMUM 0.125-INCH-THICK, EXTRUDED-ALUMINUM TUBULAR RAIL AND STILE MEMBERS. MECHANICALLY FASTEN CORNERS WITH REINFORCING BRACKETS THAT ARE DEEP PENETRATION AND FILLET WELDED OR THAT INCORPORATE CONCEALED TIE RODS
2. DOOR DESIGN: AS INDICATED
3. GLAZING STOPS AND GASKETS: BEVELED, SNAP-ON, EXTRUDED-ALUMINUM STOPS AND PREFORMED GASKETS"
B. DOOR HARDWARE: AS SPECIFIED IN DRAWINGS, SEE DOOR SCHEDULE SHEETS A180, A181

2.6 - ACCESSORY MATERIALS
A. JOINT SEALANTS: FOR INSTALLATION AT PERIMETER OF ALUMINUM-FRAMED SYSTEMS, AS SPECIFIED IN DIVISION 07 SECTION JOINT SEALANTS
B. BITUMINOUS PAINT: COLD-APPLIED ASPHALT-MASTIC PAINT COMPLYING WITH SSPC-PAINT 12 REQUIREMENTS EXCEPT CONTAINING NO ASBESTOS, FORMULATED FOR 30-MIL THICKNESS PER COAT

2.7- FABRICATION
A. FORM ALUMINUM SHAPES BEFORE FINISHING
B. WELD IN CONCEALED LOCATIONS TO GREATEST EXTENT POSSIBLE TO MINIMIZE DISTORTION OR DISCOLORATION OF FINISH. REMOVE WELD SPATTER AND WELDING OXIDES FROM EXPOSED SURFACES BY DESCALING OR GRINDING
C. FRAMING MEMBERS, GENERAL: FABRICATE COMPONENTS THAT, WHEN ASSEMBLED, HAVE THE FOLLOWING CHARACTERISTICS
1. PROFILES THAT ARE SHARP, STRAIGHT, AND FREE OF DEFECTS OR DEFORMATIONS
2. ACCURATELY FITTED JOINTS WITH ENDS COPED OR MITERED
3. PHYSICAL AND THERMAL ISOLATION OF GLAZING FROM FRAMING MEMBERS
4. ACCOMMODATIONS FOR THERMAL AND MECHANICAL MOVEMENTS OF GLAZING AND FRAMING TO MAINTAIN REQUIRED GLAZING EDGE CLEARANCES
5. FASTENERS, ANCHORS, AND CONNECTION DEVICES THAT ARE CONCEALED FROM VIEW TO GREATEST EXTENT POSSIBLE
D. DOOR FRAMES: REINFORCE AS REQUIRED TO SUPPORT LOADS IMPOSED BY DOOR OPERATION AND FOR INSTALLING HARDWARE
D. AT INTERIOR DOORS, PROVIDE SILENCERS AT STOPS TO PREVENT METAL-TO-METAL CONTACT. INSTALL THREE SILENCERS ON STRIKE JAMB OF SINGLE-DOOR FRAMES AND TWO SILENCERS ON HEAD OF FRAMES FOR PAIRS OF DOORS
1. DOORS: REINFORCE DOORS AS REQUIRED FOR INSTALLING HARDWARE
E. HARDWARE INSTALLATION: FACTORY INSTALL HARDWARE TO THE GREATEST EXTENT POSSIBLE. CUT, DRILL, AND TAP FOR FACTORY-INSTALLED HARDWARE BEFORE APPLYING FINISHES
F. AFTER FABRICATION, CLEARLY MARK COMPONENTS TO IDENTIFY THEIR LOCATIONS IN PROJECT ACCORDING TO SHOP DRAWINGS

084.1.13.2.8 ALUMINUM FINISHES
A. COLOR ANODIC FINISH: AAMA 611, CLASS I
1. COLOR: AS INDICATED ON FINISH SCHEDULE, SEE SHEET A-120

PART 3 - EXECUTION
3.1 - INSTALLATION
A. GENERAL
1. FIT JOINTS TO PRODUCE HAIRLINE JOINTS FREE OF BURRS AND DISTORTION
2. RIGIDLY SECURE NON-MOVEMENT JOINTS
3. INSTALL ANCHORS WITH SEPARATORS AND ISOLATORS TO PREVENT METAL CORROSION AND ELECTROLYTIC DETERIORATION
4. SEAL JOINTS WATERTIGHT, UNLESS OTHERWISE INDICATED
B. METAL PROTECTION
1. WHERE ALUMINUM WILL CONTACT DISSIMILAR METALS, PROTECT AGAINST GALVANIC ACTION BY PAINTING CONTACT SURFACES WITH PRIMER OR BY APPLYING SEALANT OR TAPE OR INSTALLING NONCONDUCTIVE SPACERS AS RECOMMENDED BY MANUFACTURER FOR THIS PURPOSE
2. WHERE ALUMINUM WILL CONTACT CONCRETE OR MASONRY, PROTECT AGAINST CORROSION BY PAINTING CONTACT SURFACES WITH BITUMINOUS PAINT
3. INSTALL COMPONENTS TO DRAIN WATER PASSING JOINTS, CONDENSATION OCCURRING WITHIN FRAMING MEMBERS, AND MOISTURE MIGRATING WITHIN THE SYSTEM TO EXTERIOR
C. SET CONTINUOUS SILL MEMBERS AND FLASHING IN FULL SEALANT BED AS SPECIFIED IN DIVISION 07 SECTION "JOINT SEALANTS" AND TO PRODUCE WEATHER TIGHT INSTALLATION
D. INSTALL COMPONENTS PLUMB AND TRUE IN ALIGNMENT WITH ESTABLISHED LINES AND GRADES, WITHOUT WARP OR RACK
E. INSTALL GLAZING AS SPECIFIED IN DIVISION 08 SECTION GLAZING.
F. ENTRANCES: INSTALL TO PRODUCE SMOOTH OPERATION AND TIGHT FIT AT CONTACT POINTS
1. FIELD-INSTALLED HARDWARE: INSTALL SURFACE-MOUNTED HARDWARE ACCORDING TO HARDWARE MANUFACTURERS' WRITTEN INSTRUCTIONS USING CONCEALED FASTENERS TO GREATEST EXTENT POSSIBLE
G. INSTALL PERIMETER JOINT SEALANTS AS SPECIFIED IN DIVISION 07 SECTION JOINT SEALANTS AND TO PRODUCE WEATHERTIGHT INSTALLATION
H. ERECTION TOLERANCES: INSTALL ALUMINUM-FRAMED SYSTEMS TO COMPLY WITH THE FOLLOWING MAXIMUM TOLERANCES
1. LOCATION AND PLANE: LIMIT VARIATION FROM TRUE LOCATION AND PLANE TO 1/8 INCH IN 12 FEET; 1/4 INCH OVER TOTAL LENGTH
2. ALIGNMENT
a. WHERE SURFACES ABUT IN LINE, LIMIT OFFSET FROM TRUE ALIGNMENT TO 1/16 INCH
b. WHERE SURFACES MEET AT CORNERS, LIMIT OFFSET FROM TRUE ALIGNMENT TO 1/32 INCH"
3. DIAGONAL MEASUREMENTS: LIMIT DIFFERENCE BETWEEN DIAGONAL MEASUREMENT TO 1/8 INCH

END OF SECTION - 084113

SECTION 088100 - GLASS GLAZING

PART 1 - GENERAL:
1.1 - SUMMARY
A. INSTALL GLASS AND FILM ON GLASS; PROVIDE GLAZING ACCESSORIES AS REQUIRED FOR COMPLETE INSTALLATION, UNLESS NOTED BY OTHERS IN DRAWINGS.

1.2 - STANDARDS:
A. COMPLY WITH GLASS ASSOCIATION OF NORTH AMERICA (GANA) "GLAZING MANUAL".
B. SAFETY GLAZING SHALL COMPLY WITH CONSUMER PRODUCT STANDARD 16 CFR 1201, AND SHALL HAVE PASSED ANSI Z97.1.

1.3 - SUBMITTALS: FURNISH PRODUCT DATA AND SAMPLES OF EXPOSED GLAZING MATERIALS.

PART 2 - MATERIALS
2.1 - GLAZING [GL-1] : SEE SHEET A-120
A. ASTM C1048, FULLY TEMPERED, SELECT GLAZING QUALITY, CLEAR FLOAT GLASS, SAFETY GLASS, UNLESS OTHERWISE INDICATED.
1. INTERIOR [SF-4]: FULLY TEMPERED EXTRA CLEAR GLAZING, THICKNESS AS INDICATED ON DRAWINGS.
2. INTERIOR [SF-5]:FULLY TEMPERED "CLARITY" ANTI REFLECTIVE GLASS EXTRA CLEAR OR EQ, THICKNESS AS INDICATED ON DRAWINGS
3. EXTERIOR [SF-6]: 1" TEMPERED INSULATED WITH DUAL SEAL (MAKEUP: 1/4" CLEAR TEMPERED, 1/2" SPACER, 1/4" CLEAR TEMPERED), SOLAR BAN 60 OR APPROVED EQUAL
4. EXTERIOR [SF-6H]: 1" TEMPERED INSULATED WITH DUAL SEAL (MAKEUP: EXTEIOR 1/4" CLEAR HAMMER GLASS, 1/2" SPACER, 1/4" CLEAR TEMPERED STARPHIRE
B. EXPOSED AND BUTT EDGES: EASED POLISHED EDGE
C. CORNER EDGES: LAP-JOINT CORNERS WITH EXPOSED EDGES POLISHED
D. GLAZING ACCESSORIES: OF TYPE RECOMMENDED BY MANUFACTURER TO SUIT SECURITY LOCATIONS AND APPLICATIONS FOR DRY GLAZING INSTALLATION.
E. GLAZING FILM [WF-1, WF-2A, WF-2B, WF-2C, WF-3A, WF-3B, WF-3C, WF-3D,WF-3E]: PROVIDE TRANSLUCENT AND/OR OPAQUE GLAZING FILMS BY 3M OR LULULEMON VENDOR IF INDICATED ON DRAWINGS, SEE SHEET A-120.
F. GLAZING SEALANT: ONE COMPONENT SILICONE GLAZING SEALANT BY DOW, GE, OR TREMCO.
G. SETTING BLOCKS AND SPACERS: NEOPRENE OR EPDM, SILICONE COMPATIBLE WHERE IN CONTACT WITH SILICONE SEALANT.

PART 3 - EXECUTION
3.1 - PREPARATION:
CLEAN GLAZING CHANNELS AND FRAMING MEMBERS TO RECEIVE GLASS IMMEDIATELY BEFORE GLAZING; REMOVE COATINGS NOT FIRMLY BONDED TO SUBSTRATE.

3.2 - INSTALLATION: COMPLY WITH GANA GLAZING MANUAL AND SEALANT MANUAL AND GLAZING MANUFACTURER INSTRUCTIONS.
1. DO NOT ALLOW GLASS TO TOUCH METAL SURFACES.
2. COMPLY WITH NFPA 80 FOR GLASS IN FIRE RATED OPENINGS.
3. PLACE SETTING BLOCKS AT QUARTER POINTS IN THIN COURSE OF SEALANT.
4. INSTALL REMOVABLE STOPS WITH GLASS CENTERED IN SPACE WITH SPACER SHIMS AT 2'-0" INTERVALS ON BOTH SIDES OF GLASS, 1/4" BELOW SIGHTLINE.
5. SEALANT GLAZING: FILL GAP BETWEEN GLASS AND STOPS WITH SEALANT TO DEPTH EQUAL TO BITE OF FRAME ON GLASS BUT NOT MORE THAN 3/8" BELOW SIGHTLINE.

END OF SECTION - 088100

SECTION 088300 - MIRRORS

PART 1 - GENERAL
1.1 - SUMMARY
A. THIS SECTION INCLUDES GLASS MIRRORS.

1.2 - QUALITY ASSURANCE
A. INSTALLER QUALIFICATIONS: AN EXPERIENCED INSTALLER WHO HAS COMPLETED MIRROR GLAZING SIMILAR IN MATERIAL DESIGN AND EXTENT TO THAT INDICATED; WHOSE WORK HAS RESULTED IN MIRROR INSTALLATIONS WITH A RECORD OF NOT LESS THAN 5 YEARS OF SUCCESSFUL IN-SERVICE PERFORMANCE. SOURCE LIMITATIONS FOR MIRRORS: OBTAIN MIRRORS FROM ONE SUPPLIER/MANUFACTURER FOR EACH TYPE OF MIRROR INDICATED.
B. SOURCE LIMITATIONS FOR GLAZING ACCESSORIES: OBTAIN GLAZING ACCESSORIES FROM ONE SOURCE FOR EACH TYPE OF ACCESSORY INDICATED.
C. GLAZING PUBLICATIONS: COMPLY WITH THE APPLICABLE RECOMMENDATIONS OF THE FOLLOWING. WHERE RECOMMENDATIONS CONFLICT THE MORE STRINGENT SHALL APPLY:
1. GLASS ASSOCIATION OF NORTH AMERICA (GANA): "GLAZING MANUAL" AND THE MIRROR DIVISION'S "MIRRORS, HANDLE WITH EXTREME CARE: TIPS FOR THE PROFESSIONAL ON THE CARE AND HANDLING OF MIRRORS."
2. NATIONAL GLASS ASSOCIATION (NGA): "CUSTOM MIRRORS, FABRICATION AND INSTALLATION."

1.3 - DELIVERY, STORAGE, AND HANDLING
A. PROTECT MIRRORS ACCORDING TO MIRROR MANUFACTURER'S WRITTEN INSTRUCTIONS AND AS NEEDED TO PREVENT DAMAGE TO MIRRORS FROM CONDENSATION, TEMPERATURE CHANGES, DIRECT EXPOSURE TO SUN, OR OTHER CAUSES.
B. COMPLY WITH MIRROR MANUFACTURER'S WRITTEN INSTRUCTIONS FOR SHIPPING, STORING, AND HANDLING MIRRORS AS NEEDED TO PREVENT DETERIORATION OF SILVERING, DAMAGE TO EDGES, AND ABRASION OF GLASS SURFACES AND APPLIED COATINGS. STORE INDOORS, PROTECTED FROM MOISTURE INCLUDING CONDENSATION.

1.4 - PROJECT CONDITIONS
A. ENVIRONMENTAL LIMITATIONS: DO NOT INSTALL MIRRORED GLASS UNTIL AMBIENT TEMPERATURE AND HUMIDITY CONDITIONS ARE MAINTAINED AT LEVELS INDICATED FOR FINAL OCCUPANCY.

PART 2 - PRODUCT
2.1 - MIRROR SPECIFICATIONS
A. CLEAR GLASS / MIRROR
1. FLAT GLASS WITH SILVERED COATING ON SECOND SURFACE, WITH PROTECTIVE PAINT BACKING
2. EDGES TO BE FLAT GROUND SMOOTH AND POLISHED
3. VINYL SAFETY BACKING TO BE USED AT DOOR APPLICATIONS

PART 3 - EXECUTION
3.1 - INSTALLATION
A. FIELD MEASURE MUST BE COMPLETE AFTER FIT ROOM MILLWORK PACKAGE IS FULLY INSTALLED
B. MIRROR SIZES MUST BE FIELD MEASURED TO SUIT EXISTING SITE CONDITIONS
C. MIRROR PANE CUTTING AND EDGE FINISH TO BE COMPLETED OFF-SITE IN A CONTROLLED ENVIRONMENT
D. INSTALL MIRROR WITH QUICK-SET CONSTRUCTION ADHESIVE (TITEBOND CONSTRUCTION ADHESIVE IS RECOMMENDED) THAT ALLOWS FOR MINOR MIRROR PLACEMENT ADJUSTMENTS UPON INSTALLATION
E. MIRROR MUST BE SUPPORTED DURING CURING PERIOD
F. FOR INSTALLATION OF A 3-WAY MIRROR, CENTER MIRROR PANE TO BE INSTALLED FIRST, FOLLOWED BY THE FLANKING MIRROR PANELS

3.2 - JOINT FINISHING
1. MIRROR PANELS TO BE TIGHTLY BUTT TOGETHER, MAX ALLOWABLE JOINT IS 1/16"
2. NO CAULKING TO BE USED

3.3 - WARRANTY
1. ONE YEAR INSTALLATION WARRANTY FROM TIME OF INSTALLATION

END OF SECTION - 088300

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SEAL
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STATE OF MISSOURI
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NUMBER A-2008010408
ARCHITECT

ISSUED FOR PERMIT & BID
08/25/2025

△	DATE	DESCRIPTION
	06/16/2025	ISSUED FOR DD REVIEW
	08/05/2025	ISSUED FOR CD REVIEW
	08/25/2025	ISSUED FOR PERMIT & BID

DRAWING INFORMATION
PROJECT #: 2412106
CHECKED BY: DM
DRAWN BY: CT

ARCHITECTURAL SPECIFICATIONS

DRAWING NUMBER
AS-140

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DIVISION 9 - FINISHES

SECTION 092500 - GYPSUM BOARD

PART 1 - GENERAL

1.0 - SUBMITTALS
- A. SUSTAINABILITY PRODUCT DATA SUBMITTAL FORM: INCLUDE DOCUMENTATION SUPPORTING AT LEAST ONE PREFERRED OR ALTERNATE SUSTAINABLE CRITERIA

1.1 - QUALITY ASSURANCE
- A. FIRE-RESISTANCE-RATED ASSEMBLIES: FOR FIRE-RESISTANCE-RATED ASSEMBLIES, PROVIDE MATERIALS AND CONSTRUCTION IDENTICAL TO THOSE TESTED IN ASSEMBLY INDICATED ACCORDING TO ASTM E 119 BY AN INDEPENDENT TESTING AGENCY

PART 2 - PRODUCTS

2.1 - MATERIALS
- A. GYPSUM BOARD
- B. FIBER GYPSUM WALLBOARD PANELS: FIBER-REINFORCED GYPSUM BOARD. GYPSUM, AND PERLITE CORE- HEAVIER AND MORE DURABLE THAN CONVENTIONAL GYPSUM BOARD WITH A DENSE, HARD SURFACE LESS PRONE TO MOLD GROWTH. 5/8" THICK MATERIAL CAN SPAN 24", HAS TO BE CUT OR SCORED ON BOTH SIDES
  1. THICKNESS: 5/8"
  2. FIRE RESISTANCE: 5/8" PANELS EQUIVALENT TO TYPE X, ASTM E119, AND CAN/ULC-S101, WITH CLASS 1 FLAME SPREAD, SMOKE DEVELOPMENT, AND FUEL CONTRIBUTION IN ACCORDANCE WITH ASTM E84 AND CAN/ULC-S102
  3. MOISTURE TOLERANCE: AFTER WETTING, REGAINS ORIGINAL STRENGTH UPON DRYING
  4. GYPSUM BOARD IN ALL WET AREAS, INCLUDING TOILET ROOMS, STAFF SINK AREA, WATER FEATURE AND MOP SINK AREA SHALL BE MOISTURE AND WATER-RESISTANT GRADE

2.2 - RELATED MATERIALS
- A. JOINT COMPOUND
  1. DRY MIX: LIME COMPOUND; ALL-PURPOSE JOINT AND TEXTURING COMPOUND CONTAINING INERT FILLERS AND NATURAL BINDERS
  2. ALL-PURPOSE, PREMIXED
- B. DRYWALL STOPS
- C. JOINT TAPE PAPER

PART 3 - EXECUTION

3.1 - APPLYING AND FINISHING PANELS, GENERAL
- A. COMPLY WITH ASTM C 840
- B. EXAMINE PANELS BEFORE INSTALLATION. REJECT PANELS THAT ARE WET, MOISTURE DAMAGED, AND MOLD DAMAGED
- C. ISOLATE PERIMETER OF GYPSUM BOARD APPLIED TO NON-LOAD-BEARING PARTITIONS AT STRUCTURAL ABUTMENTS, EXCEPT FLOORS. PROVIDE 1/4 TO 1/2 INCH WIDE SPACES AT THESE LOCATIONS, AND TRIM EDGES WITH EDGE TRIM WHERE EDGES OF PANELS ARE EXPOSED. SEAL JOINTS BETWEEN EDGES AND ABUTTING STRUCTURAL SURFACES WITH ACOUSTICAL SEALANT

3.2 - APPLYING INTERIOR GYPSUM BOARD
- A. INSTALL INTERIOR GYPSUM BOARD IN THE FOLLOWING LOCATIONS
  1. TYPE X: VERTICAL SURFACES, UNLESS OTHERWISE INDICATED
  2. FLEXIBLE TYPE: AS INDICATED ON DRAWINGS
  3. CEILING TYPE: AS INDICATED ON DRAWINGS

3.3 - INSTALLING TRIM ACCESSORIES
- A. GENERAL: FOR TRIM WITH BACK FLANGES INTENDED FOR FASTENERS, ATTACH TO FRAMING WITH SAME FASTENERS USED FOR PANELS. OTHERWISE, ATTACH TRIM ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS
- B. CONTROL JOINTS: INSTALL CONTROL JOINTS AT LOCATIONS INDICATED ON DRAWINGS

3.4 - FINISHING GYPSUM BOARD
- A. GENERAL: TREAT GYPSUM BOARD JOINTS, INTERIOR ANGLES, EDGE TRIM, CONTROL JOINTS, PENETRATIONS, FASTENER HEADS, SURFACE DEFECTS, AND ELSEWHERE AS REQUIRED TO PREPARE GYPSUM BOARD SURFACES FOR DECORATION. PROMPTLY REMOVE RESIDUAL JOINT COMPOUND FROM ADJACENT SURFACES
- B. PREFILL OPEN JOINTS, ROUNDED OR BEVELED EDGES, AND DAMAGED SURFACE AREAS
- C. APPLY JOINT TAPE OVER GYPSUM BOARD JOINTS, EXCEPT THOSE WITH TRIM HAVING FLANGES NOT INTENDED FOR TAPE
- D. GYPSUM BOARD FINISH LEVELS: FINISH PANELS TO LEVELS INDICATED BELOW AND PER ASTM C 840
  1. LEVEL 1: CEILING PLENUM AREAS, CONCEALED AREAS, AND WHERE INDICATED
  2. LEVEL 2: AREAS COVERED WITH COMMERCIAL GRADE HEAVY DUTY WALLCOVERINGS, TILE, WOOD PANELING OR SIMILAR, CONCEALED AREAS AT LIGHT COVES
  3. LEVEL 3: AT SALES AREA AND ALL AREAS THAT ARE RECEIVING HEAVY TEXTURE FINISH
  4. LEVEL 4: AT B.O.H. NON CUSTOMER AREAS, UNLESS OTHERWISE INDICATED
     - a. PRIMER AND ITS APPLICATION TO SURFACES ARE SPECIFIED IN OTHER DIVISION 09 SECTIONS
     - b. LIGHT WEIGHT WALLCOVERINGS
  5. LEVEL 5: CUSTOMER ACCESSIBLE AREAS, GC TO USE SPRAY APPLIED WITH SHEETROCK® BRAND TUFF-HIDE™ PRIMER-SURFACER OR APPROVED EQUAL AT ALL PAINTED SURFACES
  6. PLASTIC: SPECIFY HIGHEST RECYCLED CONTENT AVAILABLE

3.5 - PROTECTION
- A. PROTECT INSTALLED PRODUCTS FROM DAMAGE FROM WEATHER, CONDENSATION, DIRECT SUNLIGHT, CONSTRUCTION, AND OTHER CAUSES DURING REMAINDER OF THE CONSTRUCTION PERIOD
- B. REMOVE AND REPLACE PANELS THAT ARE WET, MOISTURE DAMAGED, AND MOLD DAMAGED
  1. INDICATIONS THAT PANELS ARE WET OR MOISTURE DAMAGED INCLUDE, BUT ARE NOT LIMITED TO, DISCOLORATION, SAGGING, OR IRREGULAR SHAPE
  2. INDICATIONS THAT PANELS ARE MOLD DAMAGED INCLUDE, BUT ARE NOT LIMITED TO, FUZZY OR SPLOTCHY SURFACE CONTAMINATION AND DISCOLORATION

END OF SECTION 092500

SECTION 092514 - CONCRETE PLASTER FINISH [SF-24]

PART 1 GENERAL

1.1 - SUMMARY
- A. SECTION INCLUDES: INTEGRALLY-COLORED, POLYMER-ENHANCED, PORTLAND CEMENT-BASED PLASTER FINISH.

1.2 REFERENCES
- A. ASTM C979 – PIGMENTS FOR INTEGRALLY COLORED CONCRETE.
- B. ASTM D1308-02 - HOUSEHOLD CHEMICAL RESISTANCE.
- C. ASTM D2486-06 – SCRUB RESISTANCE.
- D. ASTM D3363 – PENCIL SCRATCH AND GOUGE HARDNESS.
- E. ASTM E84 – SURFACE BURNING CHARACTERISTICS OF BUILDING MATERIALS.
- F. ISO 9002 – QUALITY SYSTEMS -- MODEL FOR QUALITY ASSURANCE IN PRODUCTION, INSTALLATION AND SERVICING.

1.3 SUBMITTALS
- A. PRODUCT DATA: SUBMIT MANUFACTURER'S PRODUCT DATA FOR FINISHES AND OTHER MATERIALS PROVIDED UNDER THIS SECTION.
- B. VERIFICATION SAMPLES: SUBMIT ONE (1) 24 INCH x 24 INCH SAMPLES ILLUSTRATING COLOR TEXTURE, AND REVEAL EXECUTION TO BE EXPECTED IN COMPLETED WORK.
- C. APPLICATION INSTRUCTIONS: SUBMIT COMPLETE MANUFACTURER'S APPLICATION INSTRUCTIONS. INCLUDE REQUIREMENTS FOR PREPARATION OF SURFACES, METHOD OF APPLICATION OF EACH FINISH, AND RECOMMENDED CURING AND PROTECTION METHODS.
- D. QUALIFICATION DATA: SUBMIT A CERTIFICATE INDICATING THAT INSTALLER IS AUTHORIZED BY THE MANUFACTURER TO INSTALL SPECIFIED PRODUCT.
- E. INSTALLER'S EXPERIENCE RECORD: SUBMIT A LIST OF AT LEAST 5 INSTALLATIONS THAT HAVE BEEN INSTALLED FOR A MINIMUM OF THREE (3) YEARS OF FINISH SYSTEM SIMILAR IN SIZE, TYPE AND SCOPE AS DESCRIBED IN THIS DOCUMENT. INCLUDE CONTACT NAMES AND PHONE NUMBERS.

1.4 - QUALITY ASSURANCE
- A. MANUFACTURER QUALIFICATIONS: FINISH SHALL BE PRODUCED IN ISO 9002 CERTIFIED FACILITY. MANUFACTURER SHALL BE COMPANY SPECIALIZING IN MANUFACTURING PRODUCTS SPECIFIED IN THIS SECTION WITH MINIMUM FOUR YEARS EXPERIENCE.
- B. INSTALLER: INSTALLERS SHALL BE SPECIALLY TRAINED IN THE APPLICATION OF THE FINISH. INSTALLERS SHALL HAVE COMPLETED AT LEAST FIVE (5) INSTALLATIONS OF FINISHES SIMILAR TO TYPE INCLUDED IN THIS SECTION AND SHALL HAVE TRAINED AND CERTIFIED BY MANUFACTURER.
  1. CONTACT TEXSTON OR YOUR TEXSTON DISTRIBUTOR FOR NAMES OF QUALIFIED CONTRACTORS.
  2. CERTIFICATION: SUBMIT WRITTEN DOCUMENTATION THAT INSTALLER IS TRAINED AND CERTIFIED BY MANUFACTURER TO INSTALL FINISH.
  3. TECHNICAL REPRESENTATIVE: INSTALLER SHALL ARRANGE AND PAY FOR A FACTORY TECHNICAL REPRESENTATIVE TO BE PRESENT AT THE START OF THE WORK AND TO OBSERVE THE WORK IN PROGRESS FOR NOT LESS THAN SIX (6) HOURS.
- C. MOCK-UP: SEE VERIFICATION SAMPLE SUBMITTAL REQUIREMENTS ABOVE
- D. SINGLE SOURCE RESPONSIBILITY: PROVIDE ONLY PROPRIETARY, FACTORY-FORMULATED MATERIALS AS PRODUCED BY TEXSTON INDUSTRIES, INC. SPECIFICALLY FOR APPLICATION INDICATED. SUBSTITUTES WITHIN THE SYSTEM ARE NOT PERMITTED.

1.5 - DELIVERY, STORAGE, AND HANDLING
- A. DELIVERY AND STORAGE: PROTECT MATERIALS FROM EXCESSIVE MOISTURE AND DIRECT SUN IN SHIPMENT, STORAGE, AND HANDLING. DELIVER MATERIALS IN MANUFACTURER'S UNOPENED CONTAINERS AND STORE IN DARK AND DRY PLACE AT BETWEEN 45 AND 95 DEGREES F AND WITH ADEQUATE AIR CIRCULATION.

1.6 - PROJECT CONDITIONS
- A. ENVIRONMENTAL REQUIREMENTS, GENERAL: COMPLY WITH REQUIREMENTS OF REFERENCED PLASTER APPLICATION STANDARDS AND RECOMMENDATIONS OF PLASTER MANUFACTURER FOR ENVIRONMENTAL CONDITIONS BEFORE, DURING, AND AFTER PLASTER APPLICATION.
- B. COLD-WEATHER REQUIREMENTS: PROVIDE HEAT AND PROTECTION, TEMPORARY OR PERMANENT, AS REQUIRED TO PROTECT EACH COAT OF PLASTER FROM FREEZING FOR AT LEAST 24 HOURS AFTER APPLICATION. DISTRIBUTE HEAT UNIFORMLY TO PREVENT CONCENTRATION OF HEAT ON PLASTER NEAR HEAT SOURCES; PROVIDE DEFLECTION OR PROTECTIVE SCREENS.
- C. WARM-WEATHER REQUIREMENTS: PROTECT PLASTER AGAINST UNEVEN AND EXCESSIVE EVAPORATION AND FROM STRONG FLOWS OF DRY AIR, BOTH NATURAL AND ARTIFICIAL. APPLY AND CURE PLASTER AS REQUIRED BY CLIMATIC AND JOB CONDITIONS TO PREVENT DRY OUT DURING CURE PERIOD. PROVIDE SUITABLE COVERINGS, MOIST CURING, BARRIERS TO DEFLECT SUNLIGHT AND WIND, OR COMBINATIONS OF THESE AS REQUIRED.
- D. EXTERIOR PLASTER WORK: DO NOT APPLY IF RAIN OR FREEZING TEMPERATURES ARE EXPECTED WITHIN 24 HOURS; PROTECT FROM RAIN FOR 48 HOURS AFTER APPLICATION. DO NOT APPLY OVER WET OR FROZEN SURFACES. DO NOT APPLY WHEN TEMPERATURE IS LESS THAN 45 DEGREES F OR MORE THAN 95 DEGREES F
- E. PROTECT CONTIGUOUS WORK FROM SOILING AND MOISTURE DETERIORATION CAUSED BY PLASTERING. PROVIDE TEMPORARY COVERING AND OTHER PROVISIONS NECESSARY TO MINIMIZE HARMFUL SPATTERING OF PLASTER ON OTHER WORK.

1.6 - WARRANTY
- A. MANUFACTURER'S LIMITED WARRANTY: PROVIDE MANUFACTURER'S FIVE (5) YEAR LIMITED WARRANTY AGAINST PRODUCTS DEFECTS.

PART 2 PRODUCTS

2.1 - ACCEPTABLE MANUFACTURER - NO SUSTITUTIONS
- A. **TEXSTON INDUSTRIES**
  8025 DEERING AVE
  CANOGA PARK 91304
  800-788-7113
  818-227-4812
  FAX 818-227-4852
  WWW.TEXSTON.COM

2.2 - SYSTEM PERFORMANCE REQUIREMENTS
- A. COMPOSITION: PREMIXED, DRY, POWDER CONTAINING WHITE PORTLAND CEMENT; SPECIALLY GRADED SILICA SAND FREE OF DUST AND SALTS; DRY ACRYLIC POLYMERS; RHEOLOGICAL, WATER REPELLENT, MILDEWICIDAL, AND FUNGICIDAL ADMIXTURES; PROPRIETARY MICRO REINFORCED FIBERS, AND MINERAL OXIDE PIGMENTS COMPLYING WITH ASTM C979.
- B. SURFACE BURNING PERFORMANCE: CLASS A; SURFACE BURNING CHARACTERISTICS NOT EXCEEDING FLAME SPREAD = 0 AND SMOKE DENSITY = 5 WHEN TESTED ACCORDING TO ASTM E84.
- C. PENCIL HARDNESS: GOUGE 6H/SCRATCH 4H WHEN TESTED IN ACCORDANCE WITH ASTM- 3363
- D. SCRUB RESISTANCE: MINIMUM OF 10000 CYCLES USING 10GRAMS OF SCRUBBING MEDIUM AND 5 GRAMS OF WATER ASTM D2486-06: NO VISIBLE/MEASURABLE WEAR.
- E. CHEMICAL EXPOSURE: ASTM D-1308-02: NO CHANGE.

2.3 - FINISH - [SF-24] - SEE SHEET A-120
- A. PRODUCT: TEXSTON TUSCANY - LULULEMON CUSTOM MIX LIME-CEMENT PLASTER WITH AGGREGATE
- B. FINISH CODE # VPC-8333D WITH RESIN POLYMER ADDITIVE (RPA)
- C. COLOR: PLASTER MIX SHALL BE FACTORY-TINTED BY MANUFACTURER.
  1. MATCH OWNER'S APPROVED CONTROL SAMPLE.
     - a. COLOR A FOR 1ST COAT (WITHOUT ROCKS)
     - b. COLOR B FOR 2ND COAT (WITH ROCKS)

2.4 - ACCESSORIES
- A. EFIS BASE COAT:
  1. ACRYLIC MODIFIED CEMENTITIOUS BASECOAT BY STO, DRYVIT, PAREX, SENERGY, FINESTONE, BASF OR EQUAL
- B. FIBER MESH:
  1. 10 OZ ALKALI-RESISTANT FIBREGLASS MESH EMBEDDED IN BASECOAT
  2. 4" WIDE MINIMUM 4.5 OZ DETAIL FIBER MESH EMBEDDED IN ALL SEAMS AND CORNERS
- C. PRIMER:
  1. TWO (2) COATS TEXSTON TEX PREP PRIMER
- D. SAND:
  1. TO MIX WITH PRIMER AND ROUGHEN PRIMED SURFACE AND IMPROVE SPREADABILITY OF PLASTER COATING; PROVIDE ONE QUART OF SAND PER FIVE GALLONS OF PRIMER.
- E. REINFORCED POLYMER ADDITIVE (RPA):
  1. TEXSTON RPA ADDITIVE. PROVIDE IN PROPORTIONS ACCORDING TO MANUFACTURER RECOMMENDATIONS FOR 1ST COAT AND SECOND COAT.
- F. CURE RETARDANT
  1. RUGASOL RETARDANT
- G. SEALER:
  1. TWO (2) COATS TEXSTON TEXPROTECT SDS 7.5
- H. CORROSION RESISTANT TRIM AND FASTENERS REQUIRED IN EXTERIOR AND WET AREAS.
- I. SEE DETAIL STOREFRONT SERIES A-400 FOR TRIMS, JOINTS, AND REVEALS REQUIRED

2.5 - TOOLS
- A. USE TROWELS OF TYPES RECOMMENDED BY MANUFACTURER TO PRODUCE INTENDED RESULTS.
- B. FOR GRIND/POLISH FINISH USE SANDER WITH ELECTROPLATED DIAMOND DISCS OF TYPES RECOMMEND BY MANUFACTUER TO PRODUCE INTENDED RESULTS:
  1. GENESIS ELECTROPLATED FLEXIBLE DIAMOND DISC
     - a. DD1 = 120 GRIT
     - b. DD2 = 220 GRIT
     - c. DD3 = 400 GRIT

PART 3 EXECUTION

3.1 - EXAMINATION
- A. INSPECT SUBSTRATES AND CONDITIONS AFFECTING WORK OF SECTION. DO NOT PROCEED UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.

3.2 - PREPARATION
- A. MASK AND PROTECT ADJACENT SURFACES NOT SCHEDULED TO RECEIVE PRODUCTS OF SECTION.
- B. SUBSTRATE PREPARATION:
  1. EXISTING SUBSTRATES:
     - a. REMOVE DETERIORATED SUBSTRATES AND PATCH IN ACCEPTABLE MANNER.
     - b. OILY OR GLOSSY SURFACES AND OIL-BASED PAINTS: LIGHTLY SAND PRIOR TO WASHING
     - c. WASH WITH TRISODIUM PHOSPHATE MIXED AT RATE OF INDICATED ON PRODUCT LABEL. RINSE, NEUTRALIZE, AND WIPE DRY.
     - d. SUBSTRATES SHALL BE CLEAN AND FREE OF CONTAMINATION.
  2. NEW SUBSTRATES:
     - a. INTERIOR: 5/8" THICK CEMENTITIOUS BACKER BOARD OVER 1/2" THICK FRT PLYWOOD SHEATHING
     - b. EXTERIOR: 5/8" THICK EXTERIOR RATED CEMENTITIOUS BACKER BOARD OVER 5/8" MINIMUM EXTERIOR RATED FIBERGLASS MAT GYPSUM SHEATHING
- C. LEVELING: REMOVE PROJECTIONS AND FILL DEPRESSIONS, IF REQUIRED, WITH LEVELING COAT.
- D. BROWN COAT: DAMPEN WITH WATER IMMEDIATELY BEFORE APPLYING FINISH.
  1. PLASTER BROWN COAT: APPLY BROWN COAT IN ACCORDANCE WITH ASTM C926 - APPLICATION OF PORTLAND CEMENT-BASED PLASTER AND PORTLAND CEMENT ASSOCIATION'S PORTLAND CEMENT PLASTER MANUAL. PAY PARTICULAR ATTENTION TO MOIST CURING REQUIREMENTS TO MINIMIZE SHRINKAGE CRACKING; CURE AT LEAST SEVEN DAYS (21 DAYS RECOMMENDED) PRIOR TO APPLICATION OF FINISH COATING. FOR ADDITIONAL RESISTANCE TO CRACKING, A FIBER MESH CAN BE IMBEDDED INTO BROWN COAT.
- E. PRIME:
  1. PRIME SUBSTRATES WITH UNEVEN MOISTURE ABSORPTION CHARACTERISTICS TO CREATE UNIFORM SUCTION.
  2. PRIME METAL OR NON-POROUS SUBSTRATES TO IMPROVE SPREADABILITY OF PLASTER.
  3. ALLOW PRIMER TO DRY BEFORE PLASTER APPLICATION.

3.3 - APPLICATION
- A. GENERAL:
  1. COMPLY WITH MANUFACTURER'S INSTALLATION REQUIREMENTS.
  2. APPLY WHEN TEMPERATURE IS BETWEEN 45 TO 95 DEGREES F.
  3. DO NOT BRIDGE EXPANSION OR CONTROL JOINTS.
  4. MIXING: ADD SMALL AMOUNT OF CLEAN, POTABLE WATER AND MIX WITH DRILL MIXER UNTIL HOMOGENEOUS PASTE CONSISTENCY IS REACHED. LET MATERIAL REST FOR TWO TO THREE MINUTES. THEN ADD SUFFICIENT WATER TO YIELD CONSISTENCY SUITABLE FOR APPLICATION AND MIX AGAIN. DO NOT RE-TEMPER OR REMIX
  5. CONTINUOUSLY APPLY EACH LAYER IN ONE GENERAL DIRECTION WITHOUT ALLOWING COATING TO DRY AT EDGES. WORK SHALL BE FREE FROM COLD JOINTS, SCAFFOLD LINES, AND OTHER DEFICIENCIES DETRIMENTAL TO APPEARANCE AND PERFORMANCE. IF FULL WIDTH OF WALL CANNOT BE COVERED AT ONE TIME, TERMINATE APPLICATIONS AT NATURAL DIVISIONS OF SURFACE SUCH AS CONTROL JOINTS OR CORNERS.
- B. TEXTURE:
  1. FOLLOW SPECIFIC MANUFACTURER INSTALLATION TECHNIQUE INSTRUCTIONS TO MATCH THE LULULEMON APPROVED CONTROL SAMPLE.
- C. TOLERANCES: SLIGHT MOTTLING AND VARIATIONS IN COLORS WHICH ARE RANDOM YET CONSISTENT IN OVERALL EFFECT ARE NORMAL AND ACCEPTABLE FEATURES OF FINISH.

3.4 - CURING
- A. NOT MORE THAN 24 HOURS AFTER APPLICATION, MOISTEN PLASTER WITH WATER. USE SPRAY OR HOSE; START AT BOTTOM AND WORK UPWARDS.

3.5 - SEALING
- A. ALLOW 72 HOURS FOR PLASTER SUBSTRATE TO DRY BEFORE APPLYING SEALER.
- B. APPLY ACCORDING TO SEALER MANUFACTURER'S INSTRUCTIONS. PROTECT AGAINST OVERSPRAY.
- C. APPLY TWO COATS. ALLOW FIRST COAT TO DRY BEFORE APPLYING SECOND COAT. PROMPTLY AFTER APPLICATION OF SECOND COAT, WIPE SURFACE TO REMOVE EXCESS SEALER.

3.6 - CLEANING
- A. REMOVE MASKING.
- B. ADJACENT SURFACES: REMOVE PLASTER SPLATTERS USING METHODS WHICH WILL NOT DAMAGE SURFACES.

3.7 - PROTECTION
- A. PROTECT FROM RAIN FOR 48 HOURS AFTER APPLICATION.
- B. PROTECT FINISHES FROM DAMAGE UNTIL FINAL ACCEPTANCE.
- C. REPAIR DAMAGE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND TO SATISFACTION OF OWNER.

END OF SECTION SECTION 092514

SECTION 093100 - TILE WORK

PART 1 - GENERAL

1.1 - SUBMITTALS
- A. SUSTAINABILITY PRODUCT DATA SUBMITTAL FORM: INCLUDE DOCUMENTATION SUPPORTING AT LEAST ONE PREFERRED OR ALTERNATE SUSTAINABLE CRITERIA

1.2 - QUALITY ASSURANCE
- A. ALL INSTALLATION AND PREPARATION MATERIALS INCLUDING BUT NOT LIMITED TO; SETTING BED/ADHESIVE, MOISTURE MITIGATION, CRACK REPAIR, FILLING, AND LEVELING, SHALL BE PROVIDED FROM A SINGLE MANUFACTURER. TO DETERMINE WHICH MANUFACTURER'S PRODUCTS TO USE BEGIN WITH SECTION 2.04 OF THIS SPECIFICATION.
- B. INSTALLER QUALIFICATIONS: TILE FABRICATOR, SPECIALIZING IN INSTALLATION OF TILE, MOSAICS, PAVERS, TRIM UNITS AND THRESHOLDS WITH FIVE (5) YEARS DOCUMENTED EXPERIENCE WITH INSTALLATIONS OF SIMILAR SCOPE, MATERIALS AND DESIGN.
  1. INSTALLER TO HAVE COMPLETED A CERTIFIED TILE INSTALLATION PROGRAM SIMILAR TO TCAA "TROWEL OF EXCELLENCE", TCNA "FIVE STAR" OR OTHER EQUIVALENT RECOGNIZED INSTALLATION PROGRAM.
- C. INSTALLATION SYSTEM MANUFACTURER: COMPANY SPECIALIZING IN ADHESIVES, MORTARS, GROUTS AND/OR OTHER INSTALLATION MATERIALS WITH TEN (10) YEARS MINIMUM EXPERIENCE AND ISO 9001 CERTIFICATION.
  1. ALL SETTING MATERIALS SHALL BE FROM A SINGLE SOURCE AND COMPLY WITH MANUFACTURER WARRANTY REQUIREMENTS.
  2. MANUFACTURER OF SETTING MATERIALS SHALL PROVIDE A 25-YEAR SYSTEMS (LABOR & MATERIALS) WARRANTY. SEE SPECIFIC WARRANTY INFORMATION AS PROVIDED BY MANUFACTURER.

1.3 - SEQUENCING AND SCHEDULING
- A. COORDINATE INSTALLATION OF TILE WORK WITH RELATED WORK.
- B. PROCEED WITH TILE WORK ONLY AFTER CURBS, VENTS, DRAINS, PIPING, AND OTHER PROJECTIONS THROUGH SUBSTRATE HAVE BEEN INSTALLED AND WHEN SUBSTRATE CONSTRUCTION AND FRAMING OF OPENINGS HAVE BEEN COMPLETED.

1.4 - PROJECT CONDITIONS
- A. TEMPERATURE REQUIREMENTS FOR INTERIOR TILE:
  1. DO NOT SET WHEN AIR, AMBIENT, MATERIAL, AND/OR SUBSTRATE TEMPERATURE IS BELOW 45°F OR ABOVE 90°F (4°C - 35°C)
  2. MAINTAIN TEMPERATURE AT 50°F OR ABOVE BUT LESS THAN 90°F (4°C - 35°C) IN INSTALLATION AREAS DURING INSTALLATION AND FOR 7 DAYS AFTER COMPLETION UNLESS HIGHER TEMPERATURES ARE REQUIRED BY FABRICATOR'S OR SUPPLIER'S INSTRUCTIONS.
     - a. PROTECT PORTLAND CEMENT BASED MORTARS AND GROUTS FROM DIRECT SUNLIGHT, RADIANT HEAT, FORCED VENTILATION (HEAT & COLD) AND DRAFTS UNTIL CURED TO PREVENT PREMATURE EVAPORATION OF MOISTURE.
     - b. EPOXY MORTARS AND GROUTS REQUIRE SURFACE TEMPERATURES BETWEEN 60°F AND 90°F (16°C AND 32°C) AT TIME OF INSTALLATION.
  3. PREVENT CARBON DIOXIDE DAMAGE TO TILE, MOSAICS, PAVERS, TRIM, AND THRESHOLDS, AS WELL AS ADHESIVES, MORTARS, GROUTS AND OTHER INSTALLATION MATERIALS, BY VENTING TEMPORARY HEATERS TO THE EXTERIOR.
  4. PROVIDE VENTILATION AND PROTECTION OF ENVIRONMENT AS RECOMMENDED BY MFG.
- B. MOISTURE REQUIREMENTS FOR INTERIOR TILE:
  1. PERFORM THE FOLLOWING TEST TO DETERMINE MOISTURE LEVEL OF SUBSTRATE. THE TEST RESULTS SHALL BE PROVIDED TO THE LULEMON PROJECT MANAGER PRIOR TO SUB FLOOR PREPARATION.
     - a. TEST SLAB FOR RELATIVE HUMIDITY WITH A PROBE TEST COMPLYING WITH ASTM F-2170. IF THE VALUE IS ABOVE 75% THEN MOISTURE MITIGATION IS REQUIRED.

PART 2 - PRODUCTS

2.1 MATERIALS - SEE SHEET A-120 FOR FINISH SCHEDULE
TILES:
- A. SLATE
- B. CERAMIC
- C. GLASS-BONDED CERAMIC
- D. PORCELAIN
- E. QUARRY
- F. CEMENT MORTAR
  - a. 1-DRY-SET MORTAR
  - b. 2-LATEX-PORTLAND CEMENT MORTAR
  - c. 3-THIN-SET MORTAR
- G. TILE ADHESIVE: WATER-BASED, (MAXIMUM 44 GRAMS/LITER)
- H. GROUT: CEMENT-BASED, PETROLEUM- AND PLASTIC-FREE GROUT
- I. SEALANTS
  - a. 1-SINGLE-COMPONENT POLYURETHANE SEALANT
  - b. 2-TWO-COMPONENT POLYURETHANE SEALANT
- J. UNCOUPLING MEMBRANE - SCHLUTER-DITRA OR ALTERNATE: LATICRETE FRACTURE BAN SC

PART 3 - EXECUTION

3.1 - PREPARATION
- A. REMOVE COATINGS, INCLUDING CURING COMPOUNDS AND OTHER SUBSTANCES THAT CONTAIN SOAP, WAX, OIL, OR SILICONE, THAT ARE INCOMPATIBLE WITH TILE-SETTING MATERIALS
- B. FILL CRACKS, HOLES, AND DEPRESSIONS WITH TROWELABLE LEVELING AND PATCHING COMPOUND ACCORDING TO TILE-SETTING MATERIAL MANUFACTURER'S WRITTEN INSTRUCTIONS
- C. REMOVE PROTRUSIONS, BUMPS, AND RIDGES BY SANDING OR GRINDING
- D. BLENDING: FOR TILE EXHIBITING COLOR VARIATIONS, USE FACTORY BLENDED TILE OR BLEND TILES AT PROJECT SITE BEFORE INSTALLING

3.2 - INSTALLATION, GENERAL
- A. ANSI TILE INSTALLATION STANDARDS: COMPLY WITH PARTS OF ANSI A108 SERIES SPECIFICATIONS FOR INSTALLATION OF CERAMIC TILE THAT APPLY TO TYPES OF SETTING AND GROUTING MATERIALS AND TO METHODS INDICATED IN CERAMIC TILE INSTALLATION SCHEDULES
- B. TCA INSTALLATION GUIDELINES: TCA'S ""HANDBOOK FOR CERAMIC TILE INSTALLATION."" COMPLY WITH TCA INSTALLATION METHODS INDICATED IN CERAMIC TILE INSTALLATION SCHEDULES
- C. EXTEND TILE WORK INTO RECESSES AND UNDER OR BEHIND EQUIPMENT AND FIXTURES TO FORM COMPLETE COVERING WITHOUT INTERRUPTIONS, UNLESS OTHERWISE INDICATED. TERMINATE WORK NEATLY AT OBSTRUCTIONS, EDGES, AND CORNERS WITHOUT DISRUPTING PATTERN OR JOINT ALIGNMENTS
- D. ACCURATELY FORM INTERSECTIONS AND RETURNS. PERFORM CUTTING AND DRILLING OF TILE WITHOUT MARRING VISIBLE SURFACES. GRIND CUT EDGES OF TILE ABUTTING TRIM, FINISH, OR BUILT-IN ITEMS. FIT TILE CLOSELY TO ELECTRICAL OUTLETS, PIPING, FIXTURES, AND OTHER PENETRATIONS SO PLATES, COLLARS, OR COVERS OVERLAP TILE
- E. EXPANSION JOINTS: LOCATE EXPANSION JOINTS AND OTHER SEALANT- FILLED JOINTS DURING INSTALLATION OF SETTING MATERIALS, MORTAR BEDS, AND TILE. DO NOT SAW-CUT JOINTS AFTER INSTALLING TILES
- F. MOVEMENT JOINTS: MINIMUM 1/4" GAPS SHALL BE MAINTAINED AT ALL PERIMETER WALLS AND AT ALL COLUMN ENCLOSURES. THIS GAP MUST BE OBSCURED COMPLETELY BY THE WALL BASE MATERIAL.
- G. GROUT TILE TO COMPLY WITH REQUIREMENTS OF ANSI A108.10, UNLESS OTHERWISE INDICATED
- H. FOR INSTALLATIONS INDICATED BELOW, FOLLOW PROCEDURES IN ANSI A108 SERIES TILE INSTALLATION STANDARDS FOR PROVIDING 95 PERCENT MORTAR COVERAGE
- I. INSTALL TILE ON FLOORS WITH 1/4 GROUT JOINT
- J. METAL EDGE STRIPS: INSTALL AT LOCATIONS INDICATED OR WHERE EXPOSED EDGE OF TILE FLOORING MEETS CARPET, WOOD, OR OTHER FLOORING THAT FINISHES FLUSH WITH TOP OF TILE

3.3 FLOOR TILE INSTALLATION SCHEDULE
- A. INTERIOR FLOOR INSTALLATION ON CONCRETE; THIN-SET MORTAR; TCA F113
  1. THIN-SET MORTAR: LATEX- PORTLAND CEMENT MORTAR
  2. UNCOUPLING MEMBRANE: SCHLUTER-DITRA OR ALTERNATE: LATICRETE FRACTURE BAN SC
  3. GROUT: POLYMER-MODIFIED UNSANDED GROUT

3.4 - ADJUSTING AND CLEANING
- A. TILE TO BE REPLACED IF INSTALLED IMPROPERLY AND NOT IN ACCORDANCE WITH THESE SPECIFICATIONS AND MANUFACTURER'S INSTRUCTIONS.
- B. IN-PROGRESS CLEANING: CLEAN TILE AS WORK PROGRESSES. REMOVE MORTAR FINS AND SMEARS PER MANUFACTURER'S RECOMMENDATIONS.
- C. CLEAN TILE AFTER SETTING AND GROUTING ARE COMPLETE PER MANUFACTURER' RECOMMENDATIONS.

3.5 - PROTECTION
1. PROHIBIT TRAFFIC FROM INSTALLED TILE PER THE MFGS INSTRUCTIONS FOR SETTING ADHESIVE

END OF SECTION 093100

SECTION 096429 -WOOD FLOORING [WD-1]

PART 1 - GENERAL

1.1 - SUMMARY
- A. SECTION INCLUDES:
  1. SOLID AND ENGINEERED WOOD PLANK FLOORING
  2. WOOD FLOORING ADHESIVE.
  3. SUPPLEMENTARY COMPONENTS, AND ACCESSORIES NECESSARY FOR A COMPLETE INSTALLATION, WHETHER OR NOT SUCH ITEMS ARE INDICATED ON THE DRAWINGS OR INCLUDED IN THE SPECIFICATIONS

1.2 - SECTION REQUIREMENTS
- A. SUBMITTALS: PRODUCT DATA, SHOP DRAWINGS, SAMPLES, AND MAINTENANCE DATA
- B. SUSTAINABILITY PRODUCT DATA SUBMITTAL FORM: INCLUDE DOCUMENTATION SUPPORTING AT LEAST ONE PREFERRED OR ALTERNATE SUSTAINABLE CRITERIA

PART 2 - PRODUCTS

2.1 - WOOD FLOORING
- A. WOOD FLOORING: AS SCHEDULED ON SHEET A-120
  1. [WD-1] - 1/2 INCH THICK ENGINEERED WOOD PLANKS
     MANUFACTURER: RECLAIMED WOOD DESIGN WORKS, LLC OR APPROVED ALTERNATE
     PRODUCT: ENGINEERED PLANK CIRCULAR SAWN WHITE OAK - SMOOTHED IN FIELD
     THICKNESS: 1/2 INCH
     WIDTH: 6 INCH
     LENGTH: RANDOM LENGTHS NOT LESS THAN 72 INCHES
     FINISH: UV STANDARD PREFINISH

2.2 - ACCESSORIES
- A. TROWELABLE LEVELING AND PATCHING COMPOUNDS: AS SUPPLIED, REQUIRED, RECOMMENDED, OR APPROVED BY THE FABRICATOR FOR THE APPLICATIONS INDICATED
- B. VAPOR RETARDER: ASTM D 4397, POLYETHYLENE SHEET NOT LESS THAN 6.0 MILS THICK, IF REQUIRED, RECOMMENDED, APPROVED, OR ACCEPTED BY THE MANUFACTURER FOR THE INSTALLATION INDICATED
- C. ADHESIVES: WATER-RESISTANT TYPE SUPPLIED, REQUIRED, RECOMMENDED, APPROVED, OR ACCEPTED BY THE MANUFACTURER FOR THE APPLICATIONS INDICATED
- D. OTHER ACCESSORIES: PROVIDE OTHER ACCESSORIES AND SIMILAR SECONDARY ITEMS AS SUPPLIED, REQUIRED, RECOMMENDED, APPROVED, OR ACCEPTED BY THE MANUFACTURER

PART 3 - EXECUTION

3.1 - INSTALLATION
- A. GENERAL
  1. COMPLY WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR INSTALLING WOOD FLOORING AND ACCESSORIES
  2. USE MATERIALS AND METHODS REQUIRED, RECOMMENDED, APPROVED, OR ACCEPTED BY THE MANUFACTURER, ALONG WITH MANUFACTURER-RECOMMENDED ACCESSORIES AND TECHNIQUES
  3. MAINTAIN UNIFORMITY OF FLOORING DIRECTION
- B. SPECIAL TECHNIQUES
  1. PROVIDE EXPANSION SPACE AT WALLS AND OTHER OBSTRUCTIONS AND TERMINATIONS OF FLOORING OF NOT LESS THAN 3/4 INCH
  2. WHERE WOOD FLOORING IS INSTALLED ON CONCRETE SLABS, INSTALL A LAYER OF POLYETHYLENE SHEET ACCORDING TO FLOORING MANUFACTURER'S WRITTEN INSTRUCTIONS
  3. SET WOOD PLANK FLOORING IN A BED OF ADHESIVE
- C. CONFORMANCE: DIRECTION OF FLOORING IN COMPLETED WORK MUST MATCH THE APPROVED SHOP DRAWINGS, AS DETERMINED BY THE ARCHITECT

END OF SECTION 096429

SECTION 099100 - PAINT

PART 1 - GENERAL

1.1 - SUMMARY
- A. SECTION INCLUDES:
  1. INTERIOR PAINTING, INCLUDING SURFACE PREPARATION
  2. EXTERIOR PAINTING, INCLUDING SURFACE PREPARATION

1.2 - SUBMITTALS - SEE ALSO SECTION xxxxx FOR SUBMITTAL REQUIREMENTS
- A. PRODUCT DATA: SUBMIT A COMPLETE LIST OF PAINT MATERIALS PROPOSED FOR USE, TOGETHER WITH MANUFACTURER'S TECHNICAL DATA SHEETS (TDS), INCLUDING PAINT LABEL ANALYSIS, VOC CONTENT, AND SAFETY DATA SHEETS (SDS).
- B. SUBMIT TEST RESULTS CERTIFYING THAT RECYCLED PAINT DOES NOT CONTAIN LEAD
- C. EXTRA PAINT TO REMAIN ON SITE
- D. SUSTAINABILITY PRODUCT DATA SUBMITTAL FORM: INCLUDE DOCUMENTATION SUPPORTING AT LEAST ONE PREFERRED OR ALTERNATE SUSTAINABLE CRITERIA

PART 2 - PRODUCTS

2.1 - MANUFACTURERS
- A. ACCEPTABLE MANUFACTURER: BENJAMIN MOORE & CO.

  OWNER'S NATIONAL ACCOUNT:
  PRODUCT ORDER CODE: NA048
  DIRECT ORDER LINE: 1.877.6.COLOR.6

  26680 GLOUCESTER WAY
  ALDERGROVE, BC. CANADA V4W 3V6

  ARCHITECTURAL REP CANADA: TRISH BECHER
  1 (604) 751-1733
  TRISH.BECHER@BENJAMINMOORE.COM

2.2 - MATERIALS
- A. LATEX PAINTS:
  1. INTERIOR PAINT: (FOR COLORS SEE FINISH SCHEDULE SHEET A-120)
     - a. WALLS AT SALES: BENJAMIN MOORE REGAL® SELECT PREMIUM INTERIOR PAINT & PRIMER EGGSHELL FINISH - 549
     - b. WALL AT FITROOMS / HIGH TOUCH / SALES HALLWAYS: BENJAMIN MOORE ULTRA SPEC® SCUFF-X® EGG SHELL - 485
     - c. WALLS AT BOH/RESTROOMS: BENJAMIN MOORE ULTRA SPEC® SCUFF-X® INTERIOR SATIN FINISH - 486
     - d. DOORS/TRIMS: BENJAMIN MOORE ULTRA SPEC® SCUFF-X® - INTERIOR SATIN FINISH - 486
     - e. CEILINGS: BENJAMIN MOORE WATERBORNE CEILING PAINT FLAT FINISH - 508
     - f. OTHER (REVEALS, WOOD TOUCH-UPS ETC): BENJAMIN MOORE REGAL® SELECT PREMIUM INTERIOR PAINT & PRIMER MATTE FINISH - 549
  2. INTERIOR PRIMERS:
     - a. WALL PRIMER [P-10] AT WALL GRAPHICS [WC-2]: BENJAMIN MOORE REGAL® SELECT PREMIUM INTERIOR PRIMER - SEMI-GLOSS FINISH - F551 - (NO TINT)
     - b. CEILING PRIMER: BENJAMIN MOORE FRESH START® HIGH-HIDING ALL PURPOSE PRIMER 046 WHITE (00)
  3. EXTERIOR PAINT: (FOR COLORS SEE FINISH SCHEDULE SHEET A-120)
     - a. BENJAMIN MOORE REGAL® SELECT EXTERIOR PAINT - HIGH BUILD - FLAT FINISH - N400
     - b. BENJAMIN MOORE REGAL® SELECT EXTERIOR PAINT - HIGH BUILD - LOW LUSTRE FINISH - N401
- B. OTHER PAINTS AND COATINGS:
  1. OIL-BASED PAINT: MAXIMUM 10% AROMATIC HYDROCARBONS CONTENT. FOR INCREASED RESISTANCE TO YELLOWING, SPECIFY HIGH QUALITY, SOY-BASED OIL PAINTS
  2. EPOXY: WATERBORNE EPOXY - EXTREMELY DURABLE, SUITABLE FOR FLOORS
  3. TRANSPARENT FINISHES: PIGMENTS PROVIDE SOME UV PROTECTION
     1. POLYURETHANE, WATER-BASED
     2. PENETRATING OIL: OIL-BASED, WATER-REDUCIBLE EXTERIOR FINISH
     3. NATURAL PLANT-BASED OILS AND WAXES: EXTRACTS FROM PLANTS AND MINIMALLY PROCESSED EARTH MINERALS, SUCH AS CHALK OR IRON OXIDE, FREE FROM PETROLEUM DISTILLATES. SOLVENTS INCLUDE CITRUS OILS AND SMALL AMOUNTS OF LOW- ODOR PETROLEUM SOLVENTS (DE-AROMATIZED ISOPARAFFINICS).
        - a. POLYMERIZED LINSEED OIL: INTERIOR USE
        - b. POLYMERIZED TUNG OIL: INTERIOR USE
  4. PAINT STRIPPERS: SHALL NOT CONTAIN METHYLENE CHLORIDE. AVOID PRODUCTS CONTAINING METHANOL AND TRICHLOROETHANE
  5. PIGMENTS
     - a. CLAY- AND MINERAL-BASED PIGMENTS
       1) NATIVE EARTHS: OCHRE, RAW UMBER, RAW SIENNA
       2) CALCINED EARTHS: BURNT UMBER, BURNT SIENNA
       3) IRON OXIDES: MARS BLACK, MARS YELLOW, MARS VIOLET"
     - b. CONVENTIONAL PIGMENTS: AVOID OR MINIMIZE BY AVOIDING HEAVILY TINTED PAINTS. PIGMENTS USED IN CONVENTIONAL
       1) WHITE: ANTIMONY OXIDE, RUTILE TITANIUM DIOXIDE
       2) YELLOW-ORANGE-RED: CADMIUM, CADMIUM LITHOPONE, CHROME YELLOW, MOLYBDATE ORANGE, STRONTIUM CHROMATE, ZINC CHROMATE"
       3) BLUE: PHTHALOCYANINE BLUE
       4) BIOCIDES: MAXIMUM 0.025% ALLOWED
  6. OPTIONAL UPGRADE WITH LEAD TIME – RAL POWDER COAT PAINT

PART 3 - EXECUTION

3.1 - EXAMINATION AND PREPARATION
- A. EXAMINATION
  1. TEST EXISTING FINISHES FOR LEAD BEFORE SANDING, SCRAPING, OR REMOVING. IF LEAD IS PRESENT, CONFORM TO PROCEDURES APPLICABLE WHEN HAZARDOUS OR CONTAMINATED MATERIALS ARE DISCOVERED
  2. EXAMINE AREAS AND CONDITIONS UNDER WHICH PAINTING WORK IS TO BE APPLIED. START OF PAINTING WORK INDICATES ACCEPTANCE OF SURFACE CONDITIONS WITHIN ANY PARTICULAR AREA.
- B. SCHEDULING: SCHEDULE TO APPLY FIRST COAT TO SURFACES THAT HAVE BEEN CLEANED, PRETREATED, OR PREPARED FOR PAINTING AS SOON AS PRACTICABLE AFTER PREPARATION.
- C. PREPARATION: PERFORM PREPARATION ACCORDING TO MANUFACTURER'S TECHNICAL DATA SHEET AND CAN LABEL.
  - a. REMOVE HARDWARE, ACCESSORIES AND ITEMS IN PLACE AND NOT TO BE PAINTED, OR PROVIDE PROTECTION PRIOR TO SURFACE PREPARATION AND PAINTING, AFTER PAINTING REINSTALL REMOVED ITEMS.
  - b. BARE DRYWALL OR AREAS WHERE PATCHING HAS OCCURRED SHOULD BE DUSTED LIBERALLY TO REMOVE DRYWALL DUST AND CONTAMINANTS BEFORE PAINTING.
  - c. PRIME COATS: FOR UNFINISHED, UNSEALED, POROUS SURFACES, HARD TO COAT SUBSTRATES, SURFACES THAT DISPLAY SIGNS OF 'FLASHING' AND UN-EVEN SHEEN PRIME WITH BENJAMIN MOORE'S 046 FRESH START HIGH HIDING ALL PURPOSE PRIMER. BENJAMIN MOORE REGAL INTERIOR PAINTS DO NOT REQUIRE A PRIMER OVER MOST INTERIOR SURFACES.
  - d. PROTECT WORK OF OTHER TRADES

3.2 - APPLICATION:
- A. APPLY PAINT ACCORDING TO THE PRODUCT TECHNICAL DATA SHEETS. USE APPLICATORS AND TECHNIQUES BEST SUITED FOR SUBSTRATE AND TYPE OF MATERIAL BEING APPLIED.
  1. LOW-BIOCIDE PAINT: REDUCED SHELF LIFE. PRODUCTS SHOULD BE CAREFULLY EVALUATED FOR SPOILAGE BEFORE APPLYING. COMPLY WITH MANUFACTURER'S RECOMMENDATIONS FOR STORAGE AND APPLICATION
  2. NATURAL PLANT- AND MINERAL-BASED FINISHES: PRODUCTS MAY NOT PERFORM OR BEHAVE THE SAME AS CONVENTIONAL PAINTS. COMPLY WITH MANUFACTURER'S RECOMMENDATIONS FOR APPLICATION
  3. MILK-BASED PAINT (CASEIN): AVAILABLE IN POWDERED FORM; ADD WATER AND STIR WELL. TRANSPARENCY IS CONTROLLED BY AMOUNT OF WATER. IN POWDER FORM IT HAS AN INDEFINITE SHELF LIFE. AFTER MIXING, DO NOT KEEP BEYOND RECOMMENDED SHELF LIFE (TO AVOID SPOILAGE).
  4. PAINT STRIPPERS: COMPOUNDS THAT DO NOT CONTAIN METHYLENE CHLORIDE TEND TO BE SLOWER-ACTING THAN CONVENTIONAL PAINT STRIPPERS AND MAY TAKE FROM ONE HOUR TO OVERNIGHT TO WORK. COMPLY WITH MANUFACTURER'S RECOMMENDATIONS FOR APPLICATION
  5. HEAT GUNS: DO NOT USE WITH LEAD-BASED PAINTS
- B. COLOR AND SHEEN AS INDICATED IN FINISH SCHEDULE (SEE SHEET A-120)
- C. FINISH COATS: PROVIDE EVEN TEXTURE; LEAVE NO LAPS, IRREGULARITY IN TEXTURE, SKID MARKS, OR OTHER SURFACE IMPERFECTIONS.
  1. PROVIDE MINIMUM OF TWO COATS. BENJAMIN MOORE REGAL INTERIOR PAINT LINES REQUIRE NO ADDITIONAL PRIMER AS THE PRIMER IS INCLUDED IN THE PAINT (UNLESS OTHERWISE NOTED).
  2. APPLY ADDITIONAL COATS WHEN STAINS OR BLEMISHES SHOW THROUGH FINAL COATS, UNTIL PAINT IS A UNIFORM FINISH, COLOR AND APPEARANCE.
- D. FINISH DOORS ON TOPS, BOTTOMS AND SIDE EDGES SAME AS FACES.
- E. PROTECTION: PROVIDE "WET PAINT" SIGNS TO PROTECT NEWLY PAINTED FINISHES.

3.3 - CLEAN-UP:
- A. DURING PROGRESS OF WORK, REMOVE DISCARDED PAINT MATERIALS, RUBBISH, CANS, AND RAGS FROM SITE AT END OF EACH WORK DAY.
- B. REMOVE TEMPORARY PROTECTIVE WRAPPINGS PROVIDED BY OTHERS FOR PROTECTION OF THEIR WORK AFTER COMPLETION OF PAINTING OPERATIONS.
- C. CLEAN GLASS AND PAINT-SPATTERED SURFACES IMMEDIATELY BY PROPER METHODS OF WASHING AND SCRAPING, USING CARE NOT TO SCRATCH OR DAMAGE FINISHED SURFACES.
- D. CORRECT ANYDAMAGE BY CLEANING, REPAIRING OR REPLACING, AND REPAINTING AS ACCEPTABLE TO OWNER'S PROJECT MANAGER
- E. AT COMPLETION OF WORK OF OTHER TRADES, TOUCH-UP AND RESTORE DAMAGED SURFACES OR DEFACED PAINTED SURFACES.

END OF SECTION 099100

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08/25/2025

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APPENDIX A - RENOVATIONS AND RELOCATIONS

SECTION 001.0.0 - RENOVATIONS AND RELOCATIONS

PART 1 - GENERAL

1.0 - GENERAL

A. SECTION APPLIES ONLY WHEN SPACE IS RENOVATED OR RELOCATED - SEE SHEET A-010 FOR OWNER'S VENDOR DIRECTORY

1.1 - RENOVATIONS

A. TRAFFIC COUNTERS TO BE REMOVED, STORED OFFSITE, AND REINSTALLED (DO NOT DEMOLISH) BY OWNER'S TRAFFIC COUNTER VENDOR WHEN APPLICABLE
B. SENSORMATIC DETACHER AND DEMAGNETIZER: TO BE TRANSFERRED FROM TEMP SPACE AND INSTALLED IN CASH DESK BY OWNER'S LOW VOLTAGE VENDOR
C. MUSIC PLAYER: TO BE TRANSFERRED FROM TEMP SPACE AND INSTALLED IN BACK WRAP BY GC
D. SMALL/LARGE SAFES: TO BE RE-USED AND TRANSFERRED FROM TEMP STORE TO NEW STORE BY GC
E. CAMERAS TO BE REMOVED, STORED OFFSITE AND REINSTALLED BY OWNER'S CCTV VENDOR
F. ALL COMPUTERS, POS TERMINALS, CASH REGISTERS, PRINTERS, VERIFONES TO BE REMOVED, RELOCATED TO TEMP STORE AND REINSTALLED (IF APPLICABLE) IN NEW STORE BY OWNER'S IT VENDOR

1.2 - RELOCATIONS

A. TRAFFIC COUNTERS TO BE NEW, INSTALLED IN NEW STORE BY OWNER'S TRAFFIC COUNTER VENDOR
B. SMALL/LARGE SAFES: TO BE RE-USED AND TRANSFERRED TO NEW STORE BY GC
C. SENSORMATIC DETACHER AND DEMAGNETIZER: TO BE REUSED AND TRANSFERRED TO NEW STORE BY OWNER'S LOW VOLTAGE VENDOR
D. MUSIC PLAYER: TO BE RE-USED AND TRANSFERRED TO NEW STORE BY GC
E. ALL CAMERAS TO BE NEW, INSTALLED IN NEW STORE BY OWNER'S CCTV VENDOR
F. ALL COMPUTERS, POS TERMINALS, CASH REGISTERS, PRINTERS, VERIFONES TO BE REMOVED, AND REINSTALLED (IF APPLICABLE) IN NEW STORE BY OWNER'S IT

APPENDIX B - RFID (RADIO FREQUENCY IDENTIFICATION) SHIELDING

CONDITION 1: NEW WALL CONSTRUCTION
NEW STORES AND RENOVATIONS. IE: NEW WALLS BUILT BY OUR GENERAL CONTRACTOR (GC) PER THE CONSTRUCTION DRAWINGS.

1. RFID REFLECTIVE SHIELDING TO BE INSTALLED BEHIND FINISHED GYPSUM WALL BOARD (GWB) ON ALL STOCKROOM PARTITIONS CONTIGUOUS WITH THE SALES FLOOR. SEE PRODUCT SPECIFICATION BELOW.
2. RFID REFLECTIVE SHIELDING TO BE INSTALLED FULL HEIGHT AND WIDTH OF ENTIRE PARTITION ENSURING MINIMUM 2" OVERLAP OF SEAMS.
3. RFID REFLECTIVE SHIELDING TO BE INSTALLED ON THE SALES FLOOR SIDE OF THE METAL STUD CONSTRUCTION.
4. RFID REFLECTIVE SHIELDING TO RETURN 8" ON STOCKROOM SIDE WITHIN WALL CAVITY AT DOOR JAMBS AND HEADERS. REFER TO JAMB & HEADER DETAILS ON DOOR SCHEDULE A180.
5. ALL PENETRATIONS INCLUDING BUT NOT LIMITED TO OUTLETS, CONDUIT, PIPING AND DUCTWORK SHALL BE SEALED WITH SPECIFIED RFID SHIELDING TAPE. SEE PRODUCT SPECIFICATION BELOW.
6. GENERAL CONTRACTOR TO PHOTO DOCUMENT THE COMPLETE INSTALLATION PRIOR TO GWB INSTALLATION AND INCLUDE IN A WEEKLY CONSTRUCTION PROGRESS REPORT.

RFID REFLECTIVE SHIELDING-CONDITION 1:
MANUFACTURER: **TEMPSHIELD**
PRODUCT: **SINGLE BUBBLE/WHITE FOIL REFLECTIVE INSULATION**
LINK: HTTP://WWW.RADIANTBARRIER.COM/PRODUCTS/TEMPSHIELD-SINGLE-BUBBLE-WHITE-FOIL/

RFID SHIELDING TAPE:
MANUFACTURER: **AVERY DENNISON**
PRODUCT: **SHIELDSENSE FT 0815/ALUMINUM FOIL TAPE**
4" WIDE ROLL FOR SEALING PENETRATIONS AT OUTLETS, CONDUIT, PIPING AND DUCTWORK.
27" WIDE X 187 FT ROLL FOR WALL SURFACE APPLICATION.
LINK:
HTTPS://WWW.AVERYDENNISON.COM/CONTENT/DAM/AVERYDENNISON/PT/NA/EN/LITERATURE/PRODUCT%20INFORMATION/FT%200815/FT-0815-TDS-ADPT.PDF

CONDITION 2: EXISTING WALL CONSTRUCTION
NEW STORES AND RENOVATIONS. IE: EXISTING WALLS BUILT BY LANDLORD SCHEDULED TO REMAIN PART OF NEW DESIGN. EXISTING LANDLORD DEMISING WALLS THAT DIVIDE OWNER'S STOCKROOM FROM ADJACENT TENANTS OR OWNER'S SALES FLOOR. THERE HAVE BEEN INSTANCES WHERE OUR RFID READERS ARE PICKING UP PRODUCT FROM ADJACENT TENANTS.

1. RFID REFLECTIVE SHIELDING TO BE INSTALLED OVER EXISTING GYPSUM WALL BOARD (GWB) ON ALL STOCKROOM PARTITIONS CONTIGUOUS WITH THE SALES FLOOR AND ADJACENT TENANTS PRIOR TO FRP PANEL INSTALLATION IF APPLICABLE. SEE PRODUCT SPECIFICATION BELOW.
2. RFID REFLECTIVE SHIELDING TO BE INSTALLED FULL HEIGHT AND WIDTH OF ENTIRE PARTITION ENSURING MINIMUM 2" OVERLAP OF SEAMS. WHERE VISIBLE, PAINTING OVER THIS PRODUCT NOT REQUIRED.
3. RFID REFLECTIVE SHIELDING TO BE INSTALLED ON THE STOCKROOM SIDE OF THE EXISTING WALL
4. ALL PENETRATIONS INCLUDING BUT NOT LIMITED TO OUTLETS, CONDUIT, PIPING AND DUCTWORK SHALL BE SEALED WITH SPECIFIED RFID SHIELDING TAPE. SEE PRODUCT SPECIFICATION BELOW.

RFID REFLECTIVE SHIELDING-CONDITION 2:
MANUFACTURER: **AVERY DENNISON**
PRODUCT: **SHIELDSENSE FT 0815/ALUMINUM FOIL ROLL & TAPE**
ROLL: **27" WIDE X 187 FT ROLL** FOR WALL SURFACE APPLICATION.
TAPE: **4" WIDE ROLL** FOR SEALING PENETRATIONS AT OUTLETS, CONDUIT, PIPING AND DUCTWORK.
LINK:
HTTPS://WWW.AVERYDENNISON.COM/CONTENT/DAM/AVERYDENNISON/PT/NA/EN/LITERATURE/PRODUCT%20INFORMATION/FT%200815/FT-0815-TDS-ADPT.PDF

CONDITION 3: EXISTING CEILING CONSTRUCTION
NEW STORES AND RENOVATIONS. IE: MULTI-LEVEL STORE WHERE OWNER'S STOCKROOM IS LOCATED IN THE BASEMENT OR OTHER LEVEL.

1. RFID REFLECTIVE SHIELDING TO BE INSTALLED TO UNDERSIDE OF ENTIRE STOCKROOM CEILING/DECK CONTIGUOUS WITH THE SALES FLOOR ABOVE. SEE PRODUCT SPECIFICATION BELOW.
2. RFID REFLECTIVE SHIELDING TO BE INSTALLED FULL COVERAGE OF ENTIRE CEILING ENSURING MINIMUM 2" OVERLAP OF SEAMS.
3. ALL PENETRATIONS INCLUDING BUT NOT LIMITED TO RECESSED LIGHT FIXTURES, J-BOXES, CONDUIT, PIPING AND DUCTWORK SHALL BE SEALED WITH SPECIFIED RFID SHIELDING TAPE. SEE PRODUCT SPECIFICATION BELOW.

RFID REFLECTIVE SHIELDING FOR GYPSUM WALL BOARD (GWB) CEILINGS:
MANUFACTURER: **AVERY DENNISON**
PRODUCT: **SHIELDSENSE FT 0815/ALUMINUM FOIL ROLL & TAPE**
ROLL: **27" WIDE X 187 FT ROLL** FOR CEILING SURFACE APPLICATION.
TAPE: **4" WIDE ROLL** FOR SEALING PENETRATIONS AT RECESSED LIGHT FIXTURES, J-BOXES, CONDUIT, PIPING AND DUCTWORK.
LINK:
HTTPS://WWW.AVERYDENNISON.COM/CONTENT/DAM/AVERYDENNISON/PT/NA/EN/LITERATURE/PRODUCT%20INFORMATION/FT%200815/FT-0815-TDS-ADPT.PDF

RFID REFLECTIVE SHIELDING FOR OPEN WOOD JOIST CEILINGS:
MANUFACTURER: **TEMPSHIELD**
PRODUCT: **SINGLE BUBBLE/WHITE FOIL REFLECTIVE INSULATION**
LINK: HTTP://WWW.RADIANTBARRIER.COM/PRODUCTS/TEMPSHIELD-SINGLE-BUBBLE-WHITE-FOIL/
NOTE: PRODUCT STAPLED DIRECTLY TO UNDERSIDE OF WOOD CEILING JOISTS. NO PAINTING REQUIRED.

RFID REFLECTIVE SHIELDING FOR OPEN DECK CEILINGS WITH UNEVEN SURFACES WITHOUT SPRAYED ON FIREPROOFING:
MANUFACTURER: **Y-SHIELD**
PRODUCT: **HSF54 – RFID SHIELDING PAINT**
LINK: HTTPS://WWW.YSHIELD.COM/EN/YSHIELD-SHIELDING-PAINT-HSF54-HF-NF-S-LITER_150_1081/
NOTE: ONE COAT PROVIDES ATTENUATION OF 36DB (EFFECTIVENESS OF 99.98%)
NOTE: IF OPEN DECK CEILING HAS **SPRAYED ON FIREPROOFING**, THEN THE PAINT PRODUCT CAN BE APPLIED TO THE FLOOR ABOVE PRIOR TO INSTALLATION OF ANY FLOATED FLOOR MATERIAL. REFER TO MANUFACTURERS INSTRUCTIONS.
NOTE: FOR ELECTRICAL SAFETY, PAINT MUST BE GROUNDED WITH GROUNDING STRAP SOLD SEPARATELY.

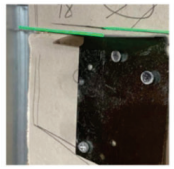
APPENDIX C - JONES SIGN STOREFRONT PANEL PRE-INSTALL CHECKLIST

SURVEY TIMING REQUIREMENTS AND EXPECTATIONS:
ALL DIMENSIONS AND PHOTOS BELOW ARE ESTABLISHED, REVIEWED AND CONFIRMED AT THE TIMING OF EACH SURVEY

1. POST DEMO
- FLOORS MARKED WITH THE PORTAL AND PANEL DIMENSIONS
- BENCHMARK ESTABLISHED
- MEET SITE ELECTRICIAN AND REVIEW ELECTRICAL PLANS

2. POST WALL CONSTRUCTION
- CONFIRM PLUMB WALLS
- CONFIRM FINAL WALL DIMENSIONS
- CONFIRM ELECTRICAL IS READY FOR INSTALLATION

ESTABLISH A BENCHMARK:
- THE GC IS TO ESTABLISH A BENCHMARK AND COMMUNICATE IT TO THE SIGN INSTALLER/JONES SIGN. THIS NEEDS TO BE PHYSICALLY LOCATED AND MARKED AT THE SITE.
- THE BENCHMARK WILL BE SPECIFIC TO THE SITE CONDITIONS, DIMENSIONS OF THE WALL AND LAYOUT OF THE PANELS
- EXAMPLE: 48" BENCHMARK ESTABLISHED IN WEST FARMS CT. FLOORS ARE NOT LEVEL.



PORTAL LAYOUT / FLOOR MARKING ESTABLISHED:
- FLOORS ARE MARKED BY THE GC WITH THE PLANNED PORTAL OPENING INCLUDING TRIM LOCATION AND STOREFRONT PANEL END POINTS.

CEILING HEIGHT CONFIRMATION:
THE GC NEEDS TO CONFIRM THE CEILING HEIGHTS, MEASURING FROM THE ESTABLISHED BENCHMARK. THIS ALSO NEEDS TO BE CONFIRMED WITH THE CUSTOMER PLANS THAT IT MATCHES.

WALL PLUMBNESS CONFIRMATION:
- THE GC NEEDS TO CONFIRM THE WALL IS BUILT PLUMB, BASED ON THE REQUIRED ARCHITECTURAL PLANS PROVIDED BY THE CUSTOMER.
- AT THE POST WALL CONSTRUCTION SURVEY, THE SIGN INSTALLER/JONES SIGN WILL CONFIRM PLUMBNESS WITH A LEVEL AND PROVIDE PHOTOS TO THE CUSTOMER AND GC TEAM FOR RECORD.

PLANNED POWER LOCATIONS:
JONES SIGN WILL PROVIDE POWER LOCATIONS AT THE TIME OF DD SET, CD SET AND ALL CONSECUTIVE DRAWING SETS FOR THE PROJECT. THIS INCLUDES A REVIEW OF THE ELECTRICAL PLANS IF AND WHEN THEY ARE AVAILABLE.
- THE GC WILL CONFIRM AGAINST THESE PLANS THAT THERE ARE ENOUGH CIRCUITS AND ACCESS PANELS FOR THE STOREFRONT PANEL INSTALLATION TO BE SUCCESSFUL.
- THE ACCESS POINTS AND PANELS NEED TO DISTRIBUTED THROUGHOUT THE STOREFRONT PANEL SYSTEM FOR EASE OF INSTALLATION AND ELECTRICAL TROUBLESHOOTING.
IF THE ACCESS AND CIRCUITS ARE SET BACK MORE THAN 6 FT. FROM THE EXTERIOR PLANNED WALL, WE MY NEED TO PREWIRE TO ENSURE WE ARE NOT WALKING ACROSS NON-STRUCTURAL CEILINGS TO ACCESS THE BACK OF THE WALL TO PULL WIRES.

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