

PROJECT:
Center #: 6685 - Lees Summit, MO
833 SW Lemans Ln, Lees Summit, MO 64082

OWNER:
The UPS Store, Inc.



319 N. Fourth Street, Suite 1000
St. Louis, MO 63102
P 314-231-5700
F 314-231-0816

PROJECT DIRECTORY

Franchisee: Pugh, Mary & Melissa
P: 816.875.4070
store6685@theupsstore.com

General Contractor: To Be Selected

Municipality: City of Lee's Summit
P: 816. 969.1200

DISCLAIMER

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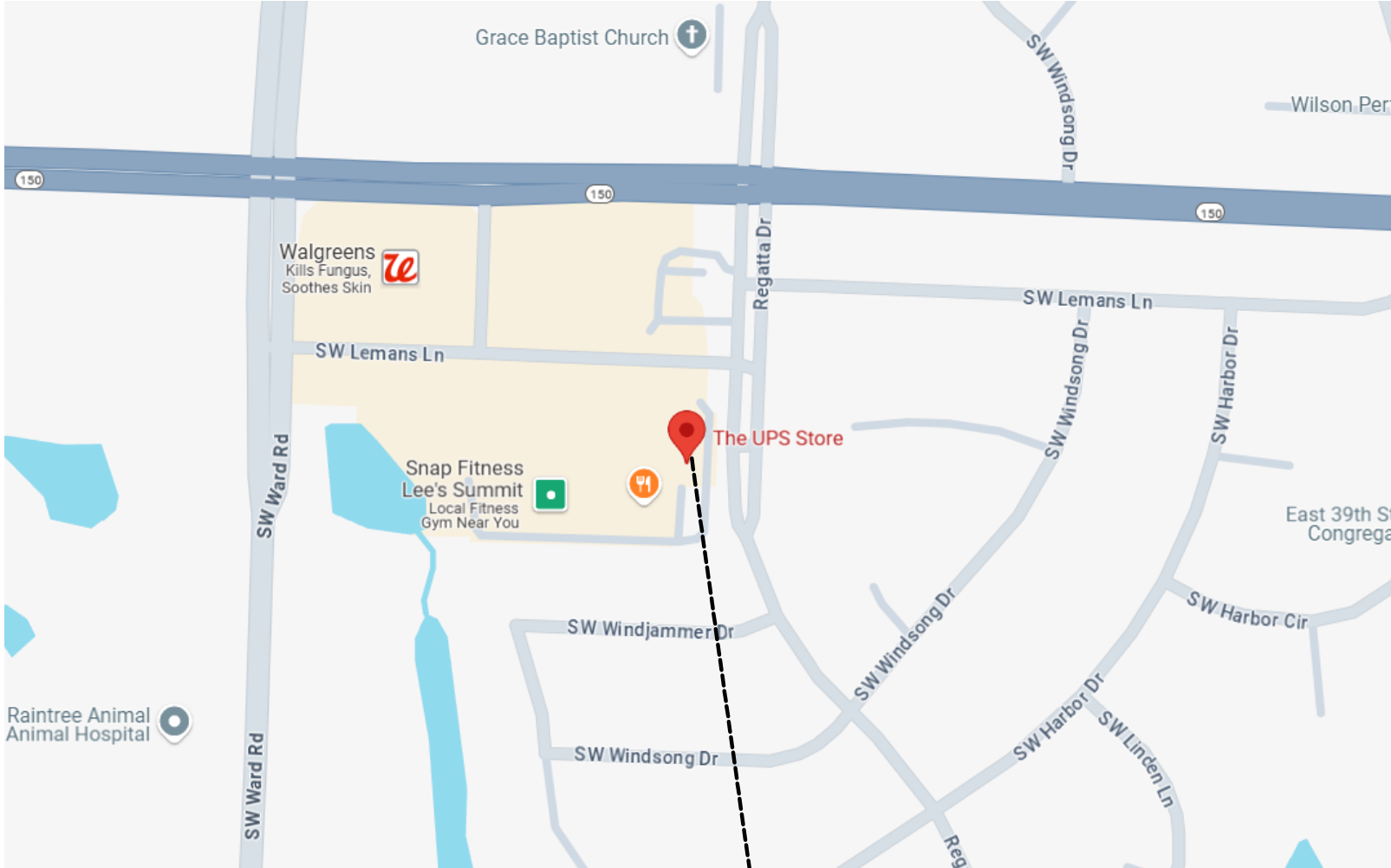
PLAN NORTH VS TRUE NORTH

PLAN NORTH IS BASED ON THE PREDOMINANT AXIS OF THE BUILDING GEOMETRY. FOR THIS PROJECT, PLAN NORTH POINTS TOWARDS THE TOP OF THE DRAWING AREA. ALL VIEWS IN THIS DRAWING SET USE PLAN NORTH AS IT'S ORIENTATION. TRUE NORTH IS THE REAL-WORLD NORTH DIRECTION BASED ON SITE CONDITIONS. TRUE NORTH INFORMATION IS NOT USED OR PROVIDED FOR THESE DOCUMENTS.

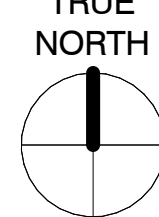
NOTE TO CONTRACTOR

IT IS THE CONTRACTOR'S RESPONSIBILITY TO THOROUGHLY REVIEW THE OWNER'S DESIGN INTENT DRAWINGS & NOTIFY THE ARCHITECT IMMEDIATELY WITH ANY MAJOR DISCREPENCIES. THE ARCHITECT SHALL IN NO WAY BE HELD RESPONSIBLE FOR ANY DIFFERENCES BETWEEN THE DESIGN INTENT AND ARCHITECT PROVIDED DRAWINGS.

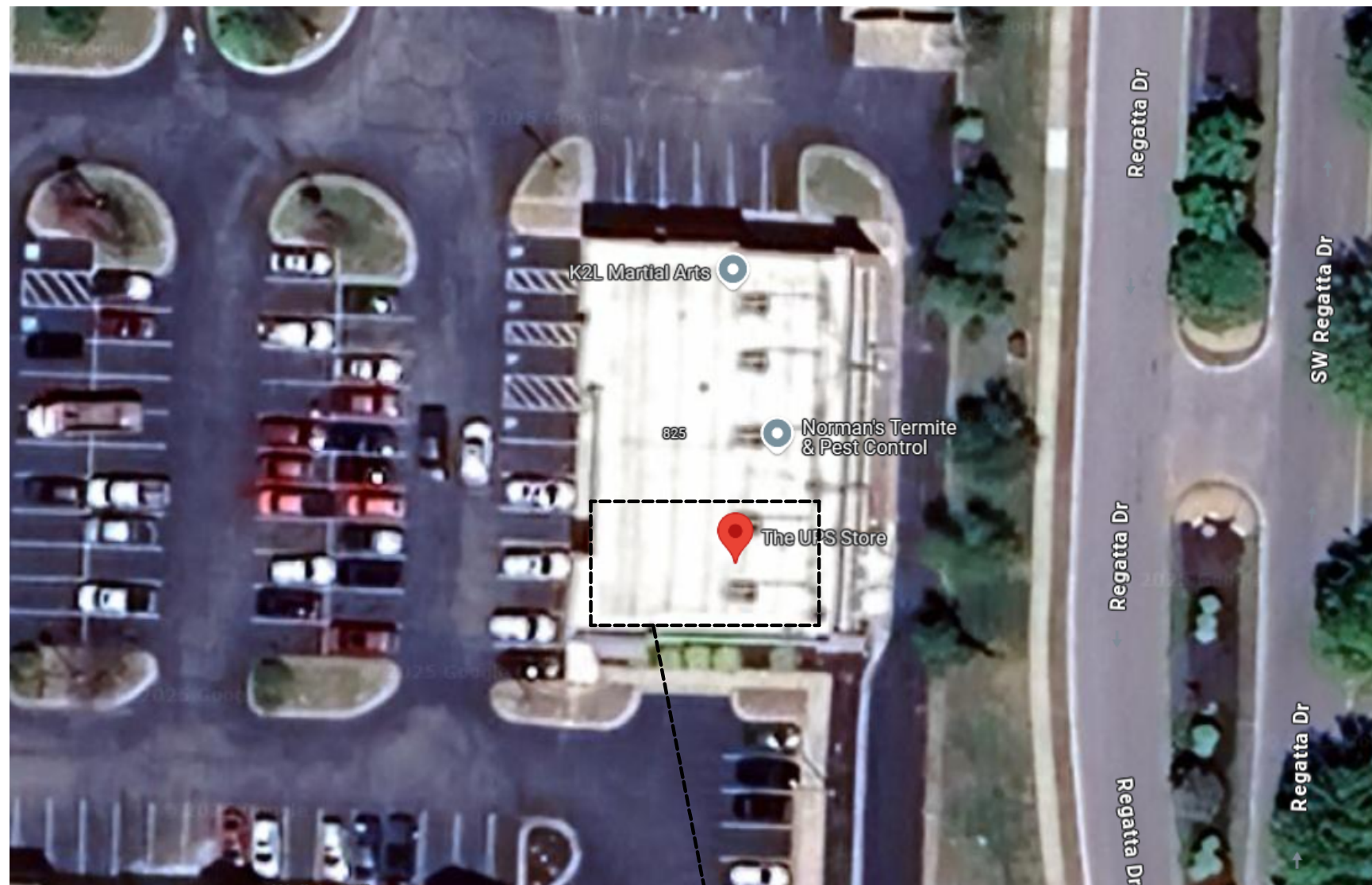
PROJECT LOCATION



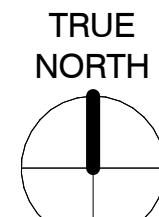
PROJECT LOCATION
833 SW LEMANS LN,
LEES SUMMIT, MO 64082



SITE PLAN



PROJECT LOCATION:
UPS STORE
(B) - BUSINESS
PROFESSIONAL SERVICES



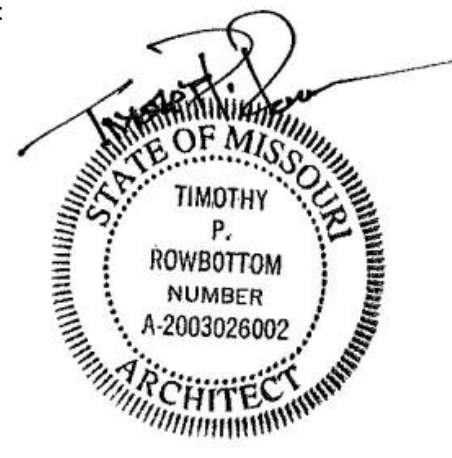
LIST OF DRAWINGS

Sheet Number	Sheet Name
A0	Cover Sheet
A1	Demolition Floor Plan
A2	Construction & Modular Fixture Plan
A3	Reflected Ceiling Plan
A4	Electrical Plan
A5	Finish Plan
A6	Fixture Plan
A7	Graphics Plan & Elevations
A7.1	Graphic & Sign Install Instructions
A8	Interior Elevations
A9	Details
A10	Details

GENERAL NOTES

- 1 GENERAL CONTRACTOR IS RESPONSIBLE TO VISIT THE SITE PRIOR TO BID DATE TO FAMILIARIZE THEMSELVES WITH THE ACTUAL JOB CONDITIONS AND TO CHECK FOR ANY INTERFERENCES BETWEEN THEIR WORK AND THAT OF TRADES. IF ACCESS IS DENIED, CONTACT TUPSS DESIGN COORDINATOR IMMEDIATELY. FAILURE TO CONTACT THE TUPSS DESIGN COORDINATOR WILL RESULT IN THE CONTRACTOR TO ABSORB ANY ADDITIONAL COSTS DUE TO HIDDEN CONDITIONS.
- 2 THE GENERAL CONTRACTOR SHALL CHECK FOR APPARENT VIOLATIONS OF LOCAL, STATE OR FEDERAL CODES, LAWS, ORDINANCES AND REGULATIONS BEFORE ENTERING INTO A CONTRACT WITH EITHER THE TENANT GENERAL CONTRACTOR AND/OR TENANT. IF ANY INTERFERENCES OR VIOLATIONS APPEAR AND DEPARTURE FROM THE DESIGN INTENT DOCUMENTS IS REQUIRED, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF RECORD, TENANT'S PROJECT MANAGER AND TENANT IN WRITING. BEFORE ENTERING INTO CONTRACT WITH THE TENANT. FAILURE TO PROVIDE ARCHITECT AND TENANT WITH THE AFOREMENTIONED NOTIFICATION SHALL RESULT IN THE SPECIFIC CONTRACTOR BEING HELD RESPONSIBLE TO COMPLETE ALL WORK REQUIRED TO MEET THE ORIGINAL DESIGN INTENT DRAWINGS AT HIS/HER OWN COSTS WITH NO ADDITIONAL EXPENSES (EXTRAS) BEING INCURRED BY TENANT.
- 3 GENERAL CONTRACTOR TO COORDINATE ALL PHASES OF CONSTRUCTION WITH THE TUPSS DESIGN COORDINATOR AND SUBMIT SCHEDULE TO TUPSS DESIGN COORDINATOR AND THE UPS STORE BASE DAILY WITH STORE TEAM AT OPENING AND CLOSING TO COORDINATE PHASING/SCOPE OF WORK/REQUIRED STORE PREP FOR THE FOLLOWING DAY.
- 4 GENERAL CONTRACTOR TO ENCLOSE ALL EXPOSED BUILDING COLUMNS AND DEMISING WALL WITHIN LEASED SPACE. FIRE RATED ENCLOSURE TO MEET LOCAL AND STATE CODES AND LANDLORD REQUIREMENTS.
- 5 GENERAL CONTRACTOR TO IMMEDIATELY NOTIFY TUPSS DESIGN COORDINATOR OF ANY DISCREPANCIES, ERRORS OR OMISSIONS DISCOVERED IN THE DESIGN INTENT DRAWINGS ACTUAL WIDTHS, LENGTHS, AVAILABLE CEILING HEIGHTS, COLUMN LOCATIONS, STOREFRONT CONDITIONS, UTILITY LOCATIONS, ETC. BEFORE PROCEEDING WITH RELATED WORK; OTHERWISE, THE CORRECTION OF SUCH ITEMS IS THE RESPONSIBILITY OF THE CONTRACTOR.
- 6 ALL CONSTRUCTION, INCLUDING TRIM, MUST BE WITHIN LEASE LINES (WHERE APPLICABLE). USE OF ANY AREA OUTSIDE OF LEASE LINES FOR STORAGE OF MATERIALS, TOOLS, FIXTURES, ETC., IS PROHIBITED.
- 7 GENERAL CONTRACTOR TO REMOVE ALL CONSTRUCTION DEBRIS FROM JOB SITE AS DIRECTED BY LANDLORD. ALL CONSTRUCTION DEBRIS SHALL BE CONTAINED WITHIN LEASE SPACE AT ALL TIMES.
- 8 ALL WOOD FRAMING, BLOCKING AND PLYWOOD TO BE FIRE RETARDANT AND PRESSURE TREATED MILL STAMP. USE SELECT GRADE LUMBER AT ALL EXPOSED AREAS. ALL FIRE RETARDANT WOOD FRAMING, BLOCKING, FURRING STRIPS AND PLYWOOD SHALL REMAIN UNPAINTED FOR VISUAL INSPECTION.
- 9 ALL DIMENSIONS ARE TO FINISH FACE OF GYPSUM WALL BOARD OR TO FINISH FACE OF EXISTING CONSTRUCTION UNLESS NOTED OTHERWISE.
- 10 ALL ANGLES 90 DEGREES UNLESS NOTED OTHERWISE.
- 11 GENERAL CONTRACTOR IS RESPONSIBLE TO HAVE ENTIRE STORE THOROUGHLY CLEAN AND DUST FREE AT THE TIME OF TURN OVER.
- 12 TENANT'S GENERAL CONTRACTOR TO ASSEMBLE ALL MISCELLANEOUS FLOOR DISPLAYS, RACKS, BRACKETS, HANG RODS, ETC., INCLUDING, BUT NOT LIMITED TO, ROUNDER RACKS, 2 WAY RACKS, 4 WAY RACKS. DISPLAY MERCHANDISE TABLES, NON-SALES AREA- TENANT'S GENERAL CONTRACTOR TO ASSEMBLE ALL MISCELLANEOUS NON-SALES OFFICE EQUIPMENT, SHELVES, RACKS, BRACKETS, HANG RODS, ETC. TENANT'S GENERAL CONTRACTOR MUST FILE BURRS SMOOTH BEFORE INSTALLING SNAP-IN END CAPS ANYTIME HANG ROD IS CUT TO LENGTH.
- 13 GENERAL CONTRACTOR AND SUB-CONTRACTORS MUST FAMILIARIZE THEMSELVES WITH THE UPS STORE TENANT CRITERIA MANUAL. THE UPS STORE CONSTRUCTION REGULATIONS AND LOCAL CODE REQUIREMENTS FOR ANY ADDITIONAL INFORMATION NOT SPECIFICALLY INCLUDED IN THESE DOCUMENTS.
- 14 THE SPRINKLER SYSTEM SHALL BE FULLY CHARGED AND OPERATIONAL WHEN THE CONTRACTOR IS OFF-SITE.
- 15 MATERIALS, EQUIPMENT, AND ASSEMBLIES SHOWN OR SPECIFIED ARE MINIMUM REQUIREMENTS OR PERFORMANCE STANDARDS, LOCAL JURISDICTIONS MAY REQUIRE PERFORMANCE STANDARDS BEYOND THOSE SHOWN OR SPECIFIED. FURTHERMORE, LOCAL JURISDICTIONS MAY PREVENT THE USE OF COMMONLY ACCEPTED MATERIALS. CONTRACTOR SHALL FAMILIARIZE HIMSELF/HERSELF WITH ALL LOCAL REQUIREMENTS FOR LICENSING, MATERIALS, AND PERFORMANCE STANDARDS PRIOR TO SUBMITTING BID. ALL CONFLICTS BETWEEN THE DESIGN INTENT DRAWINGS AND LOCAL REQUIREMENTS SHALL BE BROUGHT TO THE OWNER'S ATTENTION AND RESOLVED, BY MUTUAL AGREEMENT, PRIOR TO SUBMISSION OF BID OR HIGHEST PRICED WORK. LOCAL REQUIREMENTS VERSUS SPECIFIED REQUIREMENTS SHALL BE INCLUDED IN THE BID.
- 16 THIS DESIGN CRITERIA IS PROVIDED FOR BUILDING OFFICIAL REVIEW CONVENIENCE ONLY IS NOT INTENDED FOR USE BY COMPONENT DESIGNERS OR MANUFACTURERS AS THEIR SOLE DESIGN CRITERIA WITHOUT VERIFICATION. EACH DESIGNER AND/OR MANUFACTURER MUST INDEPENDENTLY CONFIRM ALL CODE CRITERIA WITH WHICH THEIR ELEMENTS OR COMPONENTS MUST COMPLY INCLUDING BUT NOT LIMITED TO LOADING, APPLICATION, FUNCTIONALITY, ETC. PERFORMANCE CRITERIA PROVIDED ELSEWHERE BY A SPECIFIC DISCIPLINE SHOULD BE REGARDED AS THE MINIMUM STANDARDS ACCEPTABLE TO THE CLIENT. EACH SUPPLIER MUST EVALUATE THESE MINIMUMS AGAINST SPECIFIC INDUSTRY STANDARDS AS WELL AS CODES, LAWS, ORDINANCES AND UNDERWRITER REQUIREMENTS GOVERNING HIS PRODUCT AS WELL AS OWNER INSURER REQUIREMENTS, AS APPLICABLE. THE MOST STRINGENT OF THESE CRITERIA SHALL GOVERN.
- 17 LEAVE ALL APPROPRIATE DOCUMENTATION INDEXED IN A BINDER.
- 18 LEAVE AS-BUILT SET OF PLANS WITH THE LANDLORDS TENANT COORDINATOR.
- 19 TURN OVER ALL KEYS TO FRANCHISEE OWNER MARKING EACH KEY FOR IDENTIFICATION.
- 20 CONTRACTOR TO PROVIDE CIRCUIT DIRECTORY ON ELECTRICAL PANELS, TYP.
- 21 GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. IF ANY DIMENSIONS FROM THE PLAN ARE CONTRADICTORY TO FIELD CONDITIONS, CONTACT TUPSS DESIGN COORDINATOR IMMEDIATELY. FAILURE TO CONTACT TUPSS DESIGN COORDINATOR WILL RESULT IN THE GENERAL CONTRACTOR ABSORBING ANY ADDITIONAL COSTS.

PROFESSIONAL SEAL:



07/21/2025

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CODE SUMMARY

APPLICABLE CODES:

- 2018 INTERNATIONAL BUILDING CODE
- 2017 NATIONAL ELECTRIC CODE
- 2018 INTERNATIONAL FIRE CODE
- 2018 INTERNATIONAL MECHANICAL CODE
- 2018 INTERNATIONAL PLUMBING CODE
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE

PROJECT AREA:

PARTIAL 1ST FLOOR: 1461 SF

OCCUPANCY:

PARTIAL 1ST FLOOR OF EXISTING 1-STORY BUILDING
PROPOSED: (B) BUSINESS (PROFESSIONAL SERVICES)

CALCULATED OCCUPANT LOAD:

PARTIAL 1ST FLOOR
TOTAL LOAD = 10 OCCUPANTS (150 SF/OCC)

CONSTRUCTION TYPE:

TYPE IIB, UNCOMBUSTIBLE, UNPROTECTED

FIRE PROTECTION:

SPRINKLER SYSTEM: YES

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No.	Description	Date

Sheet Title:

Cover Sheet

Project Number:
2025901.309

Issue Date:
07/21/2025

Sheet Number:

A0

Date: 07/21/2025

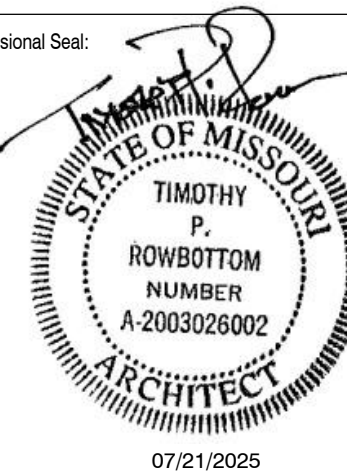
Project Name: Center #: 6685 - Lees Summit, MO

Client Name: The UPS Store, Inc.

Project Number: 2025901.309

Project Team:
Franchisee: Pugh, Mary & Melissa
P: 816.875.4070
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Professional Seal



Project Title

COMMERCIAL TENANT IMPROVEMENT FOR:

THE UPS STORE, INC.

Center #: 6685 - Lees Summit, MO
833 SW Lemans Ln. Lees Summit, MO 64082

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Sheet Title

Demolition Floor Plan

Project Number:
2025901.305

Sheet Number

Drawn By

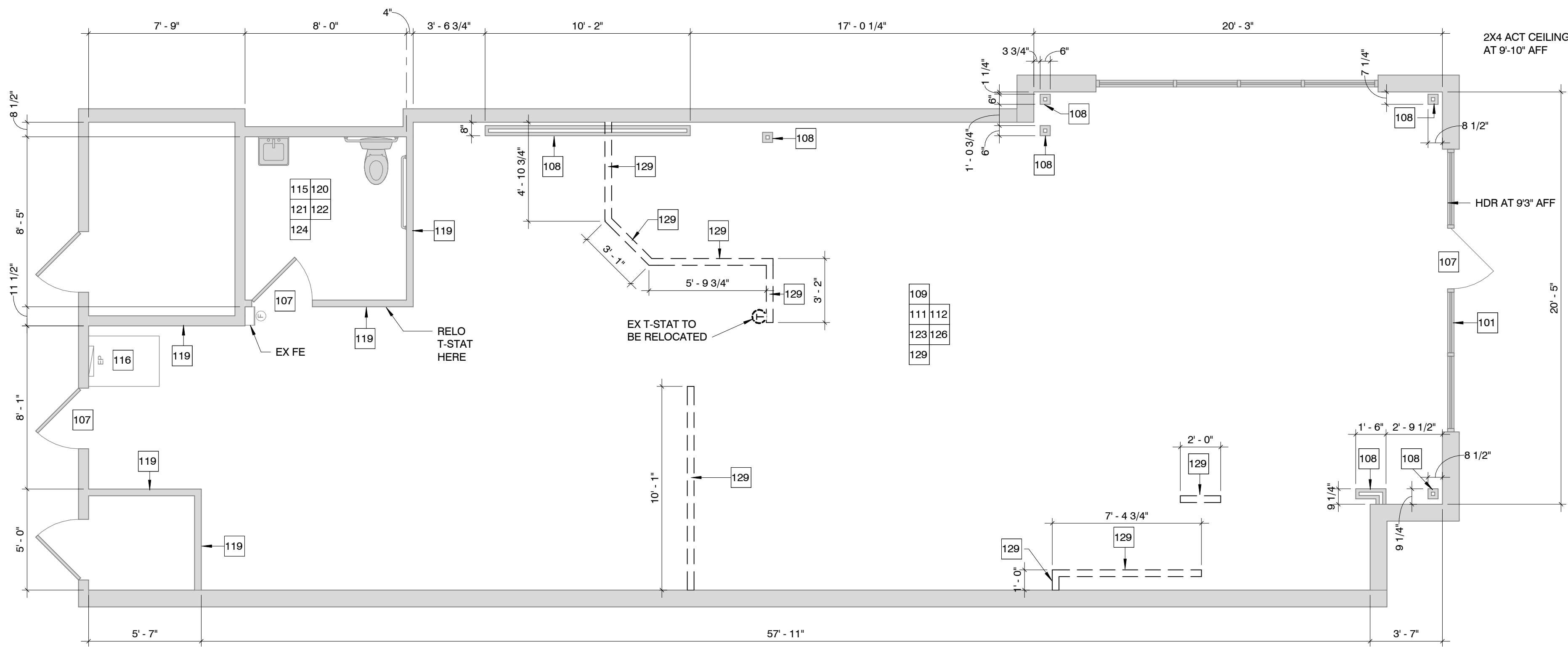
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Issue Date

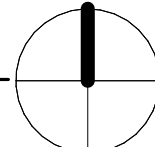
07/21/2025

A1

DEMOLITION KEYED NOTES	
Key Value	Keynote Text
101	EXISTING STOREFRONT SYSTEM AND GLAZING TO REMAIN.
107	EXISTING DOOR TO REMAIN. INSPECT FOR ANY DAMAGES, IF DAMAGED BRING TO OWNERS ATTENTION.
108	EXISTING STRUCTURE COLUMNS TO REMAIN.
109	EXISTING FLOORING AND WALL BASE TO BE REMOVED.
111	EXISTING RTU TO REMAIN.
112	EXISTING LIGHTING, DUCTS, AND DIFFUSERS TO BE RELOCATED/MODIFIED AS NEEDED TO ACCOMMODATE NEW FIXTURE LAYOUT. COORDINATE ALL WORK WITH CONSTRUCTION COORDINATOR.
115	EXISTING RESTROOM WATER AND SEWER LINES TO REMAIN.
116	EXISTING ELECTRICAL PANEL TO REMAIN.
119	EXISTING WALL TO REMAIN.
120	EXISTING RESTROOM FIXTURES TO REMAIN.
121	EXISTING FLOOR DRAIN TO REMAIN.
122	EXISTING EXHAUST FAN TO REMAIN.
123	EXISTING SPRINKLER HEADS TO BE RELOCATED/MODIFIED AS NEEDED. COORDINATE ALL WORK WITH CONSTRUCTION COORDINATOR.
124	EXISTING RESTROOM CEILING MOUNTED LIGHT FIXTURE TO REMAIN.
126	REMOVE EXISTING SECURITY GATE AND HEADER.
129	REMOVE EXISTING MODULAR WALLS AND FASCIA COMPONENTS THROUGHTOUT.



PLAN
NORTH

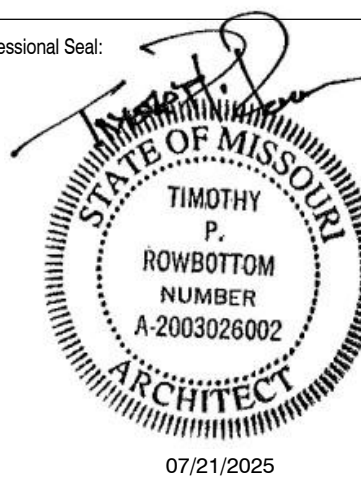


1 | Demolition Floor Plan

A1	$1/4'' = 1'-0''$
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Project Team:
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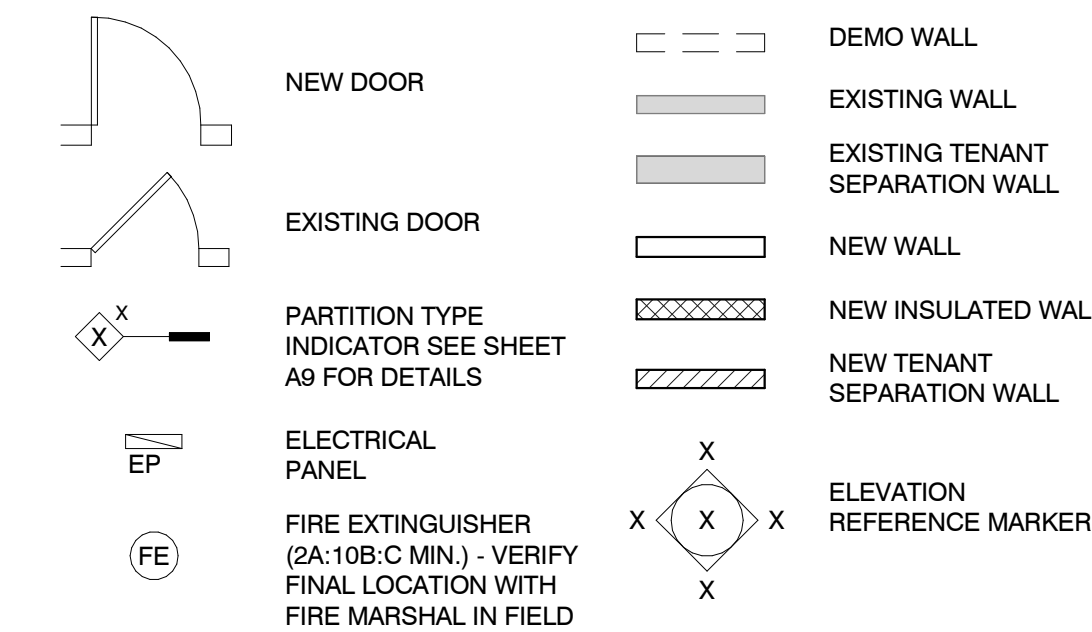
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Construction & Modular Fixture Plan

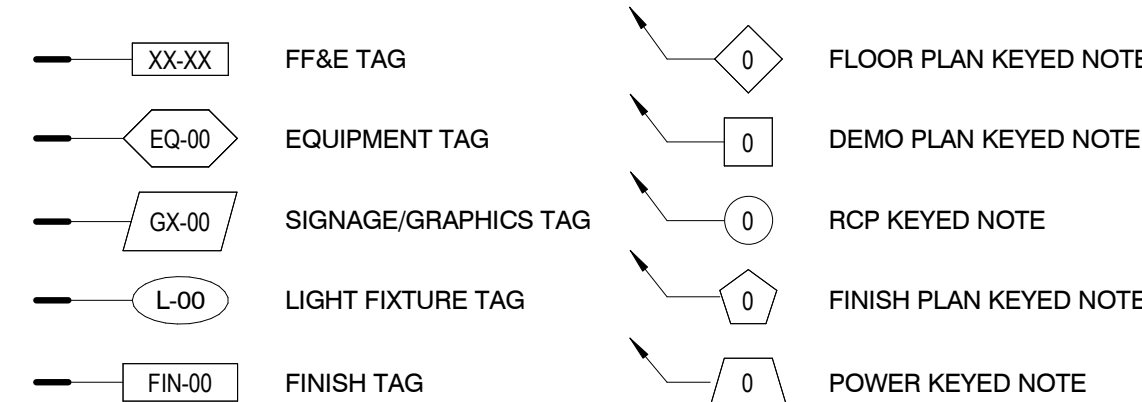
Sheet Number

07/21/2025

GRAPHIC LEGEND



KEYNOTE LEGEND

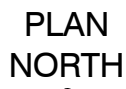


MODULAR FIXTURE PLAN GENERAL NOTES

- | | |
|---|--|
| 1 | MODULAR WALL FASCIA COMPONENTS PROVIDED BY VENDOR AND INSTALLED BY GC BECAUSE THE FASCIA PANELS (BH-K1, BH-K2, U-CHANNELS (BH-K6), AND TOP CAPS (BH-K10) ARE TO BE CUT TO FIT, QUANTITIES ON FIXTURE PLAN MAY BE HIGHER THAN FIXTURE SCHEDULE. REFER TO MODULAR FIXTURE SCHEDULE FOR TOTAL QUANTITIES PROVIDED. (1) EXTRA BH-K1 / BH-K2, BH-K6, AND BH-K10 TO BE INCLUDED ON ALL ORDERS. |
| 2 | CUTS AND REMAINING PARTS OF FASCIA PANEL AND COMPONENTS TO BE REUSED AND INSTALLED AS NEEDED. |
| 3 | REFER TO FIXTURE INSTALLATION MANUAL FOR SPECIFIC INSTALL INSTRUCTIONS FOR EACH AREA NEEDED. |
| 4 | FASCIA SYSTEM IS NOT APPLIED OVER MODULAR GATE POCKET FIXTURES. |
| 5 | NEW INTERIOR CONVENTIONAL WALLS DRAWN AT 4 7/8" W UNLESS NOTED OTHERWISE. |
| 6 | FOR CEILING HEIGHTS ABOVE 12'-0" AFF REFER TO DETAIL 11/A9 |
| 7 | GC TO SUPPLY AND INSTALL HILTI KWIK BOLT T22 FLOOR ANCHOR OR EQUAL TO ANCHOR ALL MODULAR WALL BASE PLATE(S) TO FLOOR WHEN MODULAR WALL IS NOT SUPPORTED BY A TYPE OF FIXED GEOMETRY SATISFYING A SECURED LATERAL SUPPORT OF WALL(S). LOCAL CODES MAY SUPERSEDE SUGGESTED ANCHOR TYPE AND GC TO ADJUST ACCORDINGLY TO MEET CODE. |

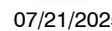
ACCESSIBILITY NOTES

309.4 OPERATION. OPERABLE PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 POUNDS (22.2 N) MAXIMUM.



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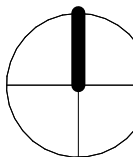
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Sheet Title

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ELEC SCOPE NOTES	
1	IF APPLICABLE; CONTRACTOR TO RELOCATE EXISTING PHONE BOARD TO PATCH PANEL CABINET ABOVE MANAGER'S DESK. REFER TO SHEET A6 FOR SPECIFIC PATCH PANEL CABINET LOCATION BEING USED FOR DATA/NETWORKING. DEDICATED QUAD-PLEX OUTLET AT 84" AFF FOR BH-J35 CABINETS AND AT 65" AFF FOR BH-J36 CABINETS.
2	3-WAY SWITCH SHALL BE INSTALLED AT EACH MEANS OF EGRESS FROM DEMISED SPACE IF NOT EXISTING. NO SWITCHES TO BE INSTALLED ON A WALL PAINTED PT-02 CAPRI BLUE. LOBBY LIGHTS TO REMAIN ON AT ALL TIMES.

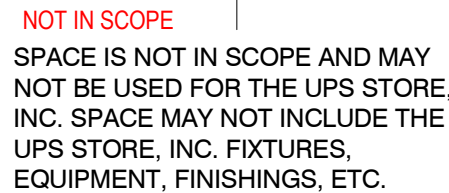


1	ELECTRICAL PLAN
A4	1/4" = 1'-0"

DIMENSIONS PROVIDED ON PLAN ARE FOR GENERAL REFERENCE ONLY.
ACTUAL FINAL MEASUREMENTS OF FIXTURES BOTH NEW AND EXISTING
MAY VARY SLIGHTLY.

GC TO VERIFY ON SITE AND NOTIFY PROJECT MANAGER OF VARIANCES.

NOT IN SCOPE
SPACE IS NOT IN SCOPE
AND MAY NOT BE USED
FOR THE UPS STORE,
INC. SPACE MAY NOT
INCLUDE THE UPS
STORE, INC. FIXTURES,
EQUIPMENT,
FINISHINGS, ETC.



A6	$1/4'' = 1'-0''$
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FIXTURE SCHEDULE - EXISTING				
FIXTURE TAG	COUNT	DESCRIPTION	VIRA	3C #
BH-B5	1	KEY CABINET; INSTALL BOTTOM OF CABINET AT 34" AFF	4403-V	4403-C
BH-C7	1	TIME SAVING KIOSK 36" X 24"	BH-C7	411L
P7	2	48" STORAGE RACK (24"DEEP)		
P27	1	24" STARTER METAL CARTON RACK (24" DEEP)		
P29	3	24" ADD-ON METAL CARTON RACK (24" DEEP)		

 **LAWRENCE
GROUP**
www.thelawrencegroup.com

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p 314-231-5700
f 314-231-0816

General Contractor: To Be Selected

Professional Seal:



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COMMERCIAL TENANT IMPROVEMENT FOR:
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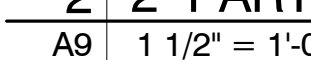
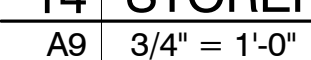
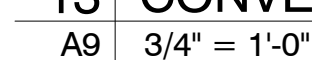
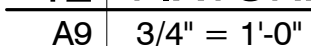
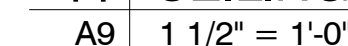
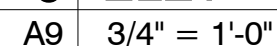
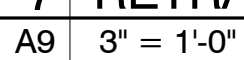
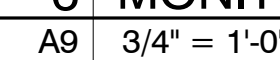
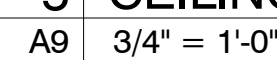
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Issue Date:

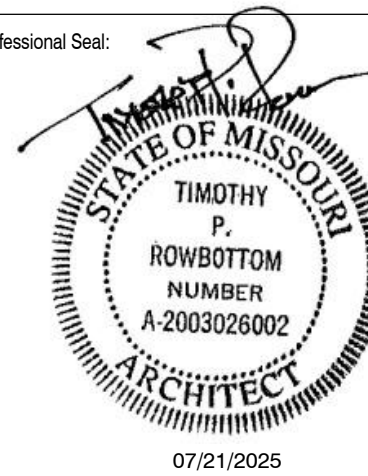
A6

A9	$3/4'' = 1'-0$
----	----------------



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[illegible]

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2025901.309

Project Number:
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Drawn By:

RAC
Issue Date

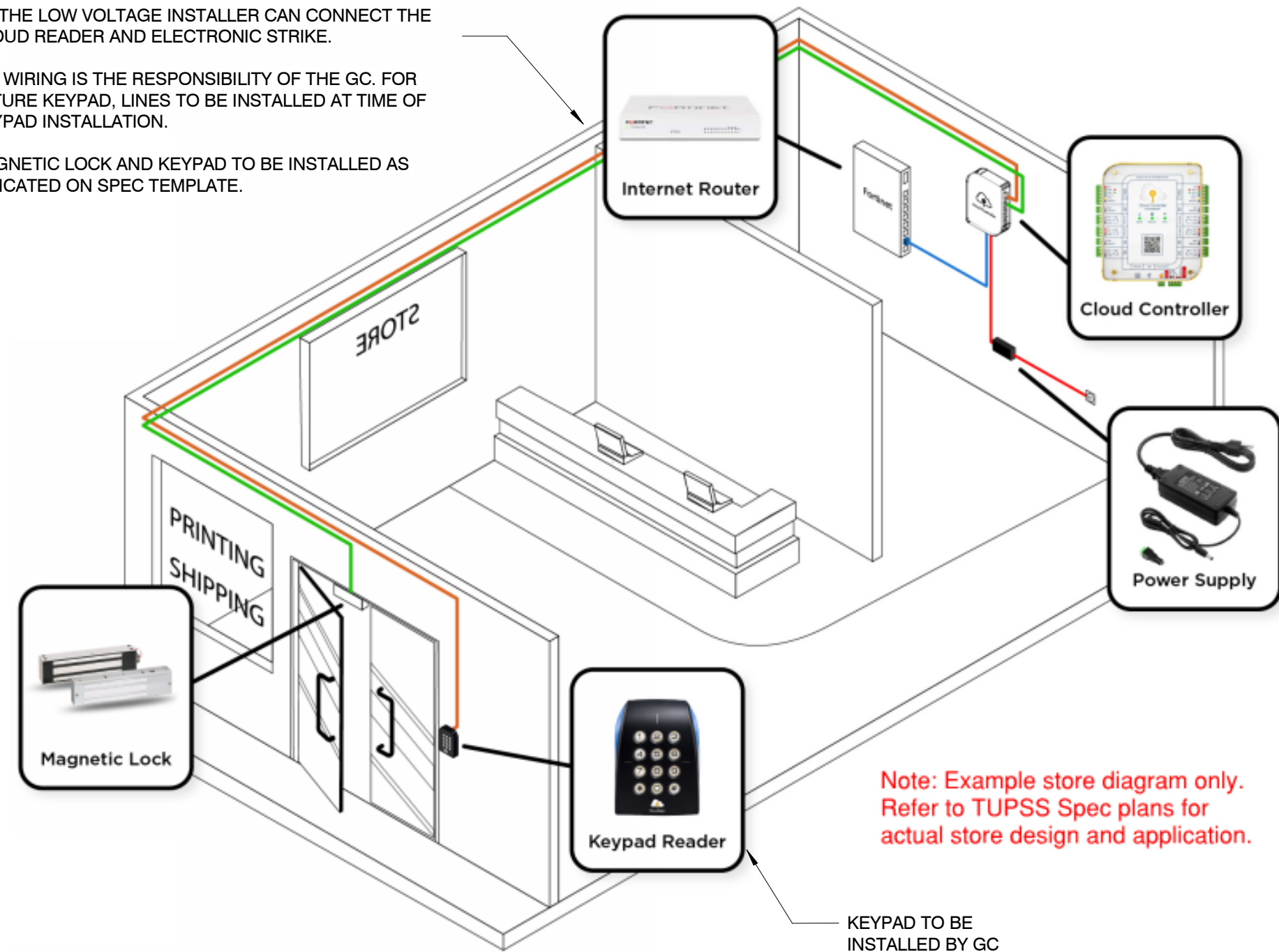
07/21/2025

Sheet Number:

A10

1 GA2 5

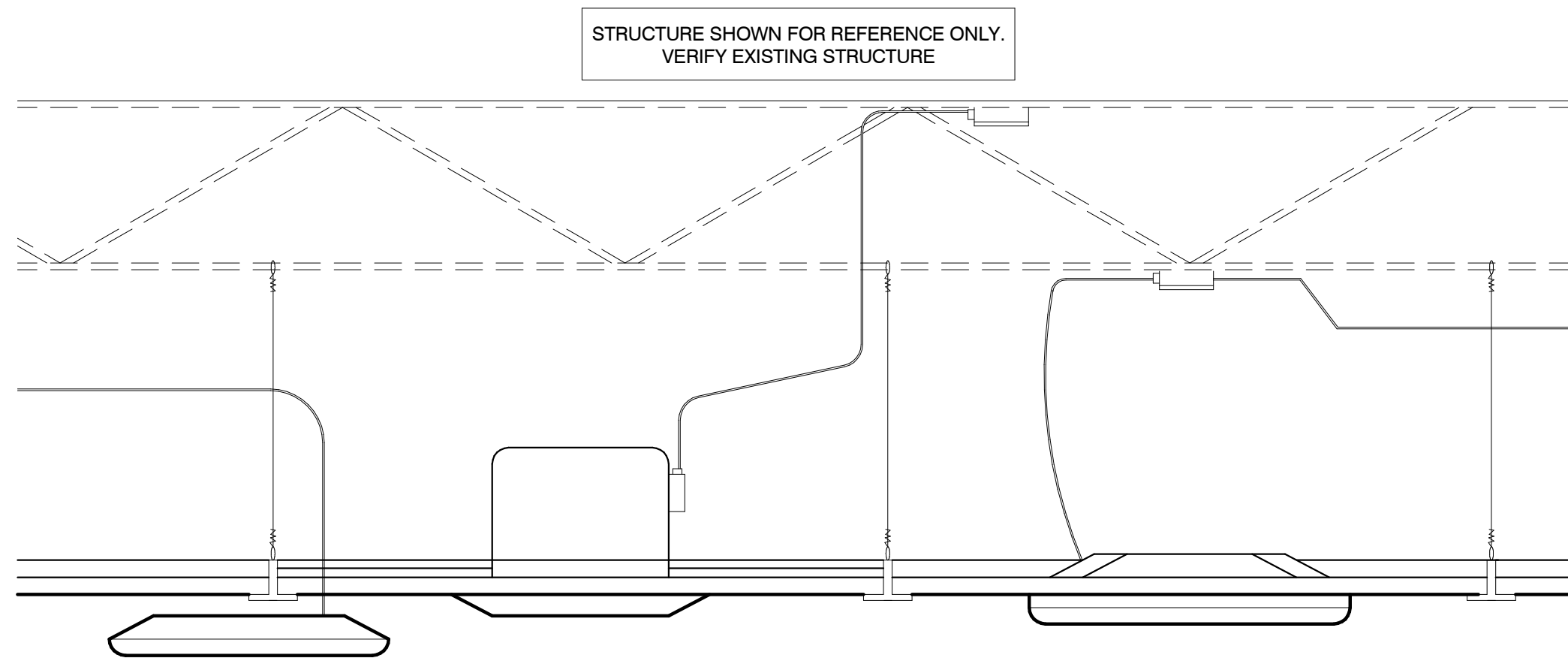
MAGNETIC LOCK AND KEYPAD TO BE INSTALLED AS INDICATED ON SPEC TEMPLATE.



Note: Example store diagram only.
Refer to TUPSS Spec plans for
actual store design and application.

KEYPAD TO BE
INSTALLED BY GC

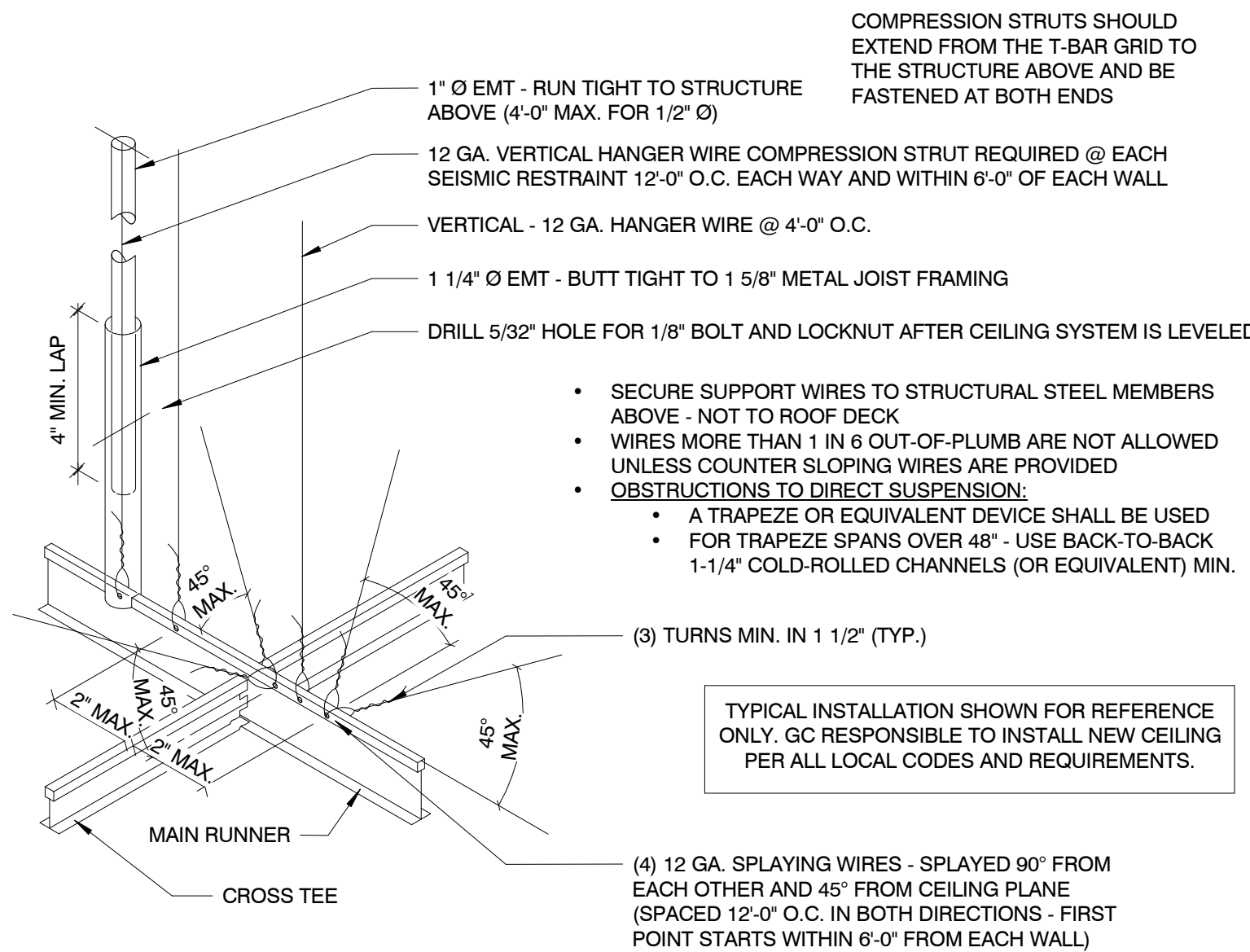
A10	NTS
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- ALL LIGHT FIXTURES & AIR DIFFUSERS SHALL BE POSITIVELY ATTACHED TO THE SUSPENDED CEILING SYSTEM MAIN RUNNERS. THE ATTACHMENT DEVICE SHALL HAVE A CAPACITY OF 100% OF THE FIXTURE WEIGHT.
- 12 GA. HANGER WIRES SHALL BE ATTACHED TO THE GIRDER MEMBERS WITHIN 3" OF EACH CORNER OF ALL FIXTURES. TANDEM FIXTURES MAY UTILIZE COMMON WIRES.
- 12 GA. DIFFUSERS WEIGHING 20 LBS. OR MORE THAN 56 LBS. IN ADDITION TO THE ABOVE REQ'S SHALL HAVE (2) 12" GA. HANGER WIRES CONNECTED FROM THE HOUSING TO THE STRUCTURE ABOVE. THESE WIRES MAY BE SLACK.
- FIXTURES & DIFFUSERS WEIGHING MORE THAN 56 LBS SHALL BE SUPPORTED DIRECTLY FROM THE STRUCTURE BY APPROVED HANGERS.
- CEILING AREAS EXCEEDING 2500 SQ. FT. MUST HAVE A SEISMIC SEPARATION JOINT OR FULL HEIGHT PARTITION TO BREAK THE CEILING INTO AREAS NOT EXCEEDING 2500 SQ. FT. THE RATIO OF LONG TO SHORT SIDE DIMENSION FOR EACH CEILING AREA SHALL NOT EXCEED 4.
- LIGHT FIXTURES (ALL TYPES) SHALL BE MECHANICALLY ATTACHED TO THE GRID PER NEC 110.16.
- RIGID LAY-IN OR CAN LIGHT FIXTURES SHALL BE SUPPORTED FROM THE STRUCTURE ABOVE AS FOLLOWS:
 - LESS THAN 10 LBS. - ONE 12 GA. WIRE (MAY BE SLACK).
 - 10 TO 56 LBS. - TWO 12 GA. WIRES (MAY BE SLACK).
 - OVER 56 LBS. - SUPPORTED DIRECTLY TO THE STRUCTURE BY APPROVED HANGERS
- PENDANT HUNG FIXTURES SHALL BE SUPPORTED FROM THE STRUCTURE ABOVE USING #9 GA. WIRE
- CABLE TRAYS AND ELECTRICAL CONDUIT SHALL BE SUPPORTED AND BRACED INDEPENDENT OF THE SUSPENDED CEILING SYSTEM.

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A10	$3/4'' = 1'-0''$
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