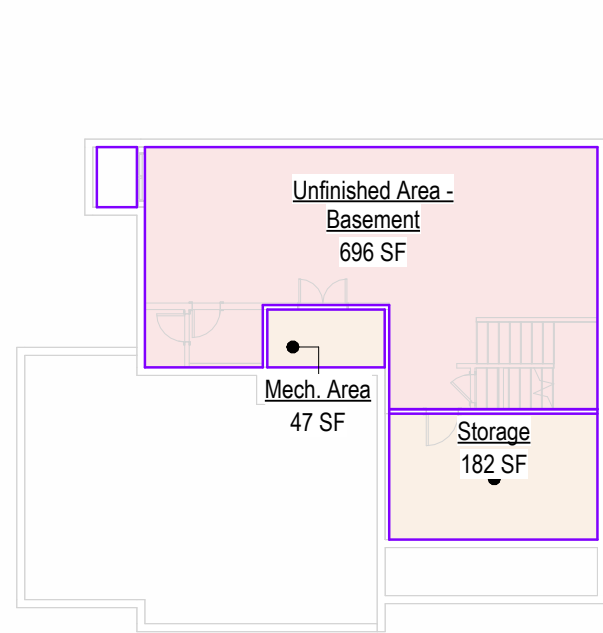
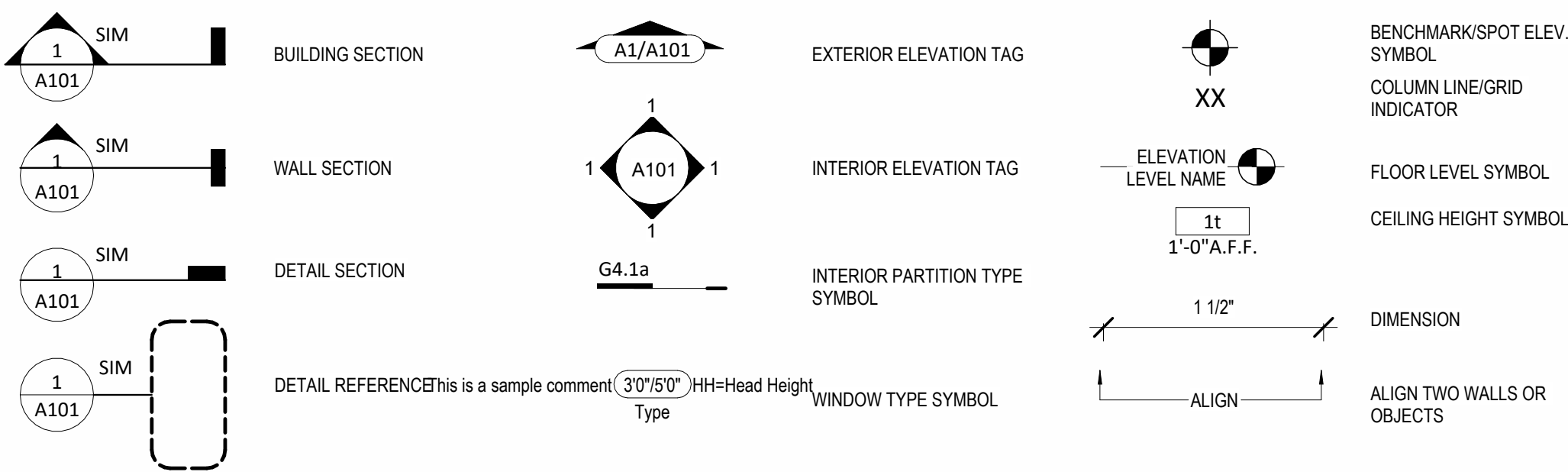
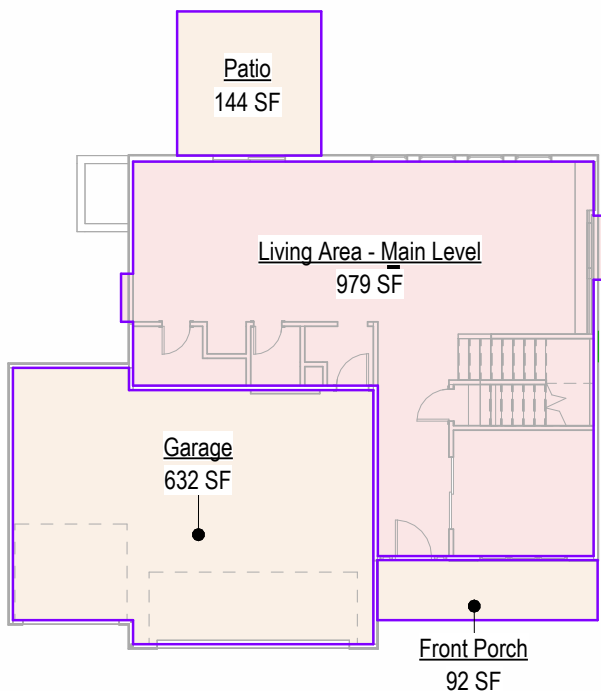


North Bend

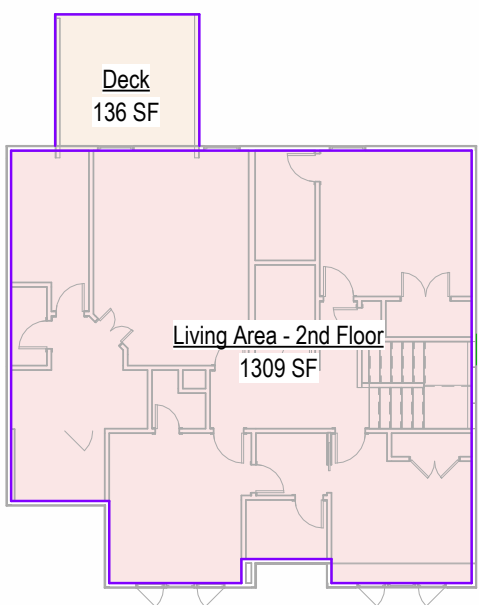
Address : 2230 SW Crown Drive, Lee's Summit, MO
Lot : HF 199



4 Basement Level Area plan
1/16" = 1'-0"



5 Main Level Area plan
1/16" = 1'-0"



6 Second Floor Level Area plan
1/16" = 1'-0"

Areas	
Living Area - Main Level	979 SF
Living Area - 2nd Floor	1309 SF
Total Finished Area	2288 SF
Unfinished Area - Basement	696 SF
Front Porch	92 SF
Patio	144 SF
Mech. Area	47 SF
Garage	632 SF
Storage	182 SF
Deck	136 SF
Total Unfinished Area	1929 SF

RELEASE FOR CONSTRUCTION
AS NOTED FOR PLAN REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
08/18/2025

RELEASE FOR CONSTRUCTION
AS NOTED FOR PLAN REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
09/13/2024

General Information

- Whole House Mechanical Ventilation System is required for any dwelling with air infiltration at a rate of less than 5 air changes per hour (at ACH50 standard R303.4).
- Carbon monoxide detectors required (R315)
- Steel columns shall be minimum schedule 40 (R507.2)
- Deck Ledger attachment to house shall be per Tables 507.9.1.3.
- New provisions for attachment of rafters, trusses and roof beams. (R802.3 and R802.11)
- Programmable thermostat required (N1103.1.1)
- Air handlers shall be rated for Maximum 2% air leakage rate (N1103.2.2.1)
- Building cavities used as return air plenums shall be sealed to prevent leakage across the thermal envelope. (N1103.2.3)
- Certain hot water pipes shall be insulated (N1103.4)
- All exhaust fans shall terminate to the building exterior (M1507.2)
- Makeup air system required for kitchen exhaust hoods that exceed 400 CFM M1503.4
- Building cavities in a thermal envelope wall (including the wall between the house and garage) shall not be used as return air plenums (unless the required insulation and air barrier are maintained) (M1601.1.1.#7.5)
- An air handling system shall not serve both the living space and the garage (M1601.6)
- A concrete-Encased grounding electrode ("UFER Ground") connection complies with the requirements of the 2018 IRC Section E3608.1.2 in providing a connection with no less than the required minimum of steel
- Compliance with the requirements and show connection as needed for roof beam, trus, rafter, and girder connections for uplift per IRC 802.11
- DASMA 115 MPH Rated Garage doors
- Compliant with the Physical Security Ordinance in the Kansas City Building and Rehabilitation Code, section 329 (Information Bulletin 161).
- Compliant with the requirements of section 308 of the 2018 IRC for safety glazing.
- Studs will be continuous from floor to ceiling diaphragm/Roof as per 2018 IRC 602.3

2018 IRC BUILDING CODE COMPLIANCE
THESE DRAWINGS HAVE BEEN PREPARED WITH RESPECT TO COMPLIANCE OF THE 2018 IRC AND NEC 2017 ANY REFERENCES FOUND NOT CORRECTLY IDENTIFIED TO THESE CODES SHALL BE BROUGHT TO THE ATTENTION OF SSIONAL THE DESIGN PROFESSIONAL



North Bend
Address : 2230 SW Crown Drive, Lee's Summit, MO
Lot : HF 199

12/01/20	Original Issue Date:	24/03/18
REVISIONS		
Number	Description	Date



AUGUST 13, 2024

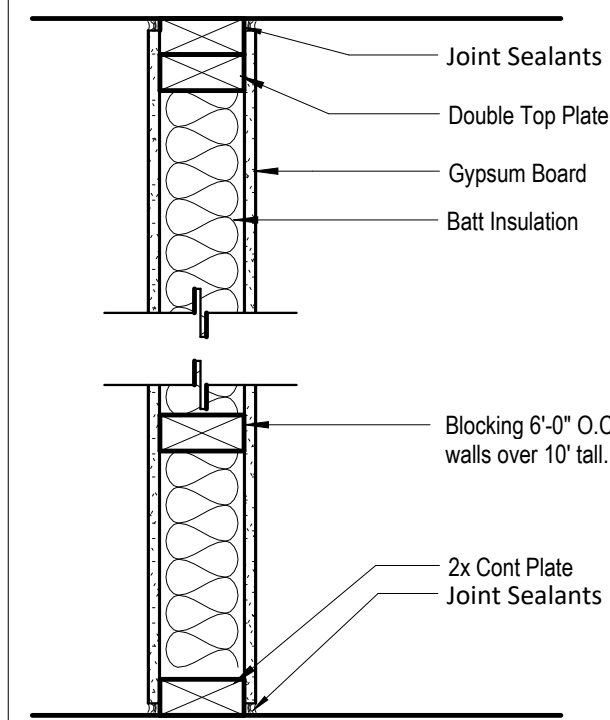
Sheet List	
00	Cover
A101	Foundation Plan
A102	Floor Plan - Basement
A103	Floor Plan - Main Level
A104	Floor Plan - Second Floor
A105	Roof Plan
A201	Elevations
A202	Elevations
A203	Floor Plan & Elevations-Full Basement 1
A204	Floor Plan & Elevations-Full Basement 2
A205	Floor Plan & Elevations-Daylight
A501	Details
A502	Details

PLAN DESCRIPTION: Cover

00

Project No.

- NOTES:
1. PROVIDE MOISTURE RESISTANT GWB IN WET AREAS
 2. EXTEND ALL FIRE RATED WALLS STRUCTURE TO STRUCTURE.
 3. USE TYPE "X" GWB FOR ALL FIRE RATED PARTITIONS
 4. REFER TO ELEVATIONS FOR LOCATIONS WHERE WALL IS NOT FULL HEIGHT. IN THESE CASES CAP THE TOP OF THE WALL WITH A LAYER OF 1/2" GYPSUM BOARD U.N.O.



PARTITION SYSTEM:
GYPSUM WALL BOARD PARTITION

G

PARTITION IDENTIFICATION PLAN SYMBOL	
BASE PARTITION THICKNESS	4.5"
STUD SPACING (O.C.)	16"
STUD SIZE	2x4
GWB THICKNESS	1/2"
JOINT SEALANTS	No
INTERIOR LOAD BEARING WALL	No
FIRE RATING (HRS)	-
FIRE TEST NUMBER	-
FIRE TEST NUMBER (HEAD OF WALL)	-
FIRE RESISTIVE JOINTS	-
ACOUSTIC RATING (STC)	-
ACOUSTICAL TEST NUMBER	-
INSULATION	No
ACOUSTICAL JOINTS	-
REMARKS:	* SEE NOTE #4

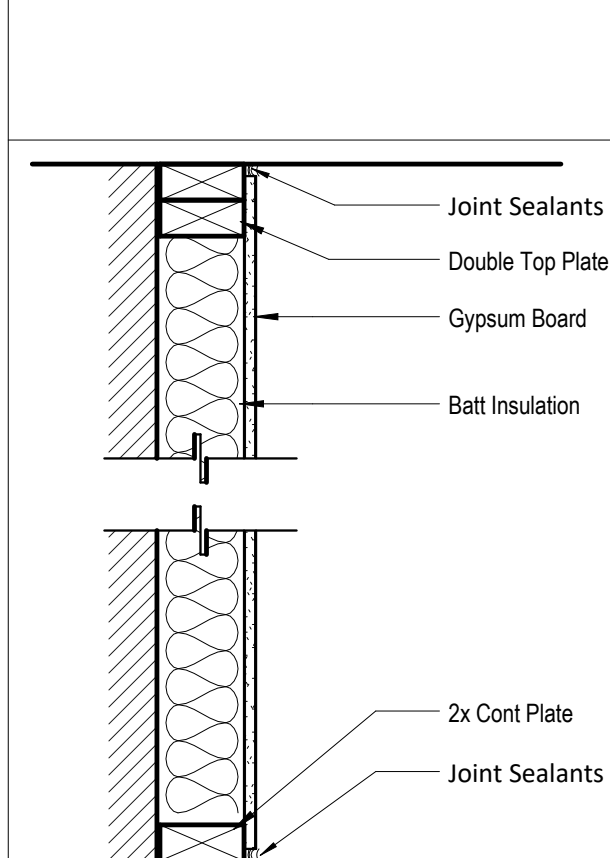
G4

4.5"
16"
2x4
1/2"
No
No
-
-
-
-

G6

6.5"
16"
2x6
1/2"
No
No
-
-
-
-

- NOTES:
1. REFER TO ELEVATIONS FOR LOCATIONS WHERE WALL IS NOT FULL HEIGHT. IN THESE CASES CAP THE TOP OF THE WALL WITH A LAYER OF 1/2" GYPSUM BOARD U.N.O.



PARTITION SYSTEM:
GYPSUM FURRING PARTITION

F

PARTITION IDENTIFICATION PLAN SYMBOL	
BASE PARTITION THICKNESS	4"
STUD SPACING (O.C.)	16"
STUD SIZE	2x4
GWB THICKNESS	1/2"
JOINT SEALANT	No
FIRE RATING (HRS)	-
FIRE TEST NUMBER	-
FIRE TEST NUMBER (HEAD OF WALL)	-
FIRE RESISTIVE JOINTS	-
ACOUSTIC RATING (STC)	-
ACOUSTICAL TEST NUMBER	-
INSULATION	No
ACOUSTICAL JOINTS	-
REMARKS:	* SEE NOTE #1

F4

4"
16"
2x4
1/2"
No
-
-
-
-

Foundation Notes:

- FOOTINGS/FOUNDATION & CONCRETE NOTES
1. TO ADDRESS DIFFERENTIAL SETTLEMENT, ALL INTERIOR BEARING AND EXTERIOR FOOTINGS & PADS TO BE EXCAVATED & PLACED MIN. 18 INCHES INTO UNDISTURBED NATURAL SOIL.
 2. EXT. FOOTING TO BE PLACED MIN. 36-INCHES BELOW FIN. GRADE
 3. DESIGN IS BASED ON MIN. OF 2,500 PSI, CONCRETE STRENGTHS TO ACHIEVE THE FOLLOWING BASED UPON:
 - A. 3,000 PSI FOR FOOTINGS, FOUND. WALLS & VERT. SUPPORTS
 - B. 3,000 PSI FOR GARAGE FLOOR
 4. CONC. EXPOSED TO WEATHER TO HAVE 6% (+/-) AIR ENTRAINMENT
 5. PROVIDE 4" MIN. CONC. SLAB REINF. W/M @ 12" O.C. E.W. TOP REINF. OVER PEDESTALS AS INDICATED (4# X 1 FT @ 8" O.C. E.W. PLACE OVER 6 MIL VAPOR BARRIER)
 6. REINFORCE EXTERIOR FOOTINGS W/ #4 @ 24" E.W.; REINFORCE W/ (2) #4 CONT. AT BOTTOM
 7. REINFORCE #4 X 48" (L) @ 45 DEGREES @ RE-ENTRANT CORNERS
 8. 1/2"x10" L1 ASTM A307 ANCHOR BOLTS @ 48" O.C. @ EXT. WALLS
 9. ANCHOR PRESSURE TREATED PLATE @ INT. BEARING WALLS W/ 1/2" X 4-1/2" HLT1 WEDGE BOLTS @ 72" O.C. MAX. 12" FROM ENDS
 10. PROVIDE 2" LAPS MIN. INCLUDING CORNERS
 11. INSTALL HOLD-DOWN BOLT ANCHORAGE AS INDICATED ON PLAN
 12. PROVIDE BITUMINOUS DAMP-PROOFING AT FOUNDATION WALLS
 13. SOIL BEARING CAPACITY IS NOT ASSUMED TO BE GREATER THAN 2,000 PSF IN THE CURRENT FOUNDATION DESIGN. ALL COMPACTED FILL AREAS REQUIRE A SPECIAL INSPECTION

- STEEL COLUMNS & OTHER BASEMENT FOUNDATION NOTES
1. ALL STEEL PIPE COLUMNS TO BE 3" OR 3 1/2" SCHEDULE 40 GRADE
 2. INTER. BEARING WALLS & COLUMNS SHALL BE ISOLATED FROM THE BASEMENT FLOOR SLAB
 3. INTER. NON-BEARING WALLS, OTHER THAN THOSE RESTING DIRECTLY ON THE FOOTING, SHALL BE ISOLATED FROM THE FLOOR FRAMING ABOVE
 4. AT WALKOUT FOUNDATION AREAS, REINFORCE THE SLAB FROM THE FOUNDATION WALL TO 2 FEET BEYOND THE OVERDIG AREA WITH #4 BARS AT 24 INCHES O.C. PERPENDICULAR AND HORIZONTAL TO THE WALL, MAXIMUM 4' FOOT OVERDIG
 5. AT WALKOUTS THE FOUNDATION WALL SHALL BE INSULATED W/ A MINIMUM R-6 INSULATION FOR A MIN OF 3 FEET BELOW THE BOTTOM OF THE SLAB
 6. WHERE FLOOR JOISTS ARE PARALLEL TO THE FOUNDATION WALL, THE WALL SHALL BE SUPPORTED Laterally AT THE TOP BY SOLID BLOCKING FOR MINIMUM OF TWO JOIST SPACES, SPACED NOT MORE THAN 4 FEET O.C.

architect:
Elevate Design + Build
350 SW Longview Blvd
Lee's Summit, MO 64081
816.622.8826 voice
www.elevatedesignbuildkc.com



AUGUST 13, 2024

REVISIONS

Number DESCRIPTION DATE

PROJECT

Address : 2230 SW Crown Drive,
Lee's Summit, MO
Lot : HF 199
DRAWING TITLE

Foundation Plan

DATE ISSUED

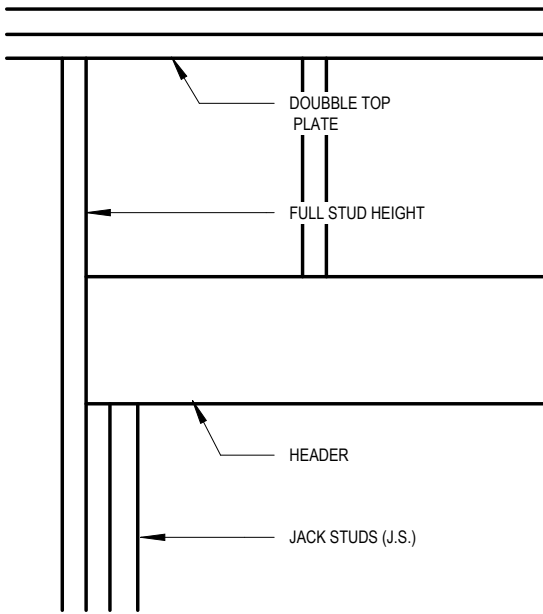
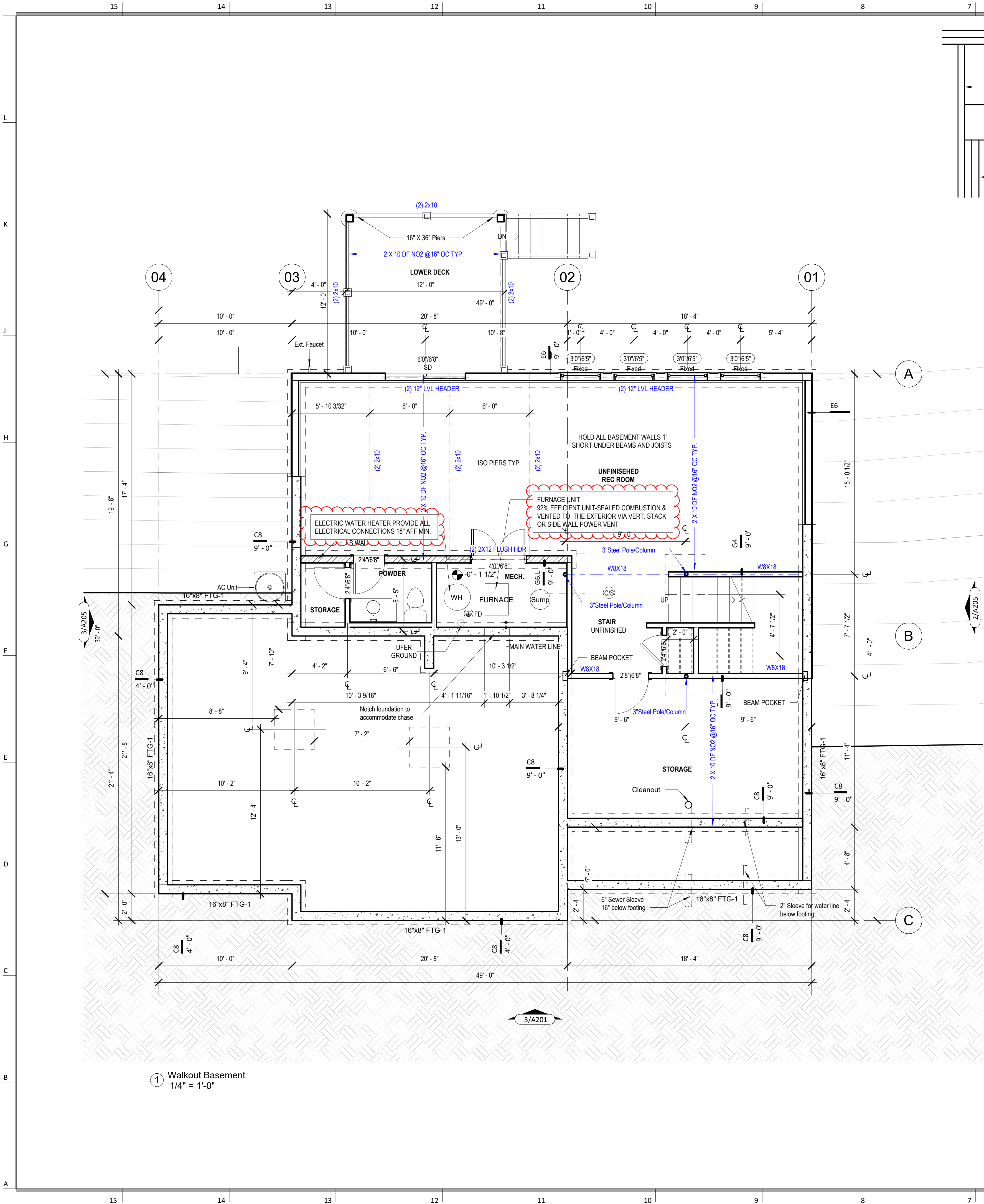
9/12/2024

NORTH



DRAWING NUMBER

A101



TYPICAL HEADER

NOTES:

- NOT FOR OPEN WEB FLOOR TRUSS SYSTEMS
- BASED ON A MAXIMUM JOIST SPAN OF 18 FT
- HEADERS SUPPORT FLOOR LOADS ONLY. RE: PLANS OR CONTACT ENGINEER IF ROOF LOADS NEED TO BE SUPPORTED
- FRAMER SHOULD CONSULT IRC TABLE R502.5(1) FOR LOAD BEARING HEADERS USING 30 PSF GROUND SNOW LOAD AND THE MAX. BUILDING WIDTH WIDTH. FRAMER SHALL PROVIDE THE MORE STRINGENT CHOICE BETWEEN IRC TABLE AND THIS DETAIL
- FRAMER SHALL CONTACT ENGINEER IF ENGINEERED LUMBER IS TO BE UTILIZED

3 Bearing Wall Header Schedule

1 1/2" = 1'-0"

BEARING WALL HEADERS					
INTERIOR WALL(1 FLOOR)			EXTERIOR WALL(ROOF ONLY)		
SPAN	SIZE	NO. J.S.	SPAN	SIZE	NO. J.S.
0'-0" - 4'-5"	(2) 2x8	2	0'-0" - 5'-4"	(2) 2x8	2
4'-6" - 5'-5"	(2) 2x10	2	5'-5" - 6'-6"	(2) 2x10	2
5'-6" - 6'-3"	(2) 2x12	2	6'-7" - 7'-6"	(2) 2x12	2
INTERIOR WALL(2 FLOOR)			EXTERIOR WALL(ROOF + FLOOR)		
0'-0" - 3'-2"	(2) 2x8	2	0'-0" - 4'-6"	(2) 2x8	2
3'-3" - 3'-10"	(2) 2x10	3	4'-7" - 5'-6"	(2) 2x10	2
3'-11" - 4'-5"	(2) 2x12	3	5'-7" - 6'-5"	(2) 2x12	2
EXTERIOR WALL(ROOF + 2 FLOORS)					
0'-0" - 3'-9"	(2) 2x8	2			
3'-10" - 4'-7"	(2) 2x10	2			
4'-8" - 5'-3"	(2) 2x12	2			

General Notes:

- DOORS AND WINDOW
- ALL GLAZING WITHIN 12" OF THE FINISHED FLOOR, ADJACENT TO DOORS - 4" AND WITHIN DOORS, ABOVE BATHTUBS TO BE SAFETY TYPE GLASS AND LABELED SUCH AS IN COMPLIANCE W/ SECTION 308 OF THE IRC.
 - SHOWER DOORS SHALL HAVE SAFETY GLAZING. HINGED SHOWER DOORS SHALL SWING OUTWARD.
- GARAGES:
- GARAGE SEPARATION WALL TO BE 1-HR CONST. W/ MIN. 3/8" TYPE X GWB, EXTEND TO BOTTOM OF ROOF. DOOR TO BE 20-MIN RATED, 1-3/8" S.C. & EQUIPPED W/ CLOSURE & LATCH
 - 15 & 20 AMP RECEPTACLES SHALL HAVE GFCI PROTECTION
 - TYPE X 5/8" GB REQUIRED ON GARAGE CEILING BELOW LIVING AREAS
- LIGHT AND VENTILATION:
- PROVIDE STAIRWAY ILLUMINATION PER R303.7.2
 - CABLE VENT & BATHROOM VENTS TO PROVIDE A MIN. OF 10 S.F. NET FREE OF ATTIC VENTILATION
 - FURNACES ENCLOSED IN A ROOM LESS THAN 100 S.F. SHALL BE PROVIDED WITH A MEANS OF COMBUSTION MAKE-UP AIR AS DETERMINED/CALCULATED AND PRESCRIBED BY MECH. CONTRACTOR
 - VENTILATE KITCHENS AND LAUNDRY ROOMS PER R303.3
 - PROVIDE MIN. 16" x 10" SOFFIT VENTS ALONG LEAVE SPACED EVENLY W/ NO MORE THAN 8" O.C.
- GYP/SUM BOARD:
- GWB APPLIED TO CEILINGS SHALL BE 16". WHEN FRAMING MEMBERS ARE 16" O.C. OR 5/8" WHEN MEMBERS ARE 24" O.C. OR USE 1/2" SAG-RESISTANT GYP. CEILING BOARD
- MECHANICAL SYSTEMS
- FURNACE & WATER HEATER SHALL BE ON 18" PLATFORMS WHEN PLACED IN A GARAGE OR ROOM W/ DIRECT ACCESS TO A GARAGE.
 - PROVIDE MIN. 75% AFUE FOR WEATHERIZED GAS HEATING EQUIP. 80% FOR NON-WEATHERIZED
 - PROVIDE MIN. 14 SEER FOR AIR CONDITIONING EQUIPMENT
 - SUPPLY AND RETURN DUCTS SHALL BE INSULATED TO MIN. R-8
- ELECTRICAL SYSTEMS
- PROVIDE UFER GROUND ENCASED IN CONCRETE FOOTING
 - ALL ELECTRICAL CONDUCTORS SHALL BE COPPER
 - RECEPT. IN THE FOLLOWING LOCATIONS SHALL BE GFCI PROTECTED:
 - BEDROOM, KITCHEN (WITHIN 6 FEET OF SINK), GARAGE, SHED, EXTERIOR, UNFINISHED BASEMENT & HEATED FLOORS
 - ALL BRANCH CIRCUITS THAT SUPPLY 120-V. SHINGLE PHASE, 15 & 20 AMP OUTLETS INSTALLED IN:
 - BEDROOMS, SUNROOMS, REC ROOMS, CLOSETS, HALLWAYS, & SIM. ROOMS SHALL BE PROTECTED BY A COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT
 - ALL 15 & 20 A RECEPT. SHALL BE LISTED TAMPER-RESISTANT.
 - EXCEPTION: RECEPTACLES IN THE FOLLOWING LOCATIONS SHALL NOT BE REQUIRED TAMPER-RESISTANT:
 - RECEPTACLES LOCATED MORE THAN 5 FEET AFF.
 - WHERE SUCH RECEPTACLES ARE LOCATED IN SPACES DEDICATED FOR THE APPLIANCE SERVED & UNDER CONDITIONS OF NORMAL USE, THE APPLIANCES ARE NOT AFFECTED BY THE RECEPTACLES.
- EXTERIOR WALL FRAMING
- BOTTOM SILL PLATES SHALL BE PRESSURE TREATED OR EQUAL
 - SILL PLATES SHALL BE EXTENDED MIN. 6 INCHES ABOVE GRADE
 - ALL EXT. STUDS TO BE SECURED TO THEIR DOUBLE TOP PLATES W/ (2) 16d NAILS (MIN)
 - ALL EXTERIOR CORNERS TO BE BRACED WITH 7/16" OSB NAILED SCHEDULE SHALL BE 6" COMMON @ 16" O.C. ALONG EDGES & 8" COMMON @ 12" O.C. @ INTERMEDIATE STUDS
- ROOF FRAMING
- ALL ROOF EAVES OVERHANGS TO BE 16" UNO
 - ALL JOISTS & RAFTERS TO BE ALIGNED OVER SLIDS
 - ROOF SHEATHING SHALL BE 7/16" OSB LAD W/ LONG DIMENSION PERPENDICULAR TO DAVE LINE & STAGGERED 48" O.C. W/ LONG DIMENSION PERPENDICULAR TO DAVE LINE & STAGGERED 48" O.C. W/ GALLY SPACER CLIPS ALONG ALL EDGES. SECURE SHEATHING W/ 6" COMMON NAILS TO RAFTERS AT 16" O.C. ALL EDGES
- UNFINISHED BASEMENT REQUIREMENTS
- FIRE PROTECTION ON FLOORS: FLOOR ASSEMBLIES CONSTRUCTED W/ JOISTS LESS THAN 2X10 DIMENSIONAL LUMBER
 - JOISTS OR OPEN WEB JOISTS OVER UNFINISHED BASEMENTS SHALL BE PROVIDED WITH 5/8" GWB
 - UNFINISHED BASEMENTS SHALL BE MIN. R-13 INSULATED WALL OR INSULATED ON FLOOR/CEILING (MIN R-19)
 - ALL EXPOSED HVAC DUCTING IN UNFINISHED BASEMENTS TO BE MIN R-8 INSULATED OR ENCLOSED INSIDE A FLOOR/CEILING
 - UNFINISHED BASEMENTS SHALL HAVE NO CONDITIONED AIR OUTLETS
- EROSION CONTROL
- EROSION CONTROL MEASURES SHALL BE IN PLACE & IN GOOD WORKING ORDER AT ALL TIMES DURING INSPECTIONS. IN THE EVENT THAT THEY ARE NOT, THE INSPECTOR MAY CANCEL THE INSPECTION UNTIL SUCH TIME THE EROSION CONTROL MEASURES ARE IN PLACE. A FINE, RE-INSPECTION FEE & STOP-WORK ORDER MAY BE ISSUED IF EROSION CONTROL IS NOT ADDRESSED. MINIMUMS INCLUDE:
 - SILT FENCE OR STRAW BATTLE AROUND ALL DISTURBED SOIL. SHALL BE IN PLACE BEFORE ANY EXCAVATION BEGINS
 - TEMPORARY GRAVEL CONSTRUCTION ENTRANCE. THIS ENTRANCE SHOULD BE THE ONLY ENTRANCE & EXIT USED FOR VEHICLES INTO & OUT OF THE SITE
 - STREETS SHALL BE MAINTAINED FREE OF ALL SOIL & GRAVEL IN A BROAD CLEAN CONDITION AT ALL TIMES
- WOOD FRAMING, FLOORS AND ROOF NOTES
- EXT. WALL FRAMING TO BE 2 x 4 (SYP OR DFL STUD GRADE 2 OR BETTER) @ 16" O.C.
 - ROOF SHEATHING TO BE 7/16" OSB NAILED W/ 8d @ 6" O.C. PANEL INDEX 240; PROVIDE 2 CLIPS AT INSULATED HANG EDGES
 - SHEATH EXT. WALLS W/ 7/16" OSB NAILED W/ 8d @ 6" O.C.
 - HEADERS: PROVIDE 2 x 4 (SYP OR DFL #2 OR BETTER) UNO. CONSTRUCT HEADERS W/ 2 x 3 & 7/16" OSB BETWEEN W/ (2) ROWS OF 16d @ 16" O.C.
 - BLOODING MIN. 1.5 INCHES UTILITY GRADE LUMBER JOISTS TO BE SUPPORTED AT ENDS FULL DEPTH SOLID BLOODING NOT < 2 INCHES
 - I.F.I. C.J. & RAFTERS TO BE SYP OR DFL GRADE #2 OR BETTER
 - EXT. WALL STUDS & LOAD BEARING WALLS TO BE CONTINUOUS FROM FLOOR TO ROOF/CEILING DIAPHRAGM PER R303.3
 - STUDS, RAFTERS, JOISTS, MIS. LUMBER MIN. GRADE #2 D.F. OR S.Y.P.
- PHYSICAL SECURITY ORDINANCE
- OWNER/BUILDER IS RESPONSIBLE FOR COMPLIANCE OF PHYSICAL SECURITY ORDINANCE FOR THEIR LOCAL JURISDICTION

Window Schedule - Walkout					
Window Type	Rough Opening		Head Height	Count	Level
	Width	Height			
Casement Window	2'-4"	5'-0"	7'-6"	2	Second Floor
Casement Window	2'-4"	5'-0"	7'-10"	2	Second Floor
Double Hung Window	3'-0"	5'-0"	6'-8"	3	Second Floor
Fixed Window	2'-4"	6'-4"	6'-8"	3	Main Level
Fixed Window	3'-0"	6'-5"	6'-8"	8	Basement & Main Level
Fixed Window	2'-4"	5'-0"	7'-6"	1	Second Floor
Fixed Window	5'-0"	1'-0"	7'-6"	1	Second Floor
Fixed Window	6'-0"	1'-0"	7'-6"	1	Second Floor
Fixed Window	2'-4"	5'-0"	7'-10"	1	Second Floor
Fixed Window	3'-0"	6'-5"	13'-5"	1	Main Level

Door Schedule - Walkout				
Door Type	Width	Height	Head Height	Count
Sliding Door	6'-0"	6'-8"	6'-8"	2
Wayfair 2 panel sliding room divider	6'-0"	6'-8"	6'-8"	1
Garage shutter style-4 Panel	16'-0"	6'-0"	5'-2"	1
Garage shutter style-2 Panel	8'-0"	6'-0"	7'-2"	1
Double Flush Door	2'-8"	6'-8"	6'-8"	1
Double Flush Door	4'-0"	6'-8"	6'-8"	2
Single Flush Door	4'-0"	6'-8"	6'-8"	1
Pocket Door	2'-4"	6'-8"	6'-8"	1
Single Flush Door	2'-0"	6'-8"	6'-8"	2
Single Flush Door	2'-4"	6'-8"	6'-8"	10
Single Flush Door	2'-6"	6'-8"	6'-8"	4
Single Flush Door	2'-8"	6'-8"	6'-8"	4
Exterior door W/ (2) 12" Side Lite	3'-0"	6'-8"	6'-8"	1



North Bend

architect:
Elevate Design + Build
350 SW Longview Blvd
Lee's Summit, MO 64081
816.622.8826 voice
www.elevatedesignbuildcc.com



AUGUST 13, 2024

REVISIONS

Number DESCRIPTION DATE

PROJECT

Address : 2230 SW Crown Drive,
Lee's Summit, MO
Lot : HF 199
DRAWING TITLE
Floor Plan - Basement

DATE ISSUED

9/12/2024

NORTH



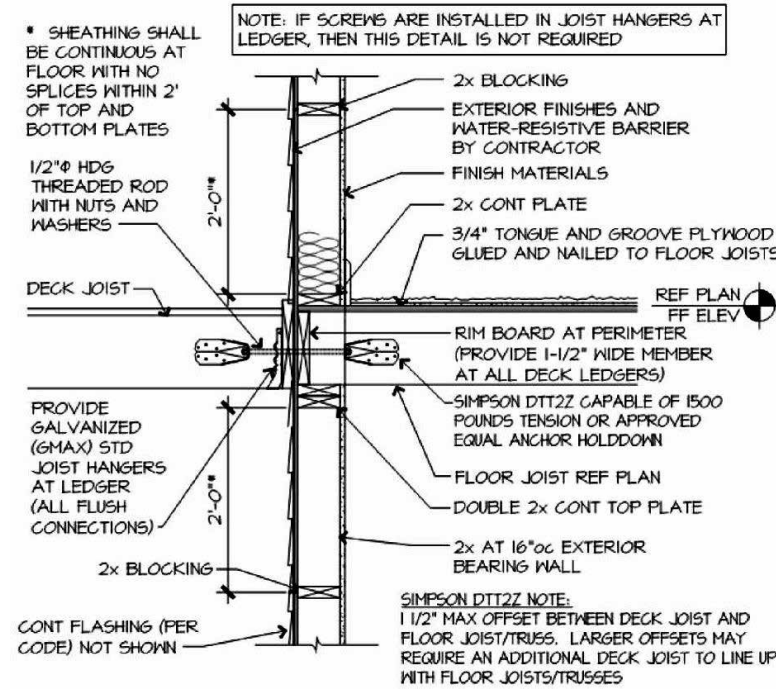
DRAWING NUMBER

A102

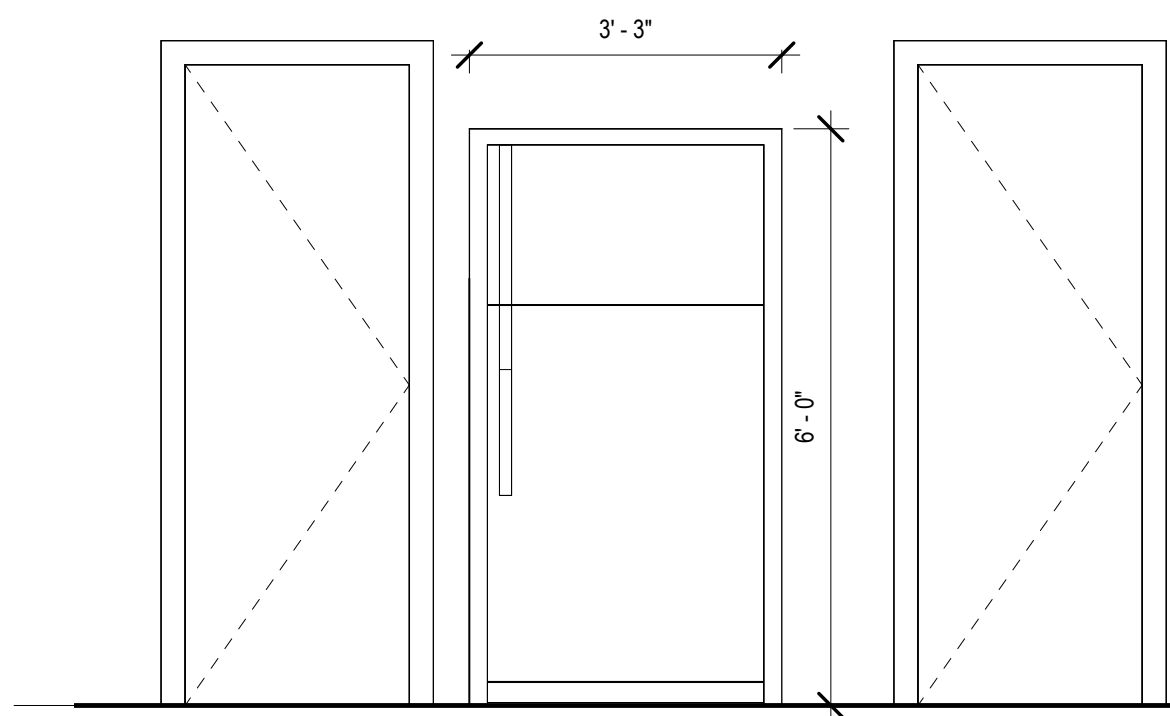
RELEASE FOR CONSTRUCTION
AS NOTED FOR PLAN REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
09/18/2024

General Notes:

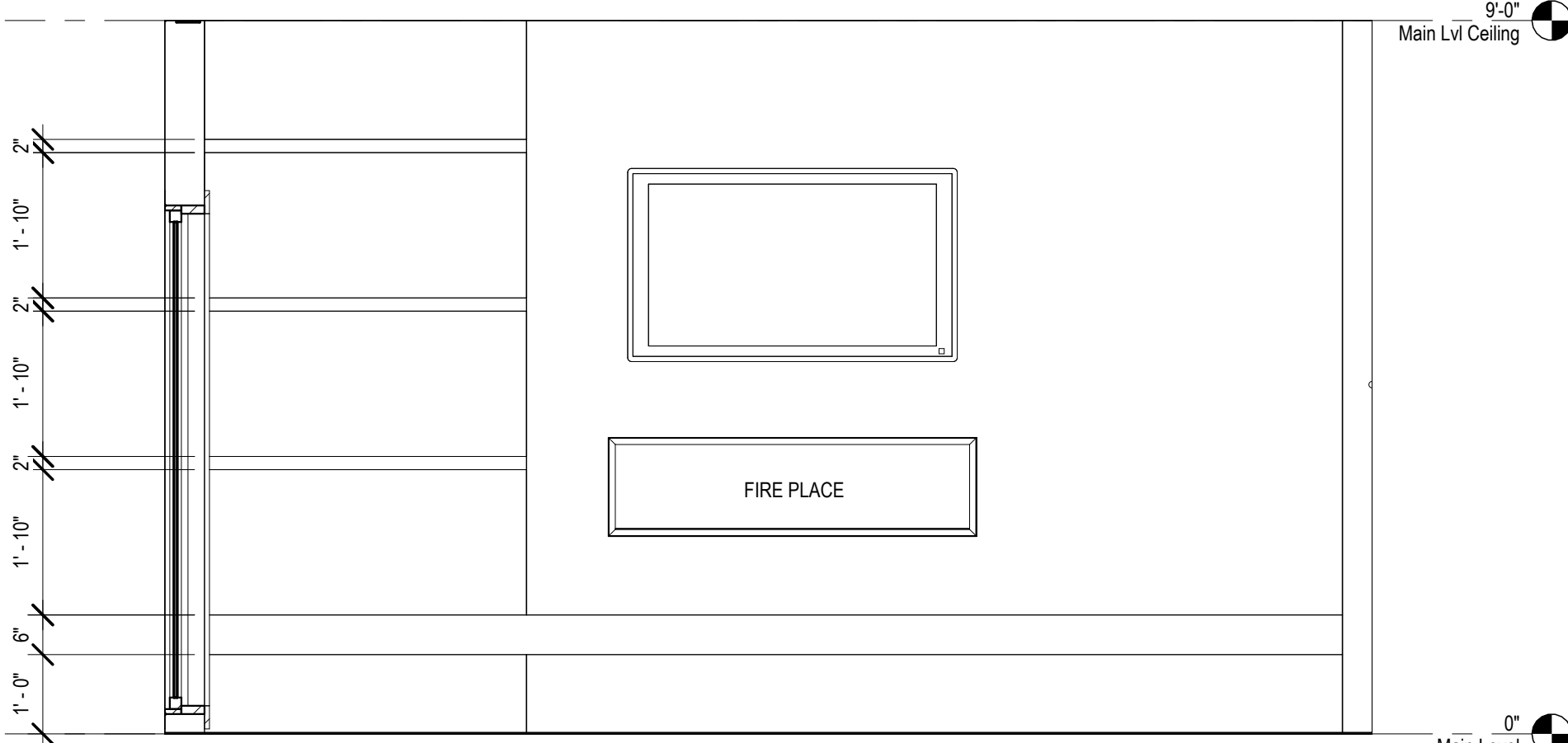
- DOORS AND WINDOW
- ALL GLAZING WITHIN 12" OF THE FINISHED FLOOR, ADJACENT TO DOORS < 24" AND WITHIN DOORS, ABOVE BATHTUBS TO BE SAFETY TYPE GLASS AND LABELED SUCH AS IN COMPLIANCE W/ SECTION 306 OF THE IRC.
 - SHOWER DOORS SHALL HAVE SAFETY GLAZING. HINGED SHOWER DOORS SHALL SWING OUTWARD.
- GARAGES:
- GARAGE SEPARATION WALL TO BE 1-HR CONST. W/ MIN. 3/8" TYPE X GWB, EXTEND TO BOTTOM OF ROOF. DOOR TO BE 20-MIN RATED, 1-3/8" S.C. & EQUIPPED W/ CLOSURE & LATCH.
 - 15 & 20-AMP RECEPTACLES SHALL HAVE GFCI PROTECTION.
 - TYPE X 5/8" GB REQUIRED ON GARAGE CEILING BELOW LIVING AREAS.
- LIGHT AND VENTILATION:
- PROVIDE STAIRWAY ILLUMINATION PER R303.7.2.
 - GABLE VENT & MUSHROOM VENTS TO PROVIDE A MIN. OF 10 S.F. NET FREE OF ATTIC VENTILATION.
 - FURNACES ENCLOSED IN A ROOM LESS THAN 100 S.F. SHALL BE PROVIDED WITH A MEANS OF COMBUSTION MAKE-UP AIR AS DETERMINED, CALCULATED AND PRESCRIBED BY MECH. CONTRACTOR.
 - VENTILATE KITCHENS AND LAUNDRY ROOMS PER R303.3.
 - PROVIDE MIN. 16" x 10" SOFFIT VENTS ALONG EAVE SPACED EVENLY W/ NO MORE THAN 8" O.C.
- GYP/SUM BOARD:
- GWB APPLIED TO CEILINGS SHALL BE 16" WHEN FRAMING MEMBERS ARE 16" O.C. OR 5/8" WHEN MEMBERS ARE 24" O.C. OR USE 1/2" SAG-RESISTANT GYP. CEILING BOARD.
- MECHANICAL SYSTEMS
- FURNACE & WATER HEATER SHALL BE ON 18" PLATFORMS WHEN PLACED IN A GARAGE OR ROOM W/ DIRECT ACCESS TO A GARAGE.
 - PROVIDE MIN. 7% AFUE FOR WEATHERIZED GAS HEATING EQUIP. 80% FOR NON-WEATHERIZED.
 - PROVIDE MIN. 1/4" SEER FOR AIR CONDITIONING EQUIPMENT.
 - SUPPLY AND RETURN DUCTS SHALL BE INSULATED TO MIN. R-8.
- ELECTRICAL SYSTEMS
- PROVIDE GROUND ENCASED IN CONCRETE FOOTING.
 - ALL ELECTRICAL CONDUCTORS SHALL BE COPPER.
 - RECEPT. IN THE FOLLOWING LOCATIONS SHALL BE GFCI PROTECTED:
 - BEDROOM, KITCHEN (WITHIN 6 FEET OF SINK), GARAGE, SHED, EXTERIOR, UNFINISHED BASEMENT & HEATED FLOORS.
 - ALL BRANCH CIRCUITS THAT SUPPLY 120-V. SINGLE PHASE, 15 & 20 AMP OUTLETS INSTALLED IN:
 - BEDROOMS, SUNROOMS, REC ROOMS, CLOSETS, HALLWAYS, & SIM. ROOMS SHALL BE PROTECTED BY A COMBINATION TYPE AFCI-FAULT CIRCUIT INTERRUPTER.
 - ALL 15 & 20-A RECEPT. SHALL BE LISTED TAMPER-RESISTANT.
 - EXCEPTION: RECEPTACLES IN THE FOLLOWING LOCATIONS SHALL NOT BE REQUIRED TAMPER-RESISTANT:
 - RECEPTACLES LOCATED MORE THAN 5 FEET APT.
 - WHERE SUCH RECEPTACLES ARE LOCATED IN SPACES DEDICATED FOR THE APPLIANCE SERVED & UNDER CONDITIONS OF NORMAL USE, THE APPLIANCES ARE NOT EASILY MOVED. APPLIANCES TO BE CORN-PLUG CONNECTED TO RECEPT.
- EXTERIOR WALL FRAMING
- BOTTOM SILL PLATES SHALL BE PRESSURE TREATED OR EQUAL.
 - SILL PLATES SHALL BE EXTENDED MIN. 6-INCHES ABOVE GRADE.
 - ALL EXT. STUDS TO BE SECURED TO THEIR DOUBLE TOP PLATES W/ (2) 16d NAILS (MIN).
 - ALL EXTERIOR CORNERS TO BE BRACED WITH 7/16" OSB NAILING SCHEDULE SHALL BE AS COMMON @ 16" O.C. ALONG EDGES & AS COMMON @ 12" O.C. @ INTERMEDIATE STUDS.
- ROOF FRAMING
- ALL ROOF EAVES OVERHANGS TO BE 16" UNO.
 - ALL JOISTS & RAFTERS TO BE ALIGNED OVER SLDS.
 - ROOF SHEATHING SHALL BE 7/16" OSB LAD W/ LONG DIMENSION PERPENDICULAR TO EAVE LINE & STAGGERED 48" O.C. W/ LONG DIMENSION PERPENDICULAR TO EAVE LINE & STAGGERED 48" O.C. W/ GALLY SPACER CLIPS ALONG ALL EDGES. SECURE SHEATHING W/ 6d COMMON NAILS TO RAFTERS AT 16" O.C. ALL EDGES.
- UNFINISHED BASEMENT REQUIREMENTS
- FIRE PROTECTION OF FLOORS: FLOOR ASSEMBLIES CONSTRUCTED W/ JOISTS LESS THAN 2X10 DIMENSIONAL LUMBER.
 - JOISTS OR OPEN WEB JOISTS OVER UNFINISHED BASEMENTS SHALL BE PROVIDED WITH 5/8" GWB.
 - UNFINISHED BASEMENTS SHALL BE MIN. R-13 INSULATED WALL OR INSULATED ON FLOOR/CEILING (MIN R-19).
 - ALL EXPOSED HVAC DUCTING IN UNFINISHED BASEMENTS TO BE MIN R-8 INSULATED OR ENCLOSED INSIDE A FLOOR/CEILING.
 - UNFINISHED BASEMENTS SHALL HAVE NO CONDITIONED AIR OUTLETS.
- EROSION CONTROL
- EROSION CONTROL MEASURES SHALL BE IN PLACE & IN GOOD WORKING ORDER AT ALL TIMES DURING INSPECTIONS. IN THE EVENT THAT THEY ARE NOT, THE INSPECTOR MAY CANCEL THE INSPECTION UNTIL SUCH TIME THE EROSION CONTROL MEASURES ARE IN PLACE. A FINE, AS INSPECTION FEE & STOP WORK ORDER MAY BE ISSUED IF EROSION CONTROL IS NOT ADDRESSED. MINIMUMS INCLUDE:
 - A. SILT FENCE OR STRAW WATTLE AROUND ALL DISTURBED SOIL. SHALL BE IN PLACE BEFORE ANY EXCAVATION BEGINS.
 - B. TEMPORARY GRAVEL CONSTRUCTION ENTRANCE. THIS ENTRANCE SHOULD BE THE ONLY ENTRANCE & EXIT USED FOR VEHICLES INTO & OUT OF THE SITE.
 - C. STREETS SHALL BE MAINTAINED FREE OF ALL SOIL & GRAVEL IN A BROOM CLEAN CONDITION AT ALL TIMES.
- WOOD FRAMING, FLOORS AND ROOF NOTES:
- EXT. WALL FRAMING TO BE 2x4 (SYP OR DFL STUD GRADE 2 OR BETTER) @ 16" O.C.
 - ROOF SHEATHING TO BE 7/16" OSB NAILED W/ 8d @ 16" O.C. PANEL INDEX 240; PROVIDE CLIPS AT UNSUPPORTED PANEL EDGES.
 - SHEATH EXT. WALLS W/ 7/16" OSB NAILED W/ 8d @ 16" O.C.
 - HEADERS PROVIDE (2) 2x4 (SYP OR DFL #2 OR BETTER) UNO. CONSTRUCT HEADERS W/ 2x4 & 7/16" OSB BETWEEN W/ (2) ROWS OF 16d @ 16" O.C.
 - BLOCKING MIN. 1.5 INCHES UTILITY GRADE LUMBER JOISTS TO BE SUPPORTED AT ENDS FULL DEPTH SOLID BLOCKING NOT < 2 INCHES.
 - I.F. J. C.I. & RAFTERS TO BE SYP OR DFL GRADE #2 OR BETTER.
 - EXT. WALL STUDS & LOAD BEARING WALLS TO BE CONTINUOUS FROM FLOOR TO ROOF/CEILING DIAPHRAGM PER IRC R303.3.
 - STUDS, RAFTERS, JOISTS, MIS. LUMBER MIN. GRADE #2 D.F. OR S.Y.P.
- PHYSICAL SECURITY ORDINANCE
- UNIVERSITY/BLDGR IS RESPONSIBLE FOR COMPLIANCE OF PHYSICAL SECURITY ORDINANCE FOR THEIR LOCAL JURISDICTION.



DECK LATERAL CONNECTION DETAIL
1 1/2" = 1'-0"



Ref. R.O. Elevation
1/2" = 1'-0"



Fire Place Elevation
1/2" = 1'-0"

Main Level Floor Plan
1/4" = 1'-0"

architect:
Elevate Design + Build
350 SW Longview Blvd
Lee's Summit, MO 64081
816.622.8826 voice
www.elevatedesignbuildkc.com



AUGUST 13, 2024

REVISIONS

Number	DESCRIPTION	DATE
--------	-------------	------

PROJECT

Address : 2230 SW Crown Drive,
Lee's Summit, MO
Lot : HF 199
DRAWING TITLE

Floor Plan - Main Level

DATE ISSUED

9/12/2024

NORTH



DRAWING NUMBER

A103

General Notes:

- DOORS AND WINDOW
- ALL GLAZING WITHIN 12" OF THE FINISHED FLOOR, ADJACENT TO DOORS - 20" AND WITHIN DOORS, ABOVE BATHTUBS TO BE SAFETY TYPE GLASS AND LABELED SUCH AS IN COMPLIANCE W/ SECTION 308 OF THE IRC.
 - SHOWER DOORS SHALL HAVE SAFETY GLAZING. HINGED SHOWER DOORS SHALL SWING OUTWARD.
- GARAGES:
- GARAGE SEPARATION WALL TO BE 1-HR CONST. W/ MIN. 30" TYPE X GWB, EXTEND TO BOTTOM OF ROOF. DOOR TO BE 20-MIN RATED, 1-3/8" S.C. & EQUIPPED W/ CLOSURE & LATCH.
 - 15 & 20-AMP RECEPTACLES SHALL HAVE GFCI PROTECTION.
 - TYPE X 5/8" GB REQUIRED ON GARAGE CEILING BELOW LIVING AREAS.
- LIGHT AND VENTILATION:
- PROVIDE STAIRWAY ILLUMINATION PER R303.2.
 - GABLE VENT & MUSHROOM VENTS TO PROVIDE A MIN. OF 10 S.F. NET FREE OF ATTIC VENTILATION.
 - FURNACES ENCLOSED IN A ROOM LESS THAN 100 S.F. SHALL BE PROVIDED WITH A MEANS OF COMBUSTION MAKE-UP AIR AS DETERMINED/CALCULATED AND PRESCRIBED BY MECH. CONTRACTOR.
 - VENTILATE KITCHENS AND LAUNDRY ROOMS PER R303.3.
 - PROVIDE MIN. 16" x 10" SOFFIT VENTS ALONG LEAVE SPACED EVENLY W/ NO MORE THAN 8" O.C.

- GYPSONUM BOARD
- GWB APPLIED TO CEILINGS SHALL BE 16" WHEN FRAMING MEMBERS ARE 16" O.C. OR 5/8" WHEN MEMBERS ARE 24" O.C. OR USE 1/2" SAG-RESISTANT GYP. CEILING BOARD.

- MECHANICAL SYSTEMS
- FURNACE & WATER HEATER SHALL BE ON 18" PLATFORMS WHEN PLACED IN A GARAGE OR ROOM W/ DIRECT ACCESS TO A GARAGE.
 - PROVIDE MIN. 75% AFUE FOR WEATHERIZED GAS HEATING EQUIP. 80% FOR NON-WEATHERIZED.
 - PROVIDE MIN. 14 SEER FOR AIR CONDITIONING EQUIPMENT.
 - SUPPLY AND RETURN DUCTS SHALL BE INSULATED TO MIN. R-8.

- ELECTRICAL SYSTEMS
- PROVIDE UFER GROUND ENCASED IN CONCRETE FOOTING.
 - ALL ELECTRICAL CONDUCTORS SHALL BE COPPER.
 - RECEPT. IN THE FOLLOWING LOCATIONS SHALL BE GFCI PROTECTED:
 - BEDROOM, KITCHEN (W/IN 6 FEET OF SINK), GARAGE, SHED, EXTERIOR, UNFINISHED BASEMENT & HEATED FLOORS.
 - ALL BRANCH CIRCUITS THAT SUPPLY 120-V. SHINGLE PHASE, 15 & 20 AMP OUTLETS INSTALLED IN:
 - BEDROOMS, SUNROOMS, REC ROOMS, CLOSETS, HALLWAYS, & SIM. ROOMS SHALL BE PROTECTED BY A COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
 - ALL 15 & 20-A RECEPT. SHALL BE LISTED TAMPER-RESISTANT.
 - EXCEPTION: RECEPT. IN THE FOLLOWING LOCATIONS SHALL NOT BE REQUIRED TAMPER-RESISTANT:
 - RECEPTACLES LOCATED MORE THAN 5 FEET APT.
 - WHERE SUCH RECEPTACLES ARE LOCATED IN SPACES DEDICATED FOR THE APPLIANCE SERVED & UNDER CONDITIONS OF NORMAL USE, THE APPLIANCES ARE NOT EASILY MOVED. APPLIANCES TO BE CORD-N-PLUG CONNECTED TO RECEPT.

- EXTERIOR WALL FRAMING
- BOTTOM SILL PLATES SHALL BE PRESSURE TREATED OR EQUAL.
 - SILL PLATES SHALL BE EXTENDED MIN. 6-INCHES ABOVE GRADE.
 - ALL EXT. STUDS TO BE SECURED TO THEIR DOUBLE TOP PLATES W/ (2) 16-4 NAILS (MIN).
 - ALL EXTERIOR CORNERS TO BE BRACED WITH 7/16" OSB NAILING SCHEDULE SHALL BE 6" COMMON @ 16" O.C. ALONG EDGES & 6" COMMON @ 12" O.C. @ INTERMEDIATE STUDS.

- ROOF FRAMING
- ALL ROOF EAVES OVERHANGS TO BE 16" LONG.
 - ALL JOISTS & RAFTERS TO BE ALIGNED OVER SLIDS.
 - ROOF SHEATHING SHALL BE 7/16" OSB LAD W/ LONG DIMENSION PERPENDICULAR TO EAVE LINE & STAGGERED 48" O.C. W/ LONG DIMENSION PERPENDICULAR TO EAVE LINE & STAGGERED 48" O.C. W/ GALLY SPACER CLIPS ALONG ALL EDGES. SECURE SHEATHING W/ 6" COMMON NAILS TO RAFTERS AT 16" O.C. ALL EDGES.

- UNFINISHED BASEMENT REQUIREMENTS
- FIRE PROTECTION OF FLOORS: FLOOR ASSEMBLIES CONSTRUCTED W/ JOISTS LESS THAN 2X10 DIMENSIONAL LUMBER.
 - JOISTS OR OPEN WEB JOISTS OVER UNFINISHED BASEMENTS SHALL BE PROVIDED WITH 5/8" GWB.
 - UNFINISHED BASEMENTS SHALL BE MIN. R-13 INSULATED WALL OR INSULATED ON FLOOR/CEILING (MIN R-19).
 - ALL EXPOSED HVAC DUCTING IN UNFINISHED BASEMENTS TO BE MIN R-8 INSULATED OR ENCLOSED INSIDE A FLOOR/CEILING.
 - UNFINISHED BASEMENTS SHALL HAVE NO CONDITIONED AIR OUTLETS.

- EROSION CONTROL
- EROSION CONTROL MEASURES SHALL BE IN PLACE & IN GOOD WORKING ORDER AT ALL TIMES DURING INSPECTIONS. IN THE EVENT THAT THEY ARE NOT, THE INSPECTOR MAY CANCEL THE INSPECTION UNTIL SUCH TIME THE EROSION CONTROL MEASURES ARE IN PLACE. A FINE, NO INSPECTION FEE & STOP-WORK ORDER MAY BE ISSUED IF EROSION CONTROL IS NOT ADDRESSED. MINIMUMS INCLUDE:
 - A. SILT FENCE OR STRAW BATTLE AROUND ALL DISTURBED SOIL. SHALL BE IN PLACE BEFORE ANY EXCAVATION BEGINS.
 - B. TEMPORARY GRAVEL CONSTRUCTION ENTRANCE. THIS ENTRANCE SHOULD BE THE ONLY ENTRANCE & EXIT USED FOR VEHICLES INTO & OUT OF THE SITE.
 - C. STREETS SHALL BE MAINTAINED FREE OF ALL SOIL & GRAVEL IN A BROOM CLEAN CONDITION AT ALL TIMES.

- WOOD FRAMING, FLOORS AND ROOF NOTES:
- EXT. WALL FRAMING TO BE 2x4 (SYP OR DFL STUD GRADE 2 OR BETTER) @ 16" O.C.
 - ROOF SHEATHING TO BE 7/16" OSB NAILED W/ 8d @ 6" O.C. PANEL INDEX 240; PROVIDE CLIPS AT UNSUPPORTED HANG EDGES.
 - SHEATH EXT. WALLS W/ 7/16" OSB NAILED W/ 8d @ 6" O.C.
 - HEADERS: PROVIDE 2x4 (SYP OR DFL #2 OR BETTER); UNDO. CONSTRUCT HEADERS W/ 2x3 & 7/16" OSB BETWEEN W/ (2) ROWS OF 16d @ 16" O.C.
 - BLOCKING MIN. 1.5 INCHES UTILITY GRADE LUMBER; JOISTS TO BE SUPPORTED AT ENDS FULL DEPTH SOLID BLOCKING NOT < 2 INCHES.
 - I.F. J. C.J. & RAFTERS TO BE SYP OR DFL GRADE #2 OR BETTER.
 - EXT. WALL STUDS & LOAD BEARING WALLS TO BE CONTINUOUS FROM FLOOR TO ROOF/CEILING DIAPHRAGM PER IRC 602.3.
 - STUDS, RAFTERS, JOISTS, MIS. LUMBER MIN. GRADE #2 D.F. OR S.Y.P.

- PHYSICAL SECURITY ORDINANCE
- OWNER/BUILDER IS RESPONSIBLE FOR COMPLIANCE OF PHYSICAL SECURITY ORDINANCE FOR THEIR LOCAL JURISDICTION.

architect:
Elevate Design + Build
350 SW Longview Blvd
Lee's Summit, MO 64081
816.622.8826 voice
www.elevatedesignbuildkc.com

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION.



AUGUST 13, 2024

REVISIONS

Number	DESCRIPTION	DATE
--------	-------------	------

PROJECT

Address : 2230 SW Crown Drive,
Lee's Summit, MO
Lot : HF 199
DRAWING TITLE

Floor Plan - Second Floor

DATE ISSUED

9/12/2024

NORTH



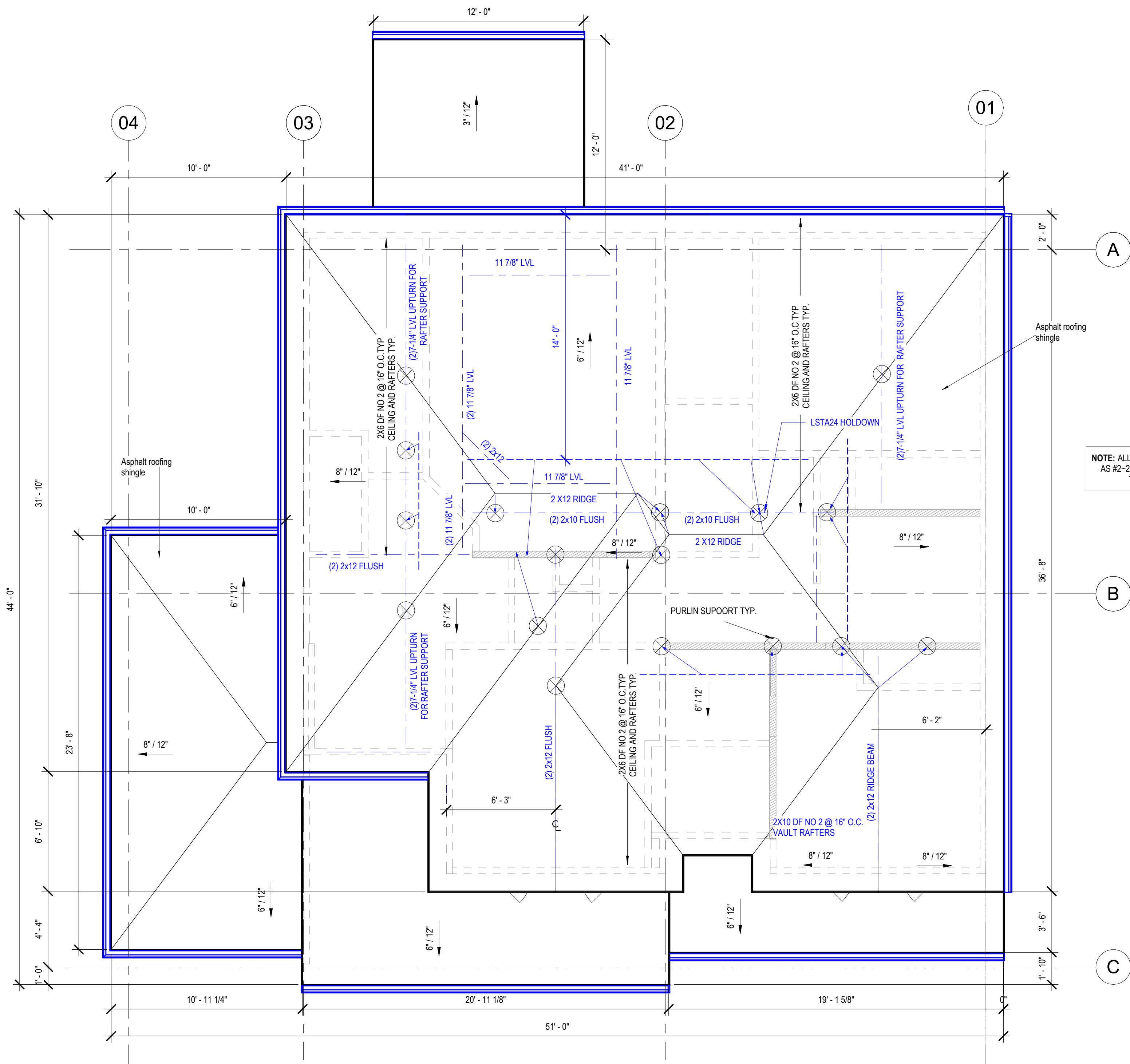
DRAWING NUMBER

A104

RELEASE FOR CONSTRUCTION
AS NOTED FOR PLAN REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
09/18/2024

1 Second Floor Plan
1/4" = 1'-0"

North Bend



1 Roof Plan
1/4" = 1'-0"

architect:
Elevate Design + Build
350 SW Longview Blvd
Lee's Summit, MO 64081
816.622.8826 voice
www.elevatedesignbuildkc.com

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS
AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR
CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



AUGUST 13, 2024

REVISIONS

Number	DESCRIPTION	DATE
--------	-------------	------

PROJECT

Address : 2230 SW Crown Drive,
Lee's Summit, MO
Lot : HF 199
DRAWING TITLE
Roof Plan

DATE ISSUED

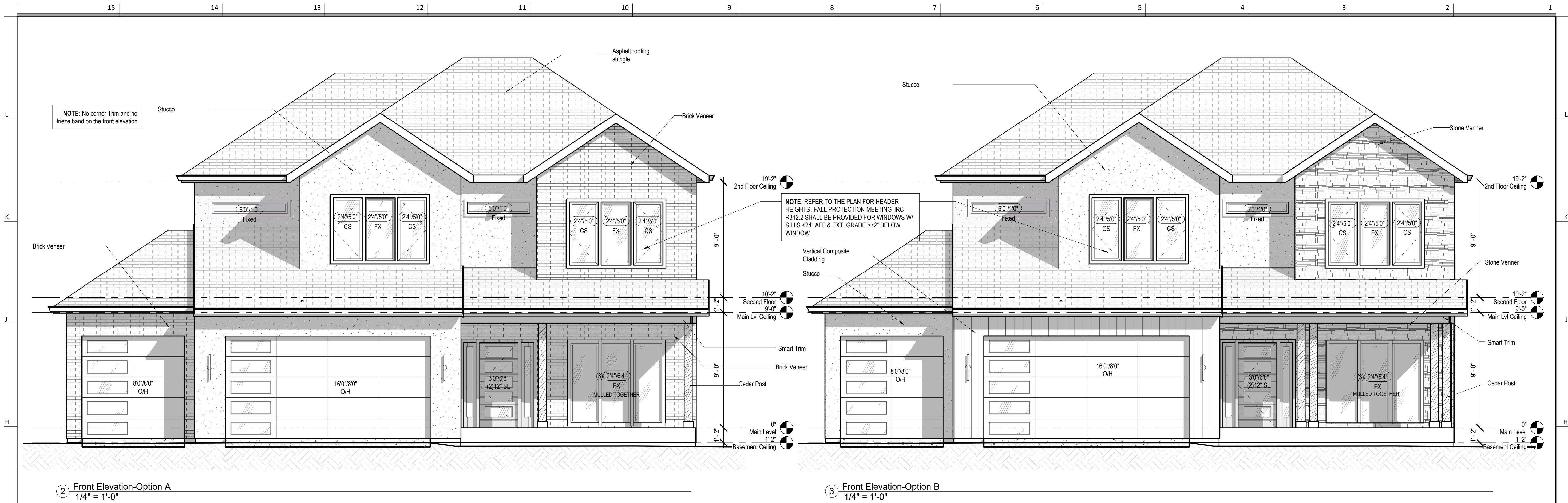
9/12/2024

NORTH



DRAWING NUMBER

A105



architect:
Elevate Design + Build
350 SW Longview Blvd
Lee's Summit, MO 64081
816.622.8826 voice
www.elevatedesignbuildkc.com

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



AUGUST 13, 2024

REVISIONS

Number	DESCRIPTION	DATE
--------	-------------	------

PROJECT

Address : 2230 SW Crown Drive,
Lee's Summit, MO
Lot : HF 199
DRAWING TITLE
Elevations

DATE ISSUED

9/12/2024

DRAWING NUMBER

A201

North Bend

architect:
Elevate Design + Build
350 SW Longview Blvd
Lee's Summit, MO 64081
816.622.8826 voice
www.elevatedesignbuildkc.com

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS
AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR
CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



AUGUST 13, 2024

REVISIONS

Number	DESCRIPTION	DATE
--------	-------------	------

PROJECT

Address : 2230 SW Crown Drive,

Lee's Summit, MO

Lot : HF 199

DRAWING TITLE

Elevations

DATE ISSUED

9/12/2024

DRAWING NUMBER

A202

0:\Shared drives\06 - Architecture\02 - Master Plans\North Bend\01 RELEASE FOR CONSTRUCTION.dwg

AS NOTED FOR PLAN REVIEW

DEVELOPMENT SERVICES

LEE'S SUMMIT, MISSOURI

09/18/2024



North Bend

architect:
Elevate Design + Build
350 SW Longview Blvd
Lee's Summit, MO 64081
816.622.8826 voice
www.elevatedesignbuildkc.com

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS
AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR
CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



AUGUST 13, 2024

REVISIONS

Number	DESCRIPTION	DATE
--------	-------------	------

PROJECT

Address : 2230 SW Crown Drive,
Lee's Summit, MO
Lot : HF 199
DRAWING TITLE

Floor Plan & Elevations-Full
Basement 1

DATE ISSUED 9/12/2024	NORTH ↑
--------------------------	------------

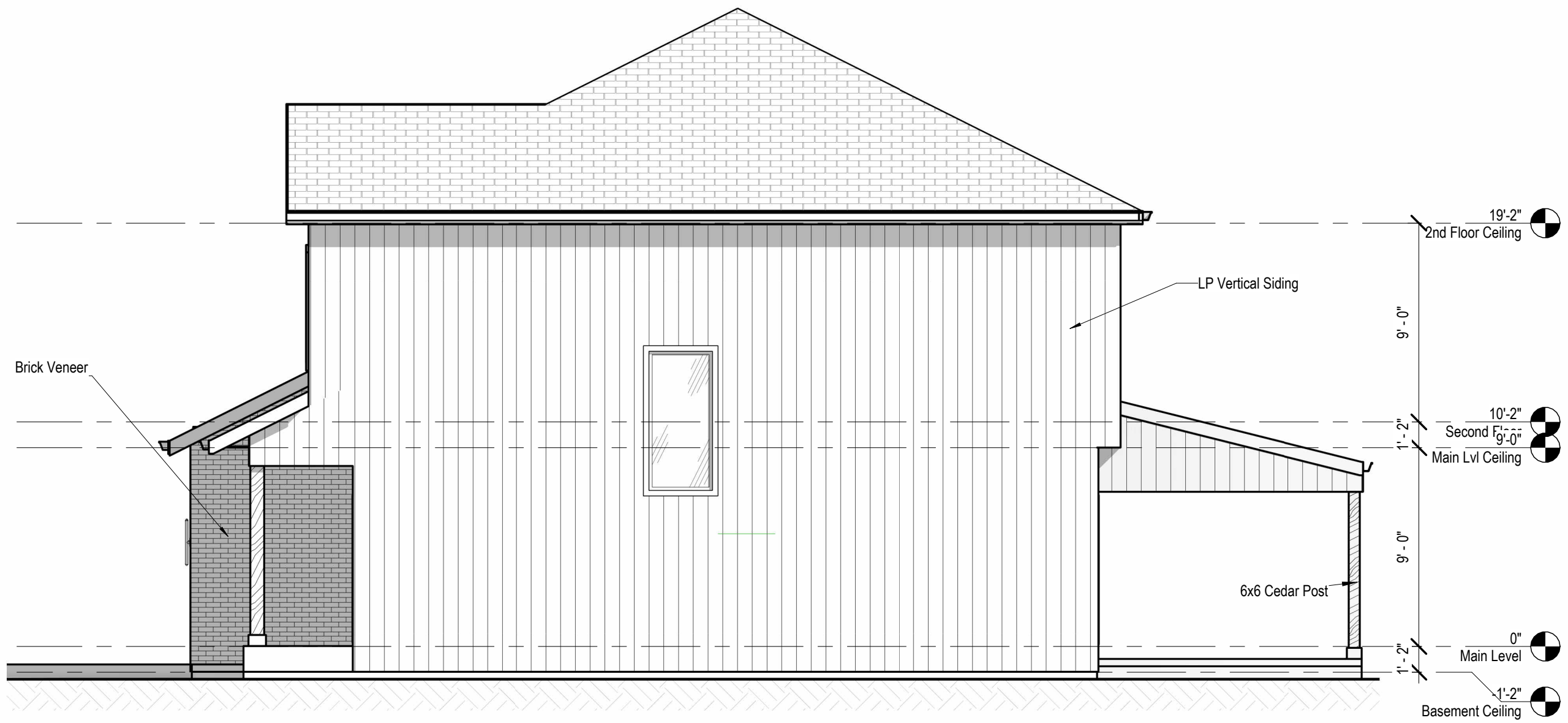
DRAWING NUMBER

A203

RELEASE FOR CONSTRUCTION
AS NOTED FOR PLAN REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
09/18/2024

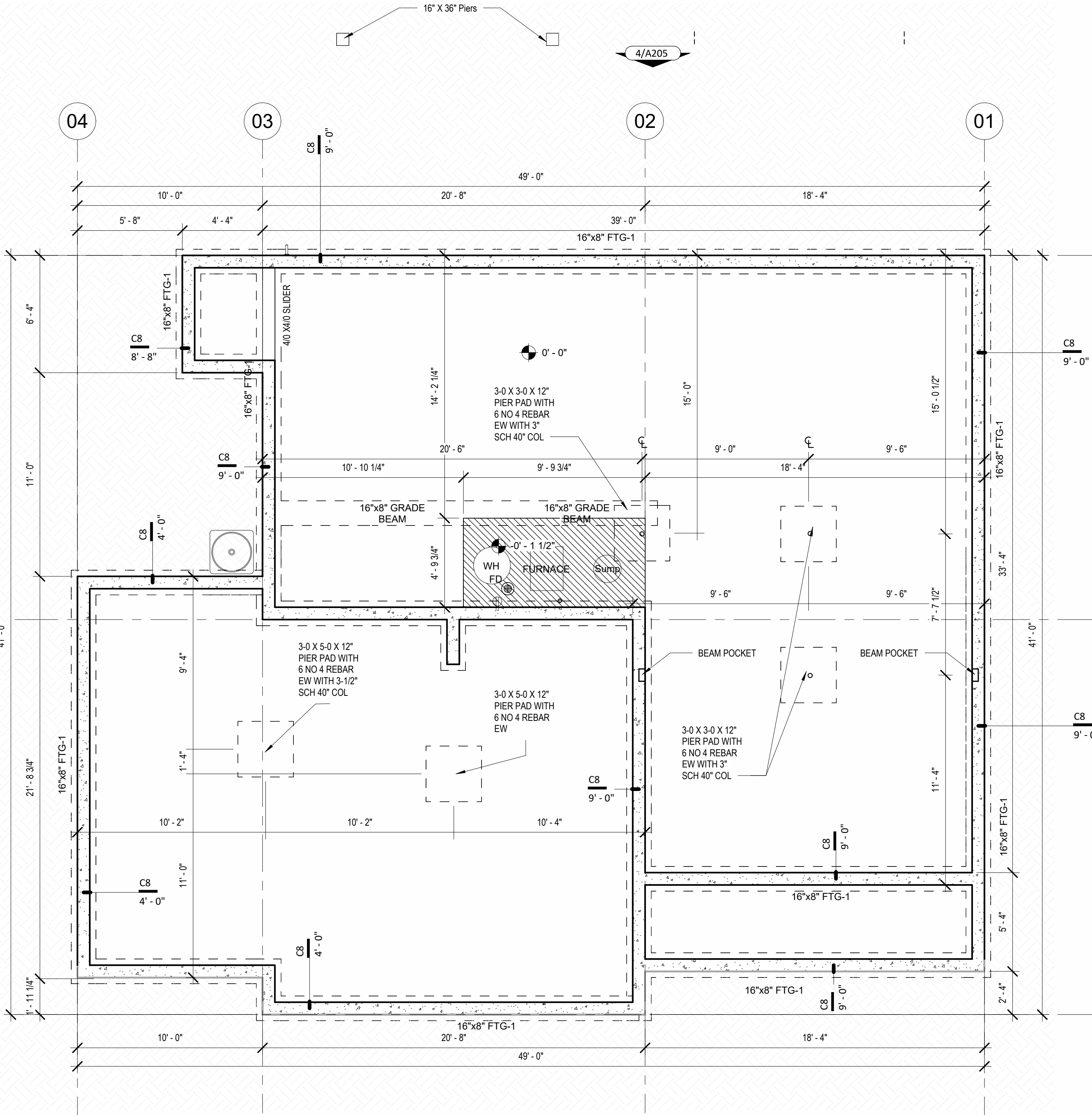


1 Rear Elevation - Full Basement
3/16" = 1'-0"



3 Left Elevation- Full Basement
3/16" = 1'-0"

2 Foundation -Full Basement (Optional)
1/4" = 1'-0"



architect:
Elevate Design + Build
350 SW Longview Blvd
Lee's Summit, MO 64081
816.622.8826 voice
www.elevatedesignbuildkc.com

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS
AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR
CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



AUGUST 13, 2024

REVISIONS

Number	DESCRIPTION	DATE
--------	-------------	------

PROJECT

Address : 2230 SW Crown Drive,
Lee's Summit, MO
Lot : HF 199
DRAWING TITLE

Floor Plan & Elevations-Full
Basement 2

DATE ISSUED

9/12/2024

NORTH



DRAWING NUMBER

A204

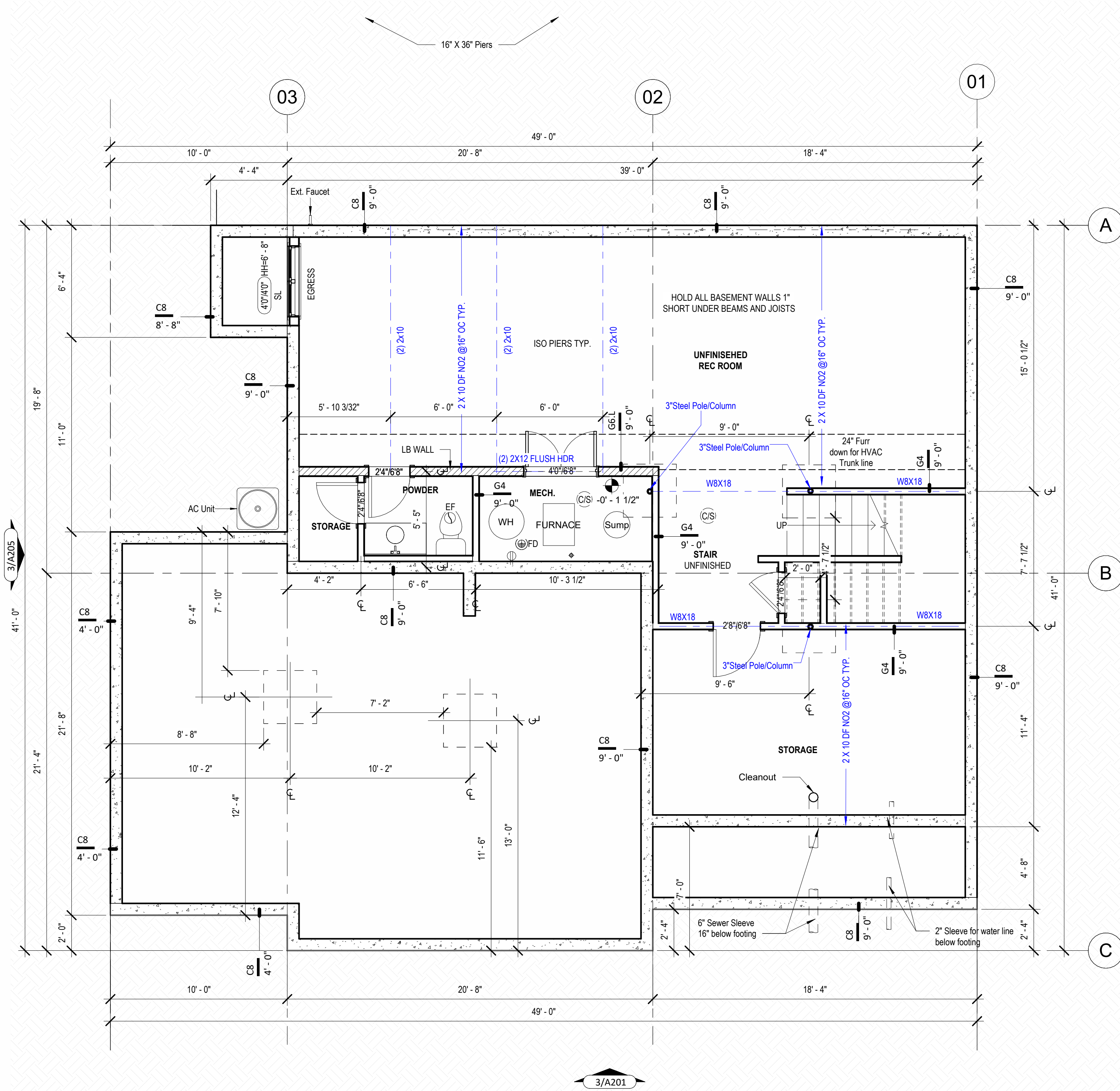
©:Shared drive\06 - Architecture\02 - Master Plan\North Bend\01-RELEASE FOR CONSTRUCTION

AS NOTED FOR PLAN REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI

09/18/2024

Door Schedule - Full Basement				
Door Type	Width	Height	Head Height	Count
Sliding Door	6'-0"	6'-8"	6'-8"	1
Wayfair 2 panel sliding room divider	6'-0"	6'-8"	6'-8"	1
Garage shutter style-4 Panel	16'-0"	6'-0"	5'-2"	1
Garage shutter style-2 Panel	8'-0"	8'-0"	7'-2"	1
Double Flush Door	2'-8"	6'-8"	6'-8"	1
Double Flush Door	4'-0"	6'-8"	6'-8"	2
Single Flush Door	4'-0"	6'-8"	6'-8"	1
Pocket Door	2'-4"	6'-8"	6'-8"	1
Single Flush Door	2'-0"	6'-8"	6'-8"	2
Single Flush Door	2'-4"	6'-8"	6'-8"	10
Single Flush Door	2'-6"	6'-8"	6'-8"	4
Single Flush Door	2'-8"	6'-8"	6'-8"	4
Exterior door w/ (2) 12" Side Lite	3'-0"	6'-8"	6'-8"	1

Window Schedule - Full Basement					
Type	Rough Opening		Head Height	Count	Level
	Width	Height			
Casement Window	2'-4"	5'-0"	7'-6"	2	Second Floor
Casement Window	2'-4"	5'-0"	7'-10"	2	Second Floor
Double Hung Window	3'-0"	5'-0"	6'-8"	3	Second Floor
Fixed Window	2'-4"	6'-4"	6'-8"	3	Main Level
Fixed Window	3'-0"	6'-5"	6'-8"	4	Main Level
Fixed Window	2'-4"	5'-0"	7'-6"	1	Second Floor
Fixed Window	5'-0"	1'-0"	7'-6"	1	Second Floor
Fixed Window	6'-0"	1'-0"	7'-6"	1	Second Floor
Fixed Window	2'-4"	5'-0"	7'-10"	1	Second Floor
Fixed Window	3'-0"	6'-5"	13'-5"	1	Main Level
Slider Window	4'-0"	4'-0"	6'-8"	1	Basement



1 Full Basement Floor Plan (Optional)
1/4" = 1'-0"

4 Right Elevation - Full Basement
3/16" = 1'-0"

architect:
Elevate Design + Build
350 SW Longview Blvd
Lee's Summit, MO 64081
816.622.8826 voice
www.elevatedesignbuildkc.com

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS
AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR
CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



AUGUST 13, 2024

REVISIONS

Number	DESCRIPTION	DATE
--------	-------------	------

PROJECT

Address : 2230 SW Crown Drive,
Lee's Summit, MO
Lot : HF 199
DRAWING TITLE

Floor Plan & Elevations-Daylight

DATE ISSUED

9/12/2024

NORTH



DRAWING NUMBER

A205

RELEASE FOR CONSTRUCTION
AS NOTED FOR PLAN REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
09/18/2024

Door Schedule - Daylight				
Door Type	Width	Height	Head Height	Count
Sliding Door	6'-0"	6'-8"	6'-8"	1
Wayfar 2 panel sliding room divider	6'-0"	6'-8"	6'-8"	1
Garage shutter style-4 Panel	16'-0"	6'-0"	5'-2"	1
Garage shutter style-2 Panel	8'-0"	8'-0"	7'-2"	1
Double Flush Door	2'-8"	6'-8"	6'-8"	1
Double Flush Door	4'-0"	6'-8"	6'-8"	2
Single Flush Door	4'-0"	6'-8"	6'-8"	1
Pocket Door	2'-4"	6'-8"	6'-8"	1
Single Flush Door	2'-0"	6'-8"	6'-8"	2
Single Flush Door	2'-4"	6'-8"	6'-8"	10
Single Flush Door	2'-6"	6'-8"	6'-8"	4
Single Flush Door	2'-8"	6'-8"	6'-8"	4
Exterior door w/ (2) 12" Side Lite	3'-0"	6'-8"	6'-8"	1

Window Schedule - Daylight					
Window Type	Rough Opening		Head Height	Count	Level
	Width	Height			
Casement Window	2'-4"	5'-0"	7'-6"	2	Second Floor
Casement Window	2'-4"	3'-0"	7'-10"	2	Second Floor
Double Hung Window	3'-0"	5'-0"	6'-8"	3	Second Floor
Fixed Window	2'-4"	6'-4"	6'-8"	3	Main Level
Fixed Window	3'-0"	3'-0"	6'-8"	6	Basement
Fixed Window	3'-0"	6'-5"	6'-8"	4	Main Level
Fixed Window	2'-4"	5'-0"	7'-6"	1	Second Floor
Fixed Window	5'-0"	1'-0"	7'-6"	1	Second Floor
Fixed Window	6'-0"	1'-0"	7'-6"	1	Second Floor
Fixed Window	2'-4"	5'-0"	7'-10"	1	Second Floor
Fixed Window	3'-0"	6'-5"	13'-5"	1	Main Level

2 Left Elevation Daylight
1/8" = 1'-0"

3 Right Elevation Daylight
1/8" = 1'-0"

4 Rear Elevation Daylight
1/8" = 1'-0"

1 Basement Floor Daylight (Optional)
1/4" = 1'-0"

15 14 13 12 11 10 9 8 7 6 5 4 3 2 1

NOTE

- WHERE ADJACENT GRADE IS 2'-0" OR LESS A GUARD IS NOT REQUIRED.
- DECK DESIGN LOAD IS BASED ON 100 lb/sq.ft. AS PER NATIONAL BUILDING CODE.
- WHERE JOIST SPAN EXCEEDS 7'-0", PROVIDE BRIDGING @ MID-SPAN (AS SHOWN)

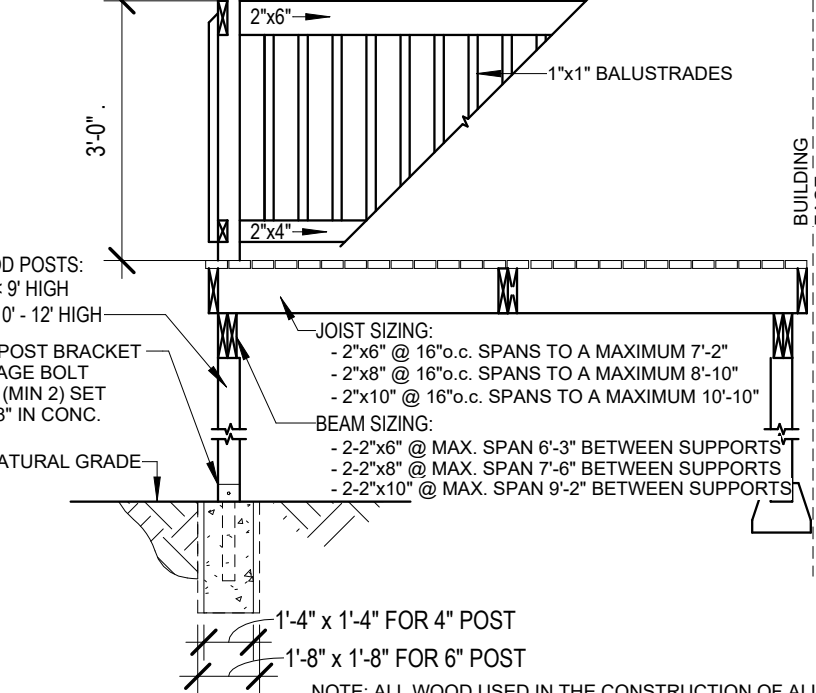
DECK LEDGER ATTACHMENT

- (2) LAGS REQUIRED AT EA. END 2" FROM ENDS
- PROVIDE 1 x 4 TREATED SPACED BEHIND EA. LAG
- PROVIDE LAGS IN EA. JOIST SPACE W/ (2) EVERY OTHER SPACE, 2" FROM EDGES
- MIN. SIZE LAG IS 1/2" DIA. x 6" LENGTH
- PROVIDE FLASHING BETWEEN RIM JOIST & LEDGER

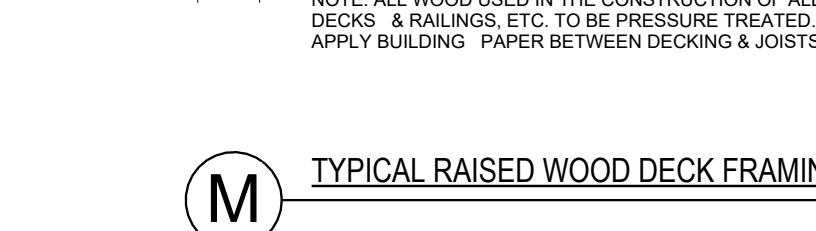
OPTIONAL FOOTING

- PROVIDE DECK SUPPORT BLOCK @ EACH POST ON 1/2" THICK GRANULAR BASE EXTENDING A MINIMUM OF 6" AROUND PERIMETER OF CONCRETE BLOCK & TAMPED

ALL WINDOW HEADS ON UPPER LEVEL TO BE @ 7'-0" U.N.O. FALL PROTECTION MEETING IRC R312.2 SHALL BE PROVIDED FOR WINDOWS W/ SILLS <24" AFF. & EXT. GRADE >1/2" BELOW WINDOW



TYPICAL RAISED WOOD DECK FRAMING



PIER/POST FOOTING FOR DECK ONLY

GENERAL NOTES AND REQUIREMENTS

DOORS AND WINDOWS:

- ALL GLAZING WITHIN 12" OF THE FINISHED FLOOR, ADJACENT TO DOORS <24" AND WITHIN DOORS, ABOVE BATHTUBS TO BE SAFETY TYPE GLASS AND LABELED SUCH THAT THEY ARE NOT. THE INSPECTOR MAY CANCEL THIS INSPECTION UNTIL SUCH TIME THE INSPECTION CONTROL MEASURES ARE IN PLACE. A FINE, INSPECTION FEE & STOP-WORK ORDER MAY BE ISSUED IF EROSION CONTROL IS NOT ADDRESSED

SHOWER DOORS SHALL HAVE SAFETY GLAZING. HINGED SHOWER DOORS SHALL SWING OUTWARD

GARAGES:

- GARAGE SEPARATION WALL TO BE 1-HR CONST. W/ MIN. 5/8" TYPE X GWB. EXTEND TO ROOF OR ROOF DOOR TO BE 20-MIN RATED, 1-3/8" S.C. & EQUIPPED W/ CLOSER & LATCH
- 15 & 20-AMP RECEPTACLES SHALL HAVE GFCI PROTECTION
- TYPE-X 5/8" GBS REQUIRED ON GARAGE CEILING BELOW LIVING AREAS

LIGHT AND VENTILATION:

- PROVIDE STAIRWAY ILLUMINATION PER R303.7.9
- GABLE VENT & MUSHROOM VENTS TO PROVIDE A MIN. OF 10 S.F. NET-FREE OF ATTIC VENTILATION
- FURNACES ENCLOSED IN A ROOM LESS THAN 100 S.F. SHALL BE PROVIDED W/ A MEANS OF COMBUSTION MAKE-UP AIR AS DETERMINED BY MECH. CONTRACTOR
- VENTILATE KITCHENS AND LAUNDRY ROOMS PER R303.3
- PROVIDE MIN. 16" x 10" SOFFIT VENTS ALONG EAVE SPACED EVENLY W/ NO MORE THAN 8'-0" O.C.

GYPSUM BOARD:

- G.B. APPLIED TO CEILING SHALL BE 1/2" WHEN FRAMING MEMBERS ARE 16" O.C. OR 18" WHEN MEMBERS ARE 24" O.C. OR USE 1/2" SAG-RESISTANT GYP. CEILING BOARD

MECHANICAL SYSTEMS:

- FURNACE & WATER HEATER SHALL BE ON 18" PLATFORMS IF PLACED IN A GARAGE OR ROOM W/ DIRECT ACCESS TO A GARAGE
- PROVIDE MIN. 78% AFUE FOR WATERHEATERS GAS HEATING EQUIP. 80% FOR NON-WATERHEATERS
- ELECTRIC MIN. 13 SEER FOR AIR CONDITIONING EQUIPMENT
- SUPPLY AND RETURN DUCTS SHALL BE INSULATED TO MIN. R-8

ELECTRONIC SYSTEMS:

- PROVIDE UFER GROUND ENCASED IN CONCRETE FOOTING IN ACCORDANCE WITH IRC SECTION 3608.1
- ALL ELECTRICAL CONDUCTORS SHALL BE COPPER
- RECEPT. IN THE FOLLOWING LOCATIONS SHALL BE GFCI PROTECTED: BEDROOM, KITCHEN (W/IN 6 FEET OF SINK), GARAGE, SHED, EXTERIOR, UNFINISHED BASEMENT & HEATED FLOORS
- ALL BRANCH CIRCUITS THAT SUPPLY 120-V, SINGLE PHASE, 15 & 20 AMP OUTLETS INSTALLED IN: FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, REC ROOMS, CLOSETS, HALLWAYS & SIM. ROOMS SHALL BE PROTECTED BY A COMBINATION TYPE ARC-FULT, CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT
- ALL 15 & 20-A RECEPT. SHALL BE LISTED TAMPER-RESISTANT. EXCEPTION: RECEPTACLES IN THE FOLLOWING LOCATIONS SHALL NOT BE REQUIRED TAMPER-RESISTANT:

- RECEPTACLES LOCATED MORE THAN 5.5 FEET AFF.
- WHERE SUCH RECEPTACLES ARE LOCATED IN SPACES DEDICATED FOR THE APPLIANCE SERVED & UNDER CONDITIONS OF NORMAL USE, THE APPLIANCE ARE NOT EASILY MOVED. APPLIANCES TO BE CORD-IN-PLUG
- BOTTOM SILL PLATES SHALL BE PRESSURE TREATED OR EQUAL
- SILL PLATES SHALL BE SECURED EXTEND MIN. 6-INCHES ABOVE GRADE
- ALL EXT. STUD TO BE ALIGNED OVER THEIR DOUBLE TOP PLATES W/ (2) 16-4 NAILS MIN.
- ALL EXTERIOR CORNERS TO BE BRACED WITH 7/16" OSB NAILING SCHEDULE SHALL BE: #4 COMMON @ 8" O.C. ALONG EDGES & #4 COMMONS @ 12" O.C. @ INTERMEDIATE STUDS

RAIP FRAMING

- ALL ROOF EAVES/OVERHANGS TO BE 16" U.N.O.
- ALL JOISTS & RAFTERS TO BE ALIGNED OVER STUDS
- ROOF SHEATHING SHALL BE 7/16" OSB LAID W/ LONG DIMENSION PERPENDICULAR TO EAVE LINE & STAGGERED 48" O.C. W/ G.W. SPACER CLIPS ALONG ALL EDGES. SECURE SHEATHING W/ #4 COMMON NAILS TO RAFTERS AT 6" O.C. ALL EDGES

UNFINISHED BASEMENT REQUIREMENTS

- FIRE PROTECTION OF FLOORS: FLOOR ASSEMBLIES CONSTRUCTED W/ JOISTS LESS THAN 2X10 DIMENSIONAL LUMBER
- JOISTS OR OPEN WEB JOISTS OVER UNFINISHED BASEMENTS SHALL BE PROVIDED WITH 1/2 INCH G.W.B. 5/8 INCH WOOD
- UNFINISHED BASEMENTS SHALL BE MIN. R-13 INSULATED WALLS OR INSULATED OH FLOOR/CEILING (MIN R-19)
- ALL EXPOSED HVAC DUCTING IN UNFINISHED BASEMENTS SHALL BE MIN. R-8 INSULATED OR ENCLOSED INSIDE A FLOOR/CEILING
- UNFINISHED BASEMENTS SHAL HAVE NO CONDITIONED AIR OUTLETS EROSION CONTROL

WOOD FRAMING, FLOORS AND ROOF NOTES

- EXT. WALL FRAMING TO BE 2 x 4 (SYP OR DFL STD GRADE 2 OR BETTER) @ 16" O.C.
- ROOF SHEATHING TO BE 7/16" OSB NAILED W/ #4 @ 8" O.C. PANEL INDEX 240; PROVIDE CLIPS AT UNSUPPORTED PANEL EDGES
- SHEATH EXT. WALLS W/ 7/16" OSB NAILED W/ #4 @ 8" O.C.
- HEADERS: PROVIDE (2) 2 x 8 (SYP OR DFL #2 OR BETTER) U.N.O. CONSTRUCT HEADERS W/ 2 x 8 7/16" OSB BETWEEN W/ (2) ROWS OF 16D @ 16" O.C.
- BLOCKING MIN. 1.5 INCHES UTILITY GRADE LUMBER-JOISTS TO BE SUPPORTED AT ENDS FULL DEPTH SOLID BLOCKING NOT <2-INCHES
- TOE NAIL 3-8D NAILS AT EACH BLOCKING MEMBER
- AT WALKOUT FOUNDATION AREAS, REINFORCE THE SLAB FROM THE FOUNDATION WALL TO 2 INCHES ABOVE THE OVERDIG AREA WITH #4 BARS AT 24 INCHES D.C. PERPENDICULAR AND HORIZONTAL TO THE WALL, MAXIMUM 4-FOOT OVERDIG
- AT WALKOUTS THE FOUNDATION WALL SHALL BE INSULATED W/ A MINIMUM R-8 INSULATION FOR A MIN. OF 3 FEET BELOW THE TOP OF THE SLAB
- WHERE FLOOR JOISTS ARE PARALLEL TO THE FOUNDATION WALL, THE WALL SHALL BE SUPPORTED LATERSLALLY AT THE TOP BY SOLID BLOCKING FOR A MINIMUM OF TWO JOIST SPACES, SPACED NOT MORE THAN 4 FEET O.C.

STEEL COLUMNS & OTHER BASEMENT/FOUNDATION NOTES

- ALL STEEL PIPE COLUMNS TO BE 3" OR 3-1/2" SCHEDULE 40 GRADE 2
- INTER. BEARING WALLS & COLUMNS SHALL BE ISOLATED FROM THE BASEMENT FLOOR SLAB
- INTER. NON-BEARING WALLS, OTHER THAN THOSE RESTING DIRECTLY ON THE FOOTING, SHALL BE ISOLATED FROM THE FLOOR FRAMING ABOVE
- AT WALKOUT FOUNDATION AREAS, REINFORCE THE SLAB FROM THE FOUNDATION WALL TO 2 INCHES ABOVE THE OVERDIG AREA WITH #4 BARS AT 24 INCHES D.C. PERPENDICULAR AND HORIZONTAL TO THE WALL, MAXIMUM 4-FOOT OVERDIG
- AT WALKOUTS THE FOUNDATION WALL SHALL BE INSULATED W/ A MINIMUM R-8 INSULATION FOR A MIN. OF 3 FEET BELOW THE TOP OF THE SLAB
- WHERE FLOOR JOISTS ARE PARALLEL TO THE FOUNDATION WALL, THE WALL SHALL BE SUPPORTED LATERSLALLY AT THE TOP BY SOLID BLOCKING FOR A MINIMUM OF TWO JOIST SPACES, SPACED NOT MORE THAN 4 FEET O.C.

PHYSICAL SECURITY ORDINANCE

- OWNER/BUILDER IS RESPONSIBLE FOR COMPLIANCE OF PHYSICAL SECURITY ORDINANCE FOR THEIR LOCAL JURISDICTION

FOOTING/FOUNDATION & CONCRETE NOTES

- TO ADDRESS DIFFERENTIAL SETTLEMENT, ALL INTERIOR BEARING AND EXTERIOR FOOTINGS & PADS TO BE EXCAVATED & PLACED MIN. 18 INCHES INTO UNDISTURBED NATURAL SOIL
- EXT. FOOTING TO BE PLACED MIN. 36-INCHES BELOW FIN. GRADE
- DESIGN IS BASED ON MIN. OF 2,000 PSF. CONCRETE STRENGTHS TO ACHIEVE THE FOLLOWING BASED UPON A. 3,000 PSI FOR FOOTINGS, FOUND. WALLS & VERT. SUPPORTS B. 3,500 PSI FOR GARAGE FLOOR
- CONC. EXPOSED TO WEATHER TO HAVE 6% W/ (+/-1%) AIR ENTRAINMENT
- PROVIDE 4" MIN. CONC. SLAB REINF. W/ #4 @ 12" O.C. E.W.; TOP REINF. OVER PEDESTALS AS INDICATED (#4 x 7 FT @ 8" O.C. E.W.; PLACE OVER R/MIL VAPOR BARRIER)
- REINFORCE EXTERIOR FOOTINGS W/ #4 @ 24" E.W.; REINFORCE W/ (2) #4 CONT. AT BOTTOM
- PROVIDE #4 x 48"(L) @ 45-DEGREES @ RE-ENTRANT CORNERS
- 12X10"(L) ASTM A307 ANCHOR BOLTS @ 48" O.C. @ EXT. WALLS
- ANCHOR PRESSURE-TREATED PLATE @ INT. BEARING WALLS W/ 1/2" x 4-1/2" HLT WEDGE BOLTS @ 72" O.C. MAX. 12' FROM ENDS
- PROVIDE 24" LAPS MIN. INCLUDING CORNERS
- INSTALL HOLDDOWN BOLT ANCHORAGE AS INDICATED ON PLAN
- PROVIDE BUTT JOINTS DAMP-PROOFING AT FOUNDATION WALLS
- SOIL BEARING CAPACITY IS NOT ASSUMED TO BE GREATER THAN 2,000 PSF IN THE CURRENT FOUNDATION DESIGN ALL COMPACTED FILL AREAS REQUIRE A SPECIAL INSPECTION

WOOD FRAMING, FLOORS AND ROOF NOTES

- EXT. WALL FRAMING TO BE 2 x 4 (SYP OR DFL STD GRADE 2 OR BETTER) @ 16" O.C.
- ROOF SHEATHING TO BE 7/16" OSB NAILED W/ #4 @ 8" O.C. PANEL INDEX 240; PROVIDE CLIPS AT UNSUPPORTED PANEL EDGES
- SHEATH EXT. WALLS W/ 7/16" OSB NAILED W/ #4 @ 8" O.C.
- HEADERS: PROVIDE (2) 2 x 8 (SYP OR DFL #2 OR BETTER) U.N.O. CONSTRUCT HEADERS W/ 2 x 8 7/16" OSB BETWEEN W/ (2) ROWS OF 16D @ 16" O.C.
- BLOCKING MIN. 1.5 INCHES UTILITY GRADE LUMBER-JOISTS TO BE SUPPORTED AT ENDS FULL DEPTH SOLID BLOCKING NOT <2-INCHES
- TOE NAIL 3-8D NAILS AT EACH BLOCKING MEMBER
- AT WALKOUT FOUNDATION AREAS, REINFORCE THE SLAB FROM THE FOUNDATION WALL TO 2 INCHES ABOVE THE OVERDIG AREA WITH #4 BARS AT 24 INCHES D.C. PERPENDICULAR AND HORIZONTAL TO THE WALL, MAXIMUM 4-FOOT OVERDIG
- AT WALKOUTS THE FOUNDATION WALL SHALL BE INSULATED W/ A MINIMUM R-8 INSULATION FOR A MIN. OF 3 FEET BELOW THE TOP OF THE SLAB
- WHERE FLOOR JOISTS ARE PARALLEL TO THE FOUNDATION WALL, THE WALL SHALL BE SUPPORTED LATERSLALLY AT THE TOP BY SOLID BLOCKING FOR A MINIMUM OF TWO JOIST SPACES, SPACED NOT MORE THAN 4 FEET O.C.

STEEL COLUMNS & OTHER BASEMENT/FOUNDATION NOTES

- ALL STEEL PIPE COLUMNS TO BE 3" OR 3-1/2" SCHEDULE 40 GRADE 2
- INTER. BEARING WALLS & COLUMNS SHALL BE ISOLATED FROM THE BASEMENT FLOOR SLAB
- INTER. NON-BEARING WALLS, OTHER THAN THOSE RESTING DIRECTLY ON THE FOOTING, SHALL BE ISOLATED FROM THE FLOOR FRAMING ABOVE
- AT WALKOUT FOUNDATION AREAS, REINFORCE THE SLAB FROM THE FOUNDATION WALL TO 2 INCHES ABOVE THE OVERDIG AREA WITH #4 BARS AT 24 INCHES D.C. PERPENDICULAR AND HORIZONTAL TO THE WALL, MAXIMUM 4-FOOT OVERDIG
- AT WALKOUTS THE FOUNDATION WALL SHALL BE INSULATED W/ A MINIMUM R-8 INSULATION FOR A MIN. OF 3 FEET BELOW THE TOP OF THE SLAB
- WHERE FLOOR JOISTS ARE PARALLEL TO THE FOUNDATION WALL, THE WALL SHALL BE SUPPORTED LATERSLALLY AT THE TOP BY SOLID BLOCKING FOR A MINIMUM OF TWO JOIST SPACES, SPACED NOT MORE THAN 4 FEET O.C.

PHYSICAL SECURITY ORDINANCE

- OWNER/BUILDER IS RESPONSIBLE FOR COMPLIANCE OF PHYSICAL SECURITY ORDINANCE FOR THEIR LOCAL JURISDICTION

GENERAL NOTES AND REQUIREMENTS

DOORS AND WINDOWS:

- ALL GLAZING WITHIN 12" OF THE FINISHED FLOOR, ADJACENT TO DOORS <24" AND WITHIN DOORS, ABOVE BATHTUBS TO BE SAFETY TYPE GLASS AND LABELED SUCH THAT THEY ARE NOT. THE INSPECTOR MAY CANCEL THIS INSPECTION UNTIL SUCH TIME THE INSPECTION CONTROL MEASURES ARE IN PLACE. A FINE, INSPECTION FEE & STOP-WORK ORDER MAY BE ISSUED IF EROSION CONTROL IS NOT ADDRESSED

SHOWER DOORS SHALL HAVE SAFETY GLAZING. HINGED SHOWER DOORS SHALL SWING OUTWARD

GARAGES:

- GARAGE SEPARATION WALL TO BE 1-HR CONST. W/ MIN. 5/8" TYPE X GWB. EXTEND TO ROOF OR ROOF DOOR TO BE 20-MIN RATED, 1-3/8" S.C. & EQUIPPED W/ CLOSER & LATCH
- 15 & 20-AMP RECEPTACLES SHALL HAVE GFCI PROTECTION
- TYPE-X 5/8" GBS REQUIRED ON GARAGE CEILING BELOW LIVING AREAS

LIGHT AND VENTILATION:

- PROVIDE STAIRWAY ILLUMINATION PER R303.7.9
- GABLE VENT & MUSHROOM VENTS TO PROVIDE A MIN. OF 10 S.F. NET-FREE OF ATTIC VENTILATION
- FURNACES ENCLOSED IN A ROOM LESS THAN 100 S.F. SHALL BE PROVIDED W/ A MEANS OF COMBUSTION MAKE-UP AIR AS DETERMINED BY MECH. CONTRACTOR
- VENTILATE KITCHENS AND LAUNDRY ROOMS PER R303.3
- PROVIDE MIN. 16" x 10" SOFFIT VENTS ALONG EAVE SPACED EVENLY W/ NO MORE THAN 8'-0" O.C.

GYPSUM BOARD:

- G.B. APPLIED TO CEILING SHALL BE 1/2" WHEN FRAMING MEMBERS ARE 16" O.C. OR 18" WHEN MEMBERS ARE 24" O.C. OR USE 1/2" SAG-RESISTANT GYP. CEILING BOARD

MECHANICAL SYSTEMS:

- FURNACE & WATER HEATER SHALL BE ON 18" PLATFORMS IF PLACED IN A GARAGE OR ROOM W/ DIRECT ACCESS TO A GARAGE
- PROVIDE MIN. 78% AFUE FOR WATERHEATERS GAS HEATING EQUIP. 80% FOR NON-WATERHEATERS
- ELECTRIC MIN. 13 SEER FOR AIR CONDITIONING EQUIPMENT
- SUPPLY AND RETURN DUCTS SHALL BE INSULATED TO MIN. R-8

ELECTRONIC SYSTEMS:

- PROVIDE UFER GROUND ENCASED IN CONCRETE FOOTING IN ACCORDANCE WITH IRC SECTION 3608.1
- ALL ELECTRICAL CONDUCTORS SHALL BE COPPER
- RECEPT. IN THE FOLLOWING LOCATIONS SHALL BE GFCI PROTECTED: BEDROOM, KITCHEN (W/IN 6 FEET OF SINK), GARAGE, SHED, EXTERIOR, UNFINISHED BASEMENT & HEATED FLOORS
- ALL BRANCH CIRCUITS THAT SUPPLY 120-V, SINGLE PHASE, 15 & 20 AMP OUTLETS INSTALLED IN: FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, REC ROOMS, CLOSETS, HALLWAYS & SIM. ROOMS SHALL BE PROTECTED BY A COMBINATION TYPE ARC-FULT, CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT
- ALL 15 & 20-A RECEPT. SHALL BE LISTED TAMPER-RESISTANT. EXCEPTION: RECEPTACLES IN THE FOLLOWING LOCATIONS SHALL NOT BE REQUIRED TAMPER-RESISTANT:

- RECEPTACLES LOCATED MORE THAN 5.5 FEET AFF.
- WHERE SUCH RECEPTACLES ARE LOCATED IN SPACES DEDICATED FOR THE APPLIANCE SERVED & UNDER CONDITIONS OF NORMAL USE, THE APPLIANCE ARE NOT EASILY MOVED. APPLIANCES TO BE CORD-IN-PLUG
- BOTTOM SILL PLATES SHALL BE PRESSURE TREATED OR EQUAL
- SILL PLATES SHALL BE SECURED EXTEND MIN. 6-INCHES ABOVE GRADE
- ALL EXT. STUD TO BE ALIGNED OVER THEIR DOUBLE TOP PLATES W/ (2) 16-4 NAILS MIN.
- ALL EXTERIOR CORNERS TO BE BRACED WITH 7/16" OSB NAILING SCHEDULE SHALL BE: #4 COMMON @ 8" O.C. ALONG EDGES & #4 COMMONS @ 12" O.C. @ INTERMEDIATE STUDS

RAIP FRAMING

- ALL ROOF EAVES/OVERHANGS TO BE 16" U.N.O.
- ALL JOISTS & RAFTERS TO BE ALIGNED OVER STUDS
- ROOF SHEATHING SHALL BE 7/16" OSB LAID W/ LONG DIMENSION PERPENDICULAR TO EAVE LINE & STAGGERED 48" O.C. W/ G.W. SPACER CLIPS ALONG ALL EDGES. SECURE SHEATHING W/ #4 COMMON NAILS TO RAFTERS AT 6" O.C. ALL EDGES

UNFINISHED BASEMENT REQUIREMENTS

- FIRE PROTECTION OF FLOORS: FLOOR ASSEMBLIES CONSTRUCTED W/ JOISTS LESS THAN 2X10 DIMENSIONAL LUMBER
- JOISTS OR OPEN WEB JOISTS OVER UNFINISHED BASEMENTS SHALL BE PROVIDED WITH 1/2 INCH G.W.B. 5/8 INCH WOOD
- UNFINISHED BASEMENTS SHALL BE MIN. R-13 INSULATED WALLS OR INSULATED OH FLOOR/CEILING (MIN R-19)
- ALL EXPOSED HVAC DUCTING IN UNFINISHED BASEMENTS SHALL BE MIN. R-8 INSULATED OR ENCLOSED INSIDE A FLOOR/CEILING
- UNFINISHED BASEMENTS SHAL HAVE NO CONDITIONED AIR OUTLETS EROSION CONTROL

WOOD FRAMING, FLOORS AND ROOF NOTES

- EXT. WALL FRAMING TO BE 2 x 4 (SYP OR DFL STD GRADE 2 OR BETTER) @ 16" O.C.
- ROOF SHEATHING TO BE 7/16" OSB NAILED W/ #4 @ 8" O.C. PANEL INDEX 240; PROVIDE CLIPS AT UNSUPPORTED PANEL EDGES
- SHEATH EXT. WALLS W/ 7/16" OSB NAILED W/ #4 @ 8" O.C.
- HEADERS: PROVIDE (2) 2 x 8 (SYP OR DFL #2 OR BETTER) U.N.O. CONSTRUCT HEADERS W/ 2 x 8 7/16" OSB BETWEEN W/ (2) ROWS OF 16D @ 16" O.C.
- BLOCKING MIN. 1.5 INCHES UTILITY GRADE LUMBER-JOISTS TO BE SUPPORTED AT ENDS FULL DEPTH SOLID BLOCKING NOT <2-INCHES
- TOE NAIL 3-8D NAILS AT EACH BLOCKING MEMBER
- AT WALKOUT FOUNDATION AREAS, REINFORCE THE SLAB FROM THE FOUNDATION WALL TO 2 INCHES ABOVE THE OVERDIG AREA WITH #4 BARS AT 24 INCHES D.C. PERPENDICULAR AND HORIZONTAL TO THE WALL, MAXIMUM 4-FOOT OVERDIG
- AT WALKOUTS THE FOUNDATION WALL SHALL BE INSULATED W/ A MINIMUM R-8 INSULATION FOR A MIN. OF 3 FEET BELOW THE TOP OF THE SLAB
- WHERE FLOOR JOISTS ARE PARALLEL TO THE FOUNDATION WALL, THE WALL SHALL BE SUPPORTED LATERSLALLY AT THE TOP BY SOLID BLOCKING FOR A MINIMUM OF TWO JOIST SPACES, SPACED NOT MORE THAN 4 FEET O.C.

STEEL COLUMNS & OTHER BASEMENT/FOUNDATION NOTES

- ALL STEEL PIPE COLUMNS TO BE 3" OR 3-1/2" SCHEDULE 40 GRADE 2
- INTER. BEARING WALLS & COLUMNS SHALL BE ISOLATED FROM THE BASEMENT FLOOR SLAB
- INTER. NON-BEARING WALLS, OTHER THAN THOSE RESTING DIRECTLY ON THE FOOTING, SHALL BE ISOLATED FROM THE FLOOR FRAMING ABOVE
- AT WALKOUT FOUNDATION AREAS, REINFORCE THE SLAB FROM THE FOUNDATION WALL TO 2 INCHES ABOVE THE OVERDIG AREA WITH #4 BARS AT 24 INCHES D.C. PERPENDICULAR AND HORIZONTAL TO THE WALL, MAXIMUM 4-FOOT OVERDIG
- AT WALKOUTS THE FOUNDATION WALL SHALL BE INSULATED W/ A MINIMUM R-8 INSULATION FOR A MIN. OF 3 FEET BELOW THE TOP OF THE SLAB
- WHERE FLOOR JOISTS ARE PARALLEL TO THE FOUNDATION WALL, THE WALL SHALL BE SUPPORTED LATERSLALLY AT THE TOP BY SOLID BLOCKING FOR A MINIMUM OF TWO JOIST SPACES, SPACED NOT MORE THAN 4 FEET O.C.

PHYSICAL SECURITY ORDINANCE

- OWNER/BUILDER IS RESPONSIBLE FOR COMPLIANCE OF PHYSICAL SECURITY ORDINANCE FOR THEIR LOCAL JURISDICTION

GENERAL NOTES AND REQUIREMENTS

DOORS AND WINDOWS:

- ALL GLAZING WITHIN 12" OF THE FINISHED FLOOR, ADJACENT TO DOORS <24" AND WITHIN DOORS, ABOVE BATHTUBS TO BE SAFETY TYPE GLASS AND LABELED SUCH THAT THEY ARE NOT. THE INSPECTOR MAY CANCEL THIS INSPECTION UNTIL SUCH TIME THE INSPECTION CONTROL MEASURES ARE IN PLACE. A FINE, INSPECTION FEE & STOP-WORK ORDER MAY BE ISSUED IF EROSION CONTROL IS NOT ADDRESSED

SHOWER DOORS SHALL HAVE SAFETY GLAZING. HINGED SHOWER DOORS SHALL SWING OUTWARD

GARAGES:

- GARAGE SEPARATION WALL TO BE 1-HR CONST. W/ MIN. 5/8" TYPE X GWB. EXTEND TO ROOF OR ROOF DOOR TO BE 20-MIN RATED, 1-3/8" S.C. & EQUIPPED W/ CLOSER & LATCH
- 15 & 20-AMP RECEPTACLES SHALL HAVE GFCI PROTECTION
- TYPE-X 5/8" GBS REQUIRED ON GARAGE CEILING BELOW LIVING AREAS

LIGHT AND VENTILATION:

- PROVIDE STAIRWAY ILLUMINATION PER R303.7.9
- GABLE VENT & MUSHROOM VENTS TO PROVIDE A MIN. OF 10 S.F. NET-FREE OF ATTIC VENTILATION
- FURNACES ENCLOSED IN A ROOM LESS THAN 100 S.F. SHALL BE PROVIDED W/ A MEANS OF COMBUSTION MAKE-UP AIR AS DETERMINED BY MECH. CONTRACTOR
- VENTILATE KITCHENS AND LAUNDRY ROOMS PER R303.3
- PROVIDE MIN. 16" x 10" SOFFIT VENTS ALONG EAVE SPACED EVENLY W/ NO MORE THAN 8'-0" O.C.

GYPSUM BOARD:

- G.B. APPLIED TO CEILING SHALL BE 1/2" WHEN FRAMING MEMBERS ARE 16" O.C. OR 18" WHEN MEMBERS ARE 24" O.C. OR USE 1/2" SAG-RESISTANT GYP. CEILING BOARD

MECHANICAL SYSTEMS:

- FURNACE & WATER HEATER SHALL BE ON 18" PLATFORMS IF PLACED IN A GARAGE OR ROOM W/ DIRECT ACCESS TO A GARAGE
- PROVIDE MIN. 78% AFUE FOR WATERHEATERS GAS HEATING EQUIP. 80% FOR NON-WATERHEATERS
- ELECTRIC MIN. 13 SEER FOR AIR CONDITIONING EQUIPMENT
- SUPPLY AND RETURN DUCTS SHALL BE INSULATED TO MIN. R-8

ELECTRONIC SYSTEMS:

- PROVIDE UFER GROUND ENCASED IN CONCRETE FOOTING IN ACCORDANCE WITH IRC SECTION 3608.1
- ALL ELECTRICAL CONDUCTORS SHALL BE COPPER
- RECEPT. IN THE FOLLOWING LOCATIONS SHALL BE GFCI PROTECTED: BEDROOM, KITCHEN (W/IN 6 FEET OF SINK), GARAGE, SHED, EXTERIOR, UNFINISHED BASEMENT & HEATED FLOORS
- ALL BRANCH CIRCUITS THAT SUPPLY 120-V, SINGLE PHASE, 15 & 20 AMP OUTLETS INSTALLED IN: FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, REC ROOMS, CLOSETS, HALLWAYS & SIM. ROOMS SHALL BE PROTECTED BY A COMBINATION TYPE ARC-FULT, CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT
- ALL 15 & 20-A RECEPT. SHALL BE LISTED TAMPER-RESISTANT. EXCEPTION: RECEPTACLES IN THE FOLLOWING LOCATIONS SHALL NOT BE REQUIRED TAMPER-RESISTANT:

- RECEPTACLES LOCATED MORE THAN 5.5 FEET AFF.
- WHERE SUCH RECEPTACLES ARE LOCATED IN SPACES DEDICATED FOR THE APPLIANCE SERVED & UNDER CONDITIONS OF NORMAL USE, THE APPLIANCE ARE NOT EASILY MOVED. APPLIANCES TO BE CORD-IN-PLUG
- BOTTOM SILL PLATES SHALL BE PRESSURE TREATED OR EQUAL
- SILL PLATES SHALL BE SECURED EXTEND MIN. 6-INCHES ABOVE GRADE
- ALL EXT. STUD TO BE ALIGNED OVER THEIR DOUBLE TOP PLATES W/ (2) 16-4 NAILS MIN.
- ALL EXTERIOR CORNERS TO BE BRACED WITH 7/16" OSB NAILING SCHEDULE SHALL BE: #4 COMMON @ 8" O.C. ALONG EDGES & #4 COMMONS @ 12" O.C. @ INTERMEDIATE STUDS

RAIP FRAMING

- ALL ROOF EAVES/OVERHANGS TO BE 16" U.N.O.
- ALL JOISTS & RAFTERS TO BE ALIGNED OVER STUDS
- ROOF SHEATHING SHALL BE 7/16" OSB LAID W/ LONG DIMENSION PERPENDICULAR TO EAVE LINE & STAGGERED 48" O.C. W/ G.W. SPACER CLIPS ALONG ALL EDGES. SECURE SHEATHING W/ #4 COMMON NAILS TO RAFTERS AT 6" O.C. ALL EDGES

UNFINISHED BASEMENT REQUIREMENTS

- FIRE PROTECTION OF FLOORS: FLOOR ASSEMBLIES CONSTRUCTED W/ JOISTS LESS THAN 2X10 DIMENSIONAL LUMBER
- JOISTS OR OPEN WEB JOISTS OVER UNFINISHED BASEMENTS SHALL BE PROVIDED WITH 1/2 INCH G.W.B. 5/8 INCH WOOD
- UNFINISHED BASEMENTS SHALL BE MIN. R-13 INSULATED WALLS OR INSULATED OH FLOOR/CEILING (MIN R-19)
- ALL EXPOSED HVAC DUCTING IN UNFINISHED BASEMENTS SHALL BE MIN. R-8 INSULATED OR ENCLOSED INSIDE A FLOOR/CEILING
- UNFINISHED BASEMENTS SHAL HAVE NO CONDITIONED AIR OUTLETS EROSION CONTROL

WOOD FRAMING, FLOORS AND ROOF NOTES

- EXT. WALL FRAMING TO BE 2 x 4 (SYP OR DFL STD GRADE 2 OR BETTER) @ 16" O.C.
- ROOF SHEATHING TO BE 7/16" OSB NAILED W/ #4 @ 8" O.C. PANEL INDEX 240; PROVIDE CLIPS AT UNSUPPORTED PANEL EDGES
- SHEATH EXT. WALLS W/ 7/16" OSB NAILED W/ #4 @ 8" O.C.
- HEADERS: PROVIDE (2) 2 x 8 (SYP OR DFL #2 OR BETTER) U.N.O. CONSTRUCT HEADERS W/ 2 x 8 7/16" OSB BETWEEN W/ (2) ROWS OF 16D @ 16" O.C.
- BLOCKING MIN. 1.5 INCHES UTILITY GRADE LUMBER-JOISTS TO BE SUPPORTED AT ENDS FULL DEPTH SOLID BLOCKING NOT <2-INCHES
- TOE NAIL 3-8D NAILS AT EACH BLOCKING MEMBER
- AT WALKOUT FOUNDATION AREAS, REINFORCE THE SLAB FROM THE FOUNDATION WALL TO 2 INCHES ABOVE THE OVERDIG AREA WITH #4 BARS AT 24 INCHES D.C. PERPENDICULAR AND HORIZONTAL TO THE WALL, MAXIMUM 4-FOOT OVERDIG
- AT WALKOUTS THE FOUNDATION WALL SHALL BE INSULATED W/ A MINIMUM R-8 INSULATION FOR A MIN. OF 3 FEET BELOW THE TOP OF THE SLAB
- WHERE FLOOR JOISTS ARE PARALLEL TO THE FOUNDATION WALL, THE WALL SHALL BE SUPPORTED LATERSLALLY AT THE TOP BY SOLID BLOCKING FOR A MINIMUM OF TWO JOIST SPACES, SPACED NOT MORE THAN 4 FEET O.C.

STEEL COLUMNS & OTHER BASEMENT/FOUNDATION NOTES

- ALL STEEL PIPE COLUMNS TO BE 3" OR 3-1/2" SCHEDULE 40 GRADE 2
- INTER. BEARING WALLS & COLUMNS SHALL BE ISOLATED FROM THE BASEMENT FLOOR SLAB
- INTER. NON-BEARING WALLS, OTHER THAN THOSE RESTING DIRECTLY ON THE FOOTING, SHALL BE ISOLATED FROM THE FLOOR FRAMING ABOVE
- AT WALKOUT FOUNDATION AREAS, REINFORCE THE SLAB FROM THE FOUNDATION WALL TO 2 INCHES ABOVE THE OVERDIG AREA WITH #4 BARS AT 24 INCHES D.C. PERPENDICULAR AND HORIZONTAL TO THE WALL, MAXIMUM 4-FOOT OVERDIG
- AT WALKOUTS THE FOUNDATION WALL SHALL BE INSULATED W/ A MINIMUM R-8 INSULATION FOR A MIN. OF 3 FEET BELOW THE TOP OF THE SLAB
- WHERE FLOOR JOISTS ARE PARALLEL TO THE FOUNDATION WALL, THE WALL SHALL BE SUPPORTED LATERSLALLY AT THE TOP BY SOLID BLOCKING FOR A MINIMUM OF TWO JOIST SPACES, SPACED NOT MORE THAN 4 FEET O.C.

PHYSICAL SECURITY ORDINANCE

- OWNER/BUILDER IS RESPONSIBLE FOR COMPLIANCE OF PHYSICAL SECURITY ORDINANCE FOR THEIR LOCAL JURISDICTION

GENERAL NOTES AND REQUIREMENTS

DOORS AND WINDOWS:

- ALL GLAZING WITHIN 12" OF THE FINISHED FLOOR, ADJACENT TO DOORS <24" AND WITHIN DOORS, ABOVE BATHTUBS TO BE SAFETY TYPE GLASS AND LABELED SUCH THAT THEY ARE NOT. THE INSPECTOR MAY CANCEL THIS INSPECTION UNTIL SUCH TIME THE INSPECTION CONTROL MEASURES ARE IN PLACE. A FINE, INSPECTION FEE & STOP-WORK ORDER MAY BE ISSUED IF EROSION CONTROL IS NOT ADDRESSED

SHOWER DOORS SHALL HAVE SAFETY GLAZING. HINGED SHOWER DOORS SHALL SWING OUTWARD

GARAGES:

- GARAGE SEPAR



AUGUST 13, 2024

REVISIONS

Number	DESCRIPTION	DATE
--------	-------------	------

PROJECT

Address : 2230 SW Crown Drive,
Lee's Summit, MO
Lot : HF 199
DRAWING TITLE

Details

DATE ISSUED

9/12/2024

DRAWING NUMBER

A502

