



307B SW Market St., Lee's Summit, MO 64063 | 816.249.2270 | www.collinsandwebb.com

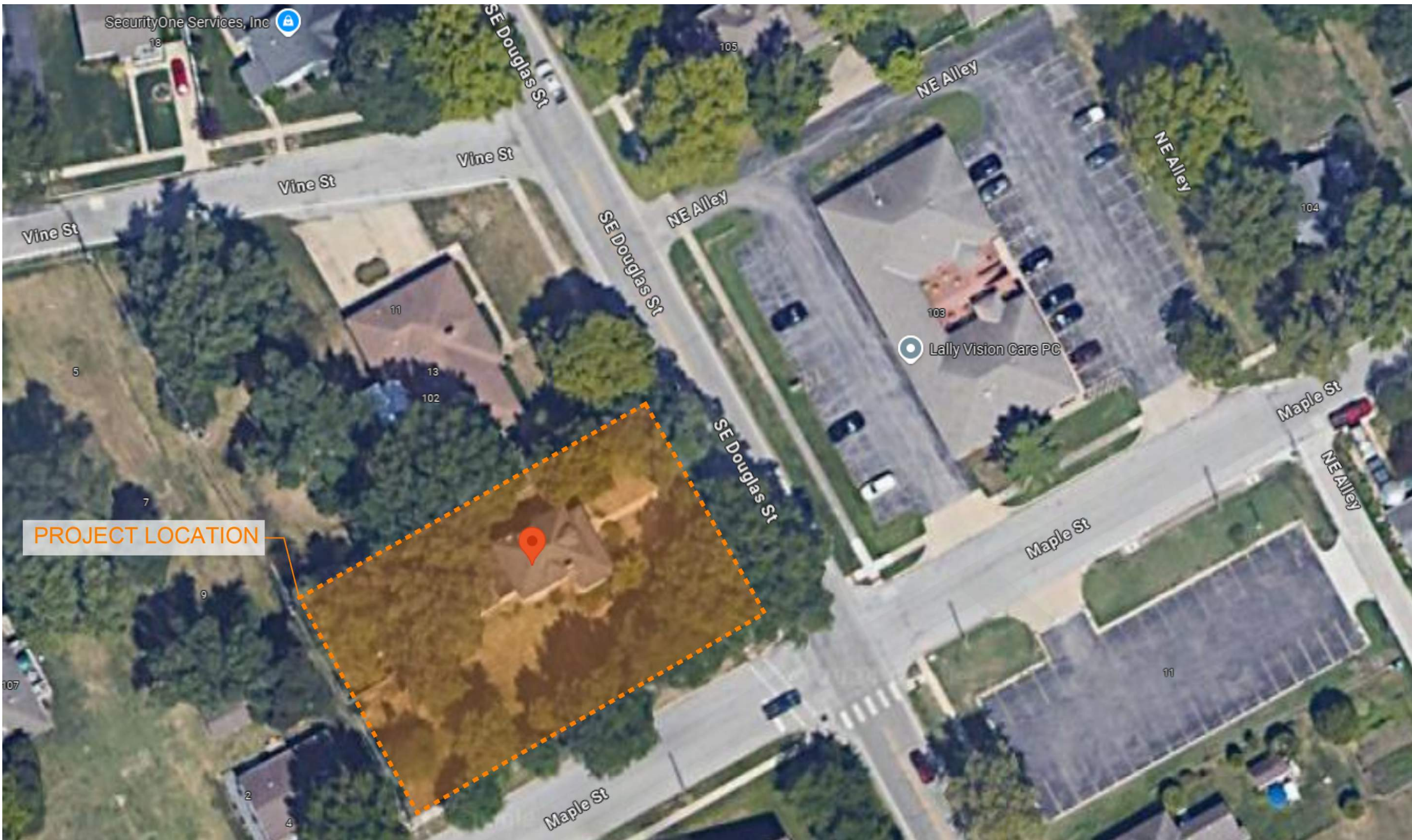
HERITAGE ASSET MANAGEMENT

100 NE DOUGLAS ST.
LEE'S SUMMIT, MO 64063

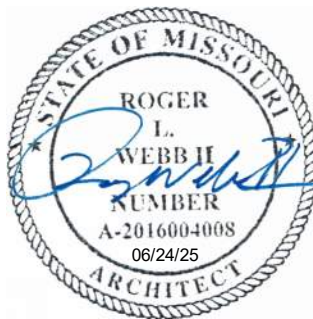
PERMIT DOCUMENTS

24 JUNE 2025

COLLINS WEBB #: 24114



GENERAL	
SHEET NUMBER	SHEET NAME
CS	COVER SHEET
G001	GENERAL INFORMATION
G002	ACCESSIBILITY GUIDELINES
G003	LIFE SAFETY PLANS AND PROJECT INFO.
G500	SPECIFICATIONS
G501	SPECIFICATIONS
CIVIL	
SHEET NUMBER	SHEET NAME
C.001	COVER SHEET
C.050	ESC PHASE 1 - PRE CLEARING PLAN
C.051	ESC PHASE 2 - INACTIVE AREA STABILIZATION PLAN
C.052	ESC PHASE 3 - FINAL RESTORATION PLAN
C.053	ESC - STANDARD DETAILS
C.101	SITE PLAN
C.200	GRADING PLAN
C.201	PRE DEVELOPMENT DRAINAGE PLAN
C.202	POST DEVELOPMENT DRAINAGE PLAN
C.300	UTILITY PLAN
C.301	STORM SEWER PLAN AND PROFILE
L.100	LANDSCAPE PLAN
L.101	LANDSCAPE PLAN DETAILS
STRUCTURAL	
SHEET NUMBER	SHEET NAME
S100	GENERAL NOTES
S101	STRUCTURAL PLANS
S200	SECTIONS
ARCHITECTURAL	
SHEET NUMBER	SHEET NAME
A101	DEMO PLAN, FLOOR PLAN, AND ENLARGED PLAN
MEP	
SHEET NUMBER	SHEET NAME
MEP100	MEP COVERSHEET
MEP200	MEP SPECIFICATIONS
MEP300	MECHANICAL & ELECTRICAL FLOOR PLANS
MEP301	ELECTRICAL SITE PLAN



OWNER
HERITAGE ASSET MANAGEMENT
7926 E 171 ST.
BELTON, MO 64102
P: 816.348.2061
www.heritage-kc.com

CONTRACTOR
HERITAGE ASSET MANAGEMENT
7926 E 171 ST.
BELTON, MO 64102
P: 816.348.2061
www.heritage-kc.com

ARCHITECT
COLLINS | WEBB ARCHITECTURE
307B SW MARKET STREET
LEE'S SUMMIT, MO 64063
P: 816.249.2270
www.collinsandwebb.com

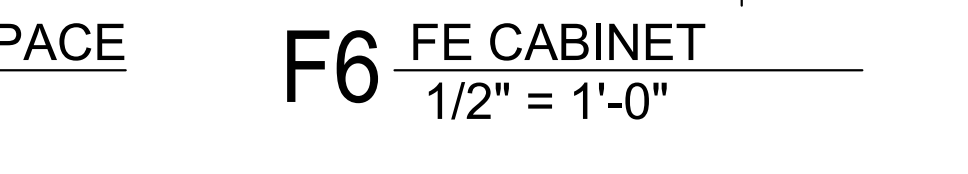
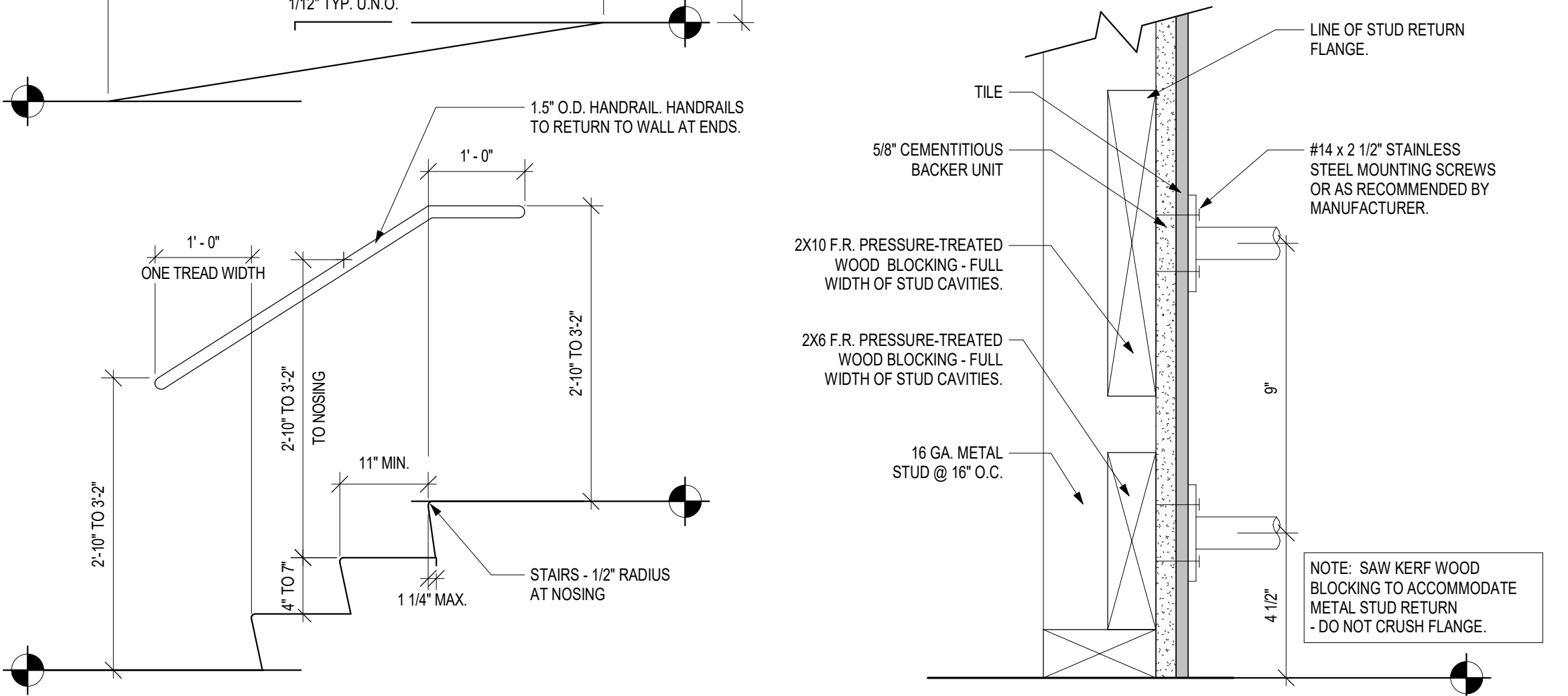
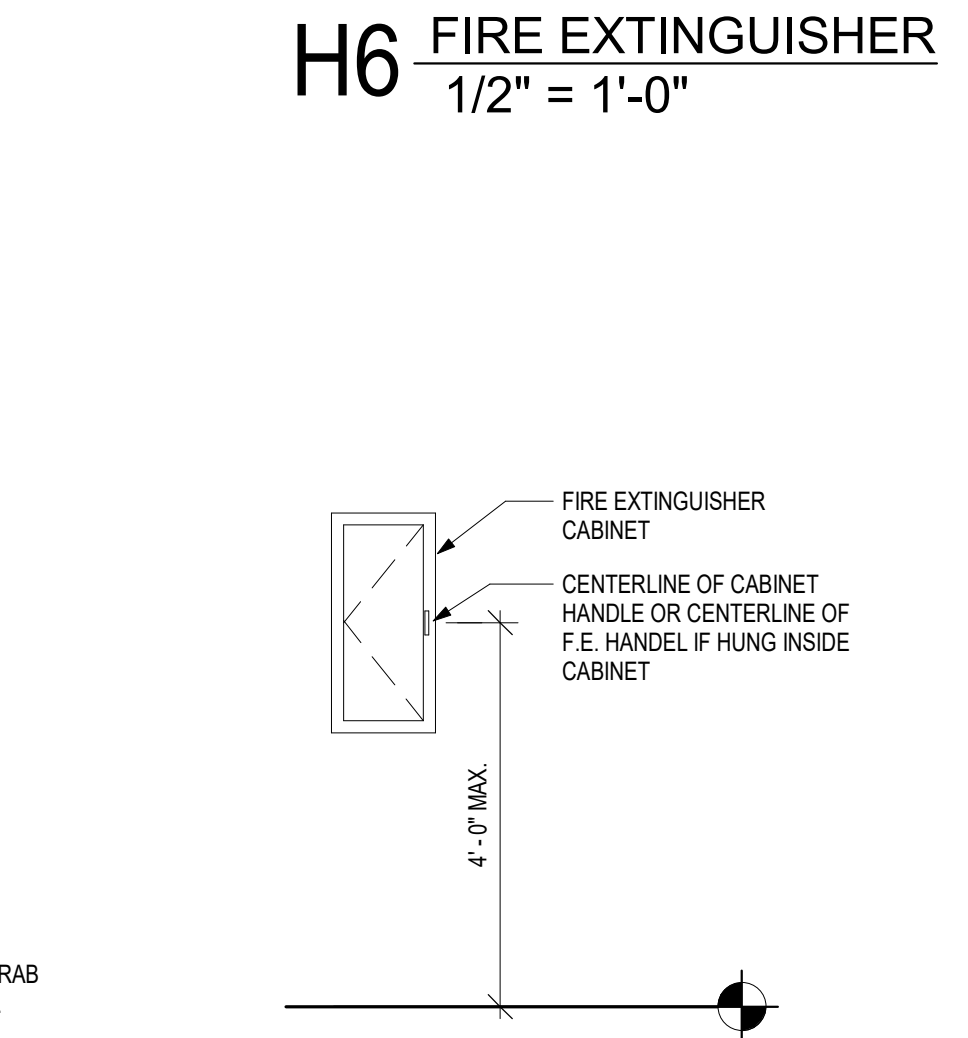
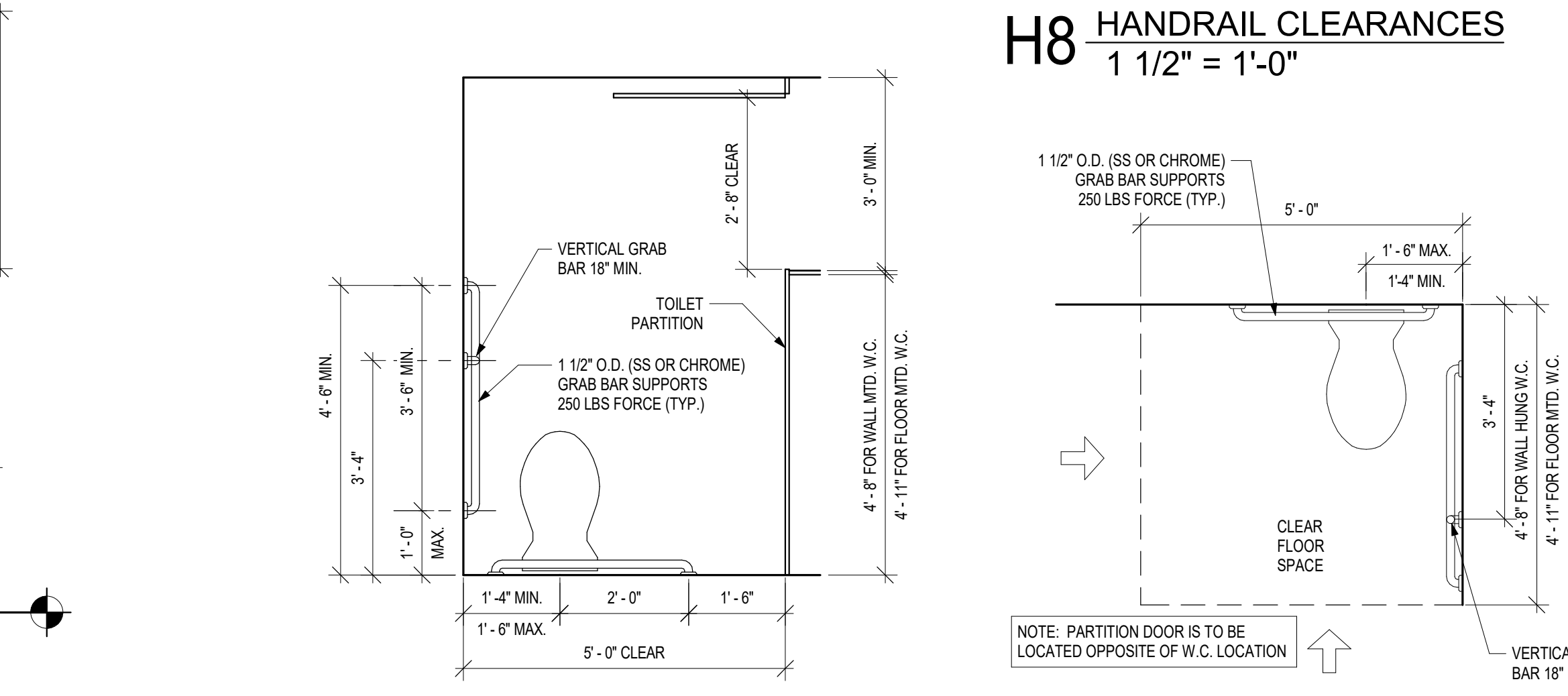
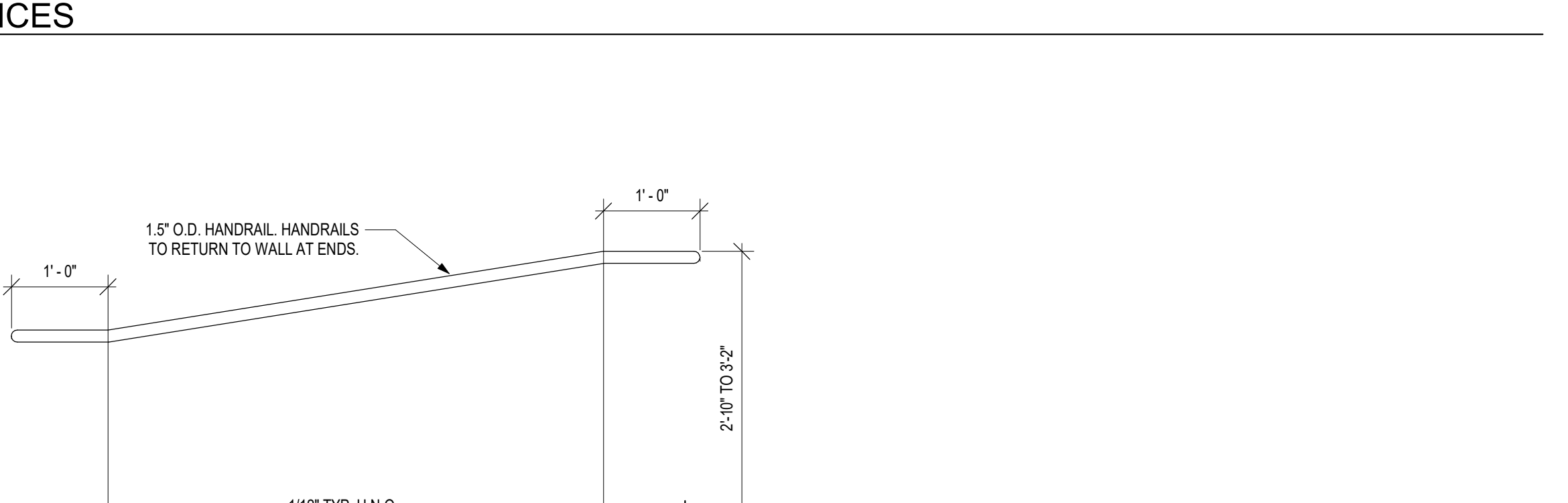
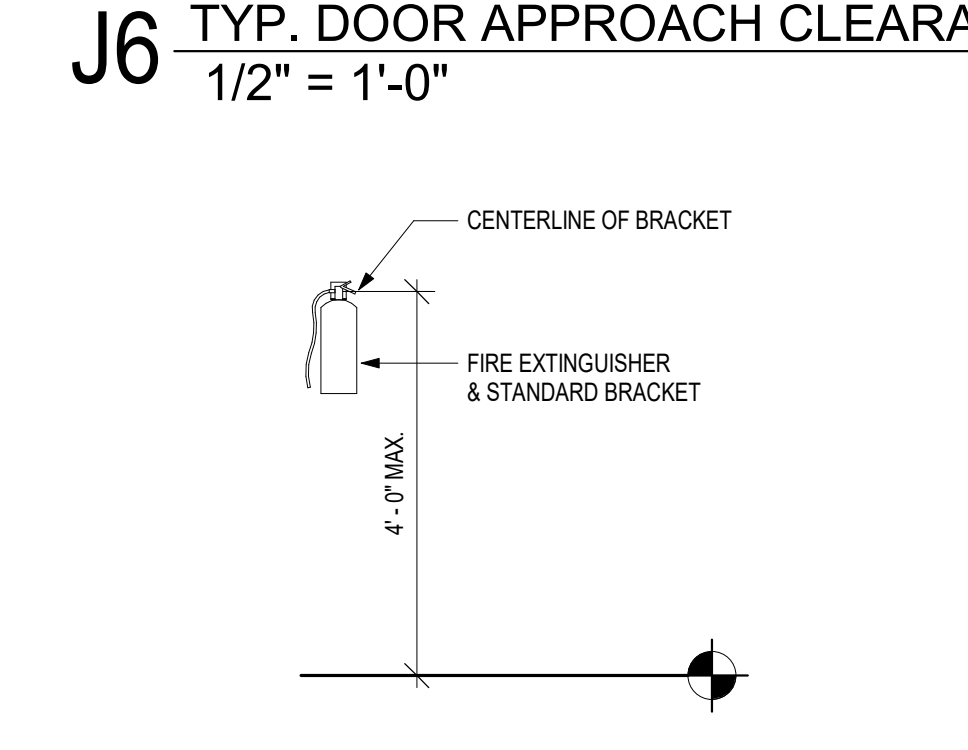
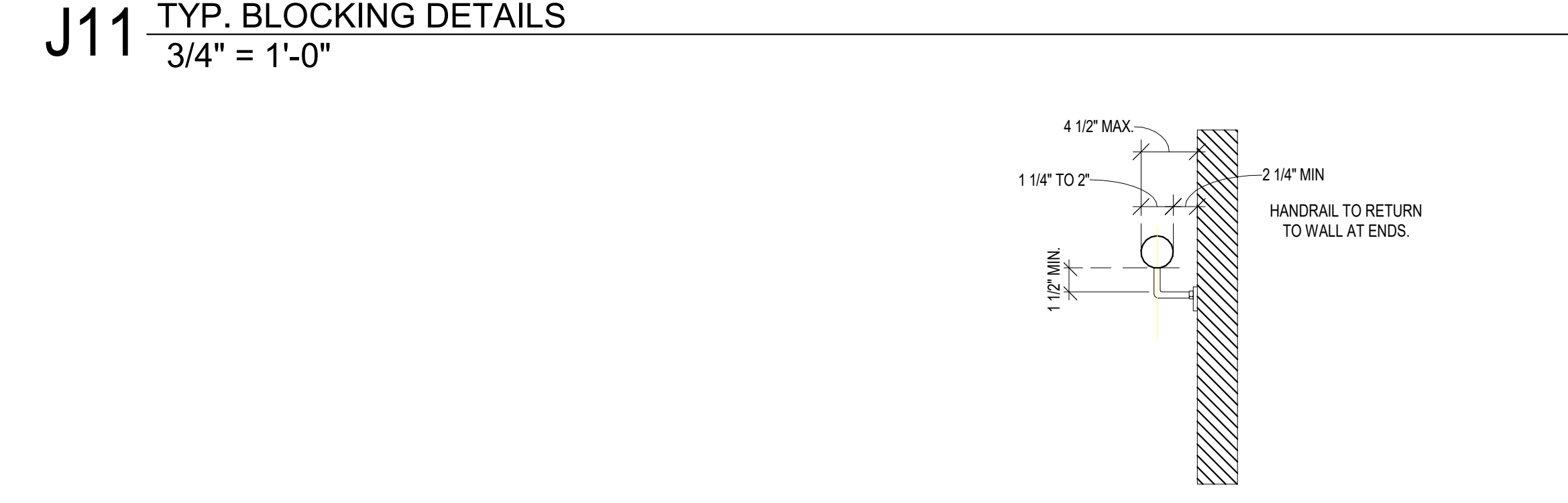
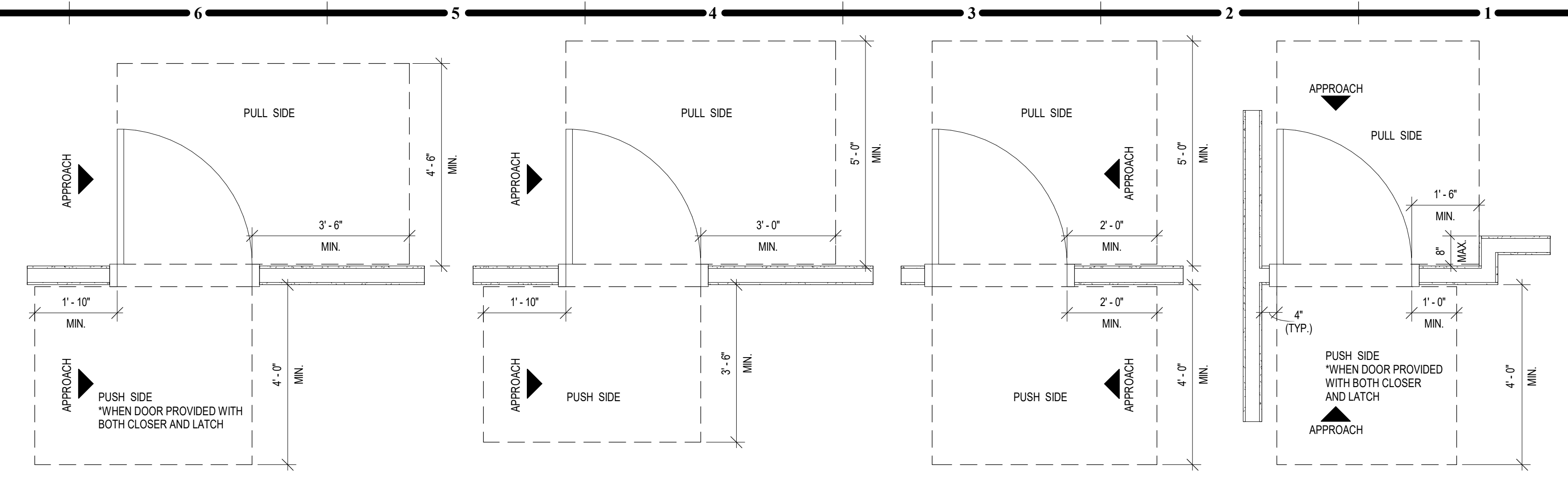
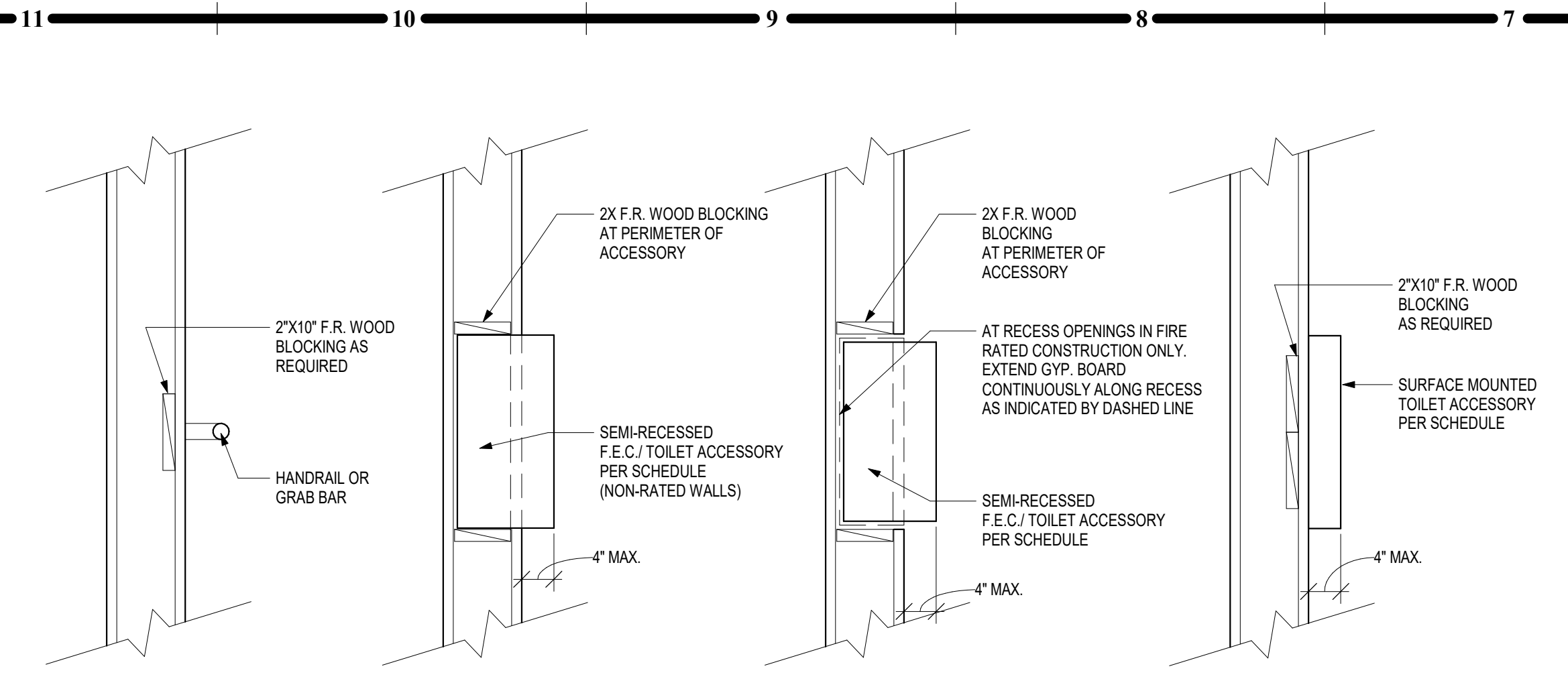
CIVIL ENGINEER
ENGINEERING SOLUTIONS
50 SE 30TH STREET
LEE'S SUMMIT, MO 64082
P: 816.623.9888
www.es-kc.com

STRUCTURAL ENGINEER
LEIGH + O'KANE
250 NE MULBERRY | SUITE 201
LEE'S SUMMIT, MO 64086
P: 816.444.3144
www.leok.com

MEP ENGINEER
IMPRINT DESIGN + ENGINEERING
P: 816.686.5339
www.imprinteng.com

GENERAL NOTES:
ACCESSIBILITY GUIDELINES

- NOTE: ALL DIMENSIONS ARE MEASURED FROM FLOOR, UNLESS NOTED OR SHOWN OTHERWISE.
- ADA UNOBSTRUCTED REACH RANGES: ADA FORWARD REACH = 48" MAX. & 15" MIN. ADA SIDE REACH = 48" MAX. & 15" MIN.
- DOOR HARDWARE (TO CENTER OF HARDWARE): STANDARD MOUNTING HEIGHTS: PUSH PLATES = 42". PULL HANDLES = 42". KNOBS/LEVERS = 40". PANIC EXIT = 42". CENTERLINE OF BAR KNOBPLATES: WIDTH = DOOR WIDTH MINUS 2". CENTER HEIGHT = 10" FROM B.O. DOOR THRESHOLDS: STANDARD = 10" MAX. AT EXT. SLIDING DOORS = 34" MAX. ADA HARDWARE = 34" MIN. TO 48" MAX.
- COUNTERTOPS (TO SINK RIM COUNTERTOP): ADA = 28" MIN. TO 34" MAX.
- WATER CLOSETS (TO TOP OF SEAT): STANDARD = 14" TO 15". ADA (TO TOP OF SEAT) = 17" TO 19". ADA FLUSH CONTROLS = 44" MAX.
- LAVATORIES (TO SINK RIM COUNTERTOP): STANDARD = 38" MAX. ADA = 34" MAX. (20" MIN. CLEAR KNEE SPACE).
- MIRRORS (TO B.O. REFLECTIVE SURFACE): STANDARD = VARIES. ADA = 48" MAX.
- GRAB BARS - ADA (TO TOP OF BAR): WATER CLOSETS = 33" MIN. TO 38" MAX. SHOWERS = 33" MIN. TO 38" MAX. (FROM B.O. SHOWER). BATH TUBS: TOP BAR = 33" MIN. TO 38" MAX. BOT. BAR = 9" ABOVE T.O. TUB.
- TOILET PAPER DISPENSERS (TO C.L. OF OUTLET): STANDARD = 24" ADA = 18" MIN. TO 24" MAX.
- WALL MOUNTED SOAP DISPENSERS (TO C.L. OF PUSH BUTTON): STANDARD = 40". ADA = VARIES. RE. OBSTRUCTED AND UNOBSTRUCTED REACH RANGES. ADA SIDE REACH = 48" MAX. ABOVE SINK IN COUNTER.
- PAPER TOWEL DISPENSER/WASTE RECEPTACLE (TO TOWEL SLOT): STANDARD = 40" MAX. ADA FORWARD REACH = 48" MAX. & 15" MIN. ADA SIDE REACH = 48" MAX. & 15" MIN.
- WARM AIR HAND DRYER (TO PUSH SWITCH): STANDARD = 44" MAX. ADA FORWARD REACH = 48" MAX. & 15" MIN. ADA SIDE REACH = 48" MAX. & 15" MIN.
- SANITARY NAPKIN DISPENSER (TO C.L. OF SLOT): STANDARD = 40" MAX. ADA FORWARD REACH = 48" MAX. & 15" MIN. ADA SIDE REACH = 48" MAX. & 15" MIN.
- SANITARY NAPKIN DISPOSAL (TO TOP OF UNIT): STANDARD = 28" MAX. ADA = 18" MIN. TO 24" MAX. (TO OPENING).
- SHelves: ADA = 48" MAX.
- COAT HOOKS: STANDARD = 68". ADA = 48" MAX.
- THERMOSTATS & CONTROL DEVICES (TO TOP): ADA FORWARD REACH = 48" MAX. ADA SIDE REACH = 48" MAX.
- LIGHT SWITCHES & CARD READERS (TO C.L.): LOCATE 6" FROM DOOR JAMB. ADA = 48" MAX.
- CONVENIENCE RECEPTACLES - ELECTRICAL/TELEPHONE/ DATA (TO C.L.): STANDARD = 18". ADA = 15" MIN.
- EXIT LIGHTS - WALL MOUNTED: 2" MIN. BELOW CEILING. 2" MIN. ABOVE DOOR FRAME. EQUAL SPACE FROM CEILING TO TOP OF FRAME.
- FIRE EXTINGUISHERS (TO TOP U.N.O.): GROSS WT. 40 LBS. OR LESS = 60" MAX. GROSS WT. MORE THAN 40 LBS. = 42" MAX. ADA = 40" MAX. (B.O. CABINET).
- FIRE ALARM FULL STATIONS (TO LEVER): STANDARD = 48" MAX. ADA FORWARD REACH = 48" MAX. ADA SIDE REACH = 48" MAX.
- SMOKE AND/OR HEAT DETECTORS: STANDARD = CEILING HEIGHT.
- HORN/ SPEAKER/ VISUAL SIGNALS: STANDARD = 80" AFF. OR 6" BELOW CEILING - WHICHEVER IS LOWER.
- ROOM SIGNAGE (TO C.L.): STANDARD = 60" HIGH AFF. & WITHIN 18" OF LATCH SIDE OF DOOR.



MISCELLANEOUS ACCESSORY TYPICAL MOUNTING HEIGHTS

NOTE: SOME OBJECTS INDICATED HERE ARE NOT INCLUDED IN THIS PROJECT

ACCESSORY TYPE	COMMENTS	HEIGHT
FIRE EXTINGUISHER CABINET	SEMI RECESSED	4'-0" MAX
MANUAL FIRE PULL	SURFACE MOUNTED	4'-0" MAX
FIRE STROBE/LIGHT/AUDIBLE ALARM	SURFACE MOUNTED	7'-0"
WALL MOUNTED EXIT SIGN	WALL MOUNTED	4'-0" MAX
WALL MOUNTED HANDRAIL	SURFACE MOUNTED	3'-0" TO TOP
WALL CLOCK	SURFACE MOUNTED	4'-0" U.N.O.
FABRIC COVERED TACK BOARD	SURFACE MOUNTED	2'-6"
MARKER BOARD	SURFACE MOUNTED	4'-0" U.N.O.
MOP & BROOM HOLDER	SURFACE MOUNTED	6'-0" U.N.O.
ROBE HOOK	SURFACE MOUNTED	5'-0"
ELAPSED TIME CLOCK	SURFACE MOUNTED	4'-0" MAX
SOAP DISPENSER	SURFACE MOUNTED	48" AT ACCESSIBLE
PAPER TOWEL DISPENSER	SURFACE MOUNTED	SEE W/ELD TO SPOUT
ALCOHOL DISPENSER	SURFACE MOUNTED	4'-0" MAX

TOILET ACCESSORY TYPICAL MOUNTING HEIGHTS

NOTE: SOME OBJECTS INDICATED HERE ARE NOT INCLUDED IN THIS PROJECT

ACCESSORY TYPE	COMMENTS	HEIGHT
PAPER TOWEL DISPENSER	SURFACE MOUNTED	4'-0" MAX
POWER HAND DRYER	SURFACE MOUNTED	4'-0" MAX
PAPER TOWEL DISPENSER & TRASH RECEPTACLE	SEMI RECESSED	3'-6"
TOILET TISSUE DISPENSER	SURFACE MOUNTED	2'-0"
SANITARY NAPKIN DISPOSAL	SURFACE MOUNTED	2'-6"
SANITARY NAPKIN DISPENSER	RECESSED & SURFACE	3'-4" U.N.O.
FRAMED VANITY MIRROR	SURFACE MOUNTED	3'-4" MAX
DIAPER CHANGING STATION	SURFACE MOUNTED	2'-9" MAX
SOAP DISPENSER	COUNTERTOP MOUNTED	2'-0"
FOLDING SHOWER SEAT	SURFACE MOUNTED	4'-0"
TOILET PARTITION	WALL MOUNTED	1'-0"
URINAL SCREEN	WALL MOUNTED	4'-0"

MISCELLANEOUS ACCESSORY TYPICAL MOUNTING HEIGHTS

NOTE: SOME OBJECTS INDICATED HERE ARE NOT INCLUDED IN THIS PROJECT

ACCESSORY TYPE	COMMENTS	HEIGHT
CLOSET HANGAR ROD & SHELF	WALL MOUNTED	5'-0"
WALL PHONE	SURFACE MOUNTED	4'-0" MAX
TELEPHONE HOUSING	SURFACE MOUNTED	4'-0"
CUP DISPENSER	SURFACE MOUNTED	4'-0" MAX
WALL SWITCH	SURFACE MOUNTED	4'-0" MAX
TELEPHONE OUTLET	SURFACE MOUNTED	4'-0" MAX
RECEPTACLE/ TELEPHONE/ DATA	SURFACE MOUNTED	4'-0" MAX
SPECIALTY EQUIP (IE. THERMOSTAT, CARD READER, INTERCOM)	SURFACE MOUNTED	4'-0" MAX
ELEVATOR CALL BUTTON	SURFACE MOUNTED	35"-48"
ELEVATOR VISIBLE SIGNAL INDICATOR	SURFACE MOUNTED	5'-0"
TACTILE CHARACTER INDICATOR	SURFACE MOUNTED	3'-4"
PANIC BAR	SURFACE MOUNTED	3'-4" U.N.O.
DOOR PULL	SURFACE MOUNTED	3'-4"
DOOR LATCH	SURFACE MOUNTED	3'-4"
ADA DOOR OPERATOR	VARIES	3'-4"

PLUMBING FIXTURE TYPICAL MOUNTING HEIGHTS

NOTE: SOME OBJECTS INDICATED HERE ARE NOT INCLUDED IN THIS PROJECT

ACCESSORY TYPE	COMMENTS	HEIGHT
SHOWER MIXING VALVE	WALL MOUNTED	3'-4" U.N.O.
SHOWER HEAD	WALL MOUNTED	6'-6" U.N.O.
HAND HELD SHOWER	WALL MOUNTED	6'-6" U.N.O.
LAVATORY	WALL MOUNTED	2'-10"
LAVATORY	COUNTER MOUNTED	2'-10"
CHILDREN'S DRINKING FOUNTAIN	WALL MOUNTED	3'-0" TO SPOUT
SINGLE DRINKING FOUNTAIN	WALL MOUNTED	3'-0" TO SPOUT
DOUBLE DRINKING FOUNTAIN	WALL MOUNTED	38" MAX TO SPOUT
TOILET	WALL/FLOOR MOUNTED	3'-2" TO SPOUT
URINAL	WALL MOUNTED	17" MAX AT ACCESSIBLE

GRAB BAR TYPICAL MOUNTING HEIGHTS & TOILET ACCESSORY PLANS

NOTE: SOME OBJECTS INDICATED HERE ARE NOT INCLUDED IN THIS PROJECT

ACCESSORY TYPE	COMMENTS	HEIGHT
ADA TOILET GRAB BAR	SURFACE MOUNTED	38"-41"
SHOWER STALL GRAB BAR	SURFACE MOUNTED	34"
ROLL-IN SHOWER STALL GRAB BAR	SURFACE MOUNTED	34"
TYPICAL ACCESSORIES AT ACCESSIBLE TOILET	NOTE: SANITARY NAPKIN DISPOSAL AT WOMEN'S & UNSEX ONLY	1'-6"
TYPICAL ADA SINK ENCLOSURE PANEL CLEARANCE		2'-3"
TYPICAL TOILET PAPER DISPENSER PER ICC A117.1	SURFACE MOUNTED BELOW GRAB BAR	15" MIN

A11 TYP. MOUNTING HEIGHTS
1/4" = 1'-0"

WALL PRIORITY LEGEND

NOTE: THIS LEGEND IS FOR GRAPHIC REPRESENTATION ONLY.

FOUR HOUR FIRE WALL (4FW)
THREE HOUR FIRE WALL (3FW)
TWO HOUR FIRE WALL (2FW)
FOUR HOUR FIRE BARRIER (4FB)
THREE HOUR FIRE BARRIER (3FB)

TWO HOUR FIRE BARRIER (2FB) (INCLUDES THE FOLLOWING)

- TWO HOUR SHAFT ENCLOSURE (2SE)

ONE HOUR FIRE BARRIER (1FB) (INCLUDES THE FOLLOWING)

- ONE HOUR SHAFT ENCLOSURE (1SE)

SMOKE TIGHT PARTITION (X) (INCLUDES THE FOLLOWING)

- SMOKE TIGHT PARTITION TO SMOKE TIGHT CEILING (XC)
- SMOKE TIGHT PARTITION WITHIN PLENUM ABOVE CEILING (XP)
- SMOKE TIGHT PARTITION SEPARATION OF INTERSTITIAL SPACES (XI)

DETAIL ABUTMENT OF DISSIMILAR WALL

LOWER PRIORITY WALL

HIGHER PRIORITY WALLS SHALL PASS THROUGH A LOWER PRIORITY WALL

INTERSECTION OF RATED WALLS

A

B

C

D

E

NOTES:
1. REFER TO WALL TYPES ON SHEET G121-TI FOR WALL COMPONENTS, NUMBER OF GYPSUM BOARD LAYERS, TYPE OF GYPSUM BOARD, AND OTHER SIMILAR INFO.
2. THE HIGHER PRIORITY WALL SHALL PASS THROUGH THE LOWER PRIORITY WALL.
3. TAPING AND SEALING OF HIGHER PRIORITY WALLS SHALL BE CONTINUOUS.
4. ALTERNATE LAYERS OF GYPSUM BOARD SHALL OVERLAP AT CORNER INTERSECTIONS OF MULTI-LAYERED RATED GYPSUM BOARD PARTITIONS.

FIRE & SMOKE RESISTIVE LEGEND DEFINITIONS

FIRE WALLS (FW)

DEFINITION
A FIRE RATED WALL THAT IS CONTINUOUS VERTICALLY FROM FOUNDATION TO ROOF TO SEPARATE CONSTRUCTION INTO SEPARATE BUILDINGS.

USE
FIRE WALLS SERVE TO CREATE SEPARATE BUILDINGS FOR THE FOLLOWING REASONS.

- CONSTRUCTION TYPE VARIES FROM ONE BUILDING TO ANOTHER.
- COMPLIANCE WITH MAXIMUM ALLOWABLE AREA REQUIREMENTS.
- TO SEPARATE BUILDINGS WITH DIFFERENT LEVELS OF FIRE PROTECTION.
- TO ADDRESS A PROPERTY LINE DEFINING DIFFERENT OWNERSHIP.

SPECIAL CONSIDERATIONS

- THE FIRE WALL REQUIRES SUFFICIENT STRUCTURAL STABILITY UNDER FIRE CONDITIONS TO ALLOW THE COLLAPSE OF CONSTRUCTION ON EITHER SIDE WITHOUT COLLAPSE OF THE WALL.
- OPENINGS ARE REQUIRED TO BE PROTECTED.
- OPENINGS ARE LIMITED BASED ON A PERCENTAGE OF WALL LENGTH.
- EXTENDING THE FIRE WALL THROUGH THE ROOF WITH A PARAPET IS REQUIRED FOR SOME CONSTRUCTION CLASSIFICATIONS.
- THE REQUIRED FIRE RATING OF A FIRE WALL IS BASED ON OCCUPANCY GROUPS AND CLASS OF CONSTRUCTION.
- HARDWARE FOR SWING DOORS SHALL INCLUDE A LATCH AND CLOSER.

FIRE PARTITIONS (FP)

DEFINITION
A FIRE RATED PARTITION THAT IS USED FOR THE APPLICATIONS LISTED BELOW. IT SHALL BE CONTINUOUS FROM TOP OF FLOOR TO UNDERSIDE OF A FIRE-RATED FLOOR/CEILING OR ROOF/CEILING ASSEMBLY, WHERE ALLOWED BY CODE. EXCEPTION: A FIRE PARTITION SHALL BE ALLOWED TO TERMINATE AT THE UPPER MEMBRANE OF A FIRE-RATED CEILING.

USE
FIRE PARTITIONS ARE USED IN CERTAIN OCCUPANCIES TO DO THE FOLLOWING.

- SEPARATE DWELLING UNITS
- SEPARATE SLEEPING SPACES
- SEPARATE CORRIDORS FROM ADJACENT SPACES
- SEPARATE ELEVATOR LOBBIES
- SEPARATE TENANT SPACES IN COVERED MAIL BUILDINGS

SPECIAL CONSIDERATIONS

- OPENINGS ARE REQUIRED TO BE PROTECTED.
- HARDWARE FOR SWING DOORS SHALL INCLUDE A LATCH AND CLOSER.

BEARING WALLS (BW)

DEFINITION
AN INTERIOR OR EXTERIOR WALL DESIGNED TO SUPPORT FLOOR OR ROOF LOADS. A BEARING WALL IS FIRE-RATED ONLY TO MAINTAIN THE INTEGRITY OF ITSELF AS A FIRE RATED STRUCTURAL ELEMENT. THE WALL DOES NOT SERVE AS A FIRE SEPARATION FROM ONE SIDE TO THE OTHER SIDE.

USE
A VERTICAL LOAD BEARING STRUCTURAL ELEMENT.

SPECIAL CONSIDERATIONS

- DOORS AND WINDOWS ARE NOT REQUIRED TO BE RATED.
- HVAC DUCT PENETRATIONS ARE NOT REQUIRED TO BE FIRE-DAMPENED.
- PLUMBING, ELECTRICAL, SPRINKLER SYSTEM, AND CABLE PENETRATIONS ARE REQUIRED TO BE FIRE-STOPPED WITH FIRE SEALANT AT BOTH SIDES. FOR WALLS CONSTRUCTED OF HOLLOW CMU OR STUD FRAMING.

FIRE BARRIERS (FB)

DEFINITION
A FIRE RATED WALL CONSTRUCTED TO RESTRICT THE SPREAD OF FIRE. CONTINUITY SHALL BE MAINTAINED FROM TOP OF FLOOR TO UNDERSIDE OF THE FLOOR OR ROOF DECK ABOVE.

USE
FIRE BARRIERS HAVE THE FOLLOWING APPLICATIONS.

- TO CREATE HORIZONTAL EXITS.
- TO SEPARATE EXIT PASSAGEWAYS.
- OCCUPANCY SEPARATIONS.
- TO SEPARATE INCIDENTAL USE AREAS.
- ISOLATION OF HAZARDS.
- TO SEPARATE ROOMS WITH DIFFERENT LEVELS OF FIRE PROTECTION.
- SMOKE BARRIERS AND SHAFT ENCLOSURES ARE FIRE BARRIERS. SEE ADDITIONAL REQUIREMENTS.

SPECIAL CONSIDERATIONS

- WITHIN SOME CONSTRUCTION CLASSIFICATIONS, CONSTRUCTION THAT PROVIDES STRUCTURAL SUPPORT OF A FIRE BARRIER IS REQUIRED TO BE OF THE SAME HOURLY FIRE RATING AS THE FIRE BARRIER, OR BETTER.
- OPENINGS ARE REQUIRED TO BE PROTECTED.
- HARDWARE FOR SWING DOORS SHALL INCLUDE A LATCH AND CLOSER.

SHAFT ENCLOSURES (SE)

DEFINITION
A SHAFT ENCLOSURE IS A FIRE BARRIER FORMING THE BOUNDARY OF A VERTICAL SHAFT.

USE
PROTECT OPENINGS IN FIRE RATED FLOOR/CEILING ASSEMBLIES.

SPECIAL CONSIDERATIONS

- PENETRATIONS IN SHAFT ENCLOSURES ARE PROHIBITED UNLESS NECESSARY FOR THE FUNCTION OF THE SHAFT. WHERE ALLOWED, OPENINGS ARE REQUIRED TO BE PROTECTED.
- DUCT PENETRATIONS REQUIRE COMBINATION SMOKE AND FIRE DAMPERS EXCEPT FOR EXISTING CONDITIONS THAT ARE GRANDFATHERED.
- HARDWARE FOR SWING DOORS SHALL INCLUDE A LATCH, CLOSER, AND PERIMETER SMOKE SEALS.

GENERAL DESCRIPTION

PROJECT NAME: HERITAGE ASSET MANAGEMENT
PROJECT LOCATION: 100 NE DOUGLAS ST., LEE'S SUMMIT, MO 64063
COUNTY: JACKSON

COLLINS | WEBB ARCHITECTURE
307B SW MARKET ST.
LEE'S SUMMIT, MO 64063

APPLICABLE CODE:
INTERNATIONAL BUILDING CODE - 2018 ED.
INTERNATIONAL PLUMBING CODE - 2018 ED.
INTERNATIONAL MECHANICAL CODE - 2018 ED.
INTERNATIONAL FUEL GAS CODE - 2018 ED.
INTERNATIONAL FIRE CODE - 2018 ED.
NATIONAL ELECTRICAL CODE - 2017 ED.
ICC/ANSI A117.1-2009, ACCESSIBLE AND UABLE BUILDINGS AND FACILITIES

PROJECT DESCRIPTION:

EXISTING RESIDENTIAL PROPERTY IS BEING CONVERTED INTO A COMMERCIAL FINANCIAL PLANNING AND INVESTMENT MANAGING BUSINESS. THIS PROJECT CONSISTS OF THE FOLLOWING WORK:

- DEMONEW BUILD OF THE BACK DECK STRUCTURE
- ADDITION OF A NEW ADA LIFT FOR EASE OF ACCESS.
- REMOVAL/ADDITION OF VEGETATION
- ADDITION OF A NEW ASPHALT PARKING LOT AND CONCRETE SIDEWALK
- ADDITION OF A NEW DETENTION BASIN
- REWORK OF EXISTING BATHROOM TO MEET ADA REQUIREMENTS

CODE INFORMATION

BUILDING/PROJECT USE:
CONSTRUCTION TYPE
OCCUPANCY CLASSIFICATION(S)
BUILDING FRAME

BUSINESS
TYPE VB (NON-SPRINKLERED)
GROUP "B" BUSINESS
WOOD FRAMED (EXISTING)

IBC SECTION 302
IBC TABLE 601
IBC SECTION 303

BASE ALLOWABLE AREA (B)

9,000 SQ. FT.

IBC SECTION 506.2

ACTUAL TENANT AREA (GROSS)

1,780 SQ. FT. +/- (EXISTING)

LEVEL 1
LEVEL 2
LEVEL 3

1,030 SQ. FT. (EXISTING)
780 SQ. FT. (EXISTING)
N.I.C. (EXISTING)

ALLOWABLE STORIES
ACTUAL NUMBER OF STORIES

2 STORIES
3 STORIES (TOP LEVEL TO BE CLOSED OFF AND POSTED "NO STORAGE" PER CITY REQUIREMENTS. PLEASE REFERE TO THE CMR FORM AFFILIATED WITH THIS PROJECT PERMIT.)

IBC TABLE 504.4

ALLOWABLE HEIGHT
ACTUAL HEIGHT IN FEET

40'-0"
< 40'-0" (EXISTING)

IBC TABLE 504.3

FIRE RESISTIVE REQUIREMENTS

PRIMARY FRAME
NON-BEARING WALLS
BEARING WALLS INT. / EXT.
FLOOR CONSTRUCTION
CEILING/ROOF
CORRIDORS

0 HRS
0 HRS
0 INT. / 0 EXT. HRS
0 HRS
0 HRS
0 HRS

IBC TABLE 601
IBC TABLE 601
IBC TABLE 601
IBC TABLE 601
IBC TABLE 601
IBC TABLE 1020.1

FIRE EXTINGUISHERS

1. PROVIDE PORTABLE FIRE EXTINGUISHERS IN OCCUPANCIES AND LOCATIONS AS REQUIRED BY THE LOCAL FIRE PREVENTION CODE. SEE PLANS FOR SUGGESTED LOCATIONS. NOTIFY ARCHITECT OF ANY PROPOSED RELOCATION OR IF A CONFLICT IS ENCOUNTERED.

2. PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED, INSPECTED, AND MAINTAINED IN ACCORDANCE WITH NFPA 10, STANDARD FOR PORTABLE FIRE EXTINGUISHERS.

3. PORTABLE FIRE EXTINGUISHERS SHALL BE LOCATED IN CONSPICUOUS LOCATIONS WHERE THEY WILL BE READILY ACCESSIBLE AND IMMEDIATELY AVAILABLE FOR USE. THESE LOCATIONS SHALL BE ALONG NORMAL PATHS OF TRAVEL, UNLESS THE FIRE CODE OFFICIAL DETERMINES THAT THE HAZARD POSSED INDICATES THE NEED FOR PLACEMENT AWAY FROM NORMAL PATHS OF TRAVEL.

CEILING HEIGHT NOTES: (IBC 1208)

1. ALL MEANS OF EGRESS TO HAVE A MINIMUM CEILING HEIGHT OF 7'-6" A.F.F., NOR SHALL HAVE ANY PROJECTION FROM THE CEILING BE LESS THAN 6'-8" A.F.F.

2. OCCUPIED SPACES, HABITABLE SPACES AND CORRIDORS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7'-6" A.F.F.

3. BATHROOMS, TOILET ROOMS, KITCHENS, STORAGE ROOMS AND LAUNDRY ROOMS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7'-0" A.F.F.

INTERIOR FINISHES

BUSINESS - GROUP "B"

MAX. FLAME SPREAD

TABLE / SECTION / REFERENCE

CLASS A

IBC 903.1.2, 903.13

CORRIDORS AND ENCLOSURES FOR EXIT ACCESS STAIRWAYS AND RAMPS

CLASS B

IBC 903.1.2, 903.13

ROOMS AND ENCLOSED SPACES

CLASS C

IBC 903.1.2, 903.13

NOTE:
DECORATIVE MATERIALS AND TRIM (INCLUDING PLASTICS) MUST COMPLY WITH IBC SECTION 906.

GENERAL EXITING REQUIREMENTS

EXIT TRAVEL DISTANCE
DEAD END CORRIDOR
COMMON PATH OF TRAVEL
MIN. CORRIDOR WIDTH

200 FEET
20 FEET
75 FEET IF OCC. < 50
44", OR 36" IF OCC. < 50

IBC SECTION 1017.2
IBC SECTION 1020.4
IBC SECTION 1020.8
IBC SECTION 1020.2

POSTING OF OCCUPANT LOAD

EVERY ROOM OR SPACE THAT IS AN ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD OF THE ROOM OR SPACE POSTED IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE ROOM OR SPACE. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER OR AUTHORIZED AGENT.

EXIT REQUIREMENTS

A. REQUIRED CAPACITY
1. STAIRS - 0.3' / PERSON
2. OTHER COMPONENTS - 0.2' / PERSON

B. MINIMUM NUMBER
1. OCCUPANT LOAD OF 1-500 PERSONS - EXITS PER STORY

IBC SECTION 1005.3.1
IBC SECTION 1005.3.2
IBC TABLE 1006.3.2

SIGNAGE

1. EVACUATION DIAGRAM PROVIDED IN ACCORDANCE WITH IBC 1001.2.

OCCUPANT LOAD

OCCUPANT LOAD (1ST LEVEL)

BUSINESS
KITCHEN/BREAK
TOTAL OCCUPANT LOAD (1ST LEVEL)

5 OCC (667 SQ. FT. / 150 GROSS)
2 OCC (271 SQ. FT. / 200 GROSS)
7 OCC

IBC TABLE 1004.5

OCCUPANT LOAD (2ND LEVEL)

BUSINESS
STORAGE
TOTAL OCCUPANT LOAD (2ND LEVEL)

3 OCC (436 SQ. FT. / 150 GROSS)
1 OCC (68 SQ. FT. / 300 GROSS)
4 OCC

IBC TABLE 1004.5

TOTAL BUILDING OCCUPANTS

11 OCC

EXITS REQUIRED
EXITS PROVIDED

2 EXITS
2 EXITS

IBC TABLE 1006.3.2

PLUMBING FIXTURE REQUIREMENTS

IBC TABLE 2902.1

B OCC. WATER CLOSETS:
B OCC. LAVATORIES:
B OCC. DRINKING FOUNTAINS:
B OCC. SERVICE SINKS:

= 1 PER 25 FOR THE FIRST 50, 1 PER 50 FOR THE REMAINDER
= 1 PER 40 FOR THE FIRST 80, 1 PER 80 FOR THE REMAINDER
= 1 PER 100
= 1 REQUIRED

PLUMBING FIXTURES REQUIRED
WATER CLOSETS:
LAVATORIES:
DRINKING FOUNTAINS:
SERVICE SINKS:

= 1 REQUIRED
= 1 REQUIRED
= 1 REQUIRED
= 1 REQUIRED

PLUMBING FIXTURES PROVIDED
WATER CLOSETS:
LAVATORIES:
DRINKING FOUNTAINS:
SERVICE SINKS:

= 2 PROVIDED (EXISTING UNISEX)
= 2 PROVIDED (1 EXISTING)
= BOTTLED WATER PROVIDED
= 1 PROVIDED

FIRE RESISTIVE LEGEND

NUMBER OF OCCUPANTS EXITING
CALCULATED EXIT WIDTH REQ'D (IN.)
EXIT WIDTH PROVIDED (IN.)

200
40' / 32'
68'

MIN. WIDTH OF MEANS OF EGRESS COMPONENT (IN.)

K.B.

KNOX BOX

ACCESSIBLE EGRESS COMPONENT

EGRESS PATH

FE-1

INDICATES FIRE EXTINGUISHER CABINET(FE) LOCATION WITH 75'-0" RADIUS COVERAGE AREA. SEE SPECIFICATIONS FOR FE TYPE.

FE-2K

INDICATES KITCHEN/BAR FIRE EXTINGUISHER (FE) LOCATION WITH 75'-0" RADIUS COVERAGE AREA. SEE SPECIFICATIONS FOR FE TYPE.

EGRESS DISTANCE

Type

DISTANCE

LEVEL 1
TRAVEL DISTANCE - A

4'1" - 9"

LEVEL 2
TRAVEL DISTANCE - B

23' - 7"

A6 LIFE SAFETY - 2ND LEVEL
3/16" = 1'-0"

A3 LIFE SAFETY - 1ST LEVEL
3/16" = 1'-0"

HERITAGE ASSET MANAGEMENT

100 NE DOUGLAS ST.
LEE'S SUMMIT, MO 64063

COPYRIGHT © BY
COLLINS WEBB
ARCHITECTURE, LLC

REVISION DATES:

PROFESSIONAL SEAL

G003

ISSUE DATE: 24 JUNE 2025
COLLINS WEBB #: 24114

LIFE SAFETY PLANS AND
PROJECT INFO.

RELEASED FOR
CONSTRUCTION
As Noted on Plans Review
06/15/2025

PERMIT DOCUMENTS



3075 SW Market St., Lee's Summit, MO 64063 | 816.248.2270 | www.collinswebb.com

PERMIT DOCUMENTS

HERITAGE ASSET MANAGEMENT

100 NE DOUGLAS ST.
LEE'S SUMMIT, MO 64063

COPYRIGHT © BY
COLLINS WEBB
ARCHITECTURE, LLC

REVISION DATES:

PROFESSIONAL SEAL

ROGER L. WEBB
ARCHITECT
No. 0000000000

ISSUE DATE: 24 JUNE 2025
COLLINS WEBB #: 24114

SPECIFICATIONS

12	11	10	9	8	7	6	5	4	3	2	1
SPECIFICATIONS - PRODUCT & INSTALLATION GENERAL REQUIREMENTS											
GENERAL REQUIREMENTS APPLICABLE TO ALL MATERIALS FOR THE PROJECT:											
1. NO SUBSTITUTIONS OF MATERIALS WITHOUT COMPLETION OF A SUBSTITUTION REQUEST FORM & APPROVAL OF SUBSTITUTION BY BOTH ARCHITECT & OWNER PROJECT MANAGER. FORM CAN BE REQUESTED FROM ARCHITECT.											
2. A CONDENSED SET OF SPECIFICATIONS ARE PROVIDED FOR THE PROJECT. STRICT ADHERENCE TO MAIN LOADS, REQUIRED INSTALLATION METHODS, AND SECTIONAL DETAILS ARE REQUIRED. ANY CHANGES PROVIDED WITHIN, IF REQUIRED THE ARCHITECT WILL ISSUE ADDITIONAL SECTIONS TO PROVIDE CLARITY TO PRODUCTS OR INSTALLATION REQUIREMENTS.											
DIVISION 1 - GENERAL REQUIREMENTS											
1. SEE ADMINISTRATIVE SPECIFICATION FOR GENERAL REQUIREMENTS RELATED TO ADMINISTRATION OF THIS CONTRACT.											
A. CONTRACTOR LICENSES											
1. THE CONTRACTOR AND ALL SUBCONTRACTORS INVOLVED IN THE PROJECT SHALL BE REQUIRED TO OBTAIN AND PAY FOR ALL NECESSARY LICENSES AS REQUIRED BY ANY LAW OR AGENCIES HAVING JURISDICTION (AHJ) OVER THE PROJECT.											
B. BUILDING PERMITS											
1. THE GENERAL CONTRACTOR WILL PAY FOR ALL PERMITS REQUIRED BY ANY AGENCY HAVING JURISDICTION (AHJ) OVER THE PROJECT FOR ALL WORK TO BE PERFORMED BY THE GENERAL CONTRACTOR.											
C. UTILITY FEES											
1. THE CONTRACTOR SHALL PAY THE NECESSARY FEES TO CONNECT TO EXISTING UTILITIES AT THE PROPERTY LINE OR IN ADJACENT STREETS AND RIGHT OF WAY AS SPECIFIED, NECESSARY, AND/OR INCLUDED IN THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL PAY ALL UTILITY COSTS (BILLS) DURING CONSTRUCTION UNTIL OWNER TAKES POSSESSION OF THE FACILITY OR THE FACILITY IS CERTIFIED AS SUBSTANTIALLY COMPLETE.											
D. PROTECTION OF FINISHED WORK											
1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT FINISHED SURFACES. PROTECTION FOR FINISHES SUCH AS DOORS, WALLS AND FLOORS SHOULD BE PROVIDED AS REQUIRED. ANY DAMAGES TO THESE FINISHES WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR OR REPLACE.											
E. GENERAL CONDITIONS											
1. ANY DISCREPANCY OR CONFLICT WITHIN OR BETWEEN DRAWINGS AND ANY DISCREPANCY OR CONFLICT BETWEEN ANY DRAWING AND ANY SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. NOTWITHSTANDING, DISCREPANCIES OR CONFLICTS NOT BROUGHT TO THE ARCHITECT'S AND OWNERS' ATTENTION AND CLARIFIED DURING THE BIDDING OF THE PROJECT WILL BE DEEMED TO HAVE BEEN BID OR PROPOSED IN THE MORE COSTLY OR DIFFICULT MANNER, AND THE BETTER QUALITY OR GREATER QUANTITY OF THE WORK SHALL BE PROVIDED BY THE CONTRACTOR IN ACCORDANCE WITH ARCHITECT'S INTERPRETATION.											
2. GENERAL CONTRACTOR SHALL KEEP A COMPLETE SET OF DOCUMENTS ON THE PROJECT SITE AT ALL TIMES FOR REFERENCE DURING CONSTRUCTION.											
3. THE GENERAL CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THE CONTRACTOR'S BEST SKILLS AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND HAVE CONTROL OVER THE CONSTRUCTION MEANS AND METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.											
4. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND HAVE CONTROL OVER ALL JOB SITE SAFETY PROCEDURES AND POLICIES. THE GENERAL CONTRACTOR SHALL HAVE A SAFETY COORDINATOR AND BE RESPONSIBLE TO HOLD REGULARLY SCHEDULED SAFETY TRAINING WITH ALL JOB SITE PERSONNEL, INCLUDING ALL SUB CONTRACTOR PERSONNEL.											
5. NEITHER THE ARCHITECTS OR THE OWNERS INSPECTOR NOR FAILURE TO INSPECT SHALL RELIEVE THE CONTRACTOR OF ANY OBLIGATION HEREUNDER. IF ANY WORK FAILS TO CONFORM TO THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL REPAIR AND/OR REPLACE THE SAME AT THE CONTRACTOR'S EXPENSE. NO ACCEPTANCE OR PAYMENT BY THE OWNER OR ARCHITECT SHALL CONSTITUTE A WAIVER OF THE FOREGOING AND NOTHING HEREIN SHALL EXCLUDE OR LIMIT ANY WARRANTIES IMPLIED BY LAW.											
6. THE GENERAL CONTRACTOR SHALL CONDUCT ITS OPERATIONS AS NOT TO UNREASONABLY INTERFERE WITH TRAFFIC ON PUBLIC THOROUGHFARES ADJACENT OR NEAR TO THE PROJECT SITE.											
7. DO NOT SCALE DRAWINGS.											
F. PROJECT REQUIREMENTS											
1. THE GENERAL CONTRACTOR REPRESENTS THAT IT POSSESSES THE SKILLS REQUIRED FOR THE WORK, ASSUMES THE RESPONSIBILITIES OF AN EMPLOYER, AND ACTS AS AN EMPLOYER FOR ALL PERSONNEL, INCLUDING EMPLOYER OR ONE OR MORE EMPLOYEES BY PAYING WAGES, DIRECTING ACTIVITIES AND PERFORMING OTHER SIMILAR FUNCTIONS. THE GENERAL CONTRACTOR IS AN INDEPENDENT CONTRACTOR, FREE TO DETERMINE THE MANNER AND MEANS OF PERFORMANCE.											
2. THE GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN IN GOOD WORKING ORDER, THE FOLLOWING ITEMS FOR USE BY THE PROJECT SUPERINTENDENT DAILY DURING THE ENTIRE DURATION OF THE PROJECT:											
A. LAPTOP WITH INTERNET ACCESS.											
B. DIGITAL CAMERA WITH "DATE STAMP" CAPABILITY AND WITH PROPER CABLES TO ATTACH TO LAPTOP.											
C. EMAIL ACCESS THROUGH THE LAPTOP.											
D. A PRINTER/CANNER/MACHINE WITH PROPER CABLES TO ATTACH TO LAPTOP.											
E. CELL PHONE.											
F. PROJECT INTERNET CLOUD BASED SITE FOR MANAGEMENT OF PROJECT INFORMATION. SITE WILL BE USED FOR SUBMITTAL OF SHOT DRAWINGS, RFIS & PHOTOS. SITE SHALL BE PROTECTED FROM LOSS OF FUNCTIONALITY.											
3. THE GENERAL CONTRACTOR SHALL HAVE A CONSTRUCTION SUPERINTENDENT ASSIGNED TO THIS PROJECT, AND THIS SUPERINTENDENT SHALL BE ON SITE EVERY DAY THERE IS ANY CONSTRUCTION ON THIS PROJECT. THE SUPERINTENDENT SHALL BE REACHABLE BY PHONE DURING NORMAL BUSINESS HOURS. ONCE ASSIGNED, THE SUPERINTENDENT SHALL NOT BE REMOVED OR REPLACED WITHOUT WRITTEN APPROVAL FROM OWNER & ARCHITECT. UNLESS SPECIFICALLY REQUESTED TO BE REPLACED BY OWNER.											
4. THE SUPERINTENDENT WILL BE REQUIRED TO PROVIDE PHOTOGRAPHS (VIA EMAIL USING A DIGITAL CAMERA) TO THE OWNER & ARCHITECT EACH FRIDAY BY NOON CST, SHOWING THE PROGRESS OF CONSTRUCTION. THE GENERAL CONTRACTOR IS ENCOURAGED TO TAKE PHOTOS SEVERAL TIMES EACH WEEK TO HELP MAINTAIN PROOF OF CONSTRUCTION PROGRESS, RECORD UNCOVERED CONDITIONS, RECORD CONDITION AND AMOUNTS OF VENDOR GOODS UPON RECEIPT, AND RECORD CONSTRUCTION THAT VARIES FROM THE CDS (AS BUILT) OF THE AS-BUILTS). ALL PHOTOS WILL HAVE A "DATE STAMP".											
G. INSPECTIONS/OBSERVATIONS											
1. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO OVERSEE CONSTRUCTION OF THE PROJECT CONTINUALLY INSPECTING THE WORK, MATERIALS, AND WORKMANSHIP PROVIDED BY ALL ITS TRADESMEN, SUBCONTRACTORS, AND SUPPLIERS. EXCELLENCE IN QUALITY OF CONSTRUCTION CAN ONLY BE ACHIEVED IF THE CONTRACTOR ENFORCES HIGH STANDARDS OF ACCEPTABILITY. THE GENERAL CONTRACTOR CANNOT DELEGATE HIS RESPONSIBILITY TO THE SUBCONTRACTORS, BUT MUST CONTINUALLY MONITOR THE WORK OF EACH TRADE ON THE PROJECT.											
2. IF THE CONTRACTOR HAS RESPONSIBILITY TO ARRANGE AND SCHEDULE ALL AGENCIES HAVING JURISDICTION (AHJ) INSPECTIONS NECESSARY TO OBTAIN THE CERTIFICATE OF OCCUPANCY (CERTIFICATE OF COMPLIANCE), PRIOR TO THE DATE OF THE AGENCY INSPECTION, THE GENERAL CONTRACTOR SHOULD INSPECT THE PROJECT TO INSURE THAT CONSTRUCTION COMPLIES WITH THE AGENCY REQUIREMENTS. SCHEDULING FINAL INSPECTIONS WITH AGENCY REPRESENTATIVES WHEN THE PROJECT IS NOT COMPLETE MUST BE AVOIDED. COPIES OF FINAL INSPECTIONS MUST BE PROVIDED TO OWNER & ARCHITECT AS THEY ARE AVAILABLE.											
3. PRIOR TO TESTING THE SUBSTANTIAL COMPLETION INSPECTION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONDUCT HIS OWN PRE-SUBSTANTIAL COMPLETION INSPECTION OF THE CONSTRUCTION FOR QUALITY OF CONSTRUCTION AND COMPLIANCE WITH THE CONSTRUCTION DOCUMENTS.											
4. THE FOLLOWING PEOPLE SHOULD BE IN ATTENDANCE FOR THE SUBSTANTIAL COMPLETION INSPECTION:											
A. GENERAL CONTRACTOR											
B. GENERAL CONTRACTOR SUPERINTENDENT											
C. MECHANICAL CONTRACTOR											
D. ELECTRICAL CONTRACTOR											
E. PLUMBING CONTRACTOR											
F. PAINTING CONTRACTOR											
G. FLOORING CONTRACTOR											
5. ITEMS TO BE SUBMITTED AS A PREREQUISITE TO THE REQUEST FOR THE CERTIFICATE OF SUBSTANTIAL COMPLETION AND OWNER / ARCHITECT OBSERVATION OF ITEMS TO BE COMPLETED AND CORRECTED:											
A. GENERAL CONTRACTORS PUNCH LIST											
B. HVAC TEST AND BALANCE REPORT											
C. SPRINKLER SYSTEM ACCEPTANCE INSPECTION REPORT											
D. COPY OF VIDEO OF COMPLETED PUNCH SYSTEM											
6. THE REVIEW SHALL BE COMPLETED PRIOR TO THE REVIEW MEETING. THE GENERAL CONTRACTOR SHALL PROVIDE A PUNCH LIST TO THE ARCHITECT AND OWNER PRIOR TO THE REVIEW MEETING. FAILURE TO PROVIDE A PUNCH LIST TO THE ARCHITECT SHALL BE CAUSE TO SUSPEND PAYMENT UNTIL IDENTIFIED. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO ENFORCE THE TIMELY POSTING OF AS-BUILT CHANGES WITH THE SUBCONTRACTORS.											
H. RECORD CLOSE-OUT DOCUMENTS											
1. THE OWNER REQUIRES THE GENERAL CONTRACTOR AND SUBCONTRACTORS TO MAINTAIN AN ACCURATE, CURRENT SET OF RECORD DOCUMENTS (AS-BUILTS) AS CONSTRUCTION PROGRESSES. ALL PERTINENT INFORMATION RELATING TO THE PROJECT MUST BE TIMELY MAINTAINED ON THE AS-BUILTS. THE AS-BUILTS MUST BE MAINTAINED ON-SITE IN THE GENERAL CONTRACTOR'S OFFICE AND WILL NOT BE USED FOR ANY OTHER PURPOSE, SINCE THE OWNER WILL OWN AND OPERATE THE FACILITY. IT IS IMPERATIVE THAT ALL PARTIES MAINTAIN ACCURATE INFORMATION REGARDING THE ACTUAL CONSTRUCTION OF THE PROJECT.											
ALL DEVIATIONS FROM THE CONTRACT SET OF DRAWINGS MUST BE NOTED ON THE AS-BUILTS IN RED WITH CLOUDS FOR CLEAR IDENTIFICATION. THE OWNER WILL REVIEW THE AS-BUILTS FOR ACCURACY AND COMPLETENESS MONTHLY DURING THE PAYMENT REVIEW PROCESS. FAILURE TO POST CHANGES TO THE PROJECT ON THE AS-BUILTS AS IDENTIFIED DURING THE ON-SITE MONTHLY REVIEW WILL BE CAUSE TO SUSPEND PAYMENT UNTIL IDENTIFIED. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO ENFORCE THE TIMELY POSTING OF AS-BUILT CHANGES WITH THE SUBCONTRACTORS.											
I. FINAL CLOSE-OUT OF THE PROJECT											
1. WITHIN THIRTY (30) CALENDAR DAYS AFTER THE FINAL PROJECT SUBSTANTIAL COMPLETION, THE GENERAL CONTRACTOR SHALL COMPLETE ALL CLOSE-OUT DOCUMENTS AND SUBMIT THEM TO THE OWNER FOR REVIEW. IF THE CONTRACTOR FAILS TO COMPLETE THE CLOSE-OUT DOCUMENTS WITHIN THE TIME FRAME, THE GENERAL CONTRACTOR MAY BE SUBJECT TO ADDITIONAL ADMINISTRATION FEES.											
J. CLOSE-OUT DOCUMENTS											
1. THE CATEGORIES LISTED BELOW SHOULD BE SUBMITTED AT THE SAME TIME.											
A. A DISK WITH ALL PHOTOS TAKEN DURING CONSTRUCTION											
B. CHANGE ORDERS AND ALL ADDENDA ATTACHED AND POSTED TO THE AS-BUILT DRAWINGS											
C. AS-BUILT DRAWINGS: ONE HARD COPY TO REMAIN ON SITE AND IN PLAN, TUBE, ONE ELECTRONIC COPY TO BE SENT WITH CLOSE-OUT PAPERWORK											
D. MATERIALS SELECTION DATA - PROVIDE ALL APPROVED SUBMITTALS											
E. OPERATION AND MAINTENANCE MANUALS (OMM) - PROVIDE OMM MANUALS BOXED AND BOUND. THIS ITEM IS OF SIGNIFICANT IMPORTANCE TO MS FUTURE MAINTENANCE ACTIVITIES.											
F. ALL HVAC TEST AND BALANCE REPORTS											
G. RELEASE OF LIEN (AIA FORM 706A, PAYMENT OF DEBT (AIA FORM 706))											
H. WARRANTIES, CERTIFICATES, AFFIDAVITS											
I. ALL INFORMATION INCLUDED IN THIS CATEGORY WILL BE FURNISHED IN ONE (1) COPY AND BOUND IN A STURDY THREE-RING BINDER WITH A LABEL ON THE OUTSIDE READING "GENERAL CLOSE-OUT DOCUMENTS" TO INCLUDE AN INDEX OF THE CONTENTS. ALL AIA DOCUMENTS WILL BE ORIGINAL (WITH RED LETTERING ON THE BOTTOM OF THE FORM AND NOTARIZED). IF THE ELECTRONIC VERSION IS USED A COPY WITH ORIGINAL SIGNATURES WILL BE SUBMITTED. THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR WILL HAVE SEPARATE TABS IDENTIFYING EACH BY NAME. THE GENERAL CONTRACTOR WILL LIST EACH SUBCONTRACTOR ALPHABETICALLY AND WILL CHECK TO INSURE THAT A "RELEASE OF LIEN" - AIA FORM 706A AND A "PAYMENT OF DEBT" - AIA FORM 706B IS INCLUDED FOR HIMSELF AND EACH SUBCONTRACTOR. THE GENERAL CONTRACTOR WILL INCLUDE A "CONSISTENT" AIA FORM 707. IN ADDITION, THE GENERAL CONTRACTOR WILL INCLUDE BEHIND HIS TAB THE FOLLOWING INFORMATION:											
A. A LIST OF NAMES, BUSINESS ADDRESSES, PHONE NUMBERS AND EMAIL ADDRESSES FOR THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR											
B. AN ANNOTATED COPY OF THE SUBSTANTIAL COMPLETION PUNCH LIST INDICATING ACTION TAKEN ON EACH ITEM.											
C. WARRANTIES, CERTIFICATES AND AFFIDAVITS SHALL BE INCLUDED FOR ANY EQUIPMENT, MATERIALS OR SYSTEMS, COMBINED WITH ALL OF THE ABOVE INFORMATION AND PLACED BEHIND THE TAB OF THE CONTRACTOR THAT ISSUED IT.											

7/20/2025 11:33:57 AM

Final Development Plan

100 NE Douglas Street

Section 6, Township 47 North, Range 31 West

Lee's Summit, Jackson County, Missouri

PROPERTY DESCRIPTION

ALL PAVING ON THE PRIVATE PARKING LOT WILL COMPLY WITH THE UNIFIED DEVELOPMENT ORDINANCE ARTICLE 8 IN TERMS OF PAVING THICKNESS AND BASE

OIL - GAS WELLS
ACCORDING TO EDWARD ALTON MAY JR'S ENVIRONMENTAL IMPACT STUDY OF ABANDONED OIL AND GAS WELLS IN LEE'S SUMMIT, MISSOURI IN 1995, THERE ARE NOT OIL AND GAS WELLS WITHIN 185 FEET OF THE PROPERTY AS SURVEYED HEREON.

SURVEY AND PLAT NOTES:
THE SUBJECT PROPERTY SURVEYED LIES WITHIN A FLOOD ZONE DESIGNATED ZONE (X), AREAS LOCATED OUTSIDE THE 100 YEAR FLOOD PLAIN, PER F.E.M.A. MAP, COMMUNITY PANEL NO. 29095C0417G EFFECTIVE DATE: JANUARY 20, 2017.

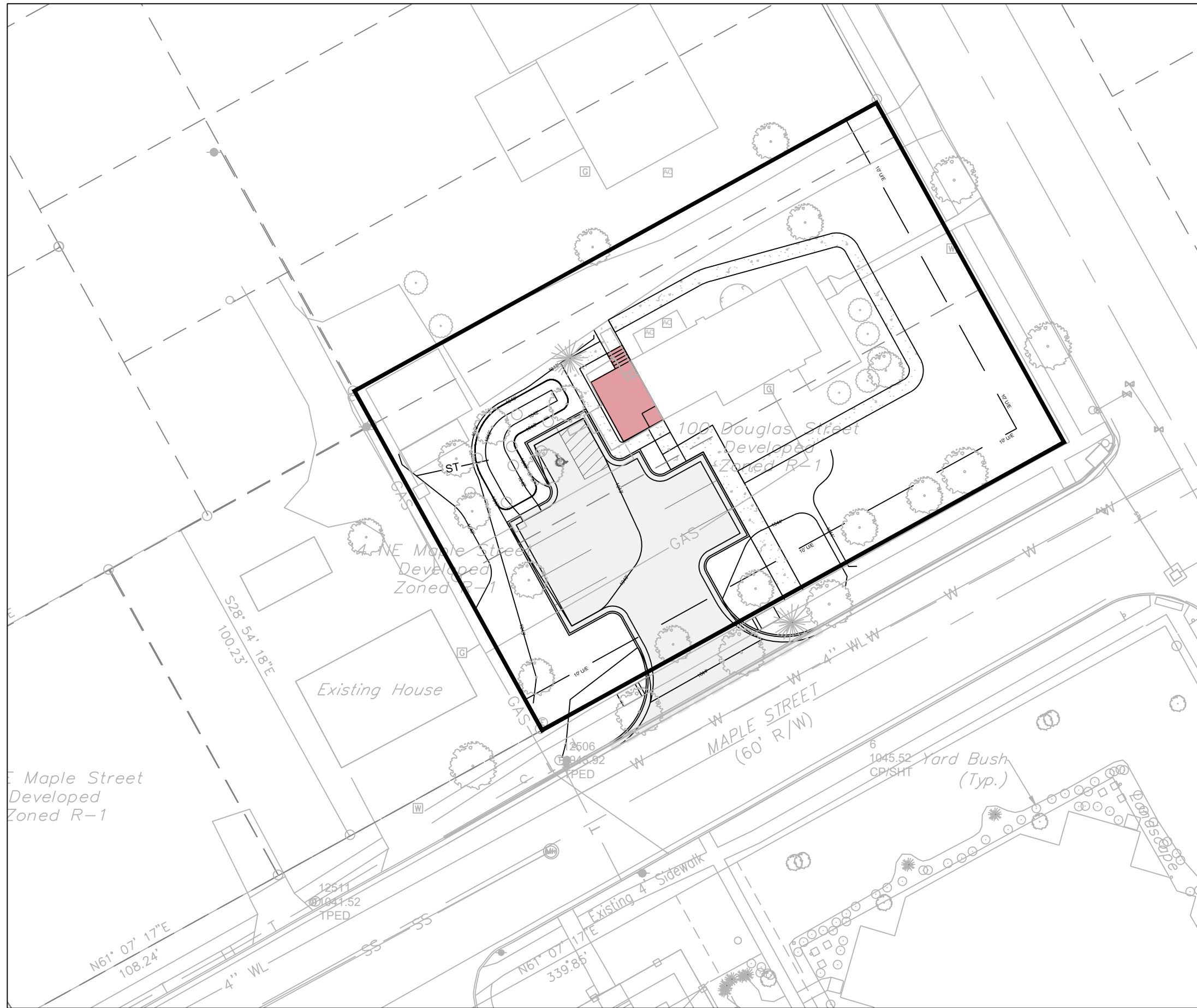
UTILITY COMPANIES:

THE FOLLOWING LIST OF UTILITY COMPANIES IS PROVIDED FOR INFORMATION ONLY. WE DO NOT OFFER ANY GUARANTEE OR WARRANTY THAT THIS LIST IS COMPLETE OR ACCURATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES THAT MAY BE AFFECTED BY THE PROPOSED CONSTRUCTION AND VERIFYING THE ACTUAL LOCATION OF EACH UTILITY LINE. THE CONTRACTOR SHALL NOTIFY ENGINEERING SOLUTIONS AT 816.623.9888 OF ANY CONFLICT WITH PROPOSED IMPROVEMENTS.

EVERGY ~ 298-1196
MISSOURI GAS ENERGY ~ 756-5261
SOUTHWESTERN BELL TELEPHONE ~ 761-5011
COMCAST CABLE ~ 795-1100
WILLIAMS PIPELINE ~ 422-6300
CITY OF LEE'S SUMMIT PUBLIC WORKS ~ 969-1800
CITY OF LEE'S SUMMIT PUBLIC WORKS INSPECTIONS ~ 969-1800
CITY OF LEE'S SUMMIT WATER UTILITIES ~ 969-1900
MISSOURI ONE CALL (DIG RITE) ~ 1-800-344-7483

GENERAL NOTES:

- 1 ~ ALL CONSTRUCTION SHALL CONFORM TO THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL AS ADOPTED BY ORDINANCE 5813.
- 2 ~ ALL REQUIRED EASEMENTS WITHIN THE BOUNDARY OF THIS PROJECT SHALL BE PROVIDED BY SEPARATE DOCUMENT
- 3 ~ ANY REQUIRED EASEMENT LOCATED OUTSIDE OF THE BOUNDARY OF THIS PROJECT SHALL BE PROVIDED FOR BY SEPARATE INSTRUMENT PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
- 4 ~ THE CONTRACTOR SHALL CONTACT THE CITY'S DEVELOPMENT SERVICES ENGINEERING INSPECTORS 48 HOURS PRIOR TO ANY LAND DISTURBANCE WORK AT (816) 969-1200.
- 5 ~ THE CONTRACTOR SHALL NOTIFY ENGINEERING SOLUTIONS AT 816.623.9888 OF ANY CONFLICT WITH THE IMPROVEMENTS PROPOSED BY THESE PLANS AND SITE CONDITIONS.
- 6 ~ THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AND OBTAIN THE APPROPRIATE BLASTING PERMITS FOR A REQUIRED BLASTING. IF BLASTING IS ALLOWED, ALL BLASTING SHALL CONFORM TO STATE REGULATIONS AND LOCAL ORDINANCES.



INDEX OF SHEETS:

- C.001 ~ COVER SHEET
- C.050 ~ ESC PHASE 1 - PRE CLEARING PLAN
- C.051 ~ ESC PHASE 2 - INACTIVE AREA STABILIZATION PLAN
- C.052 ~ ESC PHASE 3 - FINAL RESTORATION PLAN
- C.053 ~ ESC - STANDARD DETAILS
- C.100 ~ SITE PLAN
- C.200 ~ GRADING PLAN
- C.300 ~ UTILITY PLAN
- C.301 ~ STORM SEWER PLAN AND PROFILE
- L.100 ~ LANDSCAPE PLAN
- L.101 ~ LANDSCAPE PLAN DETAILS

Land Use Schedule

- | | |
|---|--|
| a. Total floor area | 1,102 sq. ft. |
| b. Number of dwelling units | N/A |
| c. Land area | 18,948.60 sq. ft. 0.44 acres |
| d. Number of required and proposed parking spaces | 7 Standard / 1 Handicap
7 Standard / 1 Handicap |
| e. Impervious coverage | 4,262 sq. ft. |
| Parking/Sidewalk | 1,102 sq. ft. |
| Building | 5,364 sq. ft. (28.3% of Site) |
| f. Floor Area Ratio (FAR) | 5.8% |
| g. Dwelling units per acre, with and without common area: | N/A |
| h. The range of land uses to be permitted in each designated area of the development. | Office |

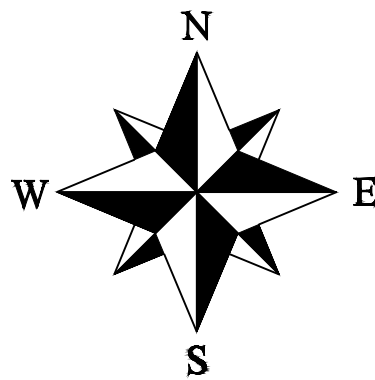
Current Zoning: R-1 TSO

Proposed Zoning: R-1 TSO

Sanitary Sewer Service
Existing Sanitary Sewer service from south of property.

Water Service
Existing Service from south of property.

Storm Sewer
New storm line and detention.



SITE LOCATION MAP

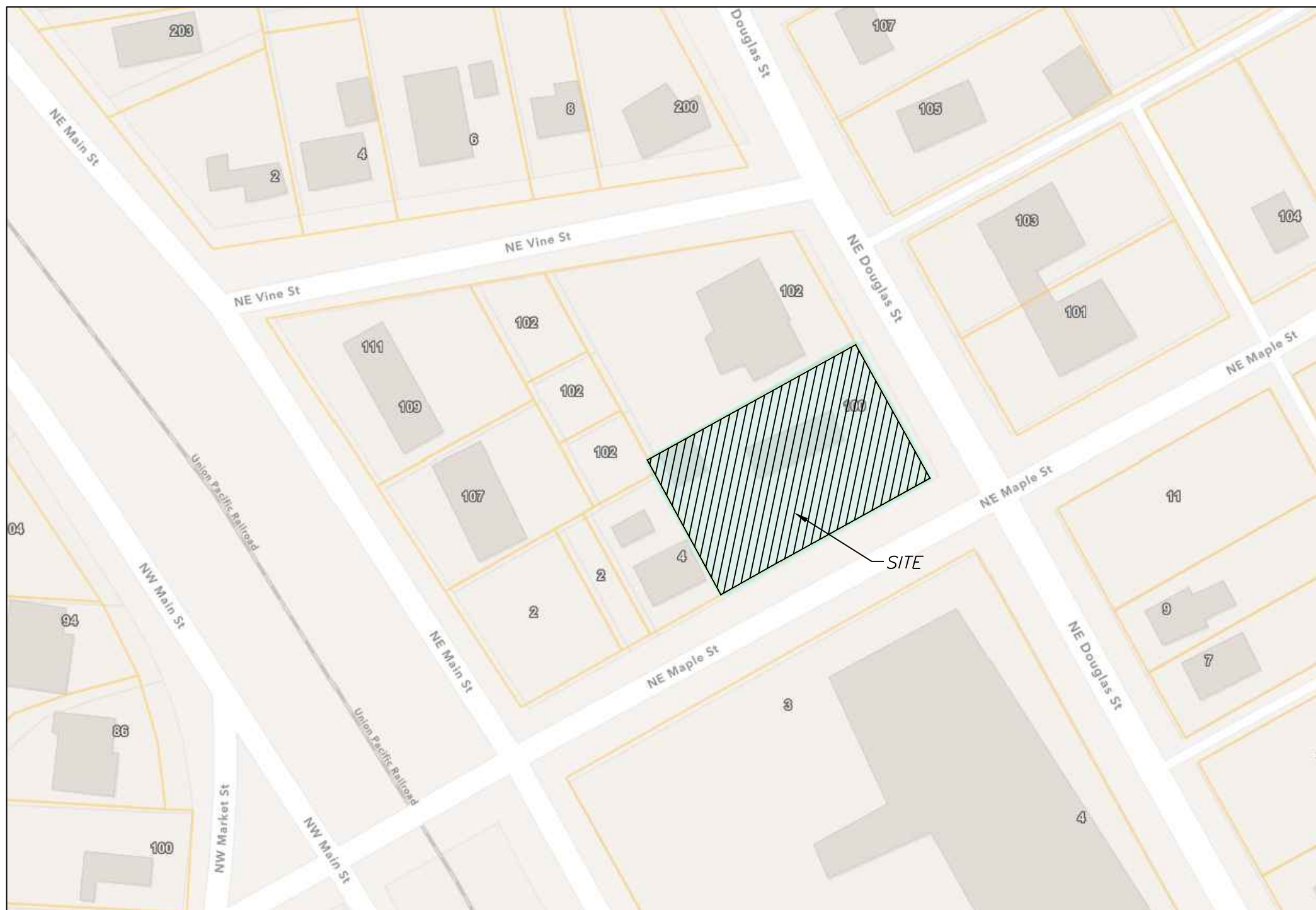
SCALE" 1"= 30'

Summary of Quantities:

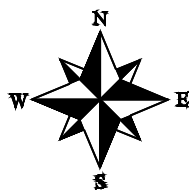
ITEM AND DESCRIPTION	UNIT	ESTIMATED QUANTITY
GEOGRID	S.Y.	432.00
MoDOT Type 5 Base	S.Y.	432.00
ASPHALT PAVING	S.Y.	336.00
CURBING	FT	280.00
CLEARING, GRADING & GRUBBING	LS	1
SILT FENCE	FT	425.00
INLET PROTECTION	UNIT	-
SEEDING / MULCHING/ FERTILIZING	AC	0.20
PRIVATE SIDEWALK	S.F.	808.00
ADA SIDEWALK RAMP	UNIT	2

LEGEND:

- | | |
|--------------------------------|-----------------|
| Existing Underground Power | —UGP—UGP— |
| Existing Conc. Curb & Gutter | ===== |
| Existing Wood Fence | —X—X— |
| Existing Gas Main | —GAS—GAS— |
| Existing Water Main | -X-W/M- -X-W/M- |
| Existing Storm Sewer | -X-STM- -X-STM- |
| Existing Sanitary Sewer | -X-SAN- -X-SAN- |
| Existing Underground Telephone | —UGT—UGT— |
| Existing Overhead Power | —OHE— |
| Proposed Storm Sewer | —ST—ST—ST— |
| Proposed Sanitary Sewer | —SS—SS— |
| Proposed Underground Power | —UGT—UGT— |
| Proposed Gas Service | —GAS— |
| Proposed 8" D.I.P. Water | —W— |
| Proposed Electrical Service | —UGP—UGP— |



Vicinity Map

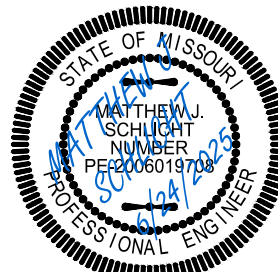


Professional Registration
Missouri
Engineering 2005002186-D
Surveying 2005008319-D
Kansas
Engineering E-1695
Surveying LS-218
Oklahoma
Engineering 6254
Nebraska
Engineering CA2821

100 NE DOUGLAS STREET
Lee's Summit, Jackson County, Missouri

Project:
100 NE DOUGLAS
LSMO
Issue Date:
June 24, 2025

COVER SHEET
Final Development Plans for:
100 NE DOUGLAS STREET
Lee's Summit, Jackson County, Missouri



Matthew J. Schlicht
MO PE 2006019708
KS PE 19071
OK PE 25226
NE PE E-14335

REVISIONS

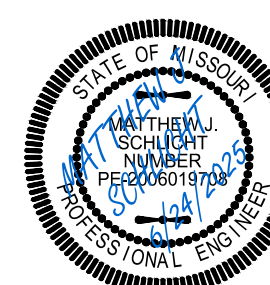


Professional Registration
Missouri
Engineering 2005002186-D
Surveying 2005008319-D
Kansas
Engineering E-1695
Surveying LS-218
Oklahoma
Engineering 6254
Nebraska
Engineering CA2821

100 NE DOUGLAS STREET
Lee's Summit, Jackson County, Missouri

Project:
100 NE DOUGLAS
LSMO
Issue Date:
June 24, 2025

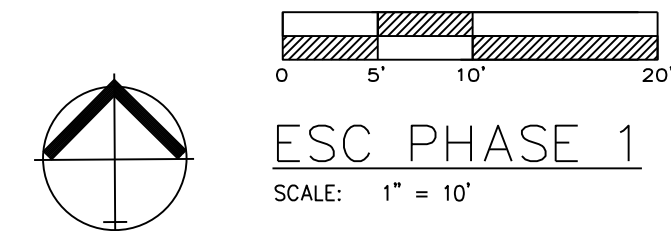
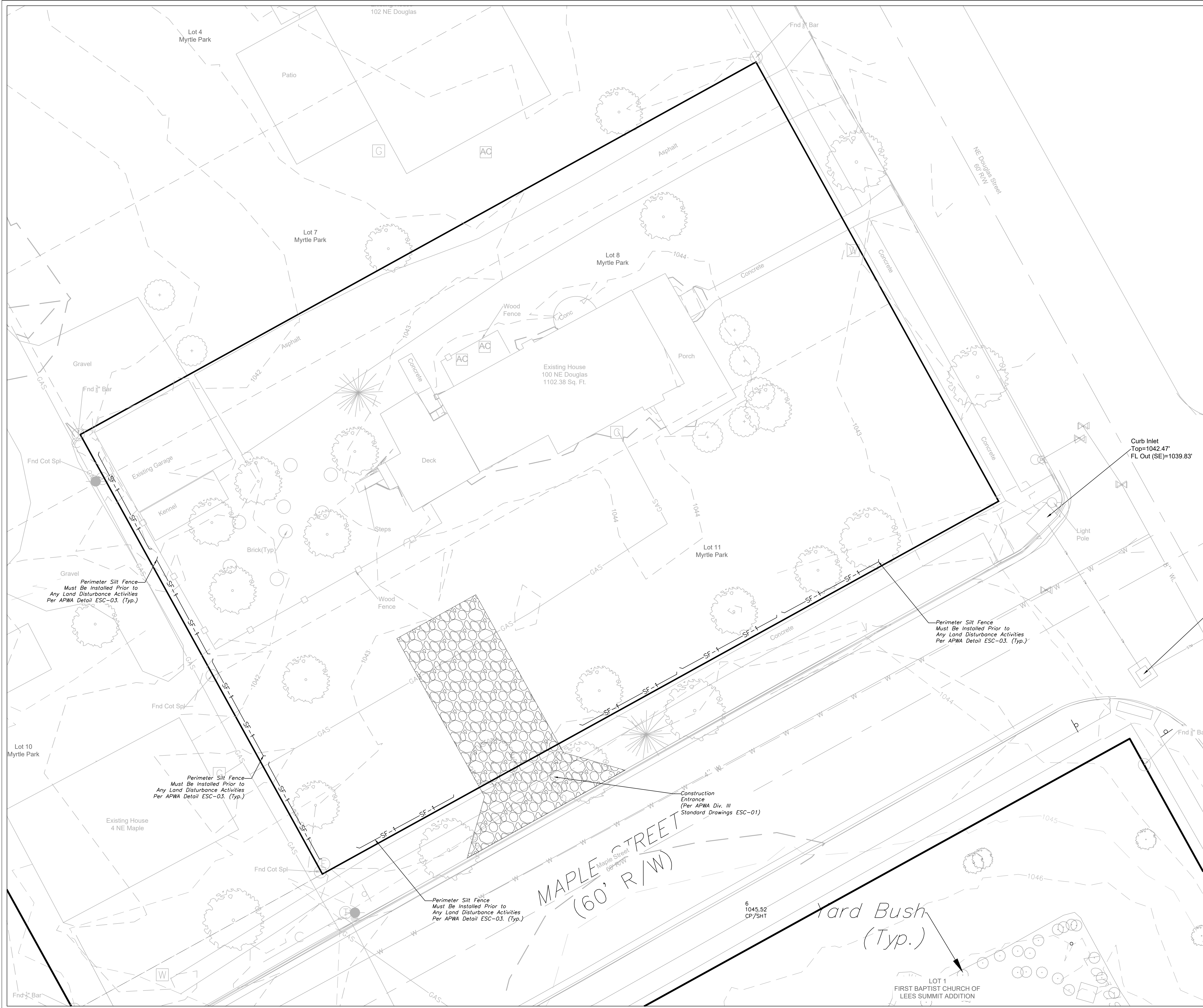
ESC PHASE 1 - Pre Clearing Plan
Final Development Plans for:
100 NE DOUGLAS STREET
Lee's Summit, Jackson County, Missouri



Matthew J. Schlicht
MO PE 2006019708
KS PE 19071
OK PE 25226
NE PE E-14335

REVISIONS

C.050



SILT FENCE PROTECTION
TO BE MAINTAINED BY CONTRACTOR

LEGEND

PHASE 1 SILT FENCE
PHASE 2 SILT FENCE
INLET PROTECTION

DURING ALL PHASES OF CONSTRUCTION, INACTIVE
AREA STABILIZATION METHODS AS DESCRIBED IN
APWA SECTION 5111.3 SHALL BE USED TO CONTROL
EROSION AND SILTATION.

NOTES: The Land Disturbance Plans indicates the final
placement of erosion control devices. The contractor(s)
may proceed with construction prior to the final
placement of these devices by providing additional
devices to control erosion on their items of work.
These devices shall be maintained until the final devices
are in place.



EROSION CONTROL DESCRIPTION:

1.) SILT FENCE SHALL BE PLACED AT THE PERIMETER OF THE GRADING AND AT INTERMEDIATE AREAS THROUGHOUT THE SITE AS SHOWN ON THE PLAN. INLET SEDIMENT TRAPS SHALL BE PLACED SURROUNDING ALL STORM INLETS

2.) INSTALL TEMPORARY CONSTRUCTION ENTRANCE AS SHOWN ON PLAN

EROSION CONTROL PROCEDURE:

1.) SILT FENCE AND TEMPORARY CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT THE PERIMETER OF THE GRADED AREAS PRIOR TO BEGINNING OF CLEARING OR DEMOLITION OPERATIONS. THE CONTRACTOR SHALL INSTALL SILT FENCE AS SHOWN ON PLANS AS GRADING PROGRESSES.

TEMPORARY CONSTRUCTION ENTRANCE NOTES:

A.) INSTALLATION

- 1.) AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC STREETS. IF POSSIBLE, LOCATE WHERE PERMANENT ROADS WILL EVENTUALLY BE CONSTRUCTED
- 2.) REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE AND CROWN FOR POSITIVE DRAINAGE
- 3.) IF SLOPE TOWARDS THE PUBLIC ROAD EXCEED 2% CONSTRUCT A 6 TO 8 INCH HIGH RIDGE WITH 3H : 1V SIDE SLOPES ACROSS THE FOUNDATION APPROXIMATELY 15 FEET FROM THE EDGE OF THE PUBLIC ROAD TO DIVERT RUNOFF AWAY FROM IT.
- 4.) INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES ALONG PUBLIC ROADS
- 5.) PLACE STONE TO DIMENSIONS AND GRADES AS SHOWN ON PLANS. LEAVE SURFACE SMOOTH AND SLOPED FOR DRAINAGE
- 6.) DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE
- 7.) IF WET CONDITIONS ARE ANTICIPATED PLACE GEOTEXTILE FABRIC ON THE GRADED FOUNDATION TO IMPROVE STABILITY

B.) TROUBLESHOOTING

- 1.) CONSULT WITH A QUALIFIED DESIGN PROFESSIONAL IF ANY OF THE FOLLOWING OCCUR:
 - INADEQUATE RUNOFF CONTROLS TO THE EXTENT THAT SEDIMENT WASHES ONTO PUBLIC ROADS
 - INSTALL DIVERSIONS OR OTHER RUNOFF CONTROL MEASURES
 - SMALL STONE, THIN PAD, OR ABSENCE OF GEOTEXTILE FABRIC RESULTS IN RUTS AND MUDDY CONDITIONS AS STONE IS PRESSED INTO SOIL - INCREASE STONE SIZE OR PAD THICKNESS OR ADD GEOTEXTILE FABRIC
 - PAD TOO SHORT FOR HEAVY CONSTRUCTION TRAFFIC - EXTEND PAD BEYOND THE MINIMUM 30 FOOT LENGTH AS NECESSARY

OR PAD

C.) INSPECTION AND MAINTENANCE

- 1.) INSPECT STONE PAD AND SEDIMENT DISPOSAL AREA WEEKLY AND AFTER ANY RAIN EVENT
- 2.) RESHAPE PAD AS NEEDED FOR PROPER DRAINAGE AND RUNOFF CONTROL
- 3.) TOP DRESS WITH CLEAN 2 AND 3 INCH STONE AS NEEDED
- 4.) IMMEDIATELY REMOVE MUD OR SEDIMENT TRACKED OR WASHED ONTO PUBLIC ROADWAY. REPAIR ANY BROKEN ROAD PAVEMENT IMMEDIATELY
- 5.) REMOVE ALL TEMPORARY ROAD MATERIALS FROM AREAS WHERE PERMANENT VEGETATION WILL BE ESTABLISHED

MAINTENANCE:

TO MAINTAIN THE EROSION AND SEDIMENT CONTROLS, THE FOLLOWING PROCEDURES WILL BE PERFORMED:

SEDIMENT CAPTURE DEVICES: SEDIMENT WILL BE REMOVED FROM THE UPSTREAM OR UPSLOPE SIDE OF THE FILTER FABRIC FENCES, WHEN THE DEPTH OF ACCUMULATED SEDIMENT REACHES ABOUT ONE-THIRD THE HEIGHT OF THE STRUCTURE.

STORM SEWER INLETS: ANY SEDIMENT IN THE STORM SEWER INLETS WILL BE REMOVED AND DISPOSED OF PROPERLY.

TEMPORARY CONTROLS: ALL TEMPORARY CONTROLS WILL BE REMOVED AFTER THE DISTURBED AREAS HAVE BEEN STABILIZED.

INSPECTION PROCEDURES:

INSPECTIONS WILL BE DONE BY THE RESPONSIBLE PERSON(S) AT LEAST ONCE EVERY WEEK AND WITHIN 24 HOURS EACH STORM EVENT PRODUCING ANY AMOUNT OF RAINFALL. AREAS THAT HAVE BEEN RESEDED WILL BE INSPECTED REGULARLY AFTER SEED GERMINATION TO ENSURE COMPLETE COVERAGE OF EXPOSED AREAS. DISTURBED AREAS THAT HAVE NOT BEEN FINALLY STABILIZED SHALL HAVE ALL POLLUTION CONTROL MEASURES INSPECTED FOR PROPER INSTALLATION, OPERATION AND MAINTENANCE. LOCATIONS WHERE STORM WATER LEAVES THE SITE SHALL BE INSPECTED FOR EVIDENCE OF EROSION OR SEDIMENT DEPOSITION. ANY DEFICIENCIES SHALL BE NOTED IN A REPORT OF THE INSPECTION AND CORRECTED WITHIN SEVEN CALENDAR DAYS OF THE INSPECTION. THE PERMITTEE SHALL PROMPTLY NOTIFY THE SITE CONTRACTORS RESPONSIBLE FOR OPERATION AND MAINTENANCE OF POLLUTION CONTROL DEVICES OF DEFICIENCIES.

IF THE EXISTING GROUND COVER IS NATURAL GRASS, DISTURBED AREAS SHALL BE TEMPORARILY SEEDED WITH WHEAT/RYE AT A RATE OF 1.5 POUNDS PER 1000 SQUARE FEET. PERMANENT SEEDED AREAS SHALL CONSIST OF 90% IN THREE EQUAL PARTS OF THIN BLADE, TURF-TYPE, TALL FESCUE AND 10% BLUEGRASS SEED AT A RATE OF 10 POUNDS PER 1000 SQUARE FEET. BOTH TEMPORARY AND PERMANENT SEEDED AREAS SHALL BE MULCHED AND WATERED TO MAINTAIN THE PROPER MOISTURE LEVEL OF THE SOIL TO ESTABLISH GRASS. NEW GRASS SHALL BE WATERED AND MAINTAINED UNTIL IT REACHES A HEIGHT OF 3 INCHES. ANY BARE AREAS SHALL BE RESEDED.

ALL EROSION CONTROL DEVICES SHALL BE REMOVED BY GENERAL CONTRACTOR AFTER SITE STABILIZATION IS COMPLETE AND APPROVED BY ENGINEER.

THE DEVELOPER WILL DESIGNATE A QUALIFIED PERSON OR PERSONS TO PERFORM THE FOLLOWING INSPECTIONS:

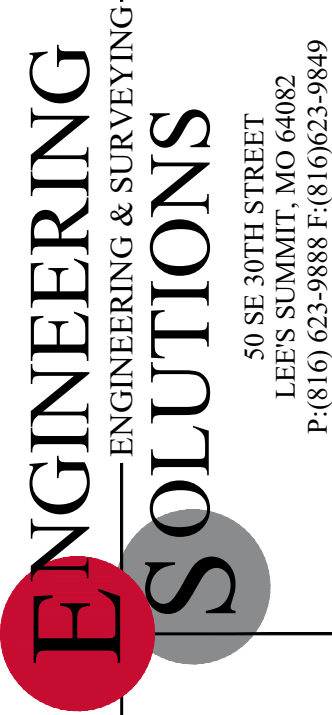
STABILIZATION MEASURES: DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION WILL BE INSPECTED FOR EVIDENCE OF OR THE POTENTIAL FOR POLLUTANTS ENTERING THE DRAINAGE SYSTEM. AFTER A PORTION OF THE SITE IS FINALLY STABILIZED, INSPECTIONS WILL BE CONDUCTED AT LEAST ONCE EVERY MONTH THROUGHOUT THE LIFE OF THE PROJECT. CONTRACTOR CAN CONTACT ENGINEERING SOLUTIONS FOR COPIES OF THE INSPECTION FORM TO BE USED FOR STABILIZATION MEASURES.

STRUCTURAL CONTROLS: FILTER FABRIC FENCES AND ALL OTHER EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN WILL BE INSPECTED REGULARLY FOR PROPER POSITIONING, ANCHORING, AND EFFECTIVENESS IN TRAPPING SEDIMENTS. SEDIMENT WILL BE REMOVED FROM THE UPSTREAM OR UPSLOPE SIDE OF THE FILTER FABRIC. CONTRACTOR CAN CONTACT ENGINEERING SOLUTIONS FOR COPIES OF THE INSPECTION FORM TO BE USED FOR STABILIZATION MEASURES.

DISCHARGE POINTS: DISCHARGE POINTS OR LOCATIONS WILL BE INSPECTED TO DETERMINE WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT AMOUNTS OF POLLUTANTS FROM ENTERING RECEIVING WATERS.

CONSTRUCTION ENTRANCE: LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE WILL BE INSPECTED FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING.

A LOG OF EACH INSPECTION SHALL BE KEPT. THE INSPECTION REPORT IS TO INCLUDE THE FOLLOWING MINIMUM INFORMATION: INSPECTOR'S NAME, DATE OF INSPECTION, OBSERVATIONS RELATIVE TO THE EFFECTIVENESS OF THE POLLUTION CONTROL DEVICES, ACTIONS TAKEN OR NECESSARY TO CORRECT DEFICIENCIES, AND LISTING OF AREAS WHERE LAND DISTURBANCE OPERATIONS HAVE PERMANENTLY OR TEMPORARILY STOPPED. THE INSPECTION REPORT SHALL BE SIGNED BY THE PERMITTEE OR BY THE PERSON PERFORMING THE INSPECTION IF DULY AUTHORIZED TO DO SO.

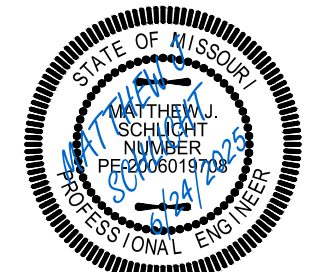


Professional Registration
Missouri
Engineering 2005002186-D
Surveying 2005008319-D
Kansas
Engineering E-1695
Surveying LS-218
Oklahoma
Engineering S254
Nebraska
Engineering CA2821

100 NE DOUGLAS STREET
Lee's Summit, Jackson County, Missouri

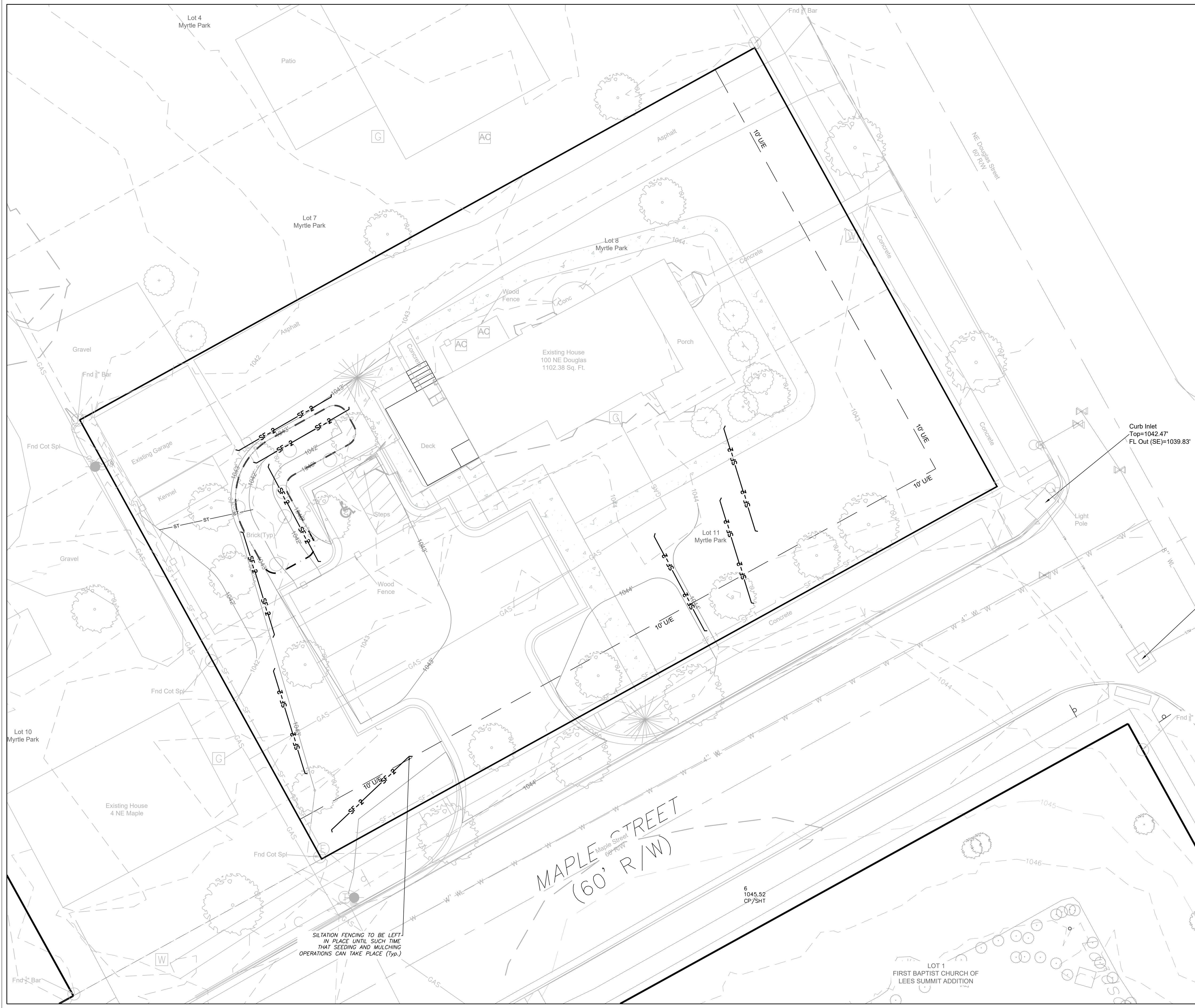
Project:
100 NE DOUGLAS
LSMO
Issue Date:
June 24, 2025

ESC PHASE 3 - Final Restoration Plan
Final Development Plans for:
100 NE DOUGLAS STREET
Lee's Summit, Jackson County, Missouri



Matthew J. Schlicht
MO PE 2006019708
KS PE 19071
OK PE 25226
NE PE E-143335

REVISIONS



ESC PHASE FINAL
SCALE: 1" = 20'

SILT FENCE PROTECTION
TO BE MAINTAINED BY CONTRACTOR

LEGEND

PHASE 1 SILT FENCE ——— SF - 1 ——— SF - 1 ———

PHASE 2 SILT FENCE ——— SF - 2 ——— SF - 2 ———

INLET PROTECTION ———

DURING ALL PHASES OF CONSTRUCTION, INACTIVE AREA STABILIZATION METHODS AS DESCRIBED IN APWA SECTION 5111.3 SHALL BE USED TO CONTROL EROSION AND SILTATION.

NOTES: The Land Disturbance Plans indicates the Final placement of erosion control devices. The contractor(s) may proceed with construction prior to the final placement of these devices by providing additional devices to control erosion on their items of work. These devices shall be maintained until the final devices are in place.

SEED AND MULCH NOTES:

All areas disturbed by construction activities shall be seeded and mulched. Seeding shall be done before the proposed seedbed becomes eroded, crusted over, or dried out and shall not be done when the ground is frozen, or covered with snow. The seed shall comply with the requirements of the Missouri Seed Law and the Federal Seed Act. Also, it shall contain no seed of any plant on the Federal Noxious Weed List. Other weed seeds shall not exceed one percent by weight of mix.

Seed and Fertilizer Rate:

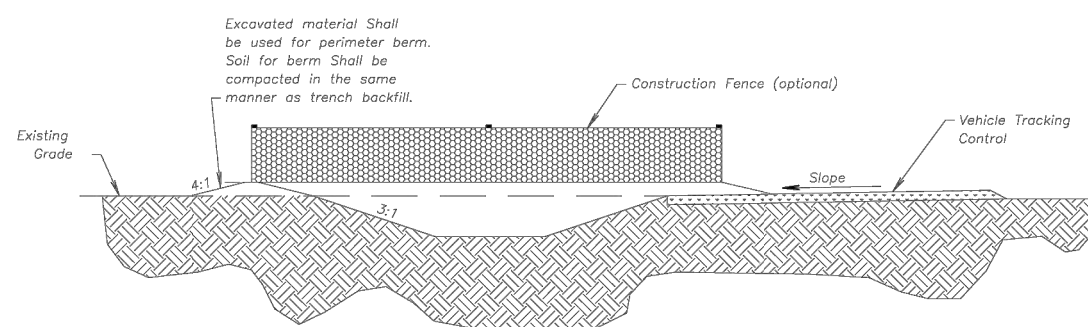
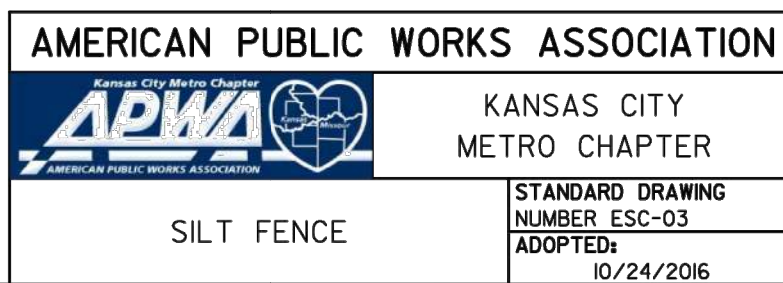
Mix I - Rye Grass / Blue Grass	-----
100 lbs. per Acre	
Mix II - Tall Fescue / Blue Grass	----- 195
lbs. per Acre	
Lime	
lbs per Acre (50 lbs. per 1000 sq. ft.)	-----2000
Fertilizer	
to 1200 lbs per Acre (25 lbs per 1000 sq. ft.)	-----800

During the dates December 15th through May 31 ALL lime fertilizer, seed and mulch shall be applied to finished slopes of disturbed areas. During the months of June, July, October and November 1st through December 15th, lime fertilizer, seed and mulch shall be applied at the following rates:

Lime - 100% of specified quantity
Fertilizer - 75% of the specified quantity
Seed - 50% of the specified quantity
Mulch - 100% of the specified quantity

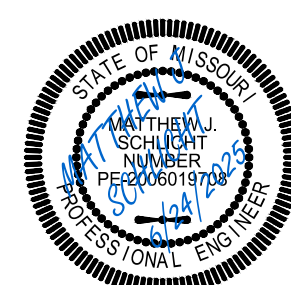
Mulch shall be Vegetative type, cereal straw from stalks of oats, rye, or barley, or approved equal. The straw shall be free of prohibited weed seed and relatively free of all other noxious and undesirable seed. Mulch shall be applied at the rate of 2 tons per acre, (70 to 90 lbs per 1000 sq. ft.). Mulch shall be embedded by a mulch anchoring tool or disk type roller having flat serrated disks spaced not more than 10 inches apart and cleaning scrapers shall be provided

ONCE SITE IS 90% VEGETATED ALL ESC DEVICES SHALL BE REMOVED AND ANY DISTURBED AREAS SHALL BE RESTORED



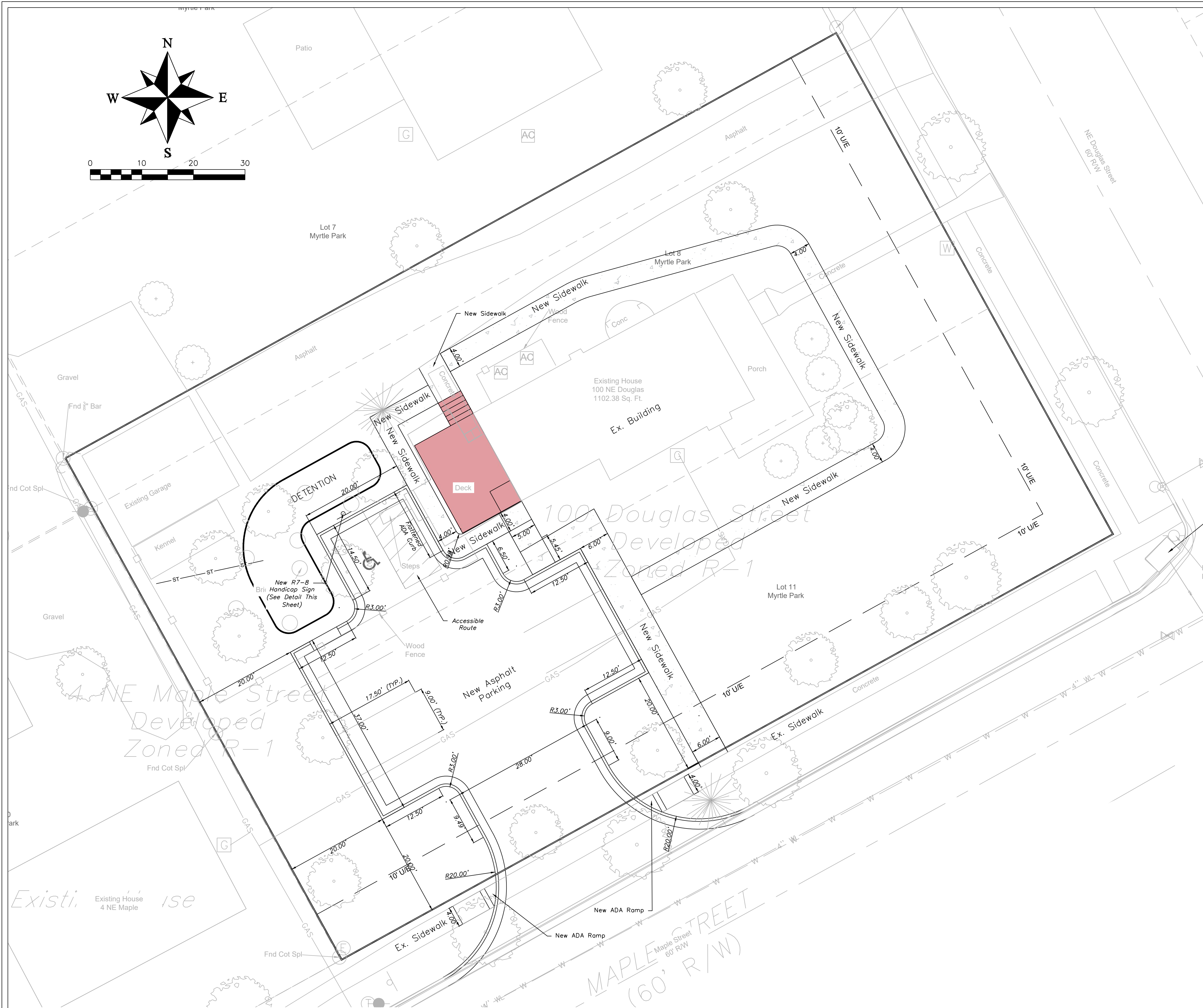
AMERICAN PUBLIC WORKS ASSOCIATION Kansas City Metro Chapter AMERICAN PUBLIC WORKS ASSOCIATION		KANSAS CITY METRO CHAPTER
CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT		STANDARD DRAWING NUMBER ESC-01 ADOPTED: 10/24/2016

Construction Entrance modified from 2015 Overland Park Standard Details for Erosion and Sediment Control; Concrete Washout modified from 2009 City of Great Bend Standard Drawings.

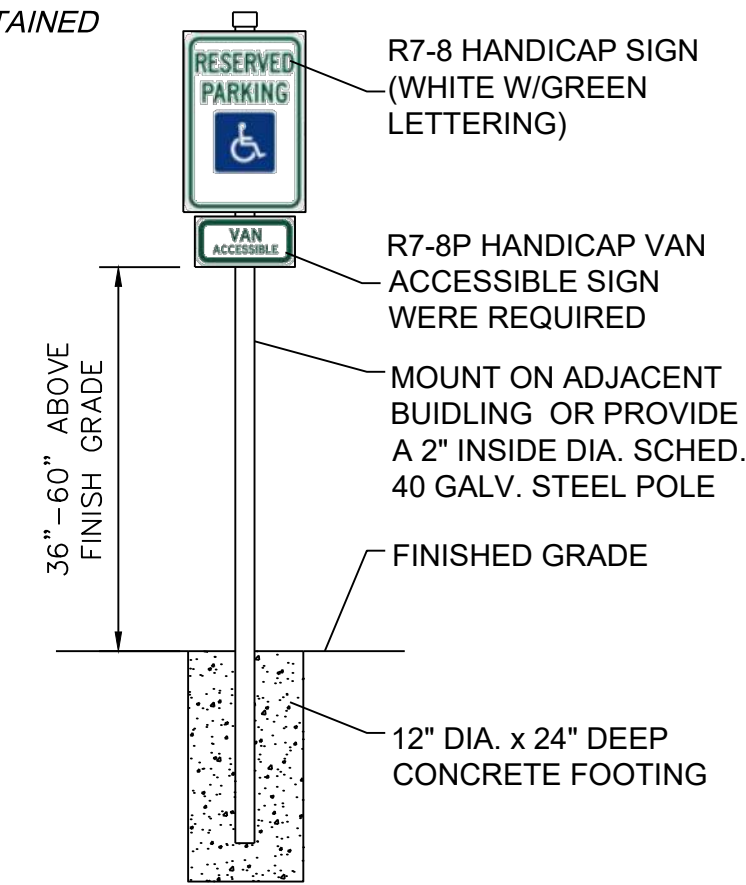


Matthew J. Schlicht
MO PE 2006019708
KS PE 19071
OK PE 25226
NE PE E-14335

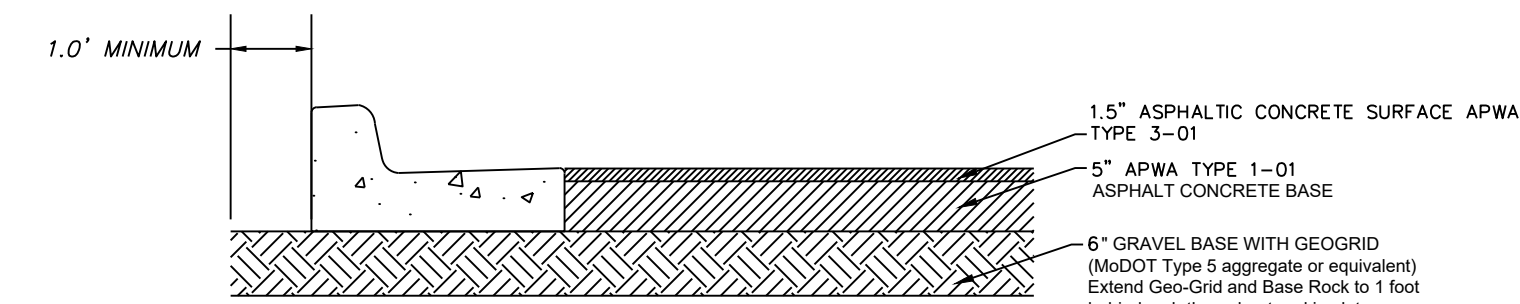
REVISIONS



SIGN MAY BE WALL
MOUNTED DIRECTLY
TO BUILDING. DIMENSIONS
MUST BE MAINTAINED



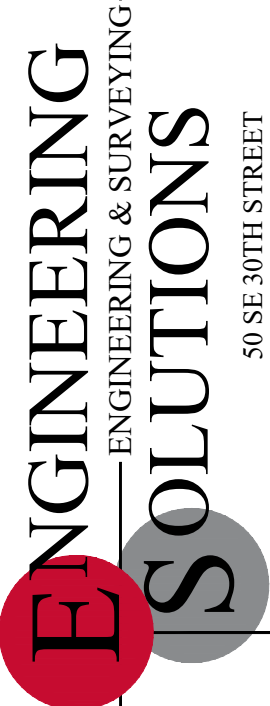
HANDICAP SIGN DETAIL
NOT TO SCALE



**"DRIVE LANE"
PRIVATE ASPHALT PAVEMENT**
NOT TO SCALE



**"PARKING STALLS"
PRIVATE ASPHALT PAVEMENT**
NOT TO SCALE

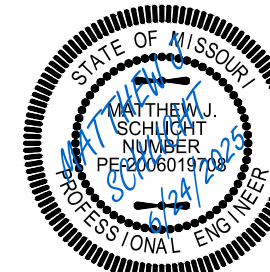


Professional Registration
Missouri
Engineering 2005002186-D
Surveying 2005008319-D
Kansas
Engineering E-1695
Surveying LS-218
Oklahoma
Engineering 6254
Nebraska
Engineering CA2821

100 NE DOUGLAS STREET
Lee's Summit, Jackson County, Missouri

Project:
100 NE DOUGLAS
LSMO
Issue Date:
June 24, 2025

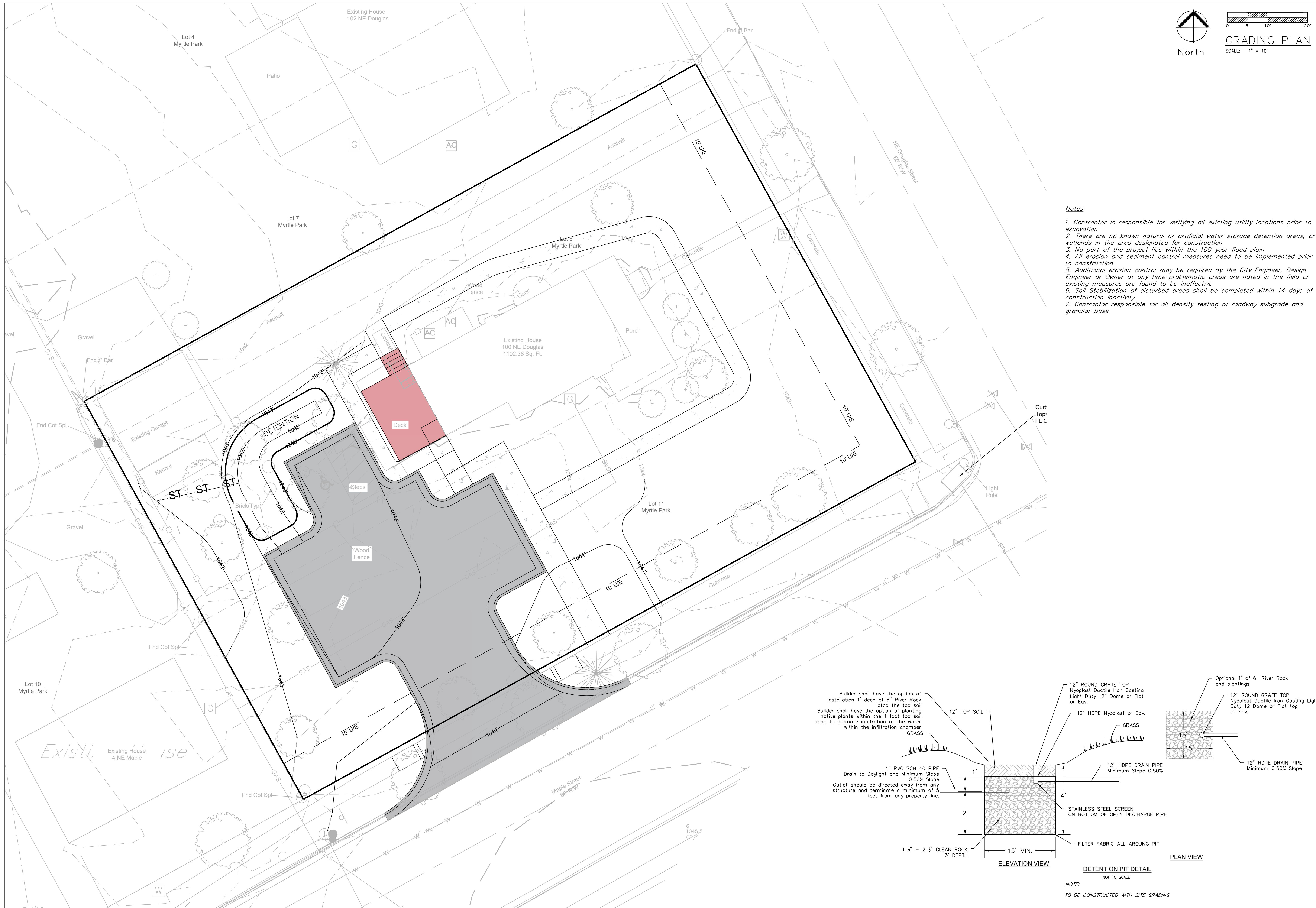
Grading Plan
Final Development Plans for:
100 NE DOUGLAS STREET
Lee's Summit, Jackson County, Missouri

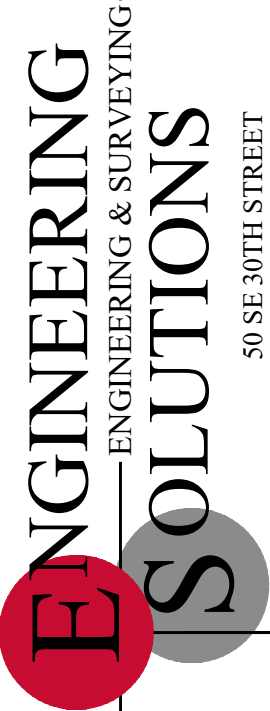


Matthew J. Schlicht
MO PE 2006019708
KS PE 19071
OK PE 25226
NE PE E-14325

REVISIONS

C.200



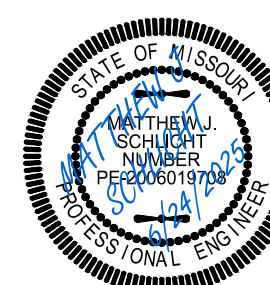


Professional Registration
Missouri
Engineering 2005002186-D
Surveying 200500319-D
Kansas
Engineering E-1695
Surveying LS-218
Oklahoma
Engineering 6254
Nebraska
Engineering CA2821

100 NE DOUGLAS STREET
Lee's Summit, Jackson County, Missouri

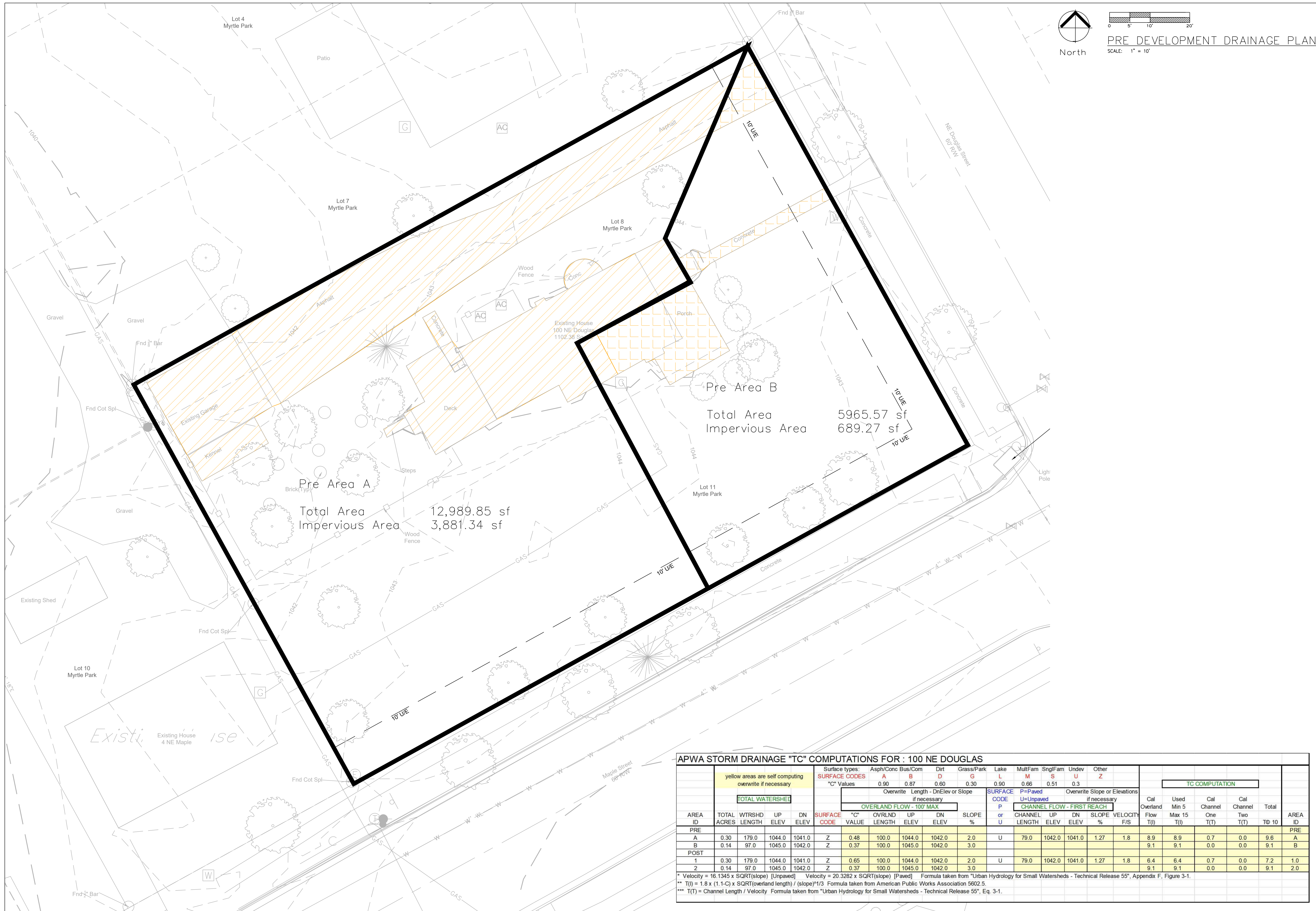
Project:
100 NE DOUGLAS
LSMO
Issue Date:
June 24, 2025

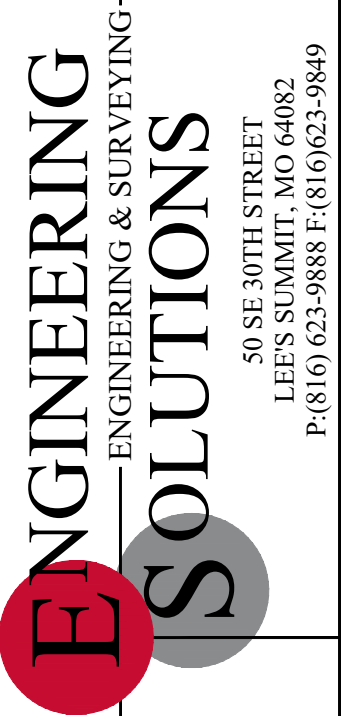
Pre Development
Final Development Plans for:
100 NE DOUGLAS STREET
Lee's Summit, Jackson County, Missouri



Matthew J. Schlacht
MO PE 2006019708
KS PE 19071
OK PE 25226
NE PE E-14325

REVISIONS





Professional Registration
Missouri
Engineering 2005002186-D
Surveying 2005008319-D
Kansas
Engineering E-1695
Surveying LS-218
Oklahoma
Engineering 6254
Nebraska
Engineering CA2821

100 NE DOUGLAS STREET
Lee's Summit, Jackson County, Missouri

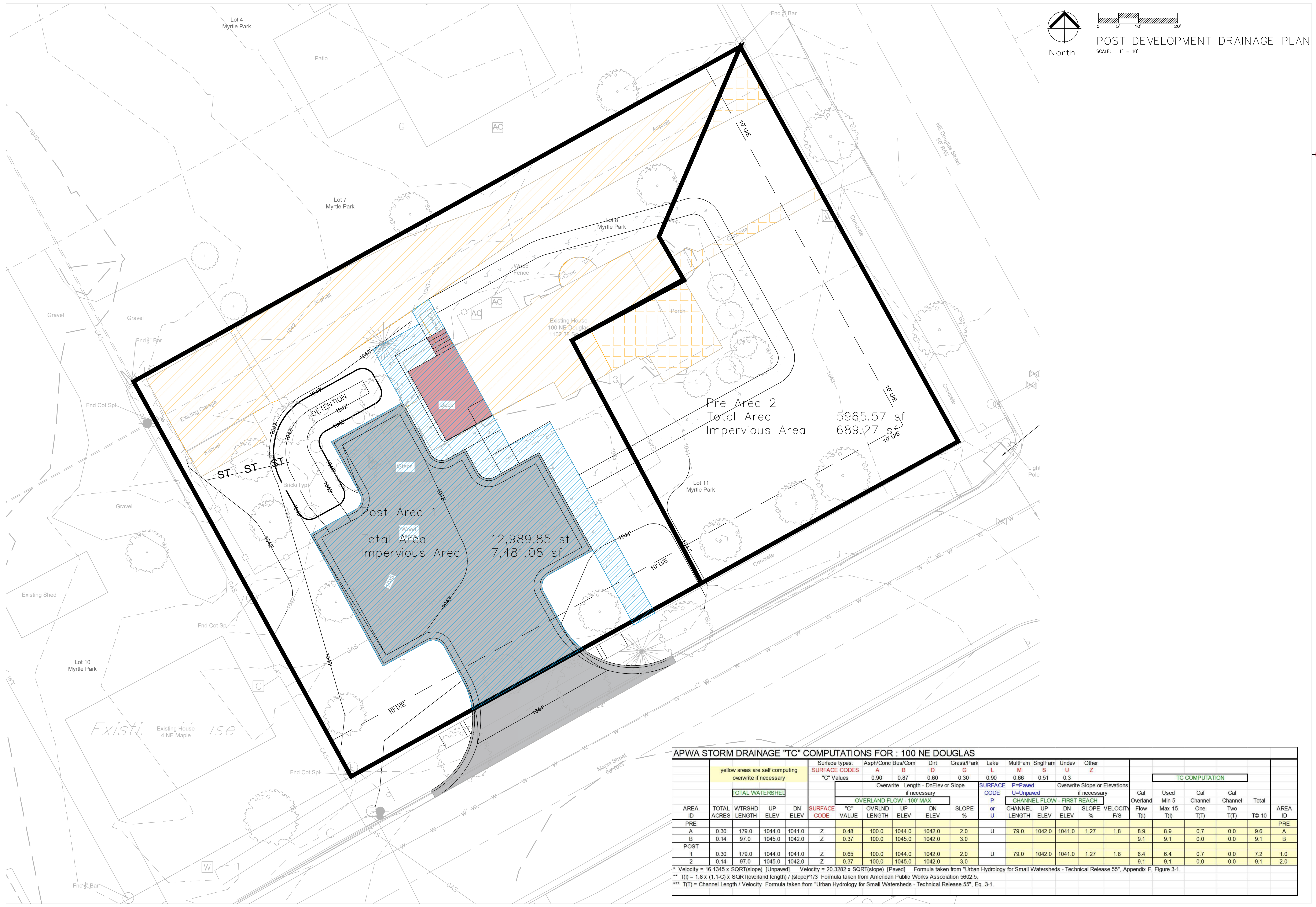
Project:
100 NE DOUGLAS
LSMO
Issue Date:
June 24, 2025

Post Development
Final Development Plans for:
100 NE DOUGLAS STREET
Lee's Summit, Jackson County, Missouri



Matthew J. Schlicht
MO PE 2006019708
KS PE 19071
OK PE 25226
NE PE E-14235

REVISIONS



APWA STORM DRAINAGE "TC" COMPUTATIONS FOR : 100 NE DOUGLAS																						
yellow areas are self computing overwrite if necessary				Surface types: SURFACE CODES *C* Values										TC COMPUTATION								
TOTAL WATERSHED				Asph/Conc Bus/Com				Dirt		Grass/Park		Lake		MultFam		SnglFam		Undev		Other		
				A		B		D		G		M		S		U		Z				
				0.90		0.87		0.60		0.30		0.90		0.66		0.51		0.3				
				Override Length - DnElev or Slope if necessary						SURFACE CODE		P=Paved U=Unpaved		Override Slope or Elevations if necessary								
				OVERLAND FLOW - 100' MAX						P or U		CHANNEL FLOW - FIRST REACH										
AREA ID	TOTAL ACRES	WTRSHD LENGTH	UP ELEV	DN ELEV	SURFACE CODE	*C* VALUE	OVRLND LENGTH	UP ELEV	DN ELEV	SLOPE %		CHANNEL LENGTH	UP ELEV	DN ELEV	SLOPE %	VELOCITY F/S	Cal Overland Flow (Ti)	Used Min 5 Max 15 T(i)	Cal Channel One T(T)	Cal Channel Two T(T)	Total T@ 10	AREA ID
PRE																						PRE
A	0.30	179.0	1044.0	1041.0	Z	0.48	100.0	1044.0	1042.0	2.0	U	79.0	1042.0	1041.0	1.27	1.8	8.9	8.9	0.7	0.0	9.6	A
B	0.14	97.0	1045.0	1042.0	Z	0.37	100.0	1045.0	1042.0	3.0							9.1	9.1	0.0	0.0	9.1	B
POST																						
1	0.30	179.0	1044.0	1041.0	Z	0.65	100.0	1044.0	1042.0	2.0	U	79.0	1042.0	1041.0	1.27	1.8	6.4	6.4	0.7	0.0	7.2	1.0
2	0.14	97.0	1045.0	1042.0	Z	0.37	100.0	1045.0	1042.0	3.0							9.1	9.1	0.0	0.0	9.1	2.0
* Velocity = 16.1345 x SQRT(slope) [Unpaved] Velocity = 20.3282 x SQRT(slope) [Paved] Formula taken from "Urban Hydrology for Small Watersheds - Technical Release 55", Appendix F, Figure 3-1. ** T(i) = 1.8 x ((1-L-C) x SQRT(overland length) / (slope))^1/3 Formula taken from American Public Works Association 5602.5 *** T(T) = Channel Length / Velocity Formula taken from "Urban Hydrology for Small Watersheds - Technical Release 55", Eq. 3-1.																						

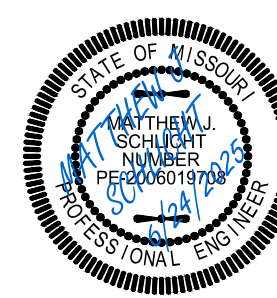


Professional Registration
Missouri
Engineering 2005002186-D
Surveying 2005008319-D
Kansas
Engineering E-1695
Surveying LS-218
Oklahoma
Engineering 6254
Nebraska
Engineering CA2821

100 NE DOUGLAS STREET
Lee's Summit, Jackson County, Missouri

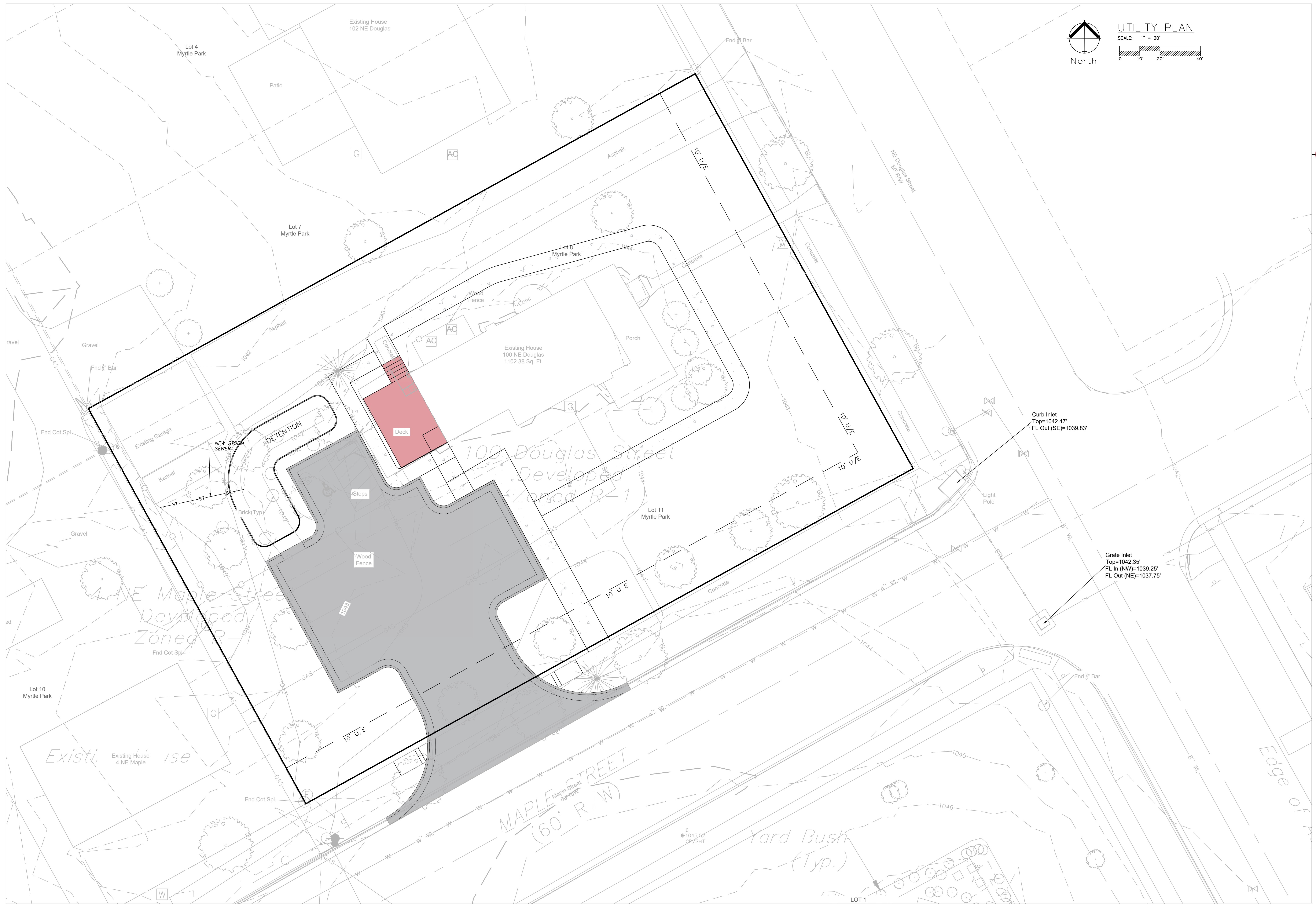
Project:
100 NE DOUGLAS
LSMO
Issue Date:
June 24, 2025

Utility Plan
Final Development Plans for:
100 NE DOUGLAS STREET
Lee's Summit, Jackson County, Missouri



Matthew J. Schlicht
MO PE 2006019708
KS PE 19071
OK PE 25226
NE PE E-14335

REVISIONS



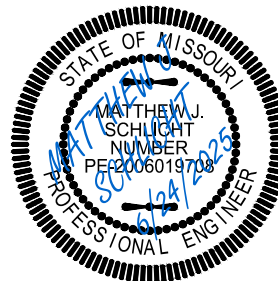


Professional Registration
Missouri
Engineering 2005002186-D
Surveying 2005008319-D
Kansas
Engineering E-1695
Surveying LS-218
Oklahoma
Engineering 6254
Nebraska
Engineering CA2821

100 NE DOUGLAS STREET
Lee's Summit, Jackson County, Missouri

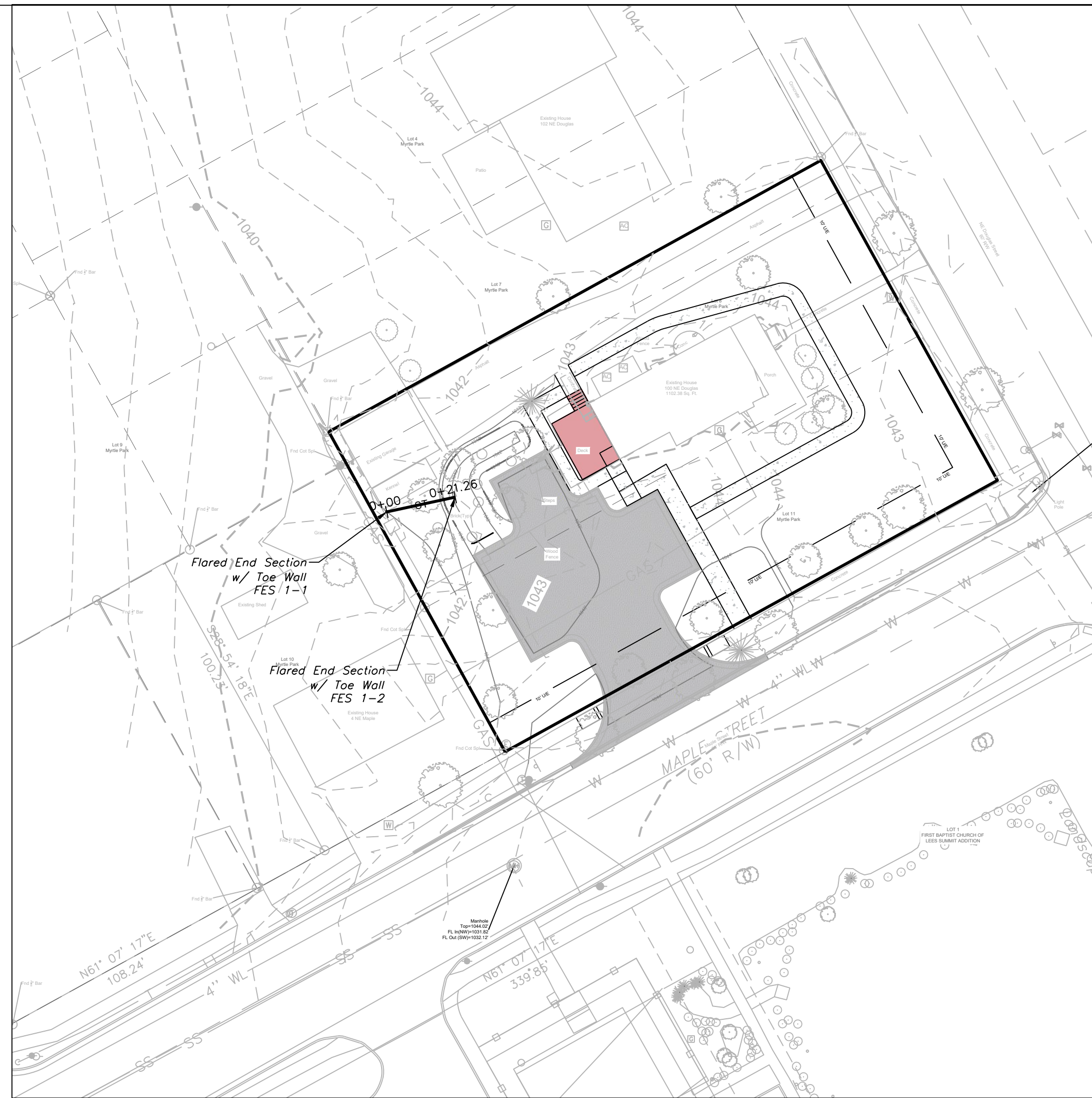
Project:
100 NE DOUGLAS
LSMO
Issue Date:
June 24, 2025

Storm Sewer Plan and Profile
Final Development Plans for:
100 NE DOUGLAS STREET
Lee's Summit, Jackson County, Missouri

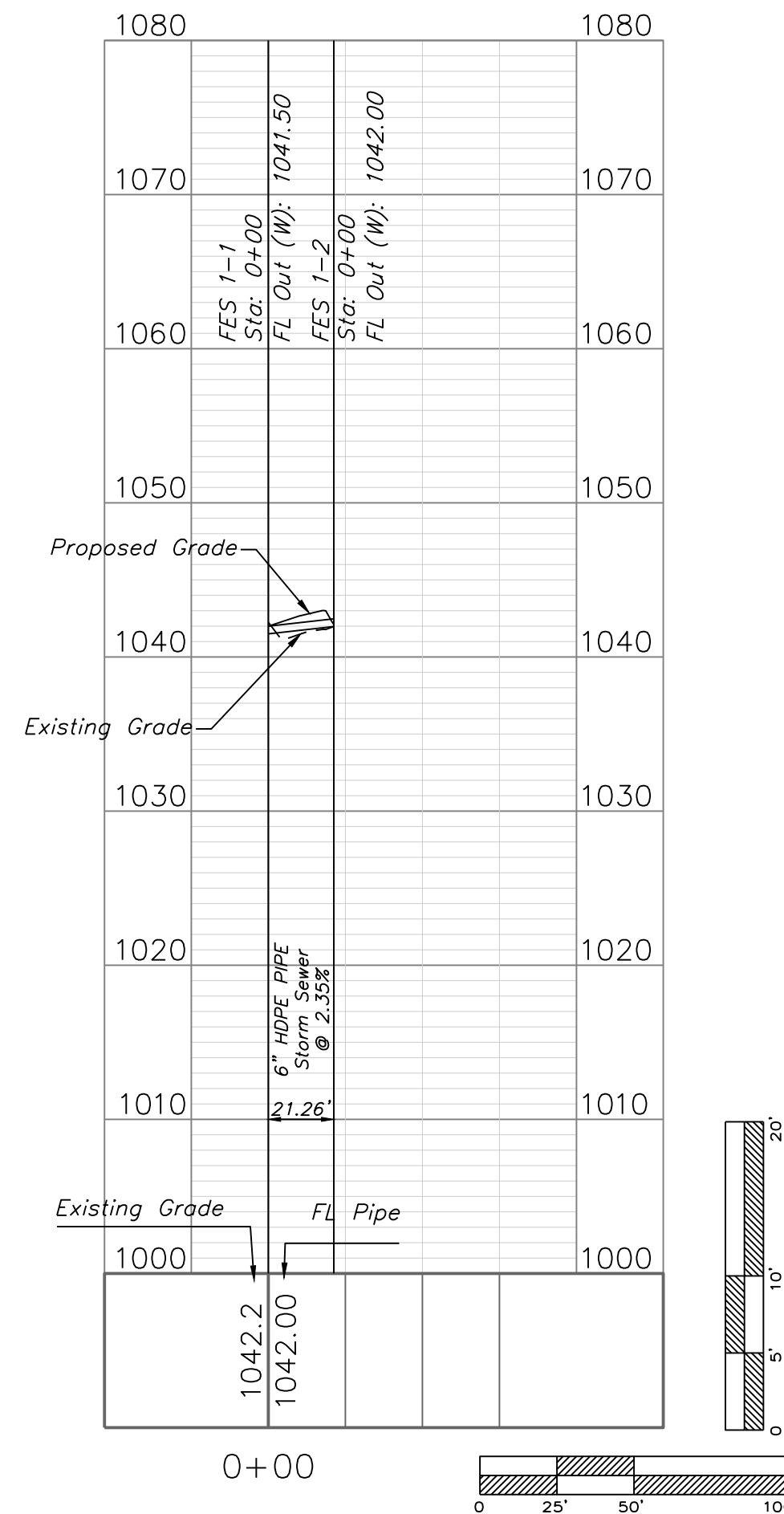


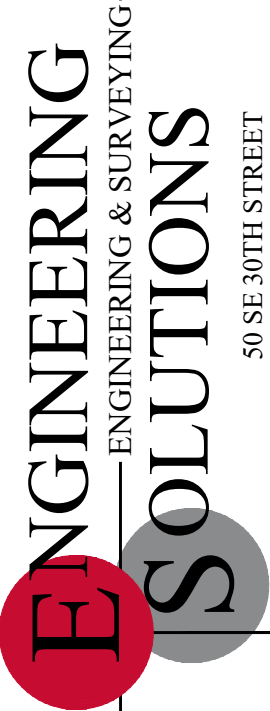
Matthew J. Schlicht
MO PE 2006019708
KS PE 19071
OK PE 25226
NE PE E-14335

REVISIONS



STORM LINE 1



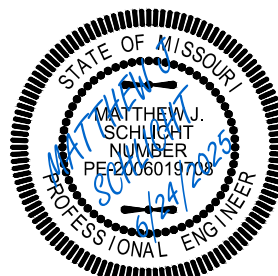


Professional Registration
Missouri
Engineering 2005002186-D
Surveying 2005008319-D
Kansas
Engineering E-1695
Surveying LS-218
Oklahoma
Engineering 6254
Nebraska
Engineering CA2821

100 NE DOUGLAS STREET
Lee's Summit, Jackson County, Missouri

Project:
100 NE DOUGLAS
LSMO
Issue Date:
June 24, 2025

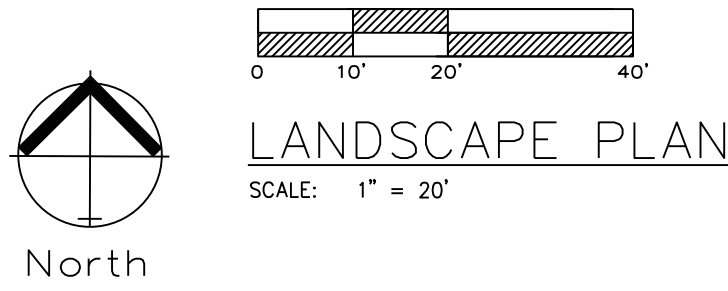
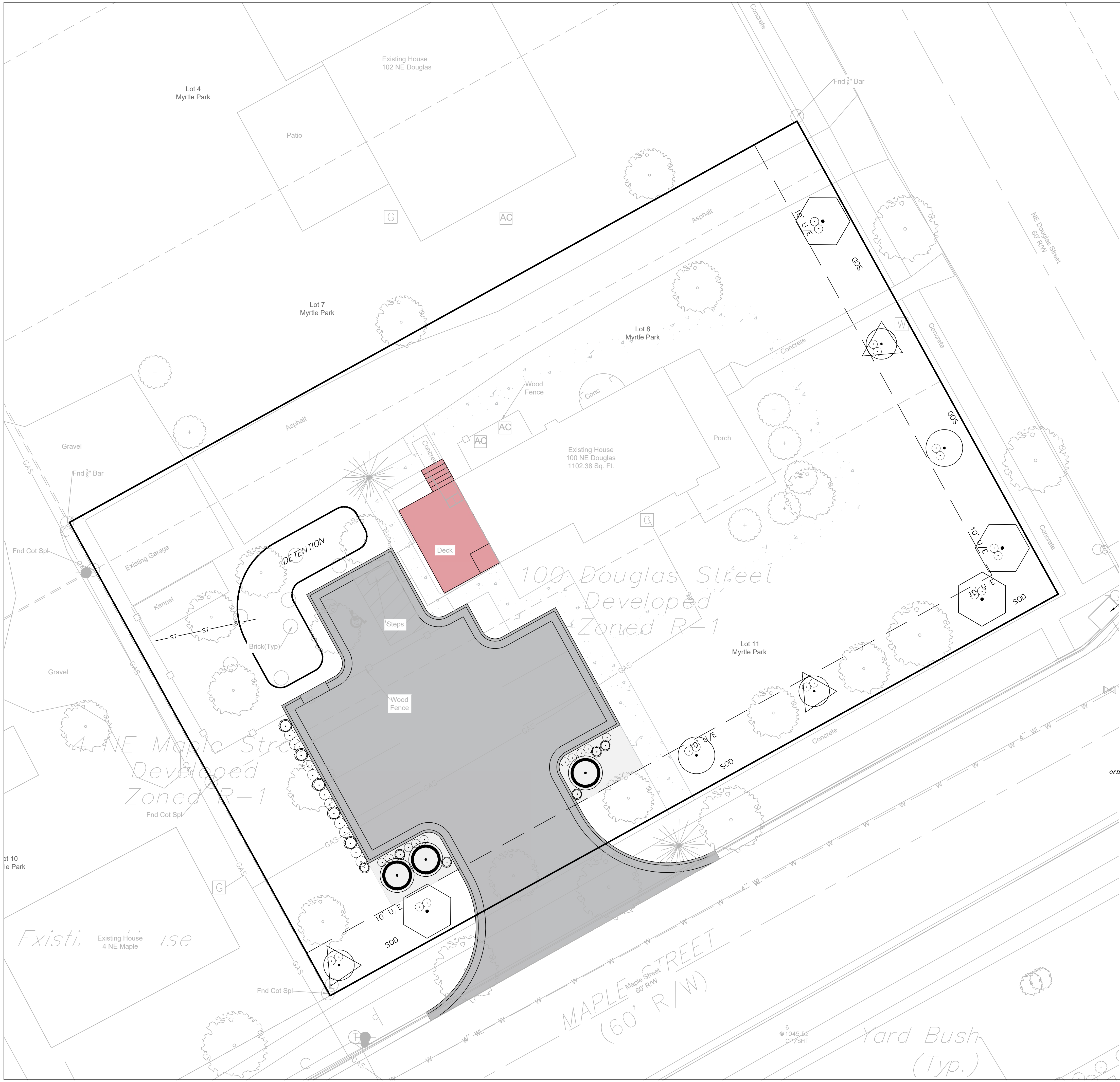
LANDSCAPE PLAN
Final Development Plans for:
100 NE DOUGLAS STREET
Lee's Summit, Jackson County, Missouri



Matthew J. Schlicht
MO PE 2006019708
KS PE 19071
OK PE 25226
NE PE E-14325

REVISIONS

L.100



LANDSCAPE WORKSHEET			
	ORDINANCE REQUIREMENT	REQUIRED FOR THIS SITE	PROPOSED LANDSCAPE
14.090.A.1 Street Frontage Trees (Maple St)	1 tree per 30 feet of street frontage	140 ft. of street frontage /30= 5 trees required	5 Trees Provided
14.090.A.3 Street Frontage Shrubs (Maple St)	1 shrub per 20 feet of street frontage	140 ft. of street frontage /20= 7 shrubs required	10 shrubs provided
14.090.A.1 Street Frontage Trees (NE Douglas St)	1 tree per 30 feet of street frontage	111 ft. of street frontage /30= 4 trees required	4 Trees Provided
14.090.A.3 Street Frontage Shrubs (NE Douglas St)	1 shrub per 20 feet of street frontage	111 ft. of street frontage /20= 6 shrubs required	8 shrubs provided
14.090.B.1 Open Yard Shrubs	2 shrubs per 5000 sq. ft. of total lot area excluding building and parking	18,948 sq. ft. of total lot area minus 5,364 sq. ft. of bldg. & parking= 13,584 sq. ft./5,000 x 2 = 6 shrubs	6 shrubs
14.090.B.3 Open Yard Trees	1 tree per 5000 sq. ft. of total lot area excluding building and parking.	18,948 sq. ft. of total lot area minus 5,364 sq. ft. of bldg. & parking= 13,584 sq. ft./5,000 = 3 trees	3 Provided
14.110. Parking Lot Landscape	5% of entire parking area (spaces, aisles &; drives); 1 island at end of every parking bay, min. 9' wide	3,606 sq. ft. of parking area x .05 = 180 sq. ft. of landscape parking lot islands required	306 sq. ft.
14.120 Screening of Parking Lot, Road	12 shrubs per 40 linear feet (must be 2.5 feet tall; berms may be combined with shrubs)	34 linear feet/40 x 12	10 shrubs provided
*STREET SHRUBS ARE SATISFIED WITH PARKING LOT SCREENING REQUIREMENTS.			

PLANTING SCHEDULE:

IS FOR PHASE 1 ONLY. AT FULL BUILD THE UNIFIED DEVELOPMENT ORDINANCE REQUIREMENTS SHALL BE MET.

SYMBOL	QUANT.	KEY	NAME	SIZE
tree	4	TA	AMERICAN BASSWOOD LINDEN TILIA AMERICANA	3.0" CAL
evergreen	11	SR	SKYROCKET JUNIPER JUNIPERUS SCOPULORUM "SKYROCKET"	8' HL
tree	3	RB	OKLAHOMA REDBUD CERCIS RENIFORMIS "OKLAHOMA"	3.0" CAL
shrub	44	BB	BURNING BUSH EUONYMUS ALATA "COMPACTUS"	2 Gallon Pot
ornamental tree	3	SC	SPRING SNOW CRABAPPLE MALUS SP "SPRING SHOW"	1.5" CAL
tree	2	CG	COLORADO GREEN SPRUCE PICEA PUNGENS	2.5" CAL

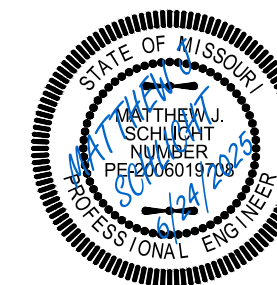


Professional Registration
Missouri
Engineering 2005002186-D
Surveying 20050008319-D
Kansas
Engineering E-1695
Surveying LS-218
Oklahoma
Engineering 6254
Nebraska
Engineering CA2821

100 NE DOUGLAS STREET
Lee's Summit, Jackson County, Missouri

Project:
100 NE DOUGLAS
LSMO
Issue Date:
June 24, 2025

LANDSCAPE PLAN DETAILS
Final Development Plans for:
100 NE DOUGLAS STREET
Lee's Summit, Jackson County, Missouri



Matthew J. Schlicht
MO PE 2006019708
KS PE 19071
OK PE 25226
NE PE E-14335

REVISIONS

GENERAL LANDSCAPE NOTES: PLANT MATERIAL

- ALL PLANT MATERIAL SHALL BE FIRST CLASS REPRESENTATIVES OF SPECIFIED SPECIES, VARIETY OR CULTIVAR, IN HEALTHY CONDITION WITH NORMAL WELL DEVELOPED BRANCHES AND ROOT PATTERNS. PLANT MATERIAL MUST BE FREE OF OBJECTIONABLE FEATURES. PLANTS SHALL COMPLY IN ALL APPLICABLE RESPECTS WITH PROPER STANDARDS AS SET FORTH IN THE AMERICAN ASSOCIATION OF NURSERYMEN'S "AMERICAN STANDARD OF NURSERY STOCK", ANSI Z601-2004.
- SHRUBS SHALL BE CONTAINER GROWN AND WILL BE FREE OF DISEASE AND PESTS. NO BARE ROOT. ALL PLANT BEDS TO BE MULCHED TO A DEPTH OF 3" WITH DARK BROWN, HARDWOOD MULCH. PLANTING BEDS ARE TO BE FREE OF WEEDS AND GRASS. TREAT BEDS WITH A PRE-EMERGENT HERBICIDE PRIOR TO PLANTING AND MULCH PLACEMENT. APPLY IN ACCORDANCE WITH STANDARD TRADE PRACTICE.
- HOLE AREA FOR TREE TO BE TWICE (2x) THE DIAMETER OF THE ROOT BALL AND ROOT BALL SHALL BE SLIGHTLY MOUNDED FOR WATER RUN-OFF.
- ALL PLANT MATERIALS SHALL BE PROTECTED FROM THE DRYING ACTION OF THE SUN AND WIND AFTER BEING DUG, WHILE BEING TRANSPORTED, AND WHILE AWAITING PLANTING. BALLS OF PLANTS WHICH CANNOT BE PLANTED IMMEDIATELY SHALL BE PROTECTED FROM DRYING ACTION BY COVERING THEM WITH MOST MULCH. PERIODICALLY, APPLY WATER TO MULCH-COVERED BALLS TO KEEP MOIST. IF PLANTING SHOULD OCCUR DURING GROWING SEASON, APPLY ANTI-DESICCANT TO LEAVES BEFORE TRANSPORT TO REDUCE THE LIKELIHOOD OF WINDBURN. REAPPLY ANTI-DESICCANT AFTER PLANTING TO REDUCE TRANSPIRATION. REMOVE TWINE AND BURLAP FROM ROOT BALLS. SOIL ON TOP OF CONTAINERIZED OR BALLED PLANTS IS TO BE REMOVED UNTIL ALL PLANTS' ROOT FLARES ARE EXPOSED. THIS IS THE NATIVE SOIL LINE AT WHICH PLANTING DEPTHS SHOULD BE MEASURED.
- AFTER PLANTING IS COMPLETED, PRUNE MINIMALLY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES. PRUNE IN SUCH A MANNER AS NOT TO CHANGE THE NATURAL HABIT OR SHAPE OF THE PLANT. MAKE CUTS BACK TO BRANCH COLLAR, NOT FLUSH. DO NOT PAINT ANY CUTS WITH TREE PAINT. CENTRAL LEADERS SHALL NOT BE REMOVED.
- GUARANTEE TREES, SHRUBS, GROUND COVER PLANTS FOR ONE CALENDAR YEAR FOLLOWING PROVISIONAL ACCEPTANCE OF THE OVERALL PROJECT. DURING THE GUARANTEE PERIOD, PLANTS THAT DIE DUE TO NATURAL CAUSES OR THAT ARE UNHEALTHY OR UNSIGHTLY IN CONDITION, SHALL BE REPLACED BY THE CONTRACTOR.

LAWN AND TURF AREAS

- ALL LAWN AREAS TO BE SODDED AS SHOWN ON PLANS. SOD SHALL COMPLY WITH US DEPT. OF AGRICULTURE RULES AND REGULATIONS UNDER THE FEDERAL SEED ACT AND EQUAL IN QUALITY TO STANDARDS FOR CERTIFIED SEED. SOD SHALL BE HEALTHY, THICK TURF HAVING UNDERGONE A PROGRAM OF REGULAR FERTILIZING, MOWING AND WEED CONTROL. SEED AND SOD SHALL BE A TURF-TYPE TALL FESCUE (3 WAY) BLEND. SEED BLEND SHALL CONSIST OF THE FOLLOWING:

TURF-TYPE TALL FESCUE	90%
KENTUCKY BLUEGRASS	10%
- ALL AREAS DISTURBED SHALL BE SODDED.

INSTALLATION

- THE INSTALLATION OF ALL PLANT MATERIALS SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS OF THE CITY OF LEE'S SUMMIT, MO. AND LANDSCAPE INDUSTRY STANDARDS.
- ALL LANDSCAPE AREAS TO BE FREE OF ALL BUILDING DEBRIS AND TRASH, BACK FILLED WITH CLEAN FILL SOIL AND TOP DRESSED WITH 4" OF TOPSOIL. TOPSOIL SHALL HAVE A pH RANGE OF 5.5 TO 7 AND A 4% ORGANIC MATERIAL MINIMUM. ASTM D5085.
- PLANT BEDS TO BE "MOUNDED". ALL PLANT MATERIAL, PLANT BEDS, MULCH AND DUG EDGE ARE TO BE INSTALLED PER LANDSCAPE PLANS, DETAILS, AND MANUFACTURER'S RECOMMENDATIONS.
- REESTABLISH FINISH GRADES TO WITHIN ALLOWABLE TOLERANCES ALLOWING 3/4" FOR SOD AND 3" FOR MULCH IN PLANT BEDS. HAND RAKE ALL AREAS TO SMOOTH EVEN SURFACES FREE OF DEBRIS, CLODS, ROCKS, AND VEGETATIVE MATTER GREATER THAN 1".
- ALL PLANT BEDS, SHRUBS AND TREES SHALL BE MULCHED WITH 3" OF DARK BROWN, HARDWOOD MULCH, EXCEPT IF NOTED AS ROCK. DARK BROWN, HARDWOOD MULCH SHALL BE INSTALLED OVER DEWITT PRO 5 WEED CONTROL FABRIC IN PLANT BEDS ONLY.
- CONTRACTOR IS RESPONSIBLE FOR INITIAL WATERING UPON INSTALLATION.
- DUG EDGES ARE TO BE DUG WHERE MULCH BEDS ARE ADJACENT TO TURF AREAS. NO EDGING IS REQUIRED ADJACENT TO PAVEMENT OR CURB.
- THE EXACT LOCATION OF ALL UTILITIES, STRUCTURES, AND UNDERGROUND UTILITIES SHALL BE DETERMINED AND VERIFIED ON SITE BY THE LANDSCAPE CONTRACTOR PRIOR TO INSTALLATION OF THE MATERIALS. DAMAGE TO EXISTING UTILITIES AND OR STRUCTURES SHALL BE REPLACED TO THEIR ORIGINAL CONDITION BY THE LANDSCAPE CONTRACTOR AT NO COST TO THE OWNER.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS AND RECD INSPECTIONS BY LEGAL AUTHORITIES.
- PROVISIONS SHALL BE MADE FOR READILY ACCESSIBLE IRRIGATION WITHIN 100' MAX. OF ALL LANDSCAPED AREAS INCLUDING ALL PLANT BEDS, INDIVIDUAL TREES, AND TURF AREAS. ALL LAWN AREAS (AS SHOWN ON PLANS) WILL BE IRRIGATED BY AN AUTOMATIC SPRINKLER SYSTEM. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL IRRIGATION COMPONENTS, SLEEVING, PIPE, AND CONTROL. DESIGN DRAWINGS OF IRRIGATION SYSTEM SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT AND OWNER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- ANY SUBSTITUTIONS OR DEVIATIONS SHALL BE REQUESTED IN WRITING BY THE CONTRACTOR FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF PLANT MATERIALS. ALL PLANTS ARE TO BE LOCATED AS SPECIFIED ON DRAWINGS.

MAINTENANCE BY OWNER

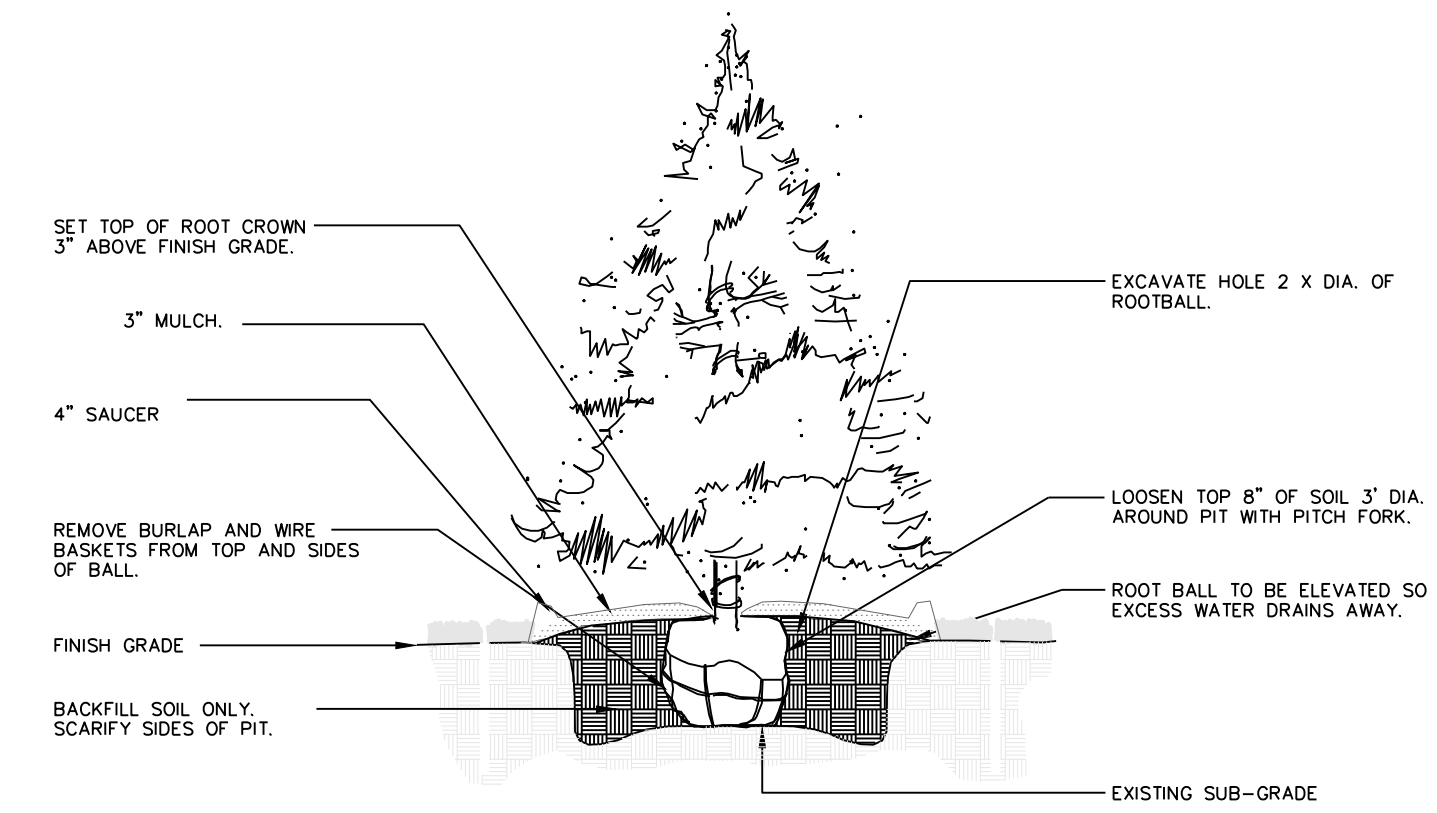
- ALL SHRUBS ARE TO BE MAINTAINED IN THEIR NATURAL SHAPE TO ALLOW EVENTUAL GROWTH INTO A HEDGE.
- MAINTAIN NATURAL HABIT OF ALL SPECIFIED PLANT MATERIAL.
- NEW SOD TO BE THOROUGHLY WATERED UNTIL ROOTS "TAKE HOLD" OF SOD BED. CONTINUE WATERING AS REQUIRED, UNTIL COMPLETELY ESTABLISHED.

IRRIGATION PERFORMANCE SPECIFICATION:

THE FOLLOWING CRITERIA SHALL BE CONSIDERED MINIMUM STANDARDS FOR DESIGN AND INSTALLATION OF LANDSCAPE IRRIGATION SYSTEM:

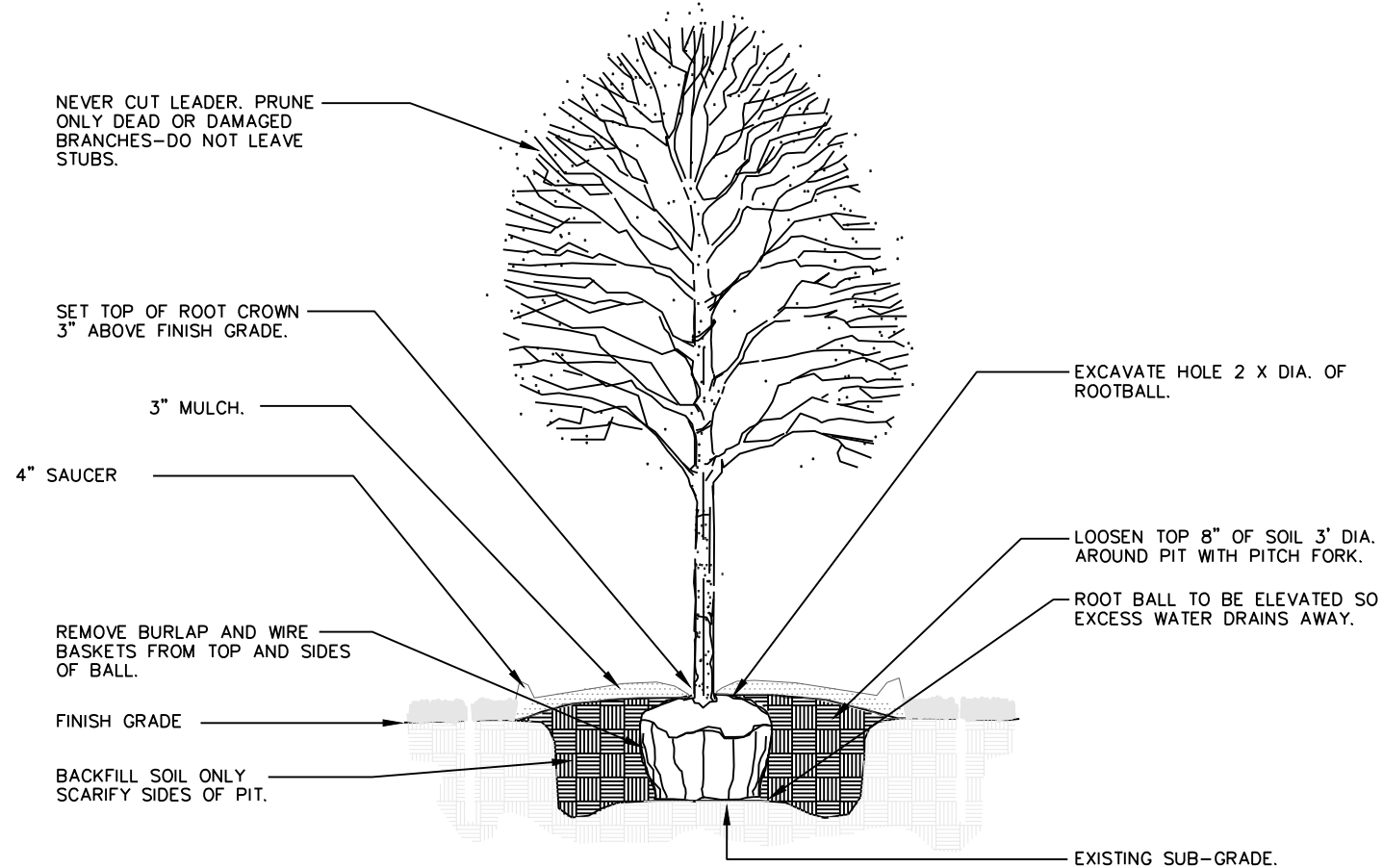
- GENERAL - IRRIGATION SYSTEM TO INCLUDE DRIP IRRIGATION OF SHRUB BEDS ADJACENT TO BUILDINGS, SPRAY HEADS IN THE PARKING ISLANDS, AND ROTORS AROUND THE PERIMETER OF THE PARKING LOTS. HEADS SHALL THROW AWAY FROM BUILDING AND ACID SPRAYING OVER SIDEWALKS.
- IRRIGATION SYSTEM SHALL CONFORM TO ALL INDUSTRY STANDARDS AND ALL FEDERAL, STATE AND LOCAL LAWS GOVERNING DESIGN AND INSTALLATION.
- WATERLINE TYPW, SIZE LOCATION, PRESSURE AND FLOW SHALL BE FIELD VERIFIED PRIOR TO SYSTEM DESIGN AND INSTALLATION.
- ALL MATERIALS SHALL BE FROM NEW STOCK FREE OF DEFECTS AND CARRY A MINIMUM ONE YEAR WARRANTY FROM THE DATE OF SUBSTANTIAL COMPLETION.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED IN SUCH A WAY THAT ALL SYSTEM COMPONENTS OPERATE WITHIN THE GUIDELINES ESTABLISHED BY THE MANUFACTURER.
- LAWN AREA AND SHRUB BEDS SHALL BE ON SEPARATE CIRCUITS.
- PROVIDE WATER TAP, METER SET, METER VAULT AND ALL OTHER OPERATIONS NECESSARY TO PROVIDE WATER FOR IRRIGATION SHALL CONFORM TO LOCAL WATER GOVERNING AUTHORITY GUIDELINES AND STANDARDS.
- BACKFLOW PREVENTION SHALL BE PROVIDED IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
- IRRIGATION CONTROLLER TO BE LOCATED IN UTILITY ROOM INSIDE BUILDING, AS IDENTIFIED BY OWNER.
- IRRIGATION CONTROLLER STATIONS SHALL BE LABELED TO CORRESPOND WITH THE CIRCUIT IT CONTROLS.
- CONTRACTOR SHALL PROVIDE TO THE OWNER WRITTEN OPERATION INFORMATION FOR ALL SYSTEM COMPONENTS.
- CONTRACTOR SHALL PROVIDE O THE OWNER ALL KEYS, ACCESS TOOLS, WRENCHES AND ADJUSTING TOOLS NECESSARY TO GAIN ACCESS, ADJUST AND CONTROL THE SYSTEM.
- CONTRACTOR SHALL PROVIDE SHOP DRAWINGS TO THE OWNER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- AN AUTOMATIC RAIN SHUT-OFF OR MOISTURE DEVICE SHALL BE INSTALLED.
- INSTALL SCHEDULE 40 PVC SLEEVES UNDER ALL CURBS, PAVING AND SIDEWALKS. SLEEVES TO BE TWICE THE SIZE OF THE LINE IT HOUSES.
- INSTALL MANUAL DRAIN BALBES AT LOWEST POSSIBLE ELEVATION ON IRRIGATION MAIN TO ALLOW GRAVITY DRAINING OF MAIN DURING WINTER MONTHS. PROVIDE QUICK COUPLERS AT MULTIPLE LOCATIONS TO ALLOW FOR EASY "BLOWING OUT" OF LATERAL AND MAIN LINES.
- ZONES OR NOZZLES SHALL BE DESIGNED WITH MATCHED PRECIPITATION RATES.
- MINIMUM LATERAL DEPTH IS 15" AND MAIN DEPTH IS 18".
- SUBMIT DESGN DRAWING WITH BID TO ALLOW OWNER TO EVALUATE SYSTEM. INCLUDE CUT SHEETS OF ALL COMPONENTS AND ZONE TABLE ILLUSTRATING FLOWS AND ANTICIPATED PRESSURE AT FURTHEST HEAD.
- AN "AS-BUILT" SCALED DRAWING SHALL BE PROVIDED TO THE OWNER BY THE CONTRACTOR AND SHALL INCLUDE UT NOT BE LIMITED TO THE FOLLOWING:
 - AS CONSTRUCTED LOCATION OF ALL COMPONENTS
 - COMPONENT NAME, MANUFACTURER, MODEL INFORMATION, SIZE AND QUANTITY
 - PIPE SIZE AND QUANTITY
 - INDICATION OF SPRINKLER HEAD SPRAY PATTERN
 - CIRCUIT IDENTIFICATION SYSTEM
 - DETAILED METHOD OF WINTERIZED SYSTEM

SUBMIT AS-BUILT DRAWING IN FULL SIZE DRAWING FORM AS WELL AS PDF ELECTRONIC FORMAT. (SCANNING FULL SIZE COPY OF PLAN IS ACCEPTABLE IF IT CAN BE PRINTED TO SCALE.



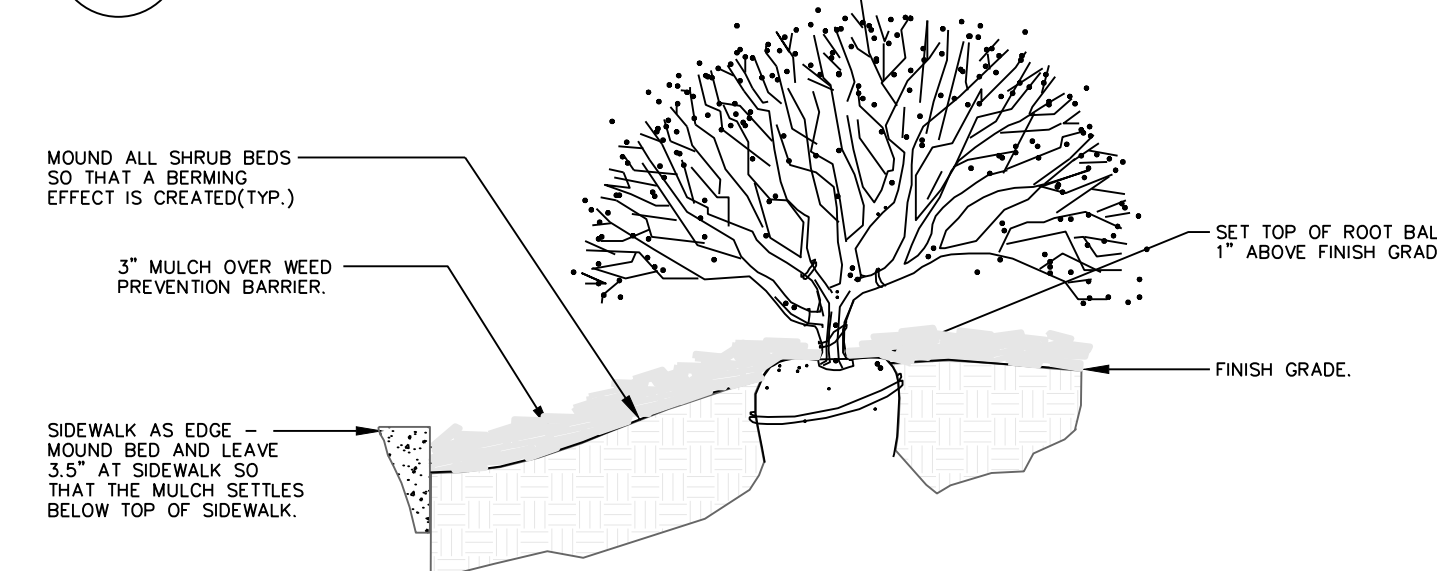
1 EVERGREEN TREE PLANTING

NTS



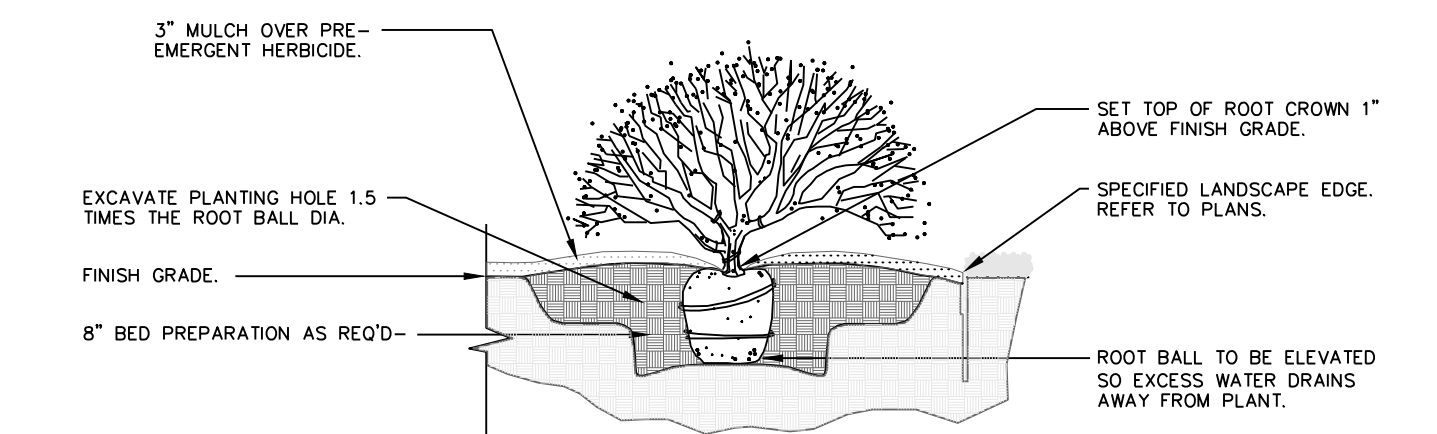
2 DECIDUOUS TREE PLANTING

NTS



3 SIDEWALK EDGE AT PLANT BED

NTS



4 SHRUB PLANTING

NTS

12	11	10	9	8	7	6	5	4	3	2	1
1.	ALL WORK SHALL CONFORM TO 2018 INTERNATIONAL BUILDING CODE AS ADOPTED AND AMENDED BY THE CITY OF LEE'S SUMMIT, MO.										
2.	DESIGN LOADS										
A.	SLAB ON GRADE AND FLOOR LOADS										100 PSF
1.	LIVE LOAD										
1.	CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS PRIOR TO FABRICATION.										
2.	IF DISCREPANCIES EXIST BETWEEN CONTRACT DRAWINGS, AND/OR SHOP DRAWINGS NOTIFY THE ENGINEER OF RECORD.										
3.	THE CONTRACTOR SHALL REVIEW DRAWINGS FROM ALL OTHER DISCIPLINES FOR PERTINENT MISC. ITEMS OR INFORMATION RELATED TO THE STRUCTURAL WORK AND COORDINATE AS REQUIRED.										
4.	THE BUILDING IS NOT STRUCTURALLY STABLE UNTIL ALL CONNECTIONS, FRAMING, SHEAR WALLS, PERMANENT BRACING, AND EXTERIOR LOAD-BEARING WALLS ARE COMPLETE AND HAVE ACHIEVED THEIR RESPECTIVE DESIGN STRENGTHS. CONTRACTOR IS SOLELY RESPONSIBLE FOR MAINTAINING STRUCTURAL STABILITY DURING ERECTION AND CONSTRUCTION. TEMPORARY BRACING SYSTEMS ARE NOT TO BE REMOVED UNTIL STRUCTURAL WORK IS COMPLETE.										
5.	PROVIDE ADEQUATE SHORING DURING CONSTRUCTION TO RESIST FORCES SUCH AS WIND AND UNBALANCED LOADS DUE TO CONSTRUCTION. DO NOT BACKFILL UNTIL CONCRETE HAS CURED 14 DAYS.										
6.	FOUNDATIONS										
A.	FOUNDATIONS ARE DESIGNED TO BEAR ON 1500 PSF FOR STRIP FOOTINGS ON SOIL AND 1500 PSF FOR SPREAD FOOTINGS ON SOIL.										
B.	CONTRACTOR SHALL REMOVE EXISTING FOOTINGS AND FOUNDATIONS THAT ARE LOCATED WITHIN THE FOOTPRINT OF THE NEW BUILDING.										
C.	CONTRACTOR SHALL NOTIFY ENGINEER OF ANY UNUSUAL SOIL CONDITIONS THAT ARE IN VARIANCE WITH THE GEOTECHNICAL REPORT OR WHEN DIFFERENT BEARING MATERIAL IS EVIDENT AND THERE IS A QUESTION OF BEARING CAPACITY.										
7.	CONCRETE										
A.	CAST-IN-PLACE CONCRETE CONSTRUCTION SHALL CONFORM TO LATEST APPLICABLE AMERICAN CONCRETE INSTITUTE DOCUMENTS, ACI-301, 305, 306, 315, 318, AND 347 UNLESS NOTED OTHERWISE IN THESE CONTRACT DOCUMENTS.										
B.	ALL CONCRETE, UNLESS NOTED OTHERWISE, SHALL DEVELOP A 28 DAY COMPRESSIVE STRENGTH AND HAVE MAXIMUM DRY SHRINKAGE PER ASTM C157 AS FOLLOWS:										
1.	FOOTINGS, GRADE BEAMS, WALLS, BEAMS, COLUMNS:										4000 PSI (DS MAX 0.05%)
2.	SLAB ON GRADE:										4000 PSI (DS MAX 0.05%)
3.	REFER TO THE SPECIFICATION FOR AIR-ENTRAINED CONCRETE.										
C.	SLABS-ON-GRADE SHALL DEVELOP A 90 DAY COMPRESSIVE STRENGTH.										
D.	IT IS THE INTENT OF THESE CONCRETE SPECIFICATIONS THAT THE CONTRACTOR SUPPLY CONCRETE MIXES WITH A MINIMUM AMOUNT OF WATER IN ORDER TO LIMIT PLASTIC SHRINKAGE CRACKING IN FRESHLY PLACED CONCRETE. IT IS EXPECTED THAT PRODUCING WORKABILITY FOR CONCRETE MIXES WILL REQUIRE THE ADDITION OF WATER-REDUCING CHEMICAL ADMIXTURES.										
E.	CONCRETE MIX DESIGNS SHALL INCLUDE ALL APPLICABLE ADMIXTURES.										
F.	CONCRETE SLUMP SHALL BE A MAXIMUM OF 4" +/- 1" (ASTM C-145) AS DELIVERED IN THE FIELD. CONTRACTOR MAY USE CHEMICAL ADMIXTURES TO ATTAIN A MAXIMUM SLUMP OF 8" FOR WORKABILITY IF ADMIXTURE IS TO BE ADDED IN THE FIELD IS SHALL BE ADDED THROUGH THE USE OF AN EXTERNAL MEASURING DEVICE (I.E. 5 GALLON BUCKET).										
G.	CONCRETE EXPOSED TO WEATHER, PARKED VEHICLES, AND/OR DEICING CHEMICAL SHALL CONTAIN 6% (+/- 1%) ENTRAINED AIR BY VOLUME.										
H.	CHAMFER ALL EXPOSED CORNERS OF CONCRETE WALLS, 3/4" UNLESS NOTED OTHERWISE.										
I.	ALL CONTROL JOINTS IN CONCRETE SLABS-ON-GRADE SHALL BE CUT TO 1/3 OF DEPTH WHEN USING WET-CUTTING PROCESS AND 1/4 OF DEPTH WHEN USING EARLY-ENTRY DRY-CUT PROCESS. CUT JOINTS AS SOON AS APPLICABLE PER PROCESS USED AFTER CONCRETE HAS BEEN PLACED WITHOUT DISLODGING AGGREGATE, OR USE A KEED COLD JOINT.										
J.	CUT SLABS-ON-GRADE INTO AREAS OF APPROXIMATELY 225 SQUARE FEET MAINTAINING AS CLOSE TO SQUARE AREAS AS POSSIBLE. LENGTH TO WIDTH RATIOS OF JOINTED PANELS SHALL NOT EXCEED 1.5:1. COORDINATE LOCATIONS OF CONTROL JOINTS WITH ARCHITECT.										
K.	CONTROL JOINTS IN WALLS SHALL BE PLACED AT 20'-0" O.C. MAXIMUM UNLESS NOTED OTHERWISE. LOCATE JOINTS BESIDE PIERS INTEGRAL WITH WALLS, NEAR CORNERS, AND IN CONCEALED LOCATIONS WHERE POSSIBLE. CONSTRUCTION JOINTS MAY BE PLACED IN LIEU OF CONTROL JOINTS AT CONTRACTOR'S DISCRETION. COORDINATE LOCATION OF CONTROL JOINTS WITH ARCHITECT.										
L.	PRIOR TO PLACING CONCRETE IN ANY LOCATION, IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO HAVE THOROUGHLY CHECKED AND COORDINATED ALL DIMENSIONS, ELEVATIONS, OPENINGS, RECESS, AND BLOCKOUTS AS SHOWN ON ANY CONTRACT DRAWINGS. IN THE EVENT ERRORS, CONFLICTS, OR OMISSIONS EXIST, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE ARCHITECT OR ENGINEER FOR NECESSARY CORRECTIVE ACTION.										
M.	EMBEDDED ITEMS ARE TO BE FURNISHED AND INSTALLED BY THE CONTRACTOR PRIOR TO PLACING CONCRETE.										
N.	ANCHOR RODS AND ANCHOR BOLTS SHALL BE HELD IN PLACE WITH A RIGID TEMPLATE.										
O.	HORIZONTAL JOINTS BEYOND THOSE SHOWN IN THE CONTRACT DOCUMENTS SHALL NOT BE CONSTRUCTED WITHOUT THE APPROVAL OF THE ARCHITECT AND ENGINEER.										
8.	ROUGH CARPENTRY										
A.	HEADERS, JOISTS, AND RAFTERS SHALL MEET OR EXCEED THE FOLLOWING MINIMUM REQUIREMENTS.										
1.	F _b										800 PSI
2.	F _v										175 PSI
3.	F _c										1300 PSI
4.	E										1400 KSI
B.	INTERIOR WALLS AND EXTERIOR WALLS SHALL MEET OR EXCEED THE FOLLOWING MINIMUM REQUIREMENTS.										
1.	F _b										800 PSI
2.	F _v										175 PSI
3.	F _c										1300 PSI
4.	E										1400 KSI
C.	TIMBER FRAMING MEMBERS SHALL MEET OR EXCEED THE FOLLOWING MINIMUM REQUIREMENTS.										
1.	F _b										800 PSI
2.	F _v										175 PSI
3.	F _c										1300 PSI
4.	E										1400 KSI
D.	ALL LVL MEMBERS SHALL BE BOISE CASCADE VERSA-LAM 2.1E 3100 OR APPROVED EQUAL.										
E.	ALL WOOD FRAMING MEMBERS INDICATED ARE NOMINAL SIZES. PROVIDE ACTUAL DRESSED SIZES, KILN-DRIED, WITH MAXIMUM IN-PLACE MOISTURE CONTENT OF 19%.										
F.	ALL BOLTS ARE A36 OR A307, GRADE 1, AND ALL NAILS ARE COMMON WIRE NAILS UNLESS NOTED OTHERWISE.										
G.	LAY ALL STRUCTURAL PANELS WITH FACE GRAIN PERPENDICULAR TO SUPPORTING MEMBERS AND OFFSET END JOINTS 4'-0", PANELS TO BE APA RATED AND STAMPED FOR THE LOADING SHOWN IN SECTION 2 "DESIGN" AND SHOULD MATCH THE SUPPORT SPACING SHOWN ON THE PLANS.										
H.	ROOF DECKING SHALL BE 3/4" THICK APA RATED EXTERIOR GRADE SHEATHING FASTENED WITH 10d NAILS AT 6" O.C. ON EDGES AND 12" O.C. IN FIELD UNLESS NOTED OTHERWISE.										
I.	FASTENER QUALITY, QUANTITY, SIZE, AND SPACING SHALL COMPLY WITH IBC FASTENING SCHEDULE (TABLE 2304.10) UNLESS NOTED OTHERWISE.										
J.	ALL WOOD IN CONTACT WITH CONCRETE OR EXPOSED TO WEATHER SHALL BE PRESERVATIVE TREATED.										
9.	POST CONSTRUCTION ANCHORS										
A.	POST INSTALLED ANCHORS ARE NOT TO BE SUBSTITUTED FOR ANCHORS SHOWN ON THE DRAWINGS. IF CAST IN PLACE ANCHOR IS DETERMINED TO BE OUT OF TOLERANCE OR OMITTED, CONTRACTOR MUST GENERATE A REQUEST FOR INFORMATION IN REGARDS TO THE SOLUTION.										
B.	EMBEDMENT DEPTH SHALL BE DEFINED AS THE DISTANCE FROM THE SURFACE OF THE LOAD-BEARING BASE MATERIAL TO THE DEEPEST PART OF THE ANCHOR AFTER THE ANCHOR HAS BEEN DRIVEN INTO THE HOLE.										
C.	OBSERVATION AND VERIFICATION OF EMBEDMENT HOLE CLEANING, DEPTH, AND ANCHOR INSTALLATION IS REQUIRED FOR ALL EPOXY ANCHORS.										
D.	EQUIVALENT ANCHORS MAY BE SUBMITTED FOR THE ENGINEER'S APPROVAL. SUBMITTALS ARE THE CONTRACTOR'S RESPONSIBILITY AND MUST INCLUDE EVALUATION REPORTS FROM THE INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS, CURRENT WITH THE REQUIREMENTS OF THE PROJECT.										
10.	STRUCTURAL ENGINEER SITE OBSERVATIONS										
A.	THE CONTRACT STRUCTURAL DRAWINGS REPRESENT THE FINISHED STRUCTURE AND, EXCEPT WHERE SPECIFICALLY SHOWN, DO NOT INDICATE THE METHOD OR MEANS OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, PROCEDURES, TECHNIQUES, AND SEQUENCES.										
B.	THE ENGINEER SHALL NOT HAVE CONTROL NOR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR, CONSTRUCTION MEANS, METHODS, PROCEDURES, TECHNIQUES, OR SEQUENCES, FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSION OF THE CONTRACTOR, SUBCONTRACTOR, OR AN OTHER PERSONS PERFORMING ANY OF THE WORK, OR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.										
C.	PERIODIC SITE OBSERVATION BY FIELD REPRESENTATIVES OF LEIGH & OKANE L.L.C. IS SOLELY FOR THE PURPOSE OF DETERMINING IF THE WORK OF THE CONTRACTOR IS PROCEEDING IN ACCORDANCE WITH THE STRUCTURAL CONTRACT DOCUMENTS. THIS LIMITED SITE OBSERVATION SHOULD NOT BE CONSTRUED AS EXHAUSTIVE OR CONTINUOUS TO CHECK THE QUALITY OR QUANTITY OF WORK, BUT RATHER PERIODIC IN AN EFFORT TO GUARD THE OWNER AGAINST DEFECTS AND DEFICIENCIES IN THE WORK OF THE CONTRACTOR.										
11.	SUBMITTALS										
A.	ALL SHOP DRAWINGS AND SUBMITTALS MUST BE REVIEWED AND APPROVED BY THE CONTRACTOR PRIOR TO SUBMITTAL. ENGINEER'S REVIEW OF SHOP DRAWINGS IS LIMITED TO CHECKING FOR GENERAL CONFORMANCE WITH DESIGN DRAWINGS AND STRENGTH OF COMPONENTS AND MATERIALS. CONTRACTOR IS RESPONSIBLE FOR ANY CHANGES FROM THE DESIGN DRAWINGS, QUANTITIES, DIMENSIONAL ERRORS, OR OMISSIONS IN THE SHOP DRAWINGS.										
B.	ALL SHOP DRAWINGS MUST BE ORIGINAL DOCUMENTS AND SHALL NOT BE REPRODUCTIONS OF THESE CONTRACT DOCUMENTS.										
C.	CONTRACTOR SHALL SUBMIT STRUCTURAL SHOP DRAWINGS FOR THE FOLLOWING ITEMS.										
1.	CONCRETE MIX DESIGN AND MATERIALS										
2.	CONCRETE REINFORCING STEEL										
D.	PROVIDE A FINAL, "FOR CONSTRUCTION" SET OF ALL SHOP DRAWINGS TO THE ENGINEER OF RECORD PRIOR TO FABRICATION OR CONSTRUCTION OF THOSE ITEMS.										
12.	SPECIAL INSPECTIONS										
A.	THE FOLLOWING MINIMUM ITEMS REQUIRE SPECIAL INSPECTION IN ACCORDANCE WITH THE BUILDING CODE.										
1.	CONCRETE PLACING										
2.	CONCRETE REINFORCING										
3.	BOLTS EMBEDDED IN CONCRETE / POST-INSTALLED ANCHORS										
B.	THE CONTRACTOR SHALL REQUEST SPECIAL INSPECTION OF THE ITEMS LISTED ABOVE PRIOR TO THOSE ITEMS BECOMING INACCESSIBLE AND UNOBSERVABLE DUE TO PROGRESSION OF THE WORK.										



HERITAGE ASSET MANAGEMENT

100 NE DOUGLAS ST.
LEE'S SUMMIT, MO 64063

COPYRIGHT © BY
COLLINS WEBB
ARCHITECTURE, LLC

REVISION DATES:

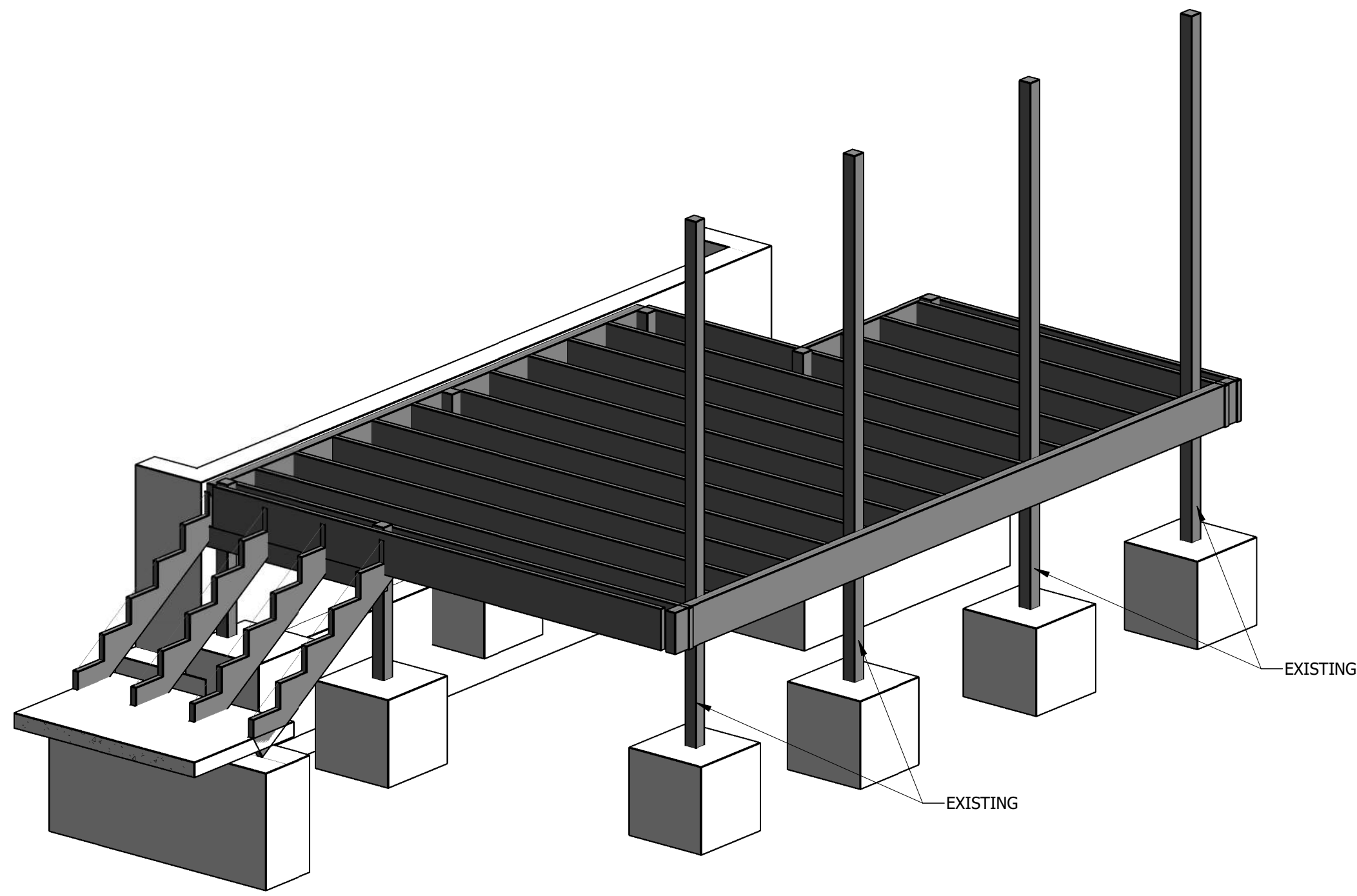


ISSUE DATE: 24 JUNE 2025
COLLINS WEBB #: 24114

GENERAL NOTES

PERMIT DOCUMENTS

6/24/2025 10:20:18 AM

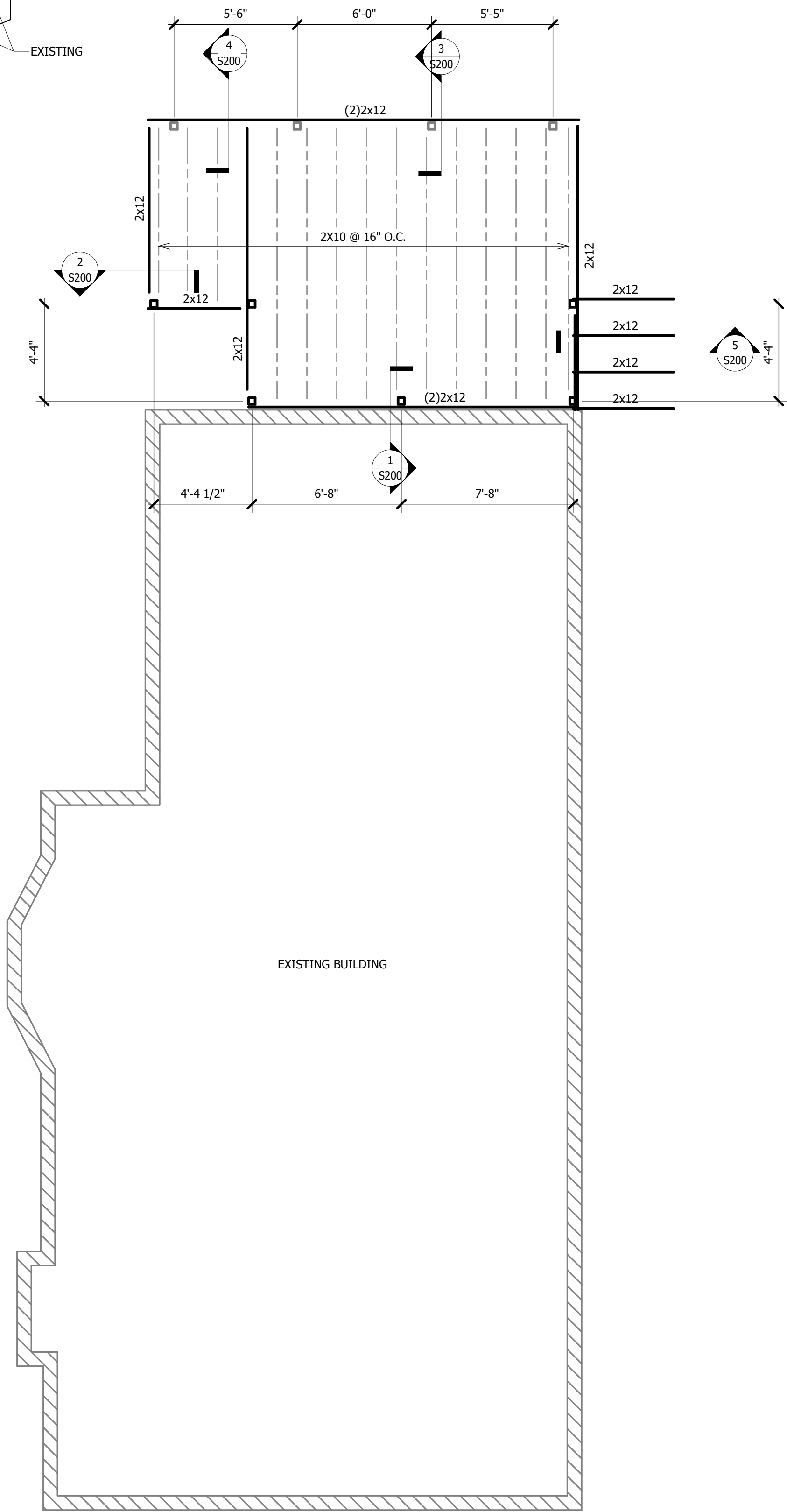


3 DECK ISOMETRIC VIEW

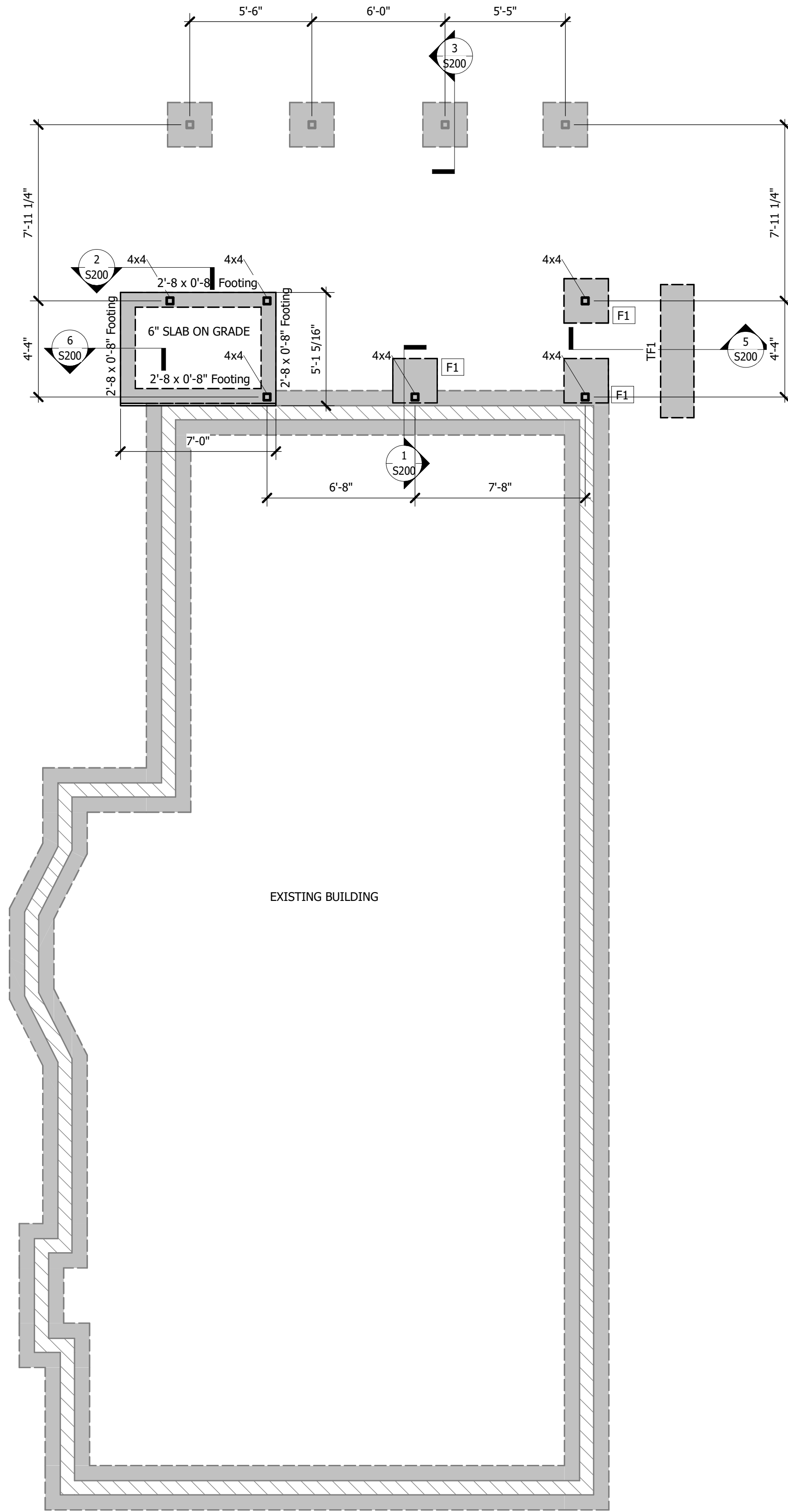
ISOLATED FOOTING SCHEDULE					
CALLOUT	COUNT	LENGTH	WIDTH	THICKNESS	REINFORCING
F1	7	2'-0"	2'-0"	2'-0"	#4 @ 12" O.C. EA. WAY BOT.

TRENCH FOOTING SCHEDULE				
CALLOUT	WIDTH	DEPTH	REINFORCING	
			HORIZONTAL	TIES
TF1	1'-6"	2'-8"	(2) #4 TOP & BOT	#4 TIES @ 16" O.C.

2 FRAMING PLAN
1/4" = 1'-0"



1 FOUNDATION PLAN
1/4" = 1'-0"



STRUCTURAL PLANS



PROFESSIONAL SEAL

S101

ISSUE DATE: 24 JUNE 2025
COLLINS WEBB #: 24114

COPYRIGHT © BY
COLLINS WEBB
ARCHITECTURE, LLC

REVISION DATES:

HERITAGE ASSET MANAGEMENT
100 NE DOUGLAS ST.
LEE'S SUMMIT, MO 64063

HERITAGE ASSET MANAGEMENT

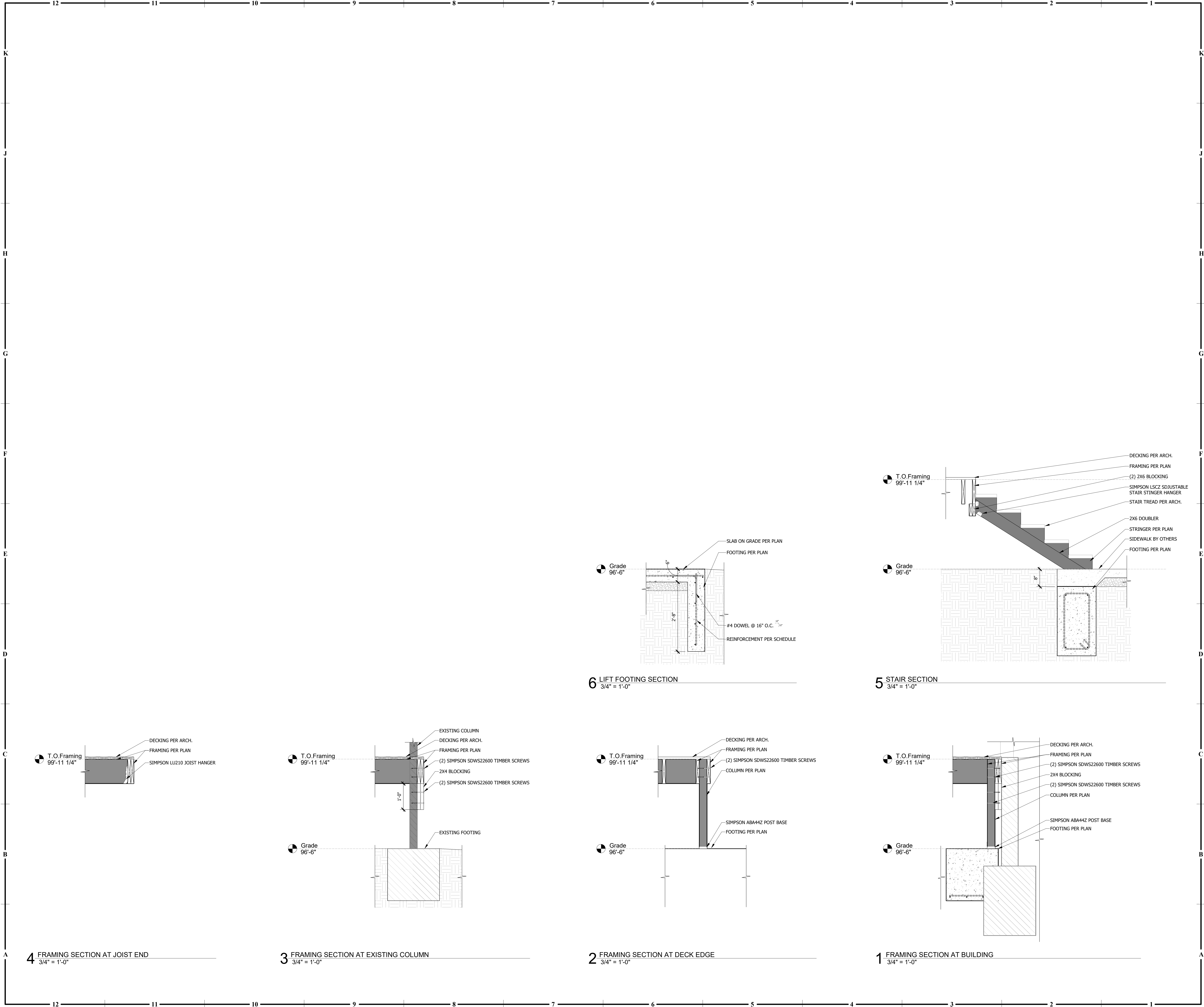
PERMIT DOCUMENTS



RELEASED FOR
CONSTRUCTION
As Noted on Plans Review
Development Services Department
Lee's Summit, Missouri
06/15/2025

3075 SW Market St., Lee's Summit, MO 64063 | 816.248.2270 | www.collinswebb.com

6/24/2025 10:20:24 AM



HERITAGE ASSET MANAGEMENT

100 NE DOUGLAS ST.
LEE'S SUMMIT, MO 64063

COPYRIGHT © BY
COLLINS WEBB
ARCHITECTURE, LLC

REVISION DATES:



PROFESSIONAL SEAL

S200

ISSUE DATE: 24 JUNE 2025
COLLINS WEBB #: 24114

SECTIONS

GENERAL NOTES:
DEMOLITION PLANS

1. RE: SHEET G001 FOR ADDITIONAL GENERAL NOTES THAT ARE APPLICABLE.
2. CONTRACTOR TO VISIT PROJECT SITE AND BUILDING PRIOR TO BID.
3. BUILDING AND SITE TO REMAIN SECURE DURING DEMOLITION AND CONSTRUCTION.
4. PROTECT ALL ITEMS TO REMAIN (WALLS, PLUMBING FIXTURES, PIPING, HVAC UNITS, COLUMNS, ETC).
5. CONTRACTOR TO PROTECT EXISTING FINISHES ADJACENT TO DEMOLITION WORK.
6. CONTRACTOR TO PATCH AND REPAIR ALL WORK, ESPECIALLY WORK ADJACENT TO EXISTING AREAS, AS REQUIRED.
7. CONTRACTOR TO REPAIR ANY AREAS DAMAGED DURING DEMOLITION.
8. CONTRACTOR TO REPAIR ANY PUNCTURES OR TEARS TO THE VAPOR BARRIER AT THE EXTERIOR WALLS.
9. CONTRACTOR TO COORDINATE DEMOLITION OPENINGS WITH NEW PLANS AND ELEVATIONS.
10. REMOVE EXISTING GYP BOARD OR PLASTER AS NECESSARY. TO PROVIDE NEW BLOCKING IN EXISTING WALLS FOR NEW CASEWORK AND EQUIPMENT.
11. **PROTECT EXISTING CONDITIONS AND MAINTAIN WEATHER TIGHTNESS FOR ALL OCCUPIED UNOCCUPIED SPACES, BOTH VERTICALLY AND HORIZONTALLY FOR THE ENTIRE DURATION THAT THE BUILDING IS EXPOSED TO THE ELEMENTS. PATCH/REPAIR/REPLACE AS REQUIRED.**

KEYED NOTES:
DEMO FLOOR PLAN

1. REUSE EXISTING DOOR. RECONFIGURE DOOR HARDWARE AND FRAME FOR NEW SWING DIRECTION. RE: DETAIL B8 FOR CLARIFICATION.
2. REMOVE EXISTING DOOR, HARDWARE, AND TRIM. PREPARE OPENING FOR NEW DOOR, HARDWARE, AND TRIM.
3. REMOVE EXISTING SINK AND CASEWORK. CLIENT/GC TO SELECT AND INSTALL NEW ADA COMPLIANT SINK UNIT.
4. RELOCATE EXISTING TOILET FIXTURE. SEE DETAIL B8 AND G12 FOR CLARIFICATION.
5. REMOVE EXISTING BATH TUB. PATCH, REPAIR, AND INFILL NICHE IN WALL. COORD. WITH MEP ON PLUMBING FIXTURE CONNECTION.
6. RELOCATE EXISTING TOILET PAPER DISPENSER.
7. REMOVE EXISTING DECK AND STAIR MATERIALS/STRUCTURE. PREPARE SITE FOR NEW DECK CONSTRUCTION.
8. REMOVE PORTION OF EXISTING DECK RAILINGS.
9. EXISTING COLUMN TO REMAIN.

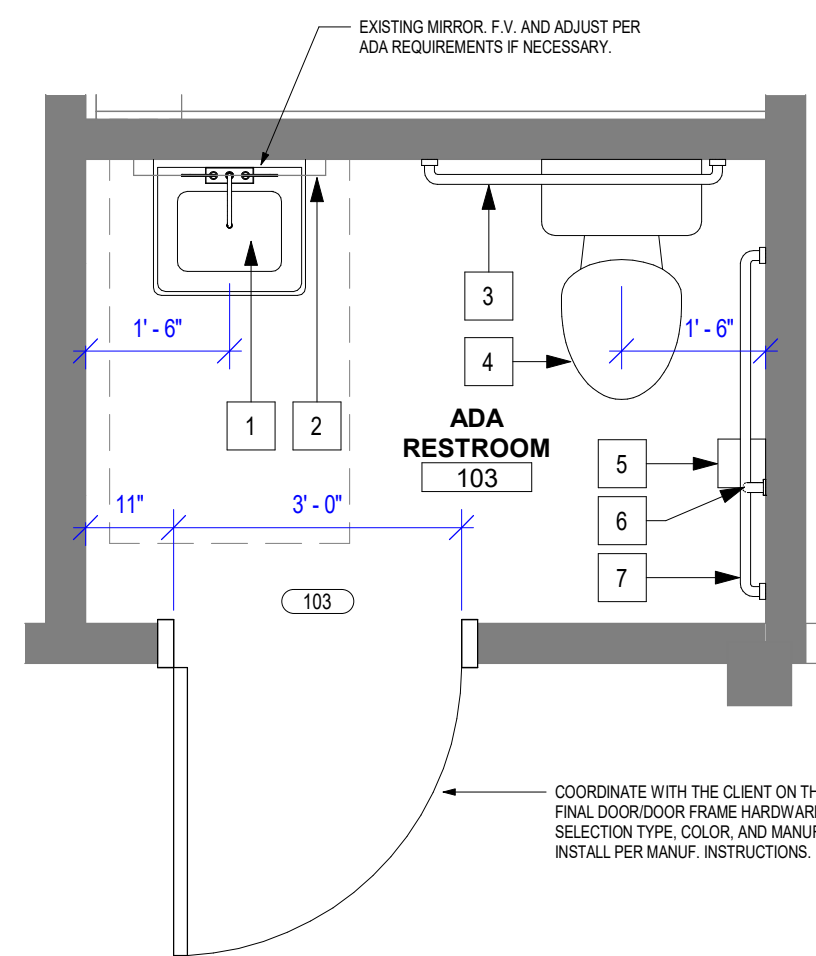
GENERAL NOTES:
FLOOR PLANS

1. SEE GENERAL ARCHITECTURAL SHEETS FOR ADDITIONAL NOTES AND DETAILS THAT ARE APPLICABLE.
2. ARCHITECTURAL ELEVATION 100'-0".
3. DIMENSIONS SHOWN ON THE FLOOR PLAN ARE TO THE FACE OF STUD (FOS), FACE OF MASONRY (FOM), FACE OF CONCRETE WALLS (FCW), COLUMN GRID LINES, AND FACE OF GYP BOARD/WALL (FGW) FOR EXISTING BUILDINGS ONLY, UNLESS NOTED OR SHOWN OTHERWISE.
4. ALL DIMENSIONS ON ENLARGED RESTROOM PLANS ARE TO FACE OF GYP, OR FACE OF FINISH, UNLESS OTHERWISE NOTED OR INDICATED. ADDITIONAL NOTED DIMENSIONS WILL HAVE ABBREVIATIONS INCLUDING: FACE OF STUD (F.O.S.), FACE OF MASONRY (F.O.M.), FACE OF CONCRETE WALLS (F.C.W.), AND COLUMN GRID LINES FOR ADDITIONAL CLARIFICATION.
5. RESTROOM ACCESSORIES ARE DIMENSIONED FROM FACE OF GYP, OR FACE OF FINISH, NOT FACE OF STUD.
6. NOTE: WALL THICKNESSES ARE ACTUAL DIMENSIONS AND PER WALL TYPES. SEE GENERAL SHEETS.
7. DOOR OPENINGS NOT LOCATED BY DIMENSION SHALL BE CENTERED IN WALL SHOWN OR LOCATED 4 INCHES FROM FINISH WALL TO HINGE SIDE OF THE DOOR, ALWAYS ALLOWING A MINIMUM OF 18" FROM THE FULL SIDE (STRIKE SIDE) OF THE DOOR TO THE INTERSECTING WALL, OR OTHER PROTRUDING OBJECTS.
8. COORDINATE WITH THE CLIENT ON THE FINAL DOOR/DOOR FRAME/HARDWARE SELECTION TYPE, COLOR, AND MANUF. INSTALL PER MANUF. RECOMMENDATIONS.
9. MAINTAIN AND PROTECT EXISTING EXPANSION JOINTS. DURING CONSTRUCTION, PATCH/REPAIR/REPLACE TO MATCH EXISTING RATINGS AS REQUIRED ON THE SHELL PORTION OF PROJECT.
10. ALL WOOD PRODUCTS TO BE FIRE-RETARDANT, INCLUDING BLOCKING AND PLYWOOD.
11. ALL EXISTING RESTROOMS TO BE PAINTED WITH AN EPOXY PAINT. COORDINATE WITH THE CLIENT ON FINAL PAINT COLOR, TYPE, AND SPECS.
12. CLIENT TO SELECT FINAL PLUMBING FIXTURES, APPLIANCES, AND SPECS.
13. ALL EGRESS DOORS TO HAVE AN INTERIOR SIGN, TYP.
14. EXIT PATHS TO HAVE EXIT SIGNS AS REQUIRED BY CODE. TYP.
15. RE: MEP DRAWINGS FOR NEW AND REUSED EQUIPMENT, POWER, AND PLUMBING LINES.
16. ADA LIFT BASIS OF DESIGN:
 - AMERIGLIDE - HANO VERTICAL PLATFORM LIFT.
 - CONFIRM FINAL SELECTION WITH THE CLIENT PRIOR TO INSTALLATION. INSTALL PER MANUF. RECOMMENDATIONS.

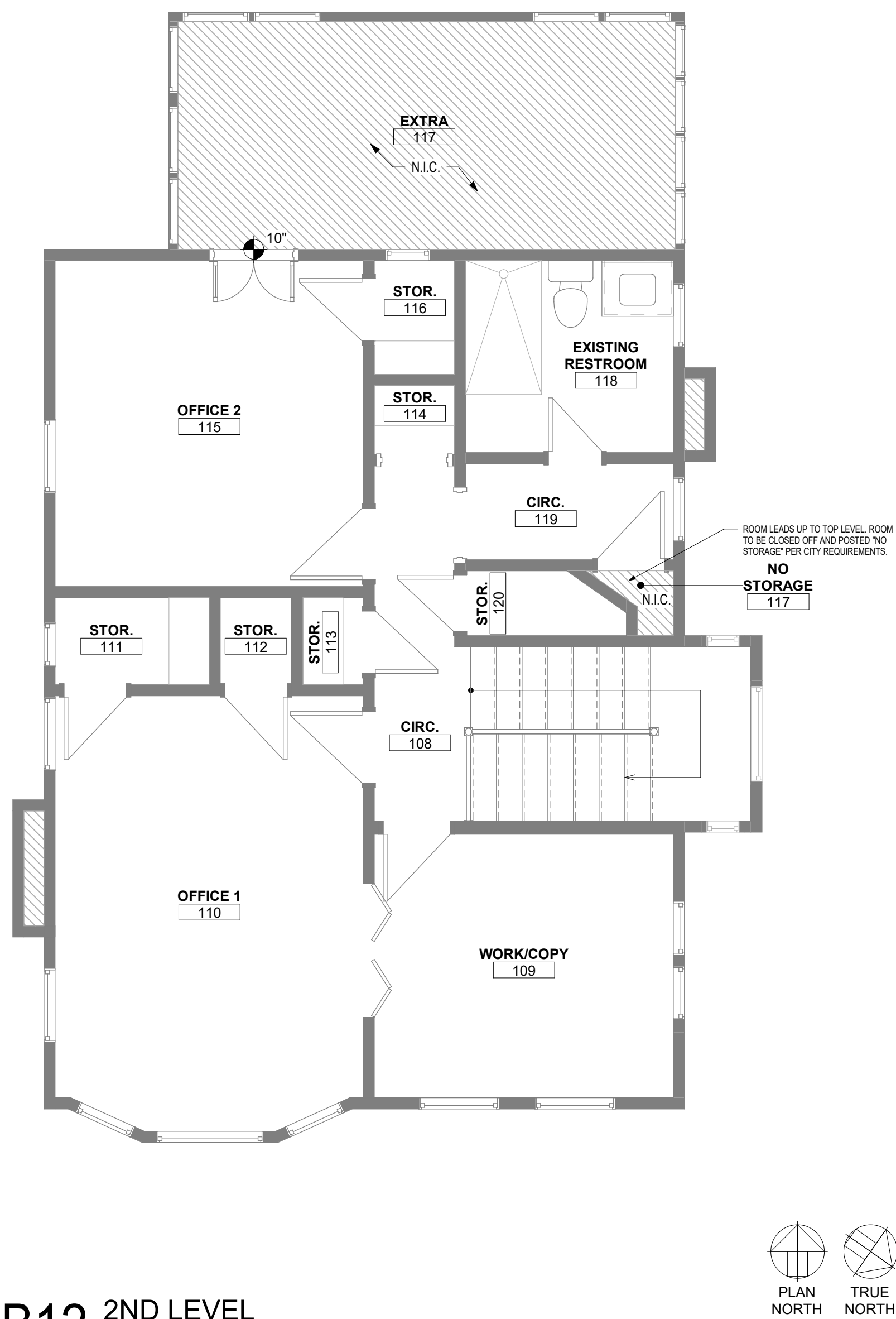
KEYED NOTES: FLOOR PLAN

1. OWNER TO SELECT AND INSTALL NEW SINK UNIT. INSTALL TO MEET ADA REQUIREMENTS.
2. RELOCATE EXISTING MIRROR OVER NEW SINK UNIT. INSTALL TO MEET ADA REQUIREMENTS.
3. INSTALL NEW 36" REAR WALL GRAB BAR. INSTALL PER ADA REQUIREMENTS.
4. RELOCATE EXISTING TOILET. COORD. WITH MEP ON PLUMBING FIXTURE CONNECTIONS.
5. RELOCATE EXISTING TOILET PAPER DISPENSER.
6. INSTALL NEW 18" VERTICAL GRAB BAR. INSTALL PER ADA REQUIREMENTS.
7. INSTALL NEW 42" SIDE WALL GRAB BAR. INSTALL PER ADA REQUIREMENTS.
8. REFRIGERATOR LOCATION. CLIENT TO PROVIDE.
9. NEW DECK: RE: STRUCTURAL DRAWINGS FOR DETAIL. COORD. WITH THE CLIENT ON FINAL DECK MANUF. MATERIAL TYPE.
10. NEW DECK RAILINGS. COORD. WITH THE CLIENT ON FINAL RAILING MANUF. MATERIAL TYPE. RAILINGS TO MEET ALL FALL PROTECTION REQUIREMENTS.
11. NEW STAIR AND HANDRAILS. COORD. WITH THE CLIENT ON FINAL HANDRAIL MANUF. MATERIAL TYPE. HANDRAILS TO MEET ADA REQUIREMENTS. RE: STRUCTURAL DRAWINGS FOR STAIR DETAIL.
12. NEW DECK POSTS, TYP.: RE: STRUCTURAL DRAWINGS FOR DETAIL.

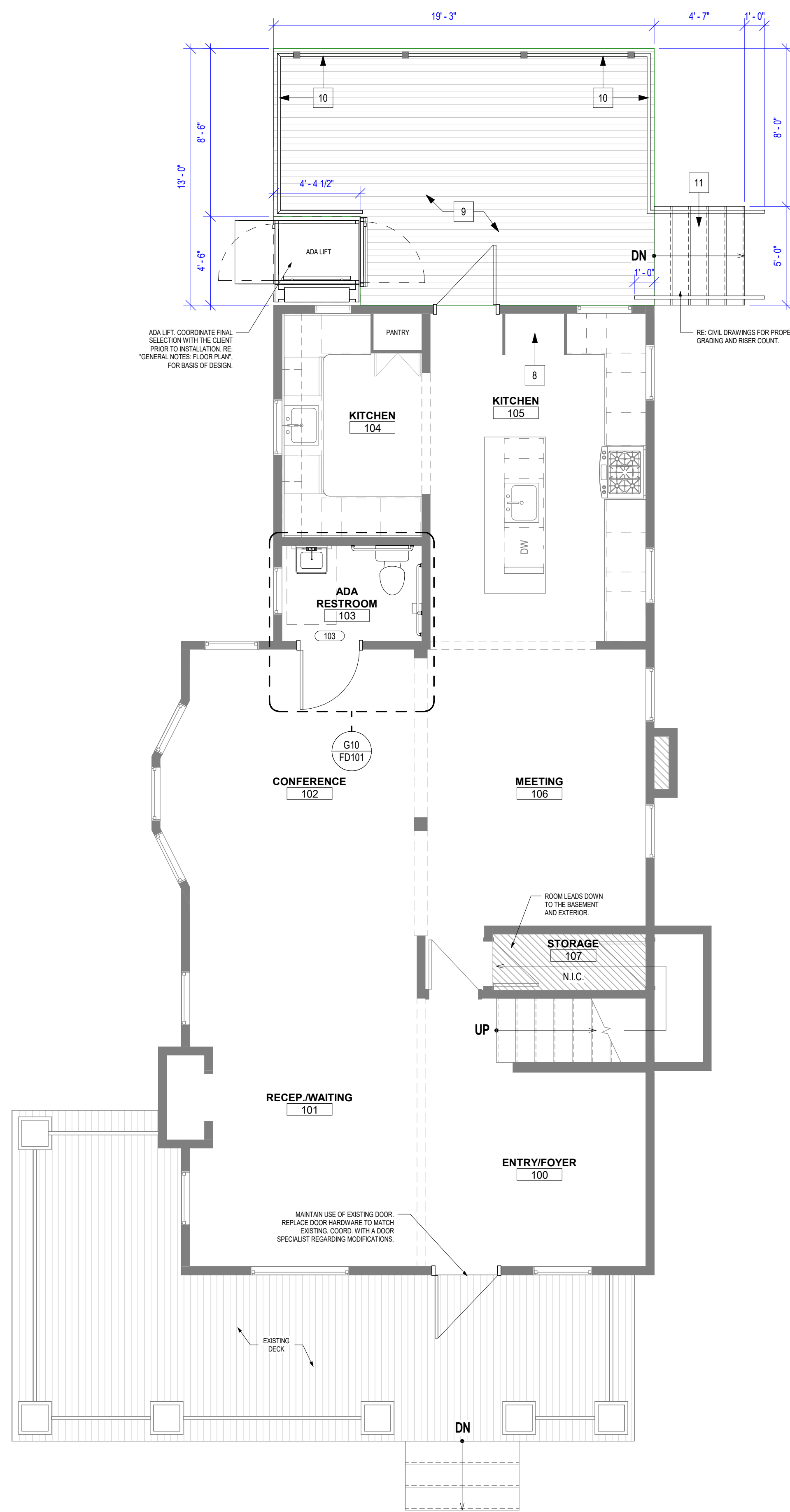
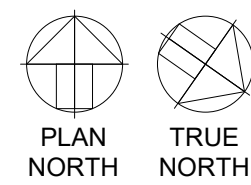
DEMO PLAN, FLOOR PLAN, AND
ENLARGED PLAN



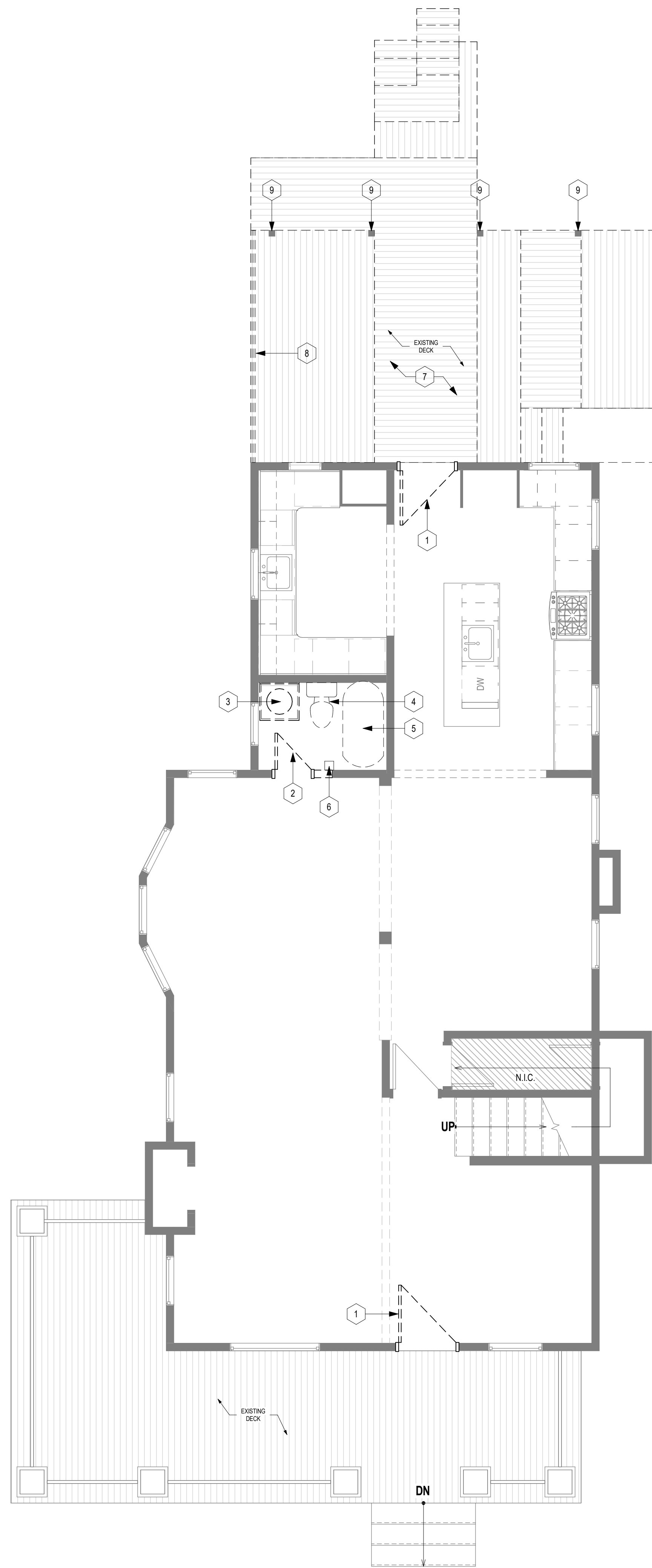
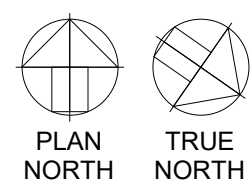
G12 ENLARGED PLAN - ADA RESTROOM
1/2" = 1'-0"



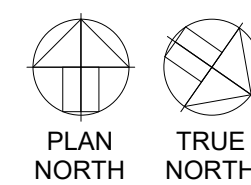
B12 2ND LEVEL
1/4" = 1'-0"



B8 1ST LEVEL
1/4" = 1'-0"



B4 DEMO - 1ST LEVEL
1/4" = 1'-0"





307B SW Market St., Lee's Summit, MO 64063 | 816.249.2270 | www.collinswebb.com

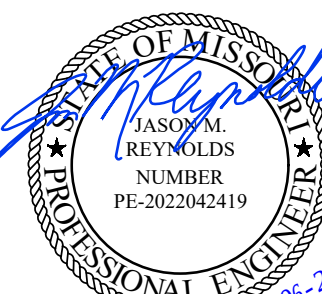
PERMIT DOCUMENTS

HERITAGE ASSET MANAGEMENT

100 NE DOUGLAS ST.
LEE'S SUMMIT, MO 64063

COPYRIGHT © BY
COLLINS WEBB
ARCHITECTURE, LLC

REVISION DATES:



Jason M. Reynolds - Engineer
MOW PE-2022042419
PROFESSIONAL SEAL

MEP100

ISSUE DATE: 24 JUNE 2025
COLLINS WEBB #: 24114

MEP COVERSHEET



SHEET INDEX

MEP100	MEP COVER SHEET
MEP200	MEP SPECIFICATIONS
MEP300	MECHANICAL & ELECTRICAL FLOOR PLANS
MEP301	ELECTRICAL SITE PLAN

LINEWORK LEGEND:

---	DEMOLISH / REMOVE
---	EXISTING TO REMAIN
---	EXISTING TO REMAIN (ROOF / ABOVE)
---	NEW WORK

MECHANICAL SYMBOLS

	DUCTWORK
	SUPPLY DUCT
	RETURN DUCT
	EXHAUST DUCT
	SUPPLY DIFFUSER
	RETURN GRILLE
	EXHAUST GRILLE
	RISE OR DROP IN DUCT
	THERMOSTAT
	MANUAL VOLUME DAMPER
	SUPPLY DUCT DOWN
	SUPPLY DUCT UP
	RETURN DUCT DOWN
	RETURN DUCT UP
	EXHAUST DUCT DOWN
	EXHAUST DUCT UP
	WALL MOUNTED DIFFUSER/GRILLE
	FLEXIBLE DUCT CONNECTION
	EQUIPMENT TYPE AND DESIGNATION
	MARK NO. SUPPLY (S), RETURN (R), EXHAUST (E)
	CFM
	CONNECT TO EXISTING
	MECHANICAL PLAN NOTE

PLUMBING SYMBOLS

	PIPING
	FLOW ARROW
	COLD WATER
	HOT WATER
	SANITARY VENT ABOVE GROUND/FLOOR
	SANITARY VENT BELOW GROUND/FLOOR
	SANITARY WASTE BELOW GROUND/FLOOR
	SHUT OFF VALVE
	UNION
	FLANGE CONNECTION
	FLOOR DRAIN OR EQMT FLOOR DRAIN
	PIPE DROP/PIPE RISE
	BOTTOM OUTLET TEE
	TOP OUTLET TEE
	WALL CLEAN OUT
	FINISHED FLOOR CLEANOUT
	EQUIPMENT TYPE AND DESIGNATION
	PLUMBING FIXTURE DESIGNATION
	CONNECT TO EXISTING
	PLUMBING PLAN NOTE

ELECTRICAL SYMBOLS

	DENOTES SHARED (PARTIAL) CIRCUIT
	DENOTES THREE SEPARATE CIRCUITS
	PHASE CONDUCTORS
	NEUTRAL CONDUCTOR
	GROUND CONDUCTOR
	PANEL - BREAKER NUMBER (IDENTIFICATION)
	INDICATES X/N = 2-POLE C.B., X/X/N = 3-POLE C.B.
	CONDUIT CONCEALED IN CEILING OR WALL WITH THREE CONDUCTORS: 1-PHASE; 1-NEUTRAL; 1-GROUND WIRE, MINIMUM NO.12 WIRE UNLESS OTHERWISE SPECIFIED ON DRAWINGS.
	CONDUIT RUN UNDERGROUND OR CONCEALED IN FLOOR SLAB.
	EXIT LIGHT, WALL OR CEILING AS INDICATED.
	BATTERY-OPERATED EMERGENCY LIGHT (WALL / CEILING)
	COMBINATION EXIT / EMERGENCY LIGHT (WALL / CEILING)
	GRID-MOUNTED TROFFER LIGHT FIXTURE (DIAGONAL SHADING DENOTES EMERGENCY BATTERY)
	STRIP LIGHT FIXTURE (DIAGONAL SHADING DENOTES EMERGENCY BATTERY)
	SQUARE / ROUND DOWNLIGHT (DIAGONAL SHADING DENOTES EMERGENCY BATTERY)
	WALL-MOUNTED LIGHT FIXTURE (DIAGONAL SHADING DENOTES EMERGENCY BATTERY)
	PANELBOARD (SURFACE OR FLUSH) TOP MOUNTED 6'-0" AFF
	SWITCHBOARD, NUMBER OF SECTIONS AS INDICATED.
	DISTRIBUTION PANEL (SURFACE OR FLOOR MOUNTED).
	CONDUIT UP / CONDUIT DOWN
	CONDUIT STUBBED THRU WALL WITH BUSHINGS ON BOTH ENDS
	GROUND
	POWER CONNECTION POINT
	DISCONNECT SWITCH, SIZE AND TYPE AS NOTED TOP MOUNTED 5'-0" AFF
	WALL MOUNTED OR CEILING MOUNTED JUNCTION BOX
	SINGLE POLE SWITCH
	3-WAY / 4-WAY / MOTION / TIMER SWITCH TYPE AS SCHEDULED
	LOW VOLTAGE SWITCH, ON/OFF, DIMMING, SCENE SELECTOR, TYPE AS SCHEDULED
	SWITCH ZONE DESIGNATION
	DIGITAL LIGHTING ROOM CONTROLLERS, TYPE AS INDICATED
	WALL / CEILING MOUNTED MOTION DETECTOR, TYPE AS INDICATED
	WALL / CEILING MOUNTED DAYLIGHT SENSOR, TYPE AS INDICATED
	SIMPLEX RECEPTACLE
	DUPLEX RECEPTACLE (STRIKETHROUGH DENOTES ABOVE COUNTER)
	SPECIAL DUPLEX RECEPTACLE, TYPE AS INDICATED
	DOUBLE DUPLEX RECEPTACLE (STRIKETHROUGH DENOTES ABOVE COUNTER)
	SPECIAL NEMA RECEPTACLE, TYPE AS INDICATED ON PLANS.
	RECESSED STYLE POKE THRU DEVICE, POWER AND DATA OR AS SPECIFIED
	RECESSED STYLE ON-GRADE FLOOR BOX, POWER AND DATA OR AS SPECIFIED
	LOW VOLTAGE OUTLET, DOUBLE GANG BOX WITH SINGLE GANG PLASTER RING, INSTALL 1" CONDUIT STUBBED UP OUT OF TOP OF BOX TO ABOVE AN ACCESSIBLE CEILING.
	MULTI-SERVICE POWER / LOW VOLTAGE AUDIO VISUAL BOX WITH RECEPTACLE POWER AND MINIMUM 2 LOW VOLTAGE GANGS, MANUFACTURER MAKE/MODEL AS SPECIFIED

ELECTRICAL NOTATIONS

	ELECTRICAL PLAN NOTE
	MECHANICAL/PLUMBING EQUIPMENT TAG
	HEIGHT TO CENTERLINE OF OUTLET BOX ABOVE FINISHED FLOOR
	ABOVE FINISH FLOOR
	FIRE ALARM
	GROUND FAULT INTERRUPTER
	UNDERGROUND ELECTRICAL
	OVERHEAD ELECTRICAL
	RELOCATED FIXTURE / DEVICE
	NIGHT LIGHT (24/7 OPERATION)
	USB TYPE DEVICE WITH BOTH A & C TYPE CHARGING PORTS

ELECTRICAL GENERAL NOTES:

- THESE GENERAL NOTES APPLY TO ALL ELECTRICAL AND SPECIAL SYSTEMS DRAWINGS. REFER TO DIVISION 26 SPECIFICATIONS FOR ADDITIONAL ELECTRICAL AND SPECIAL SYSTEMS SPECIFICATIONS AND REQUIREMENTS.
- PROVIDE PULL BOXES AS REQUIRED TO PROPERLY INSTALL THE RACEWAYS AND CIRCUITS INDICATED.
- REFER TO ARCHITECTURAL DRAWINGS FOR TYPICAL ROOM INTERIOR ELEVATIONS. COORDINATE EXACT DIMENSIONED DEVICE LOCATIONS AND MOUNTING HEIGHTS OF ALL LIGHT FIXTURES, LIGHTING DEVICES, SWITCHES, RECEPTACLES, ETC. WITH ARCHITECT PRIOR TO ROUGH-IN.
- COMPLETE INSTALLATION SHALL BE IN ACCORDANCE WITH THE LATEST ADOPTED VERSION OF THE NATIONAL ELECTRICAL CODE, STATE AND LOCAL CODES, AND REQUIREMENTS OF THE AHJ.
- ALL EMPTY CONDUITS SHALL BE PROVIDED WITH ROT-PROOF PULL-TAPE, LABELED AT EACH END. ALL CONDUITS SHALL BE PROVIDED WITH PLASTIC BUSHINGS WHERE TERMINATED OPEN-ENDED.
- COORDINATE ALL WIRING DEVICE LOCATIONS SHOWN AT MILLWORK LOCATIONS WITH THE MILLWORK CONTRACTOR AND GENERAL CONTRACTOR PRIOR TO ANY ROUGH-IN OR INSTALLATION. ALL WIRING DEVICES SHALL BE INSTALLED IN ACCESSIBLE LOCATIONS AND SHALL NOT BE CONCEALED.
- CONTRACTOR SHALL CONCEAL ALL CONDUIT, FITTINGS, AND DEVICES FROM VIEW WHERE POSSIBLE.
- SEAL ALL PENETRATIONS THROUGH FIRE-RATED ASSEMBLIES AS NECESSARY TO RESTORE FIRE-RESISTANCE RATING OF ASSEMBLY. REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS OR RATED ASSEMBLIES, FIRE STOPPING MATERIALS, AND REQUIREMENTS. WHERE ANY DEVICE JUNCTION BOXES ARE RECESSED WITHIN OPPOSITE SIDES OF A FIRE RATED WALL AND ARE WITHIN 24" OF EACH OTHER MEASURED HORIZONTALLY, PROVIDE AN INTUMESCENT MOLDABLE FIRE STOP PUTTY PAD AROUND EACH JUNCTION BOX.
- EACH CONTRACTOR AND SUB-CONTRACTOR OR TRADE IS REQUIRED TO REVIEW THE CONSTRUCTION DOCUMENTS AS A WHOLE, INCLUDING ALL OTHER TRADES' DRAWINGS AND PROVIDE ANY MISC. MATERIALS, WORK, ETC. REQUIRED TO COMPLETE THE WORK AS SHOWN ON ALL DOCUMENTS. THIS REQUIREMENT APPLIES TO ALL TRADES: STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, CIVIL, EQUIPMENT VENDORS, ETC. REQUIREMENTS AND RELATED WORK ARE INDICATED THROUGHOUT THE DOCUMENTS AND SHOULD BE REVIEWED WITH THE SPECIFIC MEP, STRUCTURAL, ARCHITECTURAL, EQUIPMENT DRAWINGS FOR OVERALL SCOPE OF WORK.
- REFER TO THE MECHANICAL DRAWINGS FOR EXACT LOCATIONS AND QUANTITY OF ALL MECHANICAL EQUIPMENT AND FIRE/SMOKE AND/OR SMOKE DAMPERS. LOCATIONS AND QUANTITY SHOWN ON THE ELECTRICAL DRAWINGS ARE APPROXIMATE AND MAY NOT REFLECT FINAL POSITION OR QUANTITY.
- ELECTRICAL CONTRACTOR SHALL PROVIDE FINAL CONNECTION TO ALL MECHANICAL & PLUMBING EQUIPMENT, WHERE EQUIPMENT IS SHOWN ON THE MECHANICAL PLANS, BUT NOT SHOWN ON THE ELECTRICAL PLANS. ELECTRICAL CONTRACTOR SHALL PROVIDE POWER TO THE EQUIPMENT BASED ON EQUIPMENT REQUIREMENTS AND INCLUDE ALL COSTS IN THE BASE BID.
- LOCATION SHOWN OF ELECTRICAL CONNECTION TO MECHANICAL & PLUMBING EQUIPMENT IS SCHEMATIC, AND MAY NOT REFLECT ACTUAL CONNECTION POINTS. ROUGH-IN AND CONNECTION TO EQUIPMENT SHALL BE PER THE EQUIPMENT MANUFACTURER'S REQUIREMENTS AND THE NATIONAL ELECTRICAL CODE. PROVIDE STRUCTURAL SUPPORTS AS REQUIRED FOR MOUNTING OF DISCONNECTING MEANS. VERIFY ALL ROUGH-IN REQUIREMENTS WITH THE MECHANICAL CONTRACTOR AND EQUIPMENT MANUFACTURER PRIOR TO ANY ROUGH-IN.
- PROVIDE FINAL CONNECTION TO ALL EQUIPMENT, INCLUDING ANY CORD AND PLUG SETS FOR EQUIPMENT NOT PROVIDED WITH IT (WHETHER SPECIFICALLY NOTED OR NOT). COORDINATE ALL WORK WITH THE EQUIPMENT SUPPLIER AND OWNER, AND VERIFY ALL ROUGH-IN LOCATIONS AND REQUIREMENTS PRIOR TO ANY ROUGH-IN.
- ALL HVAC CONTROL WIRING IS PROVIDED BY MECHANICAL CONTRACTOR, INSTALLED BY ELECTRICAL CONTRACTOR UNLESS OTHERWISE NOTED.
- WHERE DEVICES ARE LOCATED ADJACENT TO EACH OTHER ON PLANS, DEVICES SHALL BE INSTALLED AS CLOSE TOGETHER AS POSSIBLE.
- REFER TO MOUNTING HEIGHTS DETAIL FOR MOUNTING HEIGHTS OF ALL DEVICES NOT INDICATED OTHERWISE.
- COORDINATE THE MOUNTING OF SUSPENDED LIGHT FIXTURES UTILIZING INDIRECT LIGHT SO THAT CONDUIT, DUCTWORK, STRUCTURAL MEMBERS, ETC. ARE NOT LOCATED DIRECTLY ABOVE THE LIGHT FIXTURE. MAINTAIN A MINIMUM OF 24" CLEARANCE FROM THESE ITEMS WHENEVER POSSIBLE.
- ANY ELECTRICAL AND LOW VOLTAGE DEVICES THAT ARE SHOWN AS EXISTING TO REMAIN SHALL BE REPLACED WITH NEW DEVICES AND NEW FACEPLATES OF THE SAME TYPE AND COLOR AS THE NEW DEVICES TO BE INSTALLED AND RECONNECTED TO THE SAME CIRCUIT UNLESS OTHERWISE NOTED. DEVICE AND FACEPLATE TYPE AND COLOR SHALL BE COORDINATED WITH THE ARCHITECT PRIOR TO FINISHING.
- DEVICES SHOWN TO BE DEMOLISHED SHALL HAVE THE WALL PATCHED AND REPAIRED. BLANK FACEPLATES ARE NOT ALLOWED FOR DEVICES TO BE REMOVED.

COORDINATION NOTES:

- COORDINATE WITH LOCAL UTILITY PROVIDERS FOR THEIR REQUIREMENTS FOR SERVICE CONNECTIONS AND PROVIDE ALL NECESSARY PAYMENTS, MATERIALS, LABOR AND TESTING TO ACCOMPLISH THE WORK.
- COORDINATE REQUIREMENTS FOR INSTALLATION OF SYSTEMS AND EQUIPMENT WITH ALL OTHER TRADES.
- THE CONTRACTOR SHALL COORDINATE THE ROUTING AND PATH OF ALL SYSTEMS, CONDUITS, PIPES, DUCTS, ETC. WITH THE POSITION AND LAYOUT OF THE STRUCTURE. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISERS AND DROPS FOR SYSTEMS AND COMPONENTS AS NEEDED TO INSTALL THE MEP SYSTEMS TO CLEAR STRUCTURE, CEILINGS, ETC. AND OTHER SYSTEMS IN POTENTIAL CONFLICT WITH ROUTING.
- WHEREVER THE WORK IS OF SUFFICIENT COMPLEXITY, PREPARE ADDITIONAL COORDINATION DRAWINGS AND ORGANIZE ON-SITE MEETINGS WITH ALL RELATED SUBCONTRACTORS TO COORDINATE THE WORK BETWEEN TRADES. DRAWINGS SHALL CLEARLY SHOW THE WORK AND ITS RELATION TO THE WORK OF OTHER TRADES, AND BE SUBMITTED FOR REVIEW PRIOR TO COMMENCING SHOP FABRICATION OR ERECTION IN THE FIELD.
- COORDINATE WORK WITH OTHER TRADES TO INSTALL SYSTEMS ABOVE CEILING HEIGHTS INDICATED ON ARCHITECTURAL PLANS.
- CHECK SPACE REQUIREMENTS WITH OTHER TRADES AND STRUCTURE/CONSTRUCTION TO ENSURE THAT ALL MATERIALS AND EQUIPMENT CAN BE INSTALLED IN THE SPACE ALLOTTED INCLUDING FINISHED SUSPENDED CEILINGS AND OTHER SPACES, CHASES, ETC. WITHIN THE BUILDING. MAKE MODIFICATIONS THERETO AS REQUIRED AND APPROVED.
- ADJUST LOCATION OF PIPING, DUCTWORK, ETC. TO PREVENT INTERFERENCES, BOTH ANTICIPATED AND ENCOUNTERED. DETERMINE THE EXACT ROUTE AND LOCATION OF EACH ITEM PRIOR TO FABRICATION. MAKE OFFSETS, TRANSITIONS AND CHANGES IN DIRECTION IN SYSTEMS AS REQUIRED TO MAINTAIN ADEQUATE CLEARANCES AND HEADROOM.
- DRAWINGS SHOW THE GENERAL RUNS OF CONDUITS, PIPING AND DUCTWORK AND APPROXIMATE LOCATION OF OUTLETS. ANY SIGNIFICANT CHANGES IN LOCATION OF ITEMS NECESSARY IN ORDER TO MEET FIELD CONDITIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT/ENGINEER AND RECEIVE HIS APPROVAL BEFORE SUCH ALTERATIONS ARE MADE. ALL SUCH MODIFICATIONS SHALL BE MADE WITHOUT ADDITIONAL COST TO THE OWNER.
- COORDINATE, PROJECT AND SCHEDULE WORK WITH OTHER TRADES IN ACCORDANCE WITH THE CONSTRUCTION SEQUENCE.
- WHEREVER WORK INTERCONNECTS WITH WORK OF OTHER TRADES, COORDINATE WITH THOSE TRADES TO ENSURE THAT ALL SUBCONTRACTORS HAVE THE INFORMATION NECESSARY SO THAT THEY MAY PROPERLY INSTALL ALL CONNECTIONS AND EQUIPMENT. IDENTIFY ALL ITEMS OF WORK THAT REQUIRE ACCESS SO THAT THE CEILING TRADE WILL KNOW WHERE TO INSTALL ACCESS DOORS AND PANELS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION AND REPAIR OF SURFACES, AREAS AND PROPERTY THAT MAY BE DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES.
- TRANSMIT TO OTHER TRADES ALL INFORMATION REQUIRED FOR WORK TO BE PROVIDED UNDER THEIR RESPECTIVE SECTIONS IN AMPLE TIME FOR INSTALLATION.
- CONTRACTOR TO PROVIDE FIRESTOPPING AT ALL FIRE RATED ASSEMBLIES MEETING THE MANUFACTURER'S FIRESTOPPING U.L. LISTED DETAILS AND INSTRUCTIONS PER LOCAL CODES AND JURISDICTIONS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING LOCATIONS WITH ARCHITECTURAL FIRE RATINGS ON PLANS OR AS REQUIRED.

PLUMBING GENERAL NOTES:

- THESE GENERAL NOTES APPLY TO ALL PLUMBING DRAWINGS. REFER TO DIVISION 22 SPECIFICATIONS FOR ADDITIONAL PLUMBING SYSTEMS SPECIFICATIONS AND REQUIREMENTS.
- THESE DRAWINGS ARE DIAGRAMMATIC AND INDICATE GENERAL ARRANGEMENT OF ALL MATERIALS, PIPING AND EQUIPMENT. DO NOT SCALE DRAWINGS. THE EXACT LOCATION AND/OR ROUTING OF EQUIPMENT, PLUMBING, SANITARY PIPING, ETC., SHALL BE FOLLOWED AS CLOSELY AS BUILDING CONSTRUCTION AND ALL OTHER WORK WILL PERMIT.
- MATERIALS AND EQUIPMENT SHALL BE NEW AND INSTALLED AS INDICATED ON THE DRAWINGS AND/OR SPECIFICATIONS. THEY SHALL BE INSTALLED PLUMB, LEVEL AND TRUE TO LINE WITH ADJACENT WORK. WHERE INSTALLATION METHODS ARE NOT SPECIFICALLY COVERED BY THE DRAWINGS AND/OR SPECIFICATIONS, FIRST CLASS TRADE PRACTICES AND MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS SHALL GOVERN.
- ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION, BUILDING DEPARTMENTS, APPLICABLE TO THE LATEST EDITION OF THE APPLICABLE BUILDING CODE, PROVINCIAL FIRE CODE, APPLICABLE OSHA AND NFPA STANDARDS, COUNTY AND CITY BUILDING REGULATIONS AND CODES.
- CAREFULLY EXAMINE ALL ARCHITECTURAL, STRUCTURAL, PLUMBING, HVAC, FIRE PROTECTION, AND ELECTRICAL DRAWINGS PERTAINING TO CONSTRUCTION. COOPERATE WITH OTHER TRADES IN LOCATING DUCTWORK, PIPING, EQUIPMENT, ETC., IN ORDER TO AVOID CONFLICT WITH OTHER TRADES' WORK. NO CLAIM FOR COSTS WILL BE ALLOWED FOR RELOCATING EQUIPMENT, PIPING, DUCTWORK, ETC., WHICH INTERFERES WITH OTHER TRADES' WORK.
- VERIFY ALL ROUGH-IN LOCATION AND COORDINATE PIPING AND EQUIPMENT LOCATIONS WITH WORK UNDER OTHER DIVISIONS OF THE SPECIFICATIONS TO AVOID CONFLICTS. CONTRACTOR MUST COORDINATE WITH OTHER TRADES FOR ALL STRUCTURES, PIPING, CONDUIT, DUCTWORK, LIGHTING, ETC. TO PROPERLY BE INSTALLED. ANY CONFLICTS SHALL BE RESOLVED AT NO EXPENSE TO THE OWNER.
- LABEL ALL PLUMBING PIPING WITH ADHESIVE PIPE LABELS INDICATING SERVICE AND DIRECTION OF FLOW. PIPE LABELS SHALL BE LOCATED NEAR ALL BRANCH CONNECTIONS, NEAR ALL FLOOR AND WALL PENETRATIONS, AND AT MAXIMUM INTERVALS OF 10 FEET ALONG EACH RUN.
- PLUMBING SYSTEMS INCLUDE, BUT ARE NOT LIMITED TO: a. PLUMBING FIXTURES AND EQUIPMENT b. FIRE STOPPING c. DOMESTIC WATER SYSTEM d. SANITARY WASTE AND VENT SYSTEM e. PROVIDE COMPLETE FIXTURES AND INCLUDE SUPPLIES, STOPS, VALVES, FAUCETS, DRAINS, TRAPS, TAILPIECES, ESCUTCHEONS, ETC. EXPOSED COPPER OR BRASS MATERIALS SHALL BE CHROME PLATED.
- SEAL ALL EDGES OF PLUMBING FIXTURES IN CONTACT WITH FLOORS, WALLS OR COUNTERTOPS USING SANITARY-TYPE, ONE-PART, MILDEW RESISTANT SILICONE SEALANT. MATCH SEALANT COLOR TO FIXTURE COLOR.
- FIRE STOP ALL PENETRATIONS, BY PIPING OR CONDUITS, OF FIRE RATED WALLS, FLOORS, AND PARTITIONS. PROVIDE DEVICES (OR SYSTEMS) WHICH HAS BEEN TESTED AND LISTED AS COMPLYING WITH ASTM E-814 AND INSTALL IN ACCORDANCE WITH THE CONDITIONS OF THEIR LISTING. PROVIDE DEVICES (OR SYSTEMS) WITH AN "F" RATING EQUAL TO THE RATING OF THE ASSEMBLY BEING PENETRATED.
- FURNISH AND INSTALL A COMPLETE SYSTEM OF DOMESTIC HOT AND COLD WATER FROM EXISTING SUPPLIES TO ALL FIXTURES AND/OR EQUIPMENT REQUIRING DOMESTIC WATER SUPPLIES. VERIFY LOCATION OF BEGINNING POINTS.
- ALL PIPE INSULATION SHALL RUN CONTINUOUSLY THROUGH WALLS AND PARTITIONS.
- SHUT-OFF VALVES SHALL BE NIBCO TWO-PIECE, BRONZE, FULL PORT, BALL-TYPE. PROVIDE SHUT-OFF VALVES WHERE INDICATED ON THE SCHEDULES. INSTALL VALVES IN A LOCATION THAT PERMITS ACCESS FOR SERVICE AND OPERATION WITHOUT DAMAGE TO THE BUILDING OR FINISHED MATERIALS. PROVIDE ACCESS DOORS IF REQUIRED.
- PROTECT COPPER PLATING AGAINST CONTACT WITH DISSIMILAR METALS. ALL HANGARS, ANCHORS, AND CLIPS SHALL BE COPPER OR COPPER-PLATED.
- FURNISH AND INSTALL COMPLETE SYSTEMS OF SANITARY WASTE AND VENT PIPING FROM ALL PLUMBING FIXTURES AND/OR EQUIPMENT REQUIRING WASTE AND VENT CONNECTIONS. ALL WASTE AND VENT PIPING SHALL BE CONCEALED IN THE BUILDING CONSTRUCTION WHERE POSSIBLE.
- INVERTS ELEVATIONS SHALL BE ESTABLISHED AND VERIFIED BEFORE SANITARY PIPING IS INSTALLED IN ORDER THAT PROPER SLOPES WILL BE MAINTAINED.
- INSTALL CLEANOUTS IN A LOCATION THAT PERMITS ACCESS FOR SERVICE WITHOUT DAMAGE TO THE BUILDING OR FINISHED MATERIALS. CLEANOUT PLUGS SHALL BE IN ACCORDANCE WITH PLUMBING CODE REQUIREMENTS.
- PROVIDE WATER HAMMER ARRESTORS CONFORMING TO PDH-WH201 OR ASSE 1010, INSTALLED PER MANUFACTURER'S SPECIFICATIONS, WHERE QUICK CLOSING VALVES ARE UTILIZED. A QUICK CLOSING VALVE IS A VALVE OR FAUCET THAT CLOSSES AUTOMATICALLY WHEN RELEASED, OR THAT IS CONTROLLED BY MECHANICAL MEANS FOR FAST-ACTION CLOSING. REFER TO WATER HAMMER ARRESTOR SCHEDULE.
- PROVIDE FIRE RATED FINISHES OR FIRE-WRAP FOR ANY COMBUSTIBLE OR NON-PLENUM RATED MATERIALS IN RETURN AIR PLenums FOR NEW WORK OR EXISTING WORK TO REMAIN.

VOLTAGE DROP

ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR UPSIZING ALL BRANCH CIRCUIT AND FEEDER CONDUCTORS AS REQUIRED TO COMPLY WITH VOLTAGE DROP REQUIREMENTS AS OUTLINED IN THE NEC.

UPSIZE WIRE ON 120V CIRCUIT HOMERUNS AS LISTED BELOW UNLESS OTHERWISE SHOWN ON PLANS:

- LESS THAN 100 FEET IN CONDUCTOR LENGTH:
#12 PHASE/NEUTRAL CONDUCTORS & #12 GROUND
- 100 TO 150 FEET IN CONDUCTOR LENGTH:
#10 PHASE/NEUTRAL CONDUCTORS & #10 GROUND
- GREATER THAN 150 FEET IN CONDUCTOR LENGTH:
#8 PHASE/NEUTRAL CONDUCTORS & #8 GROUND



PERMIT DOCUMENTS

HERITAGE ASSET MANAGEMENT

100 NE DOUGLAS ST.
LEE'S SUMMIT, MO 64063

COPYRIGHT © BY
COLLINS WEBB
ARCHITECTURE, LLC

REVISION DATES:



MEP300
ISSUE DATE: 24 JUNE 2025
COLLINS WEBB #: 24114

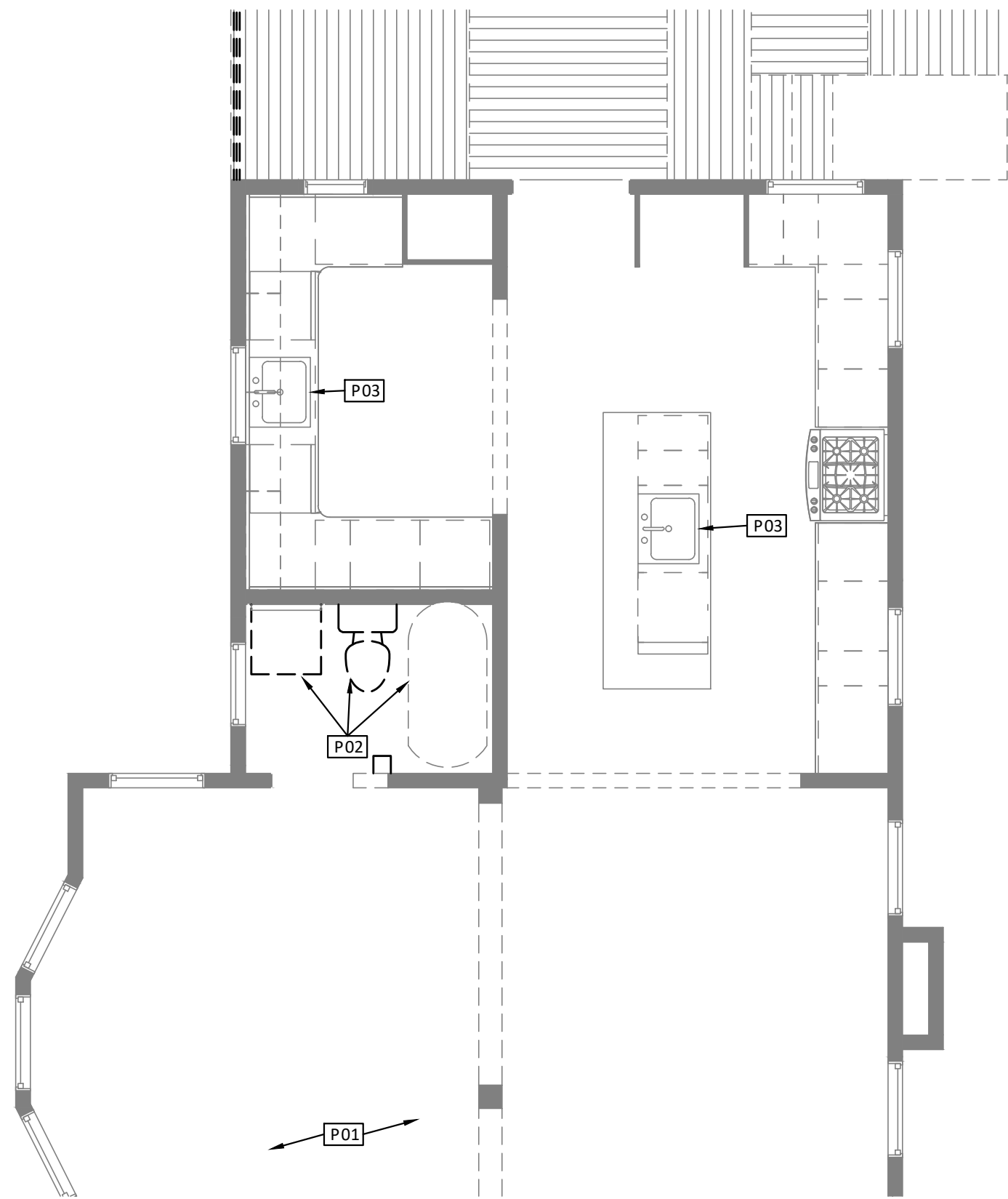
MECHANICAL & ELECTRICAL
FLOOR PLANS

PLAN NOTES

- NO WORK IN THIS AREA.
- REMOVE PLUMBING FIXTURE AND PREPARE PIPING FOR CONNECTION TO NEW WORK.
- EXISTING PLUMBING FIXTURE TO REMAIN.
- PROVIDE NEW PLUMBING FIXTURE AND CONNECT TO EXISTING COLD & HOT WATER, WASTE, AND VENT PIPING. MODIFY EXISTING PIPING AS REQUIRED.

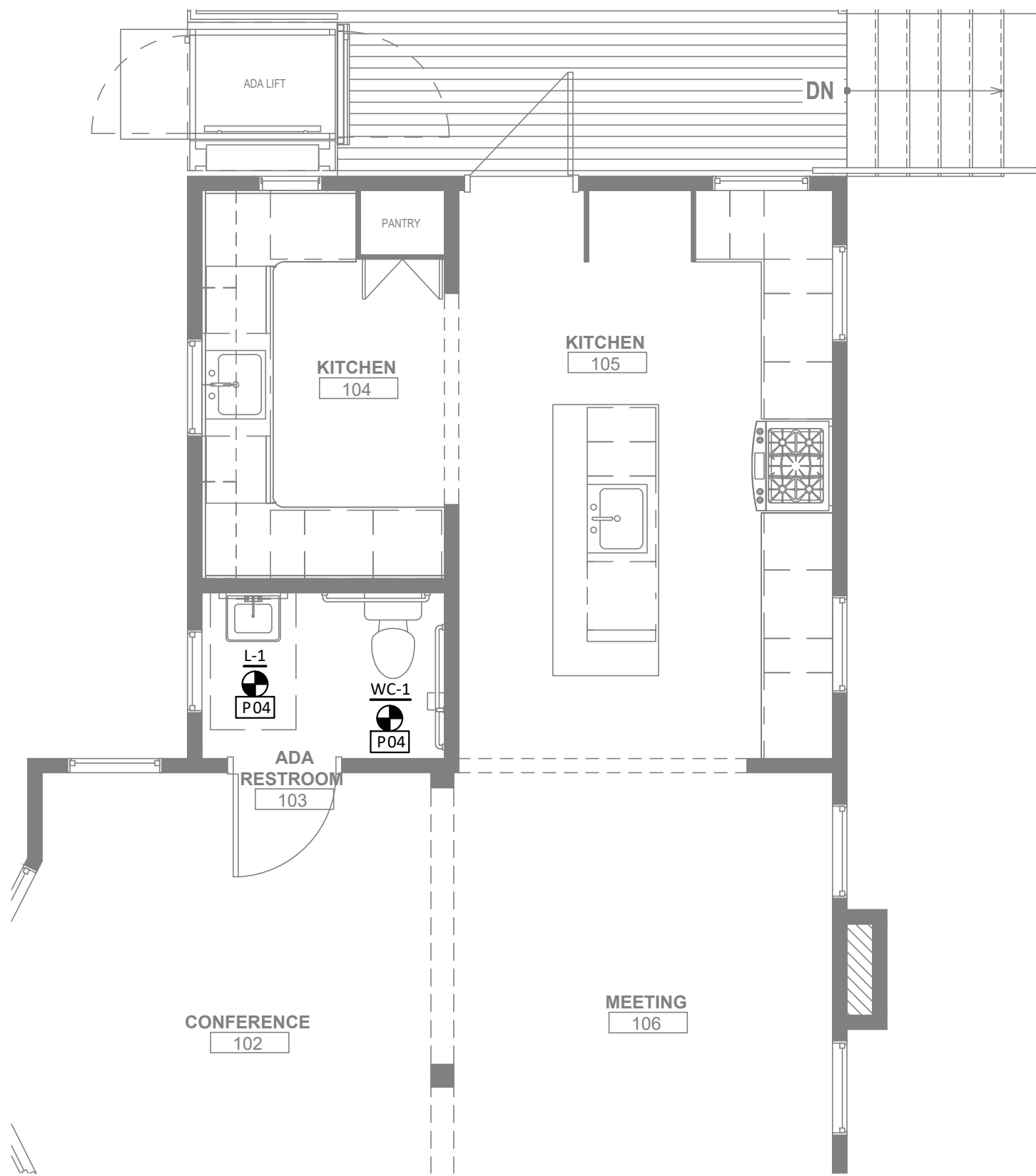
PLAN NOTES

- ELECTRICAL CONNECTION TO ADA LIFT. COORDINATE EXACT ELECTRICAL REQUIREMENTS WITH OWNER PRIOR TO WORK. BASIS OF DESIGN IS A 1HP 220V 20A-1P CONNECTION. INSTALL A COMPLETE WORKING SYSTEM.
- CONNECT TO SPARE 20A-1P BREAKER IN EXISTING 120/240V PANEL. PROVIDE NEW BREAKER AS REQUIRED. FIELD VERIFY.
- NO ELECTRICAL WORK THIS AREA.
- ELECTRICAL METER / WEATHERHEAD RELOCATED AS REQUIRED FOR NEW DECK CONSTRUCTION. COORDINATE EXACT LOCATION WITH OWNER PRIOR TO WORK. CONTRACTOR TO COORDINATE ALL WORK WITH LOCAL UTILITY COMPANY PRIOR TO WORK AND ENSURE THAT OVERHEAD FEEDER PATHWAYS CONFORM TO HEIGHTS AND DISTANCES PER NEC ARTICLE 230 PART II. CONTRACTOR TO EXTEND SERVICE FEEDERS AS REQUIRED TO MAIN ELECTRICAL PANEL. CONTRACTOR TO PROVIDE MAIN FUSED DISCONNECTING MEANS AS REQUIRED TO ENSURE NO UNPROTECTED FEEDERS ENTER THE BUILDING AHEAD OF THE MAIN ELECTRICAL PANEL.



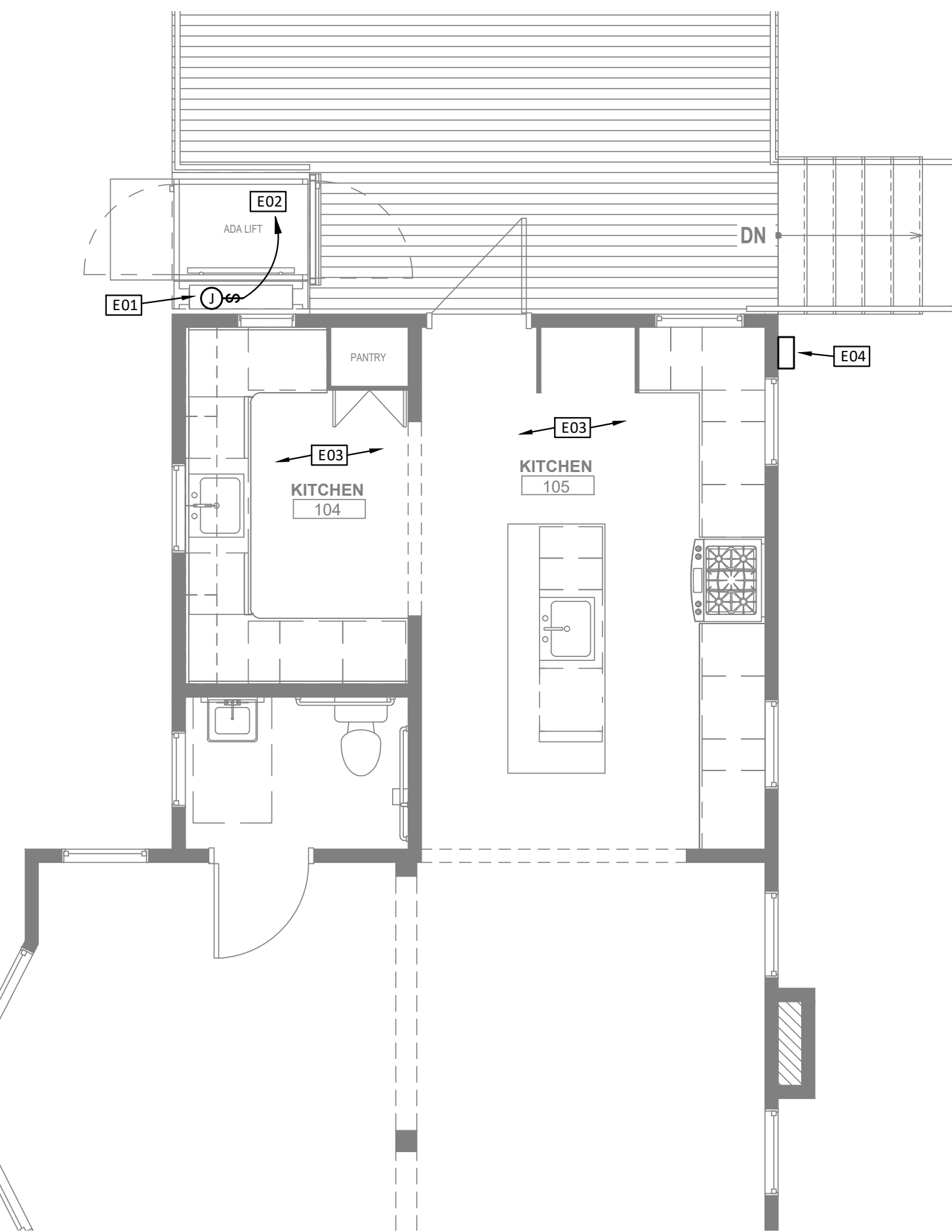
FLOOR PLAN - PLUMBING DEMOLITION

1/4" = 1'-0"



FLOOR PLAN - PLUMBING

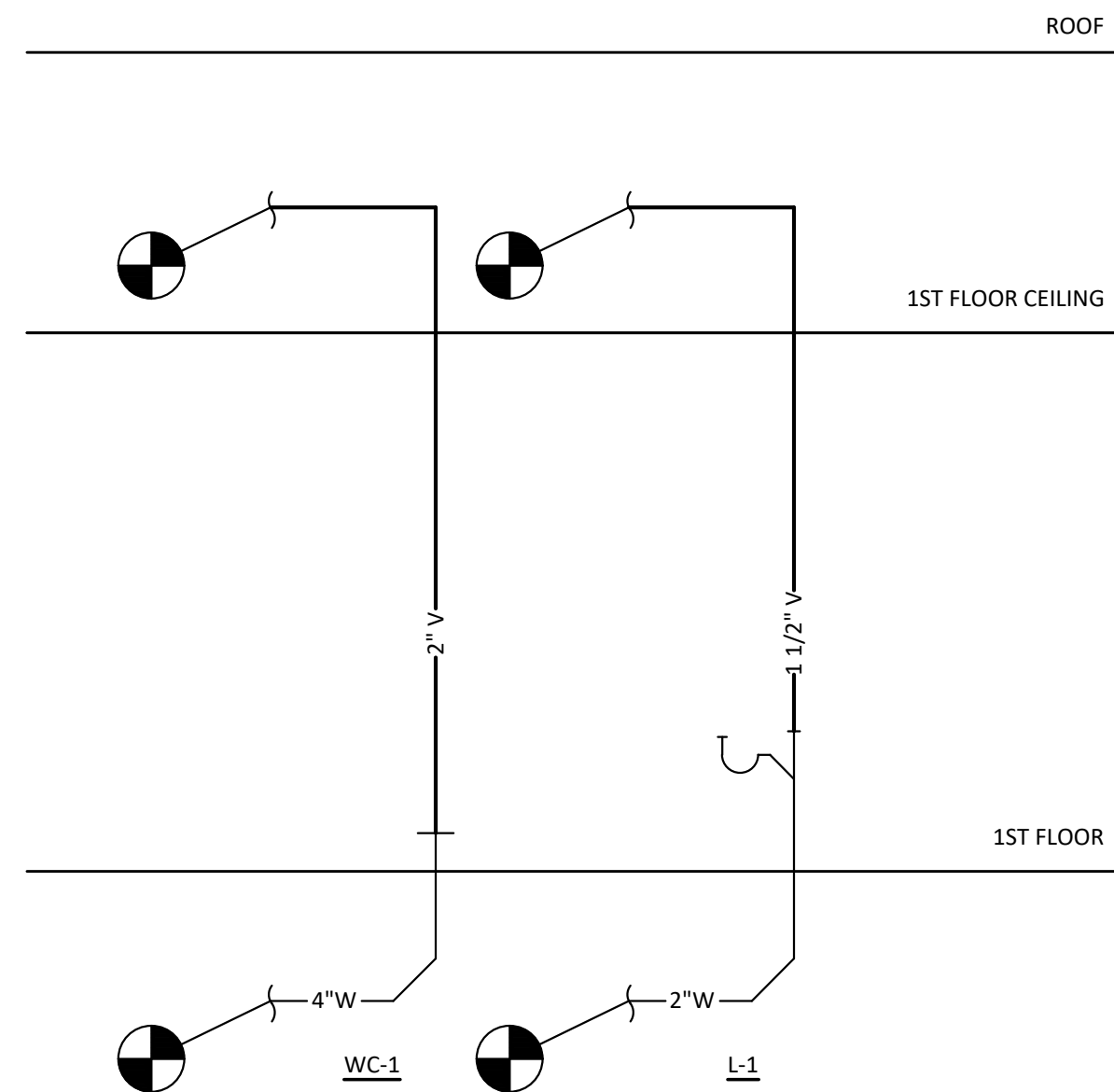
1/4" = 1'-0"



FLOOR PLAN - ELECTRICAL

1/4" = 1'-0"

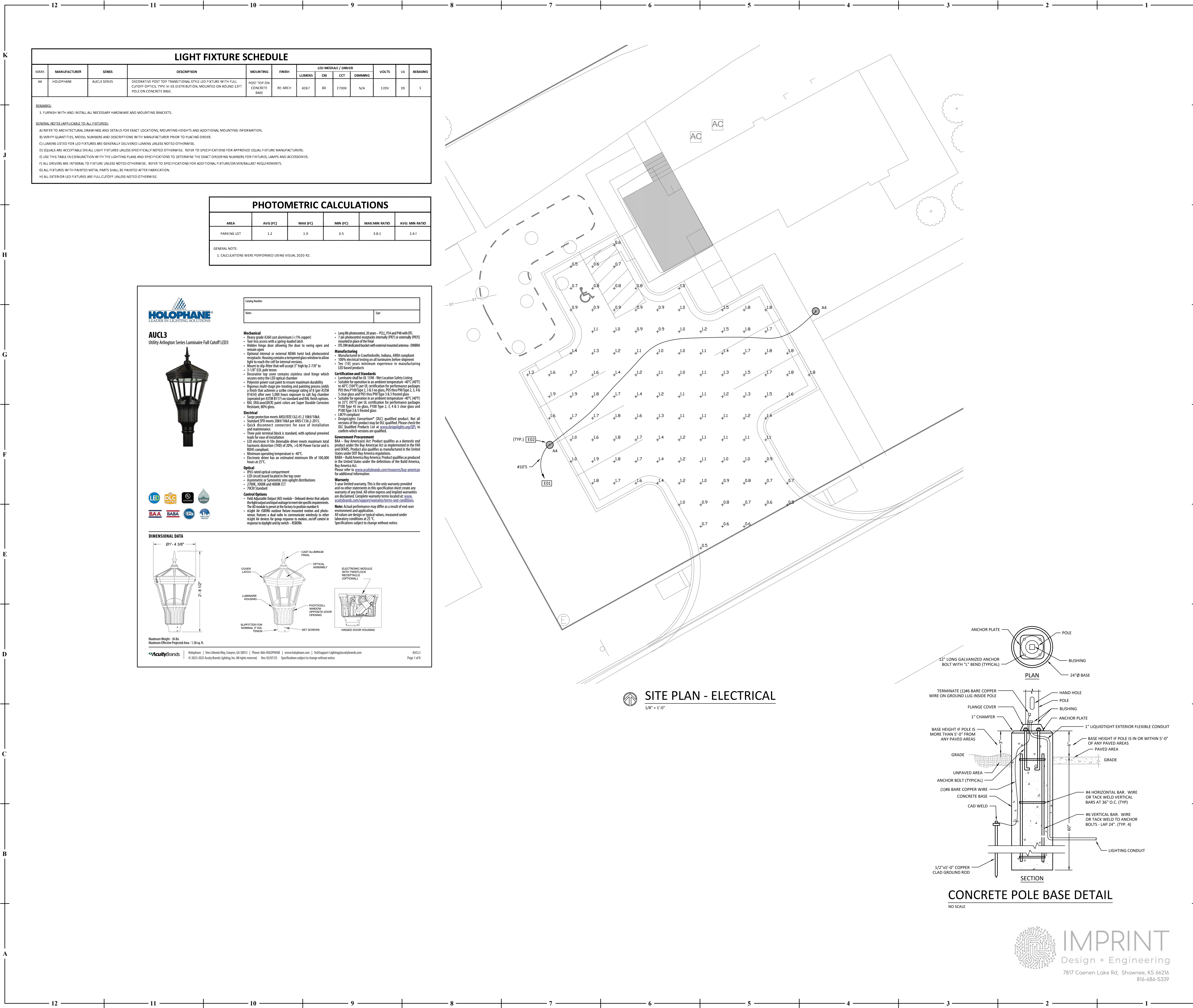
PLUMBING FIXTURE SCHEDULE								
MARK NO.	FIXTURE TYPE	MANUFACTURER	MODEL NO.	MINIMUM CONNECTION SIZE				DESCRIPTION
				CW	HW	WASTE	VENT	
WC-1	WATER CLOSET (ADA)	AMERICAN STANDARD	215AA.004 (LEFT HANDED) 4.8 GPM GROSS (RIGHT HANDED "CADET PRO") COORDINATE FINAL FIXTURE SELECTION WITH OWNER PRIOR TO PURCHASING.	1/2"	-	4"	2"	FLOOR MOUNTED FLUSH TANK, WHITE VITREOUS CHINA, HIGH EFFICIENCY (1.6 GPF), ELONGATED POWER WASH BOWL, FULLY GLAZED 27" TRAP-WAY, CLOSURE-COLOURED TANK, 16-1/2" TANK HEIGHT. ACCESSORIES: CHURCH & DWIGHT WHITE OPEN FRONT SEAT LESS COVER WITH SELF SUSTAINING CHECK HINGES, BOLTS AND CAPS, LOOSE KEY ANGLE STOP AND CHROME-PLATED RISER. NOTE: HANDLE TO BE ON WIDE SIDE OF FIXTURE.
L-1	LAVATORY (ADA)	AMERICAN STANDARD	0355.012 (4" CENTERS) "LUCRINE" COORDINATE FINAL FIXTURE SELECTION WITH OWNER PRIOR TO PURCHASING.	1/2"	1/2"	1-1/2"	1-1/2"	VITREOUS CHINA, 20" X 18", FRONT OVERFLOW, INTEGRAL BACK. CHICAGO FAUCETS MODEL 802-KKABCP FAUCET WITH CERAMIC OPERATING CARTRIDGE, 4" CENTERS, 4" INTEGRAL SPOUT, LEVER HANDLES. ACCESSORIES: PROVIDE LEONARD 170-LF LEAD FREE BRONZE THERMOSTATIC MIXING VALVE WITH 0.25 GPM MINIMUM FLOW RATE, INTEGRAL CHECK VALVES, DISCHARGE SET AT 105 F, MOUNTED DOWNSTREAM OF FIXTURE STOPS, WITH HOT AND COLD WATER RIPPED TO VALVE, TEMPERED WATER TO LAVATORY. CHICAGO FAUCETS MODEL 107-KFP GRID DRAIN, 1-1/4" X 1-1/2" X 17 GA. 18MM-ADAPT BRASS P-TRAP WITH CLEANOUT, CHROME-PLATED RISERS WITH LOOSE KEY ANGLE STOPS AND J.R. SMITH CONCEALED ARM LAVATORY SUPPORT. PROVIDE WITH FULLY MOLDED FLEXIBLE VINYL INSULATION KIT COVER TRAP, SUPPLIES AND STOPS. TRUBRID P-2 LAV GUARD. NOTE: MOUNT FIXTURE RIM 34" ABOVE FINISHED FLOOR.



PLUMBING WASTE & VENT RISER DIAGRAM

NO SCALE





LIGHT FIXTURE SCHEDULE												
MARK	MANUFACTURER	SERIES	DESCRIPTION	MOUNTING	FINISH	LED MODULE / DRIVER				VOLTS	VA	REMARKS
						LUMENS	CRI	CCT	DIMMING			
A4	HOLLOPHANE	AUCL3 SERIES	DECORATIVE POST TOP TRANSITIONAL STYLE LED FIXTURE WITH FULL CUTOFF OPTICS. TYPE IV IS DISTRIBUTION. MOUNTED ON ROUND 12FT POLE ON CONCRETE BASE.	POST TOP ON CONCRETE BASE	RE-ARCH	4267	80	2700K	N/A	120V	39	1
REMARKS: 1. FURNISH WITH AND INSTALL ALL NECESSARY HARDWARE AND MOUNTING BRACKETS. GENERAL NOTES (APPLICABLE TO ALL FIXTURES): A) REFER TO ARCHITECTURAL DRAWINGS AND DETAILS FOR EXACT LOCATIONS, MOUNTING HEIGHTS AND ADDITIONAL MOUNTING INFORMATION. B) VERIFY QUANTITIES, MODEL NUMBERS AND DESCRIPTIONS WITH MANUFACTURER PRIOR TO PLACING ORDER. C) LUMENS LISTED FOR LED FIXTURES ARE GENERALLY DELIVERED LUMENS UNLESS NOTED OTHERWISE. D) EQUALS ARE ACCEPTABLE ON ALL LIGHT FIXTURES UNLESS SPECIFICALLY NOTED OTHERWISE. REFER TO SPECIFICATIONS FOR APPROVED EQUAL FIXTURE MANUFACTURERS. E) USE THIS TABLE IN CONJUNCTION WITH THE LIGHTING PLANS AND SPECIFICATIONS TO DETERMINE THE EXACT ORDERING NUMBERS FOR FIXTURES, LAMPS AND ACCESSORIES. F) ALL DRIVERS ARE INTEGRAL TO FIXTURE UNLESS NOTED OTHERWISE. REFER TO SPECIFICATIONS FOR ADDITIONAL FIXTURE/DRIVER/BALLAST REQUIREMENTS. G) ALL FIXTURES WITH PAINTED METAL PARTS SHALL BE PAINTED AFTER FABRICATION. H) ALL EXTERIOR LED FIXTURES ARE FULL CUTOFF UNLESS NOTED OTHERWISE.												

PHOTOMETRIC CALCULATIONS					
AREA	AVG (FC)	MAX (FC)	MIN (FC)	MAX:MIN RATIO	AVG: MIN RATIO
PARKING LOT	1.2	1.9	0.5	3.8:1	2.4:1
GENERAL NOTE: 1. CALCULATIONS WERE PERFORMED USING VISUAL 2020 R2.					

AUCL3

Utility Arlington Series Luminaire Full Cutoff LEDS

Catalog Number

Notes	Type
-------	------

Mechanical

- Heavy grade A360 cast aluminum (<1% copper)
- Tool-less access with a spring-loaded latch
- Hidden hinge door allowing the door to swing open and remain open
- Optional internal or external NEMA twist lock photocontrol neoprene. Housing contains a tempered glass window to allow light to reach the cell for internal devices.
- Mount to dip filter that will accept 3" high by 2-7/8" to 3-1/8" O.D. pole thread
- Decorative top cover contains stainless steel hinge which secures every the LED optical chamber
- Polyester power coat paint to ensure maximum durability
- Regulate multi-stage pre-heating and purging process yields a finish that achieves a scuff/crackle rating of 8 (per ASTM D1554) after over 5000 hours exposure to salt fog chamber (operated per ASTM B117) on standard and RAL finish options.
- RAL (RAL4002/50) paint colors are Super Durable Corrosion Resistant, 90% gloss.

Electrical

- Surge protection meets ANSI/IEEE C62.41 2 10kV/10kA
- Standard SPD meets 250kV/10kA per ANSI C136.2-2015.
- Quick disconnect connectors for ease of installation and maintenance.
- Three pole terminal block is standard, with optional pre-wired leads for ease of installation
- LED electronic 0-10v dimmable driver meets maximum total harmonic distortion (THD) of 20%, >0.90 Power Factor and is 800°C compliant
- Minimum operating temperature is -40°C
- Electronic driver has an estimated minimum life of 100,000 hours at 25°C

Optical

- IP65 sealed optical compartment
- LED circuit board located in the top cover
- Asymmetric or Symmetric area light distributions
- 2700K, 3000K and 4000K CCT
- 7000° Standard

Control Options

- Field Adjustable Output (AO) module - Onboard device that adjusts the light output and input voltage to meet the specific requirements. The AO module is present at the factory to position number 8
- night for (CDSR), outdoor fixture-mounted motion and photo-sensor, features a dual radio to communicate wirelessly to other night for devices for group response to motion, on/off, current in response to daylight and by switch - RS006

Maximum Height: 36 ft.
Maximum Effective Projected Area: 1.38 sq. ft.

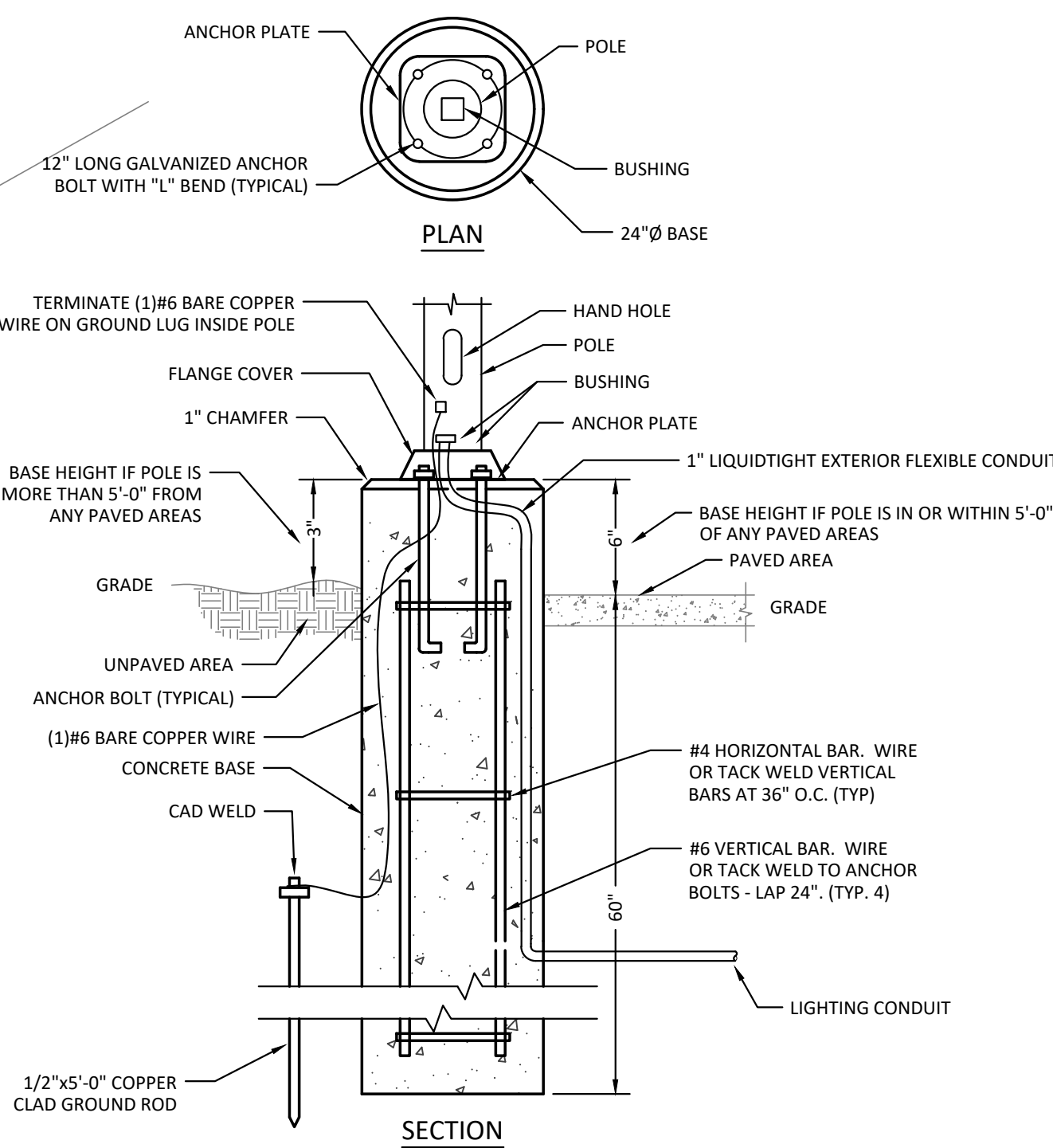
Acuity Brands

HoloPhane | One Lithia Way, Cary, NC 27513 | Phone: 866-402-0706 | www.holophane.com | TechSupport: Lighting@acuitybrands.com

© 2023-2025 Acuity Brands Lighting, Inc. All rights reserved. Rev. 03/07/23 Specifications subject to change without notice.

A0013
Page 1 of 8

SITE PLAN - ELECTRICAL
1/8" = 1'-0"



CONCRETE POLE BASE DETAIL
NO SCALE

IMPRINT
Design + Engineering

7817 Coenen Lake Rd., Shawnee, KS 66216
816-686-5339

PLAN NOTES

- ROUTE THROUGH NEW SINGLE POLE ASTRONOMICAL TIME CLOCK, MOUNTED ADJACENT TO EXISTING BUILDING ELECTRICAL PANEL, HOMERUN TO SPARE 20A-1P 120V BREAKER IN EXISTING PANEL.
- REFER TO POLE BASE DETAIL FOR MORE INFORMATION.

HERITAGE ASSET MANAGEMENT

100 NE DOUGLAS ST.
LEE'S SUMMIT, MO 64063

COPYRIGHT © BY
COLLINS WEBB
ARCHITECTURE, LLC

REVISION DATES:

MEP301

ISSUE DATE: 24 JUNE 2025
COLLINS WEBB #: 24114

ELECTRICAL SITE PLAN

collins webb ARCHITECTURE

PERMIT DOCUMENTS

307B SW Market St., Lee's Summit, MO 64063 | 816-245-2270 | www.collinswebb.com

RELEASED FOR CONSTRUCTION
As Noted on Plans Review