

RELEASED FOR CONSTRUCTION
As Noted on Plan Review
Development Services Department
Lee's Summit, Missouri
07/30/2025

SCHLAGEL
ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS
14920 West 107th Street • Lenexa, Kansas 66215
(913) 492-5158 • Fax: (913) 492-9400
WWW.SCHLAGELASOCIATES.COM
#E2002003800-F #A/C2010016237 #LS2002009859-F

RETREAT AT BAILEY FARMS, SECOND PLAT
STREET, STORMWATER, AND MASTER
DRAINAGE PLAN

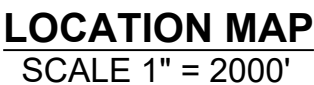
SE BAILEY FARMS PKWY & SE ARBORETUM
DR LEE'S SUMMIT, MO

COVER SHEET

SHEET

1

	ASPHALT PAVEMENT - EXISTING
	ASPHALT PAVEMENT - PROPOSED
	CONCRETE PAVEMENT - EXISTING
	CONCRETE SIDEWALK - EXISTING
	CONCRETE SIDEWALK - PROPOSED
	CURB & GUTTER
	CURB & GUTTER - EXISTING
	TIE LINE
	EXISTING LOT AND R/W LINES
	EXISTING PLANT LINES
	PROPERTY LINES
	RIGHT-OF-WAY
	SANITARY SEWER MAIN
	SANITARY SEWER MAIN - EXIST.
	STORM SEWER
	STORM SEWER - EXISTING
	CABLE TV - EXISTING
	FIBER OPTIC CABLE - EXISTING
	TELEPHONE LINE - EXIST.
	ELECTRIC LINE - EXISTING
	OVERHEAD POWER LINE - EXIST.
	UNDERGROUND ELECTRIC - EX.
	GAS LINE - EXISTING
	WATERLINE - EXISTING
	LIGHT - EXISTING
	EXISTING MANHOLE
	CLEANOUT
	EXISTING SANITARY MANHOLE
	PROPOSED SANITARY MANHOLE
	EXISTING AREA INLET
	EXISTING CURB INLET
	EXISTING GRATE INLET
	EXISTING JUNCTION BOX
	EXISTING STORM MANHOLE



CITY OF LEE'S SU
Mark Schaufler

Mark Schaufler
1200 SE Hamblen Road
Lee's Summit, MO 64081
(816) 969-1900

New City Requirements:

KCMMB Asphalt specification required for all lifts of street pavement. Fly ash is no longer an option for chemical stabilization. Other acceptable options are cement, lime.

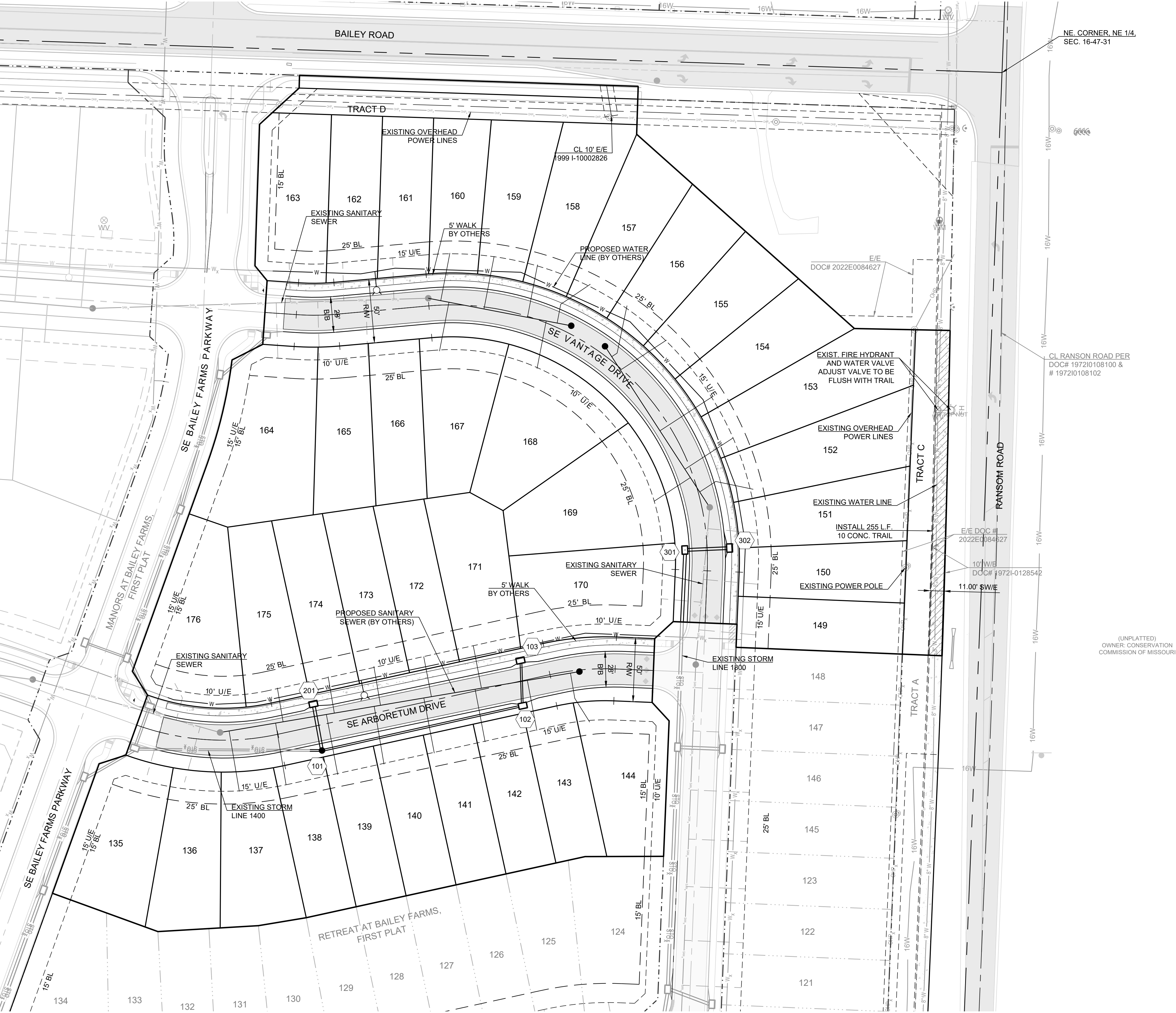
1. It is recommended that a Geotechnical Engineer observe and document all earthwork activities.
2. Contours have been shown at 1-foot or 2-foot intervals, as indicated. Grading shall consist of completing the earthwork required to bring the physical ground elevations of the existing site to the finished grade (or sub-grade) elevations provided on the plans as spot grades, contours or others means as indicated on the plans.
3. The existing site topography depicted on the plans by contouring has been established by aerial photography and field verified by g.p.s. observation near 02/24/2025. The contour elevations provided may not be exact ground elevations, but rather interpretations of such. Accuracy shall be considered to be such that not more than 10 percent of spot elevation checks shall be in error by more than one-half the contour interval provided, as defined by the National Map Accuracy Standards. Any quantities provided for earthwork volumes are established using this topography contour accuracy, and therefore the inherent accuracy of any earthwork quantity is assumed from the topography accuracy.
4. Proposed contours are to approximate finished grade.
5. Unless otherwise noted, payment for earthwork shall include backfilling of the curb and gutter, sidewalk and further manipulation of utility trench spoils. The site shall be left in a movable condition and positive drainage maintained throughout.
6. Unless otherwise noted, all earthwork is considered Unclassified. No additional compensation will be provided for rock or shale excavation, unless specifically stated otherwise.
7. Prior to earthwork activities, pre-disturbance erosion and sediment control devices shall be in place per the Storm Water Pollution Prevention plan and/or the Erosion and Sediment Control Plan prepared for this site.
8. All topsoil shall be stored on-site and stored adjacent to the site at an area specified by the project owner or his appointed representative. Vegetation, trash, trees, brush, tree roots and limbs, rock fragments greater than 6-inches and other deleterious materials shall be removed and properly disposed of offsite or as directed by the owner or his appointed representative.
9. Unless otherwise specified in the Geotechnical Report, all fills shall be placed in maximum 6-inch lifts and compacted to 95-percent of maximum density as defined using a standard proctor test (AASHTO T99/ASTM 698).
10. Subgrade for pavements shall be pro-rolled prior to paving operations utilizing a fully loaded tandem axle dump truck. All areas exhibiting excessive pumping and heaving shall be removed, filled and compacted with suitable materials and retested until acceptable results are achieved and final approval has been obtained from the Geotechnical Engineer.
11. Subgrade for building pad shall include a minimum of 18-inches of Low Volume Change (LVC) material, or as identified in the site specific Geotechnical Report.
12. Fill materials shall be Geotextile free and shall not include organic matter, debris or topsoil. All fills placed on slopes greater than 6:1 shall be benched.
13. The Contractor shall be responsible for redistributing the topsoil over proposed turf and landscaped areas to a minimum depth of 6-inches below final grade.
14. All areas shall be graded for positive drainage. Unless noted otherwise the following grades shall apply:
 - a. Turf Areas – 2.5% Minimum, 4H:1V Maximum
 - b. Paved Areas – 1.2% Minimum, 5% Maximum
15. A.D.A. parking stalls shall not be sloped greater than 2% in any direction and constructed per A.D.A. requirements.
16. All disturbed areas shall be fertilized, seeded and mulched immediately after earthwork activities have ceased. Seeding shall be per the Erosion and Sediment Control Plan and/or Landscape Plan. If not specified seeding shall be per APWA Section 2400, latest edition. Unless otherwise noted, seeding shall be subsidiary to the contract price for earthwork and grading activities.
17. All disturbed areas in the right-of-way shall be sodded.
18. Underdrains are recommended for all paved areas adjacent to irrigated turf and landscaped beds.
19. Contractor shall adhere to the reporting requirements outlined in the Storm Water Pollution Prevention Plan (SWPPP) prepared for this project. Erosion and Sediment control devices shall be properly maintained and kept clean of silt and debris and in good working order. Additional erosion and sediment control measures shall be installed as required.

1. Existing utilities have been shown to the greatest extent possible based upon information provided to the Engineer. The contractor is responsible for contacting the respective utility companies and field locating utilities prior to construction and identifying any potential conflicts. All conflicts shall immediately be brought to the attention of the Engineer.
2. The Contractor shall be responsible for obtaining any required permits and allocations. Utilities damaged through the negligence of the contractor shall be repaired at the contractor's expense.
3. Contractor shall verify flow-lines and structure tops prior to construction, and shall notify Engineer of any discrepancies.
4. Provide shop drawings for all precast and manufactured utility structures for review by the Engineer prior to construction of the structures.
5. Utility Separation: Waterlines shall have a minimum of 10 feet horizontal and 2 feet vertical separation from all sanitary sewer lines, manholes, and sanitary sewer service laterals, as measured from edge to edge. If minimum separations cannot be obtained, concrete encasement of the sanitary line shall be required 10 feet in each direction of the conflict.
5. Payment for trenching, backfilling, pipe embedment, flowable fill, backfill materials, clean up, seeding, sodding and any other items necessary for the construction of the utility line shall be included in the contract price for the utility installation.
6. The Contractor shall be responsible for contacting respective utility companies 48-hours in advance for the inspection of any proposed utility main extension or service line or service connection to any existing main.
7. The Contractor shall be responsible for the removal of all trench cuttings, debris, and excess soil, contamination and excess sediment runoff. Unsuitable materials, excess rock and shale, asphalt, concrete, trees, brush etc. shall be properly disposed of offsite. Materials may be waste onsite at the direction of the Owner or his appointed representative.
8. All excavation is considered unclassified, unless noted otherwise. Unclassified excavation for utility trenching is subsidiary to the unit price provided for the pipe. Any quantity provided for rock excavation is estimated based on the best information provided to the Project Engineer. The Engineer has the authority to identify and define the physical characteristics to determine the unit price for rock excavation. The unit price or unit quantity for rock excavation is based on the nominal pipe diameter of the installed main plus 18 inches. Contractor is required to dispose of excess rock from their trenches by disposing it in areas as specified by the Project Engineer.



ELEV. = 1046.25

PRSUBD20252429
MP20250002429



BASIS OF BEARINGS:

MISSOURI STATE PLANE COORDINATE SYSTEM
(NAD) 1983, MISSOURI, WEST ZONE

**MISSOURI GEOGRAPHIC REFERENCE SYSTEM
BENCHMARK:**

BM JA-45, IS A KC METRO ALUMINUM GRS DISK SET IN CONCRETE AND ABOUT 3 INCHES BELOW THE PAVEMENT ON THE SHOULDER OF SE RANSON ROAD. IT IS STAMPED JA45, 1987.

ELEV. = 1046.25

NOTES:

ALL CONSTRUCTION ON THIS PROJECT SHALL CONFORM TO THE CITY OF LEES SUMMIT TECHNICAL SPECIFICATIONS.

THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATION.

STREET LEGEND:

RESIDENTIAL LOCAL

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PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

RETREAT AT BAILEY FARMS, SECOND PLAT
STREET, STORMWATER, AND MASTER
DRAINAGE PLAN
SE BAILEY FARMS PKWY & SE ARBORETUM DR
LEE'S SUMMIT, MO

REVISION DATE	DESCRIPTION	CITY COMMENTS
07/15/2025	1	
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DRAWN BY:	NCA
CHECKED BY:	JLL
DATE PREPARED:	06/04/2025
PROJ. NUMBER:	25-540

GENERAL
LAYOUT

SHEET

2

BASIS OF BEARINGS:

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GRADING LEGEND:

- EL:000.00 DENOTES FINISHED GRADE ELEVATION
- EL:000.00 (EX.) DENOTES EXISTING GRADE ELEVATION
- 1023- DENOTES PROPOSED MAJOR CONTOUR
- 1023- DENOTES PROPOSED MINOR CONTOUR
- 1023- DENOTES EXISTING MAJOR CONTOUR
- 1023- DENOTES EXISTING MINOR CONTOUR

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LOT TYPE TABLE		
LOT NUMBER	BASEMENT TYPE	MBOE
135	STANDARD	N/A
136	STANDARD	N/A
137	STANDARD	N/A
138	STANDARD	N/A
139	STANDARD	N/A
140	STANDARD	N/A
141	STANDARD	N/A
142	STANDARD	N/A
143	STANDARD	N/A
144	STANDARD	N/A
149	STANDARD	N/A
150	STANDARD	N/A
151	STANDARD	N/A
152	STANDARD	N/A
153	STANDARD	N/A
154	STANDARD	N/A
155	STANDARD	N/A
156	STANDARD	N/A
157	STANDARD	N/A
158	STANDARD	N/A
159	STANDARD	N/A
160	STANDARD	N/A
161	STANDARD	N/A
162	STANDARD	N/A
163	STANDARD	N/A
164	STANDARD	N/A
165	DAYLIGHT	N/A
166	DAYLIGHT	N/A
167	DAYLIGHT	N/A
168	DAYLIGHT	N/A
169	DAYLIGHT	N/A
170	STANDARD	N/A
171	STANDARD	N/A
172	STANDARD	N/A
173	STANDARD	N/A
174	STANDARD	N/A
175	STANDARD	N/A
176	STANDARD	N/A

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CHECKED BY:	JLL
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MASTER
DRAINAGE
PLAN-GRADING
PLAN

SHEET

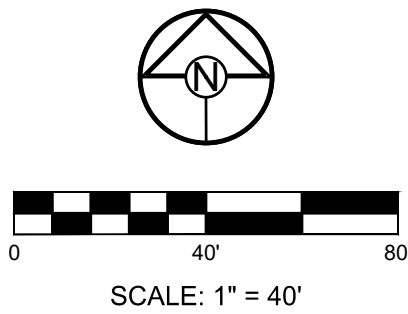
3

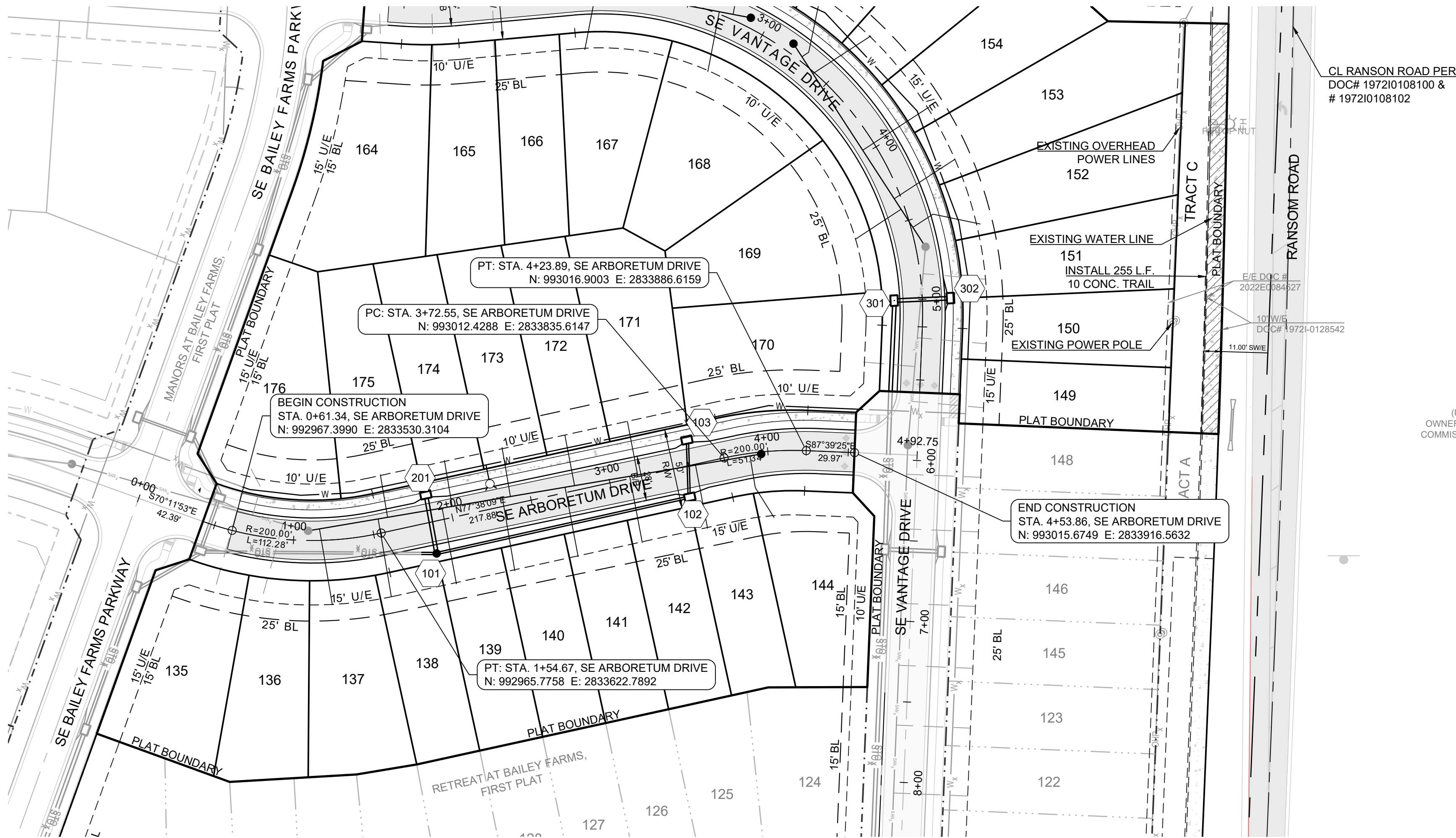
PREPARED BY:



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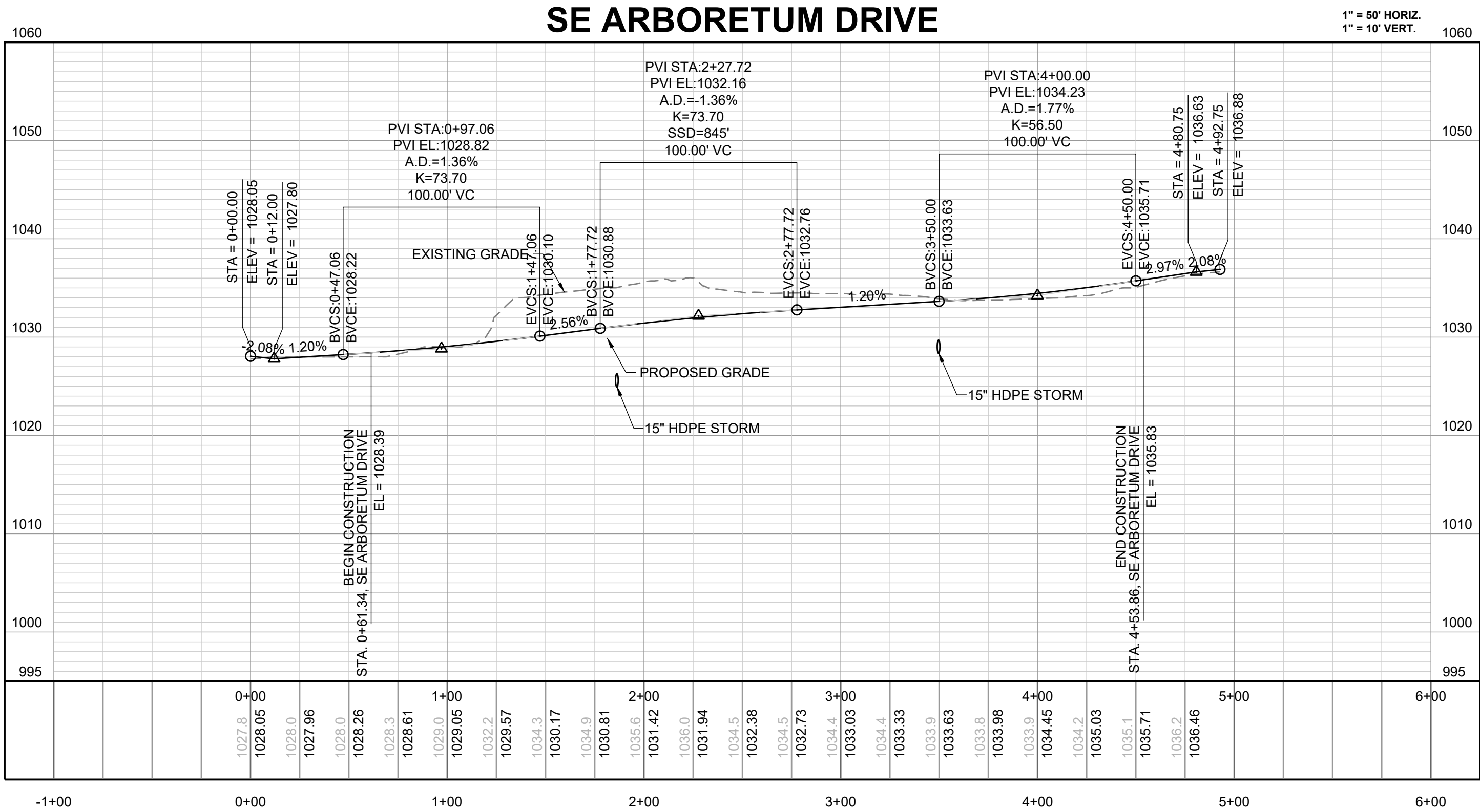
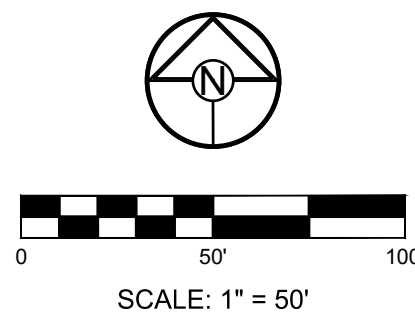
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SE ARBORETUM
DRIVE PLAN &
PROFILE

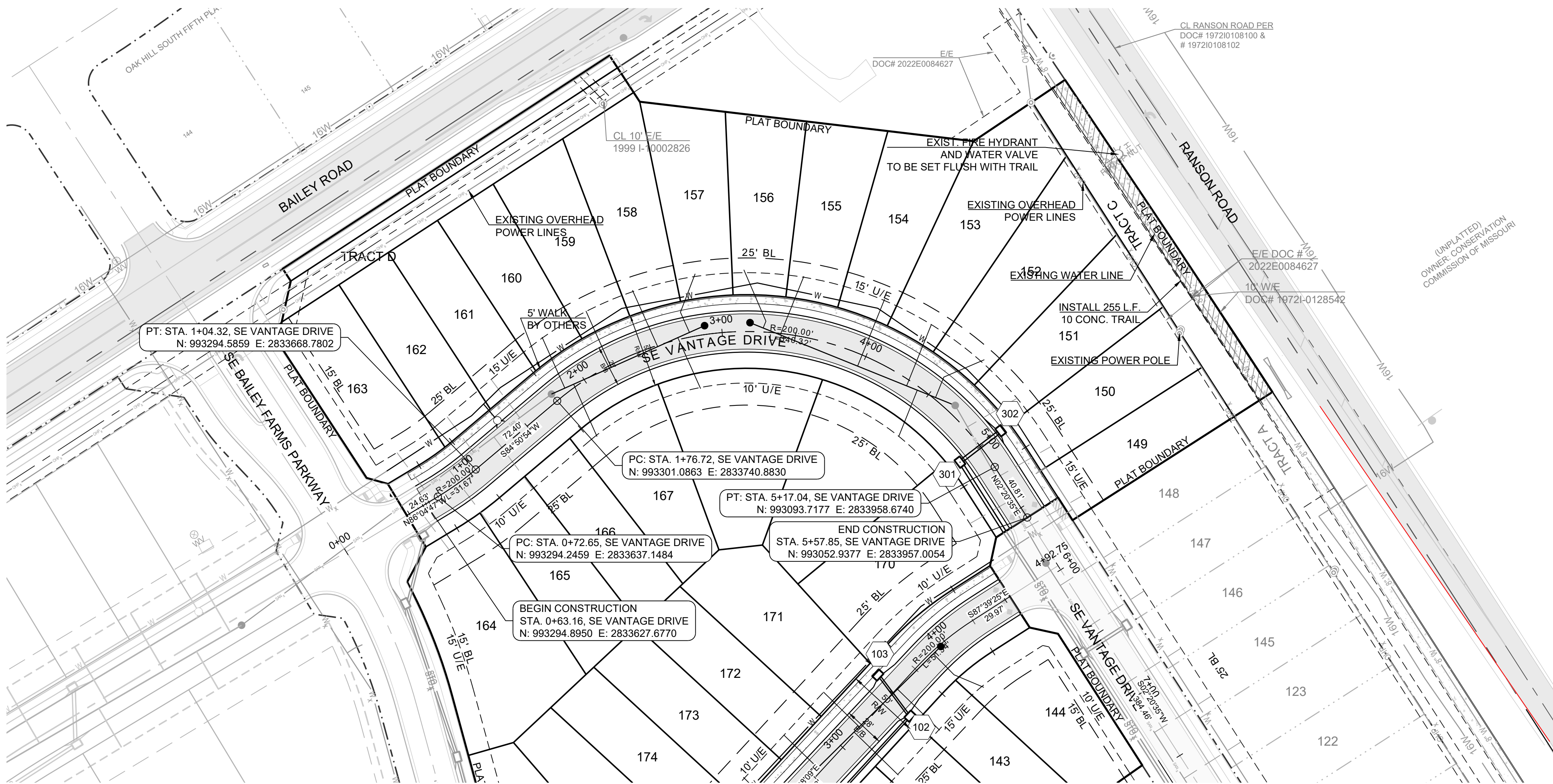
SHEET
4

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PREPARED BY:

JAMES L. LONG
11/24/2025
FE-2014010095

SCHLAGEL & ASSOCIATES, P.A.



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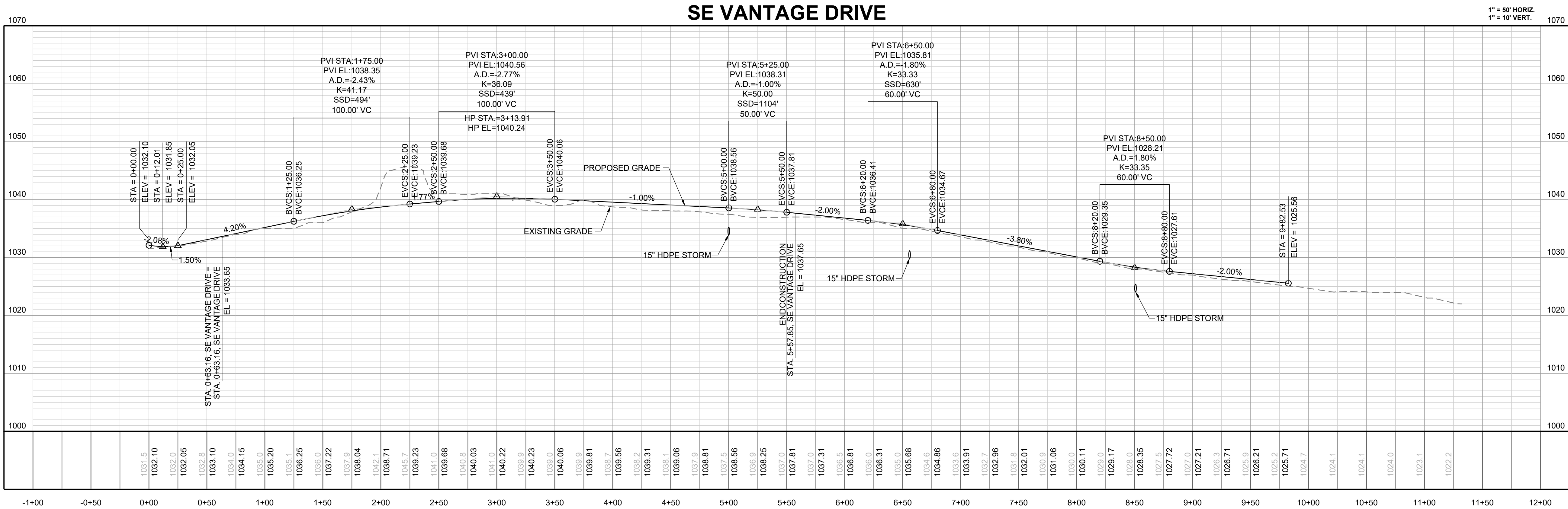
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SE VANTAGE DRIVE



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SE VANTAGE
POINT DRIVE
PLAN & PROFILE

SHEET

5

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PREPARED BY:

JAMES L. LONG
12/24/2025
NUMBER
PE-201461049-95
EXPIRATION
12/24/2025

SCHLAGEL & ASSOCIATES, P.A.



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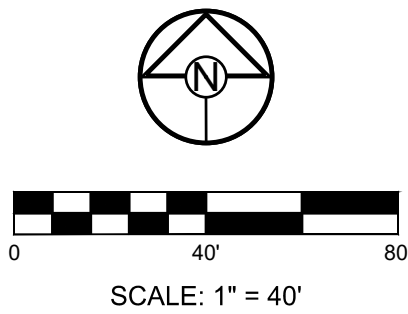
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MASTER
DRAINAGE
PLAN-DRAINAGE
MAP

SHEET

6



Design Storm:		10																							
"K" Value:		1.00																							
"F" Factor:		1.00																							
Runoff Calculations													Pipe Properties												
Inlet #	Area (acres)	"C" Value	Cumul. Area (acres)	Cumul. CxA	Tc	Intensity	Runoff To Inlet	Cumul. Runoff	Pipe Cap.	Pipe Vel.	Up Piped Inlet 1	Up Piped Inlet 2	Up Area (acres)	Up CxA	Up Inlet	Down Inlet	Pipe Type	"n" Value	Pipe Size	Length	Slope %	Drop in Inlet	FL Up	FL Down	Inlet Top
LINE 100																									
101	0.00	0.66	1.22	0.81	5.4	7.22	0.00	5.81	8.07	6.58	201		0.71	0.47	101	EX	PEP	0.012	15	9.45	1.33	0.50	DS TAILWATER @ STR #EX		
102	0.12	0.66	0.51	0.34	5.1	7.32	0.58	2.46	9.90	8.06		0.00	0.00	102	101	PEP	0.012	15	160.98	2.00	0.50	1027.70	1024.48	1032.74	
103	0.39	0.66	0.39	0.26	5.0	7.35	1.89	1.89	7.00	5.70		0.00	0.00	103	102	PEP	0.012	15	35.43	1.00	N/A	1028.55	1028.20	1032.84	
LINE 200																									
201	0.71	0.66	0.71	0.47	5.0	7.35	3.45	3.45	11.06	9.02			0.00	0.00	201	101	PEP	0.012	Drop in Inlet 101		0.50				
																			15	37.01	2.50	N/A	1025.40	1024.48	1029.96
LINE 300																									
301	0.13	0.66	1.00	0.66	5.1	7.32	0.63	4.83	7.67	6.25			0.00	0.00	301	EX	PEP	0.012	15	56.38	1.20	4.00	1029.76	1029.08	1038.88
302	0.87	0.66	0.87	0.57	5.0	7.35	4.22	4.22	7.00	5.70			0.00	0.00	302	301	PEP	0.012	15	35.00	1.00	N/A	1034.11	1033.76	1038.88
DS TAILWATER @ STR #EX																									

[illegible]

DESIGN STORM "K" FACTOR		10 1.00										CURB TYPE "A" = LAZY BACK CURB TYPE "B" = HIGH BACK												
RUNOFF CALCULATIONS												INLET DESIGN						GUTTER DESIGN						
INLET #	COMPOSITE "C"	AREA	INLET Tc	INTENSITY	RUNOFF	UPSTREAM INLET	UPSTREAM INLET	UPSTREAM INLET	UPSTREAM INLET	BYPASS FROM UPSTREAM INLET	TOTAL RUNOFF	STREET GRADE	CROSS SLOPE	CURB TYPE	INLET LENGTH	EFFECTIVE LENGTH 80% CAP	INLET INTERCEPTION	BYPASS TO DOWNSTREAM INLET	STREET GRADE	CROSS SLOPE	DEPTH AT CURB	SPREAD OF FLOW		
LINE 100																								
EX	0.66	0.49	5	7.35	2.38	102				0.03	2.41	1.20	2.08	A	6	6	2.09	0.32	1.20	2.08	0.19	9.49		
102	0.66	0.12	5	7.35	0.58					0.00	0.58	2.97	2.08	A	6	6	0.55	0.03	2.97	2.08	0.09	4.95		
103	0.66	0.39	5	7.35	1.89	301				0.02	1.92	2.97	2.08	A	6	6	1.54	0.38	2.97	2.08	0.14	7.46		
LINE 200																								
201	0.66	0.71	5	7.35	3.44	103				0.38	3.82	1.20	2.08	B	6	6	3.48	0.34	1.20	2.08	0.22	11.19		
LINE 300																								
301	0.66	0.13	5	7.35	0.63					0.00	0.63	2.00	2.08	A	6	6	0.61	0.02	2.00	2.08	0.10	5.44		
302	0.66	0.87	5	7.35	4.22					0.00	4.22	2.00	2.08	A	6	6	2.92	1.30	2.00	2.08	0.21	10.58		
EXISTING LINE 1500																								
1501	0.66	0.70	5	7.35	3.40	201				0.34	3.74	1.20	2.08	A	6	6	2.98	0.76	1.20	2.08	0.22	11.10		
NOTES:																								
1. CAPACITY OF INLETS ON GRADE DETERMINED USING ROUTINE OUTLINED ON PGS 56-95 TO 56-97, SECTION 5600 APWA																								
2. CAPACITY OF SUMP INLETS CALCULATED USING FIGURE 5604-21, SECTION 5600 APWA																								
3. MANNINGS "n" VALUE FOR COMBINED ASPHALT PAVEMENT AND CONCRETE CURB - 0.014																								
4. MAX GUTTER SPREAD OF 12.0 FEET PER APWA 5604.2																								

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ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS
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(913) 492-5158 • Fax: (913) 492-8406
WWW.SCHLAGELASSOCIATES.COM
#E2020203890-F #A2011016237 #L2020209885-F

RETREAT AT BAILEY FARMS, SECOND PLANT
STREET, STORMWATER, AND MASTER
DRAINAGE PLAN

SE BAILEY FARMS PKWY & SE ARBORETUM DRIVE
LEE'S SUMMIT, MO

MASTER
DRAINAGE
PLAN-DRAINAGE
CALCS

SHEET

7

BASIS OF BEARINGS:

MISSOURI STATE PLANE COORDINATE SYSTEM
(NAD) 1983, MISSOURI, WEST ZONE

**MISSOURI GEOGRAPHIC REFERENCE SYSTEM
BENCHMARK:**

BM JA-45, IS A KC METRO ALUMINUM GRS DISK SET IN CONCRETE AND ABOUT 3 INCHES BELOW THE PAVEMENT ON THE SHOULDER OF SE RANSON ROAD. IT IS STAMPED JA45, 1987.

ELEV. = 1046.25

NOTES:

ALL CONSTRUCTION ON THIS PROJECT SHALL CONFORM TO THE CITY OF LEES SUMMIT TECHNICAL SPECIFICATIONS.

THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATION.

RELEASED FOR CONSTRUCTION

As Noted on Plan Review

Development Services Department
Lee's Summit, Missouri

07/30/2025

Storm Sewer Construction Notes

Structure	Notes
101	STA 1+46.51, LINE 100 INSTALL STANDARD 4' DIA ECCENTRIC MANHOLE N 992953.0666 E 2833657.2129
102	STA 3+07.49, LINE 100 INSTALL 6 X 4 CURB INLET N 992988.1041 E 2833814.3303
103	STA 3+42.92, LINE 100 INSTALL 6 X 4 CURB INLET N 993023.4873 E 2833812.5206
201	STA 0+37.01, LINE 200 INSTALL 6 X 4 CURB INLET N 992989.4618 E 2833650.4709
301	STA 1+54.45, LINE 300 INSTALL 6 X 4 CURB INLET N 993110.0094 E 2833941.1607
302	STA 1+89.45, LINE 300 INSTALL 6 X 4 CURB INLET N 993111.5637 E 2833976.1262

NOTE:

FLOWABLE FILL REQUIRED PER CITY SPECIFICATIONS AT ALL STORM STRUCTURES.

PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

RETREAT AT BAILEY FARMS, SECOND PLAT
STREET, STORMWATER, AND MASTER
DRAINAGE PLAN
SE BAILEY FARMS PKWY & SE ARBORETUM DR
LEE'S SUMMIT, MO

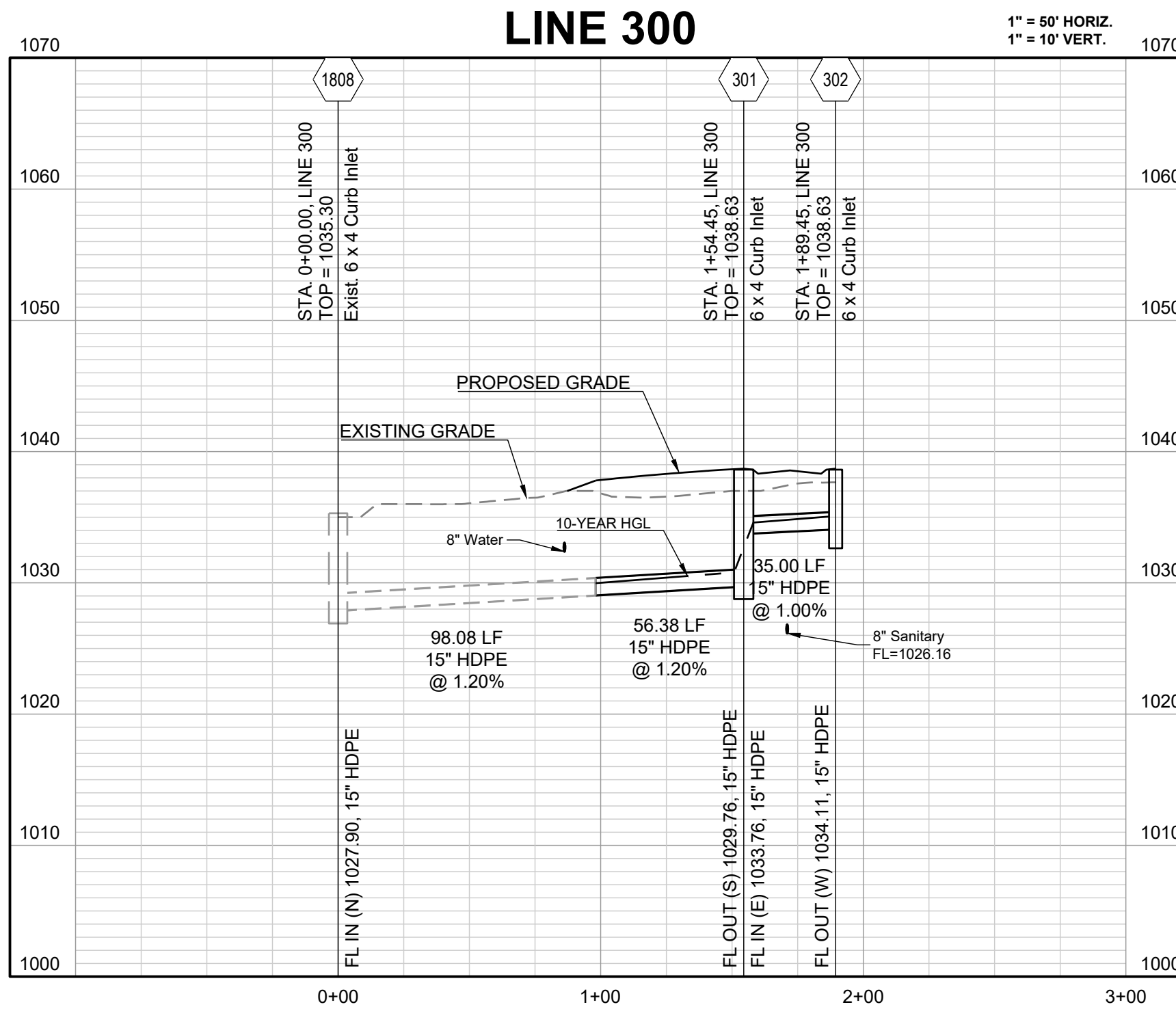
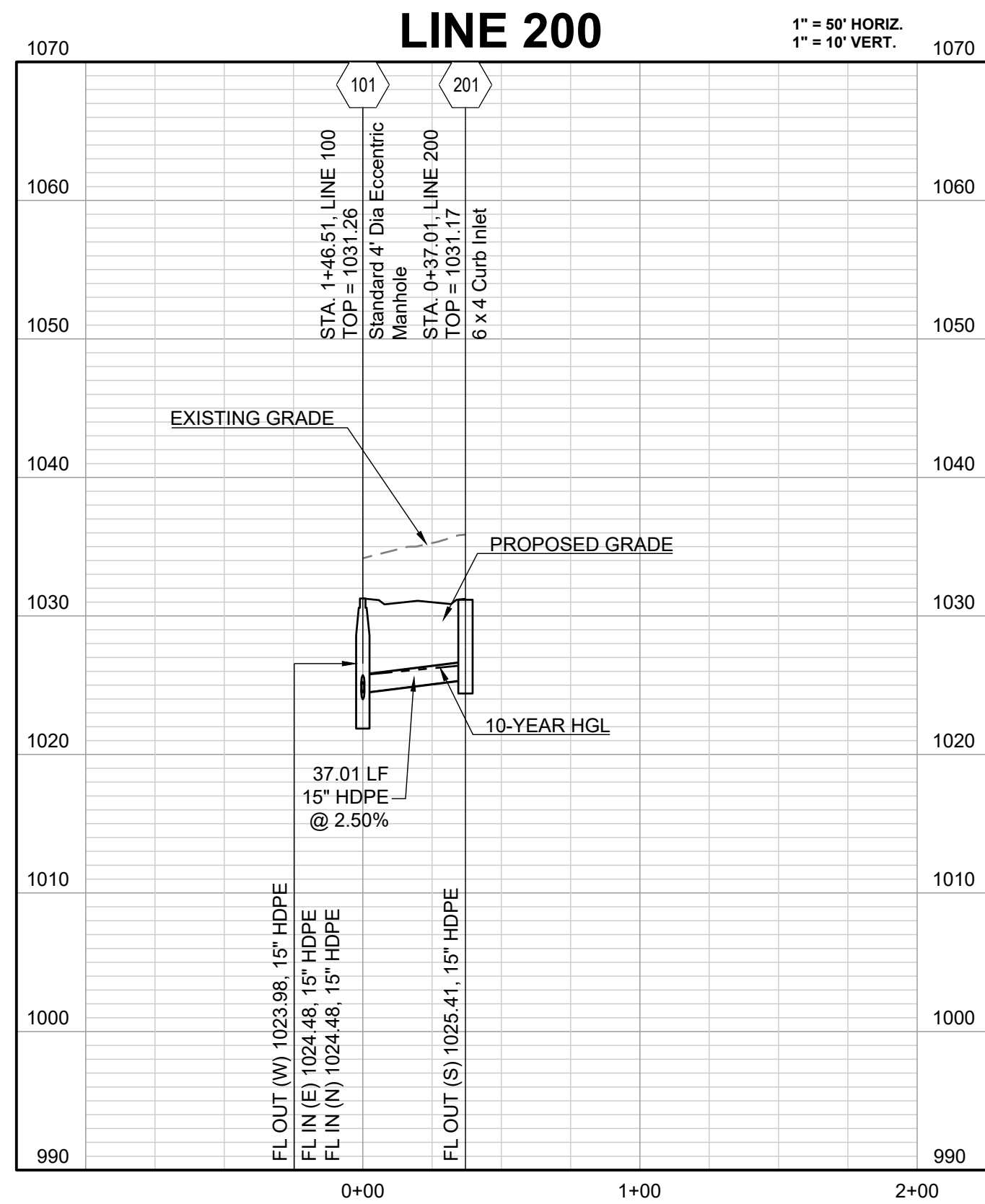
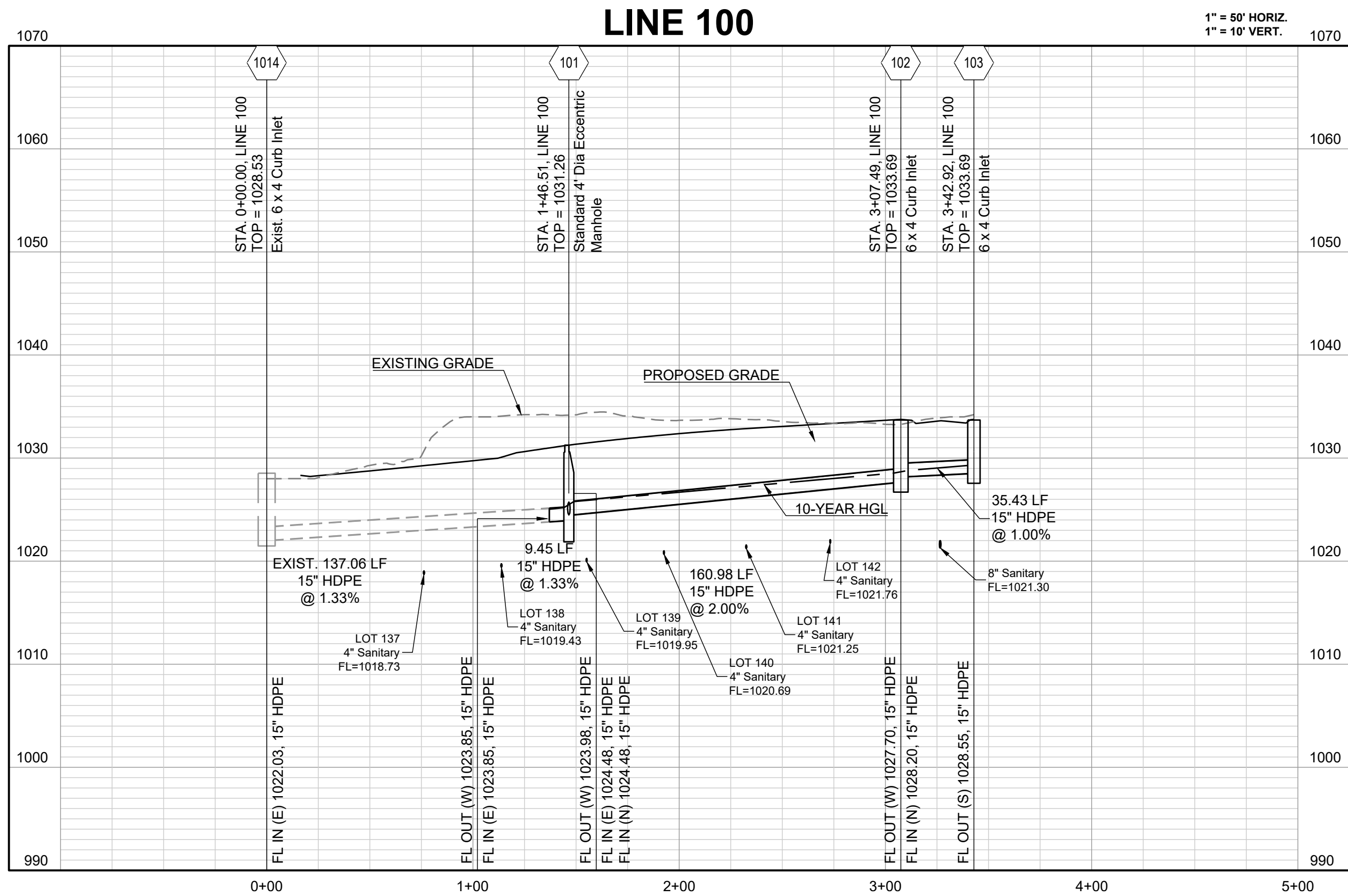
REVISION DATE	DESCRIPTION	CITY COMMENTS
07/15/2025	1	
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DRAWN BY:	NCA
CHECKED BY:	JLL
DATE PREPARED:	06/04/2025
PROJ. NUMBER:	25-540

STORM PLAN

SHEET

8



RELEASED FOR CONSTRUCTION
As Noted on Plan Review

Development Services Department
Lee's Summit, Missouri
07/30/2025

PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

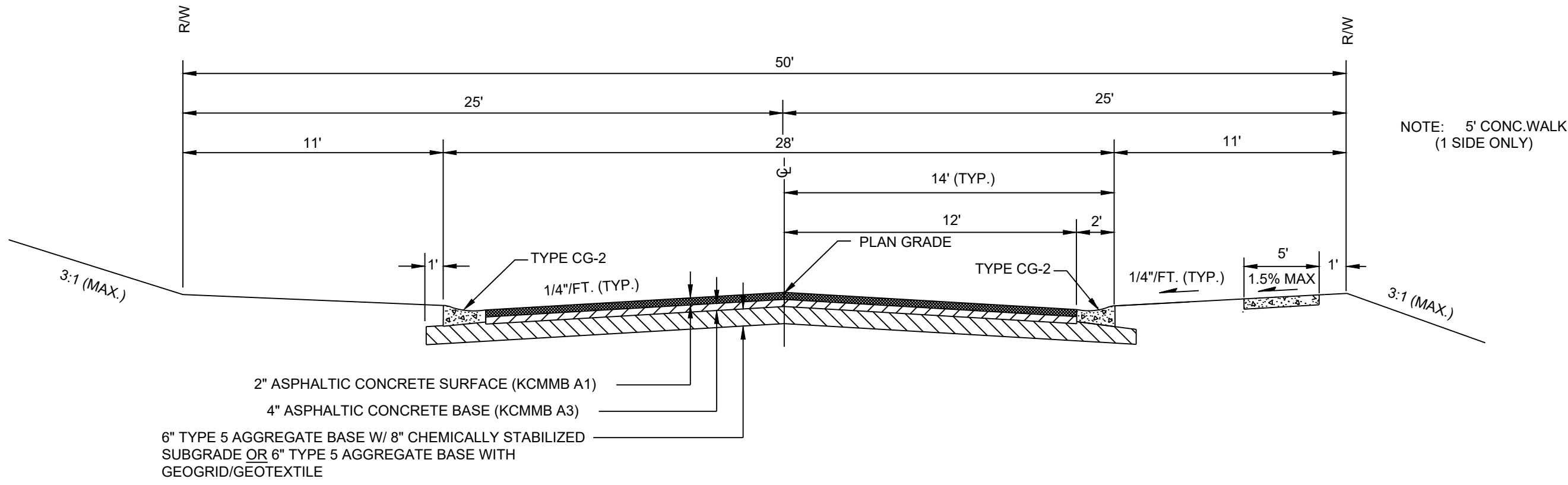
RETREAT AT BAILEY FARMS, SECOND PLAT
STREET, STORMWATER, AND MASTER
DRAINAGE PLAN
SE BAILEY FARMS PKWY & SE ARBORETUM DR
LEE'S SUMMIT, MO

REVISION DATE	DESCRIPTION	CITY COMMENTS
07/15/2025	1	
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STORM
PROFILES

TABLE LS-2: MINIMUM ASPHALT PAVEMENT THICKNESSES						
Street Classification	Pavement Option	AC Surface (in.)	AC Base (in.)	Aggregate Base (in.)	Chemical Subgrade Stabilization (in.)	Geogrid / Geotextile ⁽¹⁾
Residential Local/Access	A	2	4	6	8	--
	B	2	4	6	--	Geogrid / Geotextile
Residential Collector	A	2	5.5	6	9	--
	B	2	5.5	7.5	--	Geogrid / Geotextile
Commercial/Industrial Local	A	2	7.5	6	9	--
	B	2	7.5	6	--	Geogrid / Geotextile
Commercial/Industrial Collector	A	2	8	6	9	--
	B	2	8	7	--	Geogrid / Geotextile

Notes:
(1) Geogrid shall be polypropylene material and Geotextile shall be woven, polypropylene as shown in the City's Approved Products List



RESIDENTIAL LOCAL/ACCESS

Pavement shall be per KCMMB Specifications:

Surface - KCMMB A1
Base - KCMMB A3

RELEASED FOR CONSTRUCTION

As Noted on Plan Review

Development Services Department
Lee's Summit, Missouri

07/30/2025

LS5200

15

September 2023

PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

RETREAT AT BAILEY FARMS, SECOND PLAT
STREET, STORMWATER, AND MASTER
DRAINAGE PLAN
SE BAILEY FARMS PKWY & SE ARBORETUM DR
LEE'S SUMMIT, MO

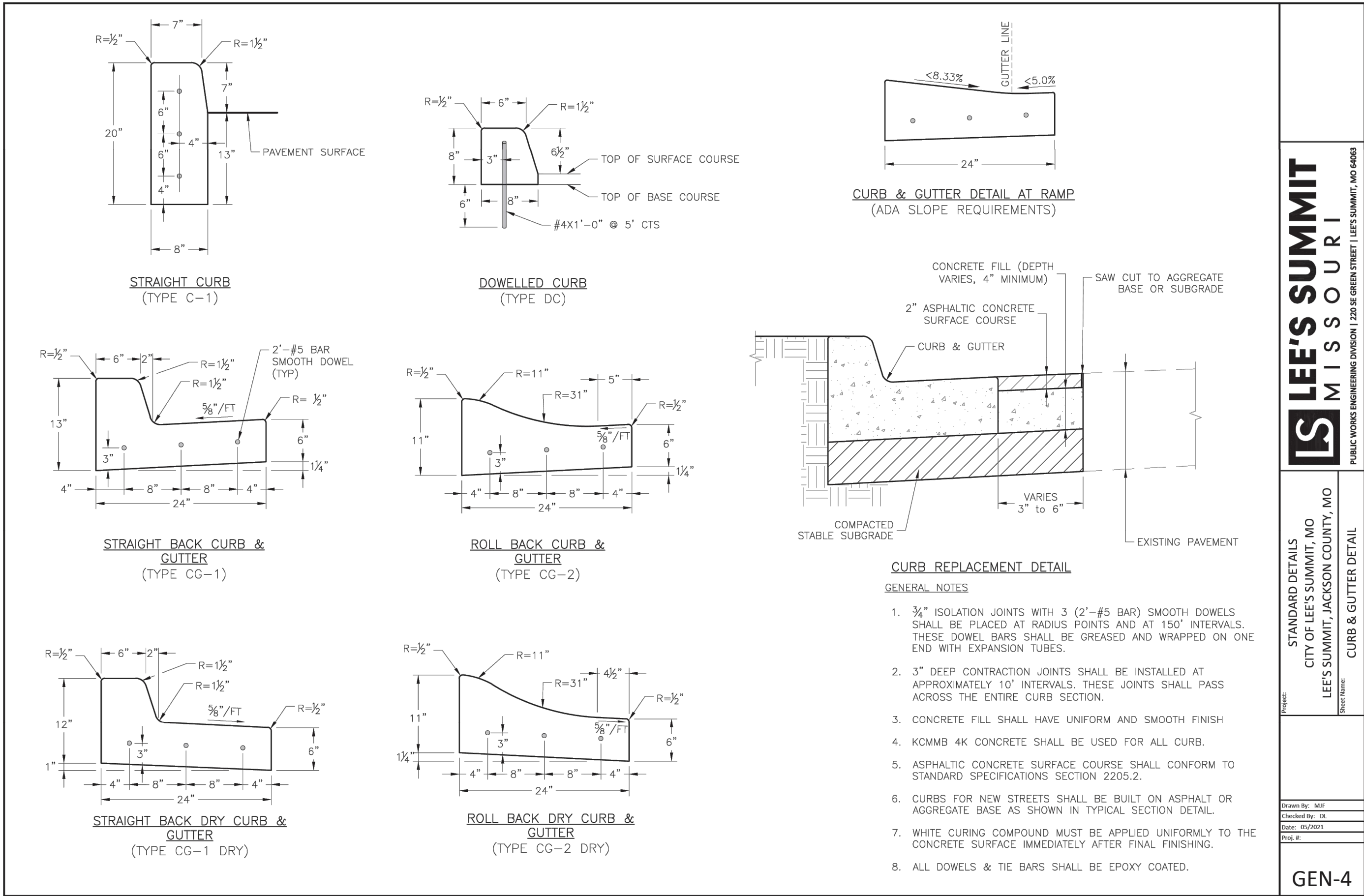
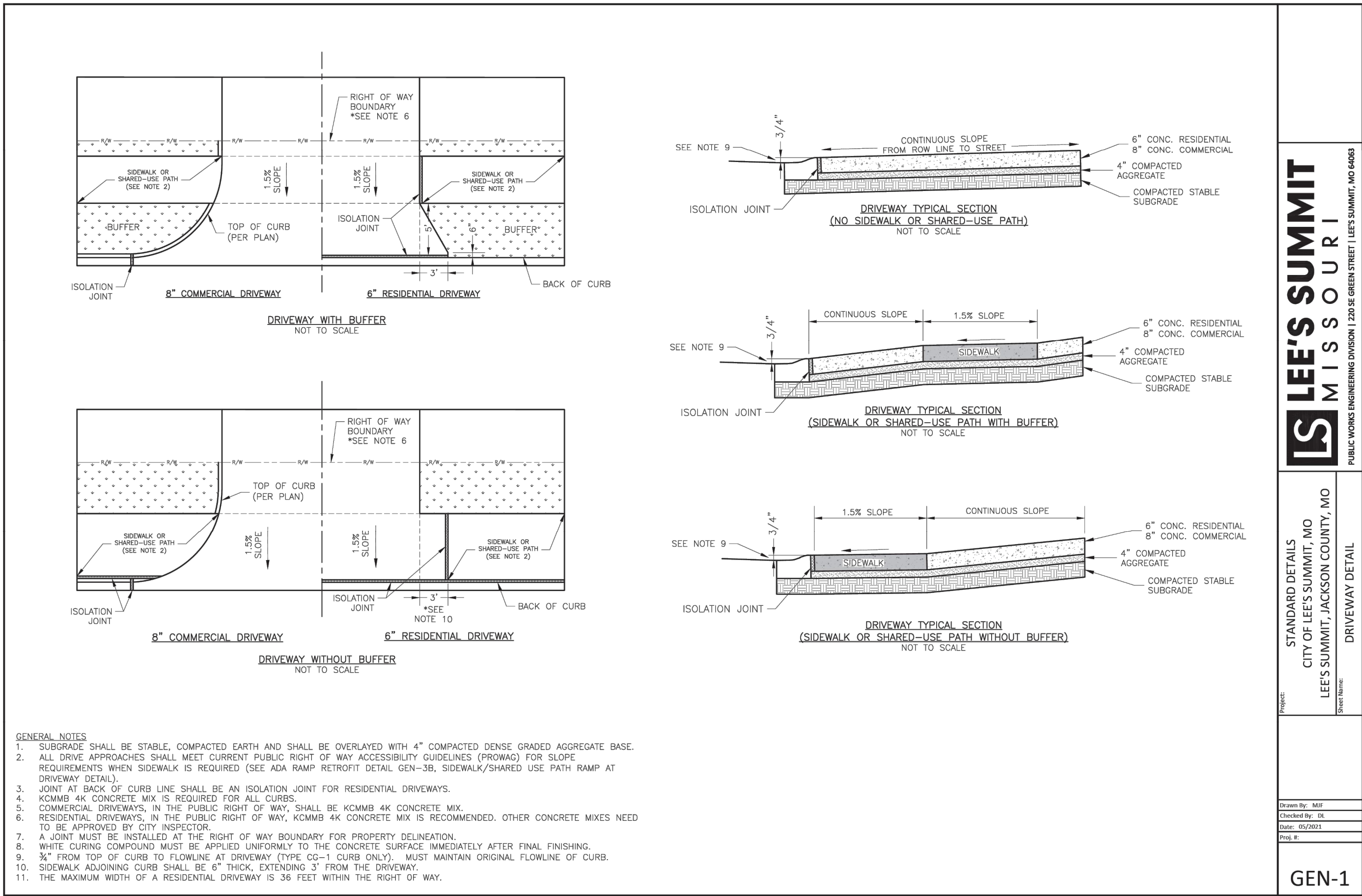
REVISION DATE	DESCRIPTION	CITY COMMENTS
1. 07/15/2025		
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10.		

DRAWN BY:	NCA
CHECKED BY:	JLL
DATE PREPARED:	06/04/2025
PROJ. NUMBER:	25-540

STREET DETAILS

SHEET

10



RELEASED FOR CONSTRUCTION
As Noted on Plan Review

Development Services Department
Lee's Summit, Missouri

07/30/2025

PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

RETREAT AT BAILEY FARMS, SECOND PLAT
STREET, STORMWATER, AND MASTER
DRAINAGE PLAN
SE BAILEY FARMS PKWY & SE ARBORETUM DR
LEE'S SUMMIT, MO

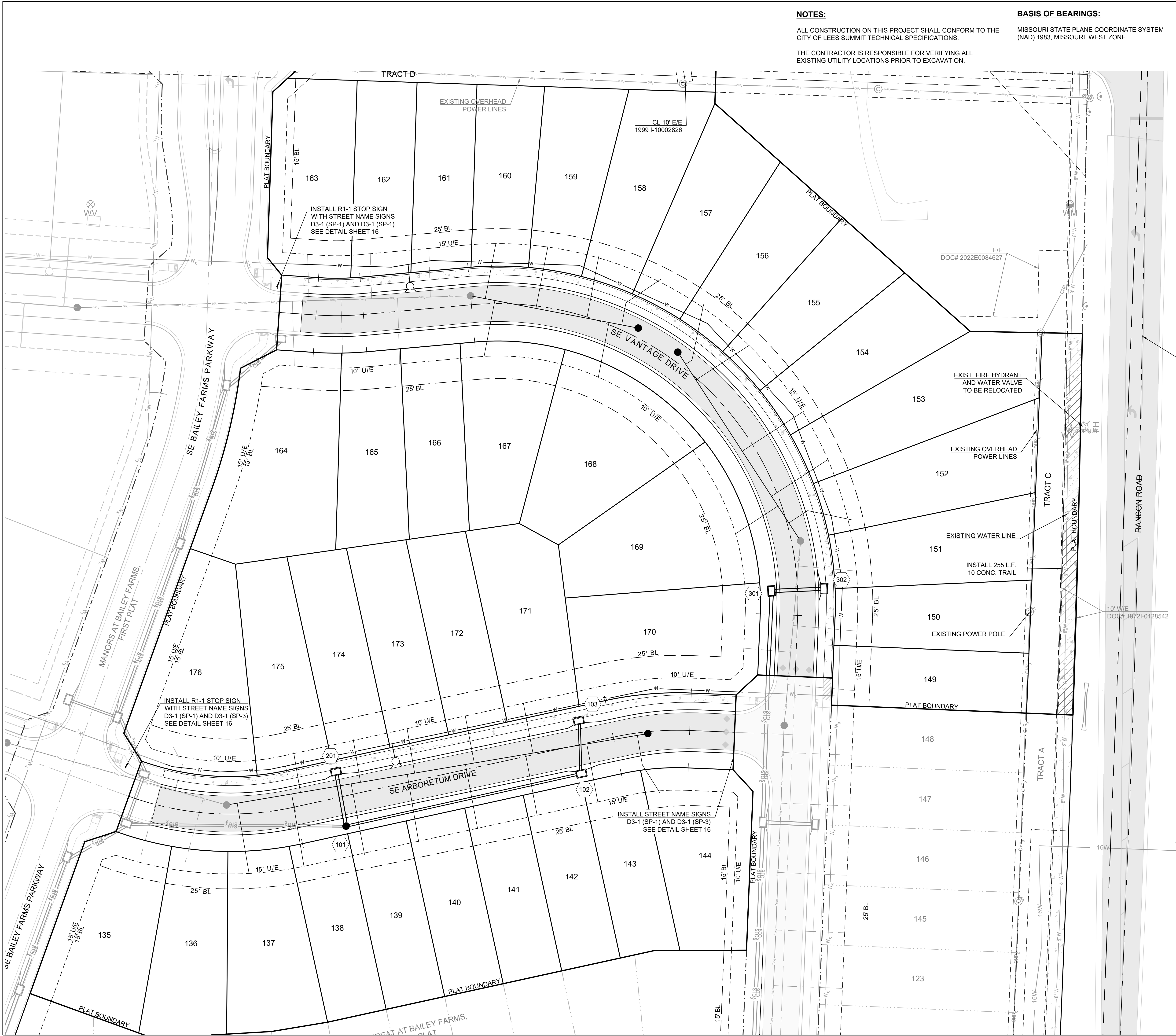
REVISION DATE	DESCRIPTION
1 07/15/2025	CITY COMMENTS
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DRAWN BY: NCA	CHECKED BY: JLL	DATE PREPARED: 06/04/2025	PROJ. NUMBER: 25-540
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STREET DETAILS

SHEET

11



NOTES:

ALL CONSTRUCTION ON THIS PROJECT SHALL CONFORM TO THE CITY OF LEE'S SUMMIT TECHNICAL SPECIFICATIONS.

THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATION.

BASIS OF BEARINGS:

MISSOURI STATE PLANE COORDINATE SYSTEM (NAD) 1983, MISSOURI, WEST ZONE

MISSOURI GEOGRAPHIC REFERENCE SYSTEM BENCHMARK:

BM JA-45, IS A KC METRO ALUMINUM GRS DISK SET IN CONCRETE AND ABOUT 3 INCHES BELOW THE PAVEMENT ON THE SHOULDER OF SE RANSON ROAD. IT IS STAMPED JA45, 1987.

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WWW.SCHLAGELASSOCIATES.COM
Missouri State Certificate of Authority
#E2002003600-F #LAC2001005237 #LS2002008659-F

PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

RETREAT AT BAILEY FARMS, SECOND PLAT
STREET, STORMWATER, AND MASTER
DRAINAGE PLAN
SE BAILEY FARMS PKWY & SE ARBORETUM DR
LEE'S SUMMIT, MO

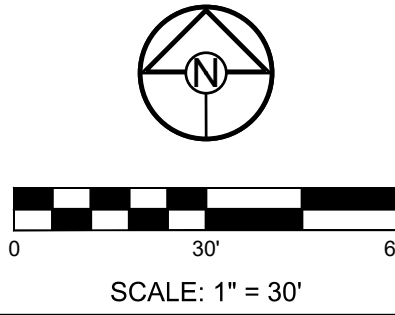
REVISION DATE	DESCRIPTION	CITY COMMENTS
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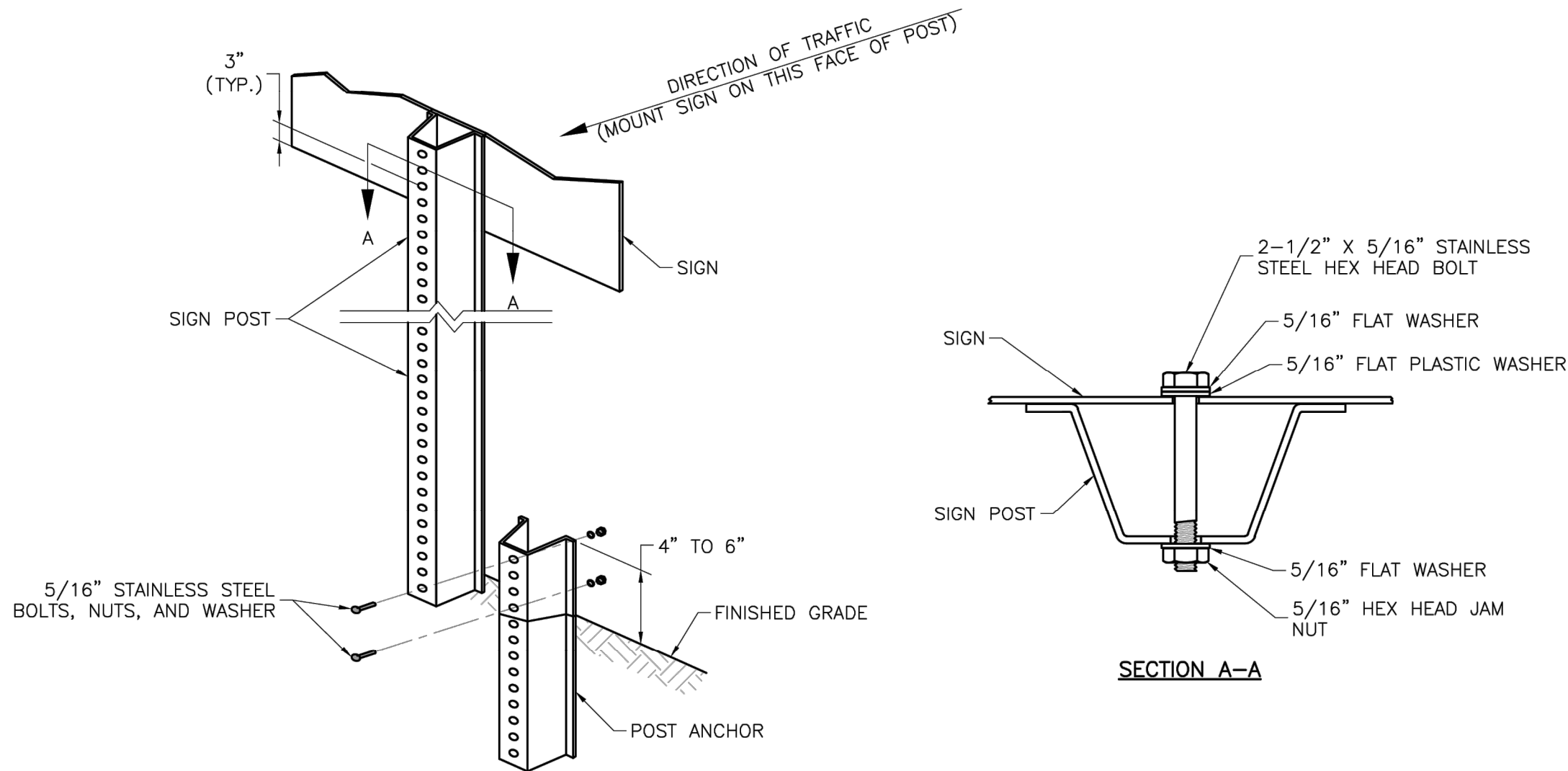
DRAWN BY:	NCA
CHECKED BY:	JLL
DATE PREPARED:	06/04/2025
PROJ. NUMBER:	25-540

SIGNAGE PLAN

SHEET

13

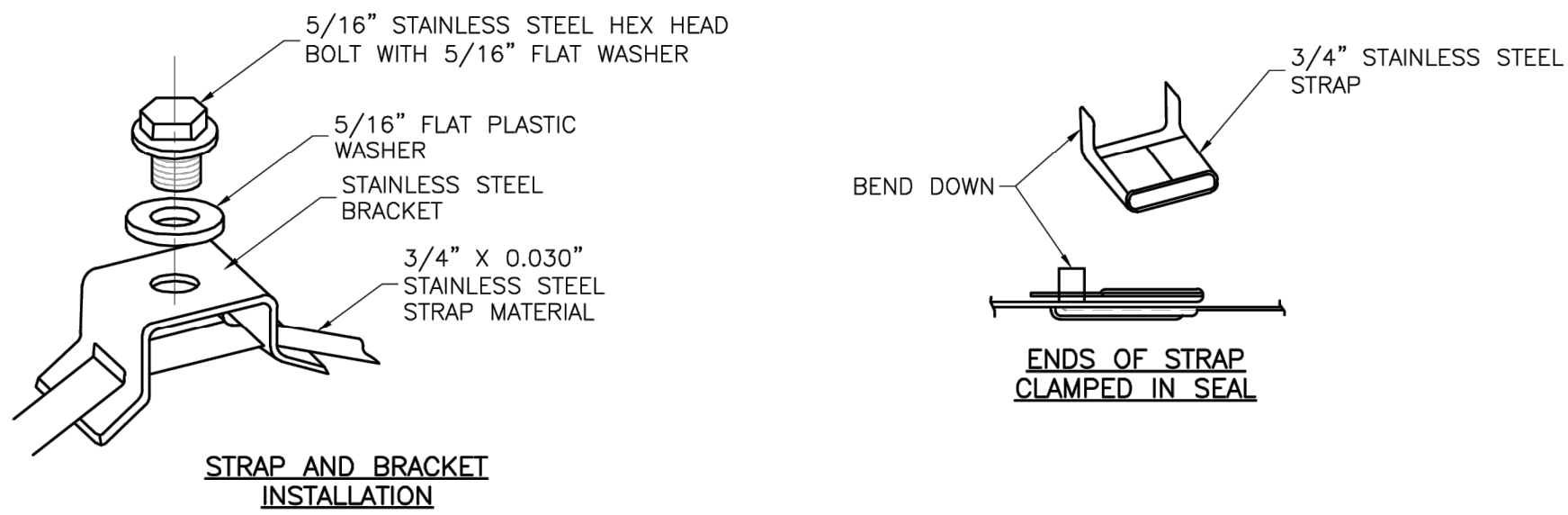




U-STEEL POST DETAILS

NOTES:

1. SPLICE SHALL BE POSITIONED ENTIRELY BETWEEN FINISHED GRADE LINE AND 18" ABOVE FINISHED GRADE LINE. ONLY ONE SPLICE WILL BE ALLOWED PER POST.
2. U-STEEL POST SHALL BE 3 LB./FT., GALVANIZED ACCORDING TO ASTM A123.
3. U-STEEL POST CAN BE USED FOR INSTALLATION OF SIGNS WITH AN AREA OF LESS THAN 2.5 SQUARE FEET.
4. ALL POSTS SHALL BE EMBEDDED A MINIMUM OF 3 FEET.



STRAP TYPE SIGN SUPPORT DETAILS

NOTES:

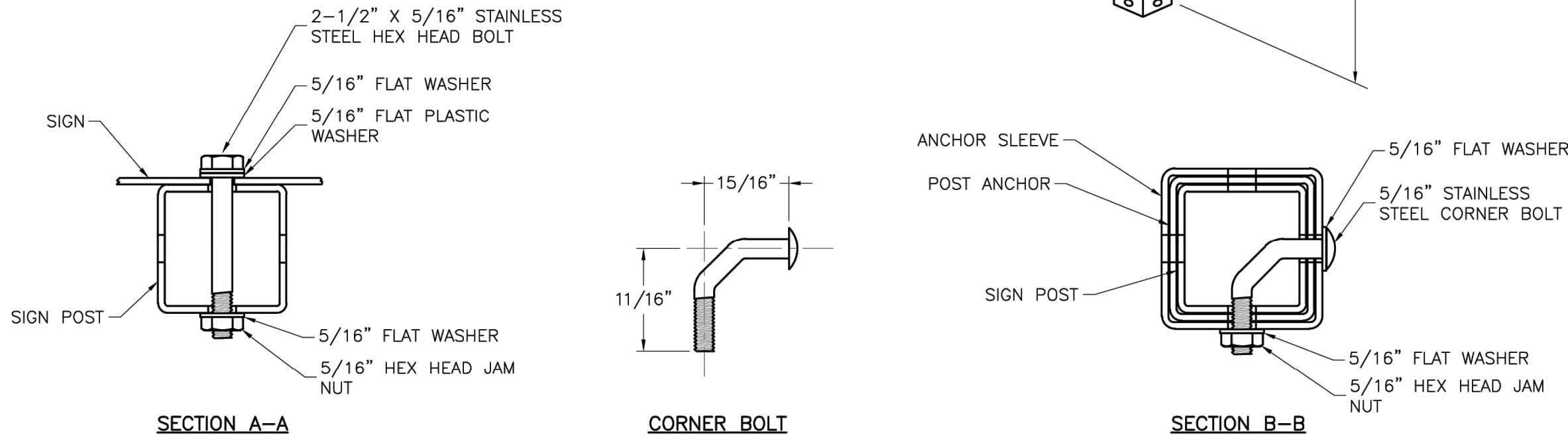
1. SIGNS ON METAL POLES SHALL BE ATTACHED WITH TWO BRACKETS AND STAINLESS STEEL BANDS.
2. HOLES IN SIGN FOR ATTACHMENT TO THE MOUNTING BRACKETS SHALL BE OFFSET A MINIMUM OF 2 INCHES FROM THE EDGE OF THE SIGN.
3. HOLES IN SIGN SHALL BE LOCATED SUCH THAT THE SIGN IS LEVEL.
4. ALL STRAP, BRACKET, AND SEAL MATERIALS SHOULD BE TYPE 201 STAINLESS STEEL.

PERMANENT SIGNING GENERAL NOTES:

1. ALL SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
2. THE CONTRACTOR IS RESPONSIBLE FOR AVOIDING ANY AND ALL UTILITIES WHEN INSTALLING SIGN POSTS, WHETHER THE UTILITY IS INDICATED ON THE PLANS OR NOT.
3. ALL WORKMANSHIP AND MATERIALS SHALL BE SUBJECT TO THE INSPECTION AND APPROVAL OF THE PUBLIC WORKS DEPARTMENT OF THE CITY OF LEE'S SUMMIT.
4. THE CONTRACTOR SHALL STAKE THE LOCATION OF ALL SIGN POSTS TO BE INSTALLED. THE CITY INSPECTOR SHALL INSPECT THE STAKING PRIOR TO INSTALLATION. MINOR RELOCATION TO AVOID CONFLICTS MAY BE ALLOWED WITH THE APPROVAL OF THE CITY TRAFFIC ENGINEER.
5. SIGNS SHOWN TO BE INSTALLED ON THE SIDE OF METAL POLES SHALL BE MOUNTED WITH STAINLESS STEEL STRAPS OR WING BRACKETS AS DETAILED. NO SIGNS ARE TO BE INSTALLED ON WOOD POLES. SEE TRAFFIC SIGNAL STANDARD DRAWINGS FOR THE INSTALLATION OF SIGNS ON MAST ARMS.
6. ALL POST MOUNTED SIGNS SHALL BE INSTALLED WITH BREAKAWAY ANCHORS ACCORDING TO THE STANDARD DRAWINGS.
7. ALL EXISTING SIGNS WILL BE USED IN PLACE DURING CONSTRUCTION AND PROTECTED FROM DAMAGE UNLESS OTHERWISE INDICATED IN THE PLANS. IF THE CONTRACTOR DAMAGES ANY EXISTING SIGN OR POSTS DURING CONSTRUCTION, THE CONTRACTOR WILL BE REQUIRED TO REPLACE THE DAMAGED MATERIALS WITH NEW SIGNS OR POSTS AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND STORING ANY SIGNS THAT ARE TO BE REINSTALLED ON THE PROJECT. ALL EQUIPMENT SHALL BE REINSTALLED IN GOOD CONDITION.
8. EXISTING PERMANENT SIGNS AND POSTS REMOVED BY THE CONTRACTOR FOR CONSTRUCTION PURPOSES WHICH ARE NOT TO BE REINSTALLED SHALL BE DELIVERED TO THE CITY'S PUBLIC WORKS MAINTENANCE FACILITY (1971 SE HAMBLIN ROAD). THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND STORING EQUIPMENT IN GOOD CONDITION AND IS FULLY RESPONSIBLE FOR THE EQUIPMENT UNTIL IT IS DELIVERED.
9. ALL STOP, YIELD, OR STREET NAME SIGNS SHALL BE MAINTAINED IN A CONSPICUOUS LOCATION FOR THE DRIVING PUBLIC. ALL STOP AND YIELD SIGNS REMOVED FOR CONSTRUCTION PURPOSES CAN BE TEMPORARILY ERECTED IN REFLECTORIZED DRUMS (NO LESS THAN 7 FEET ABOVE THE PAVEMENT SURFACE) UNTIL THEY CAN BE REINSTALLED. ANY TEMPORARY STOP OR YIELD SIGN INSTALLATION TO BE LEFT IN PLACE OVERNIGHT WILL REQUIRE PRIOR APPROVAL FROM THE CITY INSPECTOR.

SQUARE STEEL POST INSTALLATION SEQUENCE:

1. SIGN POST ANCHOR DRIVEN PARTIALLY INTO THE GROUND USING A DRIVE CAP WITH A SLEDGE OR POWER EQUIPMENT.
2. ANCHOR SLEEVE SLIPPED OVER ANCHOR AND DRIVE INTO THE GROUND TOGETHER WITH THE SIGN POST ANCHOR.
3. INSERT SIGN POST INTO THE POST ANCHOR AND BOLT IN PLACE.



SQUARE STEEL POST DETAILS

NOTES:

1. SQUARE STEEL SIGN POSTS AND BREAK-AWAY ANCHOR SHALL CONSIST OF THE FOLLOWING MATERIALS:
SIGN POST - 14 GA. 2" X 2" SQUARE STEEL POST
POST ANCHOR - 12 GA. 2 1/4" X 2 1/4" X 36" SQUARE STEEL POST
ANCHOR SLEEVE - 12 GA. 2 1/2" X 2 1/2" X 18" SQUARE STEEL POST
2. 14 GA. POSTS MUST MEET A CERTIFIED MINIMUM YIELD STRENGTH OF 60,000 PSI.
3. IN ALL INSTALLATIONS THE FIRST HOLE ABOVE THE FINISHED GRADE LINE ON THE SIGN POST, ANCHOR, AND ANCHOR SLEEVE MUST BE IN LINE FOR THE INSERTION OF THE CORNER BOLT.
4. THE MAXIMUM AREA FOR ONE SIGN POST IS 9.0 SQUARE FEET. A SIGN OR COMBINATION OF SIGNS WITH AN AREA GREATER THAN 9.0 SQUARE FEET WILL REQUIRE TWO POSTS. ALSO, SIGNS WITH A WIDTH GREATER THAN OR EQUAL TO 48" (NOT INCLUDING 36" X 36" DIAMOND SHAPED SIGNS) WILL REQUIRE TWO POSTS.

RELEASED FOR CONSTRUCTION

As Noted on Plan Review

Development Services Department
Lee's Summit, Missouri

07/30/2025

LEE'S SUMMIT MISSOURI

PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

STANDARD DETAILS

CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY, MO

POST DETAILS

Project:

Sheet Name:

Drawn By: BWC

Checked By: MP

Date: 01/2020

Proj. #:

SN-2

PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

RETREAT AT BAILEY FARMS, SECOND PLAT
STREET, STORMWATER, AND MASTER
DRAINAGE PLAN
SE BAILEY FARMS PKWY & SE ARBORETUM DR
LEE'S SUMMIT, MO

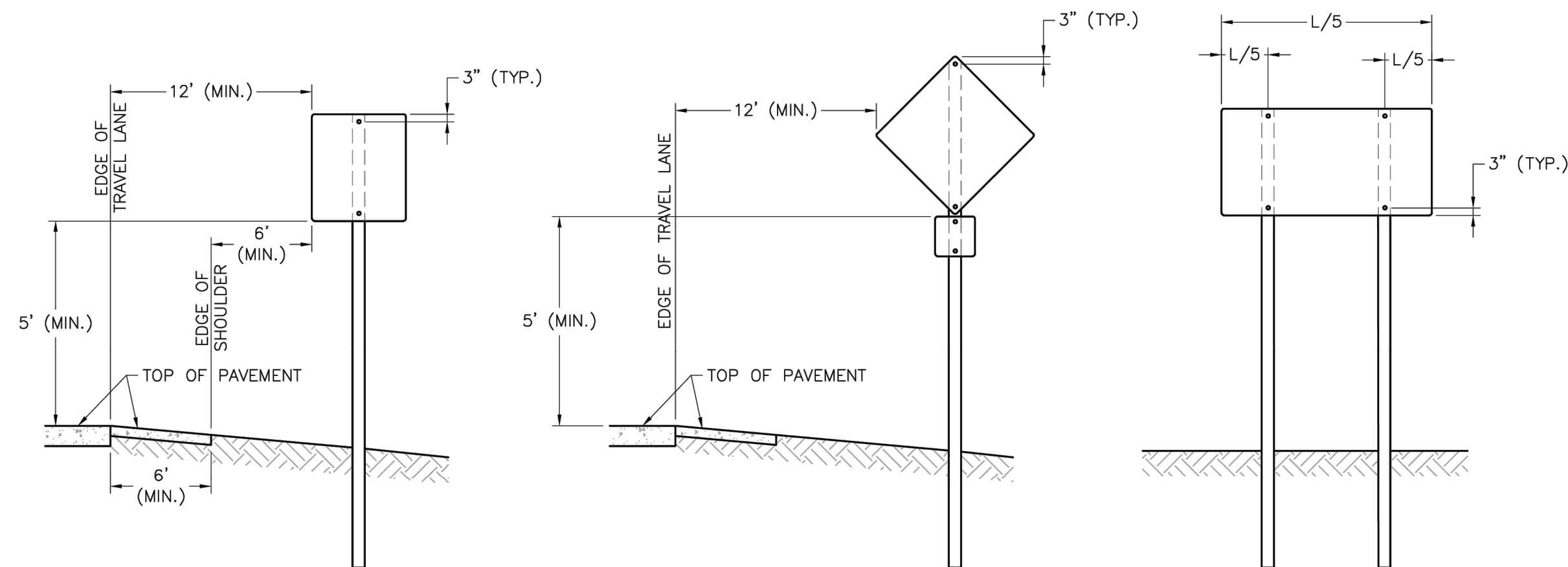
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07/15/2025		

DRAWN BY:	NCA
CHECKED BY:	JLL
DATE PREPARED:	06/04/2025
PROJ. NUMBER:	25-540

SIGN POST
DETAILS

SHEET

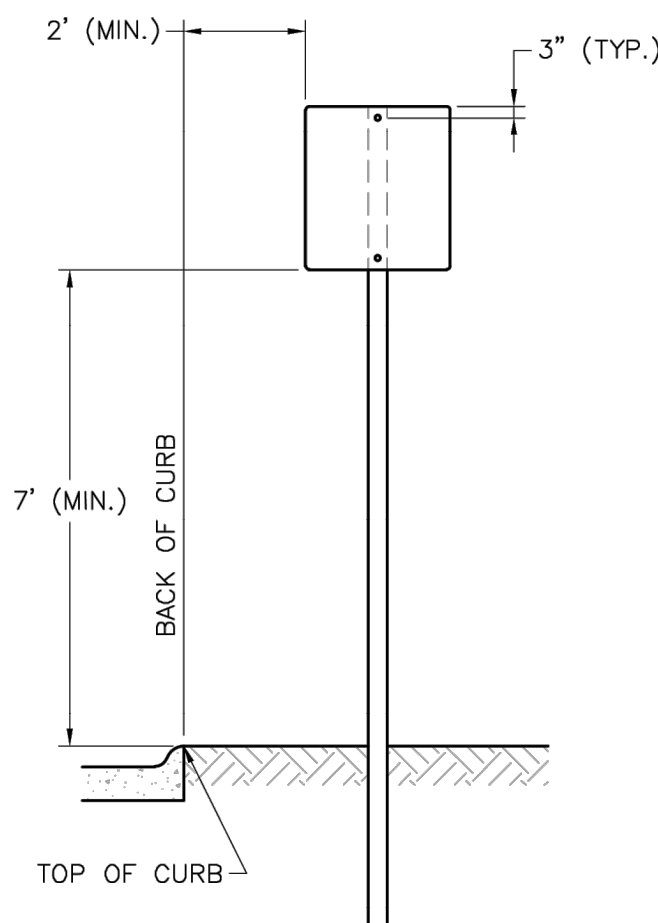
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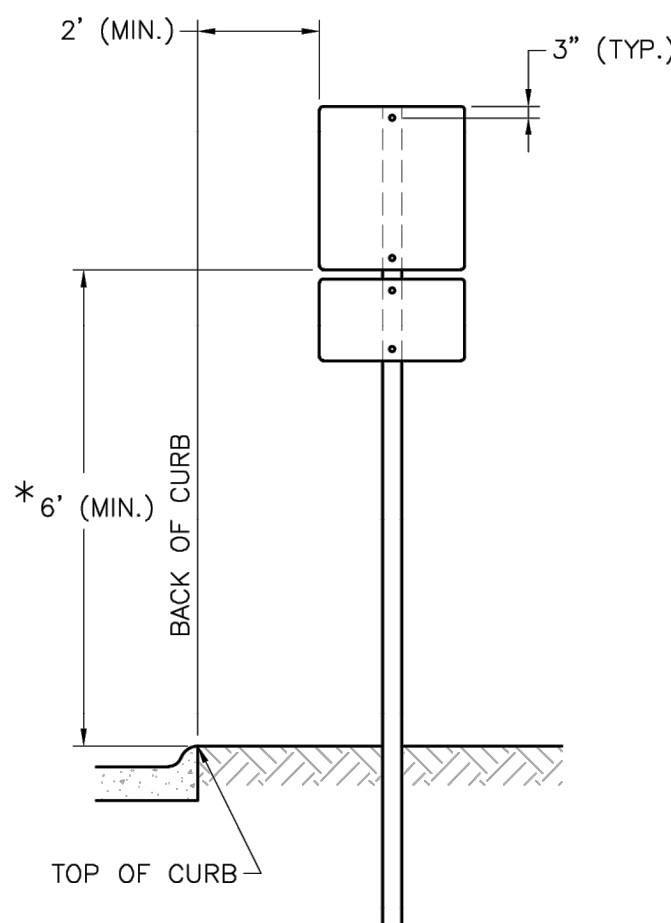
SIGN INSTALLATION FOR
NON-CURBED STREET

SIGN INSTALLATION WITH AUXILIARY
SIGN FOR NON-CURBED STREET

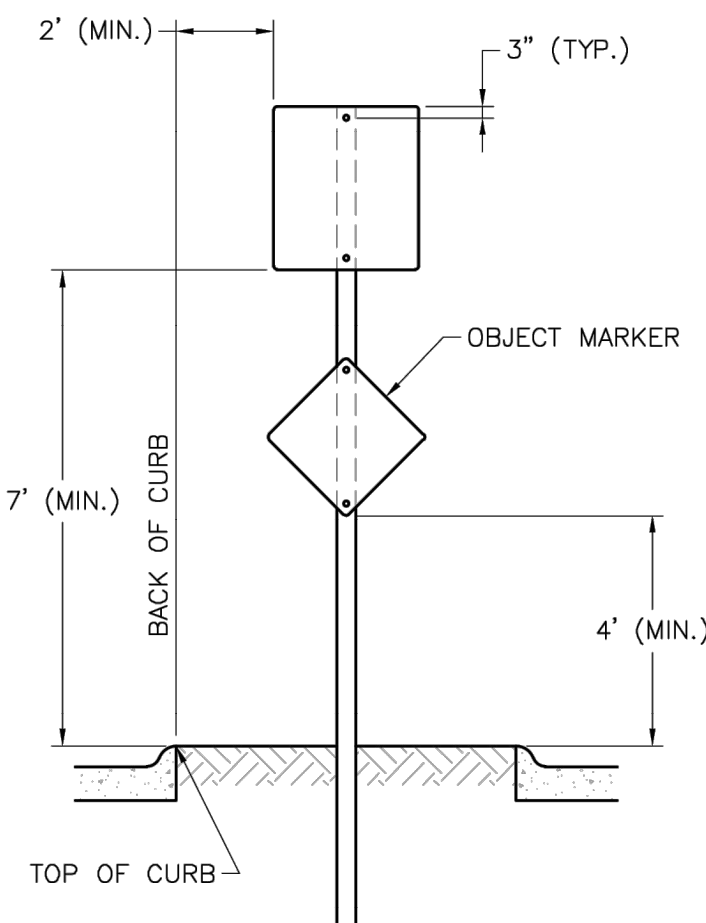
SIGN INSTALLATION WITH
TWO SIGN POSTS



SIGN INSTALLATION FOR
CURBED STREET



SIGN INSTALLATION WITH AUXILIARY
SIGN FOR CURBED STREET

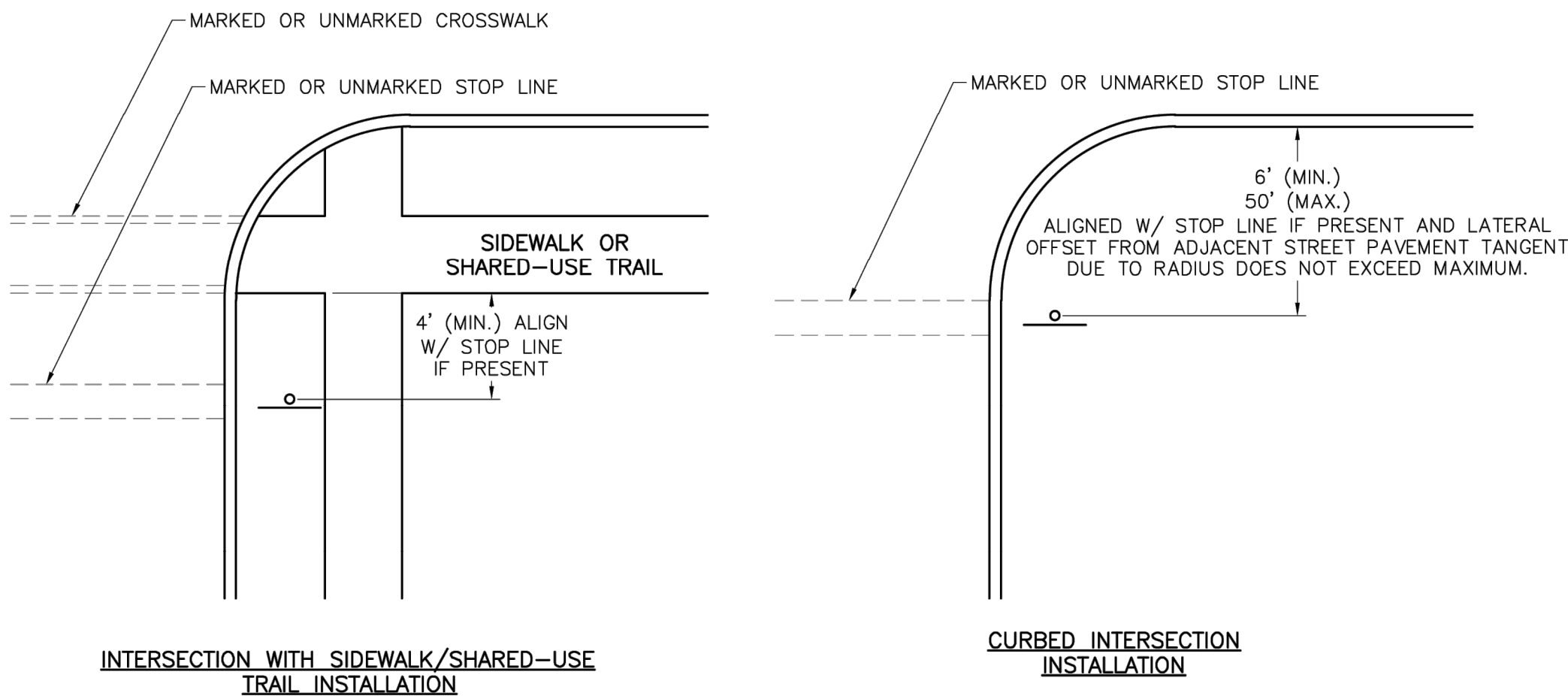
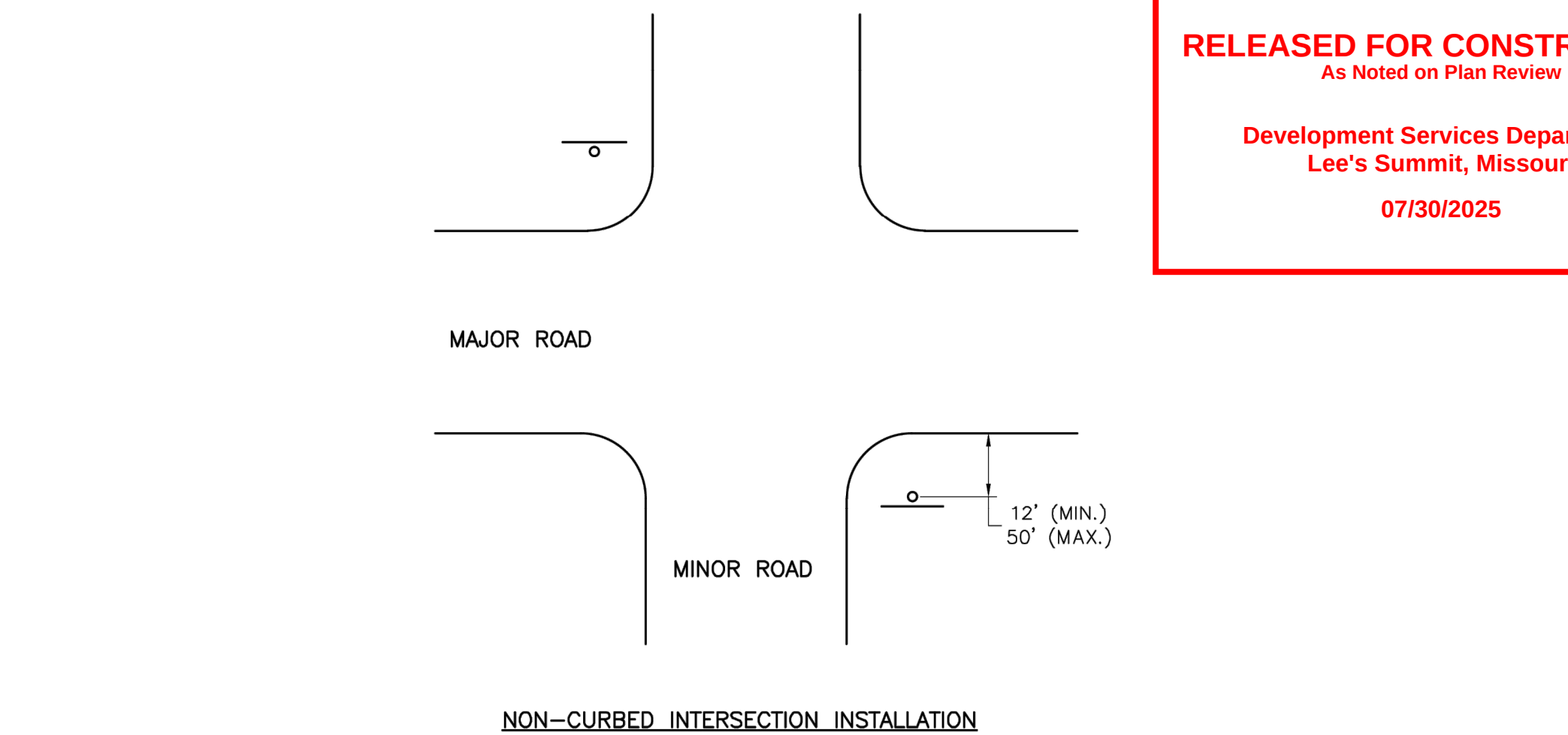


SIGN INSTALLATION
FOR RAISED MEDIANS

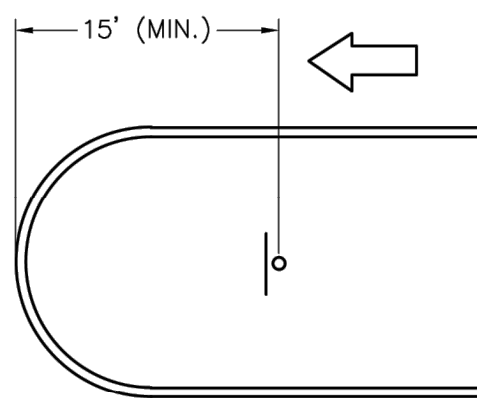
SIGN MOUNTING DETAILS

NOTES:

1. GENERALLY, THE SIGN MOUNTING HEIGHT SHOULD NOT BE MORE THAN 1' GREATER THAN THE MINIMUM MOUNTING HEIGHT.
2. *THE HEIGHT TO THE BOTTOM OF A SIGN WHEN IT IS LOCATED IN A PEDESTRIAN WALKWAY OR EXTENDS INTO A WALKWAY SHALL BE A MINIMUM OF 80 INCHES ABOVE THE WALKWAY.



CONTROL SIGN LOCATION



MEDIAN SIGN LOCATION

NOTES:

1. A 4" P.V.C. SLEEVE SHALL BE INSTALLED IN NEW CONCRETE MEDIANS AT EACH LOCATION WHERE A SIGN IS TO BE INSTALLED.
2. FOR EXISTING CONCRETE MEDIANS, A 4" HOLE SHALL BE CORED INTO THE CONCRETE.

RELEASED FOR CONSTRUCTION
As Noted on Plan Review

Development Services Department
Lee's Summit, Missouri

07/30/2025

LEE'S SUMMIT
MISSOURI

STANDARD DETAILS
CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY, MO

SIGN MOUNTING DETAILS

Drawn By: BWC
Checked By: MP
Date: 01/2020
Proj. #:

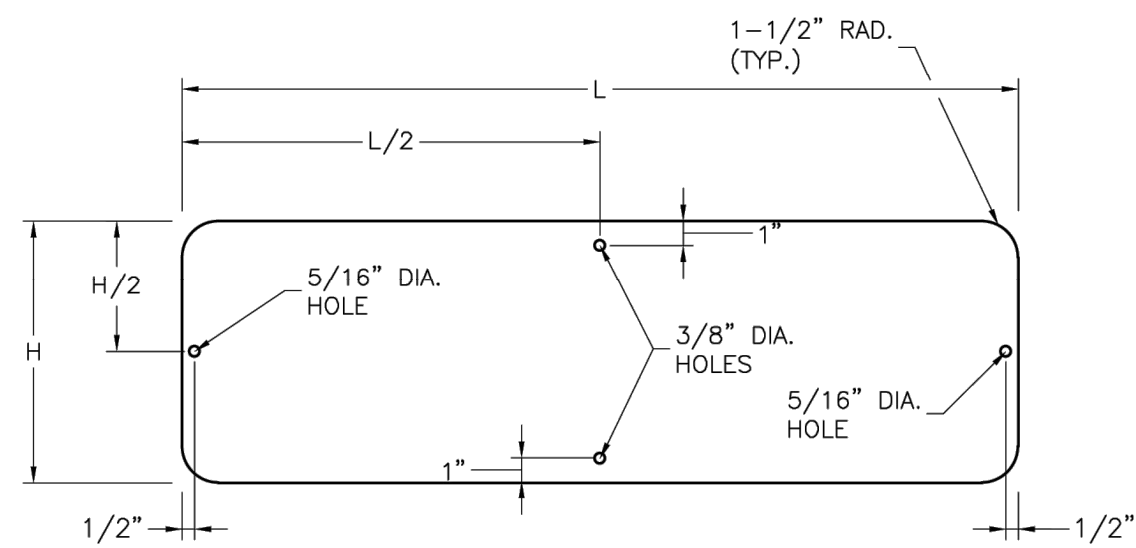
SN-1

REVISION DATE	DESCRIPTION
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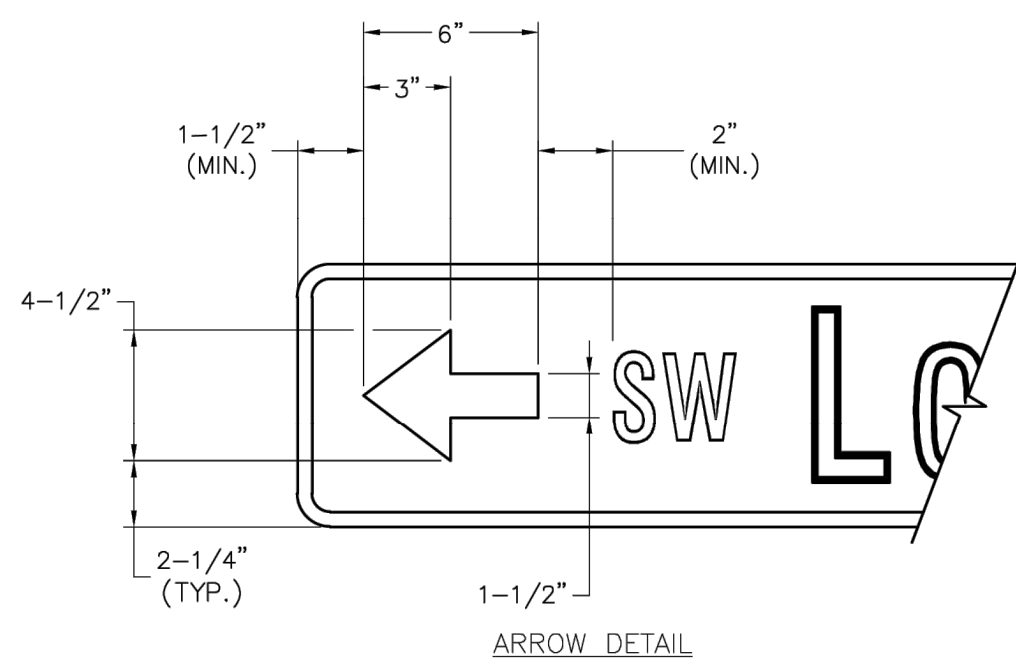
DRAWN BY:	NCA
CHECKED BY:	JLL
DATE PREPARED:	06/04/2025
PROJ. NUMBER:	25-540

NAMED STREETS	
AVENUE	Ave
BOULEVARD	Blvd
CIRCLE	Cir
CREEK	Cr
COURT	Ct
CROSSING	Xing
DRIVE	Dr
HIGHWAY	Hwy
LANE	Ln
PARKWAY	Pkwy
PLACE	Pl
ROAD	Rd
STREET	St
TERRACE	Ter
TRAIL	Trl
WAY	Way

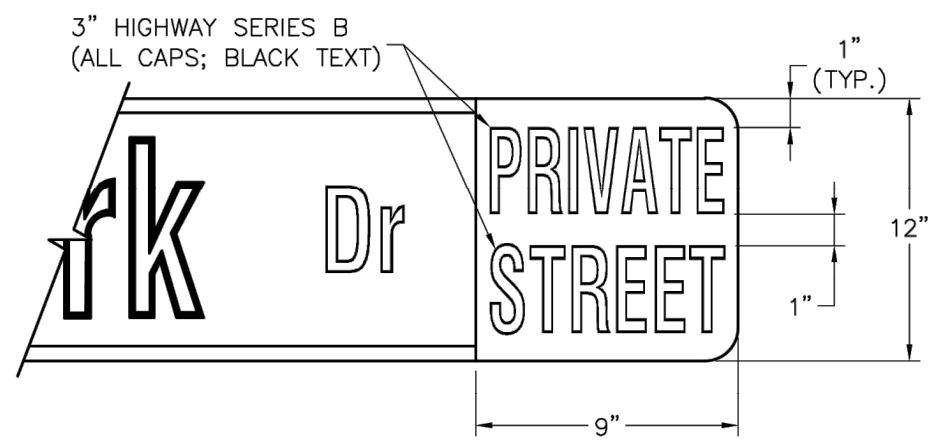
NUMBERED STREETS	
FIRST	ST
SECOND	ND
THIRD	RD
FOURTH TO TENTH	TH



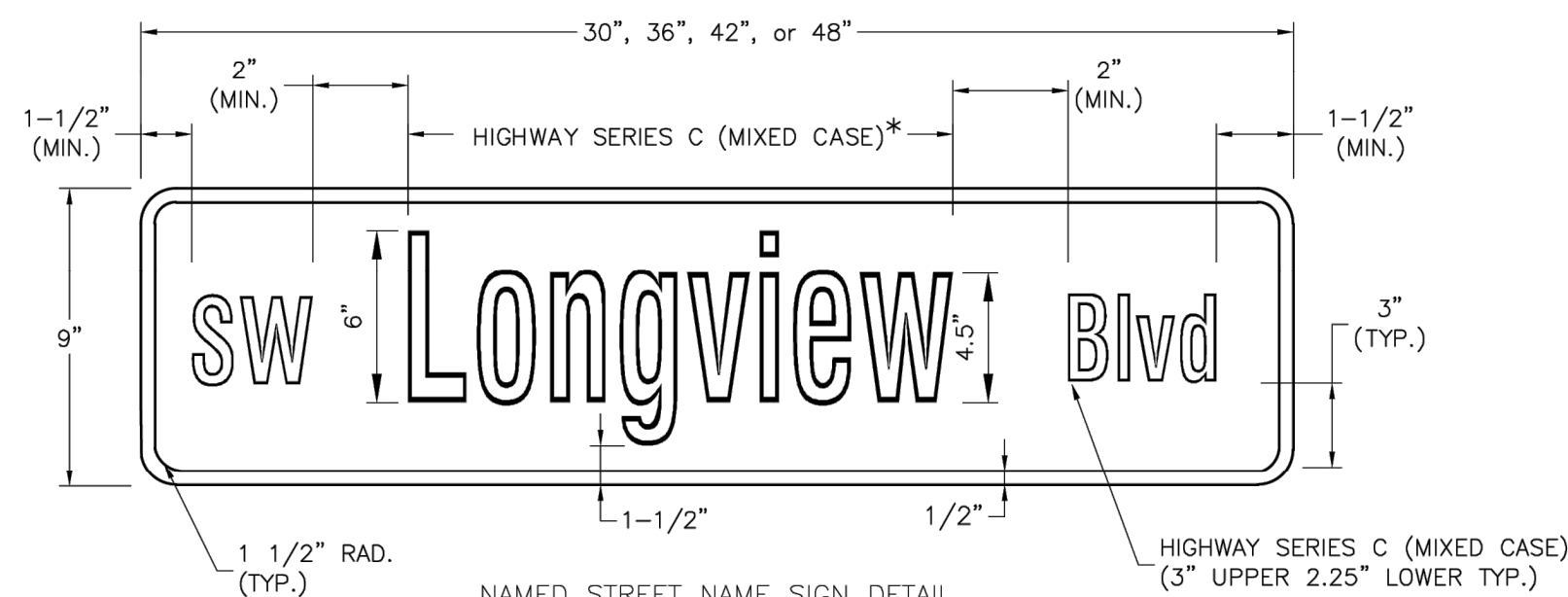
STREET NAME SIGN BLANK DETAILS



ARROW DETAIL



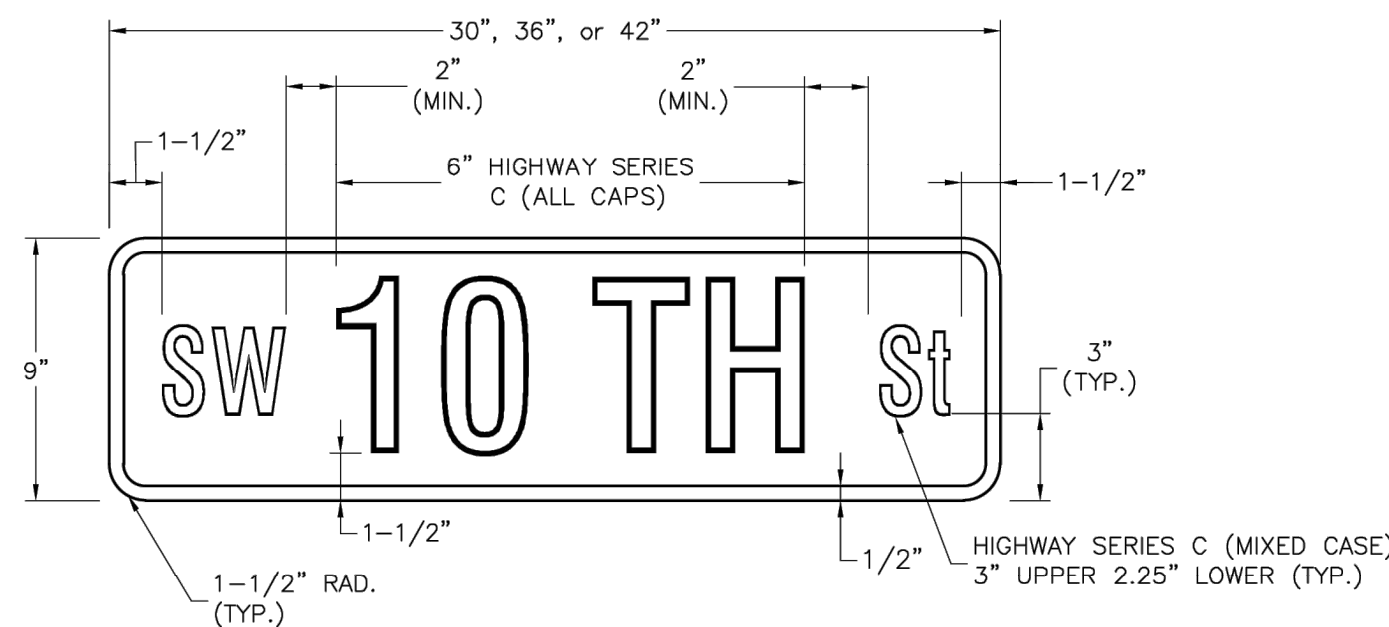
PRIVATE STREET TAG DETAIL



(TYP.) NAMED STREET NAME SIGN DETAIL

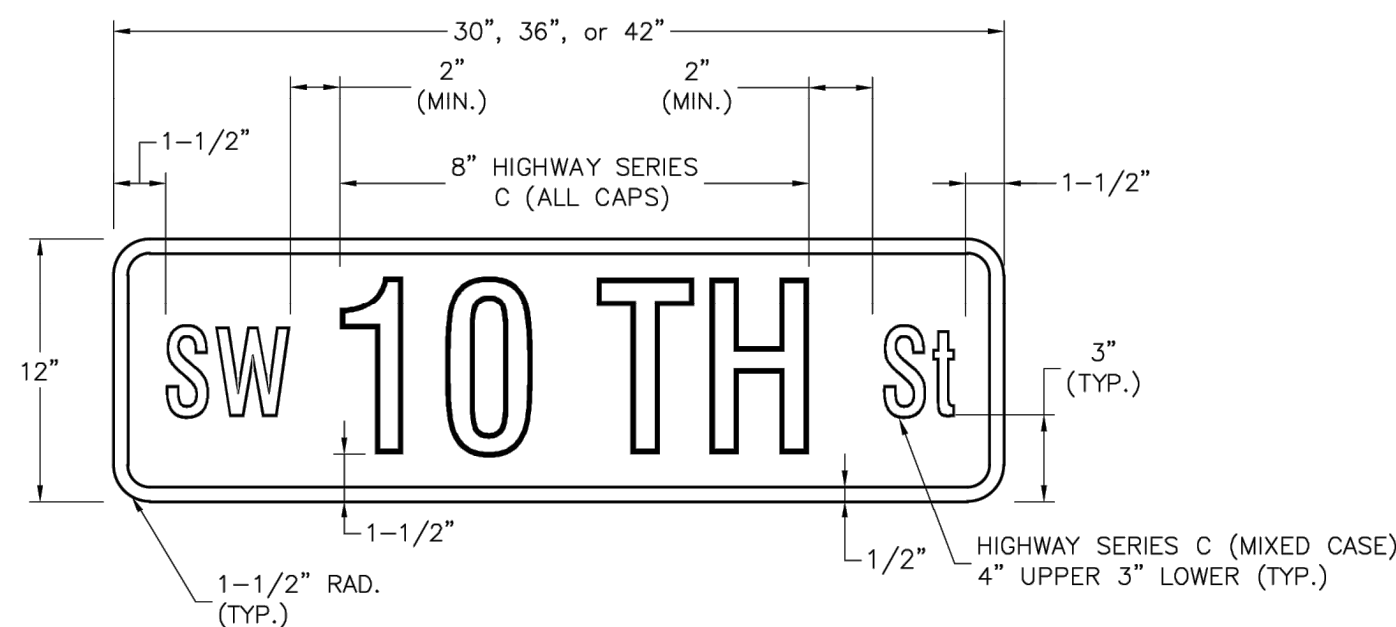
* USE HIGHWAY SERIES B (MIXED CASE) IN LIEU OF SERIES C IF NECESSARY TO FIT TEXT ON A 36" SIGN BLANK.

POST MOUNTED 2-LANE ALL SPEEDS AND MULTI-LANE UNDER 40 MPH



NUMBERED STREET NAME SIGN DETAIL

POST MOUNTED 2-LANE ALL SPEEDS AND MULTI-LANE UNDER 40 MPH

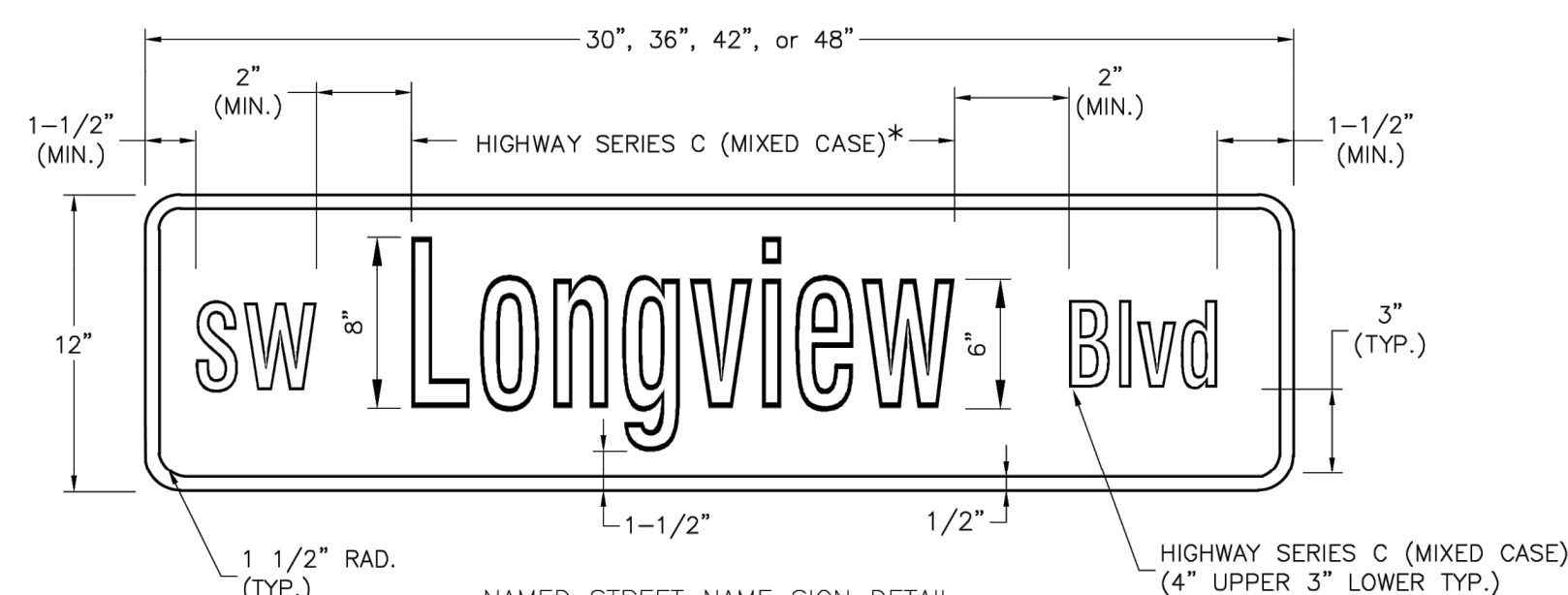


NUMBERED STREET NAME SIGN DETAIL

POST MOUNTED MULTI-LANE GREATER THAN 40 MPH

NOTES:

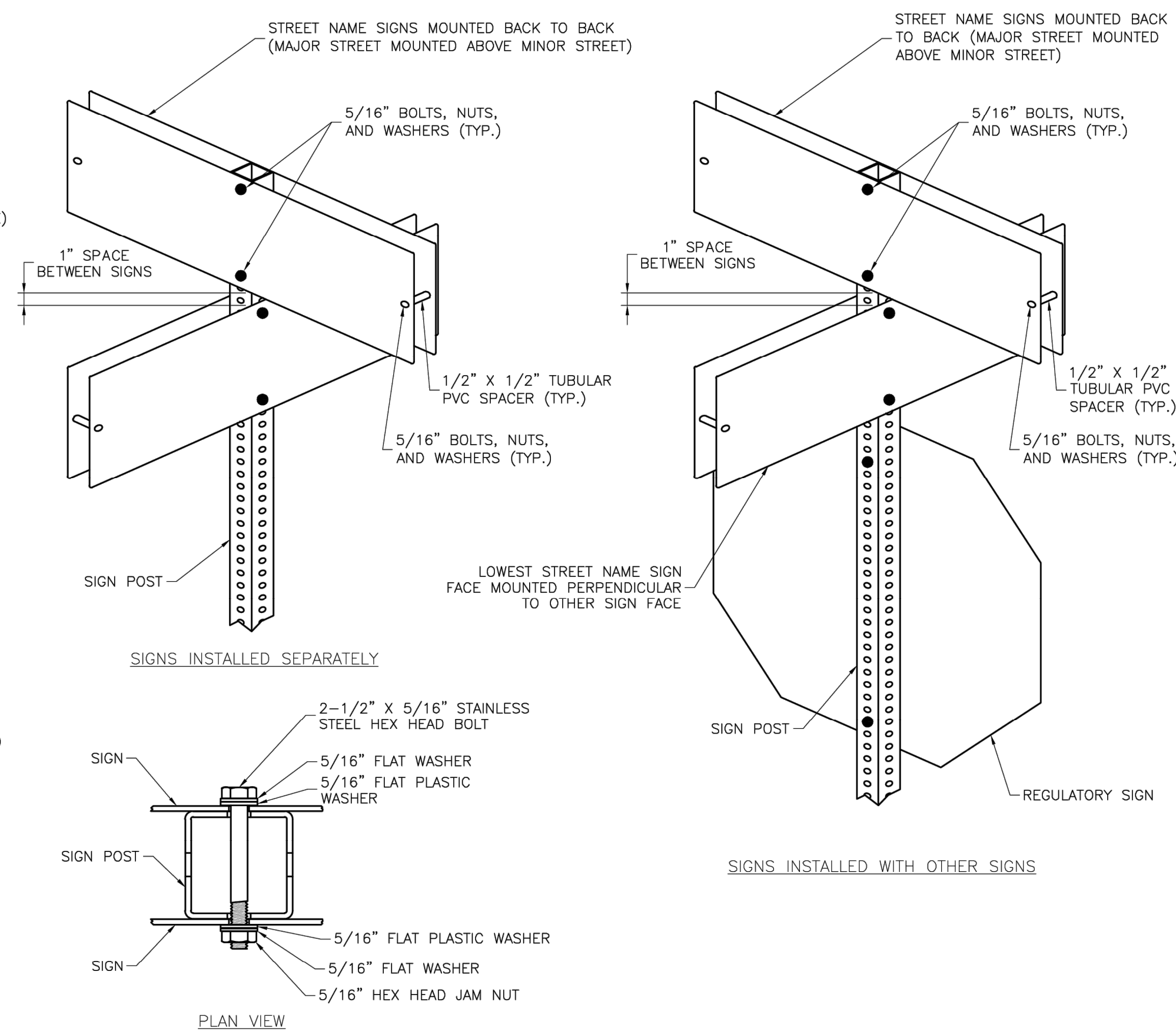
1. FOR ALL STREET NAME SIGNS, THE LEGEND SHALL BE WHITE AND THE BACKGROUND SHALL BE GREEN.
2. ARROWS SHALL BE ADDED TO STREET NAME SIGNS WHERE THE NAME OF A STREET CHANGES AT AN INTERSECTION. STREET NAME SIGNS WITH ARROWS ARE TO BE INSTALLED ON EACH SIDE OF THE INTERSECTION TO INDICATE THE CHANGE IN NAMES. ARROWS SHALL BE WHITE.
3. THE "PRIVATE STREET" TAG SHOULD BE ADDED TO THE END OF STREET NAME SIGNS TO INDICATE WHERE A STREET THAT IS OUTSIDE THE RIGHT-OF-WAY INTERSECTS A PUBLIC STREET. THE BACKGROUND FOR THE "PRIVATE STREET" TAG SHALL BE YELLOW.
4. MULTI-LANE IS DEFINED AS HAVING 2 LANES OR MORE IN EACH DIRECTION, EXCLUDING TURN LANES.
5. OVERHEAD SIGN DETAILS MAY BE FOUND ON THE SIGNAL HEAD MOUNTING DETAIL.



NAMED STREET NAME SIGN DETAIL

HIGHWAY SERIES B (MIXED CASE) IN LIEU OF SERIES
NECESSARY TO FIT TEXT ON A 36" SIGN BLANK.

POST MOUNTED MULTI-LANE GREATER THAN 40 MPH



SQUARE STEEL POST MOUNTING DETAILS



LS
LEE'S SUMMIT
MISSOURI

PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

STANDARD DETAILS

CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY, MO

STREET NAME SIGN DETAILS

Drawn By: BWC
Checked By: MP
Date: 01/2020
Proj. #:

SN-3

SCHLAGEL

ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS

14920 West 107th Street • Lenexa, Kansas 66215

(913) 492-9158 • Fax: (913) 492-9400

WWW.SCHLAGELASSOCIATES.COM

Missouri State Certificate of Architectural Registration
#E20020203800F #L3A0201105527 #L3S20020208395F

PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

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STREET, STORMWATER, AND MASTER

SE BAILEY FARMS PKWY & SE ARBORETUM DR
LEE'S SUMMIT, MO

REVISION DATE	DESCRIPTION
07/15/2025	CITY COMMENTS
2	
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STREET NAME
SIGN DETAILS

SHEET

16

RELEASED FOR CONSTRUCTION
As Noted on Plan Review

Development Services Department
Lee's Summit, Missouri
07/30/2025

STREET NAME SIGN INVENTORY

